



# Administrative Approval Action

Case File / Name: SUB-0007-2021  
Wimbleton Subdivision

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the southwest intersection of Wimbleton Drive and Shelley Road at 1201 Shelley Road. The site is zoned R-4 within the corporate limits of the City of Raleigh.

**REQUEST:** Conventional Subdivision for existing 0.99 acre parcel into two lots for Detached, Single Family Residential. Existing Dwelling Structure will remain on Lot 1. Lot 2 will be created with access from Wimbleton Drive.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 26, 2021 by Grounded Engineering.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **Engineering**

1. A fee-in-lieu for 6' sidewalk along the Shelly Road frontage is paid to the City of Raleigh (UDO 8.1.10).
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

### **Stormwater**

4. The maximum allocated impervious area for all applicable lots as noted ion C-500 of subdivision (SUB-0007-2020), should be identified on all maps for recording.
5. The Private Drainage Easement measured 40-ft from top of bank shall be shown on plats for recording.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## Engineering

1. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

## Stormwater

2. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

## Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 understory street trees along Shelley Rd. and 4 understory and 3 medium maturing shade street trees along Wimbleton Dr.

*The following are required prior to issuance of building occupancy permit:*

## Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: September 15, 2024**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: September 15, 2026**  
**Record entire subdivision.**



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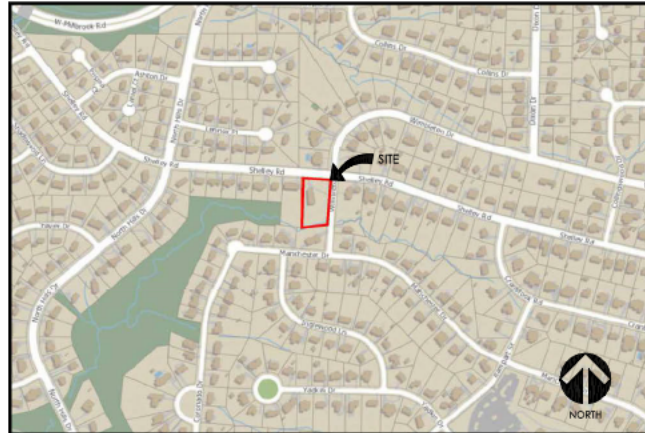
I hereby certify this administrative decision.

Signed: *Alysia Bailey Taylor* Date: 05/19/2021  
Development Services Dir/Designee  
Staff Coordinator: Cara Russell

PROJECT NAME	WINSTON SUBDIVISION
PROPERTY ADDRESS	1201 SHELLEY ROAD
COUNTY	WAKE
WAKE COUNTY PIN	1706-25-1299
REAL ESTATE ID	004078
GROSS PARCEL SIZE	0.99 AC (43,125 SF)
PROPOSED RIGHT-OF-WAY DEDICATION	0.04 AC (1,764 SF)
NET PARCEL AREA	0.95 AC (41,361 SF)
CURRENT ZONING	R-4
PROPOSED # OF LOTS	2
PROPOSED LOT SIZES	LOT #1 - 24,785 SF (0.57 AC) LOT #2 - 16,576 SF (0.38 AC)
PROPOSED DENSITY	7.0 DU/AC
RIVER BASIN	NEUSE RIVER BASIN
OVERLAY DISTRICTS	N/A
CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
OWNER	JOLE F. THOMAS 1201 SHELLEY ROAD RALEIGH, NC 27609 CONTACT: JOLE F. THOMAS EMAIL: JOLETHOMAS@GMAIL.COM PHONE: 919.424.0398 FAX: N/A
CIVIL ENGINEER / APPLICANT	GROUND ENGINEERING, INC. 409 ULES ROAD RALEIGH, NC 27604 CONTACT: JEAN A. DOLE, PE EMAIL: JEAN@GROUNDED-ENGINEERING.COM PHONE: 919.438-3674 FAX: N/A
SURVEYOR	TURNING POINT SURVEYING, PLLC 4113 JOHN L. RABOTZKY WYND RALEIGH, NC 27612 CONTACT: JEFFREY L. DAVIS PHONE: 919.781.0234 FAX: N/A

