

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
Conventional Subdivision	Compact Development	Conservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval):			
Property Address(es):			
Recorded Deed PIN(s):			
What is your project type?	Single family Apartment	Townhouse Non-residential	Attached houses Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company:	Owner/Developer Name and Title:
Address:	
Phone #:	Email:
APPLICANT INFORMATION	
Company:	Contact Name and Title:
	Address:
Phone #:	Email:

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE**(Applicable to all developments)****ZONING INFORMATION**

Gross site acreage:

Zoning districts (if more than one, provide acreage of each): R-10-CU (100.88 AC)
RX-4-CU (83.59 AC)
CX-3-CU (25.1)

Overlay district: SHOD-1

Inside City limits? ☒ Yes ☐ No

Conditional Use District (CUD) Case # Z-

Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface:

Acres: .0038

Square Feet: 166

Proposed Impervious Surface:

Acres: 61.82

Square Feet: 2,692,978

Neuse River Buffer ☒ Yes ☐ NoWetlands ☒ Yes ☐ NoIs this a flood hazard area? ☒ Yes ☐ No

If yes, please provide the following:

Alluvial soils: USCS Silty Sand

Flood study: Zone X, AE

FEMA Map Panel #: 3720173600J

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: 399 Detached Attached X

Total # of single-family lots: 285

Proposed density for each zoning district (UDO 1.5.2.F): 3.886 DU/ACRE (R-10-CU LOT), 2.440 DU/ACRE (RX-4-CU), 1.072 DU/ACRE (CX-3-CU)

Total # of open space and/or common area lots: 26

Total # of requested lots: 700

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Sean Hein will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:

Date: 1/31/22

Printed Name: Sean Hein

Signature:

Date:

Printed Name:

Please email your completed application to SiteReview@raleighnc.gov.



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)	
☒ Conventional Subdivision	☐ Compact Development ☐ Conservation Development ☐ Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	
GENERAL INFORMATION	
Scoping/sketch plan case number(s): SCOPE-0099-2021	
Development name (subject to approval): Buffaloe Reserve	
Property Address(es): 6515 BUFFALOE RD, south & west of 540	
Recorded Deed PIN(s): 1736764233 1736453588 1736844773	
What is your project type?	☒ Single family ☒ Townhouse ☐ Attached houses ☒ Apartment ☐ Non-residential ☐ Other: limited commercial along Buffalo Rd

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Suncrest Real Estate & Land	Owner/Developer Name and Title: Case Werner, PE - Director of Land Development
Address: 2701 East Camelback Rd #180, Biltmore Park, Phoenix, Arizona 85016	
Phone #: 630.363.6401	Email: cwerner@suncrestreal.com
APPLICANT INFORMATION	
Company: Timmons Group	Contact Name and Title: Sean Hein, PLS - Senior Project Manager
Address: 5410 Trinity Road Suite 102, Raleigh, NC 27607	
Phone #: 919.866.4934	Email: sean.hein@timmons.com

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage:	
Zoning districts (if more than one, provide acreage of each): R-10-CU (100.88 AC) RX-4-CU (83.59 AC) CX-3-CU (25.1)	
Overlay district: SHOD-1	Inside City limits? ☒ Yes ☐ No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: .0038 Square Feet: 156	Proposed Impervious Surface: Acres: .6182 Square Feet: 2,692,976
Neuse River Buffer ☒ Yes ☐ No	Wetlands ☒ Yes ☐ No
Is this a flood hazard area? ☒ Yes ☐ No	
If yes, please provide the following: Alluvial soils: USCS Silty Sand Flood study: Zone X, AE FEMA Map Panel #: 3720173600J	

NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: 368	Detached Attached X
Total # of single-family lots: 283	
Proposed density for each zoning district (UDO 1.5.2.F): 3.886 DU/ACRE (R-10-CU LOT), 2.440 DU/ACRE (RX-4-CU), 1.072 DU/ACRE (CX-3-CU)	
Total # of open space and/or common area lots: 26	
Total # of requested lots: 651	

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, Sean Hein , will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: 1/31/22
Printed Name: Sean Hein	
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.

