



# Administrative Approval Action

**Case File / Name: SUB-0007-2022  
DSLCL - Buffaloe Reserve**

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This is a 209 acre site consisting of several parcels located on the southwest corner of the intersection of I-540 and the Neuse River at 5604 Kyle Drive, and 6515 Buffaloe Road. It is outside the city limits.

**REQUEST:** This is a REVISION TO THE PREVIOUSLY APPROVED CONVENTIONAL SUBDIVISION PLAN. This 209 acre development is zoned R-10 CU, RX-4 CU, CX-3 CU and SHOD-1. The original plan was a conventional phased subdivision consisting of 381 townhome lots, 281 single family lots, and 23 open lots for a total of 685 lots. Following this revision the conventional subdivision consists of 413 townhome lots, 238 single family lots, and 28 HOA lots totaling 679 lots. This revision includes phase line revisions, townhome lots replacing detached house lots in phase 3, stormwater management changes, additions of alleys E-J, realignment of alley A, and the addition of Perry Creek Road extension and associated infrastructure. This plan was originally approved on March 9, 2023 with a sunset date of March 9, 2026. The sunset date for this revised plan is unchanged.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** SPR-0081-2023: DSLCL - Site Permitting Review/Major [Signature Set]

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 24, 2023 by Timmons Group.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

**General**

1. The greenway connections located at 6515 Buffaloe Road must be located within dedicated bicycle and pedestrian easements, and all proposed asphalt multi-use trails must meet City of Raleigh Greenway trail design standards and be constructed as shown in SUB-0007-2022.
2. For ease of reference please add lot numbers to all residential and non residential lots. All lots should be numbered and the lot numbers should match the lot numbers shown on the preliminary subdivision plan sheets (C2.0-C2.8)
3. Prior to SPR approval the final design for adjacent intersections shall be agreed to by NCDOT and City of Raleigh Transportation Department.



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4. Prior to SPR approval traffic calming measures agreed to by the City of Raleigh's Transportation Department shall be shown at identified locations within the new development infrastructure.
5. Prior to SPR approval the thoroughfare easements along existing Buffaloe Road and Spring Forest Road Extension shall also be labeled and eventually recorded with deed and plat as temporary construction easement and slope easement.
6. Prior to SPR approval include a plan sheet in the final plan set that shows all common area lots numbered and showing their size and labeled as such with verification that zoning conditions of Z-49-21 requiring minimum "open areas" and amenity areas are met.
7. Prior to SPR approval of the applicable phase of development include details showing conformance with fence requirements of zoning condition number 6 of Z-49-21.
8. Add revised AA to the second sheet of the SPR and revise the spr plan to match the revised preliminarily approved subdivision.

## Public Utilities

9. A Water Model of entire SUB in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval prior to concurrent approval.
10. A Downstream Sewer Capacity Study for entire SUB in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval
11. in vicinity of lot 628, completely remove SCM11 out of CORSSE &/or shift CORSSE west to avoid conflict. also remove retain wall from CORSSE & note on plan that all grading across CORSSE shall not exceed 3:1 max slope
12. Add a prominent note to the master sanitary sewer plan that "sewer line pipe sizes are subject to change based on results of downstream sewer capacity analysis. Sewer lines extended to adjacent upstream properties shall also be sized for a fully developed basin - to include abandonment of the cardinal grove PS"

## Stormwater

13. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
14. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3). Submit flood studies as SPR-minors.
15. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
16. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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17. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

**Urban Forestry**

18. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

19. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

**LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**General**

1. Provide documentation indicating a Property Owner's Association has been established for the subject development.
2. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
3. A fee-in-lieu for the remainder of the Perry Creek Road extension shall be paid to the city prior to the first recordation of lots.
4. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
5. The final subdivision maps for each phase shall show all common area lots to be owned by the property owners' association labeled with a statement that says "All common area lots are to be owned and maintained by the property owners' association."



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6. Prior to recording any phase of the subdivision the developer shall either record all required tree conservation areas and open areas as required by zoning conditions of Z-49-21 for the whole development, or shall record the minimum amounts required proportionate to, or in excess of requirements, for each phase of development. The developer shall provide the city a separate cumulative map showing recorded open areas with each phase of subdivision maps to be recorded verifying compliance with zoning conditions. This separate map shall include a chart for the required open areas showing lot numbers, size, and percentage of total requirements for the open areas.

## Engineering

7. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A fee-in-lieu for required infrastructure shall be paid to the City of Raleigh (UDO 8.1.10).
9. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
10. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
11. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.
12. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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## Public Utilities

13. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a water and/or sewer main.
14. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
15. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

16. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
17. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
18. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
19. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
20. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
21. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
22. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

23. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 40.3 acres of tree conservation area.
24. A public infrastructure surety for 220 street trees along NCDOT maintained roads and 790 street trees along City of Raleigh maintained roads shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. Comply with all conditions of Z-49-21

## Public Utilities

2. A SUB plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 1010 street trees to be planted along 22 public roads.
4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

***The following are required prior to issuance of building occupancy permit:***

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

## Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: March 9, 2026**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: March 9, 2028**  
**Record entire subdivision.**



# BUFFALO RESERVE PRELIMINARY SUBDIVISION PLAN - REVISION

## SKETCH REVIEW TRANSACTION # SCOPE-0099-2021 SUBDIVISION CASE # SUB-0007-2022 APPROVED 03/09/2023 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA PIN: 1736-45-3588, 1736-76-4233, 1736-84-4773

### Preliminary Subdivision Application Planning and Development



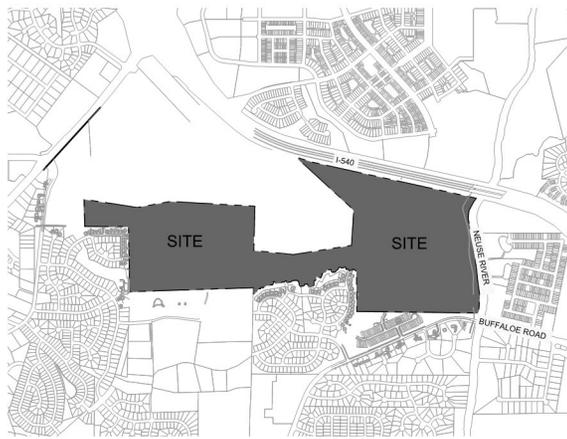
**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

<b>DEVELOPMENT TYPE (UDO Section 2.1.2)</b>			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
<b>GENERAL INFORMATION</b>			
Scoping/sketch plan case number(s): <b>SCOPE-0099-2021</b>			
Development name (subject to approval): <b>Buffalo Reserve</b>			
Property Address(es): <b>5604 Kyle Dr, 6515 Buffalo Rd, 6617 Buffalo Rd, 0 Buffalo Rd</b>			
Recorded Deed PIN(s): <b>1736764233 1736453588 1736844773</b>			
What is your project type?	<input checked="" type="checkbox"/> Single family	<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Attached houses
	<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Non-residential	<input type="checkbox"/> Other: _____
<b>CURRENT PROPERTY OWNER/DEVELOPER INFORMATION</b>			
NOTE: Please attach purchase agreement when submitting this form			
Company: Suncrest Real Estate & Land			
Owner/Developer Name and Title: Mark McKinley, PE - Director of Land Development			
Address: 11330 VanStory Drive, #114B, Huntersville, NC 28078			
Phone #: 704.995.3290		Email: <a href="mailto:mmcauley@suncrestreal.com">mmcauley@suncrestreal.com</a>	
<b>APPLICANT INFORMATION</b>			
Company: Timmons Group			
Contact Name and Title: Sean Hein, PLS - Senior Project Manager			
Address: 5410 Trinity Road Suite 102, Raleigh, NC 27607			
Phone #: 919.866.4934		Email: <a href="mailto:sean.hein@timmons.com">sean.hein@timmons.com</a>	

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VICINITY MAP  
SCALE 1" = 1,000'

### SITE DATA

PROJECT:	BUFFALO RESERVE
ENGINEER:	ALLISON STONE, PE TIMMONS GROUP 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: 919-866-4518 FAX: 919-859-5663 EMAIL: <a href="mailto:ALLISON.STONE@TIMMONS.COM">ALLISON.STONE@TIMMONS.COM</a>
DEVELOPER:	SUNCREST REAL ESTATE & LAND 11330 VANSTORY DRIVE #114B HUNTERSVILLE, NC 28078 PHONE: 704-995-3290 EMAIL: <a href="mailto:MCCAULEY@SUNCRESTREAL.COM">MCCAULEY@SUNCRESTREAL.COM</a>
PIN:	1736-45-3588, 1736-76-4233, 1736-84-4773
PIN ADDRESS:	5604 KYLE DRIVE, RALEIGH, NC 27616 6515 BUFFALO RD, RALEIGH, NC 27616 6617 BUFFALO RD, RALEIGH, NC 27616 0 BUFFALO RD, RALEIGH, NC 27616
ZONING:	R-10-CU, RX-4-CU, CX-3-CU
OVERLAY DISTRICT:	SHOD-1
PROPOSED USE:	MIXED USE RESIDENTIAL
TOTAL TRACT AREA:	R-10-CU: 100.88 AC RX-4-CU: 83.59 AC CX-3-CU: 25.1 AC TOTAL: 209.26 AC
NUMBER OF PROPOSED LOTS:	679 (413 TH LOTS, 238 SF LOTS, 28 HOA LOTS)

### NOTES:

- SOLID WASTE FOR EACH RESIDENCE WILL BE MANAGED THROUGH CURB SIDE PICK UP AS PROVIDED BY THE CITY OF RALEIGH'S SOLID WASTE SERVICE DEPARTMENT AND IN ACCORDANCE WITH THE SOLID WASTE SERVICES DESIGN MANUAL. REFUSE CONTAINERS ARE TO BE STORED IN GARAGES
- RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW, THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT.

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage:	
Zoning districts (if more than one, provide acreage of each):	R-10-CU (100.88 AC) RX-4-CU (83.59 AC) CX-3-CU (25.1)
Overlay district: SHOD-1	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z:	Board of Adjustment (BOA) Case # A:

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 49.88	Proposed Impervious Surface: <i>Previously approved 39.23</i> Acres: 49.88 + 72.81 = 122.69 Square Feet: 3,171,000
Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes, please provide the following: Flood study: 2013 FEMA Map Panel #: 1907001A	

NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: 284	Attached x
Total # of single-family lots: 395	
Proposed density for each zoning district (UDO 10.2.5.F): R-10-CU (R-10-CU): 1.00 RX-4-CU (RX-4-CU): 1.00 CX-3-CU (CX-3-CU): 1.00	
Total # of open space and/or common area lots: 28	
Total # of requested lots: 679	

SIGNATURE BLOCK	
The undersigned certifies that the property owner(s) is/are aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, Sean Hein, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development site. I acknowledge that this application is subject to the filing calendar and substantial policy, which states applications will expire after 180 days of inactivity.	
Signature: _____	Date: 04/24/2023
Printed Name: Sean Hein	
Signature: _____	Date: _____
Printed Name: _____	

Please email your completed application to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

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Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	OVERALL EXISTING CONDITIONS
C1.1	DETAILED EXISTING CONDITIONS PLAN - SHEET 1 OF 2
C1.2	DETAILED EXISTING CONDITIONS PLAN - SHEET 2 OF 2
C2.0	OVERALL PRELIMINARY SUBDIVISION PLAN
C2.1	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 1 OF 8
C2.2	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 2 OF 8
C2.3	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 3 OF 8
C2.4	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 4 OF 8
C2.5	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 5 OF 8
C2.6	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 6 OF 8
C2.7	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 7 OF 8
C2.8	DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 8 OF 8
C2.9	TREE CONSERVATION AREA MAP
C2.10	ZONING PLAN
C2.11	PHASING PLAN
C2.12	EASEMENT PLAN - SHEET 1 OF 2
C2.13	EASEMENT PLAN - SHEET 2 OF 2
C2.14	GREENWAY PLAN
C2.16	OVERALL BLOCK PERIMETER & DEAD END STREET PLAN
C2.17	DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 1 OF 3
C2.18	DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 2 OF 3

C2.19	DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 3 OF 3
C3.0	OVERALL PRELIMINARY UTILITY PLAN
C3.1	DETAILED PRELIMINARY UTILITY PLAN - SHEET 1 OF 8
C3.2	DETAILED PRELIMINARY UTILITY PLAN - SHEET 2 OF 8
C3.3	DETAILED PRELIMINARY UTILITY PLAN - SHEET 3 OF 8
C3.4	DETAILED PRELIMINARY UTILITY PLAN - SHEET 4 OF 8
C3.5	DETAILED PRELIMINARY UTILITY PLAN - SHEET 5 OF 8
C3.6	DETAILED PRELIMINARY UTILITY PLAN - SHEET 6 OF 8
C3.7	DETAILED PRELIMINARY UTILITY PLAN - SHEET 7 OF 8
C3.8	DETAILED PRELIMINARY UTILITY PLAN - SHEET 8 OF 8
C3.9	MASTER WATER DISTRIBUTION PLAN
C3.10	MASTER SEWER PLAN
C4.0	OVERALL PRELIMINARY GRADING & DRAINAGE PLAN
C4.1	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 1 OF 8
C4.2	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 2 OF 8
C4.3	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 3 OF 8
C4.4	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 4 OF 8
C4.5	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 5 OF 8
C4.6	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 6 OF 8
C4.7	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 7 OF 8
C4.8	DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 8 OF 8
C5.0	OVERALL PRELIMINARY LANDSCAPING PLAN
C5.1	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 1 OF 8
C5.2	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 2 OF 8

C5.3	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 3 OF 8
C5.4	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 4 OF 8
C5.5	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 5 OF 8
C5.6	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 6 OF 8
C5.7	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 7 OF 8
C5.8	DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 8 OF 8
C6.0	OVERALL PRELIMINARY LIGHTING PLAN
C6.1	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 1 OF 4
C6.2	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 2 OF 4
C6.3	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 3 OF 4
C6.4	DETAILED PRELIMINARY LIGHTING PLAN - SHEET 4 OF 4
C7.0	NOTES AND DETAILS
C7.1	NOTES AND DETAILS

### PROPOSED REVISIONS TO APPROVED SUB-0007-2022:

- PHASE LINE REVISION AND ASSOCIATED CALCULATIONS
- SINGLE FAMILY UNITS SWAPPED FOR TOWNHOMES IN PHASE 3
- REMOVAL OF SCM 9
- ADDITION OF ALLEY E, ALLEY F, ALLEY G, ALLEY H, ALLEY I AND ALLEY J
- REALIGNMENT OF ALLEY A
- ADDITION OF FULL PERRY CREEK ROAD EXTENSION AND ASSOCIATED INFRASTRUCTURE



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDDO, AND NCDDOT STANDARDS, SPECIFICATIONS, AND DETAILS

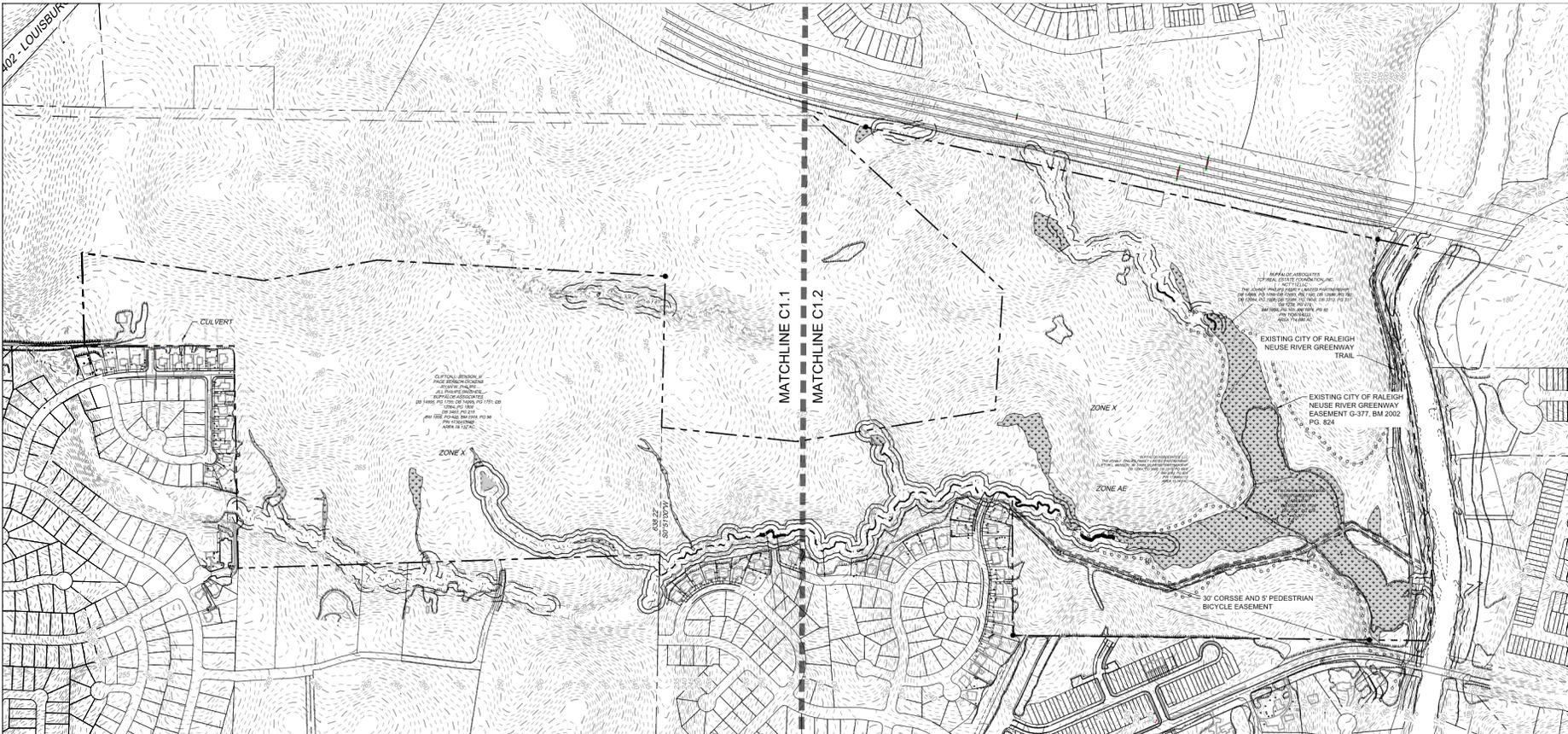
**TIMMONS GROUP**

BUFFALO RESERVE  
WAKE COUNTY, NORTH CAROLINA  
COVER SHEET

THE DRAWING PREPARED AT THE <b>RALEIGH OFFICE</b> 5100 Trinity Road, Raleigh, NC 27607 TEL: 919.866.4931 FAX: 919.833.8124 www.timmons.com	REVISION DESCRIPTION MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
DATE: 07/24/2023	DATE: 03/09/2023
YOUR VISION ACHIEVED THROUGH OURS.	DRAWN BY: 331
	DESIGNED BY: 331
	CHECKED BY: A. STONE
	SCALE: 1" = 1,000'

JOB NO:  
**48038**  
SHEET NO:  
**C0.0**

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**GENERAL NOTES: PARK AND REC**

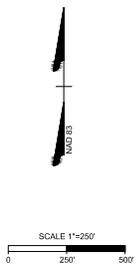
1.) NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH

**NOTES:**

1. BOUNDARY INFORMATION TAKEN BY SURVEY BY TIMMONS GROUP DATED APRIL 30, 2021.

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	COR GREENWAY EASEMENT
	ZONING BOUNDARY
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	100 YR FLOOD PLAN
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER



KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

# TIMMONS GROUP

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA  
**OVERALL EXISTING CONDITIONS**

JOB NO.  
**48038**  
SHEET NO.  
**C1.0**

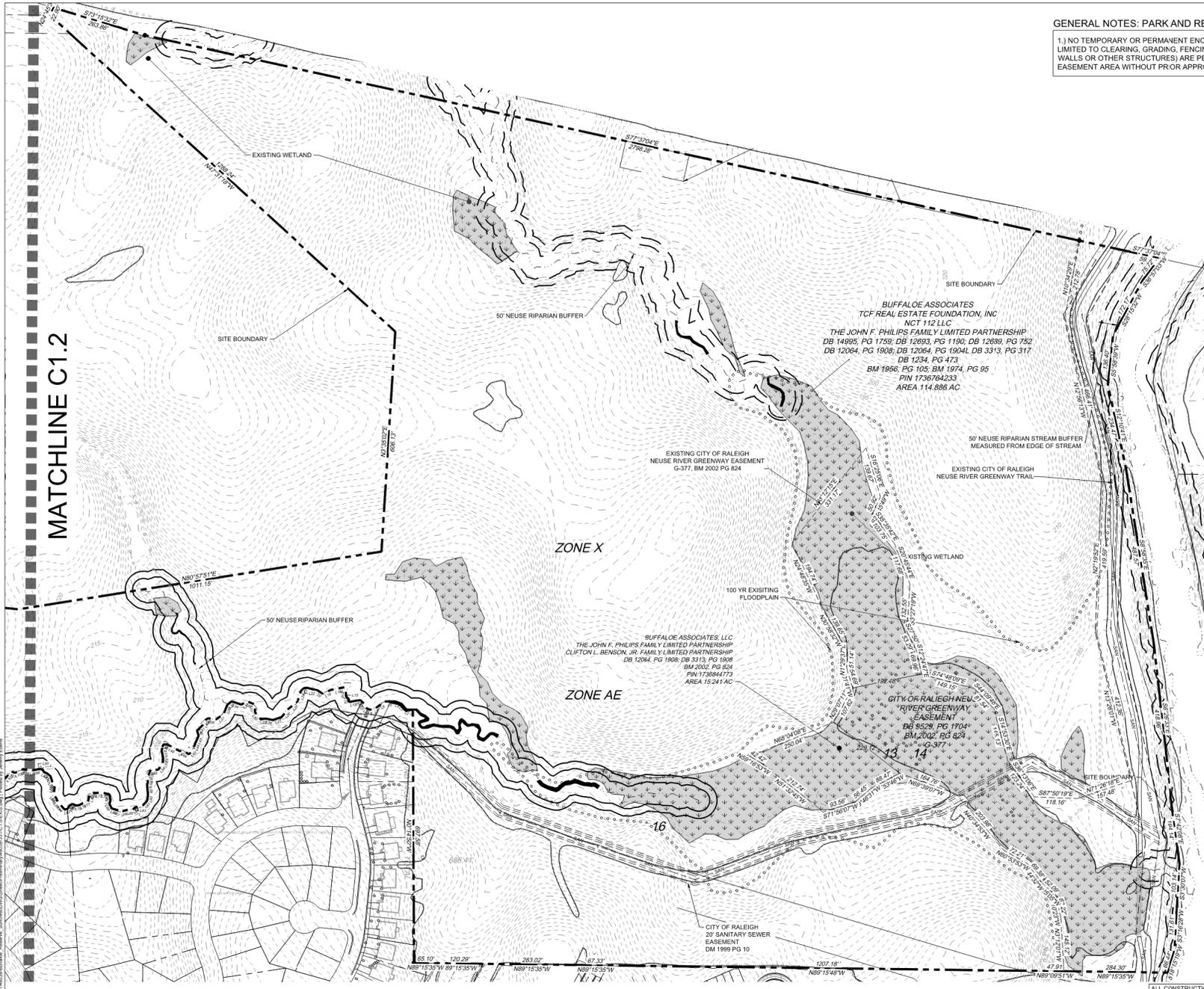
YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
03/09/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

THE DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5201 TOWN CENTER DRIVE, SUITE 200  
RALEIGH, NC 27607  
TEL 919.886.4921 FAX 919.833.8124 WWW.TIMMONS.COM

PRELIMINARY - DO NOT USE FOR CONSTRUCTION





**GENERAL NOTES: PARK AND REC**

1) NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH

THE DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
 5100 Trinity Road, Raleigh, NC 27607  
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION  
 07/24/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

YOUR VISION ACHIEVED THROUGH OURS.