EXISTING IMPERVIOUS AREA (EXISTING PARCEL)	5,550 SF [12.9% OF PARCEL]
EXISTING IMPERVIOUS AREA (PROPOSED LOT #1)	5,550 SF [22.4% OF LOT]
EXISTING IMPERVIOUS AREA (PROPOSED LOT #2)	0 SF (0% OF LOT)

PRELIMINARY SUBDIVISION PLAN SUBMITTAL  
GROUNDED ENGINEERING PROJECT #20096  
CITY OF RALEIGH PROJECT #SUB-0007-2021



VICINITY MAP  
N.T.S.

<div style="display: flex; justify-content: space-between;"> <span>DEVELOPMENT TYPE • SITE DATE TABLE</span> <span>(Applicable to all developments)</span> </div> <div style="text-align: center; border: 1px solid black; padding: 2px; margin: 2px 0;">ZONING INFORMATION</div>			
Gross site acreage: 0.00 ac. Zoning districts (if more than one, provide acreage of each): R-4			
Security classification: _____ <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <span>Is this a City project?</span> <span><input type="checkbox"/> Yes</span> <span><input type="checkbox"/> No</span> </div>			
Corbin/Lane Urban District (CUD) Case # 2- N/A <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <span>Board of Adjustment (BOA) Case # 2- N/A</span> </div>			
STORMWATER INFORMATION			
Existing Impervious Surface: Acres: 0.0      Square Feet: 0.000			
Proposed Impervious Surface: Acres: 0.0      Square Feet: 0.000			
Newcomer River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please provide the following: Affected soils: _____ Flood study: _____ FEMA Map Panel #: _____			
NUMBER OF LOTS AND DENSITY			
Total # of lots/acreage lots:      Detached: 0      Attached: 0			
Total # of single-family lots: 2.0			
Proposed density for each zoning district (UDO 1.5:2 P):			
Total # of open space and/or common area lots: 0			
Total # of required lots: 0			
SIGNATURE BLOCK			
I hereby designate _____ as the _____ to serve as my agent for completing the application, to receive and respond to administrative comments, to execute plans on my behalf and to represent me in any public meeting regarding this application.			
(Use new seal, acknowledgment, and affix that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the final calendar and submittal policy, which states applicants will not receive after the consecutive reviews of finality.			
Signature: <i>John P. Thomas</i>		Date: (03/28/2021)	
Printed Name: John P. Thomas		Title:	

Please email your completed application to [SiteReview@alishrx.gov](mailto:SiteReview@alishrx.gov)

Page 2 of 2

BETHLEHEM 817.07.285

C-000	COVER SHEET
C-001	PROJECT NOTES
C-100	EXISTING CONDITIONS PLAN
C-110	EXISTING IMPERVIOUS AREA EXHIBIT
C-200	PRELIMINARY DEMOLITION PLAN
C-300	PRELIMINARY LOT LAYOUT PLAN
C-500	PRELIMINARY GRADING PLAN
C-700	PRELIMINARY UTILITY PLAN
L400	PLANTING PLAN

THE CONFIRMATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF WATERSHEDS AND FOR THE RESULTS AS AFFECTED IN THESE PLANS, AND IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (719) 391-2489, AND THE PUBLIC UTILITIES DEPARTMENT AT (719) 391-6436 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THESE CONSTRUCTION.

