



Administrative Approval Action

Case File / Name: SUB-0003-2023
DSLCL - DOGWOOD MINOR SUBDIVISION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 0.52 acre site consists for 2 parcels (each 0.26 acre in size), specifically identified as 3317 & 3321 Dogwood Drive. The site is located north of Piedmont Drive, east of Brentwood Road, south of Skycrest Drive, and west of Trawick Road. The parcels are zoned R-6.

REQUEST: This plan proposes dividing the two existing vacant parcels into three detached house lots, to be developed under the conventional development option. Each new lot is 0.167 acre in size.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** FIL-0045-2024: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 3, 2023 by Boundary Zone, Inc..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A fee-in-lieu for 6' of public sidewalk will be applied along the frontage of this development for Dogwood Rd. The amount will be calculated when a plat is received for review and prior to approval of the plat to be recorded. (UDO Section 8.1.10)



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2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Stormwater

4. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
5. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

6. A public infrastructure surety for the 3 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

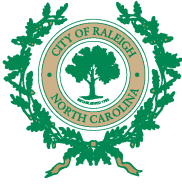
The following items must be approved prior to the issuance of building permits:

Stormwater

1. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
3. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Dogwood Dr.



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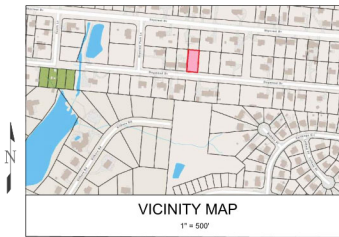
EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 7, 2027
Record at least ½ of the land area approved.

5-Year Sunset Date: February 7, 2029
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 02/07/2024
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin



SUBDIVISION PLANS FOR DOGWOOD MINOR SUBDIVISION 3317 DOGWOOD DRIVE RALEIGH, NORTH CAROLINA

CITY OF RALEIGH FILE: SUB-0003-2023

PREPARED FOR:
DOWLING PROPERTIES, LLC
412 HOLSTEN BANK WAY
CARY, NORTH CAROLINA 27519

PREPARED BY:
CRUMPLER
Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

SITE EXEMPTION NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMETER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION 5.2.2.1.1.4.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.2.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.2.2.4.2 AS AMENDED BY TC-216.

NOTES

- BOUNDARY AND EXISTING CONDITIONS SURVEY PROVIDED BY BOUNDARY ZONE, INC DATED 07-25-23.
- THE PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720172500K DATED JULY 19, 2023.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- EXISTING GRADES TO REMAIN AND GRADING TO BE LIMITED TO INSTALLATION OF CURBS AND GUTTER, SIDEWALK, AND FOUNDATIONS.
- RESIDENTIAL INFILL STANDARDS (UDO SECTION 2.2.7). IF A COMPARATIVE SAMPLE CAN BE OBTAINED, THESE STANDARDS WILL NEED TO BE MET AT BUILDING PERMIT REVIEW.

SHEET

C-1
C-2
C-3
C-4
D-1

DESCRIPTION

COVER
EXISTING CONDITIONS
SUBDIVISION & LANDSCAPING PLAN
UTILITY, GRADING
AND STORMWATER PLAN
DETAILS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CALL 48 HOURS
BEFORE YOU DIG



NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949

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Consulting Services, PLLC
2308 Ridge Road
Raleigh, NC 27612
Ph. 919-413-1704
P-1533

ISSUED FOR
PERMITTING

REV	DATE	DESCRIPTION
1	01/03/23	CITY OF RALEIGH COMMENTS

COVER
DOGWOOD MINOR SUBDIVISION
3317 & 3321 DOGWOOD DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 23028
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 08/03/23
SCALE: 1" = 20'

