



# Administrative Approval Action

Case File / Name: SUB-0005-2022  
DSLCL - HOLLY TREE SUBDIVISION

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south east quadrant of the intersection of Pat Reed Rd and Fox Road PIN # 1726875402. The current address is listed as 5700 Fox Road and the site is zoned R-4. It is outside the corporate city limits of the City of Raleigh.

**REQUEST:** **\*\*REVISION\*\***  
The revised plan proposes a Conventional Subdivision of 0.68 acres into two lots for Attached Houses with two units each. The lots will take access from Fox Road via a shared 20-foot cross access easement.

The original plan approved on 4/14/22 was for a Conventional Subdivision of two lots for Detached, Single Family Residential.

The sunset date of 8/11/25 is unchanged.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** SUR-0293-2022: DSENG - Surety/Infrastructure  
RCMP-0006-2023: DSLCL - Recorded Maps/Subdivision  
SPR-0190-2023: DSLCL - Site Permitting Review/Major [Signature Set]

**FINDINGS:** **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 17, 2024 by McKim & Creed**

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Engineering**

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

### **Public Utilities**

2. Review ASR recommendations and correct with SPR submittal.

### **Stormwater**



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- These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

- A fee-in-lieu for 1' of public sidewalk will be applied along the frontage of this development for Fox Road. The amount will be calculated when a plat is received for review and prior to approval of the plat to be recorded. (UDO Section 8.1.10)
- The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division for the proposed street tree installation in the right-of-way.
- A cross access agreement among the lots identified shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

## Public Utilities

- Infrastructure Construction Plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
- The proposed public sanitary sewer easement shall be shown on all maps for recording.
- A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## Urban Forestry



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8. A public infrastructure surety for 4 street trees along Fox Road shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Fox Road.

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: August 11, 2025**

**Record at least ½ of the land area approved.**

**5-Year Sunset Date: August 11, 2027**

**Record entire subdivision.**

I hereby certify this administrative decision.

Signed: Keegan McDonald Date: 08/28/2024  
Development Services Dir/Designee  
Staff Coordinator: Jessica Gladwin



# HOLLY TREE SUBDIVISION

## PRELIMINARY SUBDIVISION PLANS RALEIGH, NORTH CAROLINA

DATE: OCTOBER 23, 2023

REVISED: JULY 17, 2024

CASE #: SUB-0005-2022

### SHEET INDEX

SHEET NUMBER	SHEET TITLE	SEAL DATE	REV #
C0.1	COVER SHEET	2024.07.12	D
C2.0	EXISTING CONDITIONS & DEMOLITION PLAN	2024.05.24	C
C3.0	SITE & SUBDIVISION PLAN	2024.07.12	D
C7.0	GRADING & DRAINAGE PLAN	2024.05.24	C
C8.0	UTILITY PLAN	2024.05.24	C
C10.0	LANDSCAPE PLAN	2024.05.24	C

### PROJECT DATA

NAME OF PROJECT:

HOLLY TREE SUBDIVISION  
PRELIMINARY SUBDIVISION PLANS  
5700 FOX ROAD, RALEIGH, NORTH CAROLINA

OWNER:

TRANG T LE  
515 SIPPICAW OAKS DR., FUQUAY VARINA, NC 27526  
PHONE: (919) 649-4111  
CONTACT: TOM PHAN  
EMAIL: tomhphan@gmail.com

CONSULTANTS:

McKIM & CREED  
1730 VARSITY DRIVE, SUITE 500  
RALEIGH, NORTH CAROLINA 27606  
PHONE: (919) 539-5464  
CONTACT: PATTY HARRELL-HILBURN, PLS  
EMAIL: philburn@mckimcreed.com

PROJECT AREA: 0.64 AC

PIN: 1726-87-5402

PROPERTY NOT INSIDE CITY LIMITS. ANNEXATION WILL BE  
REQUIRED

THIS PLAN SET IS A REVISION TO THE PREVIOUSLY APPROVED  
PRELIMINARY HOLLY TREE SUBDIVISION (CASE # SUB-0005-2022),  
DATED MARCH 4, 2022. THE ORIGINAL SUBMISSION HAD STATED  
THAT THE BUILDING TYPE WOULD BE SINGLE FAMILY. THIS REVISED  
APPLICATION PROPERLY STATES THAT THE BUILDING TYPE WILL BE  
ATTACHED HOUSES.

EXISTING IMPERVIOUS AREA: 736.8 SF (0.017 AC)

MAXIMUM ALLOWABLE IMPERVIOUS AREA (38% OF NET TRACT AREA)

- LOT 1: 5,318.5 SF (0.122 AC)
- LOT 2: 5,324.5 SF (0.122 AC)
- TOTAL: 10,643.0 (0.244 AC)

### Preliminary Subdivision Application

#### Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

DocuSign Envelope ID: A30AA74B-C217-4E92-8458-5A80DF754BD8

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option
<i>NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.</i>		
GENERAL INFORMATION		
Scoping/sketch plan case number(s):		
Development name (subject to approval): Holly Tree Subdivision		
Property Address(es): 5700 Fox Rd., Raleigh, NC 27616		
Recorded Deed PIN(s): 1726-87-5402		
<b>Building type(s):</b> <input type="checkbox"/> Detached House <input checked="" type="checkbox"/> Attached House <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment		
<input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House		

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: Trang T. Le	
Company: N/A	Title: N/A
Address: 515 Sippicaw Oaks Dr., Fuquay Varina, NC 27526-7663	
Phone #: 919.649.4111	Email: tomhphan@gmail.com
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: McKim & Creed	Address: 1730 Varsity Dr., Suite 500, Raleigh, NC 27606
Phone #: 919.233.8091	Email: APrivette@mckimcreed.com
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
Developer Contact Names: Trang T. Le	
Company: N/A	Title: N/A
Address: 515 Sippicaw Oaks Dr., Fuquay Varina, NC 27526-7663	
Phone #: 19.649.4111	Email: tomhphan@gmail.com

