



Administrative Approval Action

Case File / Name: SUB-0006-2020
Jamestown

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located west of Garner Road, on the north side of Como Drive at 421 and 427 Como Drive.

REQUEST: Development of a 0.57 acre/24,993 sf tract, with a right-of-way dedication of 625 sf/.014 acres, zoned R-10, into 5 proposed subdivision lots. This subdivision was originally approved as part of preliminary subdivision plan SUB-S-24-2018. The applicant is revising the originally approved subdivision plan, SUB-S-24-2018, which approved 4 lots, with this proposed subdivision plan of 5 proposed lots.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0105-2020: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 1, 2018 by JOHN PHELPS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Stormwater

4. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
5. A grading permit will be required prior to issuance of a demolition permit. (UDO 9.4.6)

Urban Forestry

6. A public infrastructure surety for 13 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 13 street trees along Como Drive.

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

Urban Forestry

2. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:



Administrative Approval Action

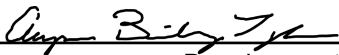
Case File / Name: SUB-0006-2020
Jamestown

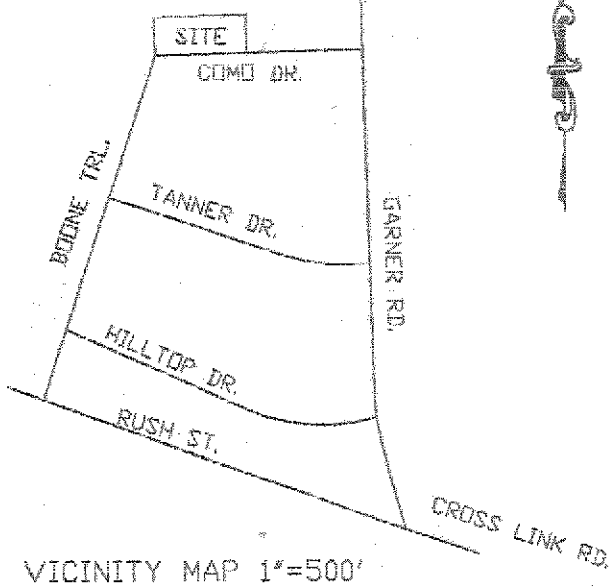
City of Raleigh
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3-Year Sunset Date: April 1, 2023
Record at least ½ of the land area approved.

5-Year Sunset Date: April 1, 2025
Record entire subdivision.

I hereby certify this administrative decision.

