



Administrative Approval Action

Case File / Name: SUB-0007-2021
Wimbleton Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located at the southwest intersection of Wimbleton Drive and Shelley Road at 1201 Shelley Road. The site is zoned R-4 within the corporate limits of the City of Raleigh.
- REQUEST:** Conventional Subdivision for existing 0.99 acre parcel into two lots for Detached, Single Family Residential. Existing Dwelling Structure will remain on Lot 1. Lot 2 will be created with access from Wimbleton Drive.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 26, 2021 by Grounded Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A fee-in-lieu for 6' sidewalk along the Shelly Road frontage is paid to the City of Raleigh (UDO 8.1.10).
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Stormwater

4. The maximum allocated impervious area for all applicable lots as noted ion C-500 of subdivision (SUB-0007-2020), should be identified on all maps for recording.
5. The Private Drainage Easement measured 40-ft from top of bank shall be shown on plats for recording.



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BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Stormwater

2. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 understory street trees along Shelley Rd. and 4 understory and 3 medium maturing shade street trees along Wimbleton Dr.

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: September 15, 2024
Record at least ½ of the land area approved.

5-Year Sunset Date: September 15, 2026
Record entire subdivision.



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www.raleighnc.gov

I hereby certify this administrative decision.

Signed: *Alysia Bailey Taylor* Date: 05/19/2021
Development Services Dir/Designee
Staff Coordinator: **Cara Russell**

SITE DATA SUMMARY

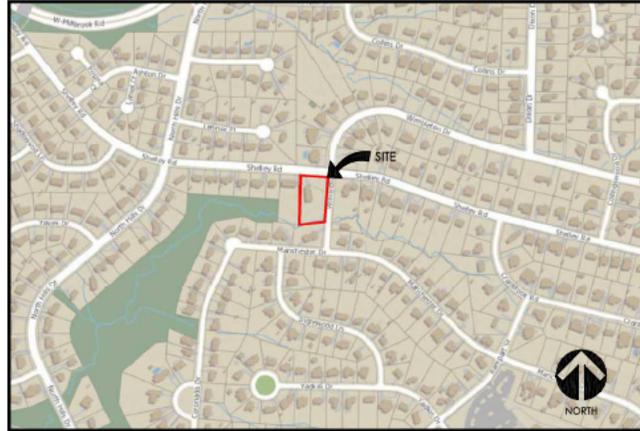
PROJECT NAME	WIMBLETON SUBDIVISION
PROPERTY ADDRESS	1201 SHELLEY ROAD
COUNTY	WAKE
WAKE COUNTY PIN	1706-25-1299
REAL ESTATE ID	0047078
GROSS PARCEL SIZE	0.99 AC (43,125 SF)
PROPOSED RIGHT-OF-WAY DEDICATION	0.04 AC (1,764 SF)
NET PARCEL AREA	0.95 AC (41,361 SF)
CURRENT ZONING	R-4
PROPOSED # OF LOTS	2
PROPOSED LOT SIZES	LOT #1 - 24,785 SF (0.57 AC) LOT #2 - 16,574 SF (0.38 AC)
PROPOSED DENSITY	2.0 DU/AC
RIVER BASIN	NEUSE RIVER BASIN
OVERLAY DISTRICT	N/A
CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
OWNER	JOUEI F. THOMAS 1201 SHELLEY ROAD RALEIGH, NC 27609 CONTACT: JOUEI F. THOMAS EMAIL: JOUEI@THOMAS@GMAIL.COM PHONE: 919.624.0298 FAX: N/A
CIVIL ENGINEER / APPLICANT	GROUNDING ENGINEERING, INC. 4909 LILLES ROAD RALEIGH, NC 27606 CONTACT: SEAN A. DOLLE, PE EMAIL: SEAN@GROUNDING-ENGINEERING.COM PHONE: 919.438.3474 FAX: N/A
SURVEYOR	TURNING POINT SURVEYING, PLLC 4113 JOHN S. RABOEAU WYND RALEIGH, NC 27612 CONTACT: JEFFREY L. DAVIS PHONE: 919.781.0234 FAX: N/A

EXISTING IMPERVIOUS AREA SUMMARY

EXISTING IMPERVIOUS AREA (EXISTING PARCEL)	5,330 SF (12.2% OF PARCEL)
EXISTING IMPERVIOUS AREA (PROPOSED LOT #1)	5,330 SF (22.4% OF LOT)
EXISTING IMPERVIOUS AREA (PROPOSED LOT #2)	0 SF (0% OF LOT)

WIMBLETON SUBDIVISION

PRELIMINARY SUBDIVISION PLAN SUBMITTAL GROUNDED ENGINEERING PROJECT #20096 CITY OF RALEIGH PROJECT #SUB-0007-2021



VICINITY MAP
N.T.S.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

SHEET INDEX

C-000	COVER SHEET
C-001	PROJECT NOTES
C-100	EXISTING CONDITIONS PLAN
C-110	EXISTING IMPERVIOUS AREA EXHIBIT
C-200	PRELIMINARY DEMOLITION PLAN
C-300	PRELIMINARY LOT LAYOUT PLAN
C-500	PRELIMINARY GRADING PLAN
C-700	PRELIMINARY UTILITY PLAN
L400	PLANING PLAN