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REVISION 09.22.23  
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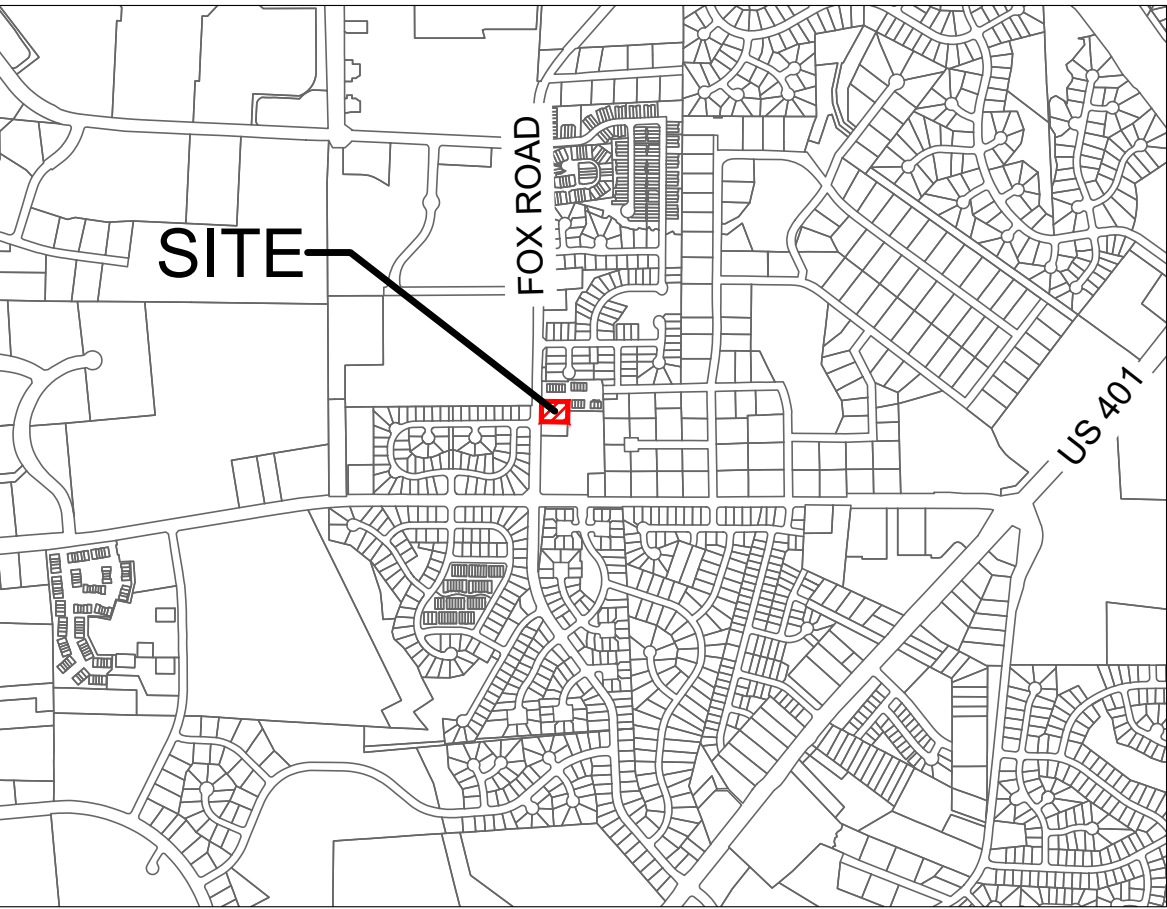
DEVELOPMENT TYPE + SITE DATE TABLE -- ZONING INFORMATION			
Gross site acreage: 29,578 SF - 0.679 acre			
Zoning districts (if more than one, provide acreage of each): R-4			
Overlay district(s): None	Inside City Limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Historic District/Landmark: N/A <input checked="" type="checkbox"/>	
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	
STORMWATER INFORMATION			
Impervious Area on Parcel(s): Existing (sf) 736.8 Proposed total (sf) 10,029.72		Impervious Area for Compliance (includes right-of-way): Existing (sf) 85.42 Proposed total (sf) 10,686.90	
NUMBER OF LOTS AND DENSITY			
# of Detached House Lots:	# of Attached House Lots: 2	# of Townhouse Lots:	
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):	
Total # of Lots: 2	Total # Dwelling Units: 4		
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____			
Proposed density for each zoning district (UDO 1.5.2.F): 5.89			

SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.	
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature:	Date: 5/21/24
Printed Name: Trang T. Le	
Signature:	Date:
Printed Name:	

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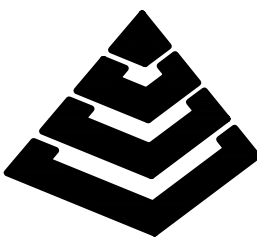
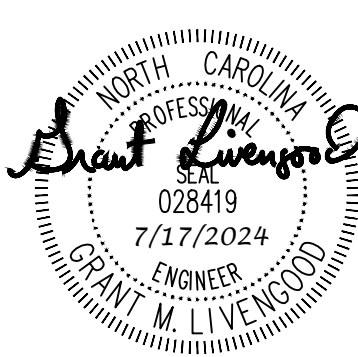
REVISION 09.22.23