**FALLERS TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REMEDIATION OF ANY WATER OR SOIL DAMAGE NOT INCURRED AS A RESULT OF THIS MODIFICATION FALLOUT.**

**FALLERS TO CALL FOR INSPECTION, INSTALL A DOWNSPREAD PILE, HAVE PERMITTED PLANS ON THE JOB, OR ANY OTHER VIOLATION OF CITY OF BALDWIN STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF BALDWIN.**

LINEAR FOOTAGE OF PUBLIC WATERMAIN	0
LINEAR FOOTAGE OF PUBLIC SEWERMAIN	0
LINEAR FOOTAGE OF PRIVATE WATERMAIN	0
LINEAR FOOTAGE OF PRIVATE SEWERMAIN	0
# OF WATER STUBS / TES (INCLUDES ALL NEW TAPS, NEW WATER SERVICE STUBS, AND HYDRANT STUBS ON EXISTING WATERMAINS)	1
# OF WATER METERS FOR DOMESTIC	1 (5/8" METER)
# OF WATER METERS FOR IRRIGATION	0
# OF SEWER SERVICES	1 (4" SERVICE)

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

PER SECTION 9.2.2.A.2.b.i) SUBJECT TO 4.d OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

NO STREET LIGHTING IMPROVEMENTS ARE PROPOSED AS PART OF THIS PROJECT. EXISTING STREET LIGHTING WILL REMAIN IN PLACE.

SINCE THE PROPERTY IS LESS THAN 2.0 ACRES, THE SUBJECT PROPERTY IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS.

PER UDO SECTION 8.3.2.A.2.b, THE SUBJECT SITE IS EXEMPT FROM COMPLIANCE WITH THE BLOCK PERIMETER REQUIREMENTS.

MINIMUM REQUIRED LOT AREA	10,000 SF
MINIMUM REQUIRED LOT WIDTH (ENTRANCE)	45 FEET
MINIMUM REQUIRED LOT WIDTH (CORNER)	80 FEET
MINIMUM REQUIRED LOT DEPTH	100 FEET
MAXIMUM ALLOWED DENSITY	4 DU/AC
MINIMUM PRIMARY STREET BUILDING SETBACK	20 FEET
MINIMUM SIDE STREET BUILDING SETBACK	15 FEET
MINIMUM SIDE LOT LINE BUILDING SETBACK	10 FEET
MINIMUM REAR LOT LINE BUILDING SETBACK	30 FEET
MAXIMUM BUILDING HEIGHT (PRINCIPAL BLDG)	40 FEET / 3 STORIES
MAXIMUM BUILDING HEIGHT (ACCESSORY BLDG)	25 FEET
GROUND FLOOR ELEVATION (20' OR LESS FROM FRONT PROPERTY LINE (MIN))	2'
GROUND FLOOR ELEVATION (MORE THAN 20' FROM FRONT PROPERTY LINE (MIN))	N/A

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

**WIMBLETON SUBDIVISION**  
**PRELIMINARY SUBDIVISION PLAN SUBMITTAL**

COVER SHEET

grounded  
ENGINEERING

4909 Liles Road  
Raleigh, NC 27606  
919.438.3694 (o)  
Firm License C-3898

Digitally signed by Cara Russell  
DN: C=US,  
E=cara.russell@raleighnc.gov, O=City  
of Raleigh Planning and Development  
Department, OU=Current Planning,  
CN=Cara Russell  
Reason: I am approving this document  
Date: 2021.05.19 09:55:36-0400

Cara Russell



Know what's below.  
Call before you dig.