BUFFALOE RESERVE PRELIMINARY SUBDIVISION PLAN SKETCH REVIEW TRANSACTION # SCOPE-0099-2021

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
PIN: 1736-45-3588, 1736-76-4233, 1736-84-4773
SUBDIVISION CASE # SUB-0007-2022



VICINITY MAP
SCALE 1" = 500'

SITE DATA

PROJECT:	BUFFALOE RESERVE
ENGINEER:	MIKE ZACCARDI, PE TIMMONS GROUP 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: 919-532-3281 FAX: 919-859-5663 EMAIL: MIKE.ZACCARDI@TIMMONS.COM
DEVELOPER:	SUNCREST REAL ESTATE & LAND 2701 EAST CAMELBACK RD #180, BILTMORE PARK, PHOENIX, ARIZONA 85016 PHONE: (630) 363-6401 EMAIL: CWERNER@SUNCRESTREAL.COM
PIN:	1736-45-3588, 1736-76-4233, 1736-84-4773
PIN ADDRESS:	5604 KYLE DRIVE, RALEIGH, NC 27616 6515 BUFFALOE RD, RALEIGH, NC 27616 6617 BUFFALOE RD, RALEIGH, NC 27616 0 BUFFALOE RD, RALEIGH, NC 27616
ZONING:	R-10-CU, RX-4-CU, CX-3-CU
OVERLAY DISTRICT:	SHOD-1
PROPOSED USE:	MIXED USE RESIDENTIAL
TOTAL TRACT AREA:	R-10-CU: 100.88 AC RX-4-CU: 83.59 AC CX-3-CU: 25.18 AC TOTAL: 209.26 AC
NUMBER OF PROPOSED LOTS:	656



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	OVERALL EXISTING CONDITIONS
C1.1	DETAILED EXISTING CONDITIONS PLAN - SHEET 1 OF 2
C1.2	DETAILED EXISTING CONDITIONS PLAN - SHEET 2 OF 2
C2.0	OVERALL PRELIMINARY SUBDIVISION PLAN
C2.1	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 1 OF 8
C2.2	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 2 OF 8
C2.3	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 3 OF 8
C2.4	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 4 OF 8
C2.5	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 5 OF 8
C2.6	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 6 OF 8
C2.7	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 7 OF 8
C2.8	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 8 OF 8
C2.9	TREE CONSERVATION AREA MAP
C2.10	ZONING PLAN
C2.11	PHASING PLAN
C2.12	EASEMENT PLAN
C2.13	OVERALL BLOCK PERIMETER & DEAD END STREET PLAN
C2.14	DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 1 OF 3
C2.15	DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 2 OF 3
C2.16	DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 3 OF 3
C3.0	OVERALL PRELIMINARY UTILITY PLAN
C3.1	DETAILED PRELIMINARY UTILITY PLAN - SHEET 1 OF 8
C3.2	DETAILED PRELIMINARY UTILITY PLAN - SHEET 2 OF 8
C3.3	DETAILED PRELIMINARY UTILITY PLAN - SHEET 3 OF 8
C3.4	DETAILED PRELIMINARY UTILITY PLAN - SHEET 4 OF 8
C3.5	DETAILED PRELIMINARY UTILITY PLAN - SHEET 5 OF 8
C3.6	DETAILED PRELIMINARY UTILITY PLAN - SHEET 6 OF 8
C3.7	DETAILED PRELIMINARY UTILITY PLAN - SHEET 7 OF 8
C3.8	DETAILED PRELIMINARY UTILITY PLAN - SHEET 8 OF 8
C3.9	MASTER WATER DISTRIBUTION PLAN
C3.10	MASTER SEWER PLAN
C4.0	OVERALL PRELIMINARY GRADING & DRAINAGE PLAN
C4.1	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 1 OF 8
C4.2	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 2 OF 8
C4.3	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 3 OF 8
C4.4	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 4 OF 8
C4.5	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 5 OF 8
C4.6	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 6 OF 8
C4.7	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 7 OF 8
C4.8	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 8 OF 8
C5.0	OVERALL PRELIMINARY LANDSCAPING PLAN
C5.1	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 1 OF 8
C5.2	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 2 OF 8
C5.3	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 3 OF 8
C5.4	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 4 OF 8
C5.5	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 5 OF 8
C5.6	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 6 OF 8
C5.7	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 7 OF 8
C5.8	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 8 OF 8
C5.9	PRELIMINARY LANDSCAPE PLANTS LIST
C6.0	OVERALL PRELIMINARY LIGHTING PLAN
C6.1	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 1 OF 4
C6.2	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 2 OF 4
C6.3	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 3 OF 4
C6.4	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 4 OF 4
C7.0	NOTES AND DETAILS
C7.1	NOTES AND DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4931 FAX 919.859.5663 www.timmons.com

REVISION DESCRIPTION

DATE
09/20/2022
DRAWN BY
331
DESIGNED BY
331
CHECKED BY
M. ZACCARDI
SCALE
1" = 500'