raleighnc.gov



### VICINITY MAP

NTS



**MCKIM & CREED**

1730 Varsity Drive, Suite 500  
Raleigh, North Carolina 27606  
Phone: (919)233-8091, Fax: (919)233-8031  
F-1222

www.mckimcreed.com

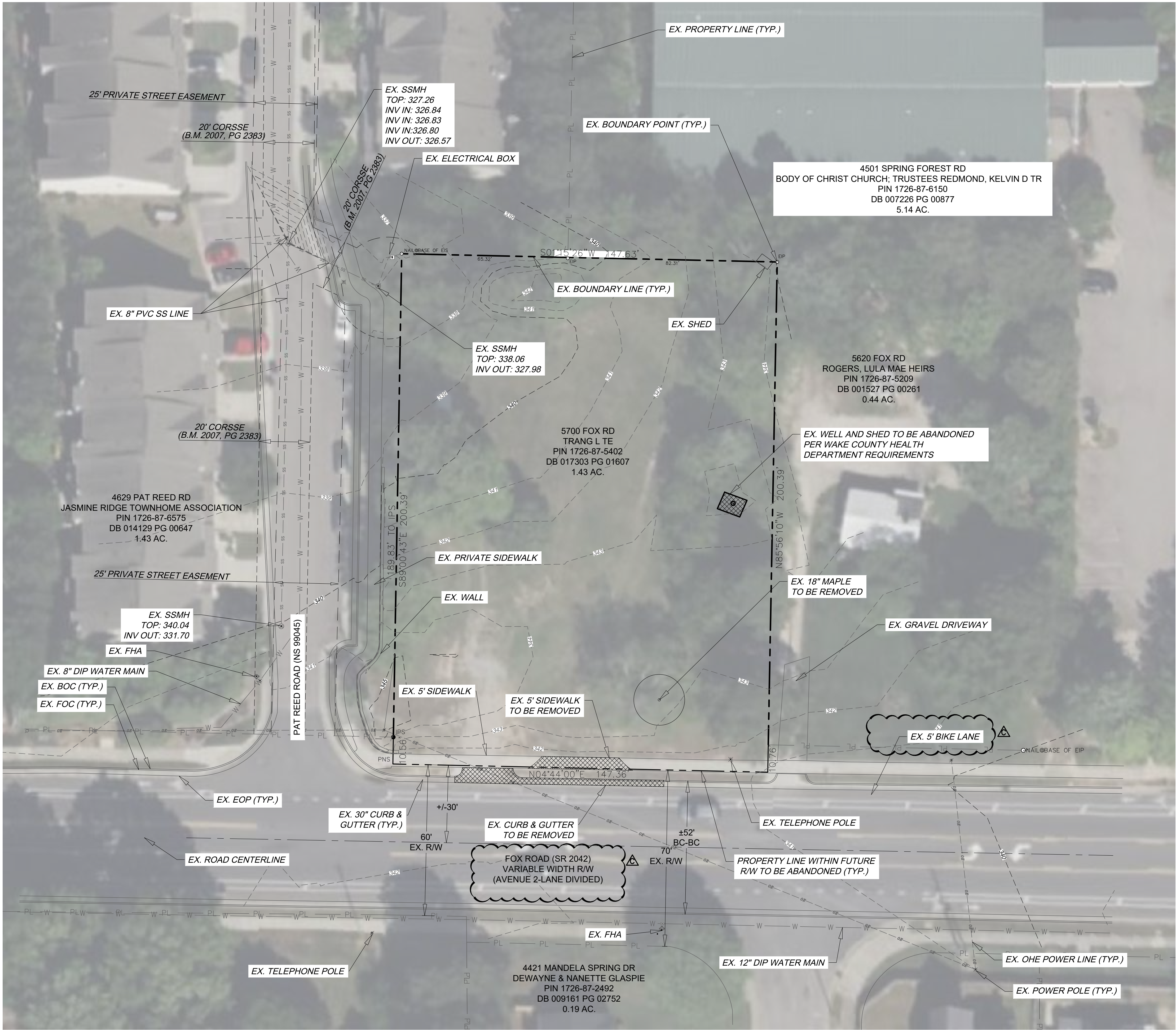


HOLLY TREE SUBDIVISION - PRELIMINARY SUBDIVISION PLANS

09531-0001

ISSUED FOR PERMIT





- GENERAL NOTES:**
1. THE PROPERTY INCLUDED IS ZONED R-4.
  2. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND MEASUREMENTS.
  3. EXISTING BOUNDARY, AND SITE ELEMENTS INFORMATION ARE BASED ON AN EXISTING CONDITIONS SURVEY BY RWK, PA, 101 WEST ST., SUITE 202, GARNER, NC 27529, PHONE NUMBER: 919.779.4854, ENTITLED "EXISTING CONDITIONS SURVEY OF 5700 FOX ROAD, DB 17303, PG 1607" AND DATED 10-21-2021. TOPOGRAPHIC INFORMATION IS BASED ON A FIELD STUDY PERFORMED BY RWK, PA.
  4. PROJECT IS LOCATED IN THE NEUSE RIVER BASIN.
  5. NO PORTION OF THIS PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA "AE" AS SHOWN ON FEMA FIRM MAP #3720172600K DATED JULY 19, 2022.
  6. EXISTING STORM AND SEWER ELEVATIONS BASED ON SURVEY BY RWK, PA UNLESS OTHERWISE NOTED.
  7. PROPERTY IS OUTSIDE OF THE CITY LIMITS. ANNEXATION WILL BE REQUIRED.

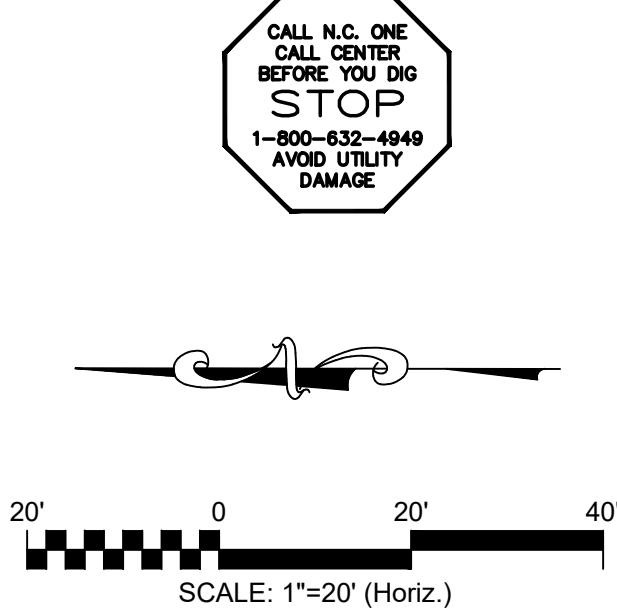
**\*\*\* NOTICE TO CONTRACTOR \*\*\***

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.

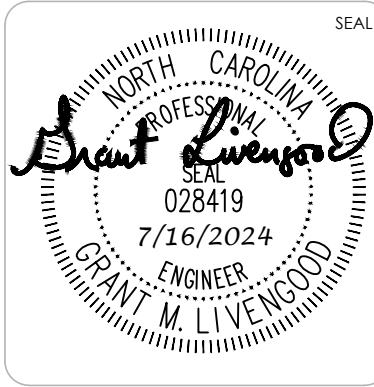
**SURVEY REFERENCES:**  
DEED BOOK 017303, PAGE 01607

- DEMOLITION NOTES:**
1. NO EARTH-DISTURBING ACTIVITIES SHALL COMMENCE UNTIL ALL PERIMETER EROSION CONTROL MEASURES ARE IN PLACE IN ACCORDANCE WITH THE EROSION CONTROL SEQUENCE SHOWN IN THESE PLANS.
  2. NO EARTH-DISTURBING ACTIVITY OR OTHER WORK SHALL TAKE PLACE WITHIN WETLAND AREAS NOTED ON SURVEY. CONTRACTOR SHALL FIELD VERIFY WETLAND LIMITS FLAGGING IS IN PLACE AND SHALL NOT ENTER WETLAND AREAS. IF WETLAND FLAGGING IS MISSING OR OTHERWISE DAMAGED, IT IS CONTRACTOR'S RESPONSIBILITY TO NOTE WETLAND LIMITS AND PREVENT DISTURBANCE OR OTHER ACTIVITY WITHIN WETLANDS.
  3. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNER MONUMENTS, AND SHALL HAVE, AT HIS EXPENSE, ALL CORNER MONUMENTS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
  4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS, AT HIS EXPENSE, DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING CONSTRUCTION, WHICH INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
  6. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION AND DISPOSAL OF ALL DEMOLITION DEBRIS.
  7. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
  8. CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT ALL UTILITIES AND APPURTENANCES TO REMAIN.

LEGEND	
	EX. PROPERTY BOUNDARY
	EX. CONTOUR LINE
	EX. EASEMENT LINE
	EX. SANITARY SEWER PIPE
	EX. PUBLIC WATER MAIN
	EX. FIRE HYDRANT
	EX. SANITARY SEWER MANHOLE
	EX. TO BE REMOVED/ABANDONED
	EX. PROPERTY ADJOINER
	EX. OVERHEAD ELECTRIC
	EX. POWER POLE



REV. NO.	DESCRIPTION	DATE
D	REVISION PER CITY OF RALEIGH REVIEW COMMENTS	2024.07.16
C	REVISION PER CITY OF RALEIGH REVIEW COMMENTS	2024.05.24
B	REVISIONS PER CITY OF RALEIGH COMMENTS	2024.02.23
A	REVISIONS TO PREVIOUSLY APPROVED PRELIMINARY SUBDIVISION PLAN SUB-0005-2022, DATED MARCH 4, 2022	2023.10.23



**MCKIM & CREED**

1730 Varsity Drive, Suite 500  
Raleigh, North Carolina 27606  
Phone: (919)233-8091, Fax: (919)233-8031  
F-1222

www.mckimcreed.com



HOLLY TREE SUBDIVISION  
PRELIMINARY SUBDIVISION PLANS  
RALEIGH, NORTH CAROLINA

EXISTING CONDITIONS & DEMOLITION PLAN

DATE: FEBRUARY 23, 2024	SCALE: HORIZONTAL: 1" = 20'	MAC FILE NUMBER: C2.0
MCE PROJ. #: 09531-0001	VERTICAL: N/A	DRAWING NUMBER: C2.0
DRAWN: MMS		
DESIGNED: MMS/ALP		
CHECKED: PEHH		
PROJ. MGR: PEHH		

STATUS: FOR REVIEW ONLY  
NOT FOR CONSTRUCTION



4629 PAT REED RD  
JASMINE RIDGE TOWNHOME ASSOCIATION  
PIN 1726-87-6575  
DB 014129 PG 00647  
1.43 AC.

4501 SPRING FOREST RD  
BODY OF CHRIST CHURCH; TRUSTEES REDMOND, KELVIN D TR  
PIN 1726-87-6150  
DB 007226 PG 00877  
5.14 AC.