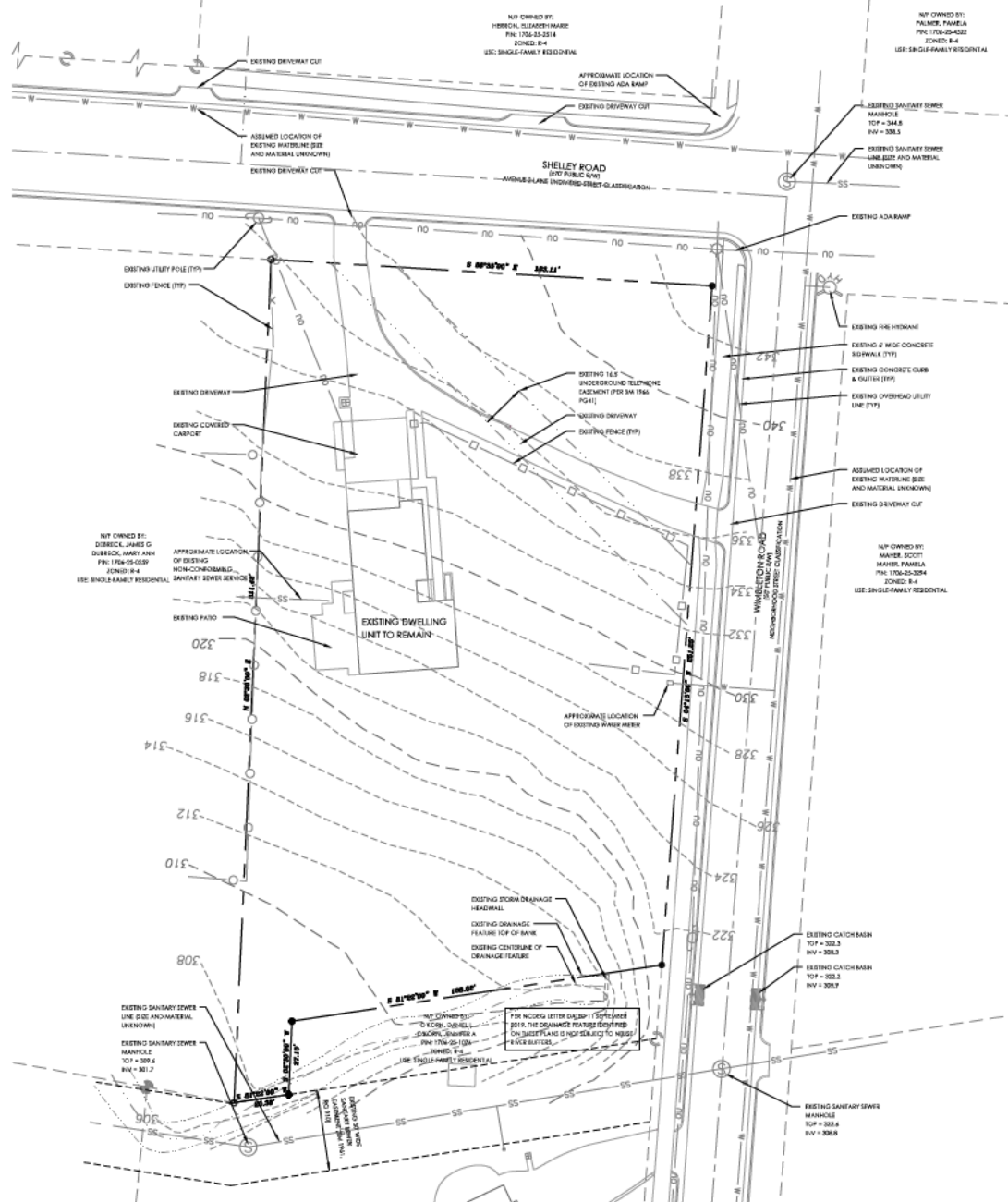
01.26.2021			
03.26.2021			
04.26.2021			

OBJECT #

20096

POST #

C-000



ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.  
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

# LEGEND

---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	EXISTING WATERLINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM DRAINAGE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING FENCE
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING FIRE HYDRANT
---	EXISTING WATERLINE VALVE
---	EXISTING SANITARY SEWER MANHOLE



GRAPHIC SCALE (1"=20')