ATTENTION CONTRACTORS
THE CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FROM THE CITY OF RALEIGH AND THE PUBLIC WORKS DEPARTMENT AT 1710 PINE LAKE AVE. LOT # TWENTY FOUR SHOULD BE INCORPORATED INTO THE CONSTRUCTION.
RALEIGH TO NOTIFY CITY ENGINEERING IN ADVANCE OF BEGINNING CONSTRUCTION. WILL NEED IN THE PRESENCE OF INDICATORY TREE, AND REQUEST INSTALLATION OF ANY WATER OR SEWER FACILITY NOT INSPECTED AS A RESULT OF THE INSPECTION TABLE.
RALEIGH TO CALL FOR INSPECTION. INSTALL A DOWNSPEAK PLUG HAVE PERMITTED PLANT ON THE ADJACENT OR ANY OTHER HOLDING OF CITY OF RALEIGH STANDARDS WILL BE SUBJECT TO A FINE AND POSSIBLE EJECTMENT FROM THE WORK IN THE CITY OF RALEIGH.

INFRASTRUCTURE INSPECTIONS TABLE (RALEIGH PUBLIC UTILITIES)

LINEAR FOOTAGE OF PUBLIC WATERMAIN	0
LINEAR FOOTAGE OF PUBLIC SEWERMAIN	0
LINEAR FOOTAGE OF PRIVATE WATERMAIN	0
LINEAR FOOTAGE OF PRIVATE SEWERMAIN	0
# OF WATER STUBS / TES (INCLUDES ALL NEW TAPS, NEW WATER SERVICE STUBS, AND HYDRANT STUBS ON EXISTING WATERMANS)	1
# OF WATER METERS FOR DOMESTIC	1 (3/8" METER)
# OF WATER METERS FOR IRRIGATION	0
# OF SEWER SERVICES	1 (4" SERVICE)

SOLID WASTE COMPLIANCE STATEMENT

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

STORMWATER NOTE

PER SECTION 9.2.2.2.2.b SUBJECT TO 4.b OF THE PART 10A, RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

SITE LIGHTING NOTE

NO SITE LIGHTING IMPROVEMENTS ARE PROPOSED AS PART OF THIS PROJECT. EXISTING STREET LIGHTING WILL REMAIN IN PLACE.

TREE CONSERVATION AREA NOTE

SINCE THE PROPERTY IS LESS THAN 2.0 ACRES, THE SUBJECT PROPERTY IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS.

BLOCK PERIMETER EXEMPTION NOTE

PER UDO SECTION 8.3.2.A.2.b, THE SUBJECT SITE IS EXEMPT FROM COMPLIANCE WITH THE BLOCK PERIMETER REQUIREMENTS.

REQUIRED DEVELOPMENT STANDARDS (R-4)

MINIMUM REQUIRED LOT AREA	10,000 SF
MINIMUM REQUIRED LOT WIDTH (INTRICOR)	45 FEET
MINIMUM REQUIRED LOT WIDTH (CORNER)	80 FEET
MINIMUM REQUIRED LOT DEPTH	100 FEET
MAXIMUM ALLOWED DENSITY	4 DU/AC
MINIMUM PRIMARY STREET BUILDING SETBACK	20 FEET
MINIMUM SIDE STREET BUILDING SETBACK	15 FEET
MINIMUM SIDE LOT LINE BUILDING SETBACK	10 FEET
MINIMUM REAR LOT LINE BUILDING SETBACK	30 FEET
MAXIMUM BUILDING HEIGHT (PRINCIPAL BLDG)	40 FEET / 3 STORES
MAXIMUM BUILDING HEIGHT (ACCESSORY BLDG)	25 FEET
GROUND FLOOR ELEVATION (20' OR LESS FROM FRONT PROPERTY LINE (MIN))	2'
GROUND FLOOR ELEVATION (MORE THAN 20' FROM FRONT PROPERTY LINE (MIN))	N/A

Preliminary Subdivision Application
Planning and Development

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate location box and include the plan checked document. Please email all documents and your preliminary subdivision plans to SUB@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)

Conventional Subdivision Compact Development Conservation Development Cottage Court

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/sketch plan case number(s): N/A

Development name (subject to approval) Wimbleton Subdivision

Property Address(es): 1201 Shelley Road, Raleigh, NC 27609

Recorded Deed PIN(s): 1706-25-1299

What is your project type? Single Family Townhome Non-residential Other Attached houses

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION

NOTE: Please attach purchase agreement when submitting this form.

Company: N/A
Address: 1201 Shelley Road, Raleigh, NC 27609
Phone: 919.624.0356
Email: joef@thomas@gmail.com

APPLICANT INFORMATION

Company: Grounded Engineering
Contact Name and Title: Sean A. Dolle (Engineer)
Address: 4909 Lilles Road, Raleigh, NC 27606
Phone: 919.438.3554
Email: sean@grounded-engineering.com

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 0.99 ac
Zoning districts (if more than one, provide acreage of each): p.u.