5620 FOX RD  
ROGERS, LULA MAE HEIRS  
PIN 1726-87-5209  
DB 001527 PG 00261  
0.44 AC.

4421 MANDELA SPRING DR  
DEWAYNE & NANETTE GLASPIE  
PIN 1726-87-2492  
DB 009161 PG 02752  
0.19 AC.

### SITE DATA

CURRENT PROPERTY OWNER & DEVELOPER:

LE, TRANG T  
515 SIPPICAW OAKS DR  
FLOQUAY VARINA, NC 27526-7663  
CONTACT: TOM PHAN  
PHONE: (919) 649-4111  
EMAIL: TOMHPHAN@GMAIL.COM

ZONING: R-4

GROSS TRACT AREA: 0.68 ACRES  
NET TRACT AREA: 0.64 ACRES  
LOT 1: 14,029 SF 0.32 ACRES  
LOT 2: 13,966 SF 0.32 ACRES

PROPERTY ADDRESS: 5700 FOX ROAD

# TOTAL HOUSING UNITS: 4  
# OPEN SPACE SITES: 0  
# AMENITY SITES: 0

PARCEL PIN: 1726-87-5402  
PLAT/DEED REFERENCE: DB 017303 PG 01607

OVERALL IMPERVIOUS AREA:

PROPOSED IMPERVIOUS AREA: 10,029.72 SF  
ALLOWED MAXIMUM IMPERVIOUS AREA: 10,642.99 SF  
(38% OF NET TRACT AREA)

LOT DIMENSIONS

REQUIRED:  
AREA (MIN) 10,000 SF (5,000 SF/UNIT)  
LOT WIDTH (MIN) 65 FT  
DEPTH (MIN) 100 FT

PROVIDED:  
AREA (LOT1/LOT2) 14,012 SF / 13,996 SF  
LOT WIDTH (LOT1/LOT2) 73.69 FT / 73.69 FT  
DEPTH 188.67 FT TO 190.10 FT

PRINCIPAL SETBACK REQUIREMENTS:

PRIMARY STREET (MIN) 20 FT  
SIDE STREET (MIN) 20 FT  
SIDE LOT LINE (MIN) 10 FT  
REAR LOT LINE (MIN) 30 FT

ACCESSORY STRUCTURE SETBACKS

PRIMARY BUILDING HEIGHT (MAX) 40 FT  
PRIMARY BUILDING STORIES (MAX) 3 STORIES

EXISTING USE FOR SITE IS VACANT.

PROPOSED USE FOR SITE IS RESIDENTIAL.

PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF RALEIGH.  
NO PORTION OF THIS PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA "AE" AS SHOWN ON FEMA FIRM MAPS #3720172600K DATED JULY 19, 2022.

NO WETLAND TO JURISDICTIONAL STREAM OR WETLAND FEATURES ARE LOCATED ON THIS SITE.

### GENERAL CIVIL/SITE JOB DESCRIPTION:

THE JOB CONSISTS OF SITE CLEARING, TOPSOIL/ORGANIC STRIPPING, TEMPORARY STOCKPILING AND REMOVAL, SITE GRADING, INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, SEEDING/SODDING AND MULCHING; STORM DRAIN INSTALLATION, SANITARY SEWER INSTALLATION, WATER LINE INSTALLATION, ASPHALTIC AND CONCRETE PAVING, CURB AND GUTTER INSTALLATION, SIDEWALK, LANDSCAPING, AND OTHER WORK AS DESIGNATED. CONSTRUCTION STAKEOUT FOR THE PROJECT SHALL BE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.

### LEGEND

EX. PROPERTY BOUNDARY  
STANDARD DUTY ASPHALT  
CONCRETE PAVEMENT  
BUILDING FOOTPRINT



20' 0 20' 40'  
SCALE: 1"=20' (Horiz.)

### SITE GENERAL NOTES:

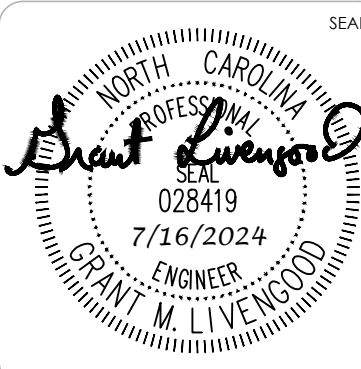
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT/ENGINEER.
- CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE ARCHITECT/ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
- TOPOGRAPHIC INFORMATION IS BASED ON A FIELD STUDY PERFORMED BY RWK, PA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL ILLUSTRATED CONSTRUCTION ACTIVITIES AT THE JOB SITE.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS GOVERNING THE CONSTRUCTION INDUSTRY, INCLUDING BUT NOT LIMITED TO THOSE PERTAINING TO TRAVELING OPERATIONS AND OSHA. PROVIDED THE CONTRACTOR IS NOT IN COMPLIANCE WITH ANY APPLICABLE REGULATIONS, THE CONTRACTOR SHALL NOT BE ALLOWED TO RESUME CONSTRUCTION ACTIVITIES UNTIL THE ISSUES ARE FULLY RESOLVED TO THE SATISFACTION OF THE AUTHORITIES HAVING JURISDICTION. NO ADDITIONAL COMPENSATION WILL BE DUE THE CONTRACTOR FOR LOST TIME, PRODUCTION OR PROFIT DUE TO THE WORK STOPPAGES RESULTING FROM CONTRACTOR'S NONCOMPLIANCE WITH APPLICABLE REGULATIONS.
- UTILIZE SIGNS, BARRICADES, FLAGMEN, OR GUARDS AS REQUIRED TO ENSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, NOTIFY ENGINEER PRIOR TO CONSTRUCTION.
- VERIFY ALL DIMENSIONS AND GRADES AT THE JOB SITE. IN THE EVENT DISCREPANCIES ARE NOTED, NOTIFY ARCHITECT/ENGINEER SO THAT MODIFICATIONS TO THESE DRAWINGS CAN BE MADE.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY LICENSES AND PERMITS REQUIRED TO COMPLETE THE WORK INCLUDED IN THE CONTRACT DOCUMENTS AT THE CONTRACTOR'S EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER. IF REQUIRED, CONTRACTOR SHALL OBTAIN A HAUL ROUTE PERMIT FOR ALL OFF-SITE TRANSPORTATION ACTIVITIES.
- ANY CHANGES OR MODIFICATIONS TO THE PROJECT PLANS SHALL FIRST BE APPROVED BY THE ARCHITECT/ENGINEER.
- CONTRACTOR SHALL ENSURE PROPER DISPOSAL OF CONSTRUCTION SITE WASTE MATERIALS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL TRAFFIC CONTROL DEVICES, INCLUDING BUT NOT LIMITED TO PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' OR AS REQUIRED IN SPECIFICATIONS.
- AS THE FIRST ORDER OF WORK, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR TO LOCATE THE CORNERS OF THE BUILDING IN ACCORDANCE WITH THE DIMENSIONS SHOWN. SHOULD ANY DISCREPANCIES BE NOTED, NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING. TWO BUILDING CORNERS SHOULD BE TIED TO AT LEAST TWO OR MORE PROPERTY CORNERS.
- CONTRACTOR SHALL CROSS REFERENCE, COORDINATE AND REFER TO BUILDING PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXACT BUILDING ENTRANCE/EXIT LOCATIONS, LOCATIONS AND SIZES OF ROOF DOWN SPOUTS, AND UTILITY SERVICES.
- ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN A BOLLARD.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS TO PERFORM THE WORK.
- BUILDING FOOTPRINTS AND ENVELOPES ARE FOR REFERENCE ONLY. BUILDINGS, FOOTPRINTS, SETBACKS AND OTHER APPLICABLE STANDARDS INCLUDING PER UNIT MEASUREMENTS WILL BE REVIEWED AT BUILDING PERMITTING.