DATE 03/09/2023  
 DRAWN BY 331  
 DESIGNED BY 331  
 CHECKED BY A. STONE  
 SCALE 1"=120'

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

**TIMMONS GROUP**

**BUFFALO E RESERVE**  
 WAKE COUNTY, NORTH CAROLINA

**DETAILED EXISTING CONDITIONS PLAN - SHEET 2 OF 2**

JOE NO. 48038  
 SHEET NO. C1.2

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

**NOTES:**  
 1. BOUNDARY INFORMATION TAKEN BY SURVEY BY TIMMONS GROUP DATED APRIL 30, 2021.

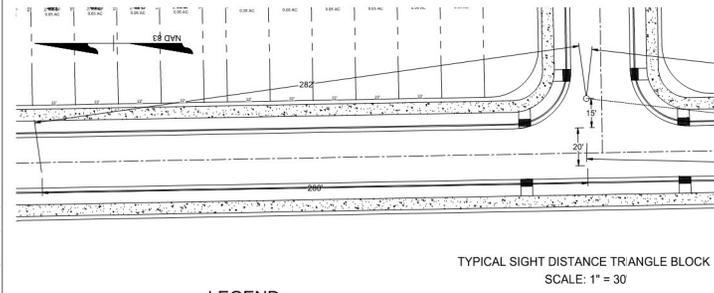
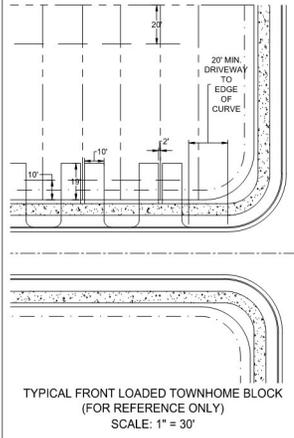
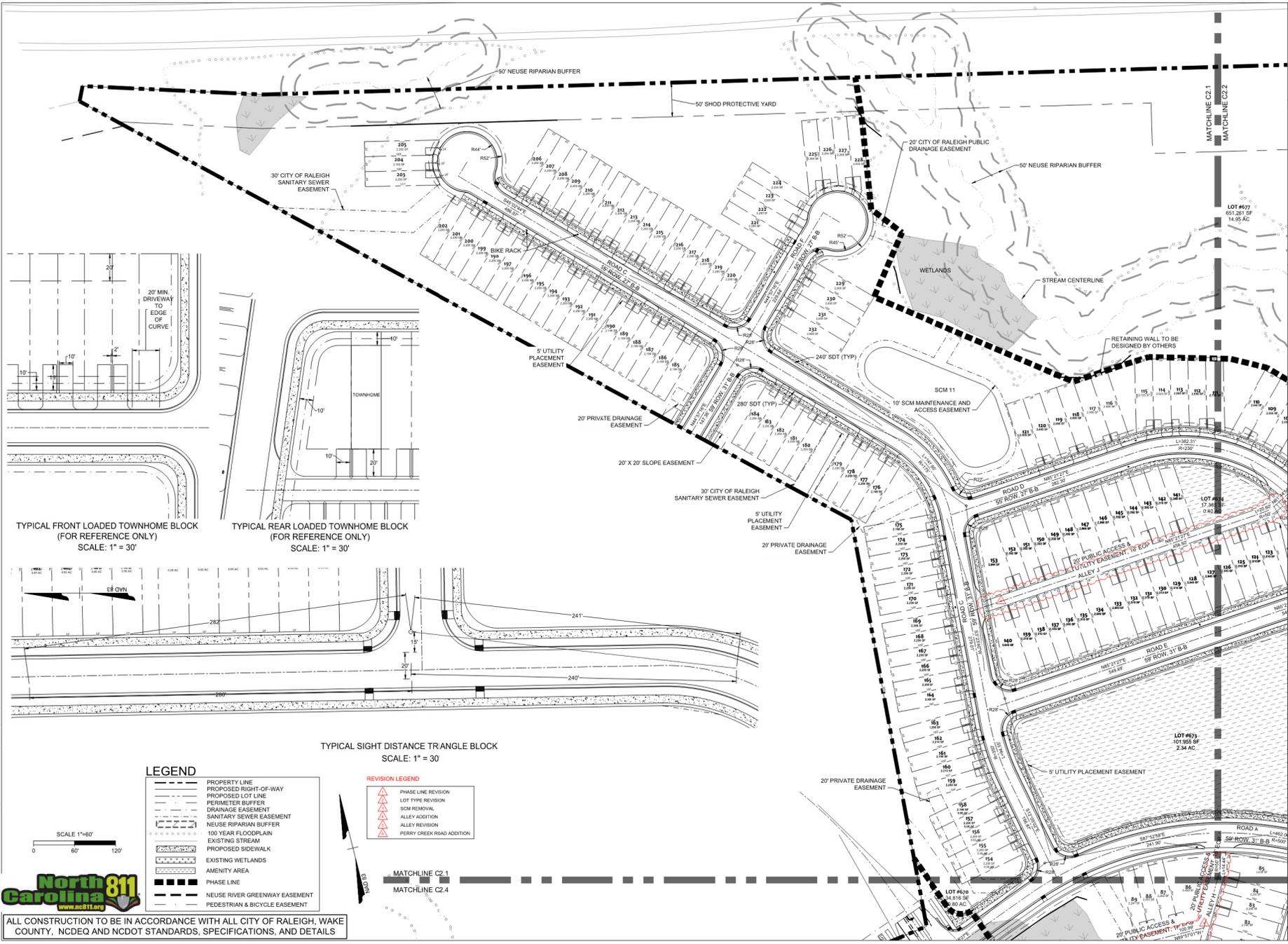
**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERMETER BUFFER
	COR GREENWAY EASEMENT
	ZONING BOUNDARY
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	100 YR FLOOD PLAIN
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER



KNOW WHAT'S BELOW.  
 CALL 811 BEFORE YOU DIG.





**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	PROPOSED SIDEWALK
	EXISTING STREAM
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT

**REVISION LEGEND**

	PHASE LINE REVISION
	LOT TYPE REVISION
	SCM REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CREEK ROAD ADDITION



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 1 OF 8**

DATE	03/09/2023
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1" = 60'

JOB NO. 48038  
SHEET NO. C2.1

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 07/24/2023  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

REVISION DESCRIPTION

03/09/2023

THE DRAWING PREPARED AT THE RALEIGH OFFICE  
5101 Third Street, Raleigh, NC 27607  
TEL 919.886.4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION

03/09/2023

LOT #677  
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LOT #670  
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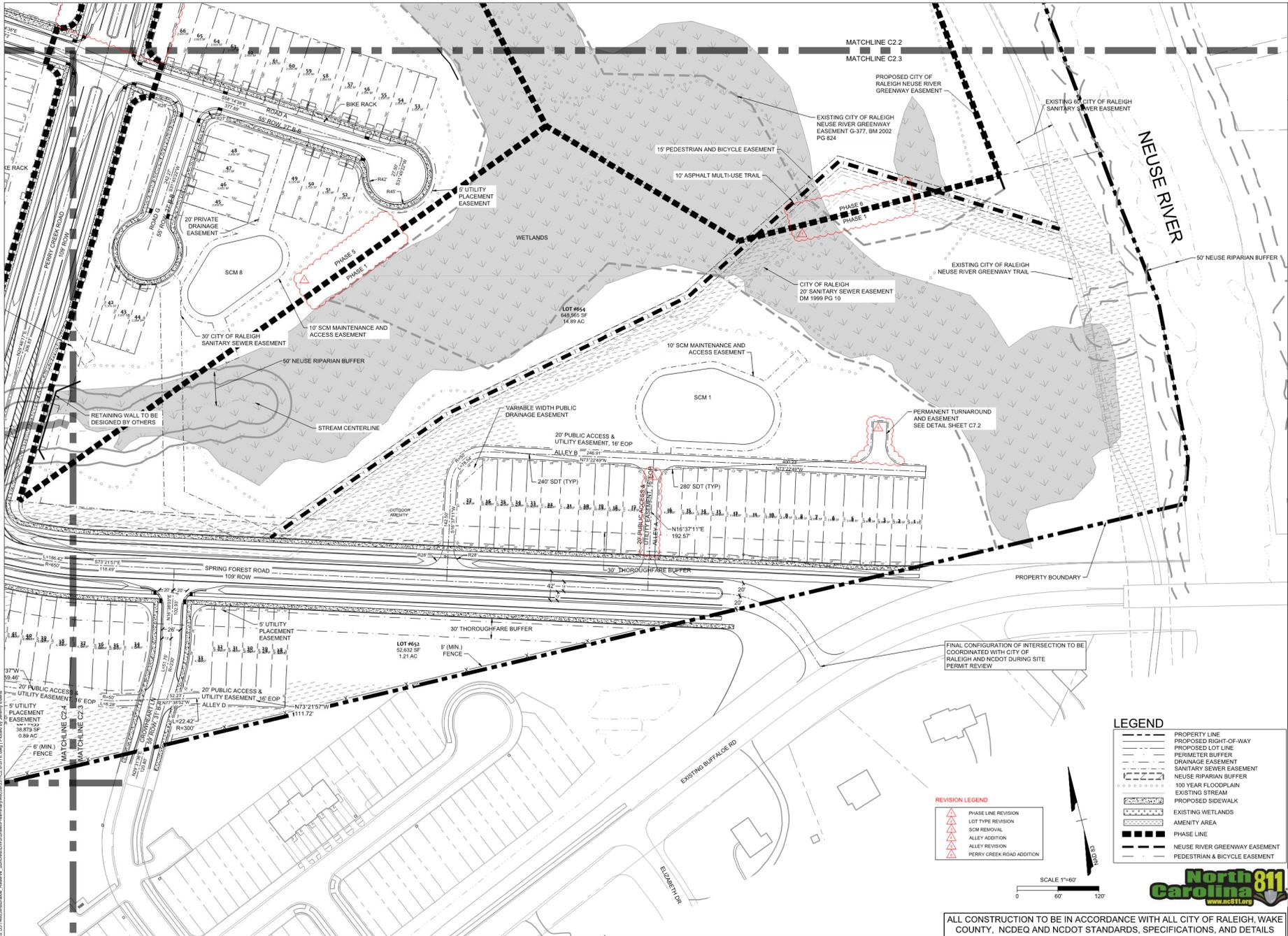
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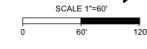


**REVISION LEGEND**

	PHASE LINE REVISION
	LOT TYPE REVISION
	SCM REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CREEK ROAD ADDITION

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	PROPOSED SIDEWALK
	EXISTING WETLANDS
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**TIMMONS GROUP**

WAKE COUNTY, NORTH CAROLINA

**BUFFALOEE RESERVE**

DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 3 OF 8

THE DRAWING PREPARED AT THE RALEIGH OFFICE  
5100 Tenth Street, Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION. ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
07/24/2023	

DATE: 03/09/2023

DRAWN BY: 331

DESIGNED BY: 331

CHECKED BY: A. STONE

SCALE: 1"=60'

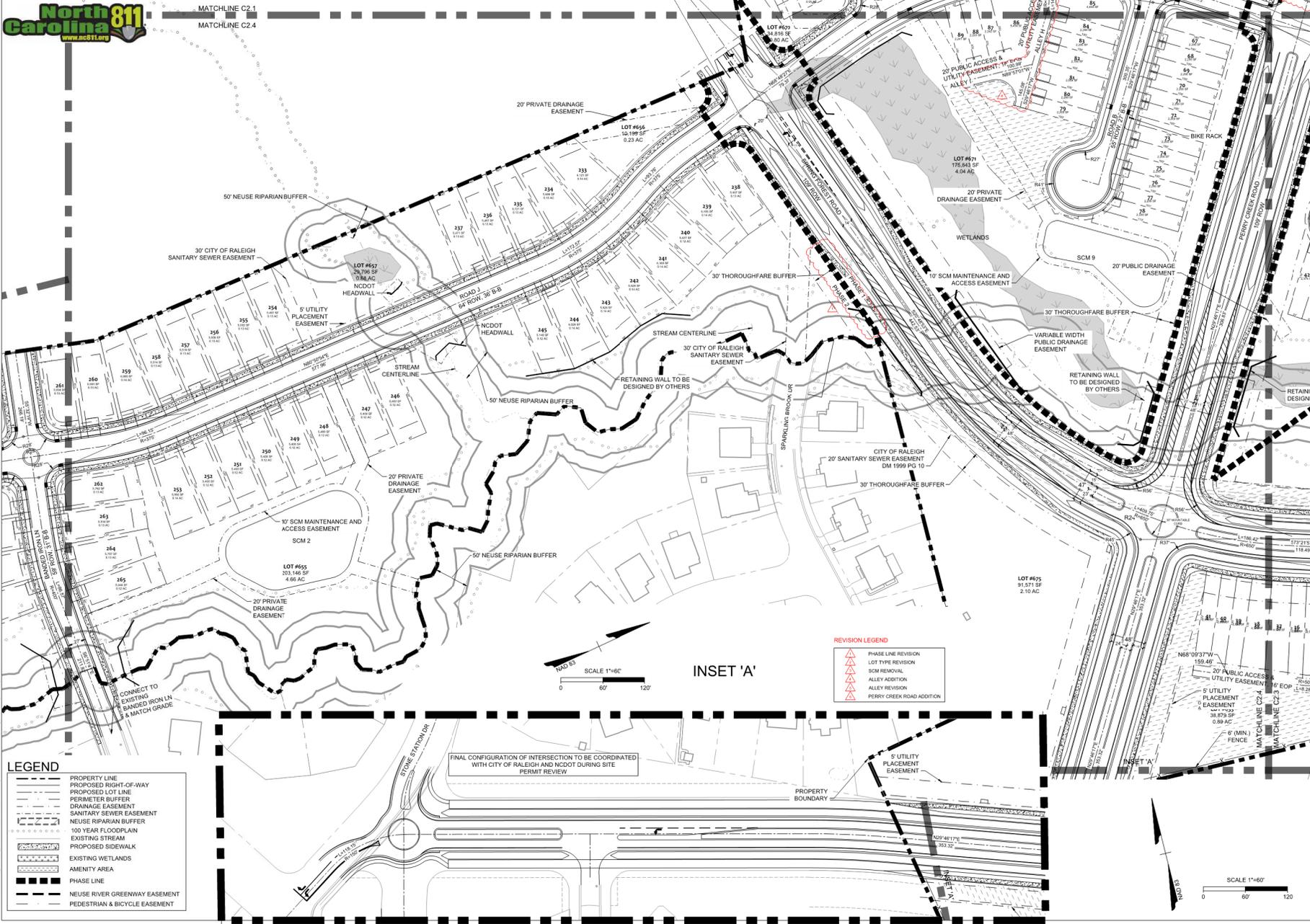
JOB NO.: 48038

SHEET NO.: C2.3

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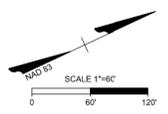
PRELIMINARY - DO NOT USE FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



**LEGEND**

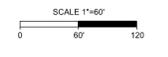
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	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
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	EXISTING WETLANDS
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT



INSET 'A'

**REVISION LEGEND**

	PHASE LINE REVISION
	LOT TYPE REVISION
	SCM REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CREEK ROAD ADDITION



# TIMMONS GROUP

**BUFFALOEE RESERVE**  
 WAKE COUNTY, NORTH CAROLINA  
**DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 4 OF 8**

JOB NO. 48038  
 SHEET NO. C2.4

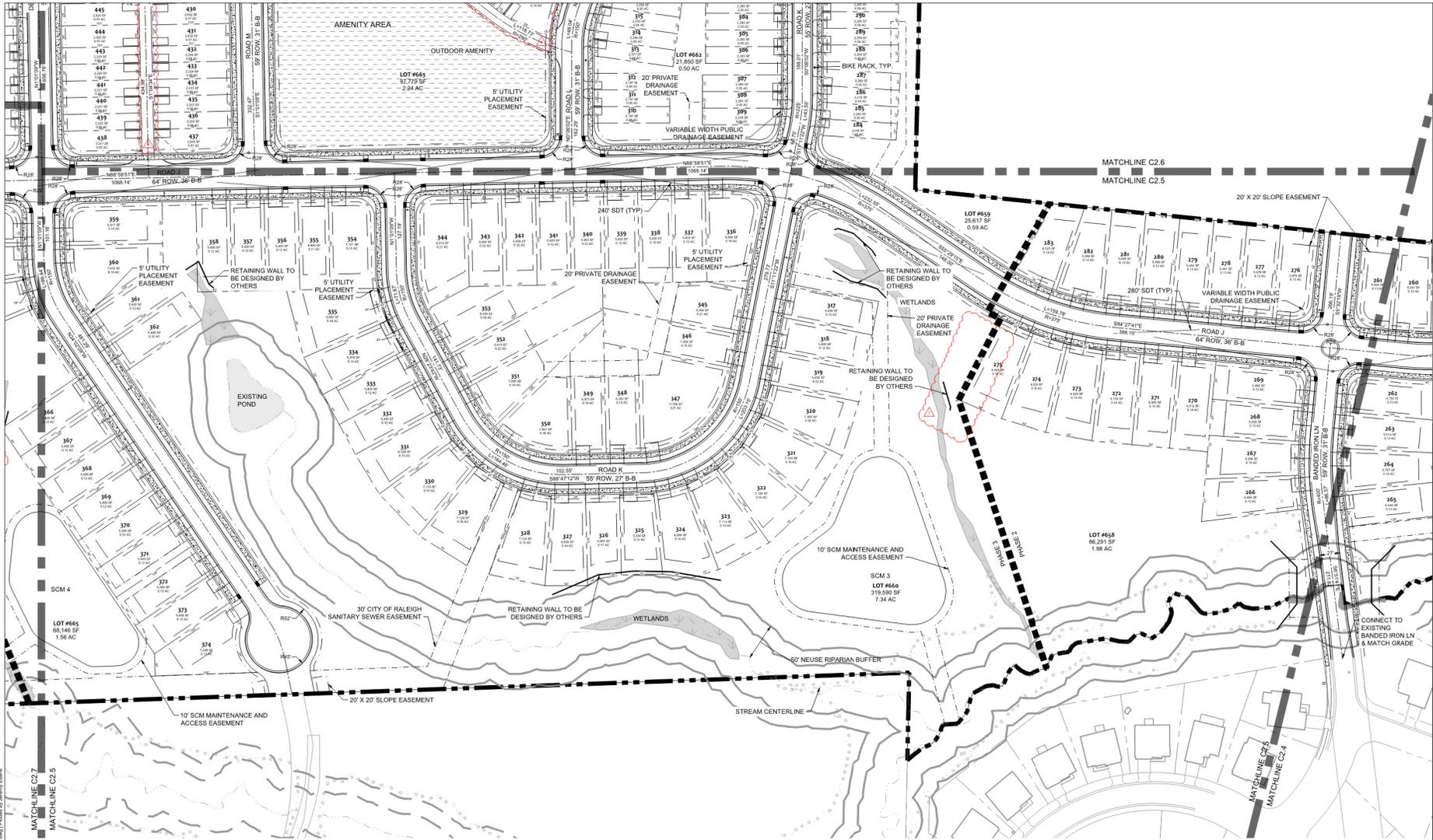
DATE	07/24/2023
DATE	03/09/2023
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1"=60'

THE DRAWING PREPARED AT THE RALEIGH OFFICE  
 5101 Trinity Road, Raleigh, NC 27607  
 TEL 919.896.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION  
 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

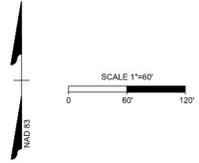


**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	PROPOSED SIDEWALK
	EXISTING WETLANDS
	AMENITY AREA
	PHASE LINE
	NEUSE RIVER GREENWAY EASEMENT
	PEDESTRIAN & BICYCLE EASEMENT

**REVISION LEGEND**

	PHASE LINE REVISION
	LOT TYPE REVISION
	SCM REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CREEK ROAD ADDITION



**TIMMONS GROUP**

1501 Third Street, Raleigh, NC 27607  
TEL: 919.886.4961 FAX: 919.833.8124 www.timmons.com

THE DRAWING PREPARED AT THE RALEIGH OFFICE

**REVISION DESCRIPTION**

DATE	DESCRIPTION
07/24/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

DATE: 03/09/2023  
DRAWN BY: 331  
DESIGNED BY: 331  
CHECKED BY: A. STONE  
SCALE: 1"=60'