Overlays: Historic Flood Hazard Yes No
Conditional Use District (CUD) Case #: N/A Board of Adjustment (BOA) Case #: N/A

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.13 Square Feet: 5,880
Proposed Impervious Surface: Acres: 0.17 Square Feet: 6,880
Newse Silver Buffer: Yes No Wetlands: Yes No
Is this a flood hazard area? Yes No
If yes, please provide the following:
At-risk soils:
Flood study:
FEMA Map Panel #:

NUMBER OF LOTS AND DENSITY

Total # of lot-house lots: Detached: 0 Attached: 0
Total # of single-family lots: 2
Proposed density for each zoning district (UDO 1.5.2.P): 2.0
Total # of open space and/or common area lots: 0
Total # of requested lots: 2

SIGNATURE BLOCK

I hereby designate, Sean A. Dolle, to serve as my agent regarding this application, to receive and respond to administrative comments, to respond plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submission policy, which states applications will expire after six consecutive months of inactivity.

Signature: Sean A. Dolle Date: 03.28.2021
Printed Name: Sean A. Dolle
Signature: Date:
Printed Name:

Please email your completed application to SUB@raleighnc.gov.

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

grounded
ENGINEERING

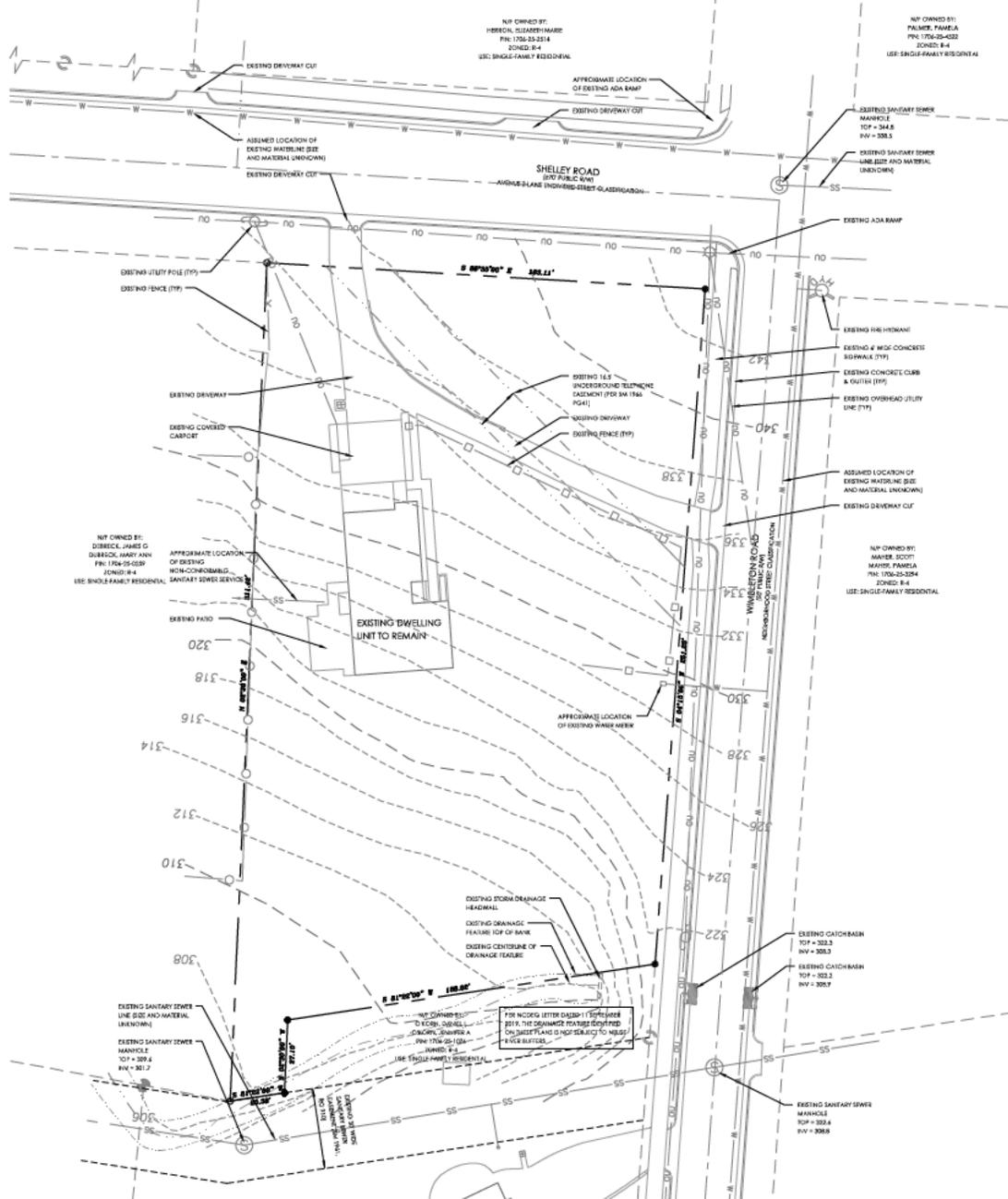
WIMBLETON SUBDIVISION
PRELIMINARY SUBDIVISION PLAN SUBMITTAL
COVER SHEET

REVIEW DATE	01.28.2021	03.26.2021	03.26.2021	04.26.2021
REVIEWER	ST. JAMES SUBDIVISION/STANDARD TO CITY	LARRY PERKINS/REVIEW COMMENTS	1 - REV. PER CODE REVIEW COMMENTS	