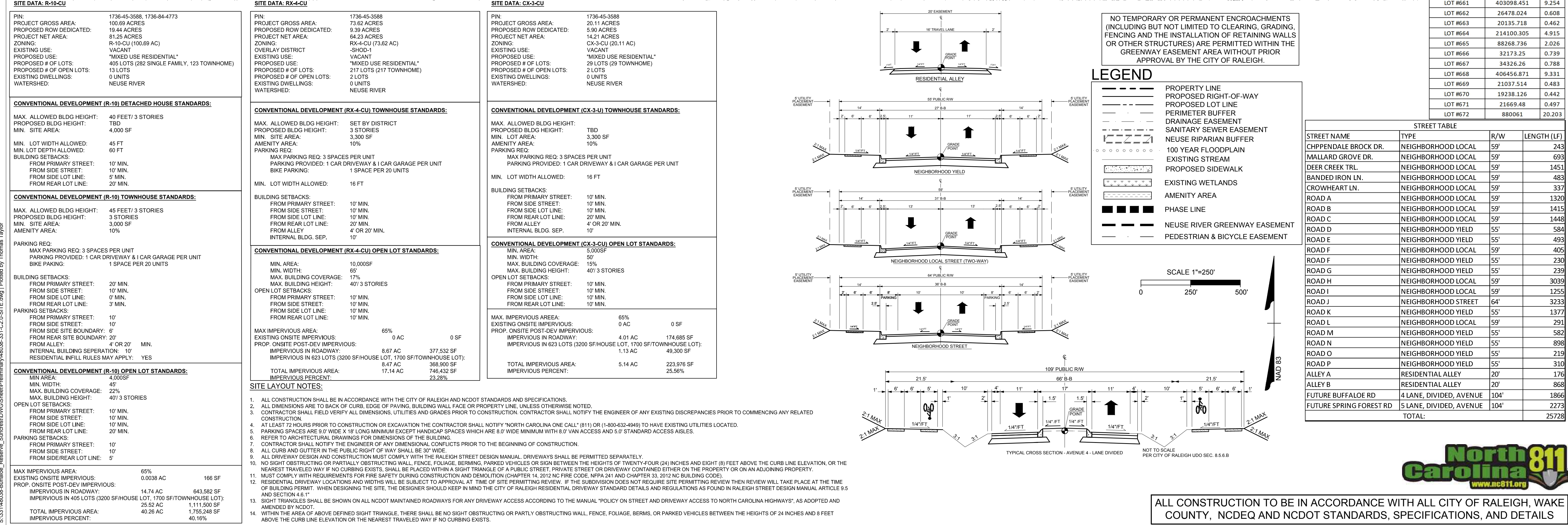
TIMMONS GROUP

BUFFALOE RESERVE
WAKE COUNTY, NORTH CAROLINA
COVER SHEET

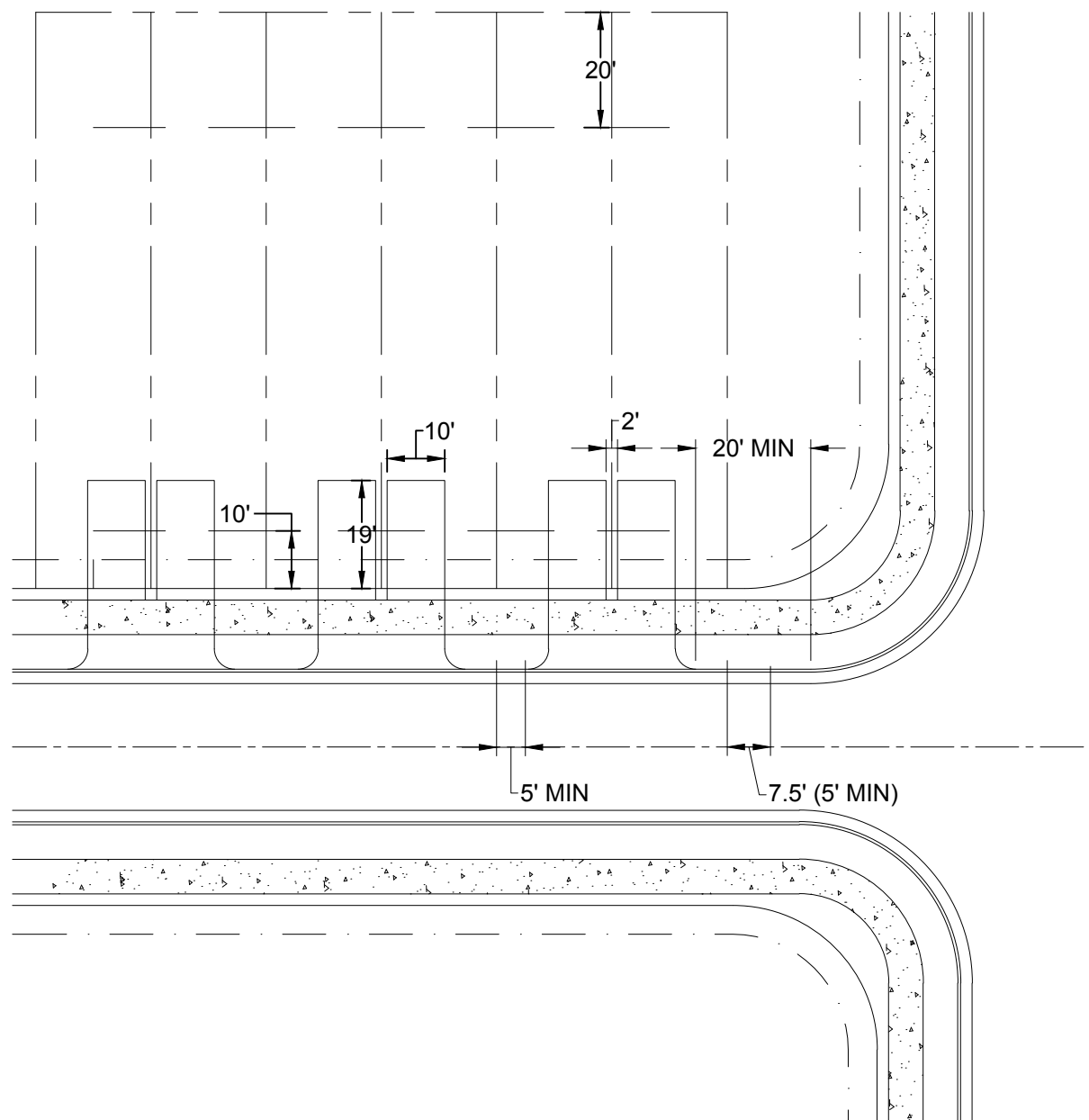