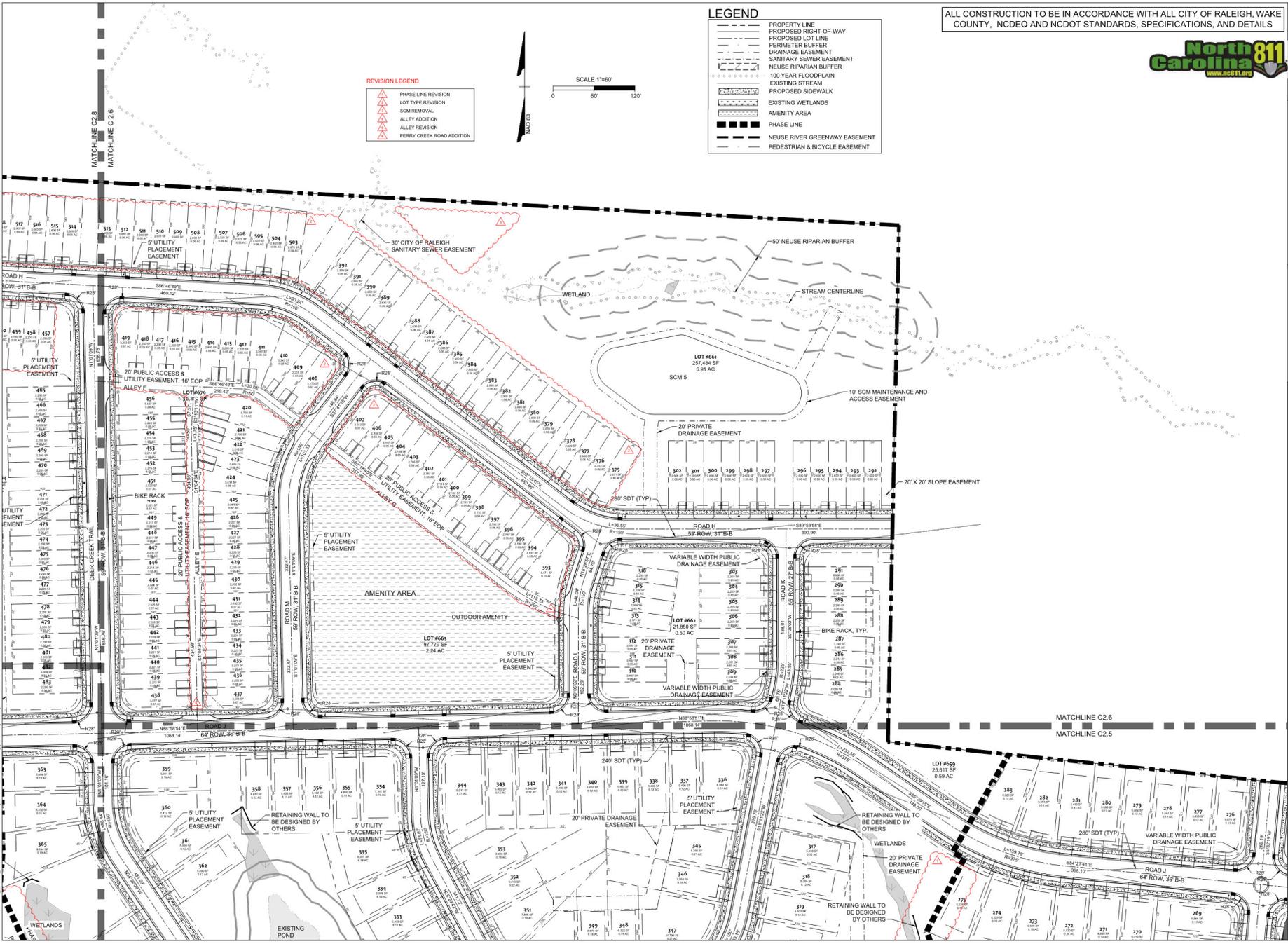
**BUFFALOE RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 5 OF 8**

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JOB NO. 48038  
SHEET NO. C2.5

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



THE DRAWING PREPARED AT THE  
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 TEL 919.866.4951 FAX 919.833.8124 www.811.com/nc

DATE	REVISION DESCRIPTION
07/24/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
03/09/2023	

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DRAWN BY: 331  
 DESIGNED BY: 331  
 CHECKED BY: A. STONE  
 SCALE: 1"=60'

**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
 WAKE COUNTY, NORTH CAROLINA  
 DETAILED PRELIMINARY SUBDIVISION PLAN - SHEET 6 OF 8

JOB NO. 48038  
 SHEET NO. C2.6

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**LEGEND**

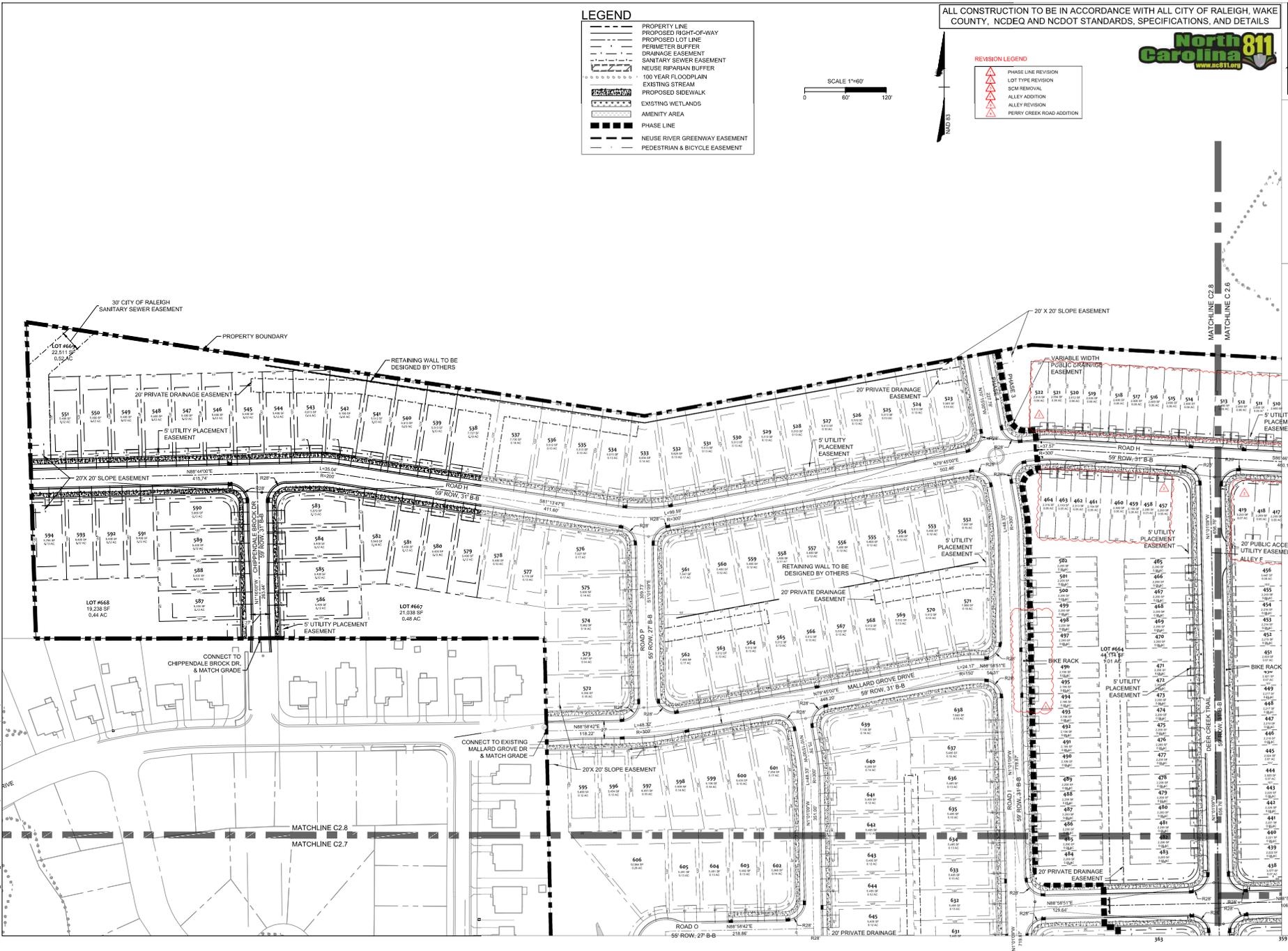
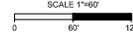
---	PROPERTY LINE
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED LOT LINE
---	PERIMETER BUFFER
---	DRAINAGE EASEMENT
---	SANITARY SEWER EASEMENT
---	NEUSE RIPARIAN BUFFER
---	100 YEAR FLOODPLAIN
---	EXISTING STREAM
---	PROPOSED SIDEWALK
---	EXISTING WETLANDS
---	AMENITY AREA
---	PHASE LINE
---	NEUSE RIVER GREENWAY EASEMENT
---	PEDESTRIAN & BICYCLE EASEMENT

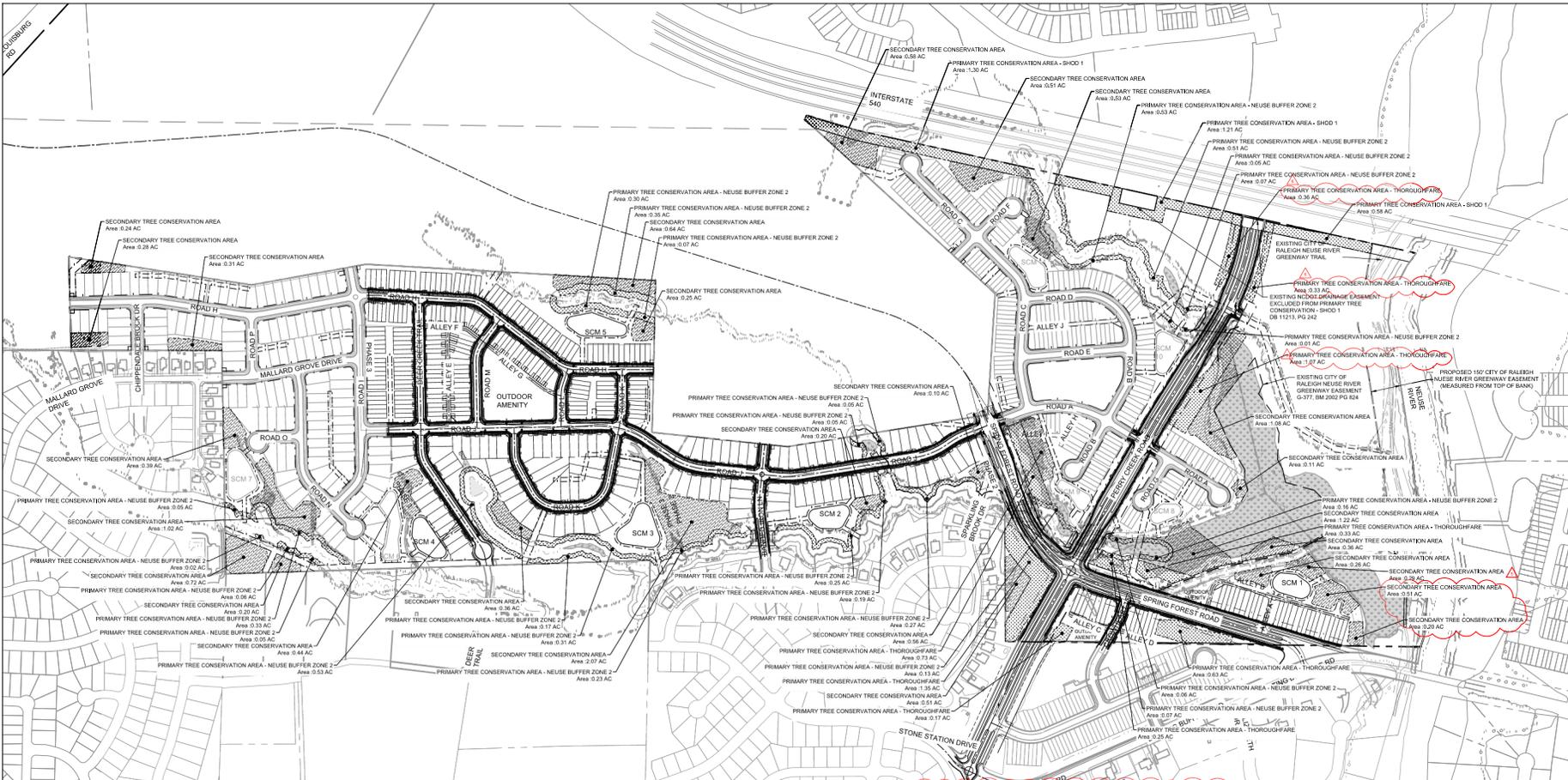
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**REVISION LEGEND**

△	PHASE LINE REVISION
△	LOT TYPE REVISION
△	SCM REMOVAL
△	ALLEY ADDITION
△	ALLEY REVISION
△	PERRY CREEK ROAD ADDITION





**REVISION LEGEND**

△	PHASE LINE REVISION
▽	LOT TYPE REVISION
□	SCM REMOVAL
◇	ALLEY ADDITION
○	ALLEY REVISION
⊕	PERRY CREEK ROAD ADDITION

**LEGEND**

---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
⊕	PERIMETER BUFFER
⊖	PROPOSED RIGHT-OF-WAY
⊗	PROPOSED LOT LINE
⊘	DRAINAGE EASEMENT
⊙	FENCE LINE
⊚	SANITARY SEWER EASEMENT
⊛	ZONE A-E FLOOD PLAIN
⊜	EXISTING WETLANDS
⊝	PRIMARY TREE CONSERVATION AREA
⊞	SECONDARY TREE CONSERVATION AREA

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

TREE CONSERVATION AREAS	SF	AC
PRIMARY TREE CONSERVATION AREA - SHDD	134,400	3.09
PRIMARY TREE CONSERVATION AREA - NEUSE RIVER BUFFER ZONE 2	213,525	4.90
PRIMARY TREE CONSERVATION AREA - THOROUGHFARE	227,472	5.23
SECONDARY TREE CONSERVATION AREA	606,238	13.92
TREE CONSERVATION AREA - GREENWAY	573,840	13.17
<b>TOTALS</b>	<b>1,755,475</b>	<b>40.30</b>

GREENWAY CONSERVATION AREAS	SF	AC
TOTAL GREENWAY EASEMENT	721,861	16.57
EXISTING COR SANITARY SEWER EASEMENT	132,396	3.04
TRAIL CONSTRUCTION EXCLUSION (25' x 625' LF)	15,625	0.36
<b>TOTALS</b>	<b>573,840</b>	<b>13.17</b>

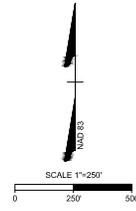
**TCA CALCULATIONS:**

MINIMUM TREE CONSERVATION AREA REQUIRED:  
10% OF NET AREA: 17.09 ACRES

GROSS AREA:	209.26 ACRES
DEDICATED ROW:	38.41 ACRES
NET AREA:	170.85 ACRES
PROPOSED PRIMARY TCA:	13.21 ACRES
PROPOSED SECONDARY TCA:	13.92 ACRES
GREENWAY TCA:	13.17 ACRES
<b>TOTAL TCA:</b>	<b>40.30 ACRES (23.6% OF NET AREA)</b>

THOROUGHFARE TREE CONSERVATION AREA REQUIRED:  
50 FT X LENGTH OF THOROUGHFARE

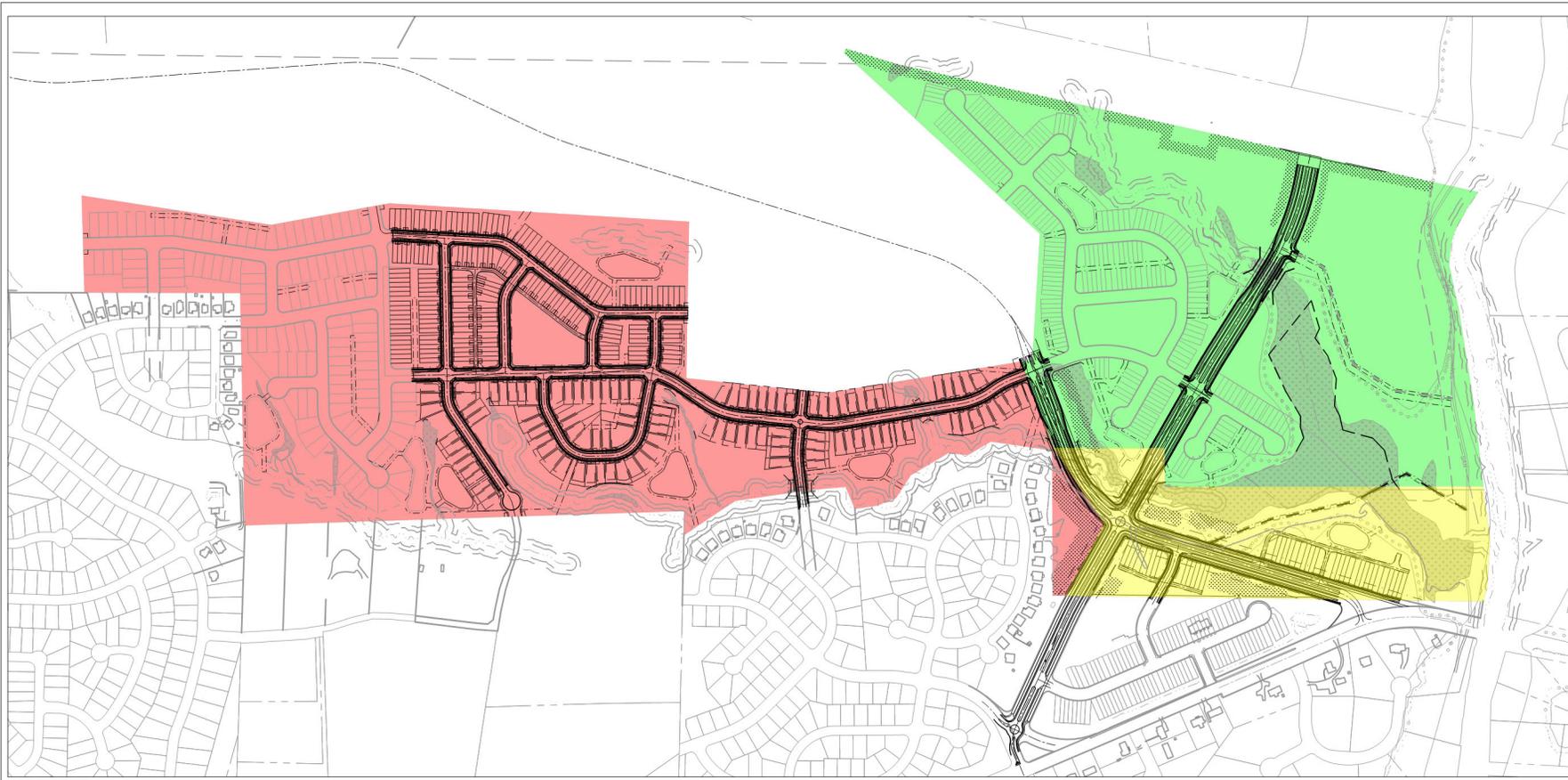
PERRY CREEK ROAD:	2407 LF
SPRING FOREST ROAD:	2070 LF
TOTAL REQUIRED TCA:	5.14 AC
TCA PROVIDED:	5.22 AC



# TIMMONS GROUP

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
TREE CONSERVATION AREA PLAN

<p>THE DRAWING PREPARED AT THE <b>RALEIGH OFFICE</b> 5201 TOWN CENTER DRIVE, SUITE 2000 RALEIGH, NC 27607 TEL: 919.896.9921 FAX: 919.833.8124 WWW.TIMMONSGROUP.COM</p>	<p>YOUR VISION ACHIEVED THROUGH OURS.</p>	<p>REVISION DESCRIPTION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REVISION DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>07/23/2023</td> <td>MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN</td> </tr> </tbody> </table>	DATE	REVISION DESCRIPTION	07/23/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
DATE	REVISION DESCRIPTION					
07/23/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN					
<p>DATE 03/09/2023</p>	<p>DRAWN BY 331</p>	<p>DESIGNED BY 331</p>				
<p>CHECKED BY A. STONE</p>	<p>SCALE 1" = 250'</p>	<p>JOB NO. 48038</p>				
<p>SHEET NO. C2.9</p>	<p>PRELIMINARY - DO NOT USE FOR CONSTRUCTION</p>	<p>NOTE: THESE AND ALL ACCOMPANYING DOCUMENTS ARE THE SOLE PROPERTY OF TIMMONS GROUP AND MAY NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF TIMMONS GROUP.</p>				



**LEGEND**

	ZONE R-10-CU
	ZONE RX-4-CU
	ZONE CX-3-CU

**ZONING CONDITION (Z-49-21) REQUIREMENTS (R-10-CU ZONING)**

1. THE R-10-CU DISTRICT LIMITS THE MAXIMUM NUMBER OF DWELLING UNITS TO 450. THIS SITE INCLUDES 262 SINGLE FAMILY AND 123 TOWNHOMES IN THIS ZONE (405 UNITS TOTAL), BELOW THE MAXIMUM OF 450 UNITS.
2. THE R-10-CU DISTRICT REQUIRES 75,000 SQUARE FEET OF ACTIVE RECREATION. THE ZONE HAS 81,475 SF OF ACTIVE RECREATION SPACE.
3. THE R-10-CU DISTRICT REQUIRES A MINIMUM OF 30% OPEN AREA. THIS SITE PROVIDES 34.04% OPEN AREA FOR THE R-10 DISTRICT.

**ZONING CONDITION (Z-49-21) REQUIREMENTS (RX-4-CU ZONING)**

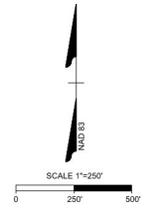
1. THE RX-4-CU DISTRICT LIMITS THE MAXIMUM NUMBER OF DWELLING UNITS TO 650. THIS SITE INCLUDES 217 TOWNHOME LOTS IN THIS ZONE, BELOW THE MAXIMUM OF 650 UNITS.
2. THE R-10-CU DISTRICT REQUIRES 60,000 SQUARE FEET OF ACTIVE RECREATION. THE ZONE HAS 126,860 SF OF ACTIVE RECREATION SPACE.
3. THE R-10-CU DISTRICT REQUIRES A MINIMUM OF 30% OPEN AREA. THIS SITE PROVIDES 37.27% OPEN AREA FOR THE RX-4-CU DISTRICT.

**ZONING CONDITION (Z-49-21) REQUIREMENTS (CX-3-CU ZONING)**

1. THE FOLLOWING PRINCIPLE USES SHALL BE PROHIBITED: ADULT ESTABLISHMENT, DETENTION CENTER, JAIL, PRISON, VEHICLE REPAIR - ALL TYPES, CAR WASH, HOTEL, MOTEL, INN, LIGHT MANUFACTURING, BAR, NIGHTCLUB, TAVERN, LOUNGE, VEHICLE FUEL SALES. THIS SITE DOES NOT INCLUDE THE USE OF ANY ON THIS LIST.

**OTHER ZONING CONDITION (Z-49-21) REQUIREMENTS**

1. THE APARTMENT AND TOWNHOMES BUILDING TYPES SHALL NOT BE PERMITTED WITHIN 200 FEET OF THE PROPERTY'S COMMON BOUNDARY LINE WITH THE FOLLOWING LOTS: 25-28, 29-35, 1-4, 136-137, 47. ALL PROPOSED TOWNHOMES MEET THIS REQUIREMENT.
2. THE DEVELOPER SHALL CONSTRUCT A PAVED MULTU-USE PATH AT LEAST TEN (10) FEET IN WIDTH, FROM THE TO-BE DEDICATED PUBLIC RIGHT-OF-WAY FOR FUTURE BUFFALO ROAD, TO THE EXISTING NEUSE RIVER TRAIL. THIS PATH SHALL BE WITHIN A 15 FT EASEMENT. PATH SHOWN ON NORTHEAST PORTION OF SITE.
3. A FENCE MEASURING AT LEAST 6 FEET IN HEIGHT SHALL BE PROVIDED AS PART OF A DEVELOPMENT PLAN FOR A COMMERCIAL USE ON A PROPERTY ZONED CX-3-CU AND LOCATED ADJACENT TO THOSE LOTS DESIGNATED "OPEN SPACE D" AND "OPEN SPACE E". FENCE ADDED ALONG PROPERTY BOUNDARY.
4. FLOOR AREA OCCUPIED BY AN EATING ESTABLISHMENT USE SHALL BE LOCATED AT LEAST 50 FEET FROM ANY OF LOTS 50-54 AND LOT 70. COMMERCIAL PROPERTY NOT INCLUDED IN THIS SITE PLAN, BUT HAS BEEN RESERVED FOR FUTURE USE.