HOLLY TREE SUBDIVISION  
PRELIMINARY SUBDIVISION PLANS  
RALEIGH, NORTH CAROLINA

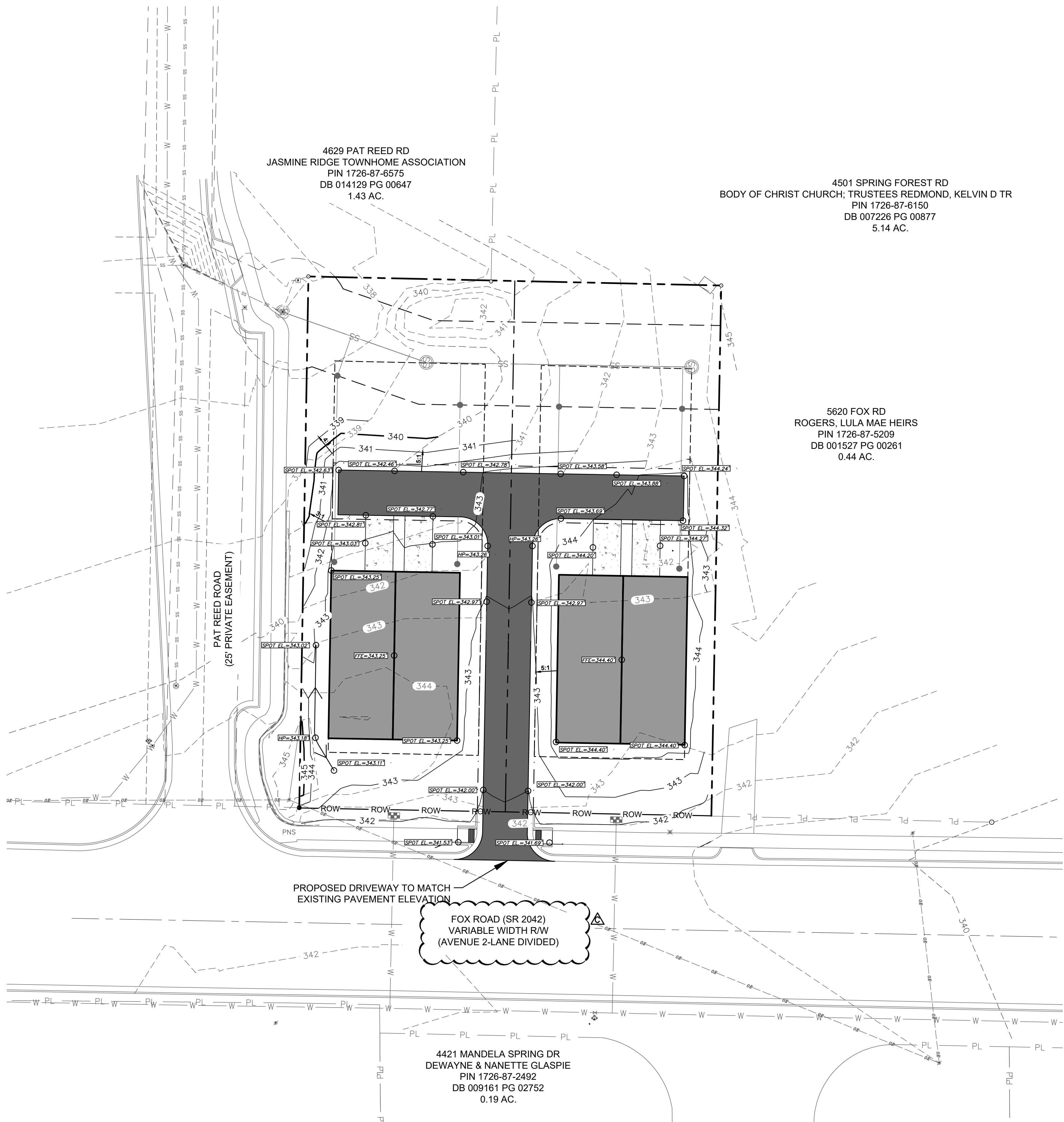
SITE & SUBDIVISION PLAN

REV. NO.	DESCRIPTION	DATE
D	REVISION PER CITY OF RALEIGH REVIEW COMMENTS	2024.07.16
C	REVISION PER CITY OF RALEIGH REVIEW COMMENTS	2024.05.24
B	REVISIONS PER CITY OF RALEIGH COMMENTS	2024.02.23
A	REVISIONS TO PREVIOUSLY APPROVED PRELIMINARY SUBDIVISION PLAN SUB-0005-2022, DATED MARCH 4, 2022	2023.10.23

SEAL



DATE: FEBRUARY 23, 2024	SCALE	MAC FILE NUMBER
MCE PROJ. # 09531-0001	HORIZONTAL: 1" = 20'	C3.0
DRAWN: MMS	VERTICAL: N/A	DRAWING NUMBER
DESIGNED: MMS/ALP		C3.0
CHECKED: PEHH		
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STATUS: FOR REVIEW ONLY NOT FOR CONSTRUCTION		REVISION D

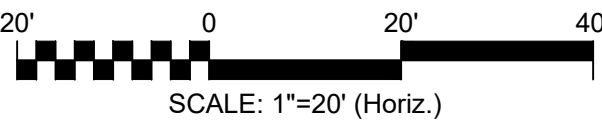


GENERAL NOTES:

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" AT 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
3. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON BEST AVAILABLE RECORD DRAWINGS AND SURVEY DATA PROVIDED BY MCKIM & CREED.
4. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED TO THE STANDARD PROCTOR MAXIMUM DRY DENSITY UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
5. ALL GRADED AREAS SHALL BE SLOPED SUCH THAT NO AREAS OF STANDING WATER OCCUR AND ALL AREAS POSITIVELY DRAIN TO DRAINAGE STRUCTURES, SWALES OR STORMWATER MANAGEMENT FACILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND SHALL REPLACE ALL MARKERS REMOVED IF DAMAGED DURING CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NECESSARY THROUGHOUT CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL PERMIT CONDITIONS, MONITORING AND REPORTING REQUIREMENTS.
9. GRADED SLOPES STEEPER THAN 3:1 OR GREATER THAN 10' IN HEIGHT AND SLOPES WITHIN PERMANENT STORMWATER MANAGEMENT PONDS AND TEMPORARY SEDIMENT BASINS SHALL BE STABILIZED WITH CURLEX SINGLE NET (CURLEX I) MATTING BY AMERICAN EXCELSIOR COMPANY OR APPROVED EQUAL AND INSTALLED PER DETAILS PROVIDED.
10. BUILDING FOOTPRINTS AND ENVELOPES ARE FOR REFERENCE ONLY. BUILDINGS, FOOTPRINTS, SETBACKS AND OTHER APPLICABLE STANDARDS INCLUDING PER UNIT MEASUREMENTS WILL BE REVIEWED AT BUILDING PERMITTING.