PROJECT # 20096
SHEET # C-000



Digitally signed by Cara Russell
DN: C=US,
E=carrussell@raleighnc.gov, O=City of Raleigh Planning and Development Department, OU=Current Planning, CN=Cara Russell
Reason: I am approving this document
Date: 2021.05.19 09:55:36-0400



ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

LEGEND

---	EXISTING CONTOUR (NAIVE)
---	EXISTING CONTOUR (MINE)
---	EXISTING WATERLINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM DRAINAGE
---	EXISTING OVERHEAD UTILITY LINE
□	EXISTING FENCE
○	EXISTING UTILITY POLE
○	EXISTING LIGHT POLE
○	EXISTING FIRE HYDRANT
○	EXISTING WATERLINE VALVE
○	EXISTING SANITARY SEWER MANHOLE



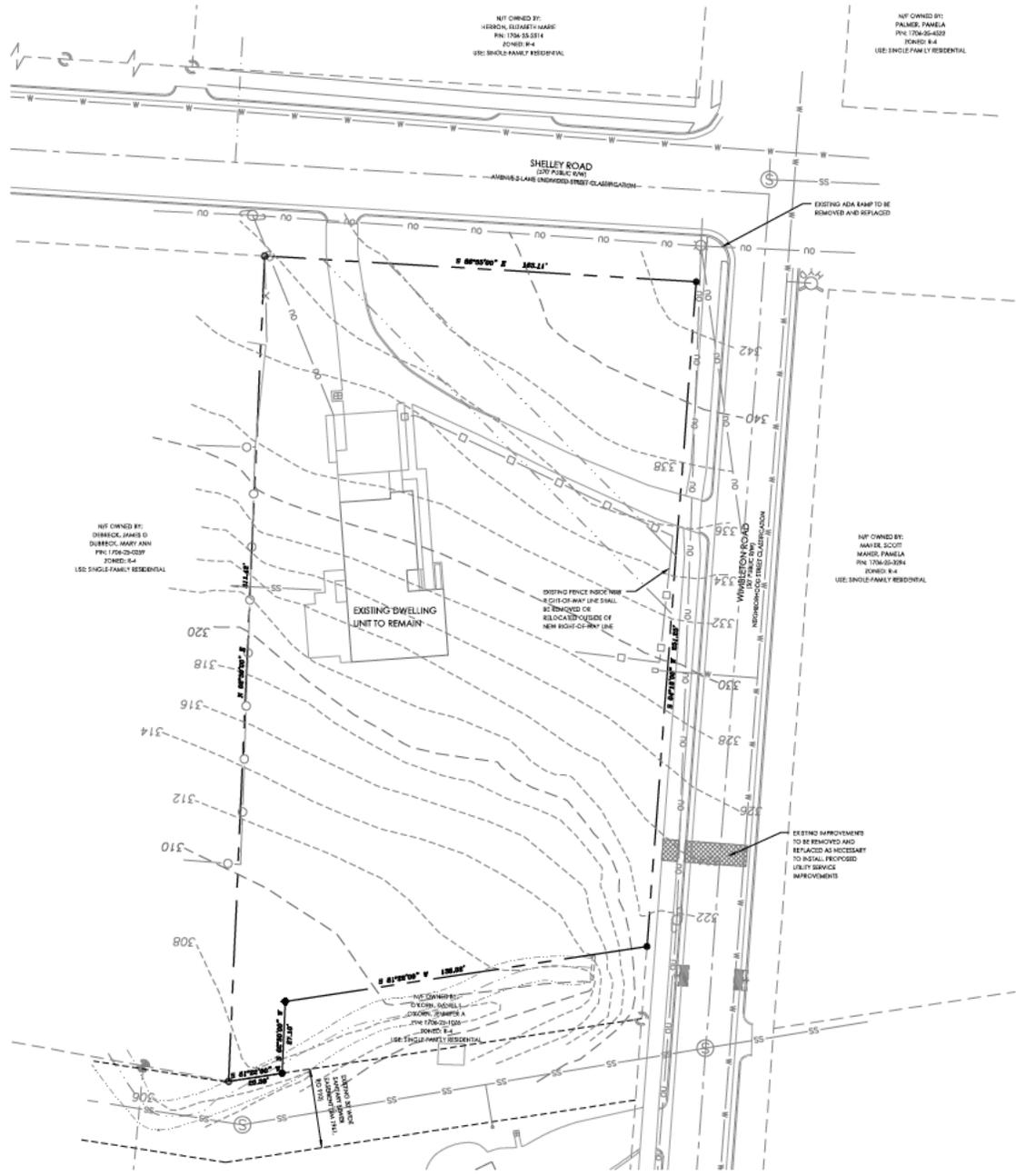
NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

4007 Lee Road
Raleigh, NC 27604
919.488.8841 (or)
Per License C-9893

grounded
ENGINEERING

WIMBLETON SUBDIVISION
PRELIMINARY SUBDIVISION PLAN SUBMITTAL
EXISTING CONDITIONS PLAN

DATE	DESCRIPTION
01.26.2021	0 - INITIAL SUBDIVISION SUBMITTAL TO CITY
03.24.2021	1 - REV. PER COR REVIEW COMMENTS
04.28.2021	2 - REV. PER COR REVIEW COMMENTS
PROJECT: 20096	
SHEET # C-100	



ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

grounded
ENGINEERING

WIMBLETON SUBDIVISION
 PRELIMINARY SUBDIVISION PLAN SUBMITTAL
 PRELIMINARY SITE DEMOLITION PLAN

SUBMITTAL DESCRIPTION	0 - INITIAL SUBDIVISION SUBMITTAL TO CITY
	1 - REV. PER CDR REVIEW COMMENTS
	2 - REV. PER CDR REVIEW COMMENTS

ISSUE DATE	01/26/2021
	03/24/2021
	04/28/2021

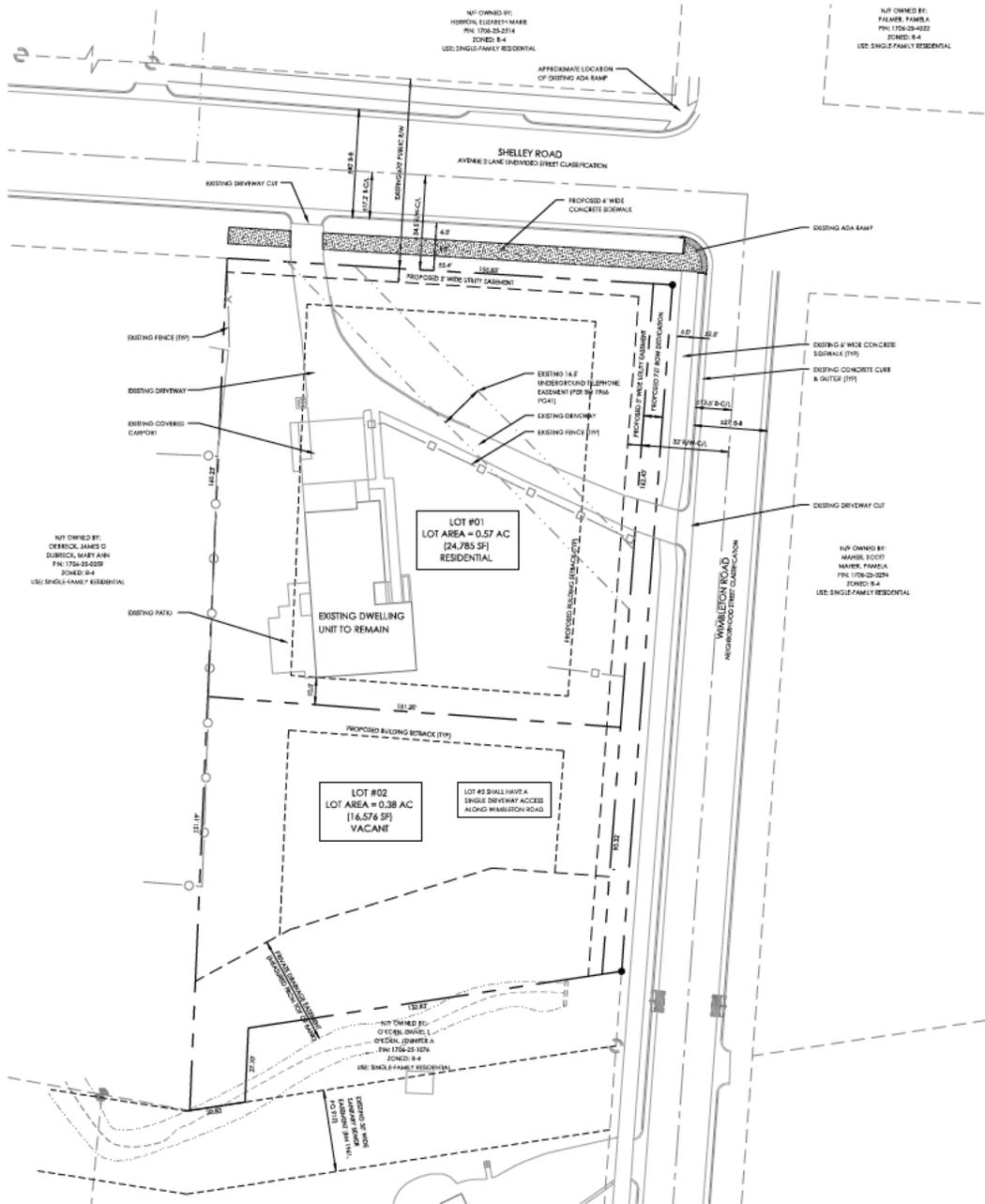
PROJECT #
20096
 SHEET #
C-200



LEGEND

---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
W	EXISTING WATERLINE
SS	EXISTING SANITARY SEWER
---	EXISTING STORM DRAINAGE
OU	EXISTING OVERHEAD UTILITY LINE
□	EXISTING FENCE
○	EXISTING UTILITY POLE
○	EXISTING LIGHT POLE
○	EXISTING FIRE HYDRANT
○	EXISTING WATERLINE VALVE
○	EXISTING SANITARY SEWER MH
▨	EXISTING IMPROVEMENTS TO BE REMOVED