Signed:  Date: 04/01/2020
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

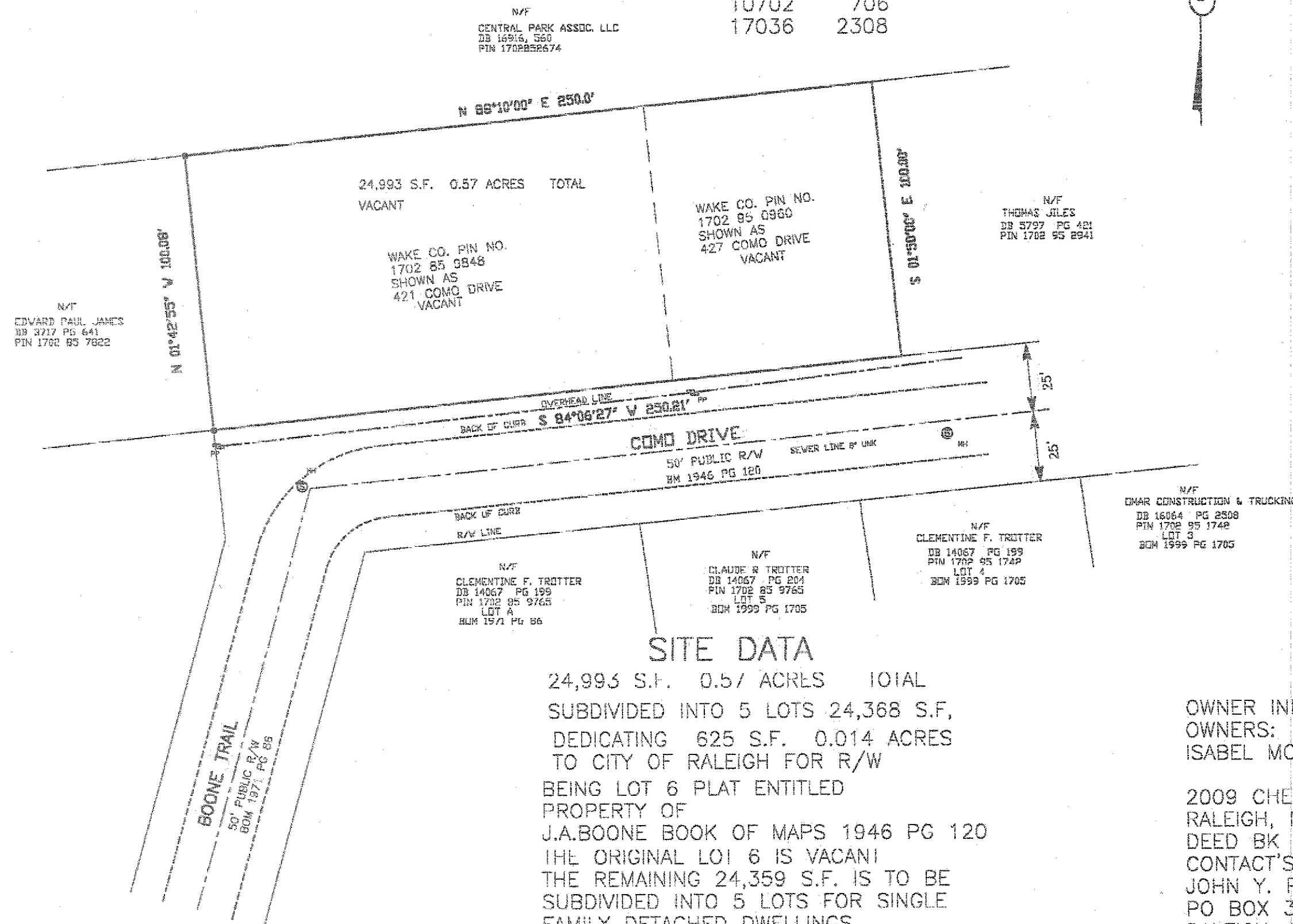


CASE NO. S-24-18
TRANSACTION NO. 557909
WAS APPROVED AA#3900 AS A 4 LOT
SUBDIVISION. BECAUSE OF TC-3-19
THE DEVELOPER WANTS TO RE-SUBMIT
DUE TO CURRENT TEXT CHANGES

SUBJECT PROPERTY IS _____ IS NOT ☒ LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DESIGNATED ON FEDERAL
EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP
NUMBER 3720170200J ZONE X

NOTE:

I, CAN NOT FIND WHERE THIS HAS BEEN
TWO PARCELS: IT HAS BEEN CONVEYED
AS LOT 6 BOOK OF MAPS 1946 PG 120
THREE TIMES SINCE JUNE 11, 2001.
BOOK 8955 PG 2228
14320 2201
10702 706
17036 2308



SITE DATA

24,993 S.F. 0.57 ACRES TOTAL
SUBDIVIDED INTO 5 LOTS 24,368 S.F.
DEDICATING 625 S.F. 0.014 ACRES
TO CITY OF RALEIGH FOR R/W
BEING LOT 6 PLAT ENTITLED
PROPERTY OF
J.A. BOONE BOOK OF MAPS 1946 PG 120
THE ORIGINAL LOT 6 IS VACANT
THE REMAINING 24,359 S.F. IS TO BE
SUBDIVIDED INTO 5 LOTS FOR SINGLE
FAMILY DETACHED DWELLINGS

PLANS SHEET INDEX

SHEET 1 OF 5 COVER SHEET
SHEET 2 OF 5 EXISTING CONDITIONS
SHEET 3 OF 5 PROPOSED SUBDIVISION
SHEET 4 OF 5 PROPOSED UTILITY PLAN & LANDSCAPE PLAN
SHEET 5 OF 5 PROPOSED PLANTING INFORMATION

OWNER INFORMATION

OWNERS:
ISABEL MOSS RENOVATION DESIGN INC.

2009 CHESTER ROAD
RALEIGH, N.C. 27615-4422
DEED BK 17036 PG 2308
CONTACT'S NAME
JOHN Y. PHELPS
PO BOX 30122
RALEIGH, N.C. 27612
PHONE 919 787-3658
FAX 919 787-6727
E MAIL JR81@BELLSOUTH.NET

DEVELOPMENT SERVICES

Preliminary Subdivision Plan Application

Development Services Customer Service Center • One Exchange Place, Suite 420 • Raleigh, NC 27601 • 919-855-2465



This form is used when submitting a Preliminary Subdivision Plan Application. Please check the appropriate review type and include the plan checklist document.