NOT RELEASED FOR CONSTRUCTION OR BID SOLUTION

## WIMBLETON SUBDIVISION PRELIMINARY SUBDIVISION PLAN SUBMITTAL

### EXISTING CONDITIONS PLAN

DATE	DESCRIPTION
01.10.2021	0- INITIAL SUBDIVISION SUBMITTAL TO CITY
03.04.2021	1- REV. PER FOR REVIEW COMMENTS
04.04.2021	2- REV. PER FOR REVIEW COMMENTS
05.04.2021	3- REV. PER FOR REVIEW COMMENTS
06.04.2021	4- REV. PER FOR REVIEW COMMENTS
07.04.2021	5- REV. PER FOR REVIEW COMMENTS
08.04.2021	6- REV. PER FOR REVIEW COMMENTS
09.04.2021	7- REV. PER FOR REVIEW COMMENTS
10.04.2021	8- REV. PER FOR REVIEW COMMENTS
11.04.2021	9- REV. PER FOR REVIEW COMMENTS
12.04.2021	10- REV. PER FOR REVIEW COMMENTS
01.05.2021	11- REV. PER FOR REVIEW COMMENTS
02.05.2021	12- REV. PER FOR REVIEW COMMENTS
03.05.2021	13- REV. PER FOR REVIEW COMMENTS
04.05.2021	14- REV. PER FOR REVIEW COMMENTS
05.05.2021	15- REV. PER FOR REVIEW COMMENTS
06.05.2021	16- REV. PER FOR REVIEW COMMENTS
07.05.2021	17- REV. PER FOR REVIEW COMMENTS
08.05.2021	18- REV. PER FOR REVIEW COMMENTS
09.05.2021	19- REV. PER FOR REVIEW COMMENTS
10.05.2021	20- REV. PER FOR REVIEW COMMENTS
11.05.2021	21- REV. PER FOR REVIEW COMMENTS
12.05.2021	22- REV. PER FOR REVIEW COMMENTS
01.06.2021	23- REV. PER FOR REVIEW COMMENTS
02.06.2021	24- REV. PER FOR REVIEW COMMENTS
03.06.2021	25- REV. PER FOR REVIEW COMMENTS
04.06.2021	26- REV. PER FOR REVIEW COMMENTS
05.06.2021	27- REV. PER FOR REVIEW COMMENTS
06.06.2021	28- REV. PER FOR REVIEW COMMENTS
07.06.2021	29- REV. PER FOR REVIEW COMMENTS
08.06.2021	30- REV. PER FOR REVIEW COMMENTS
09.06.2021	31- REV. PER FOR REVIEW COMMENTS
10.06.2021	32- REV. PER FOR REVIEW COMMENTS
11.06.2021	33- REV. PER FOR REVIEW COMMENTS
12.06.2021	34- REV. PER FOR REVIEW COMMENTS
01.07.2021	35- REV. PER FOR REVIEW COMMENTS
02.07.2021	36- REV. PER FOR REVIEW COMMENTS
03.07.2021	37- REV. PER FOR REVIEW COMMENTS
04.07.2021	38- REV. PER FOR REVIEW COMMENTS
05.07.2021	39- REV. PER FOR REVIEW COMMENTS
06.07.2021	40- REV. PER FOR REVIEW COMMENTS
07.07.2021	41- REV. PER FOR REVIEW COMMENTS
08.07.2021	42- REV. PER FOR REVIEW COMMENTS
09.07.2021	43- REV. PER FOR REVIEW COMMENTS
10.07.2021	44- REV. PER FOR REVIEW COMMENTS
11.07.2021	45- REV. PER FOR REVIEW COMMENTS
12.07.2021	46- REV. PER FOR REVIEW COMMENTS
01.08.2021	47- REV. PER FOR REVIEW COMMENTS
02.08.2021	48- REV. PER FOR REVIEW COMMENTS