4007 Lee Road
 Raleigh, NC 27604
 919.488.8844 (cell)
 Firm License: C-3899



ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

REQUIRED DEVELOPMENT STANDARDS (R-4)	
MINIMUM REQUIRED LOT AREA	10,000 SF
MINIMUM REQUIRED LOT WIDTH (INTERIOR)	45 FEET
MINIMUM REQUIRED LOT WIDTH (CORNER)	80 FEET
MINIMUM REQUIRED LOT DEPTH	100 FEET
MAXIMUM ALLOWED DENSITY	4 DU/AC
MINIMUM PRIMARY STREET BUILDING SETBACK	30 FEET
MINIMUM SIDE STREET BUILDING SETBACK	15 FEET
MINIMUM SIDE LOT LINE BUILDING SETBACK	10 FEET
MINIMUM REAR LOT LINE BUILDING SETBACK	30 FEET
MAXIMUM BUILDING HEIGHT (PRINCIPAL BLDG)	40 FEET / 3 STORES
MAXIMUM BUILDING HEIGHT (ACCESSORY BLDG)	25 FEET
GROUND FLOOR ELEVATION (2' OR LESS FROM FRONT PROPERTY LINE (MIN))	2'
GROUND FLOOR ELEVATION (MORE THAN 20' FROM FRONT PROPERTY LINE (MIN))	N/A

SITE DATA SUMMARY	
PROJECT NAME	WIMBLETON SUBDIVISION
PROPERTY ADDRESS	1201 SHELLEY ROAD
COUNTY	WAKE
WAKE COUNTY PIN	1706-25-1299
REAL ESTATE ID	0040706
GROSS PARCEL SIZE	0.99 AC (43,125 SF)
PROPOSED BICH-OF-WAY DEDICATION	0.04 AC (1,744 SF)
NET PARCEL AREA	0.95 AC (41,361 SF)
CURRENT ZONING	R-4
PROPOSED # OF LOTS	2
PROPOSED LOT SIZES	LOT #1 - 24,785 SF (0.57 AC) LOT #2 - 14,574 SF (0.38 AC)
PROPOSED DENSITY	2.0 DU/AC
RIVER BASIN	NEUSE RIVER BASIN
OVERLAY DISTRICTS	N/A
CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
OWNER	JOLEE F. THOMAS 1201 SHELLEY ROAD RALEIGH, NC 27609 CONTACT: JOLEE F. THOMAS EMAIL: JOLEETHOMAS@GMAIL.COM PHONE: 919.624.0268 FAX: N/A
CIVIL ENGINEER / APPLICANT	GROUNDLED ENGINEERING, INC. 497 LILES ROAD RALEIGH, NC 27604 CONTACT: SEAN A. DOLLE PE EMAIL: SEAN@GROUNDLED-ENGINEERING.COM PHONE: 919.438-3494 FAX: N/A
SURVEYOR	TURNING POINT SURVEYING, PLLC 4113 JOHN S. BRANTON WAY RALEIGH, NC 27612 CONTACT: JEFFREY H. DAVIS PHONE: 919.791.0234 FAX: N/A

811
Know what's below.
Call before you dig.

NORTH

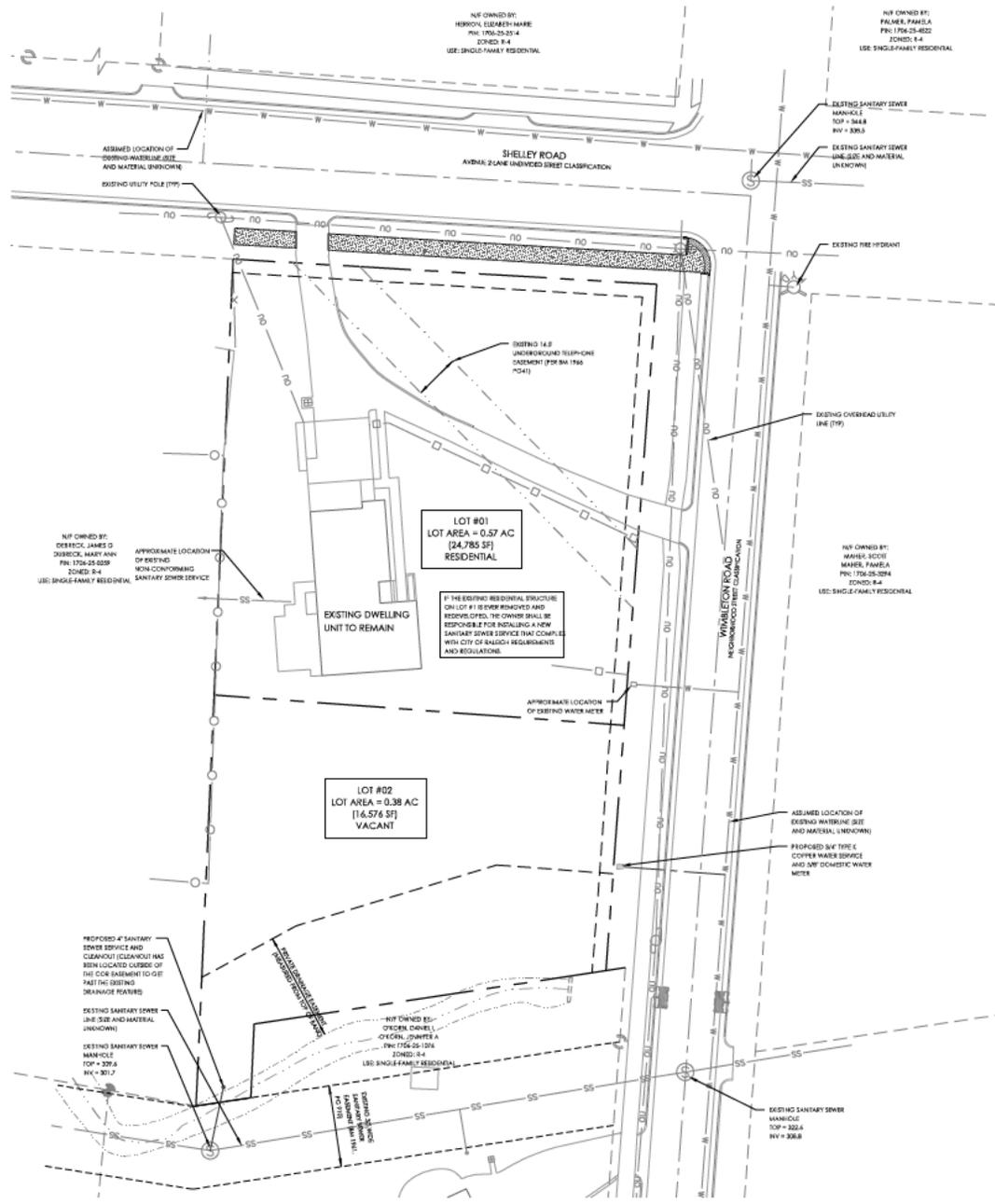
0 10 20 30 40
GRAPHIC SCALE (1"=20')