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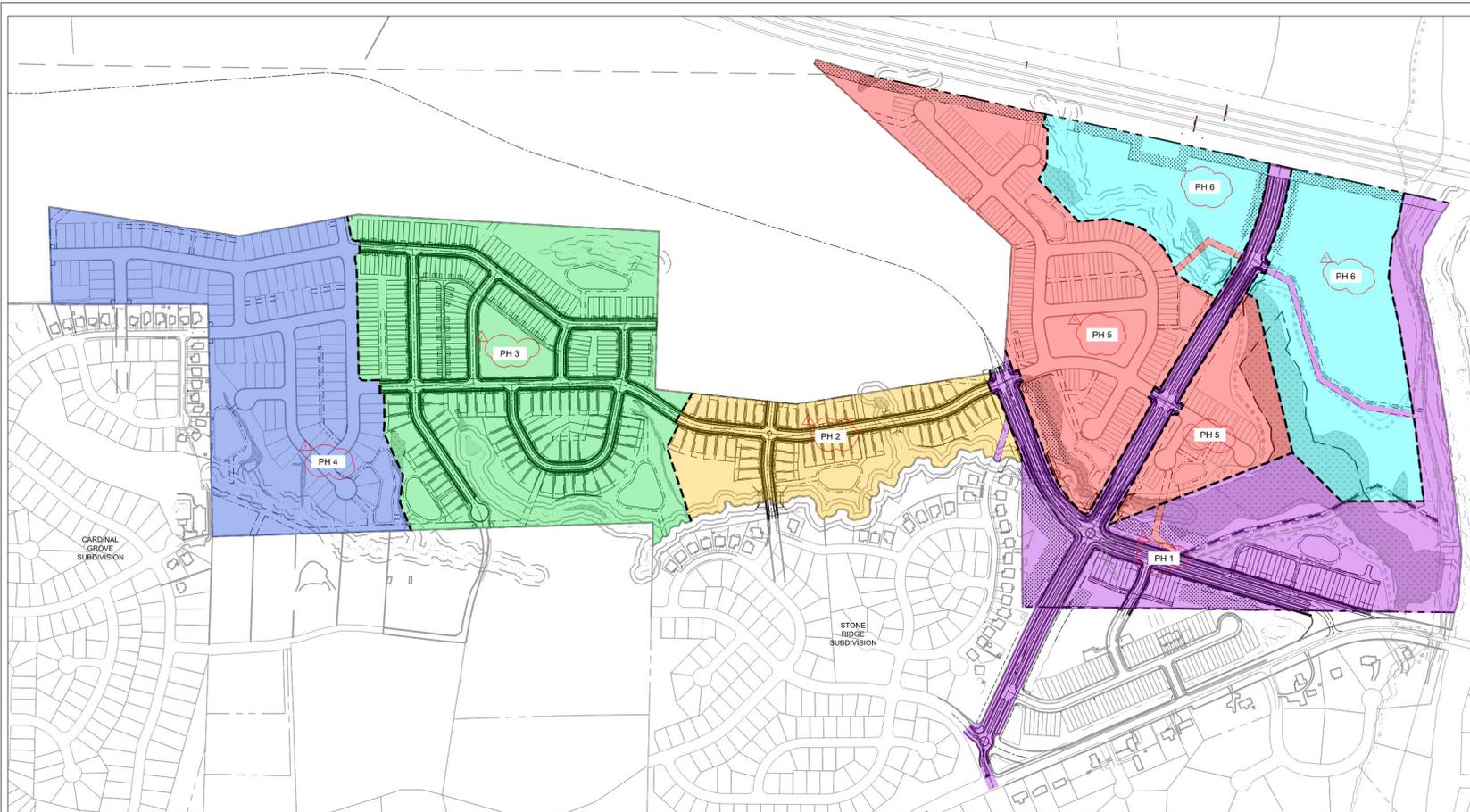
BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
ZONING MAP

THE DRAWING PREPARED AT THE <b>BALDWIN OFFICE</b> 5100 Trinity Road, Raleigh, NC 27607 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com	
DATE	07/24/2023
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DRAWN BY	331
DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1" = 250'

JOB NO. 48038  
SHEET NO. C2.10

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**LEGEND**



PHASE	TOTAL AREA		SINGLE FAMILY AREA		TOWNHOME AREA		# LOTS		# OPEN LOTS		LENGTH OF ROAD (LF)				
	SF	AC	SF	AC	SF	AC	SF	TH	TH	TH	20' ROW	55' ROW	59' ROW	66' ROW	109' ROW
1	1693312	38.87	0	0.00	1693312	38.87	0	41	4	1482	81	559	80	566	
2	746360	17.11	746360	17.11	0	0.00	51	0	4	0	0	565	1545	0	
3	2053322	47.14	975648	22.40	1077674	24.74	58	181	8	1325	1383	3867	1479	0	
4	1476763	33.90	1476763	33.90	0	0.00	129	0	4	0	1584	3709	0	0	
5	1700090	39.03	0	0.00	1700090	39.03	0	191	6	819	3520	1642	0	0	
6	3447345	78.22	0	0.00							0	0	0	0	

NOTE: PHASES WILL BE RECORDED IN CHRONOLOGICAL ORDER BEGINNING WITH PHASE 1 AND ENDING WITH PHASE 6.

PHASE	AMENITY AREA		AMENITY CUM AREA	% OF TH AREA (CUM)	% IMPERVIOUS	IMPERVIOUS	
	SF	AC				SF	AC
1	236537	5.43	5.43	13.97	31.34	530766	12.18
2	0	0.00	5.43	13.97	35.06	261655	6.01
3	89355	2.05	7.48	11.76	39.24	805710	18.50
4	0	0.00	7.48	30.24	14.98	221263	5.08
5	127965	2.94	10.42	16.34	13.00	220990	5.07
6							

**REVISION LEGEND**



NOTE: ALL STREETS ENDING OR BEGINNING AT A PHASE LINE WILL NEED TO PROVIDE TEMPORARY TURNAROUNDS.



# TIMMONS GROUP

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
PHASING PLAN

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CHECKED BY: A. STONE  
SCALE: 1" = 250'

JOB NO.  
**48038**  
SHEET NO.  
**C.11**

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S:\11\48038\Buffaloe Reserve\_Phasings\Drawings\48038\_P11\_C11\CDRAWING.dwg (Plotted by Jeremy Edwards)



**LEGEND**

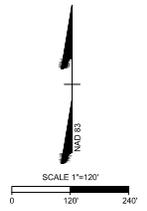
---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
---	PERIMETER BUFFER
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED LOT LINE
---	COR GREENWAY EASEMENT
---	DRAINAGE EASEMENT
---	FENCE LINE
---	SANITARY SEWER EASEMENT
---	EXISTING WETLANDS
---	NEURISE RIPARIAN BUFFER
---	UPE
---	PIDE
---	CORSSE
---	CITY OF RALEIGH SANITARY SEWER EASEMENT
---	SCM M&AE
---	SCM MAINTENANCE & ACCESS EASEMENT



**REVISION LEGEND**

▲	PHASE LINE REVISION
▲	LOT TYPE REVISION
▲	SCM REMOVAL
▲	ALLEY ADDITION
▲	ALLEY REVISION
▲	PERRY CREEK ROAD ADDITION

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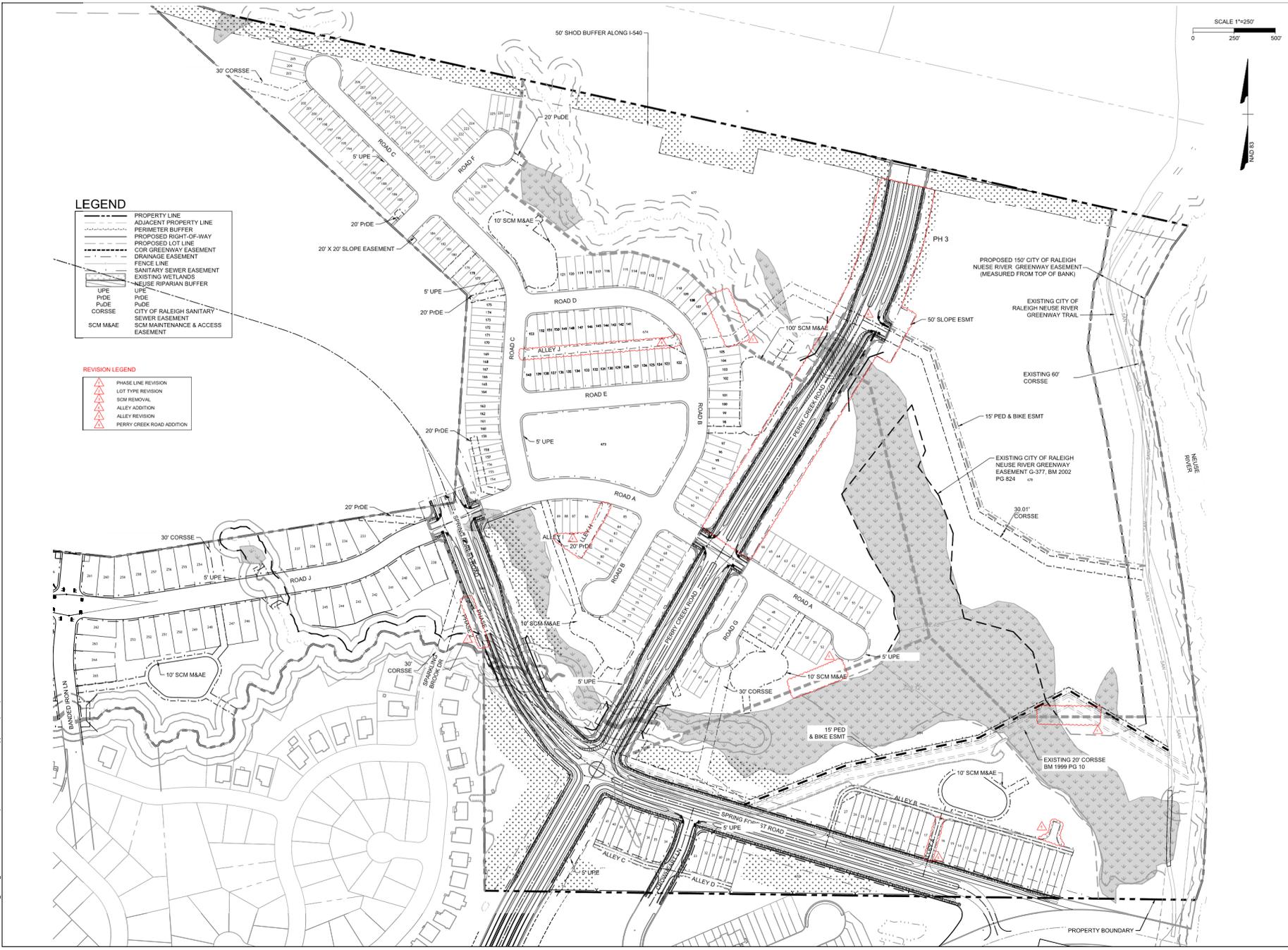
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DATE	03/09/2023
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DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1" = 120'

# TIMMONS GROUP

BUFFALOEE RESERVE  
 WAKE COUNTY, NORTH CAROLINA  
 EASEMENT PLAN - SHEET 1 OF 2

JOB NO.	48038
SHEET NO.	C2.12

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**LEGEND**

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PERIMETER BUFFER
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED LOT LINE
---	COB GREENWAY EASEMENT
---	DRAINAGE EASEMENT
---	FENCE LINE
---	SANITARY SEWER EASEMENT
---	EXISTING WETLANDS
---	NEUSE RIPARIAN BUFFER
---	UPE
---	PIDE
---	PIDE
---	CITY OF RALEIGH SANITARY SEWER EASEMENT
---	SCM M&AE
---	SCM MAINTENANCE & ACCESS EASEMENT

**REVISION LEGEND**

△	PHASE LINE REVISION
△	LOT TYPE REVISION
△	SCM REMOVAL
△	ALLEY ADDITION
△	ALLEY REVISION
△	PERRY CREEK ROAD ADDITION

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DATE  
03/09/2023

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331

DESIGNED BY  
331

CHECKED BY  
A. STONE

SCALE  
1" = 250'

**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA  
**EASEMENT PLAN - SHEET 2 OF 2**

JOB NO.  
**48038**

SHEET NO.  
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	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	EXISTING WETLANDS
	AMENITY AREA

SCALE 1"=250'  
0 250 500



KNOW WHAT'S BELOW.  
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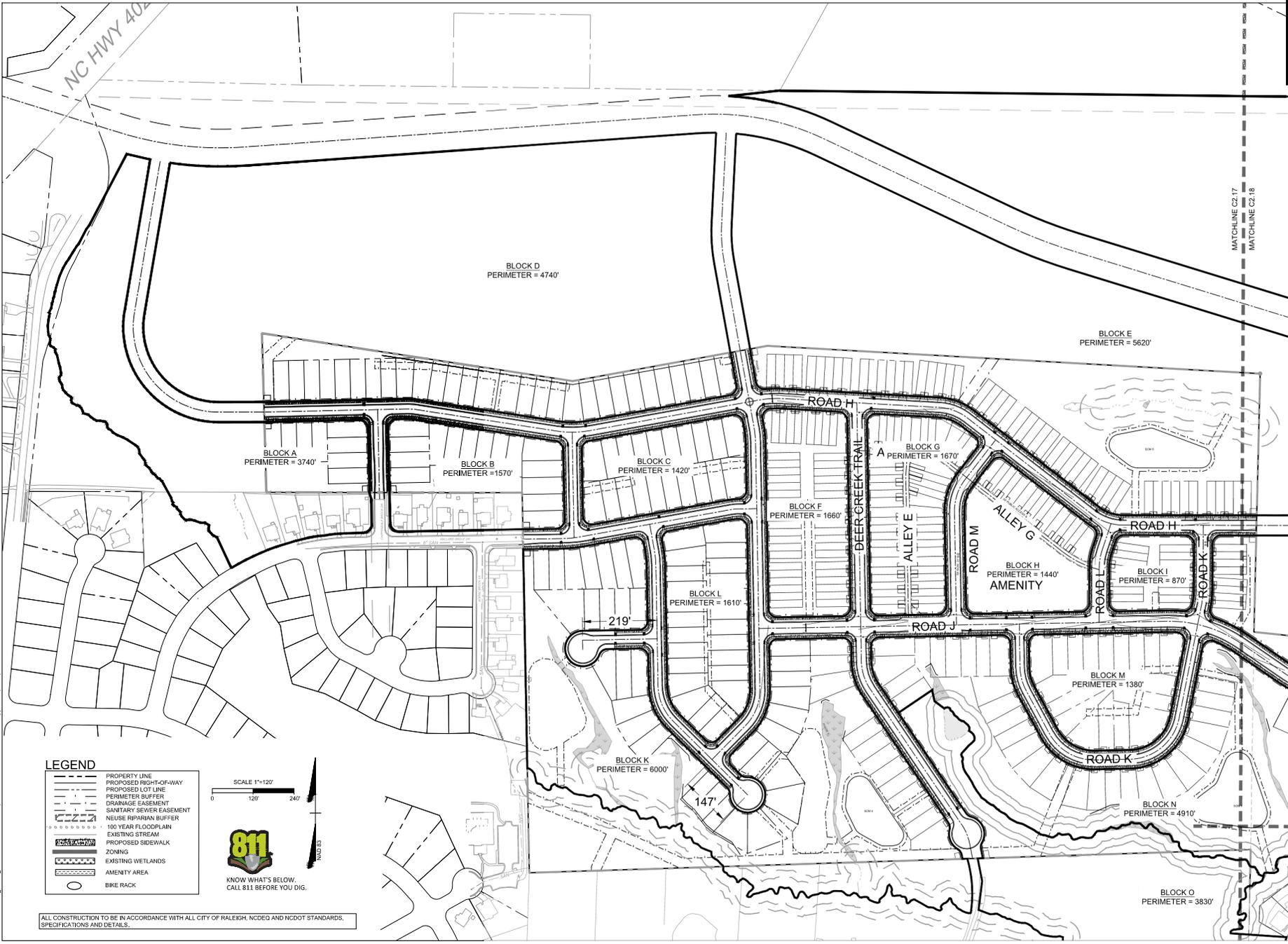
**BUFFALO E RESERVE**  
WAKE COUNTY, NORTH CAROLINA  
**OVERALL BLOCK PERIMETER & DEAD END STREET PLAN**

JOB NO. **48038**  
SHEET NO. **C2.16**

DATE	03/09/2023
DESIGNED BY	333
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SCALE	1"=250'
REVISION DESCRIPTION	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
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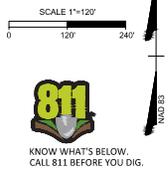
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**LEGEND**

- PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PERIMETER BUFFER
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- NEUSE RIPARIAN BUFFER
- 100 YEAR FLOODPLAIN
- EXISTING STREAM
- PROPOSED SIDEWALK
- ZONING
- EXISTING WETLANDS
- AMENITY AREA
- BIKE RACK



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331

DESIGNED BY  
331

CHECKED BY  
A. STONE

SCALE  
1"=120'

**TIMMONS GROUP**

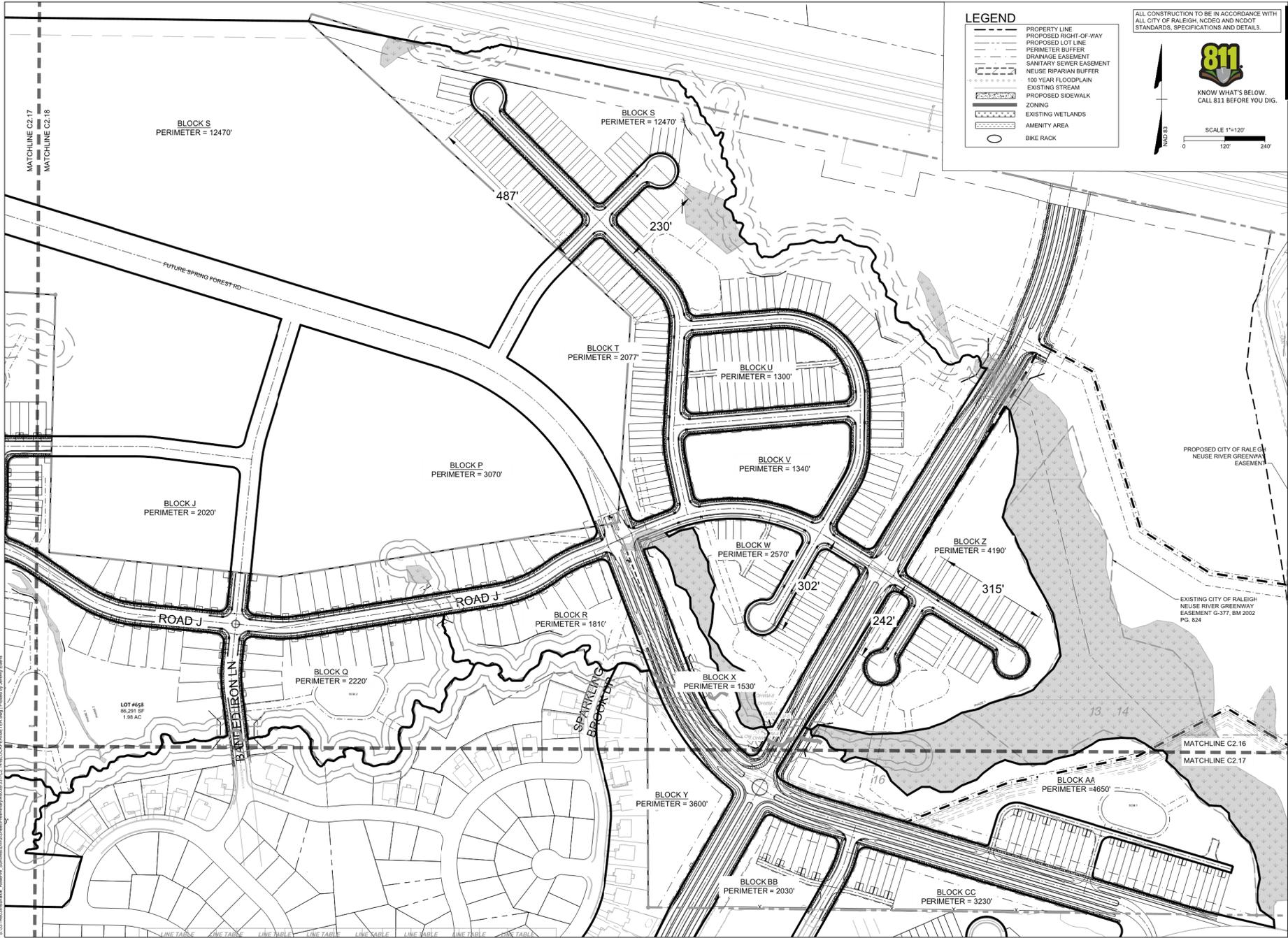
BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 1 OF 3

JOB NO.  
**48038**

SHEET NO.  
**C2.17**

PRELIMINARY - DO NOT USE FOR CONSTRUCTION



**LEGEND**

- PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - PERIMETER BUFFER
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - NEUSE RIPARIAN BUFFER
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**811**

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SCALE 1"=120'

0 120' 240'

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331	DESIGNED BY
331	CHECKED BY
A. STONE	CHECKED BY
1"=120'	SCALE

**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 2 OF 3**

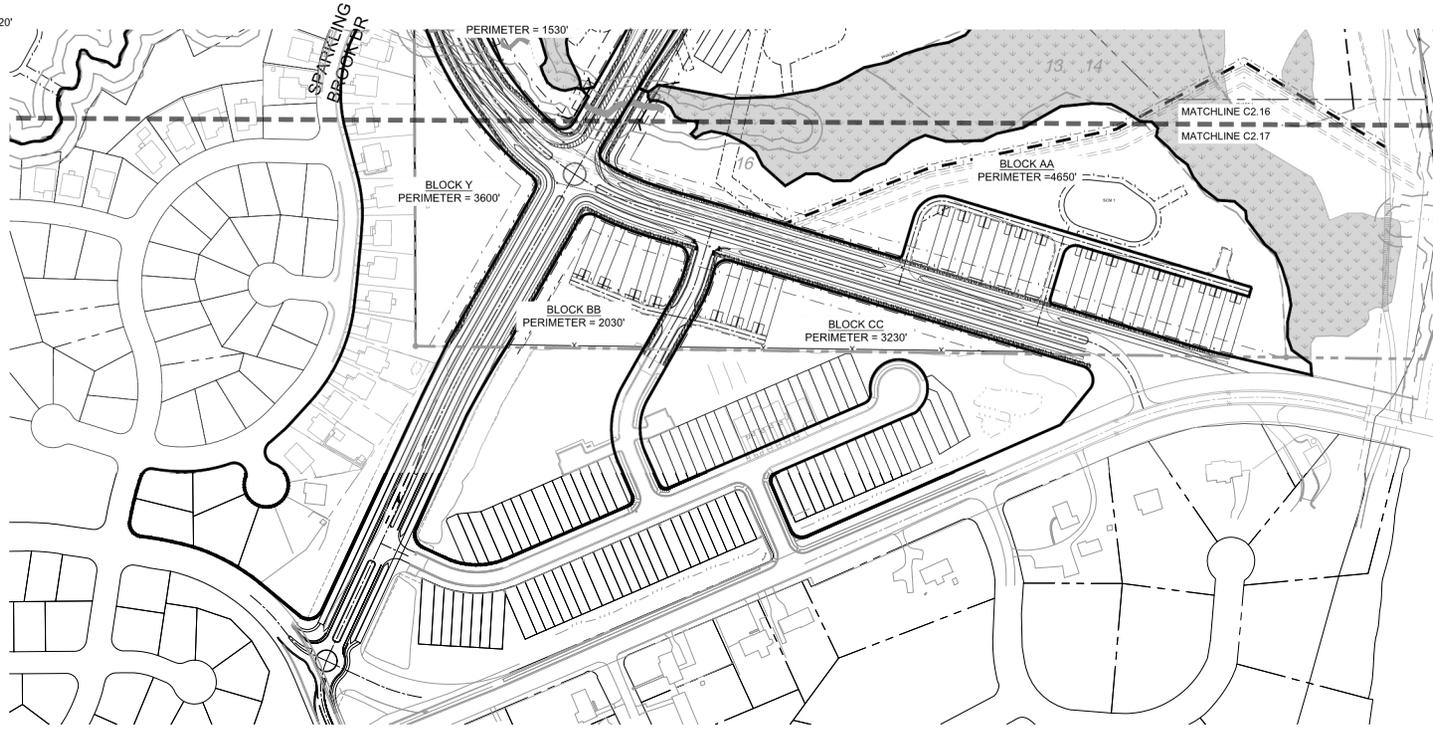
JOB NO. 48038  
SHEET NO. C2.18

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PRELIMINARY - DO NOT USE FOR CONSTRUCTION

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PERIMETER = 2220'



**LEGEND**

- PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - PERIMETER BUFFER
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - NEUSE RIPARIAN BUFFER
- - - 100' YEAR FLOODPLAIN
- - - EXISTING STREAM
- - - PROPOSED SIDEWALK
- - - ZONING
- - - EXISTING WETLANDS
- - - AMENITY AREA
- BIKE RACK

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.