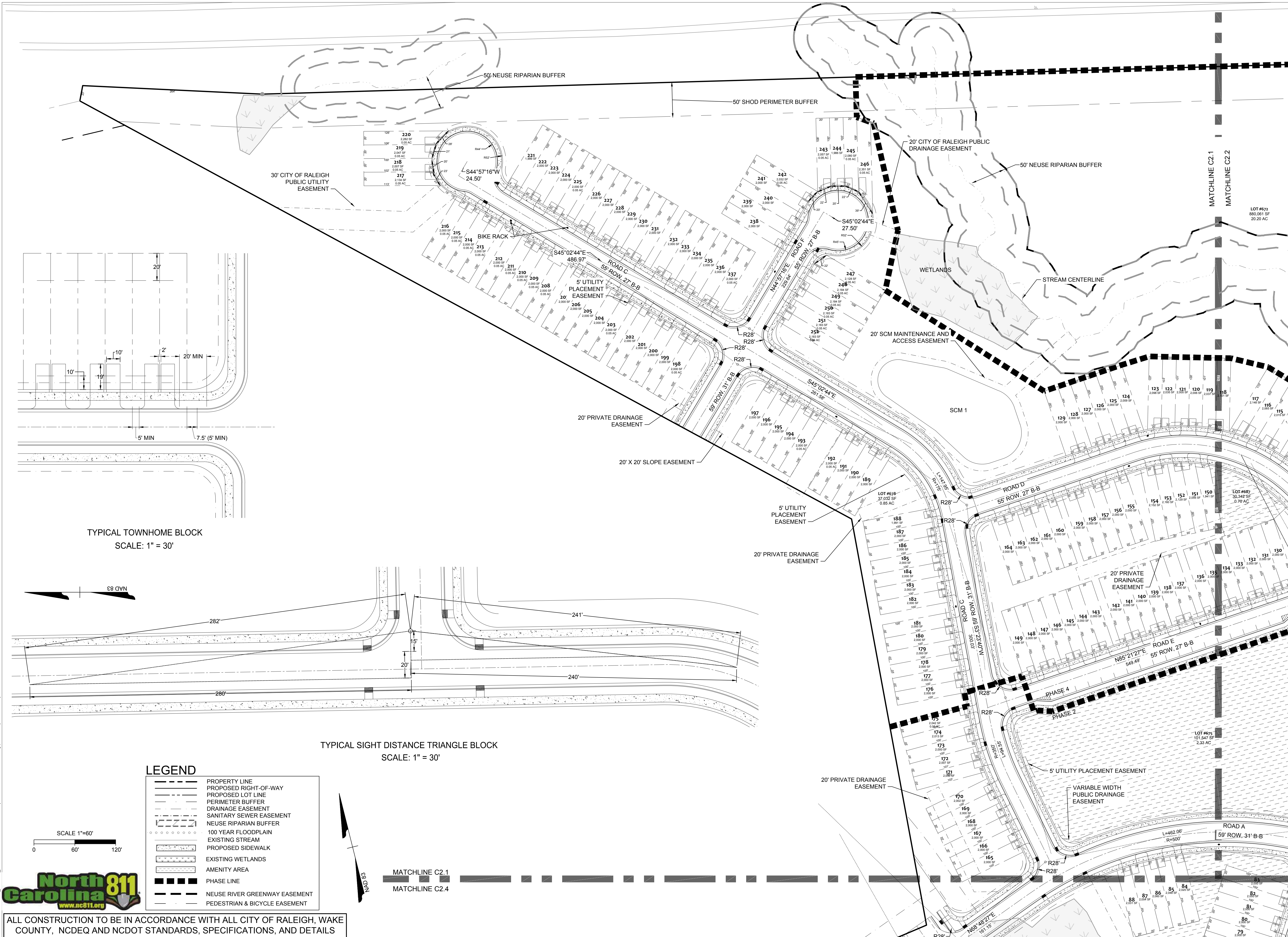
JOB NO.
48038
SHEET NO.
C0.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