LEGEND

- BUILDING FOOTPRINT
- EX. PROPERTY BOUNDARY
- EX. CONTOUR LINE
- NEW CONTOUR LINE



REV.	DESCRIPTION	DATE
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REV.	DATE	

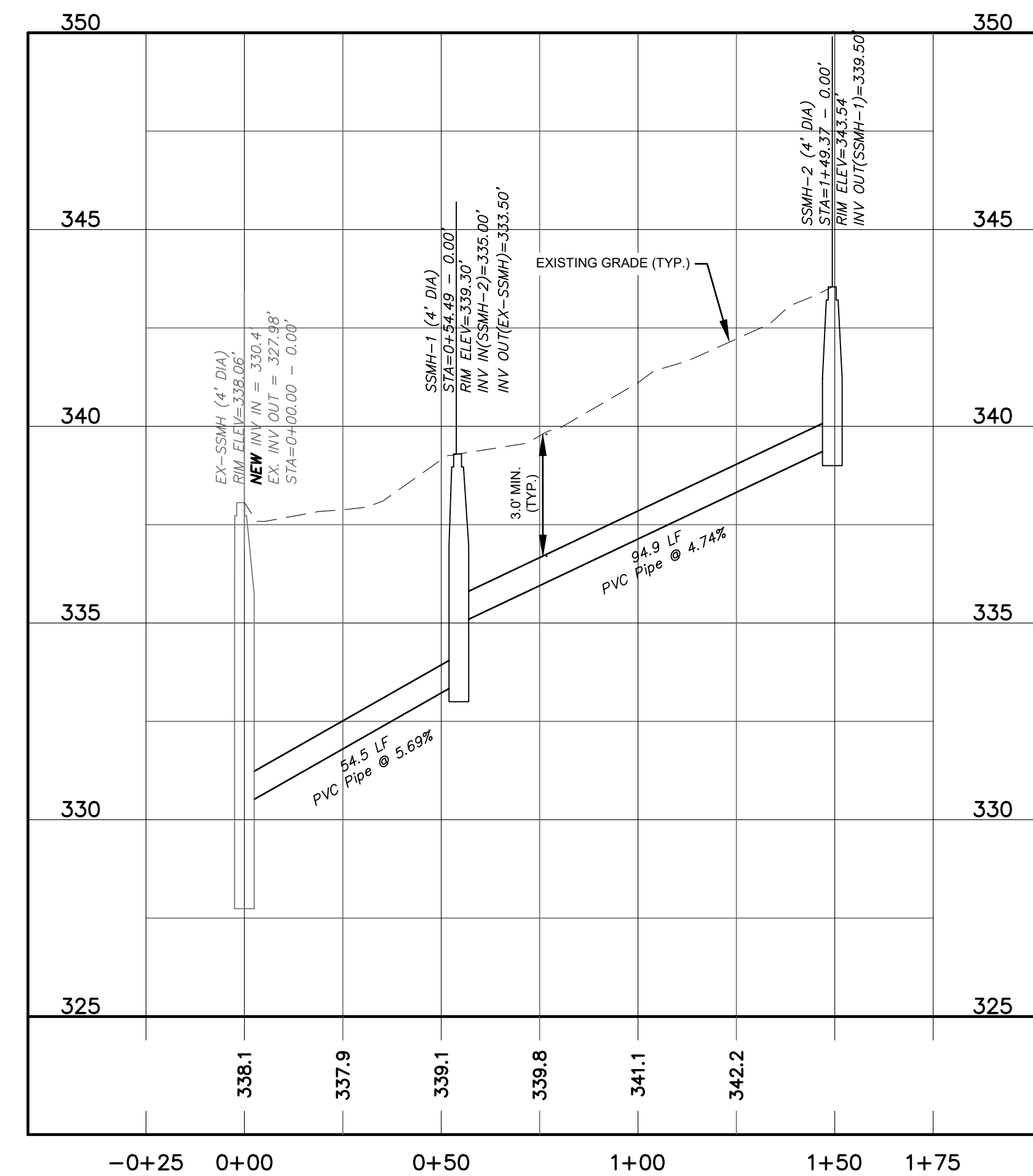


HOLLY TREE SUBDIVISION  
PRELIMINARY SUBDIVISION PLANS  
RALEIGH, NORTH CAROLINA

GRADING & DRAINAGE PLAN

DATE: FEBRUARY 23, 2024	SCALE: HORIZONTAL: 1"=40'	M&C FILE NUMBER: C7.0
MCE PROJ. # 09531-0001	VERTICAL: 1"=4'	DRAWING NUMBER: C7.0
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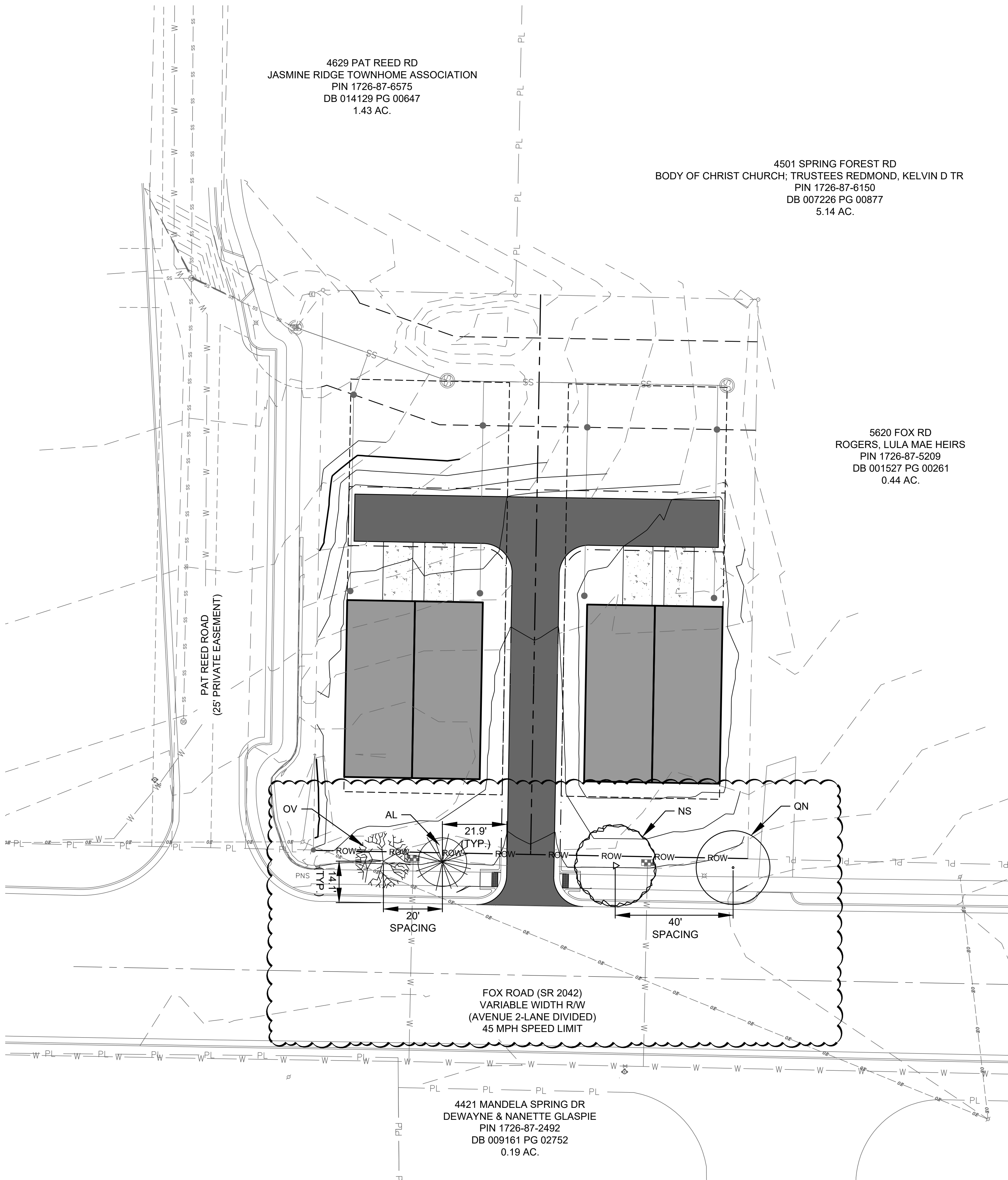


DATE:	FEBRUARY 23, 2024	SCALE	MMC REVIEWING
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DRAWN	MMS		DRAWING NUM
DESIGNED	MMS/ALP		C8.0
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PROJ. MGR.	PEHH		

STATUS: FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

REVISION  
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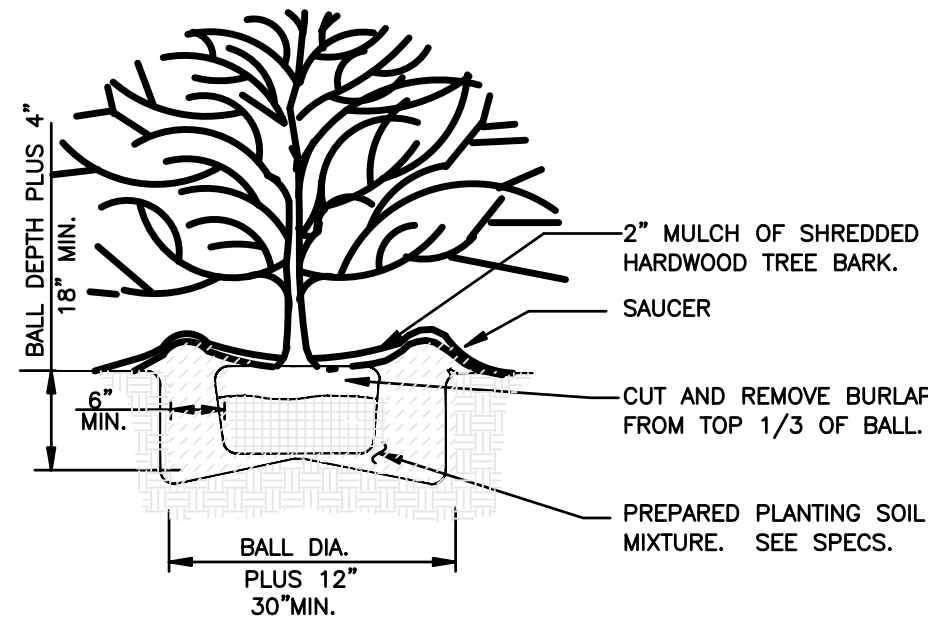
GENERAL NOTES – APPLY TO ALL LANDSCAPE SHEETS

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- ALL MATERIALS CONSTRUCTION, AND WORKMANSHIP SHALL MEET THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) STANDARDS.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- ALL WORK WITHIN THE NCDOT ROW SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NEEDED PERMITS. AGREEMENTS AND SUPPLY NOTIFICATIONS OF CLOSURES FROM THE NCDOT.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR USING A DIGITAL (CADD) FILE PROVIDED THROUGH THE CLIENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE STAKING DIMENSIONS SHOWN ON THE PLAN OR DISCREPANCIES FOUND BETWEEN THE LAYOUT AND THE SITE. ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED SHALL RENDER IT VOID. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE DESIGN LAYOUT OR EXISTING CONDITIONS, THE CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THE DIGITAL FILE.
- UTILITIES ARE SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL UTILITY INFORMATION.
- BUILDING FOOTPRINTS AND ENVELOPES ARE FOR REFERENCE ONLY. BUILDINGS, FOOTPRINTS, SETBACKS AND OTHER APPLICABLE STANDARDS INCLUDING PER UNIT MEASUREMENTS WILL BE PLANTING NOTES.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST QUANTITIES, THE PLAN SHALL TAKE PRECEDENCE.