SCALE 1"=120'

0 120' 240'

# TIMMONS GROUP

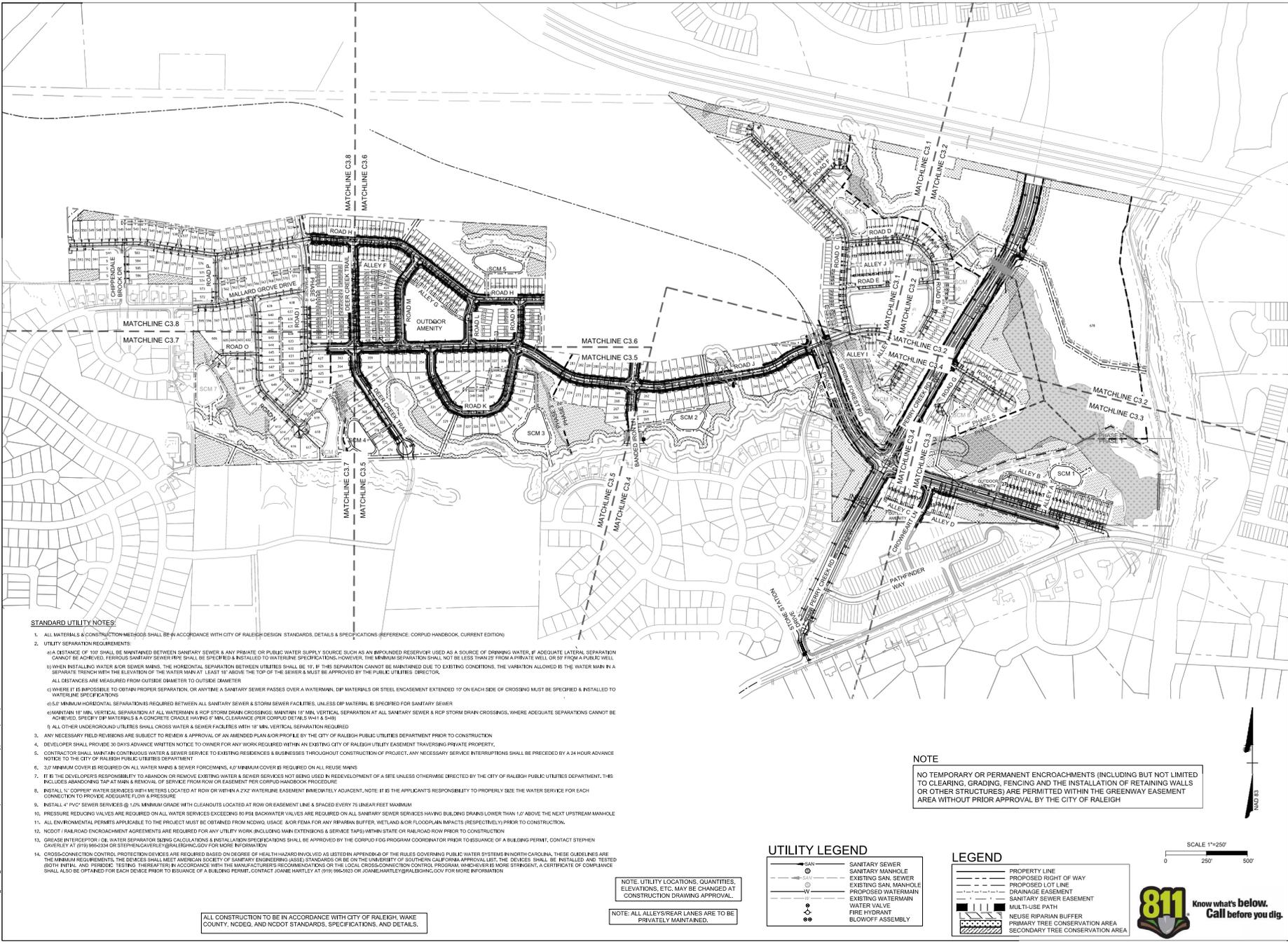
**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED BLOCK PERIMETER & DEAD END STREET PLAN - SHEET 3 OF 3**

YOUR VISION ACHIEVED THROUGH OURS.	DATE	REVISION DESCRIPTION
THE DRAWING PREPARED AT THE RALEIGH OFFICE	03/09/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
5100 FIVE FORKS ROAD, RALEIGH, NC 27607		
TEL 919.866.4921 FAX 919.833.8124 WWW.TIMMONS.COM		

JOB NO. 48038  
SHEET NO. C2.19

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**STANDARD UTILITY NOTES:**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
  - a) A DISTANCE OF 18" MIN. SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN ABOVEGROUND RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER HERE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS; HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 24" FROM A PRIVATE WELL OR 36" FROM A PUBLIC WELL.
  - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 18". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IN THE WATER MAIN IN A SEPARATE TRINCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT.
  - c) ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - d) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - e) 1/2" MINIMUM HORIZONTAL SEPARATIONS ARE REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - f) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE SINGLE MINING 18" MIN. CLEARANCE (PER CORPUS DETAIL S-14 & S-15).
  - g) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT; ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3/2" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS; 4/2" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT; THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
8. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT; NOTE IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICES @ 1/2% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1/2' ABOVE THE NEXT UPSTREAM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
12. NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
13. GRADES INTERFERING (OR WATER SEPARATOR BEING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT; CONTACT STEPHEN CAVERLEY AT (919) 969-2334 OR STEPHEN.CAVERLEY@RALEIGH.NC.GOV FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA; THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST; THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHOEVER IS MORE STRINGENT; A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT; CONTACT JONNE WARTLEY AT (919) 969-2620 OR JONNE.WARTLEY@RALEIGH.NC.GOV FOR MORE INFORMATION.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, NCDOT, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

NOTE: UTILITY LOCATIONS, QUANTITIES, ELEVATIONS, ETC. MAY BE CHANGED AT CONSTRUCTION DRAWING APPROVAL.

NOTE: ALL ALLEYS/REAR LANES ARE TO BE PRIVATELY MAINTAINED.

**UTILITY LEGEND**

	SANITARY SEWER
	SANITARY MANHOLE
	EXISTING SAN. SEWER
	EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	WATER VALVE
	FIRE HYDRANT
	BLOWOFF ASSEMBLY

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT OF WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	MULTI-USE PATH
	NEUSE RIPARIAN BUFFER
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

**NOTE**  
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH

SCALE 1"=250'



**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
OVERALL UTILITY PLAN

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 03/09/2023  
DRAWN BY: 331  
DESIGNED BY: 331  
CHECKED BY: A. STONE  
SCALE: 1"=250'

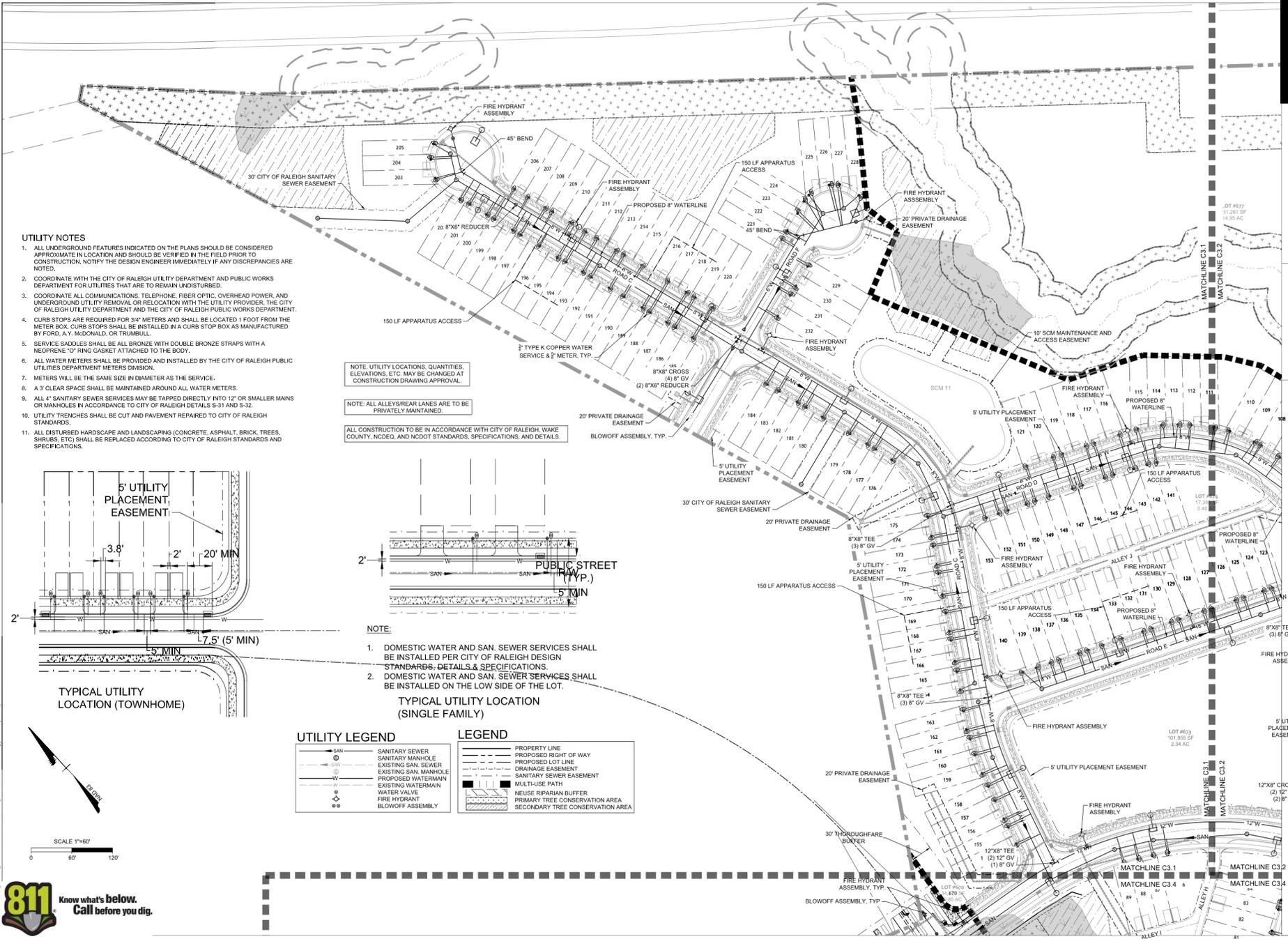
REVISION DESCRIPTION

07/23/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

JOB NO. 48038  
SHEET NO. C3.0

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5504 FISHBACK ROAD, SUITE 100, RALEIGH, NC 27607  
TEL: 919.866.4921 FAX: 919.833.8124 WWW.TIMMONS.COM

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

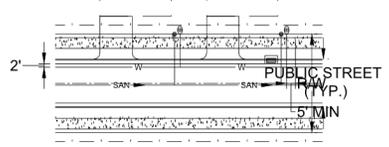
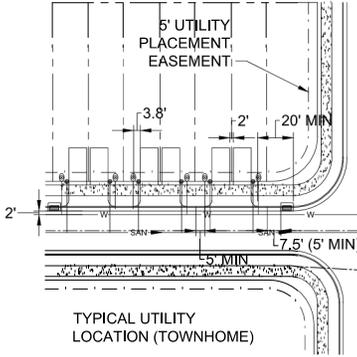


- UTILITY NOTES**
1. ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED.
  2. COORDINATE WITH THE CITY OF RALEIGH UTILITY DEPARTMENT AND PUBLIC WORKS DEPARTMENT FOR UTILITIES THAT ARE TO REMAIN UNDISTURBED.
  3. COORDINATE ALL COMMUNICATIONS, TELEPHONE, FIBER OPTIC, OVERHEAD POWER, AND UNDERGROUND UTILITY REMOVAL OR RELOCATION WITH THE UTILITY PROVIDER, THE CITY OF RALEIGH UTILITY DEPARTMENT AND THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT.
  4. CURB STOPS ARE REQUIRED FOR 3/4" METERS AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. McDONALD, OR TRUMBULL.
  5. SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
  6. ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
  7. METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
  8. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
  9. ALL 4" SANITARY SEWER SERVICES MAY BE TAPPED DIRECTLY INTO 12" OR SMALLER MAINS OR MANHOLES IN ACCORDANCE TO CITY OF RALEIGH DETAILS S-31 AND S-32.
  10. UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS.
  11. ALL DISTURBED HARDSCAPE AND LANDSCAPING (CONCRETE, ASPHALT, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

NOTE: UTILITY LOCATIONS, QUANTITIES, ELEVATIONS, ETC. MAY BE CHANGED AT CONSTRUCTION DRAWING APPROVAL.

NOTE: ALL ALLEYS/REAR LANES ARE TO BE PRIVATELY MAINTAINED.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, NCGEO, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



- NOTE:**
1. DOMESTIC WATER AND SAN. SEWER SERVICES SHALL BE INSTALLED PER CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS.
  2. DOMESTIC WATER AND SAN. SEWER SERVICES SHALL BE INSTALLED ON THE LOW SIDE OF THE LOT.

**UTILITY LEGEND**

	SANITARY SEWER
	SANITARY MANHOLE
	EXISTING SAN. SEWER
	EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	WATER VALVE
	FIRE HYDRANT
	BLOWOFF ASSEMBLY

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT OF WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	MULTI-USE PATH
	NEUSE RIPARIAN BUFFER
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

S:\1048038\Buffaloe Reserve\_SitePlan\DWG\2023-03-13\CD\Util\_Plan.dwg | Plotter by: jenny.dobson



THE DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5101 FAYETTEVILLE ROAD, SUITE 200  
RALEIGH, NC 27607  
TEL: 919.896.4921 FAX: 919.833.8124 www.timmongroup.com

REVISION DESCRIPTION  
DATE  
03/09/2023  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
03/09/2023

DRAWN BY  
331

DESIGNED BY  
331

CHECKED BY  
A. STONE

SCALE  
1"=60'

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

JOB NO.  
48038

**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
DETAILED UTILITY PLAN 1 OF 8

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SHEET NO.  
C3.1

**GENERAL NOTES: PARK AND REC**

1.) NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, NC, DEO, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



**UTILITY LEGEND**

	SANITARY SEWER
	SANITARY MANHOLE
	EXISTING SAN. SEWER
	EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	WATER VALVE
	FIRE HYDRANT
	BLOWOFF ASSEMBLY

**UTILITY NOTES**

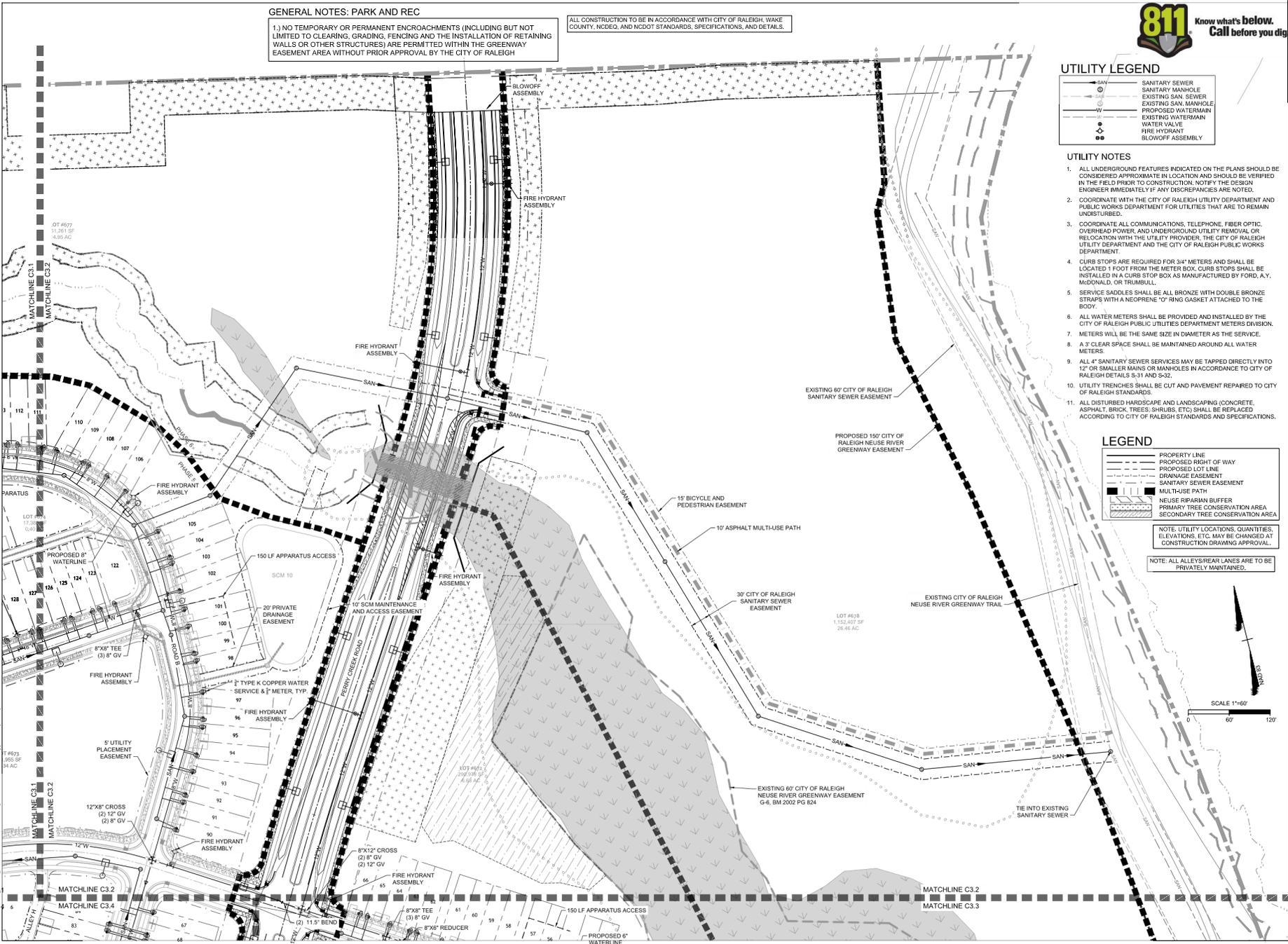
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2. COORDINATE WITH THE CITY OF RALEIGH UTILITY DEPARTMENT AND PUBLIC WORKS DEPARTMENT FOR UTILITIES THAT ARE TO REMAIN UNDISTURBED.
3. COORDINATE ALL COMMUNICATIONS, TELEPHONE, FIBER OPTIC, OVERHEAD POWER, AND UNDERGROUND UTILITY REMOVAL OR RELOCATION WITH THE UTILITY PROVIDER. THE CITY OF RALEIGH UTILITY DEPARTMENT AND THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT.
4. CURB STOPS ARE REQUIRED FOR 3/4" METERS AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y., McDONALD, OR TRUMBULL.
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**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT OF WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	MULTI-USE PATH
	NEUSE RIPARIAN BUFFER
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

NOTE: UTILITY LOCATIONS, QUANTITIES, ELEVATIONS, ETC. MAY BE CHANGED AT CONSTRUCTION DRAWING APPROVAL.

NOTE: ALL ALLEYS/REAR LANES ARE TO BE PRIVATELY MAINTAINED.