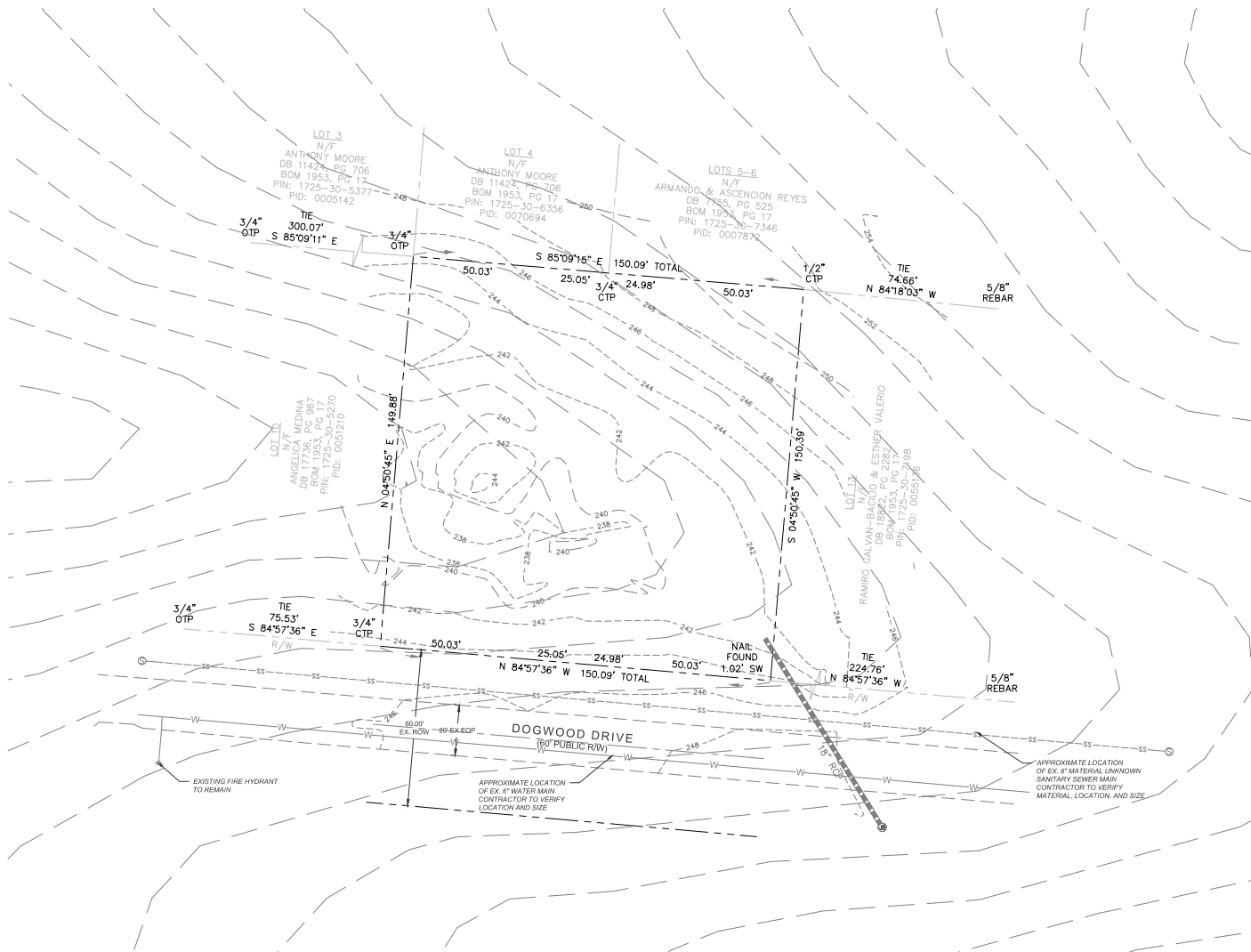
C-1

1 of 5



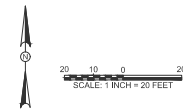
NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949

CADD FILE: D:\CADD\Projects\2023\23028 Dogwood Blvd.mxd LAYOUT: Existing



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING OVERHEAD POWER LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	PROPOSED LOT LINE
	PROPOSED EASEMENT
	PROPOSED STORMWATER PIPE
	PROPOSED FLARED END SECTION
	PROPOSED CATCH BASIN
	PROPOSED ROADWAY OVERLAY

- NOTES**
- BOUNDARY AND EXISTING CONDITIONS SURVEY PROVIDED BY BOUNDARY ZONE, INC DATED 07-25-23.
 - THE PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720172500K DATED JULY 19, 2023.
 - NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
 - THIS DRAWING IS NOT FOR RECORDATION.
 - DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
 - EXISTING GRADES TO REMAIN AND GRADING TO BE LIMITED TO INSTALLATION OF CURB AND GUTTER, SIDEWALK, AND FOUNDATIONS.