- AFTER THE SITE IS STABILIZED AND FREE OF SEDIMENTATION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES, SILT, RIP RAP, AND TEMPORARY STONE STAGING AREAS FOR REPLACEMENT WITH PLANTING SOIL. PROVIDE PLANTING ACCORDING TO THE LANDSCAPE PLAN.
- UNLESS OTHERWISE NOTED IN THE PLANT LIST, THE CONTRACTOR SHALL OBTAIN AND INSTALL ONLY PLANT MATERIAL THAT IS GROWN ON ITS OWN ROOT. ALL GRAFTED OR BUDDED PLANT MATERIAL WILL BE REJECTED.
- ALL TREES SHALL BE OBTAINED FROM THE NURSERY WITH EXPOSED ROOT CROWNS. B&B MATERIAL DELIVERED TO SITE WITH BURIED OR RECENTLY BURIED ROOT CROWNS WILL BE REJECTED.
- FURNISHED PLANT MATERIAL SHALL MEET THE MINIMUM HEIGHT OR MINIMUM SPREAD DIMENSIONS SHOWN IN THE PLANT LIST HEADINGS. THE CONTRACTOR SHALL UTILIZE THE MOST STRINGENT DIMENSION SHOWN ON THE PLANT LIST.
- DO NOT PLANT IN STORM WATER CONVEYANCE SWALES OR PROVIDE FINE GRADING THAT DISRUPTS FLOW OR CHANGES LONGITUDINAL SLOPES.
- THE PLANTING LAYOUT WITHIN PLANTING BEDS SHOULD BE SHIFTED TO MINIMIZE CONFLICTS WITH EXISTING TREE ROOTS.
- THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS INCLUDING CONSTRUCTION ACCESS OUTSIDE PROJECT LIMITS.
- SPACING OF TREES SHOULD ALLOW FOR A CLEAR VIEW OF BUILDINGS AND LAND USE
- STREET TREES SHALL BE PLANTED AS CANOPY TREES INSTALLED AT AN AVERAGE DISTANCE OF 50' O.C.; YET IN SOME LOCATIONS FACTORS SUCH AS EASEMENTS, UTILITIES, UTILITY COORDINATION, DRIVEWAYS, BLOCK LENGTHS ETC. MAY RESULT IN A +/- DEVIATION. ANY TREE LOCATIONS CONFLICTING WITH PROPOSED UTILITIES SHALL BE RESOLVED IN THE FIELD.
- STREET TREES SHALL BE PLACED AT LEAST 8' FROM LIGHT POLES AND 10' FROM ELECTRICAL TRANSFORMERS FOR SERVICE. CONTRACTOR TO FIELD VERIFY ALL LIGHT AND UTILITY LOCATIONS PRIOR TO INSTALLATION.
- WHERE PLANTINGS ARE NOT REQUIRED BY THE CITY OF RALEIGH UDO, BUT ARE SHOWN ON THE PLAN FOR REFERENCE ONLY WITH THE NOTATION NIC (NOT IN CONTRACT), DESIGN IS SUBJECT TO CHANGE WITHOUT NOTIFICATION.
- STREET LIGHTS ARE SHOWN FOR SCHEMATIC PURPOSES AND MAY CHANGE BASED ON FINAL LAYOUT TO BE PROVIDED BY DUKE PROGRESS ENERGY.
- STREET TREES TO BE PLANTED MIDWAY BETWEEN SIDEWALK AND PROPOSED R/W.
- NCDOT REQUIRES A 12' MINIMUM CLEAR ZONE FROM THE TREE TO THE EDGE OF TRAVEL LANE ON A MUNICIPAL AND LOCAL ROADS WITH A SPEED LIMIT OF 45 MPH. SEE TABLE BELOW FROM THE NCDOT GUIDELINES FOR PLANTING WITHIN HIGHWAY RIGHT-OF-WAY.