03.08.2021	49- REV. PER FOR REVIEW COMMENTS
04.08.2021	50- REV. PER FOR REVIEW COMMENTS
05.08.2021	51- REV. PER FOR REVIEW COMMENTS
06.08.2021	52- REV. PER FOR REVIEW COMMENTS
07.08.2021	53- REV. PER FOR REVIEW COMMENTS
08.08.2021	54- REV. PER FOR REVIEW COMMENTS
09.08.2021	55- REV. PER FOR REVIEW COMMENTS
10.08.2021	56- REV. PER FOR REVIEW COMMENTS
11.08.2021	57- REV. PER FOR REVIEW COMMENTS
12.08.2021	58- REV. PER FOR REVIEW COMMENTS
01.09.2021	59- REV. PER FOR REVIEW COMMENTS
02.09.2021	60- REV. PER FOR REVIEW COMMENTS
03.09.2021	61- REV. PER FOR REVIEW COMMENTS
04.09.2021	62- REV. PER FOR REVIEW COMMENTS
05.09.2021	63- REV. PER FOR REVIEW COMMENTS
06.09.2021	64- REV. PER FOR REVIEW COMMENTS
07.09.2021	65- REV. PER FOR REVIEW COMMENTS
08.09.2021	66- REV. PER FOR REVIEW COMMENTS
09.09.2021	67- REV. PER FOR REVIEW COMMENTS
10.09.2021	68- REV. PER FOR REVIEW COMMENTS
11.09.2021	69- REV. PER FOR REVIEW COMMENTS
12.09.2021	70- REV. PER FOR REVIEW COMMENTS
01.10.2021	71- REV. PER FOR REVIEW COMMENTS
02.10.2021	72- REV. PER FOR REVIEW COMMENTS
03.10.2021	73- REV. PER FOR REVIEW COMMENTS
04.10.2021	74- REV. PER FOR REVIEW COMMENTS
05.10.2021	75- REV. PER FOR REVIEW COMMENTS
06.10.2021	76- REV. PER FOR REVIEW COMMENTS
07.10.2021	77- REV. PER FOR REVIEW COMMENTS
08.10.2021	78- REV. PER FOR REVIEW COMMENTS
09.10.2021	79- REV. PER FOR REVIEW COMMENTS
10.10.2021	80- REV. PER FOR REVIEW COMMENTS
11.10.2021	81- REV. PER FOR REVIEW COMMENTS
12.10.2021	82- REV. PER FOR REVIEW COMMENTS
01.11.2021	83- REV. PER FOR REVIEW COMMENTS
02.11.2021	84- REV. PER FOR REVIEW COMMENTS
03.11.2021	85- REV. PER FOR REVIEW COMMENTS
04.11.2021	86- REV. PER FOR REVIEW COMMENTS
05.11.2021	87- REV. PER FOR REVIEW COMMENTS
06.11.2021	88- REV. PER FOR REVIEW COMMENTS
07.11.2021	89- REV. PER FOR REVIEW COMMENTS
08.11.2021	90- REV. PER FOR REVIEW COMMENTS
09.11.2021	91- REV. PER FOR REVIEW COMMENTS
10.11.2021	92- REV. PER FOR REVIEW COMMENTS
11.11.2021	93- REV. PER FOR REVIEW COMMENTS
12.11.2021	94- REV. PER FOR REVIEW COMMENTS
01.12.2021	95- REV. PER FOR REVIEW COMMENTS
02.12.2021	96- REV. PER FOR REVIEW COMMENTS
03.12.2021	97- REV. PER FOR REVIEW COMMENTS
04.12.2021	98- REV. PER FOR REVIEW COMMENTS
05.12.2021	99- REV. PER FOR REVIEW COMMENTS
06.12.2021	100- REV. PER FOR REVIEW COMMENTS