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

**WIMBLETON SUBDIVISION
PRELIMINARY SUBDIVISION PLAN SUBMITTAL
PRELIMINARY LOT LAYOUT PLAN**

REVISION DATE	DESCRIPTION
0- 01.26.2021	INITIAL SUBDIVISION SUBMITTAL TO CITY
1- 03.24.2021	1- REV. PER COB REVIEW COMMENTS
2- 04.28.2021	2- REV. PER COB REVIEW COMMENTS

PROJECT: **20096**
SHEET # **C-300**



ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

LEGEND

- EXISTING FENCE
- PROPOSED LOTLINE
- PROPOSED MINIMUM BUILDING SETBACK LINE
- PROPOSED UTILITY EASEMENT
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING OVERHEAD UTILITY LINE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED WATER SERVICE
- EXISTING UTILITY POLE
- EXISTING GAS POLE
- EXISTING FIRE HYDRANT
- EXISTING WATERLINE VALVE
- EXISTING SANITARY SEWER MANHOLE



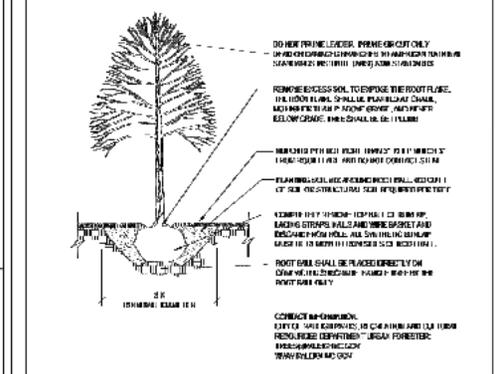
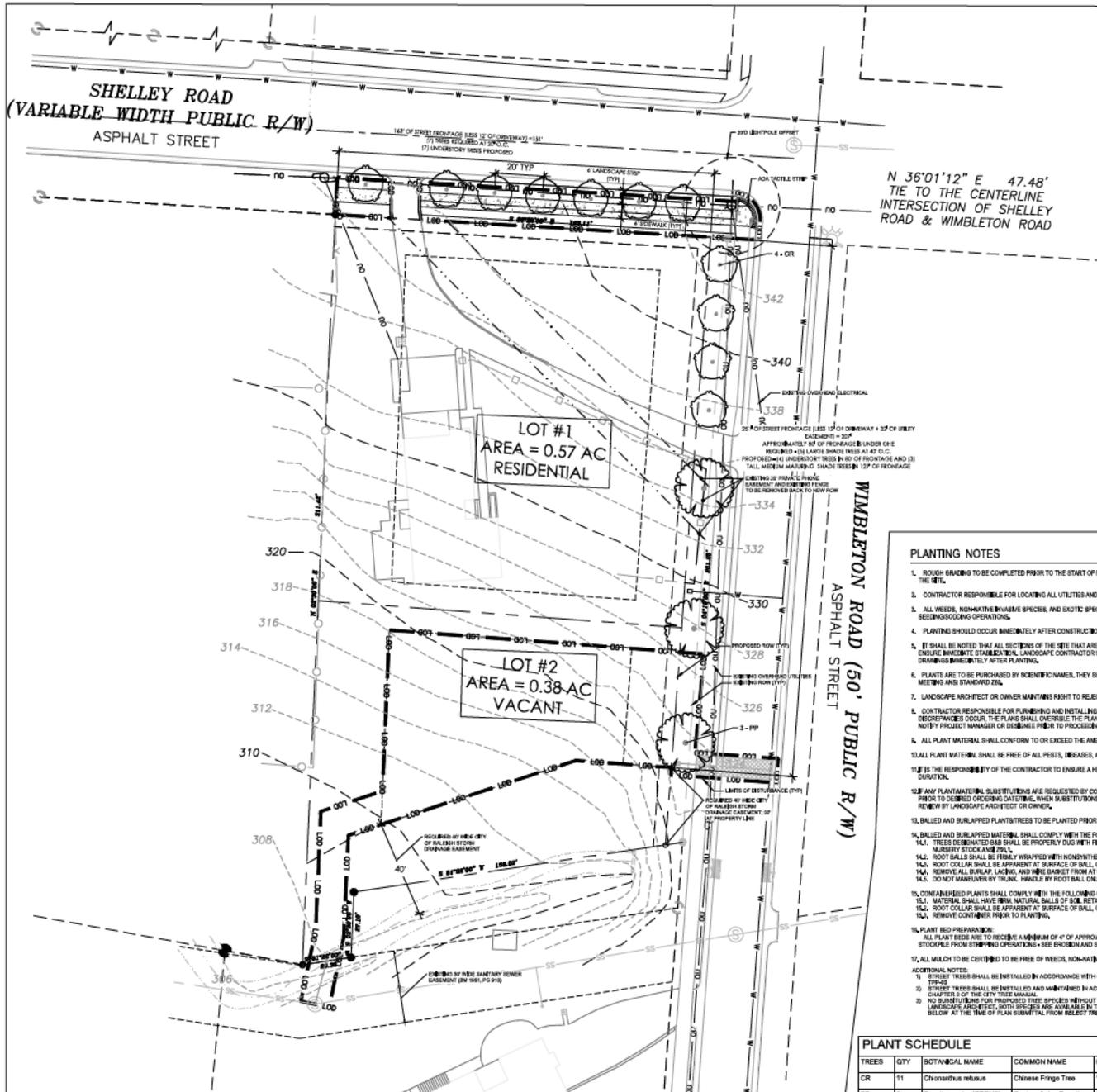
NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