THE DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5401 TOWN CENTER DRIVE, SUITE 2000  
RALEIGH, NC 27607  
TEL: 919.896.4921 FAX: 919.833.8124 WWW.TIMMONS.COM

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
07/24/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

DATE: 03/09/2023

DRAWN BY: 331

DESIGNED BY: 331

CHECKED BY: A. STONE

SCALE: 1"=60'

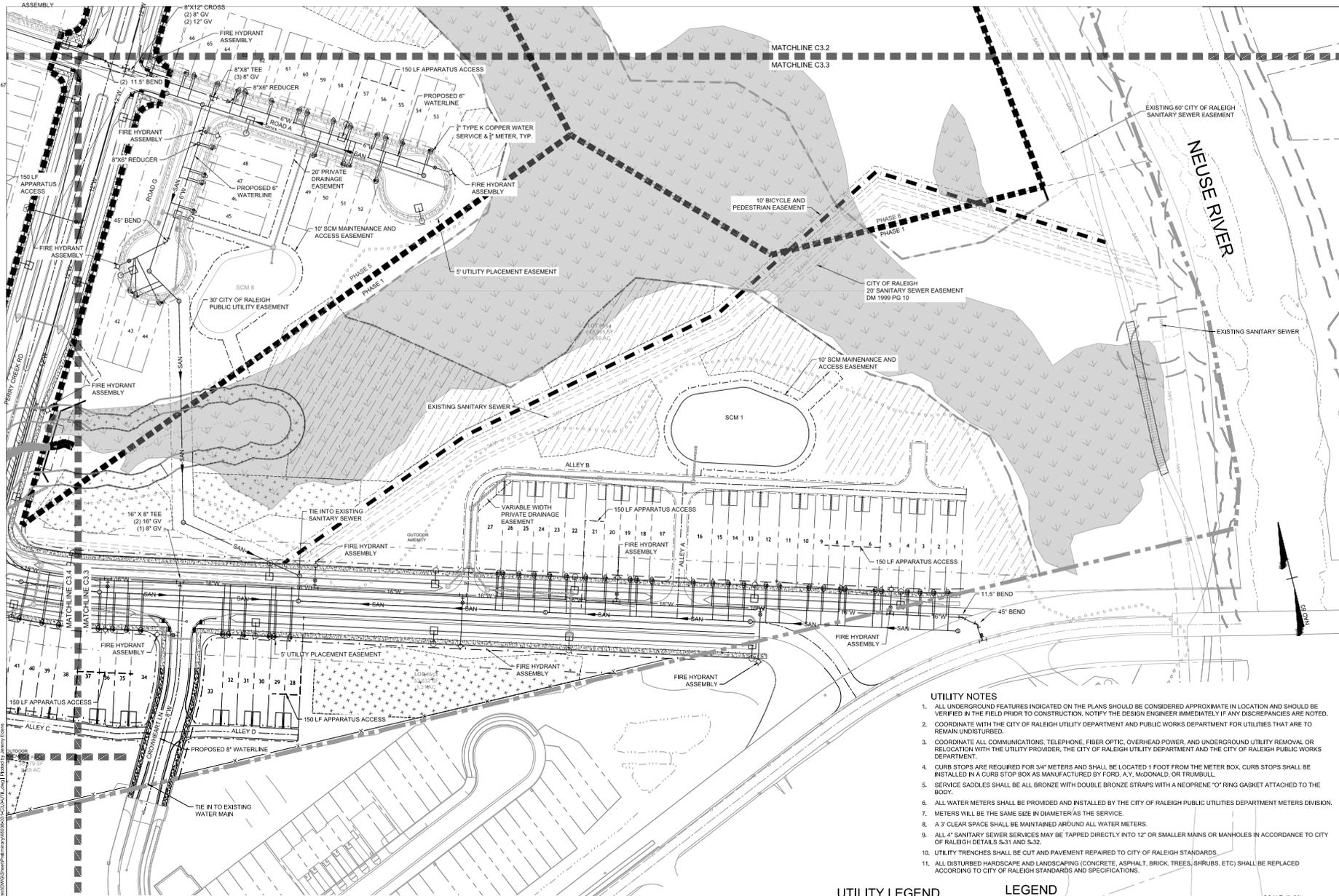
# TIMMONS GROUP

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
DETAILED UTILITY PLAN 2 OF 8

JOB NO. 48038

SHEET NO. C3.2

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**GENERAL NOTES: PARK AND REC**

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NOTE: ALL ALLEYS/REAR LANES ARE TO BE PRIVATELY MAINTAINED.

**UTILITY LEGEND**

— SAN	SANITARY SEWER
○	SANITARY MANHOLE
— SAN	EXISTING SAN. SEWER
○	EXISTING SAN. MANHOLE
— W	PROPOSED WATER MAIN
○	EXISTING WATER MAIN
●	WATER VALVE
⊕	FIRE HYDRANT
⊕	BLOWOFF ASSEMBLY

**LEGEND**

—	PROPERTY LINE
---	PROPOSED RIGHT OF WAY
---	PROPOSED LOT LINE
---	DRAINAGE EASEMENT
---	SANITARY SEWER EASEMENT
---	MULTI-USE PATH
---	NEUSE RIPARIAN BUFFER
---	PRIMARY TREE CONSERVATION AREA
---	SECONDARY TREE CONSERVATION AREA

**UTILITY NOTES**

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THE DRAWING PREPARED AT THE RALEIGH OFFICE  
5501 MARKET STREET, RALEIGH, NC 27607  
TEL: 919.896.4921 FAX: 919.833.8124 WWW.TIMMONSGROUP.COM

REVISION DESCRIPTION  
DATE  
07/24/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
03/09/2023

DESIGNED BY  
331

CHECKED BY  
A. STONE

SCALE  
1"=60'

PROJECT NO.  
48038

SHEET NO.  
C.3.3

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

DATE  
03/09/2023

DESIGNED BY  
331

CHECKED BY  
A. STONE

SCALE  
1"=60'

SHEET NO.  
C.3.3

PROJECT NO.  
48038

DATE  
03/09/2023

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A. STONE

SCALE  
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SHEET NO.  
C.3.3

PROJECT NO.  
48038

DATE  
03/09/2023

DESIGNED BY  
331

CHECKED BY  
A. STONE

SCALE  
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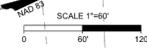
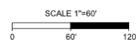
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, NCDEQ, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

**UTILITY NOTES**

1. ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED.
2. COORDINATE WITH THE CITY OF RALEIGH UTILITY DEPARTMENT AND PUBLIC WORKS DEPARTMENT FOR UTILITIES THAT ARE TO REMAIN UNDISTURBED.
3. COORDINATE ALL COMMUNICATIONS, TELEPHONE, FIBER OPTIC, OVERHEAD POWER, AND UNDERGROUND UTILITY REMOVAL OR RELOCATION WITH THE UTILITY PROVIDER, THE CITY OF RALEIGH UTILITY DEPARTMENT AND THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT.
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**GENERAL NOTES: PARK AND REC**

1.) NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH



**LEGEND**

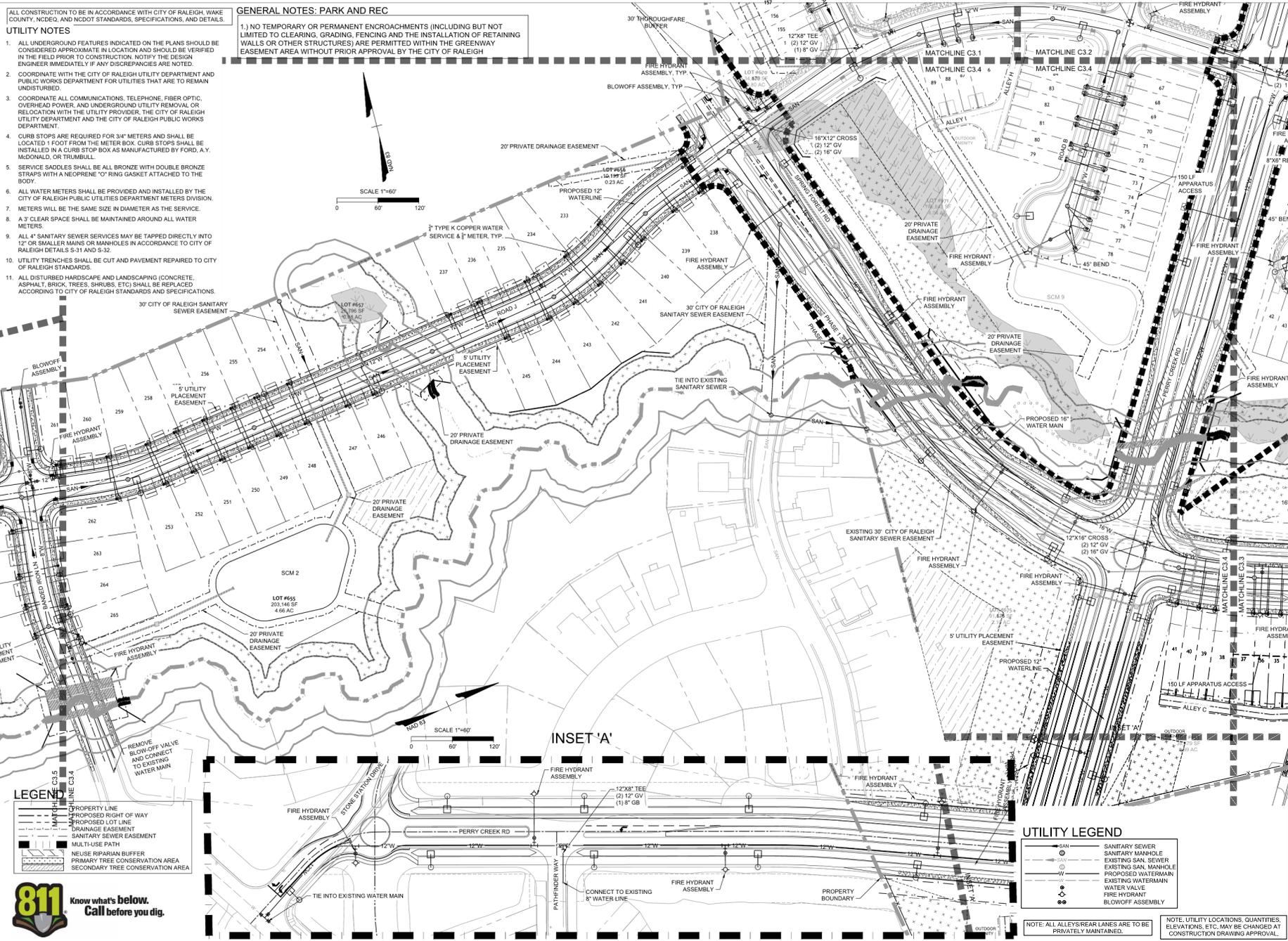
	PROPERTY LINE
	PROPOSED RIGHT OF WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	MULTI-USE PATH
	NEUSE RIPARIAN BUFFER
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

**UTILITY LEGEND**

	SANITARY SEWER
	SANITARY MANHOLE
	EXISTING SAN. SEWER
	EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	WATER VALVE
	FIRE HYDRANT
	BLOWOFF ASSEMBLY

NOTE: ALL ALLEYS/REAR LINES ARE TO BE PRIVATELY MAINTAINED.

NOTE: UTILITY LOCATIONS, QUANTITIES, ELEVATIONS, ETC. MAY BE CHANGED AT CONSTRUCTION DRAWING APPROVAL.



**INSET 'A'**

THIS DRAWING PREPARED BY  
**TIMMONS GROUP**  
 5101 F. Blvd., Suite 200  
 Raleigh, NC 27617  
 TEL: 919.896.4921 FAX: 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 07/24/2023  
 DATE: 03/09/2023  
 DRAWN BY: 331  
 DESIGNED BY: 331  
 CHECKED BY: A. STONE  
 SCALE: 1"=60'

**TIMMONS GROUP**  
 BUFFALOEE RESERVE  
 WAKE COUNTY, NORTH CAROLINA  
 DETAILED UTILITY PLAN 4 OF 8

JOB NO. 48038  
 SHEET NO. C3.4

REVISION DESCRIPTION  
 MODIFICATION TO APPROVED PRELIMINARY SUBMITTAL PLAN

DO NOT USE FOR CONSTRUCTION

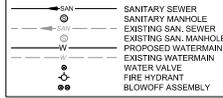
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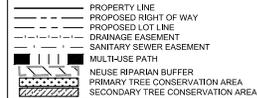




**UTILITY LEGEND**



**LEGEND**



NOTE: UTILITY LOCATIONS, QUANTITIES, ELEVATIONS, ETC. MAY BE CHANGED AT CONSTRUCTION DRAWING APPROVAL.

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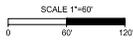
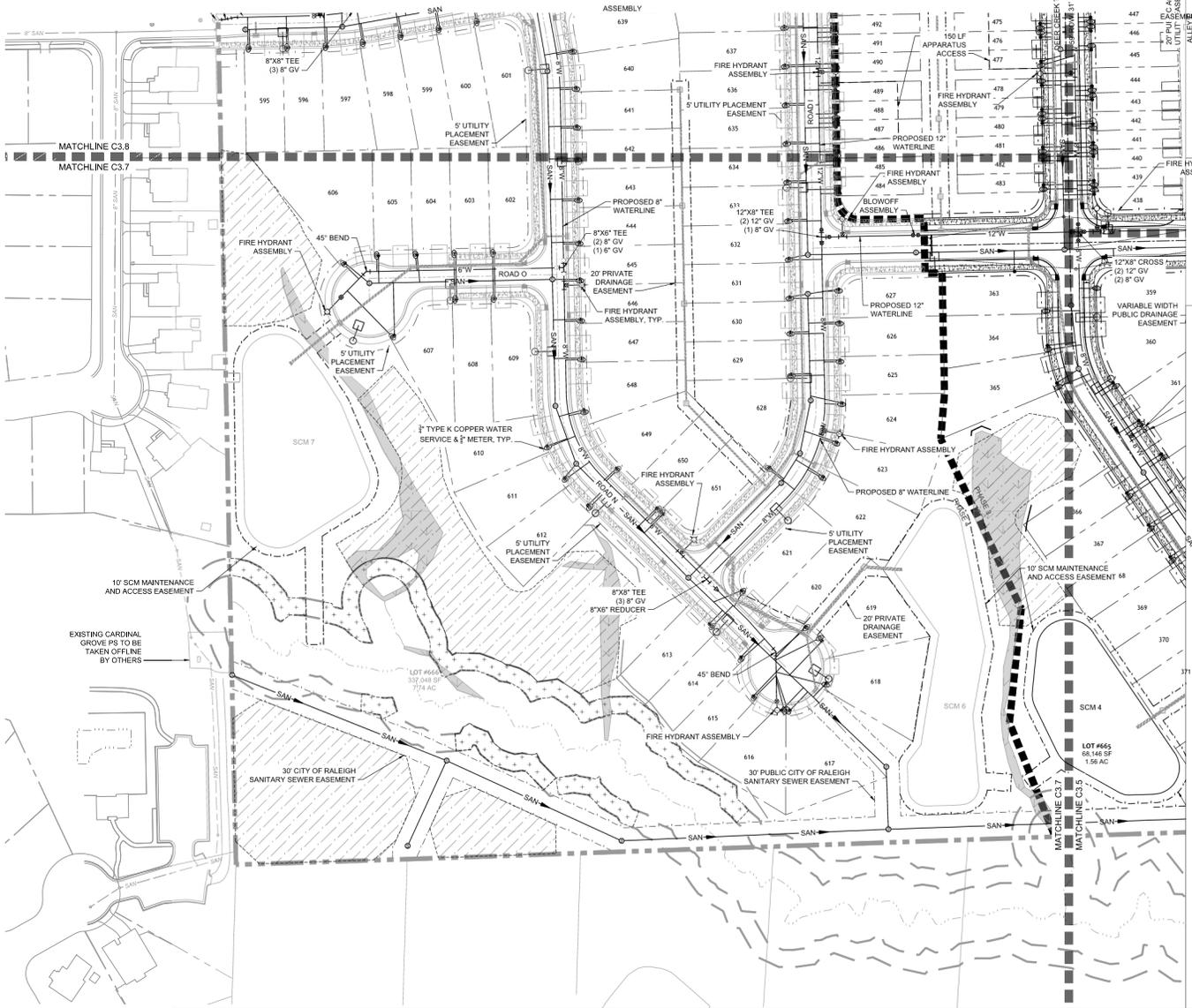
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**UTILITY NOTES**

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**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
DETAILED UTILITY PLAN 7 OF 8

DATE: 07/24/2023  
REVISION DESCRIPTION: MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

DATE: 03/09/2023  
DRAWN BY: 331  
DESIGNED BY: 331  
CHECKED BY: A. STONE  
SCALE: 1"=60'

JOB NO. 48038  
SHEET NO. C3.7

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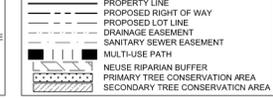


SCALE 1"=60'  
0 60 120'

**UTILITY LEGEND**

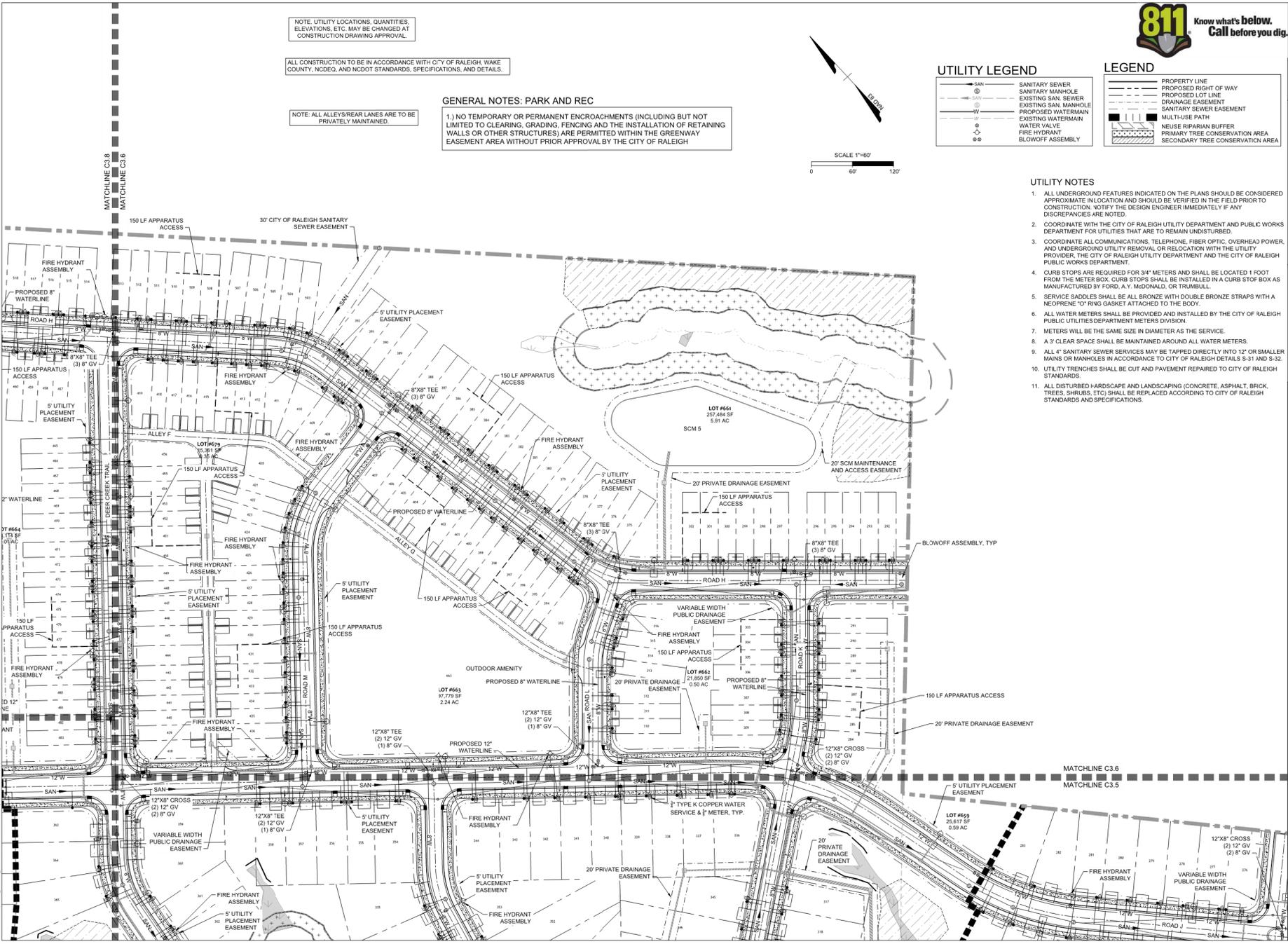


**LEGEND**



**UTILITY NOTES**

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**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA  
**DETAILED UTILITY PLAN 6 OF 8**

JOB NO. 48038  
SHEET NO. C3.6

DATE	07/24/2023
REVISION DESCRIPTION	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
DATE	03/09/2023
REVISION DESCRIPTION	YOUR VISION ACHIEVED THROUGH OURS.
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1"=60'

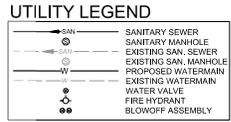
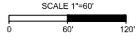
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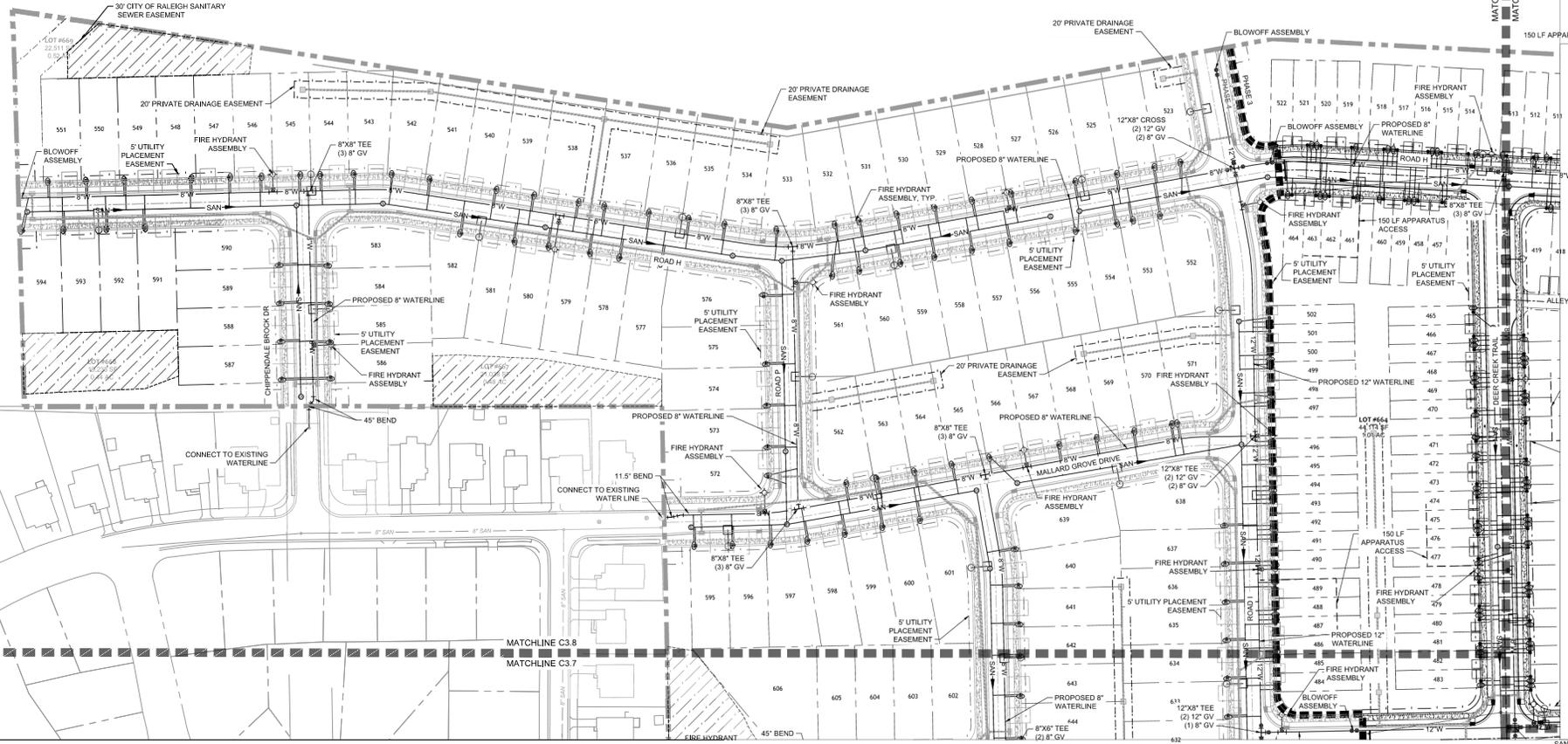
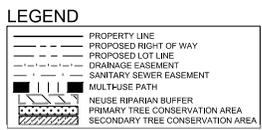
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**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA  
DETAILED UTILITY PLAN 8 OF 8

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5101 FAYETTEVILLE ROAD, SUITE 2000  
RALEIGH, NC 27607  
TEL: 919.856.4921 FAX: 919.833.8124 WWW.TIMMONSGROUP.COM

REVISION DESCRIPTION  
DATE  
03/09/2023  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

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YOUR VISION ACHIEVED THROUGH OURS.