Minimum Large Tree Setbacks – Municipal and Local Roads:

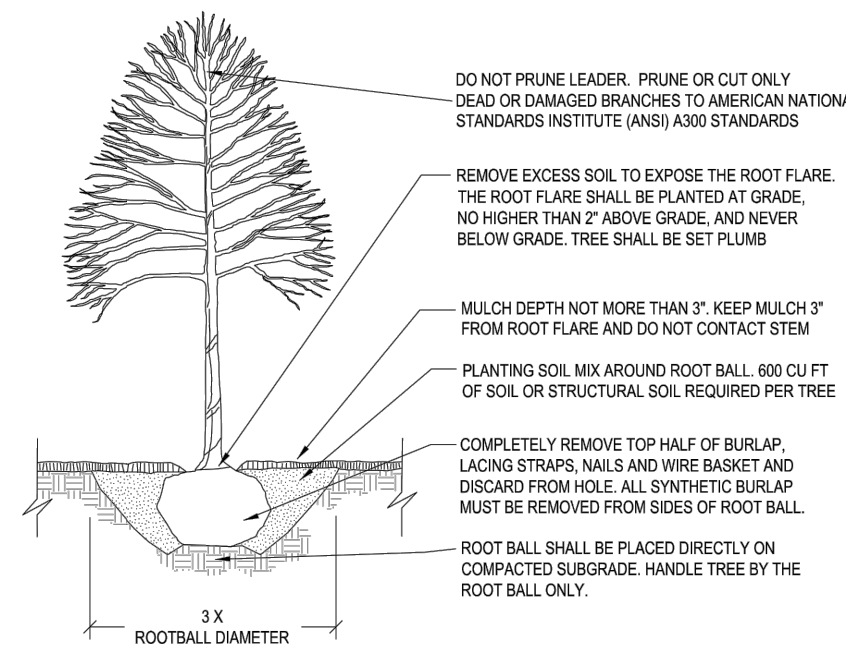
URBAN / SUBURBAN			RURAL		
Posted Speed	Urban Street Type	Clear Zone (setback)	Posted Speed	Rural Street Type	Clear Zone (setback)
≤ 25 mph	Main Street, Avenue, Boulevard	8'	≤ 25 mph	Village Main Street	8'
>25 - 35 mph	Avenue, Boulevard	10'	>25 - 35 mph	Avenue, Boulevard, Rural Road	14'
>35 - 45 mph	Boulevard, Parkway	12'	>35 - 45 mph	Boulevard Parkway, Rural Road	20'
> 45 mph	Parkway	30'	> 45 mph	Parkway, Rural Road	30'

Sym.	Botanical Name	Common Name	Qty.	Caliper	Height	Spread	Comments
<b>Trees</b>							
<b>LARGE MATURING TREES</b>							
NS	Nyssa Sylvatica	Tupelo	1	3"	50'-60'	35-40'	BB, Evenly Branched, Matched, Limbed Up
QN	Quercus nuttali	Nuttall Oak	1	3"	60'-70'	30'-35'	BB, Evenly Branched, Matched, Limbed Up
<b>UNDERSTORY TREES</b>							
AL	Acer Leucoderme	Chalk Maple	1	1.5"	25'-30'	15'-30'	Single-Stem
OV	Ostrya Virginiana	Hophornbeam	1	1.5"	20'-30'	20'-30'	Single-Stem



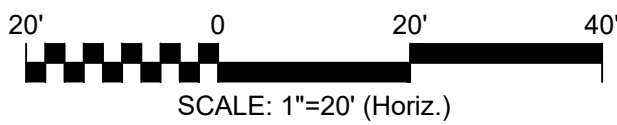
SHRUB PLANTING DETAIL

NOT TO SCALE



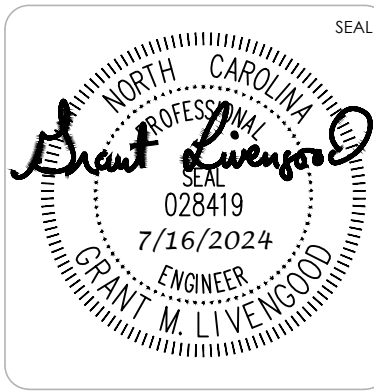
- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISED	DATE	NOT TO SCALE
10/2019	09/18/2019	
TREE PLANTING DETAIL		
TTP-03		



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SEAL



**MCKIM & CREED**

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F-1222

www.mckimcreed.com

HOLLY TREE SUBDIVISION  
PRELIMINARY SUBDIVISION PLANS  
RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN

DATE:	FEBRUARY 23, 2024
MCE PROJ. #	09531-0001
DRAWN:	MMS
DESIGNED:	MMS/ALP
CHECKED:	PEHH
PROJ. MGR.	PEHH
STATUS:	FOR REVIEW ONLY NOT FOR CONSTRUCTION

SCALE	HORIZONTAL: 1" = 20'
VERTICAL:	N/A

M&C FILE NUMBER	C10.0
DRAWING NUMBER	C10.0
REVISION	D