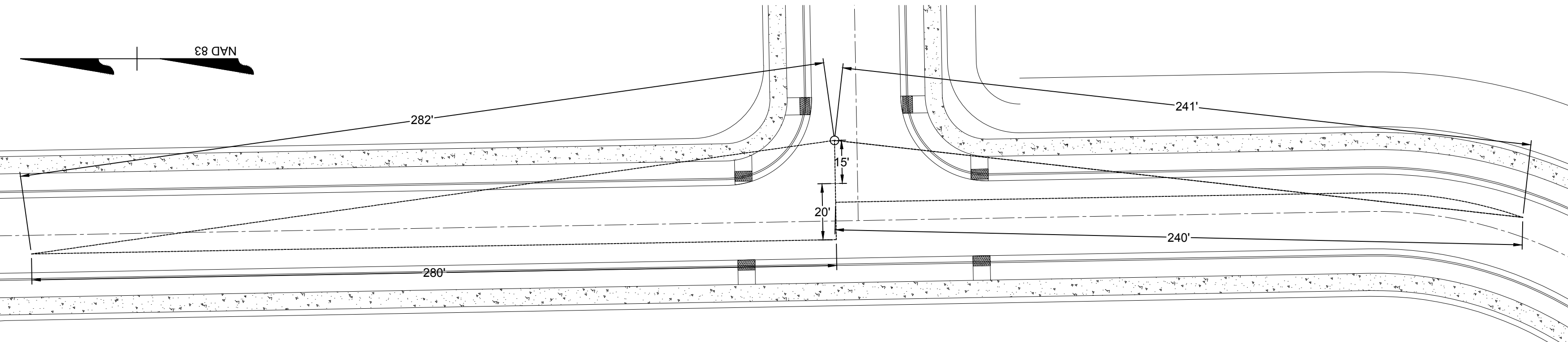
PRELIMINARY - DO NOT USE FOR CONSTRUCTION



S:\31148038-Buffer_Reservation_Surveys\DWG\Sheet\ Preliminary\48038-331-C2-D-SITE.dwg | Plotted by Thomas Taylor

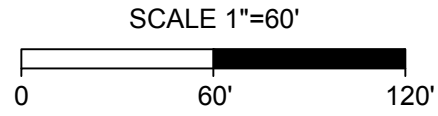


TYPICAL TOWNHOME BLOCK
SCALE: 1" = 30'



TYPICAL SIGHT DISTANCE TRIANGLE BLOCK
SCALE: 1" = 30'

LEGEND	
	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	PROPOSED SIDEWALK
	EXISTING WETLANDS
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866-4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	09/20/2022

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1"=60'

BUFFALOE RESERVE
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 1 OF 8

JOB NO.
48038

SHEET NO.
C2.1

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



North Carolina 811
www.nc811.org

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	PROPOSED SIDEWALK
	EXISTING WETLANDS
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT

NAD 83

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE _____

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE

$$1'' = 60'$$

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

BUFFALO RESERVE

WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 2 OF 8

JOB NO.

48038

SHEET NO.

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

North Carolina 811
www.nc811.org

MATCHLINE C2.4

30' CITY OF RALEIGH
SANITARY SEWER EASEMENT

STREAM
CENTERLINE

20' PRIVATE
DRAINAGE
EASEMENT

EUSE RIPARIAN BUFFER

— CONNECT TO EXISTING
BANDED IRON LN
& MATCH GRADE

MATCHLINE C2.5

MATCHLINE C2.4

MATCHLINE C2.4

SCALE 1"=60'



A horizontal scale bar with a white section on the left and a black section on the right. The white section is labeled '60'' and the black section is labeled '120''.