WIMBLETON SUBDIVISION
PRELIMINARY SUBDIVISION PLAN SUBMITTAL
PRELIMINARY UTILITY PLAN

SUBMITTAL DESCRIPTION	0 - INITIAL SUBDIVISION SUBMITTAL TO CITY
	1 - REV. PER COR REVIEW COMMENTS
REVISION DATE	01/26/2021
	03/24/2021
PROJECT	20096
	C-700

4007 Lee Road
 Raleigh, NC 27604
 919.488.8844 (cell)
 Firm License: C-3899





- NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
- CITY OF RALEIGH
PLANNING DEPARTMENT**
- DATE: 04/26/2021
- TTP-03**

PLANTING NOTES

1. ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGNOFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELLED FLOWS AROUND THE SITE.
2. CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
3. ALL WEEDS, NONNATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
4. PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
5. IF IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL, STABILIZATION COVER FABRIC WITH 1" SQUARE OPENINGS PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEERS ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
6. PLANTS ARE TO BE PURCHASED BY SCIENTIFIC NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VISUOUS GROWING CONDITION MEETING ANSI STANDARD Z66.
7. LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
8. CONTRACTOR RESPONSIBLE FOR PLANTING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLANT LEGEND ARE FOR CONTRACTORS CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS WITHIN KNOWN PERMANENT BUTTERES. IF CONFLICT ARISES WITH PLANT CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR ENGINEER PRIOR TO PROCEEDING.
9. ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
10. ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND DAMERS. IN HEALTHY CONDITION, AND FREE OF MEDICINAL DAMAGE AT THE TIME OF PLANTING.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIBANT PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY PERIOD.
12. ANY PLANT MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR ENGINEER AT LEAST SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FALL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
13. BALLED AND BURLAPPED PLANT TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
14. BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
14.1. TREES DEMONSTRATED SHALL BE PROPERLY CURED WITH NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z66.1.
14.2. ROOT BALLS SHALL BE PROPERLY WRAPPED WITH NON-SYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NON-SYNTHETIC TIEING.
14.3. ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
14.4. REMOVE ALL BURLAP, TIEING, AND WIRE BARS FROM AT LEAST THE TOP 10% OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
14.5. DO NOT MANUEVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
15. CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
15.1. MATERIAL SHALL HAVE FROM NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z66.1.
15.2. ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
15.3. REMOVE CONTAINER PRIOR TO PLANTING.
16. PLANT BED PREPARATION:
16.1. ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL, TILLED TO A DEPTH OF 12" TO ENSURE INTEGRATION WITH EXISTING SOIL. APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STOPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLAN. IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
16.2. ALL MULCH TO BE APPLIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE DELIVERY.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER AT DBH	B&B OR CONT.	REMARKS
CR	11	Chionanthus retusus	Chinese Fringe Tree	10' MIN.	1.5" CAL. MIN.	B&B	Single stem up to 6'
PP	3	Parrotia persica 'PPCMZ'	Contemplation Parrotia	10' MIN.	1" CAL. MIN.	B&B	Single stem up to 6'



**WIMBLETON SUBDIVISION
PRELIMINARY SUBDIVISION PLAN
1201 SHELLEY ROAD, RALEIGH, NC**

PROJECT NUMBER:
Project #121005

PROJECT PHASE:
PRELIM SUBDIVISION

DATE: 04/26/2021

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L400