Office Use Only: Transaction #:		Planning Coordinator:	
DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District.			
GENERAL INFORMATION			
Development name (subject to approval): JAMESTOWN			
Property Address(es): 421 & 427 COMO DRIVE			
Recorded Deed PIN(s): 1702 85 9848 1702 85 0960			
What is your project type? <input checked="" type="checkbox"/> Single family <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other <input type="checkbox"/> Attached houses			
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION			
Company: ISABEL MOSS RENOVATION		Owner/Developer Name and Title: ISABEL MOSS RENOVATION DESIGN INC	
Address: 2009 CHESTER RD., RALEIGH, N.C. 27615-4422			
Phone #: 919 822-3431		Email:	
APPLICANT INFORMATION			
Company:		Contact Name and Title: JOHN Y. PHELPS PLS-1319	
Address: PO BOX 30122		Address: PO BOX 30122	
Phone #: 919 787-3658		Email: JR81@BELLSOUTH.NET	
DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)			
ZONING INFORMATION			
Gross site acreage: 0.57 ACRES			
Zoning districts (if more than one, provide acreage of each): R-10			
Overlay district: NONE		Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Conditional Use District (CUD) Case #:		Board of Adjustment (BOA) Case #:	

Page 1 of 2

RALEIGH, NC
raleighnc.gov

STORMWATER INFORMATION

Existing Impervious Surface:		Proposed Impervious Surface:	
Acre:	Square Feet:	Acre:	Square Feet:
Nature River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please provide the following:			
Flood study:			
FEMA Map Panel #:			
NUMBER OF LOTS AND DENSITY			
Total # of townhouse lots:	Detached	Attached	
Total # of single-family lots:	5		
Proposed density for each zoning district (UDO 1.5.2.F): 5/0.57=8.77			
Total # of open space and/or common area lots: NONE			
Total # of requested lots: 5			

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate JOHN Y. PHELPS to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:	Date: 1/26/20
Printed Name: JAMES MOSS VICE PRESIDENT	
Signature:	Date:
Printed Name:	

NOTES FOR SOLID WASTE

- SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE COLLECTION DESIGN MANUAL.
- REFUSE CONTAINERS ARE TO BE ROLLED TO THE CURB OF THE PUBLIC RIGHT OF WAY AND SERVICED BY CITY OF RALEIGH SOLID WASTE SERVICES. CARTS WILL BE STORED IN GARAGES OR ON A 6'X6' CONCRETE PAD TO THE SIDE OR REAR OF THE HOUSE.

0 40' 80' 120'

BAR GRAPH

LEGEND

EIP EXISTING IRON PIPE MH MANHOLE
NIP NEW IRON PIPE PP POWER POLE
MON MONUMENT R/W RIGHT OF WAY
PK PARKER KALON NAIL C/L CENTER LINE
C.B. CATCH BASIN FES FLARED END SECTION
TCE TEMP. CONST. CASEMENT
DWE DRIVEWAY EASEMENT

THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF
A TITLE SEARCH AND IS SUBJECT TO ANY FACTS
WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE
TITLE SEARCH

WAKE COUNTY PIN NO. 1702 85 9848 & 1702 95 0960

SHEET 1 OF 5

SCALE 1"=40'	COVER SHEET	CASE NO. SUB-006-2020
DATE 08/01/18	JAMESTOWN	
FD. BK. 1587 100803	421 AND 427 COMO DRIVE, RALEIGH, N.C. 27610	
	RALEIGH, N.C.	
JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR		
5110 BUR OAK CIRCLE, RALEIGH, N.C. 27612 PHONE (919) 787-3658		

RECORDED IN BOOK OF MAPS _____ PAGE _____ WAKE COUNTY

SUBJECT PROPERTY IS _____ IS NOT X LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DESIGNATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP NUMBER _____ ZONE _____

N/F
CENTRAL PARK ASSOC. LLC
DB 16916, 560
PIN 1702852674

N/F
THOMAS JILES
DB 5797 PG 421
PIN 1702 95 2941

N/F
EDWARD PAUL JAMES
DB 3717 PG 641
PIN 1702 85 7822

N/F
OMAR CONSTRUCTION & TRUCKING
DB 16064 PG 2508
PIN 1702 95 1742
LOT 3
BOM 1999 PG 1705

N/F
CLAUDE R. TROTTER
DB 14067 PG 199
PIN 1702 85 9765
LOT 4
BOM 1999 PG 1705

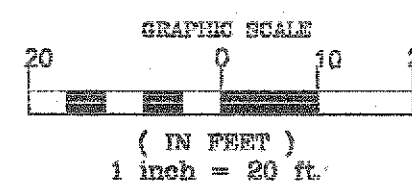
N/F
CLEMENTINE F. TROTTER
DB 14067 PG 199
PIN 1702 95 1742
LOT 4
BOM 1999 PG 1705