NAD 83

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	PROPOSED SIDEWALK
	EXISTING WETLANDS
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT

EXISTING 30' CITY OF RALEIGH
SANITARY SEWER EASEMENT
& 5' ACCESS EASEMENT

THOROUGHFARE BUFFER—

UTILITY
CEMENT
SEMENT —

ALLEY

662 120
611 SF

661
3,251 SF

659

658

657

656
727 SF

6
5.6

Q

2

LOCAL

ALOE H

E COUNTY, NOR
BY CLIPD

reproduced in whole or in part

NS GROUP.

mitted to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS

DATE
00/00/2021

331

331

ACCARD

SCALE
1"=60'

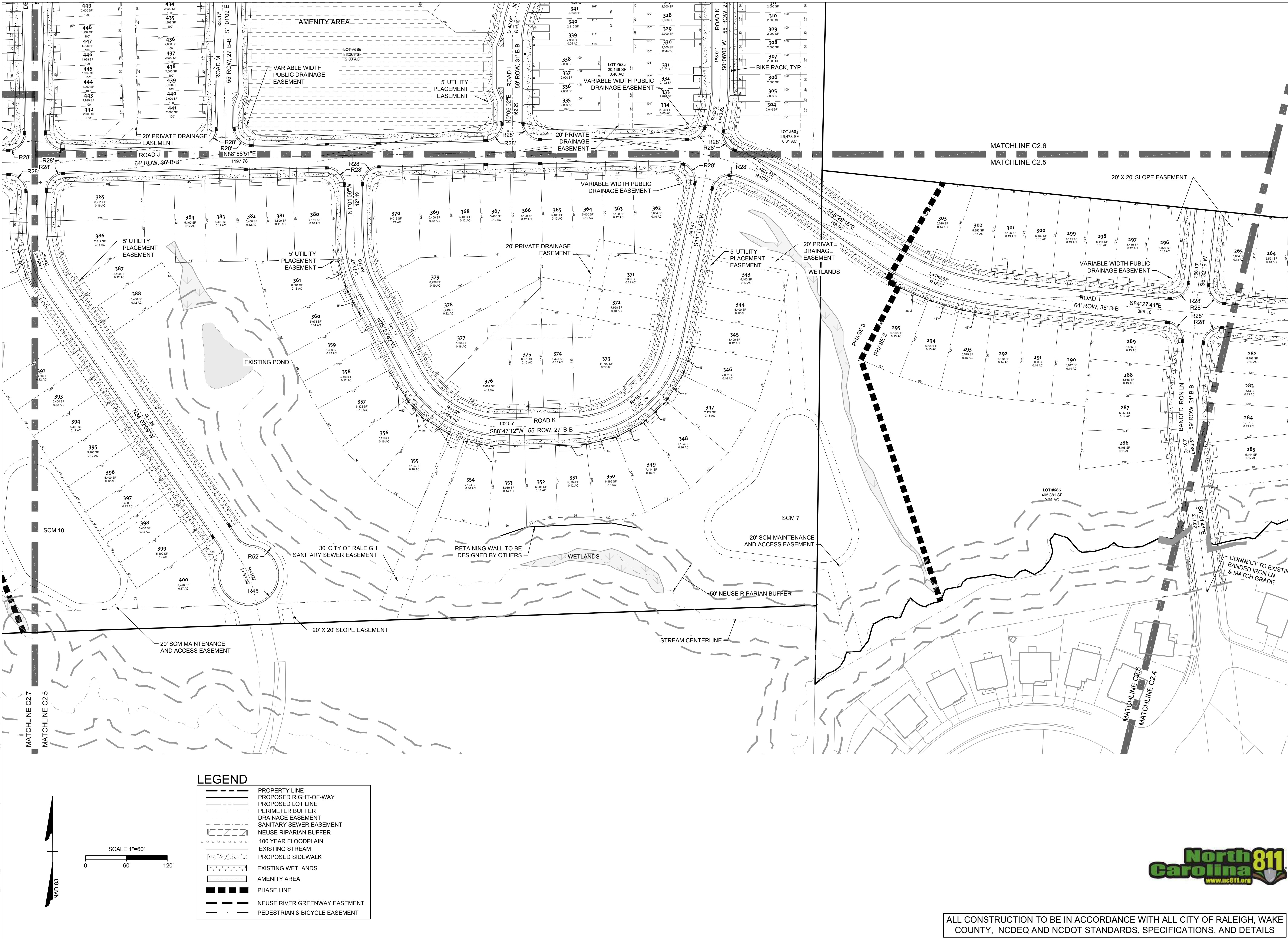
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 4 OF 8

JOB NO.
48038

SHEET NO.
C2.4

S:\33148038-Buffaloe_Reserve_Surceest\DWG\Sheet\ Preliminary\48038-331-C2-D-SITE.dwg | Plotted by Thomas Taylor