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ISSUED FOR
PERMITTING

REV	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	01/03/23

EXISTING CONDITIONS PLAN
DOGWOOD MINOR SUBDIVISION
3317 & 3321 DOGWOOD DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 23028
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 08/03/23
SCALE: 1" = 20'

C-2
2 of 5

08/13/24
JOHN T. CRUMPLER
PE 27812
2308 RIDGE ROAD
RALEIGH, NC 27612
PH: 919-413-1704
FAX: 919-413-1533

LANDSCAPING NOTES

- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP-03.
- STREET TREE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH TREE MANUAL.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNINGS OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS REQUIREMENTS.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

TREE CONSERVATION AND LANDSCAPING NOTES:

- THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2 TREE CONSERVATION APPLICABILITY.
- THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

LANDSCAPING REQUIREMENTS

DOGWOOD DRIVE
REQUIREMENT: 1 TREE PER 40LF=150LF/40LF=3 TREES
PROVIDED: 3 TREES

KEY	QUA.	BOTANICAL NAME	COMMON NAME	AT PLANTING	
		SHADE TREES			
NO	3	QUERCUS NUTTALLII	NUTTALL OAK	10'	3"

NOTES

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- THE PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 320172500K DATED JULY 19, 2023.
- NO ON-SITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
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- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- EXISTING GRADES TO REMAIN AND GRADING TO BE LIMITED TO INSTALLATION OF CURB AND GUTTER, SIDEWALK, AND FOUNDATIONS.
- RESIDENTIAL INSTALL STANDARDS (UDO SECTION 2.2.7). IF A COMPARATIVE SAMPLE CAN BE OBTAINED, THESE STANDARDS WILL NEED TO BE MET AT BUILDING PERMIT REVIEW.
- PER SECTION 9.2.2.A.2.B.1 SUBJECT TO 4.A. OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

STORMWATER IMPERVIOUS NOTES:

PROPOSED IMPERVIOUS SURFACE:
-150LF OF 9" OF SIDEWALK WITHIN RIGHT OF WAY=750 SF
750SF/2500 PER LOT
TOTAL IMPERVIOUS PER LOT FOR IMPROVEMENT WITHIN ROW=250SF

MAXIMUM IMPERVIOUS SURFACE PER ZONING=51%
MAXIMUM IMPERVIOUS PER LOT LESS RIGHT OF WAY IMPROVEMENTS
-LOT 1: 7.203SF (51%)=3.690SF=250SF=3.440SF MAX IMPERVIOUS SURFACE
-LOT 2: 7.281SF (51%)=3.703SF=250SF=3.453SF MAX IMPERVIOUS SURFACE
-LOT 3: 7.270SF (51%)=3.708SF=250SF=3.458SF MAX IMPERVIOUS SURFACE

-PER SECTION 9.2.2.A.2.B.1 SUBJECT TO 4.A. OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED LOT LINE
- PROPOSED EASEMENT
- PROPOSED STORMWATER PIPE
- PROPOSED FLARED END SECTION
- PROPOSED CATCH BASIN

SUMMARY INFORMATION

DEVELOPMENT NAME: DOGWOOD MINOR SUBDIVISION
SITE ADDRESS: 3317 & 3321 DOGWOOD DRIVE
RALEIGH, NORTH CAROLINA

PI NUMBER: 1725-30-6240

JURISDICTION: CITY OF RALEIGH
EXISTING USE: SINGLE FAMILY
PROPOSED USE: SINGLE FAMILY
CURRENT ZONING DISTRICT: R-4

TOTAL ACREAGE: 0.517 ACRES (22,535 SF)

PROPOSED LOT 1: R-4, DETACHED HOUSE REQUIREMENTS:
REQUIRED LOT SIZE: 6,000SF (MIN.)
PROVIDED LOT SIZE: 7,203SF
REQUIRED LOT WIDTH: 50' (MIN.)
PROVIDED LOT WIDTH: 50.03'
REQUIRED LOT DEPTH: 80' (MIN.)
PROVIDED LOT DEPTH: 145.00' (MIN.)