N/F
CLEMENTINE F. TROTTER
DB 14067 PG 199
PIN 1702 85 9765
LOT A
BOM 1999 PG 86

NOTE:
TAX PARCELS 1702-85-9848 AND 1702-95-0960
WERE CONVEYED AS A SINGLE PARCEL.
D.B.17036 PG 2308-CURRENT OWNER (2018)
THE ORIGINAL CONVEYANCE OF LOT 6 BY J.A. BOONE,
DB 968 PG 242 (1947)

BEING LOT 6 PLAT ENTITLED
PROPERTY OF
J.A. BOONE BOOK OF MAPS 1946 PG 120

THIS PROPOSED SUBDIVISION WAS NOT DRAWN
FOR A FIELD SURVEY.
FOR BOUNDARY SEE PLAT ENTITLED PROPERTY
OF ERIN ENTEWPRISE, LTD BY IRVIN A. STATON
DATED 10/18/18
FOR TOPO SEE WAKE COUNTY GIS



LEGEND
EXP EXISTING IRON PIPE MH MANHOLE
NIP NEW IRON PIPE PP POWER POLE
MON MONUMENT R/W RIGHT OF WAY
PK PARKER KALON NAIL C/L CENTER LINE
C.B. DITCH BASIN FES PLANNED END SECTION
TCE TEMP. CONST. EMBLEMENT
DWE DRIVEWAY EMBLEMENT

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TITLE SEARCH

WAKE CO. PIN NO. 1702 85 9848 AND 1702 95 0960

SHEET 2 OF 5

SCALE
1"=20'

DATE
06/01/18

FD. BK1567
FB
#100803

EXISTING CONDITIONS

CASE NO. SUB-006-2020

JAMESTOWN

421 & 427 COMO DRIVE, RALEIGH, N.C. 27610
RALEIGH, N.C.

ST. MARY'S TWSP., WAKE COUNTY, N.C.

JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR
5110 BUR OAK CIRCLE, RALEIGH, N.C. 27612 PHONE (919) 787-3658

RECORDED IN BOOK OF MAPS _____ PAGE _____ WAKE COUNTY

SUBJECT PROPERTY IS _____ IS NOT X LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DESIGNATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP NUMBER 3720170200J ZONE X

N/F
CENTRAL PARK ASSOC. LLC
DB 16916, 560
PIN 1702852674

N/F
THOMAS JILES
DB 5797 PG 421
PIN 1702 95 2941

625 S.F., 2.5 FEET OF ADDITIONAL R/W WILL BE DEDICATED WITH THE RECORDATION OF JILES SUBDIVISION FOR A TOTAL OF 27.5 FEET, HALF OF A 55' R/W.

N/F
DMAR CONSTRUCTION & TRUCKING
DB 16064 PG 2508
PIN 1702 95 1742
LOT 3
BOM 1999 PG 1705

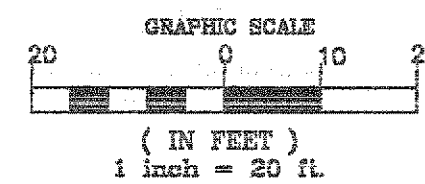
N/F
CLEMENTINE F. TROTTER
DB 14067 PG 199
PIN 1702 95 1742
LOT 4
BOM 1999 PG 1705

N/F
CLAUDE R. TROTTER
DB 14067 PG 204
PIN 1702 95 9765
LOT 5
BOM 1999 PG 1705

N/F
CLEMENTINE F. TROTTER
DB 14067 PG 199
PIN 1702 95 9765
LOT A
BOM 1971 PG 86

NOTE:

1. PER SECTION 9.2.2.A.2.b.i SUBJECT TO 4.d. OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.
2. SEE CITY OF RALEIGH STANDARD DETAIL DRAWING W-34 FOR WATER CONNECTION AND S-30 FOR SEWER CONNECTION
3. LOTS MAY BE SUBJECT TO UDO SEC. 2.2.7 INFILL REGULATIONS