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

TIMMONS GROUP

BUFFALOE RESERVE
WAKE COUNTY, NORTH CAROLINA
DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 5 OF 8

JOB NO.
48038
SHEET NO.
C2.5

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

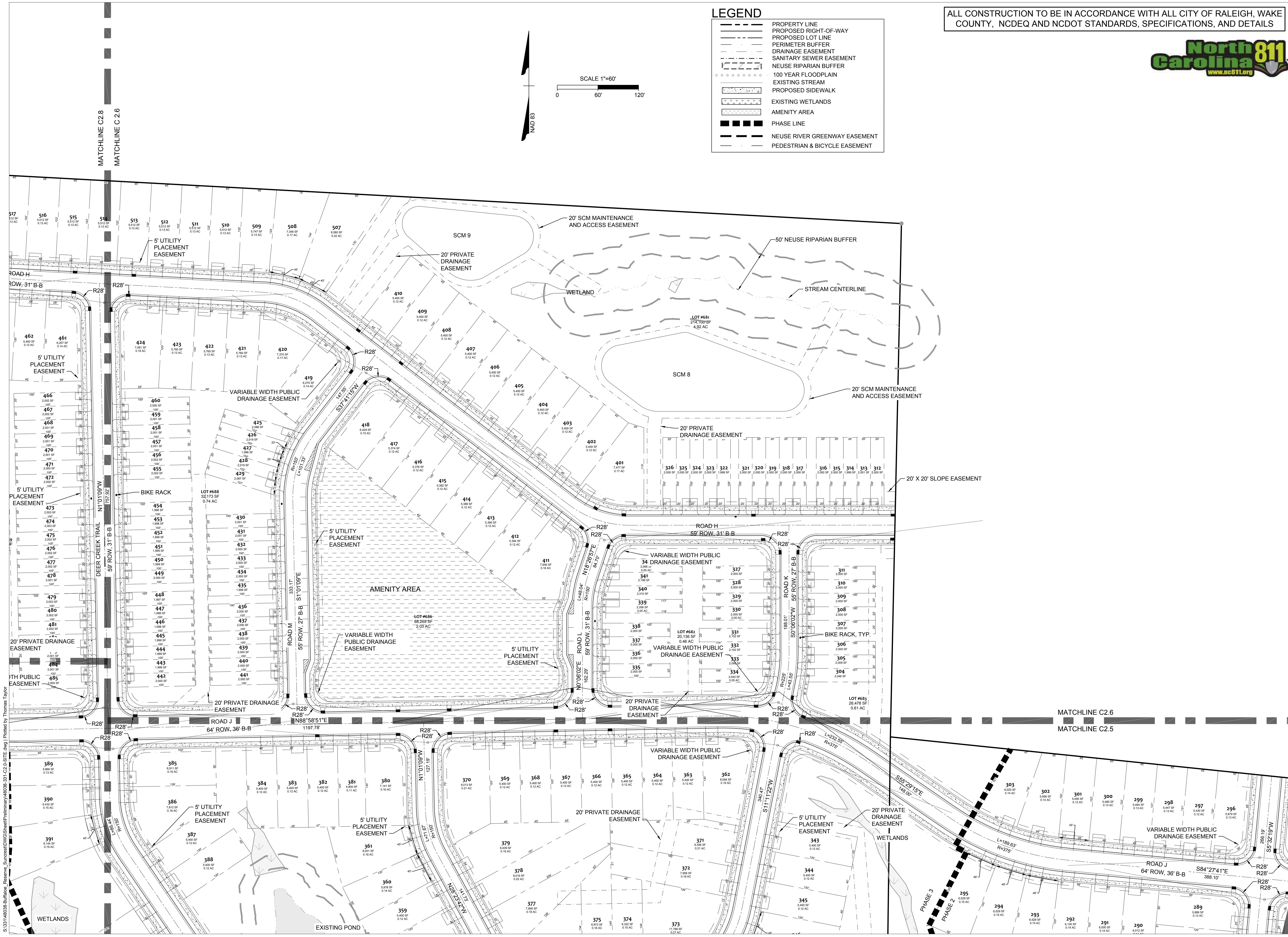
DATE
09/20/2022
DRAWN BY
331
DESIGNED BY
331
CHECKED BY
M. ZACCARDO
SCALE
1"=60'

**PRELIMINARY
NOT FOR
CONSTRUCTION**

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

PRELIMINARY - DO NOT USE FOR CONSTRUCTION





LEGEND

- PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PERIMETER BUFFER
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- NEUSE RIPARIAN BUFFER
- 100 YEAR FLOODPLAIN
- EXISTING STREAM
- PROPOSED SIDEWALK
- EXISTING WETLANDS
- AMENITY AREA
- PHASE LINE
- NEUSE RIVER GREENWAY EASEMENT
- PEDESTRIAN & BICYCLE EASEMENT

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.	
DATE	
DATE	
09/20/2022	
DRAWN BY	

DRAWN BY	331
DESIGNED BY	331
CHECKED BY	M. ZACCARDO
SCALE	1"=60'

TIMMONS GROUP

BUFFALOE RESERVE
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 6 OF 8

JOB NO.
48038

SHEET NO.
C2.6

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

S:\33148038-Buffaloe Reserve_Surrounding\DWG\Sheet\Primary\48038-C2.6 SITE.dwg | Plotted by Thomas Taylor