DATE  
03/09/2023

REVISION DESCRIPTION  
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03/09/2023  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

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REVISION DESCRIPTION  
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03/09/2023  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

YOUR VISION ACHIEVED THROUGH OURS.

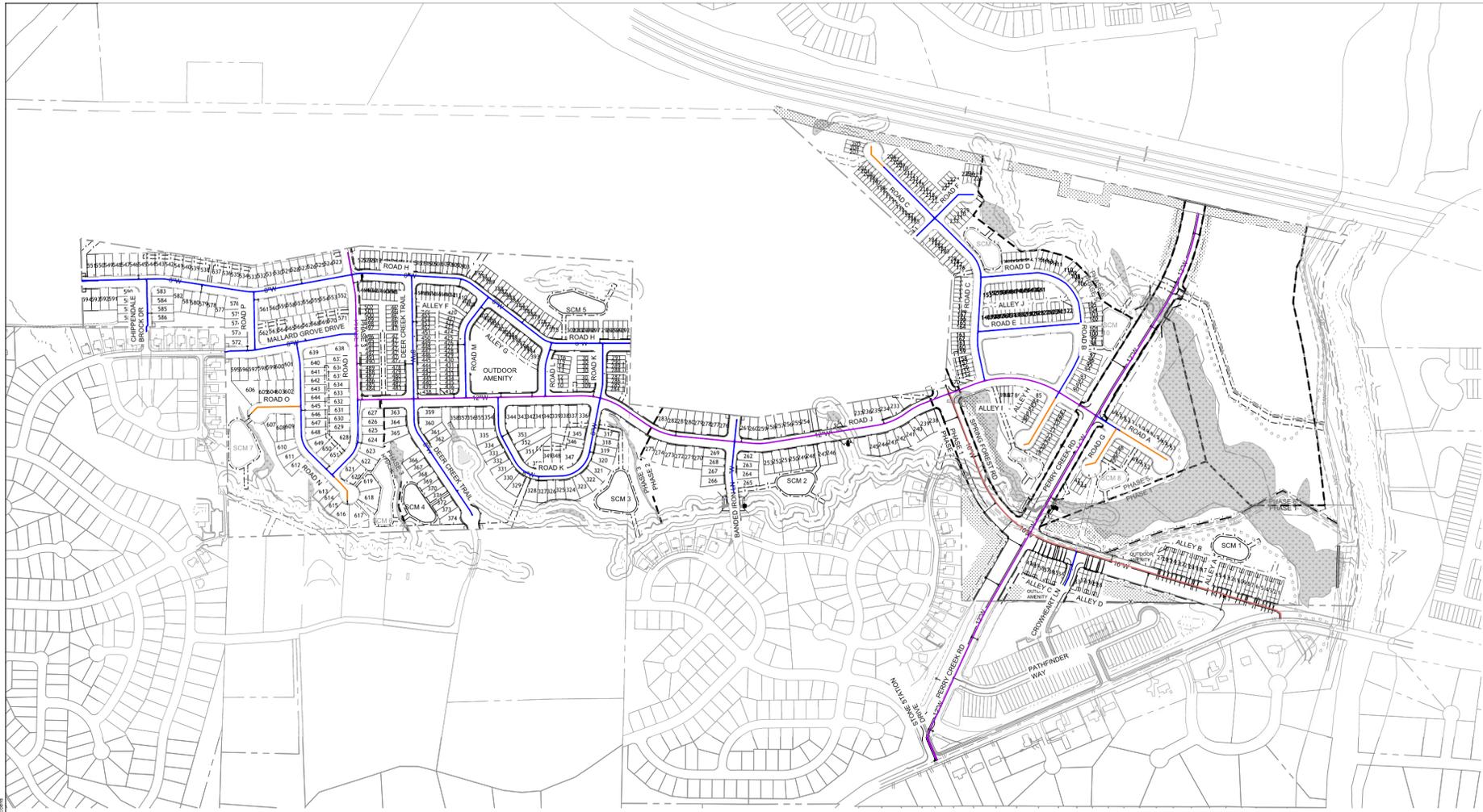
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03/09/2023

REVISION DESCRIPTION  
DATE  
03/09/2023  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

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03/09/2023

REVISION DESCRIPTION  
DATE  
03/09/2023  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN



WATER LINE PIPE SIZES ARE SUBJECT TO CHANGE  
BASED ON THE RESULTS OF THE FIRE FLOW ANALYSIS

**LEGEND**

	6 IN WATER LINE
	8 IN WATER LINE
	12 IN WATER LINE
	16 IN WATER LINE

SCALE 1"=250'

0 250' 500'



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**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA  
**MASTER WATER DISTRIBUTION PLAN**

JOB NO. 48038  
SHEET NO. C3.9

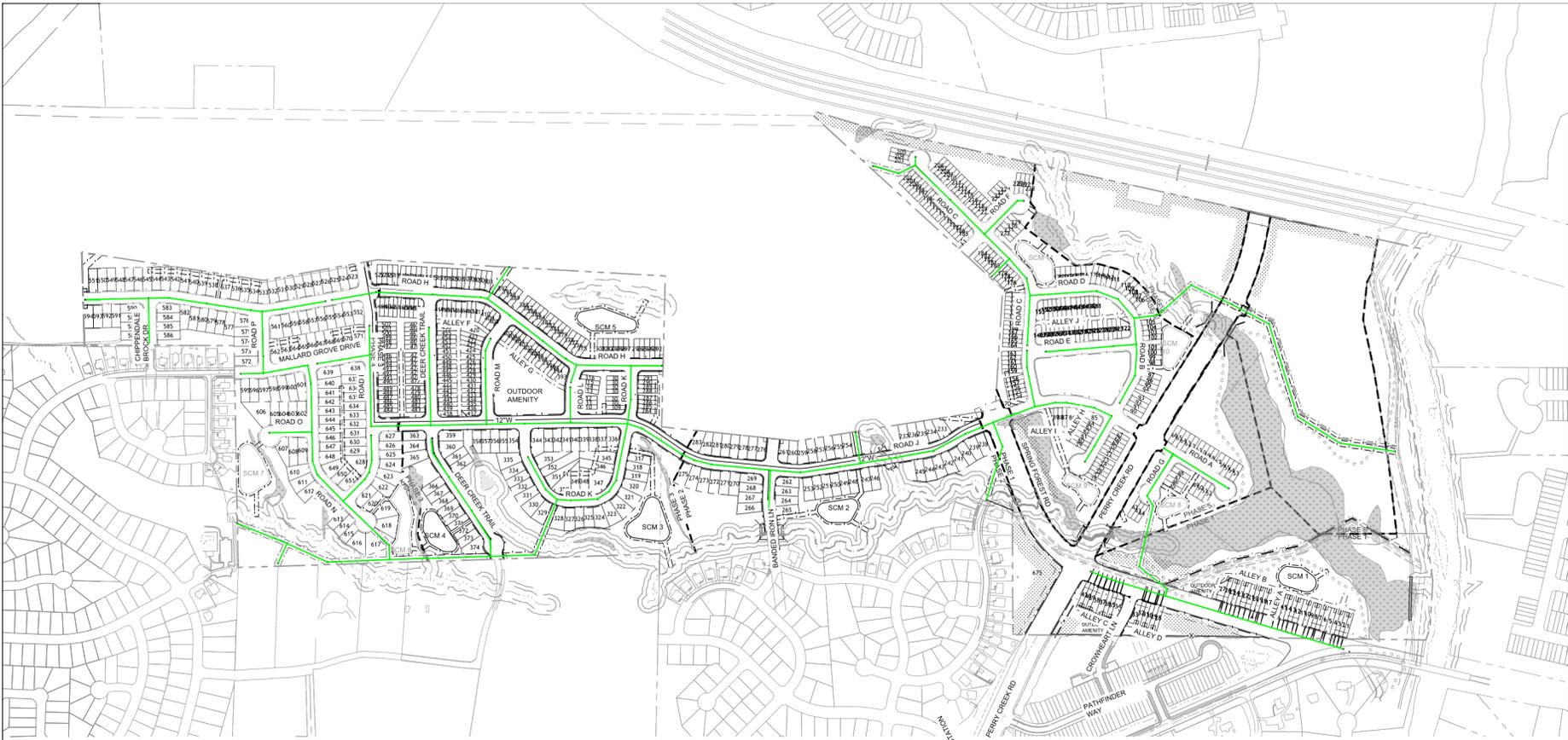
THE DRAWING PREPARED AT THE  
**DESIGN OFFICE**  
5407 Falls Road, Raleigh, NC 27607  
TEL 919.866.4921 FAX 919.833.8124 www.timmonsgr.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION  
07/23/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

DATE 03/09/2023  
DRAWN BY 331  
DESIGNED BY 331  
CHECKED BY A. STONE  
SCALE 1"=250'

PRELIMINARY - DO NOT USE FOR CONSTRUCTION



NOTE: SEWER LINE PIPE SIZES ARE SUBJECT TO CHANGE BASED ON RESULTS OF DOWNSTREAM SEWER CAPACITY ANALYSIS. SEWER LINES EXTENDED TO ADJACENT UPSTREAM PROPERTIES SHALL ALSO BE SIZED FOR A FULLY DEVELOPED BASIN - TO INCLUDE ABANDONMENT OF THE CARDINAL GROVE PS.

8 IN SANITARY SEWER

SCALE 1"=250'



# TIMMONS GROUP

**BUFFALOEE RESERVE**  
 WAKE COUNTY, NORTH CAROLINA  
**MASTER SANITARY SEWER PLAN**

SUB NO. 48038  
 SHEET NO. C3.10

YOUR VISION ACHIEVED THROUGH OURS.

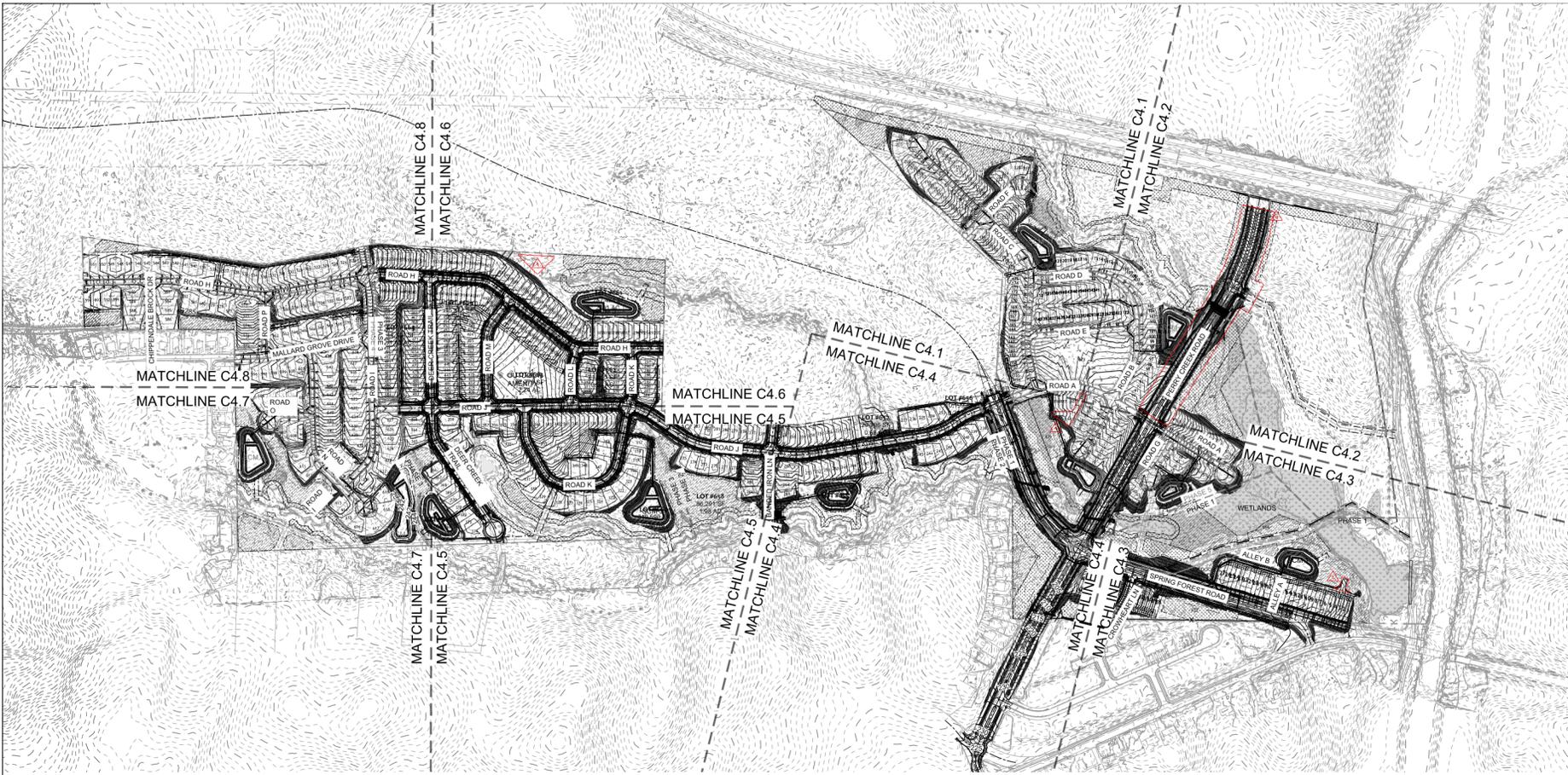
THE DRAWING PREPARED AT THE  
**RAJLIGH OFFICE**  
 5404 TWIN OAKS DRIVE, SUITE 100, NC 27607  
 TEL: 919.896.4921 FAX: 919.833.8124 WWW.TIMMONS.COM

REVISION DESCRIPTION  
 07/23/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

DATE	DESCRIPTION
03/09/2023	DRAWN BY 331
	DESIGNED BY 331
	CHECKED BY A. STONE
	SCALE 1"=250'

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

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**REVISION LEGEND**

	PHASE LINE REVISION
	LOT TYPE REVISION
	SOA REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CREEK ROAD ADDITION

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  - ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720173600J PANEL 1736, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "X" AND "AE".

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED PERIMETER BUFFER
	PROPOSED EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARK TREE CONSERVATION AREA
	SEC. AND PRY TREE CONSERVATION AREA



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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**TIMMONS GROUP**

WAKE COUNTY, NORTH CAROLINA

**BUFFALO JOE RESERVE**

**OVERALL PRELIMINARY GRADING & DRAINAGE PLAN**

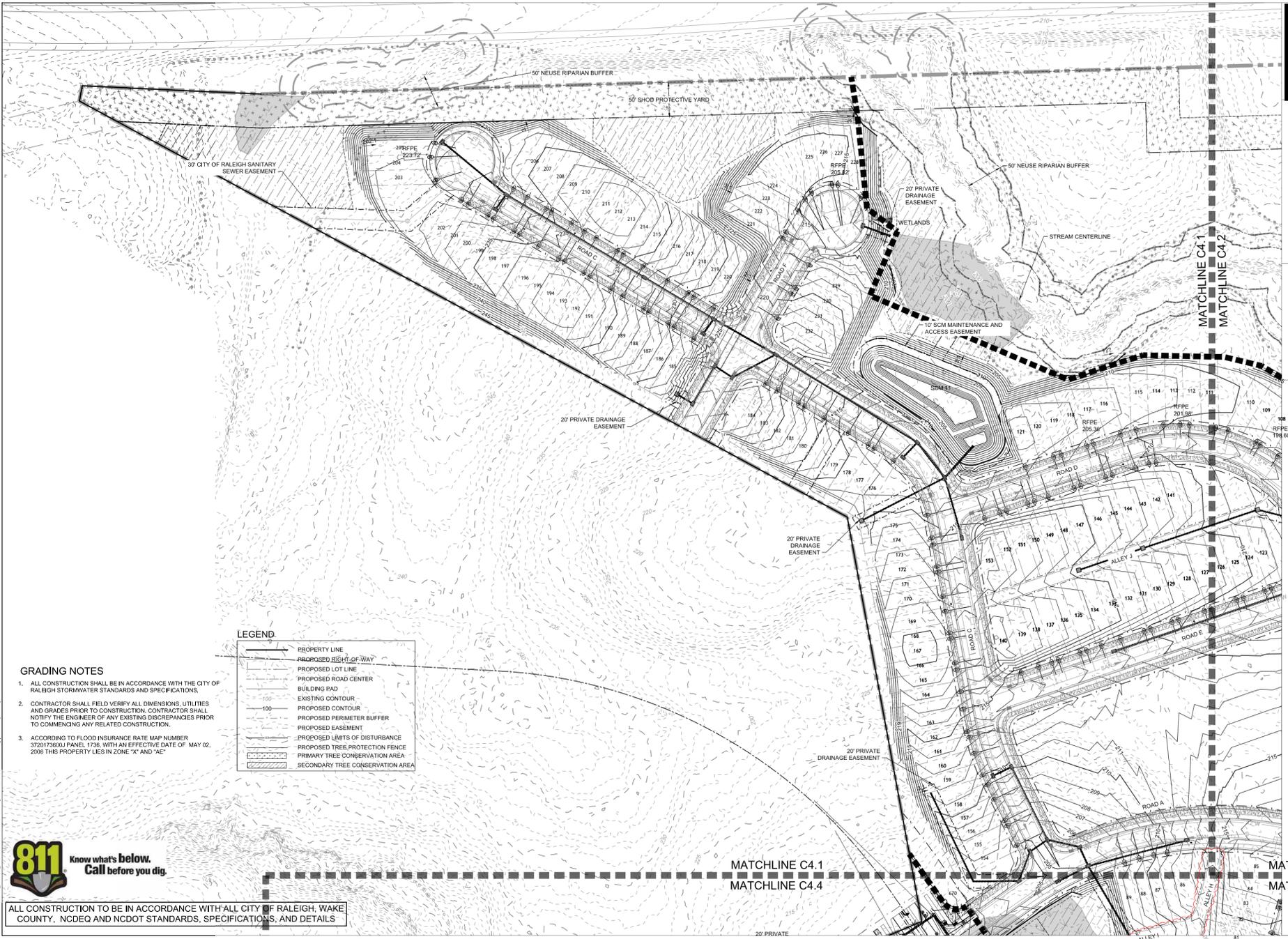
PRELIMINARY - DO NOT USE FOR CONSTRUCTION

YOUR VISION ACHIEVED THROUGH OURS.	DATE	03/09/2023	DRAWN BY	333	DESIGNED BY	333	CHECKED BY	A. STONE	SCALE	1" = 250'
REVISION DESCRIPTION	DATE		DRAWN BY		CHECKED BY		SCALE			
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN										

THE DRAWING PREPARED AT THE RALEIGH OFFICE

5000 TOWN CENTER DRIVE, SUITE 1000, RALEIGH, NC 27607

TEL: 919.896.4921 FAX: 919.833.8124 WWW.TIMMONSGROUP.COM



- GRADING NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3701173601J PANEL 1736, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "X" AND "AE"

**LEGEND**

	PROPERTY LINE
	PROPOSED EIGHTH-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED PERIMETER BUFFER
	PROPOSED EASEMENT
	PROPOSED UNITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 1 OF 8

<p>THE DRAWING PREPARED AT THE <b>RALEIGH OFFICE</b> 5411 FARM ROAD, SUITE 100, RALEIGH, NC 27607 TEL 919.896.4951 FAX 919.833.8124 www.timmons.com</p>	<p>REVISION DESCRIPTION</p> <p>MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN</p>	<p>DATE</p> <p>03/09/2023</p> <p>DRAWN BY</p> <p>331</p> <p>DESIGNED BY</p> <p>331</p> <p>CHECKED BY</p> <p>A. STONE</p> <p>SCALE</p> <p>1"=60'</p>
<p>YOUR VISION ACHIEVED THROUGH OURS.</p>	<p>DATE</p> <p>07/24/2023</p> <p>MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN</p>	<p>DATE</p> <p>03/09/2023</p> <p>DRAWN BY</p> <p>331</p> <p>DESIGNED BY</p> <p>331</p> <p>CHECKED BY</p> <p>A. STONE</p> <p>SCALE</p> <p>1"=60'</p>
<p>PRELIMINARY - DO NOT USE FOR CONSTRUCTION</p>		

**GRADING NOTES**

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2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3700173600J PANEL 1736, WITH AN EFFECTIVE DATE OF MAY 02, 2008 THIS PROPERTY LIES IN ZONE "X" AND "AE".