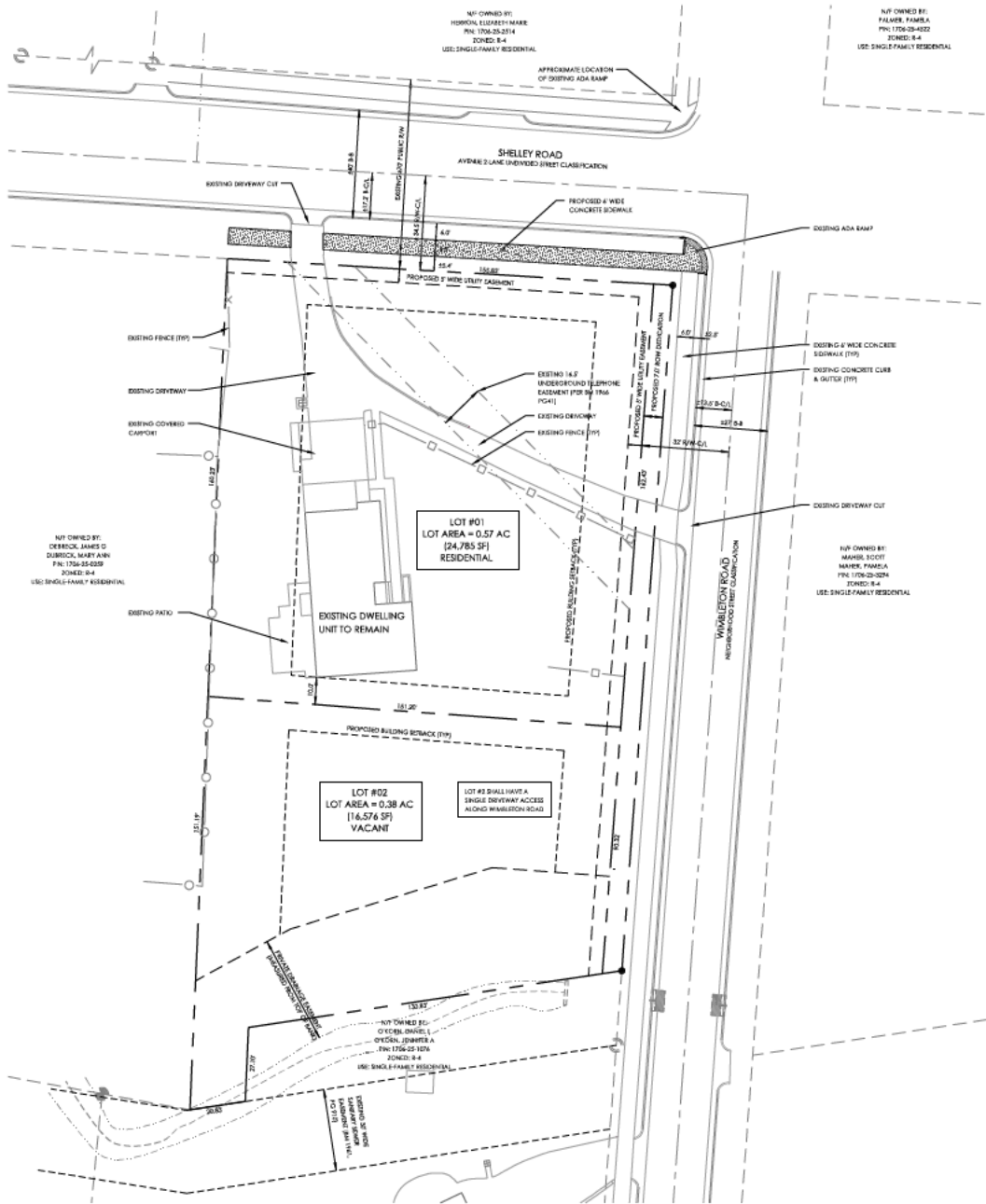
20096

C-100

4009 Lee Road  
Raleigh, NC 27604  
919.488.8844 (cell)  
Permit License C-3899

grounded  
ENGINEERING







ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.  
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

REQUIRED DEVELOPMENT STANDARDS (R-4)	
MINIMUM REQUIRED LOT AREA	10,000 SF
MINIMUM REQUIRED LOT WIDTH (INTERIOR)	45 FEET
MINIMUM REQUIRED LOT WIDTH (CORNER)	80 FEET
MINIMUM REQUIRED LOT DEPTH	100 FEET
MAXIMUM ALLOWED DENSITY	4 DU/AC
MINIMUM PRIMARY STREET BUILDING SETBACK	30 FEET
MINIMUM SIDE STREET BUILDING SETBACK	15 FEET
MINIMUM SIDE LOT LINE BUILDING SETBACK	10 FEET
MINIMUM REAR LOT LINE BUILDING SETBACK	30 FEET
MAXIMUM BUILDING HEIGHT (PRINCIPAL BLDG)	40 FEET / 3 STORES
MAXIMUM BUILDING HEIGHT (ACCESSORY BLDG)	25 FEET
GROUND FLOOR ELEVATION (20' OR LESS FROM FRONT PROPERTY LINE (MIN))	2'
GROUND FLOOR ELEVATION (MORE THAN 20' FROM FRONT PROPERTY LINE (MIN))	N/A