LEGEND	
EXP	EXISTING IRON PIPE
EXP	EXISTING IRON PIPE
MON	MONUMENT
PK	PARKER RAILROAD
C.B.	CHUCK BRIN
TOE	TOE OF EASEMENT
DRW	DRIVEWAY EASEMENT
MI	MANHOLE
PP	POWER POLE
R/W	RIGHT OF WAY
C/L	CENTER LINE
FES	FLARED END SECTION

THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY FACTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH

SCALE 1"=20'	PROPOSED SUBDIVISION	CASE NO. SUB-006-2020
DATE 6/01/16	JAMESTOWN	
FD. BK1567 FB #100803	RALEIGH, N.C.	
	ST. MARY'S TWP., WAKE COUNTY, N.C.	
	JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR	
	5110 BUR OAK CIRCLE, RALEIGH, N.C. 27612 PHONE (919) 787-3658	

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NUMBER 3720170200J ZONE X

N/F
CENTRAL PARK ASSOC. LLC
DB 16916, 560
PIN 1702852674

PLANTING PLAN

BOTANICAL/Common Name CALIPER SPACING
LAGERSTROEMIA INDICA CRAPE MYRTLE 1 1/2" 20' O.C.
CRAPE MYRTLE OR EQUAL SINGLE STEM

STREET TREE CALCULATIONS

COMO DRIVE (TREES UNDER OVERHEAD UTILITIES)
REQUIRED: 1 UNDERSTORY TREE EVERY 20' SEC. 8.5D.2
MATURE HEIGHT OF 15' TO 35'
MATURE CROWN SPREAD OF AT LEAST 15'
250/20=12.5=13 TREES

STREET TREES SHALL BE INSTALLED AND MAINTAINED
IN ACCORDANCE WITH THE REQUIREMENTS OF
CHAPTER 2 OF THE CITY TREE MANUAL

COMO DRIVE
BECAUSE OF OVERHEAD POWER LINES,
UNDER STORY TREES SHALL BE PLANTED
EVERY 20 FEET ON CENTER, ON AVERAGE.
SEE UDO 8.5.1 FOR CITY OF RALEIGH

N/F
THOMAS JILES
DB 5797 PG 421
PIN 1702 95 2941

625 S.F., 2.5 FEET OF ADDITIONAL
R/W WILL BE DEDICATED WITH THE
RECORDATION OF JILES SUBDIVISION
FOR A TOTAL OF 27.5 FEET,
HALF OF A 55' R/W.

N/F
OMAR CONSTRUCTION & TRUCKING
DB 16064 PG 2508
PIN 1702 95 1742
LOT 3
BOM 1999 PG 1705

N/F
CLEMENTINE F. TROTTER
DB 14067 PG 199
PIN 1702 85 1742
LOT 4
BOM 1999 PG 1705

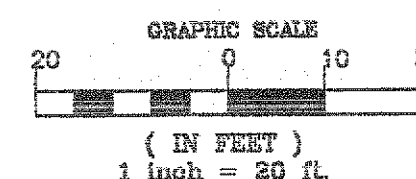
N/F
CLAUDE R. TROTTER
DB 14067 PG 204
PIN 1702 85 9765
LOT 5
BOM 1999 PG 1705

N/F
CLEMENTINE F. TROTTER
DB 14067 PG 199
PIN 1702 85 9765
LOT A
BOM 1971 PG 86

TREE PLANTING INFORMATION

NOTE:

- PER SECTION 9.2.2.A.2.5.1 SUBJECT TO 4.d. OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE
- SEE CITY OF RALEIGH STANDARD DETAIL DRAWING W-34 FOR WATER CONNECTION AND S-30 FOR SEWER CONNECTION
- POWER POLE TO BE RELOCATED TO ENSURE THE UDO APPROVED 6' PLANTING STRIP AND 6' SIDEWALK ARE NOT ALTERED



LEGEND
EIP EXISTING IRON PIPE MH MANHOLE
NIP NEW IRON PIPE PP POWER POLE
MON MONUMENT R/W RIGHT OF WAY
PK PARKER KALON MAIL C/L CENTER LINE
C.B. CHAIN BRN FB FLARED END SECTION
TDE TEMP. CONST. EASEMENT
DNE DRIVEWAY EASEMENT

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TITLE SEARCH

PROPOSED SUBDIVISION

CASF NO. SUB-006-2020

JAMESTOWN

RALEIGH, N.C.

ST. MARY'S TWSP., WAKE COUNTY, N.C.

JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR

5110 BUR OAK CIRCLE, RALEIGH, N.C. 27612 PHONE (919) 787-3658

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