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

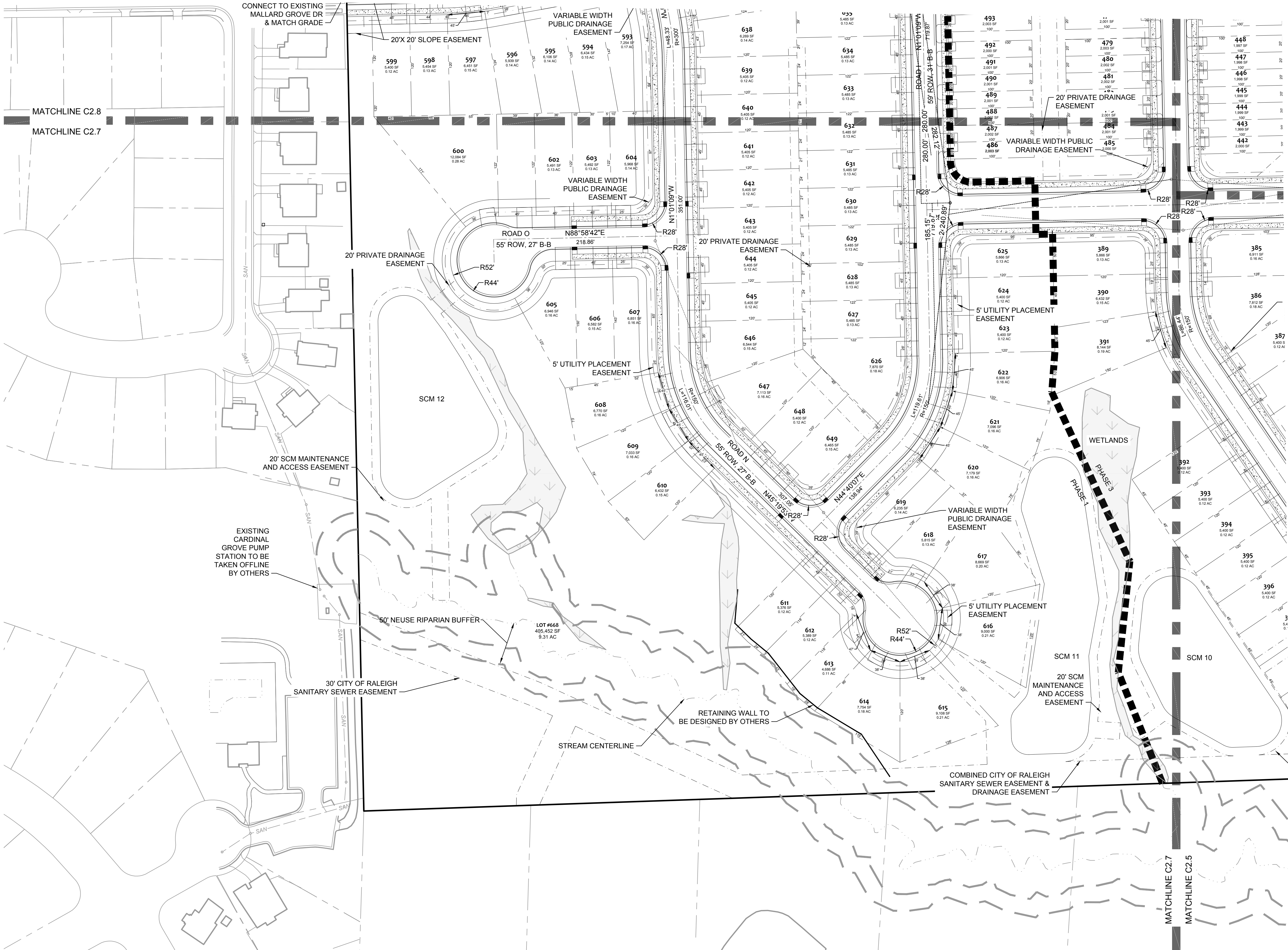
SCALE 1"=60'

NAD 83

LEGEND

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	PROPOSED SIDEWALK
	EXISTING WETLANDS
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT

S:\33148038-Bufferloe_Reserve_Surveys\DWG\Sheet\ Preliminary\48038-331-C2-D-SITE.dwg | Plotted by Thomas Taylor



TIMMONS GROUP

BUFFALO RESERVE
WAKE COUNTY, NORTH CAROLINA
DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 7 OF 8

JOB NO.
48038
SHEET NO.
C2.7

YOUR VISION ACHIEVED THROUGH OURS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866-4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION	DATE

DATE
09/20/2022
DRAWN BY
331
DESIGNED BY
331
CHECKED BY
M. ZACCARDO
SCALE
1"=60'

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