PROPOSED LOT 2: R-4, DETACHED HOUSE REQUIREMENTS:
REQUIRED LOT SIZE: 6,000SF (MIN.)
PROVIDED LOT SIZE: 7,281SF
REQUIRED LOT WIDTH: 50' (MIN.)
PROVIDED LOT WIDTH: 50.04' (MIN.)
REQUIRED LOT DEPTH: 80' (MIN.)
PROVIDED LOT DEPTH: 145.22'

PROPOSED LOT 3: R-4, DETACHED HOUSE REQUIREMENTS:
REQUIRED LOT SIZE: 6,000SF (MIN.)
PROVIDED LOT SIZE: 7,270SF
REQUIRED LOT WIDTH: 50' (MIN.)
PROVIDED LOT WIDTH: 50.03' (MIN.)
REQUIRED LOT DEPTH: 80' (MIN.)
PROVIDED LOT DEPTH: 145.22'

BLOCK PERIMETER REQUIRED (MAX.): 5,000LF
BLOCK PERIMETER PROVIDED: 4,725LF**
**EXEMPT BASED ON UDO SECTION 9.3.2.A.1.b.i.iv FOR SITES LESS THAN 2 ACRES

OWNER/DEVELOPER:
DOWLING PROPERTIES, LLC
412 HOLSTEN BANK WAY
CARY, NORTH CAROLINA 27519

ENGINEER:
CRUMPLER CONSULTING SERVICES, PLLC
CONTACT: JOSH CRUMPLER, PE
2308 RIDGE ROAD
RALEIGH, NC 27612
(919) 413-1704

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ISSUED FOR PERMITTING

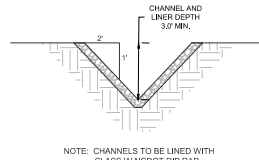
REV.	DATE	DESCRIPTION
1	01/03/23	CITY OF RALEIGH COMMENTS

SITE AND LANDSCAPING PLAN
DOGWOOD MINOR SUBDIVISION
3317 & 3321 DOGWOOD DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 23028
DRAWN BY: JAC
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DATE: 08/03/23
SCALE: 1" = 20'

C-3

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MAINTENANCE:
INSPECT TEMPORARY DIVERSIONS AT LEAST WEEKLY AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION DITCH. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

TRIANGULAR DITCH DETAIL NO SCALE

DOGWOOD MINOR SUBDIVISION CHANNEL DESIGN AND LINING									
ROAD-SIDE DITCH / CHANNEL NAME	TOTAL RUNOFF, Q (cfs)	LENGTH (ft)	CHANNEL SECTION	BOTTOM WIDTH (ft)	LEFT SIDE SLOPE, Z1 (ft)	RIGHT SIDE SLOPE, Z2 (ft)	CHANNEL DEPTH (ft)	CHANNEL SLOPE (ft/ft)	TEMPORARY LINER
CHANNEL #1	31.41	204.00	TRIANGULAR	-	2.00	2.00	2.00	0.010	NC DOT Class 'A' Riprap
									NC DOT Class 'A' Riprap

NOTES

- BOUNDARY AND EXISTING CONDITIONS SURVEY PROVIDED BY BOUNDARY ZONE, INC. DATED 02-25-23.
- THE PROPERTY IS LOCATED IN ZONES X AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOOD PLANS BASED ON THE FEMA MAP NUMBER 320127500G DATED JULY 19, 2023.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDEATION.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- EXISTING GRADES TO REMAIN AND GRADING TO BE LIMITED TO INSTALLATION OF CURB AND GUTTER, SIDEWALK, AND FOUNDATIONS.
- PER SECTION 9.2.2.A.2.B.1 SUBJECT TO 4.A. OF THE RALEIGH UNITED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- CHW --- CHW --- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED LOT LINE
- PROPOSED EASEMENT
- PROPOSED STORMWATER PIPE
- PROPOSED FLARED END SECTION
- PROPOSED CATCH BASIN

CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 8" MIN. CLEARANCE (PER CORPUD DETAILS W1 & S49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT & 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOH, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & RCP FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE ROW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LOC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICES AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A -- GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REMISEMBLISHED FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$200,000 OR GREATER, THE PROJECT MUST BE PUBLIC/18D.

CRUMPLER
Consulting Services, PLLC
2308 Ridge Road
Raleigh, NC 27612
Ph: 919-413-1704
P: 919-413-1533

ISSUED FOR PERMITTING

DATE	DESCRIPTION
01/03/23	CITY OF RALEIGH COMMENTS

GRADING PLAN

DOGWOOD MINOR SUBDIVISION
3317 & 3321 DOGWOOD DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 23028
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 08/03/23
SCALE: 1" = 20'

C-4