SITE DATA SUMMARY	
PROJECT NAME	WIMBLETON SUBDIVISION
PROPERTY ADDRESS	1201 SHELLEY ROAD
COUNTY	WAKE
WAKE COUNTY PIN	1706-25-1299
REAL ESTATE ID	3040706
GROSS PARCEL SIZE	0.99 AC (43,125 SF)
PROPOSED RIGHT-OF-WAY DEDICATION	0.64 AC (1,744 SF)
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RIVER BASIN	NEUSE RIVER BASIN
OVERLAY DISTRICTS	N/A
CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
OWNER	JOULE F. THOMAS 1201 SHELLEY ROAD RALEIGH, NC 27609 CONTACT: JOULE F. THOMAS EMAIL: JOULETHOMAS@GMAIL.COM PHONE: 919.424.0098 FAX: N/A
CIVIL ENGINEER / APPLICANT	GROUNDUP ENGINEERING, INC. 4009 LILES ROAD RALEIGH, NC 27604 CONTACT: SEAN A. DOLLE, PE EMAIL: SEAN@GROUNDUP-ENGINEERING.COM PHONE: 919.438-3694 FAX: N/A
SURVEYOR	TURNING POINT SURVEYING, PLLC 4113 JOHN S. PARCOTTAU WYND RALEIGH, NC 27612 CONTACT: JEFFREY H. DAVIS PHONE: 919.791.0234 FAX: N/A



Know what's below.  
Call before you dig.



NORTH



GRAPHIC SCALE (1"=20')

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



4009 Liles Road  
Raleigh, NC 27604  
919.438.3694 (tel)  
Permit License C-3899

WIMBLETON SUBDIVISION  
PRELIMINARY SUBDIVISION PLAN SUBMITTAL

PRELIMINARY LOT LAYOUT PLAN

DATE	0- INITIAL SUBDIVISION SUBMITTAL TO CITY
1- REVIEW FOR CORRECTIONS	03.28.2021
2- REVIEW FOR CORRECTIONS	04.28.2021

PROJECT # 20096

SHEET # C-300



4709 Likes Road  
Raleigh, NC 27606  
919.438.3694 [o]  
Film License C-3898

grounded  
ENGINEERING

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

**WIMBLETON SUBDIVISION**  
**PRELIMINARY SUBDIVISION PLAN SUBMITTAL**















## PRELIMINARY UTILITY PLAN

ISSUE DATE	SUBMITAL DESCRIPTION
01/26/2021	0 - INITIAL SUBREVISION SUBMITTAL TO CITY
03/24/2021	1 - REV PER COR REVIEW COMMENTS
04/26/2021	2 - REV PER COR REVIEW COMMENTS

PROJECT # 20096

SHEET # C-700

LEGEND

	EXISTING FENCE
	PROPOSED LOT LINE
	PROPOSED MINIMUM BUILDING SETBACK LINE
	PROPOSED UTILITY EASEMENT
	EXISTING WATERLINE
	EXISTING SANITARY SEWER
	EXISTING OVERHEAD UTILITY (AIR CONDITIONING)
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED WATER SERVICE
	EXISTING UTILITY POLE
	EXISTING JOIST POLE
	EXISTING TREE (HYDRANT)
	EXISTING WATERLINE VALVE
	EXISTING SANITARY SEWER MANHOLE



GRAPHIC SCALE (1"=20')