**REVISION LEGEND**

- ▲ PHASE LINE REVISION
- ▲ LOT TYPE REVISION
- ▲ SCM REMOVAL
- ▲ ALLEY ADDITION
- ▲ ALLEY REVISION
- ▲ FERRY CREEK ROAD ADDITION

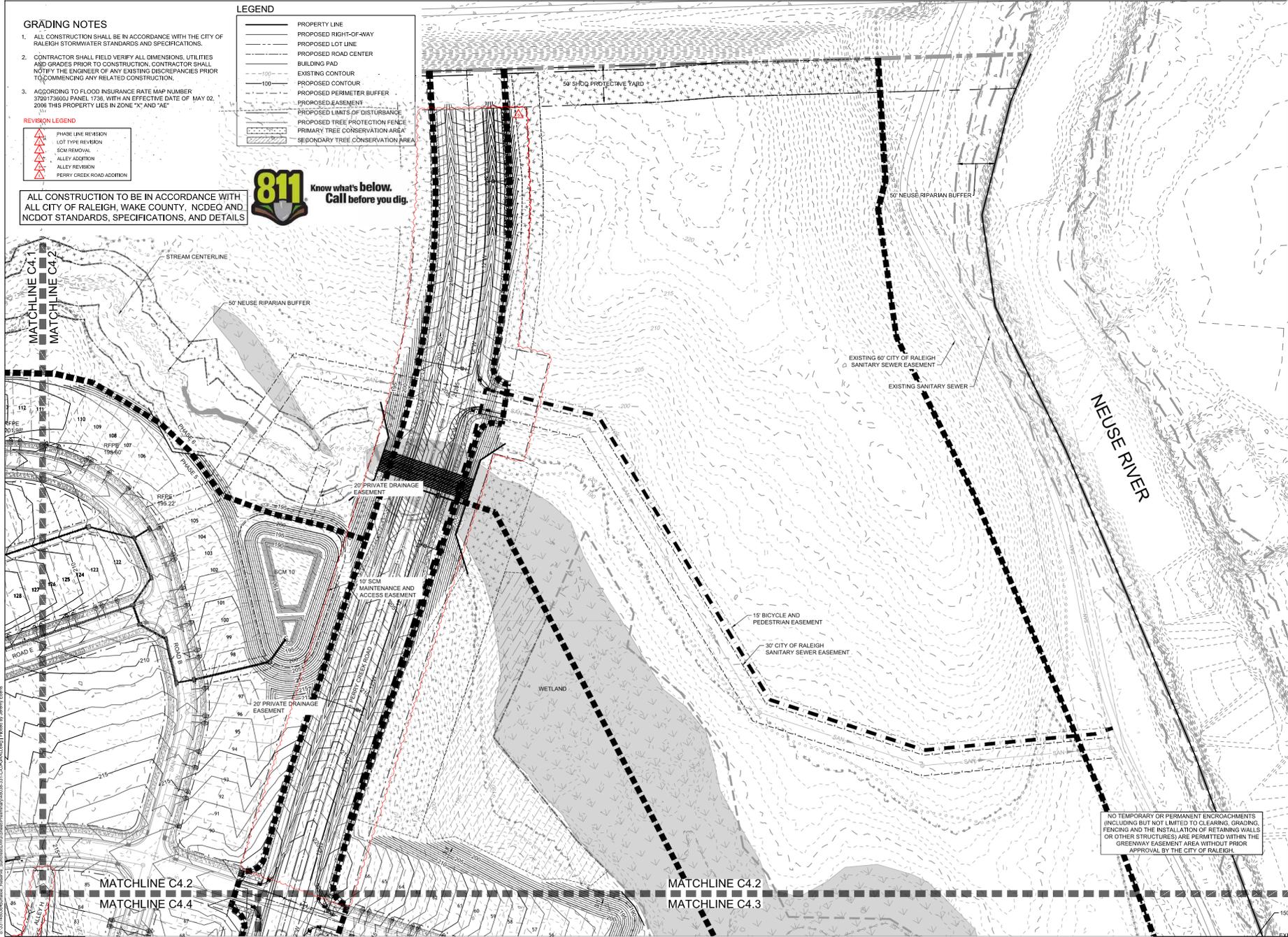
**LEGEND**

- PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED ROAD CENTER
- BUILDING PAD
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - PROPOSED PERIMETER BUFFER
- - - - - PROPOSED EASEMENT
- - - - - PROPOSED LIMITS OF DISTURBANCE
- - - - - PROPOSED TREE PROTECTION FENCE
- - - - - PRIMARY TREE CONSERVATION AREA
- - - - - SECONDARY TREE CONSERVATION AREA



**811 Know what's below. Call before you dig.**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 2 OF 8**

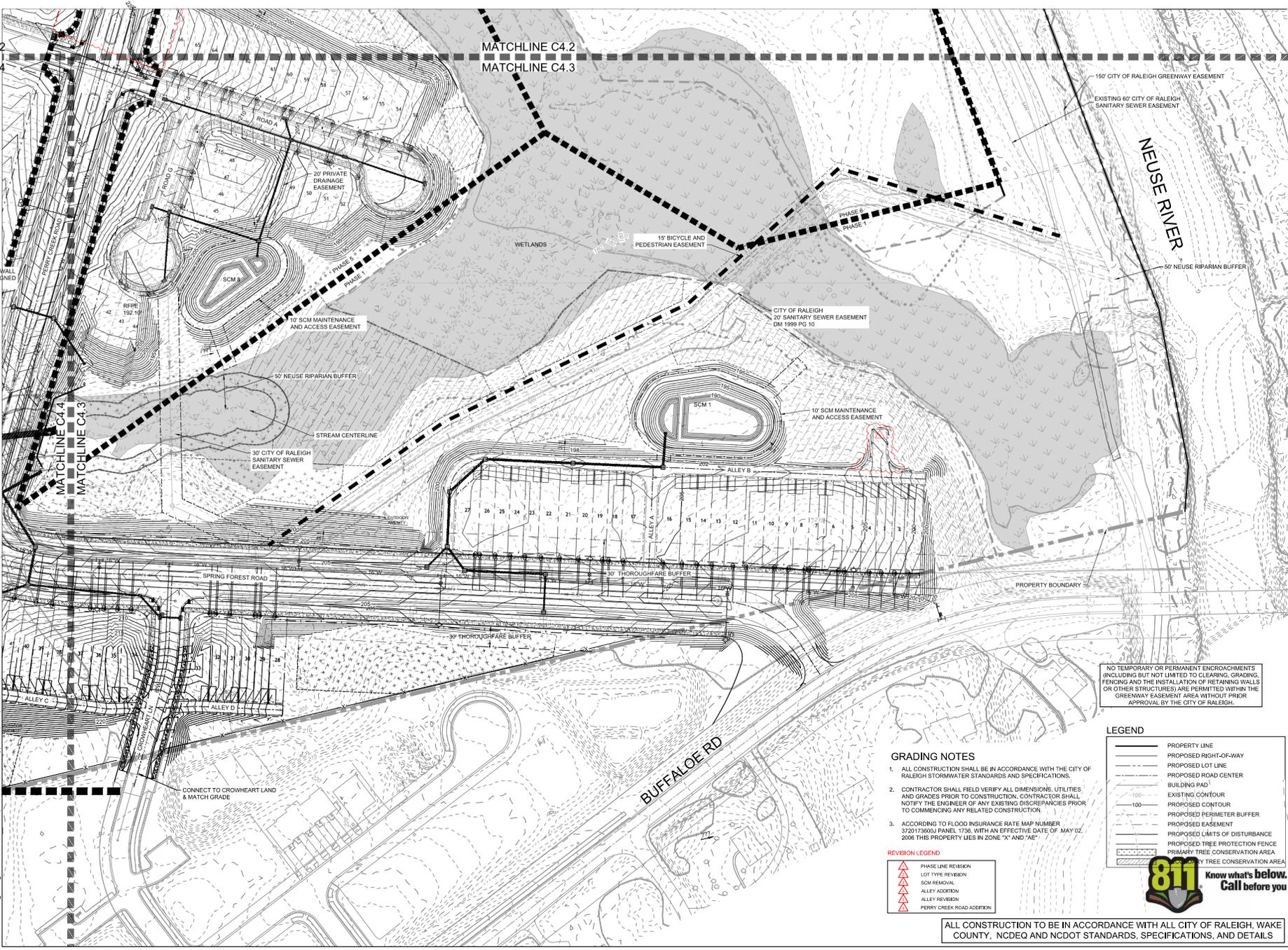
YOUR VISION ACHIEVED THROUGH OURS.	DATE	REVISION DESCRIPTION
THE DRAWING PREPARED AT THE RALEIGH OFFICE	03/09/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
500 S. HARRIS ST., RALEIGH, NC 27607		
TEL 919.896.4921 FAX 919.833.8124 WWW.TIMMONSGROUP.COM		

JOB NO.	48038
SHEET NO.	C4.2

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

LINE C4.2  
LINE C4.4

MATCHLINE C4.2  
MATCHLINE C4.3



NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

**GRADING NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720173800J PANEL 1736, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "X" AND "AE".

**REVISION LEGEND**

	PHASE LINE REVISION
	LOT TYPE REVISION
	SCM REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CREEK ROAD ADDITION

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED PERIMETER BUFFER
	PROPOSED EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARY TREE CONSERVATION AREA
	BY TREE CONSERVATION AREA



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**TIMMONS GROUP**

BUFFALO RESERVE  
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 3 OF 8

DATE	07/23/2023
DATE	03/09/2023
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1"=60'

JOB NO. 48038  
SHEET NO. C4.3

THE DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5401 Trinity Road, Raleigh, NC 27607  
TEL 919.896.4921 FAX 919.833.8124 www.timmons.com

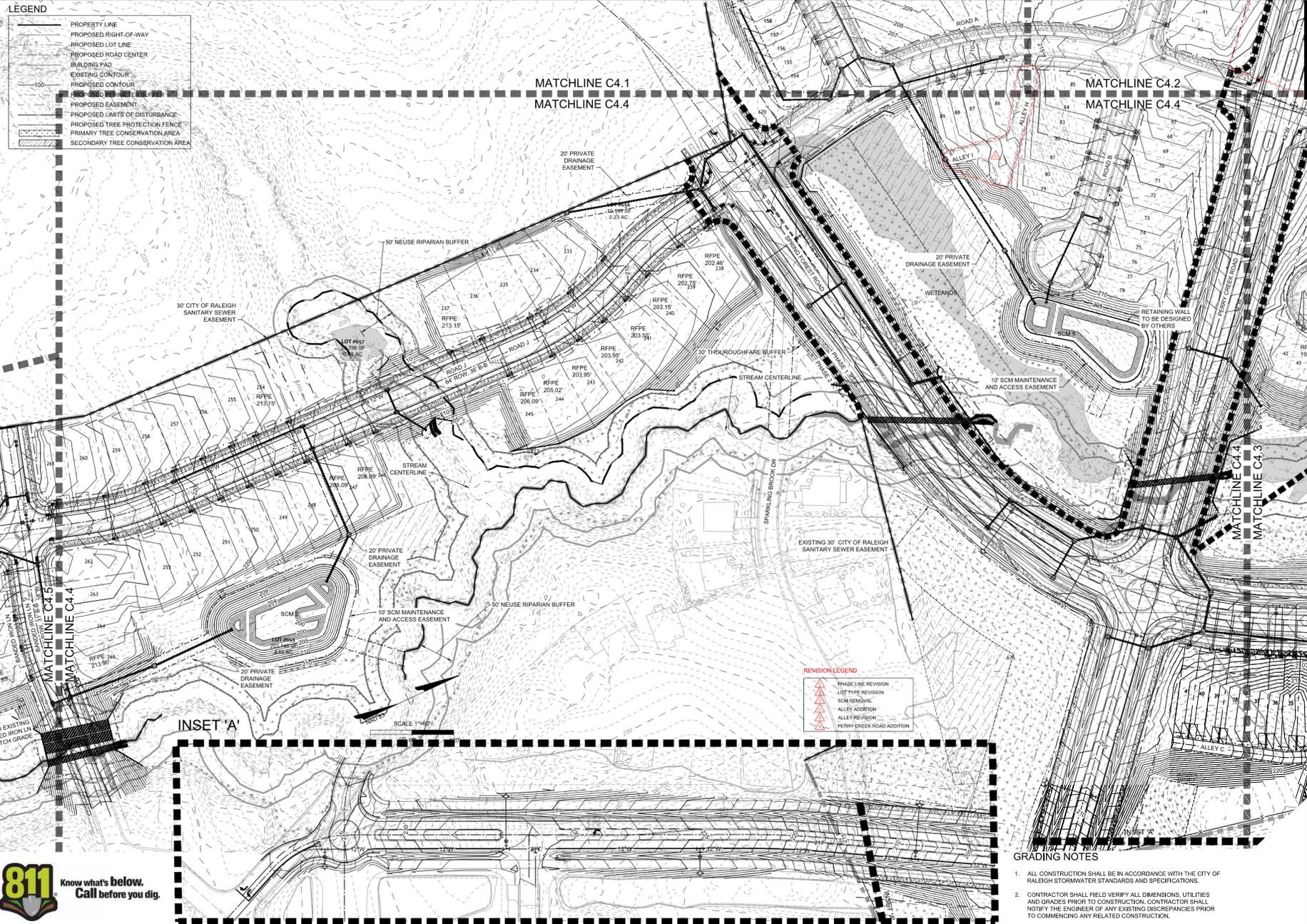
REVISION DESCRIPTION

DATE	DESCRIPTION
07/23/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA



**REVISION LEGEND**

	WASH LINE REVISION
	LOT FIRE REVISION
	SCM REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CHECK ROAD ADDITION

- GRADING NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 372017360J PANEL 1736, WITH AN EFFECTIVE DATE OF MAY 02, 2008 THIS PROPERTY LIES IN ZONE "X" AND "XZ".



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 4 OF 8**

DATE	07/24/2023
DATE	03/09/2023
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1"=60'

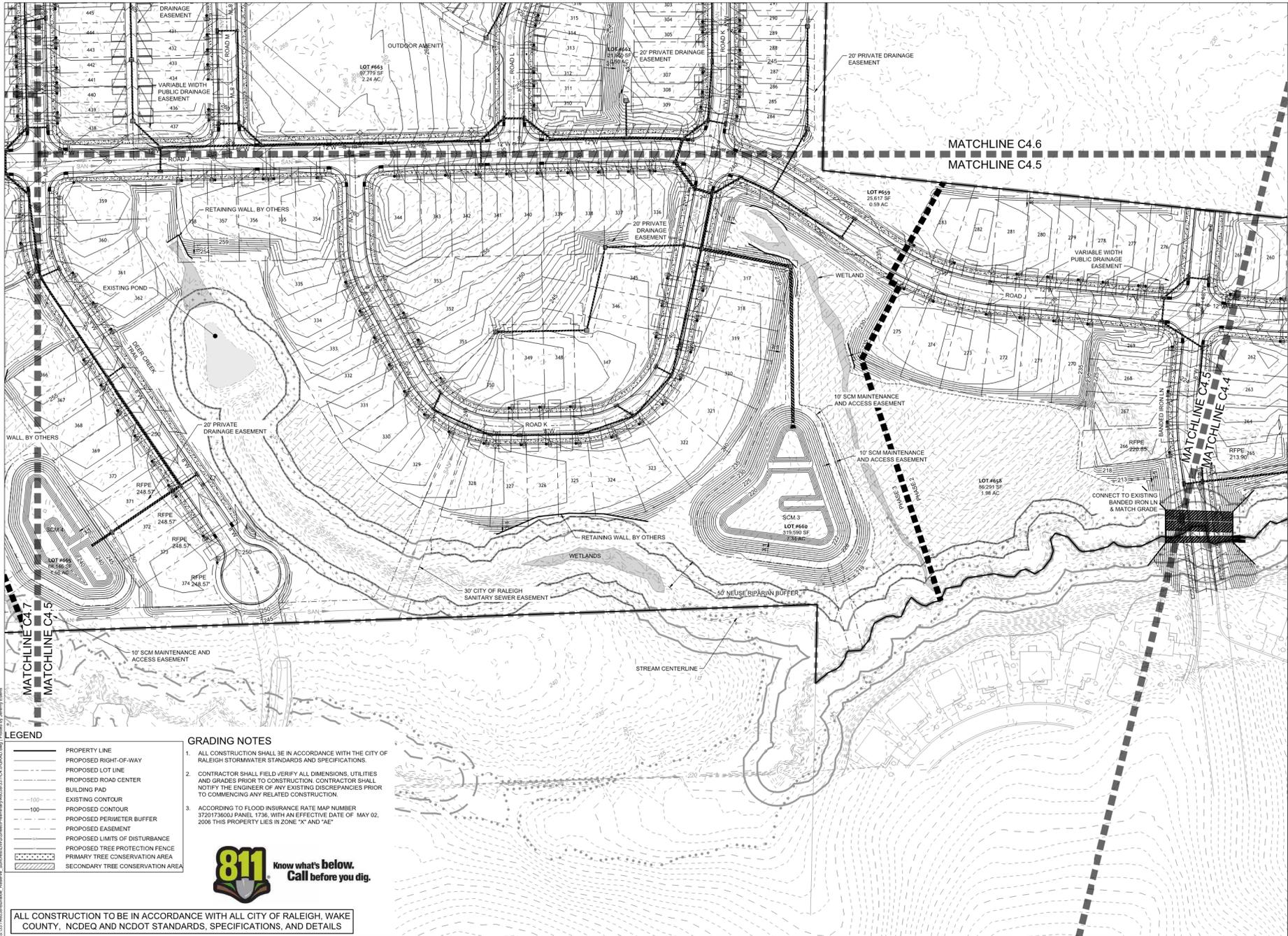
308 NO. 48038  
SHEET NO. C4.4

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5401 FAYETTE ST., RALEIGH, NC 27607  
TEL. 919.886.4921 FAX 919.833.8124 WWW.TIMMONSGROUP.COM

REVISION DESCRIPTION  
MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

YOUR VISION ACHIEVED THROUGH OURS.

PRELIMINARY - DO NOT USE FOR CONSTRUCTION



**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED PERMETER BUFFER
	PROPOSED EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

- GRADING NOTES**
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  2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 37201736001 PANEL 1726, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "X" AND "AE"



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDOT AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

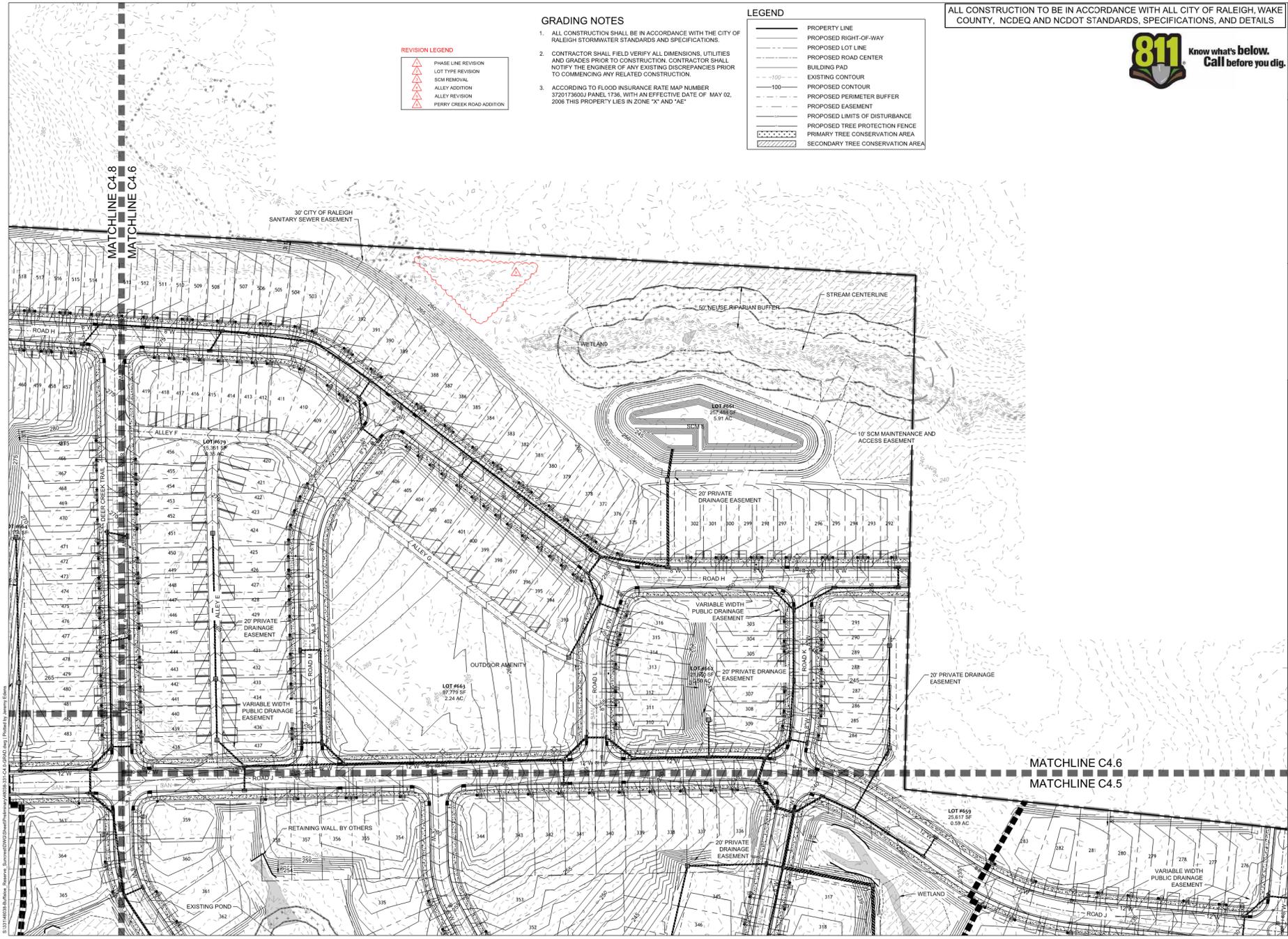
**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 5 OF 8

<p>THE DRAWING PREPARED AT THE <b>RALEIGH OFFICE</b> 5100 Trinity Road, Raleigh, NC 27607 TEL 919.886.4961 FAX 919.833.8124 www.timmons.com</p>	<p>REVISION DESCRIPTION</p> <p>DATE: 07/24/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN</p>	<p>YOUR VISION ACHIEVED THROUGH OURS.</p> <p>DATE: 03/09/2023 DRAWN BY: 331 DESIGNED BY: 332 CHECKED BY: A. STONE SCALE: 1"=60'</p>
<p>JOB NO. 48038 SHEET NO. C4.5</p>		

Preliminary - DO NOT USE FOR CONSTRUCTION



**REVISION LEGEND**

	PHASE LINE REVISION
	LOT TYPE REVISION
	SCM REMOVAL
	ALLEY ADDITION
	ALLEY REVISION
	PERRY CREEK ROAD ADDITION

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  - ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720173600J PANEL 1736 WITH AN EFFECTIVE DATE OF MAY 02, 2008 THIS PROPERTY LIES IN ZONE "X" AND "AC"

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED PERIMETER BUFFER
	PROPOSED EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



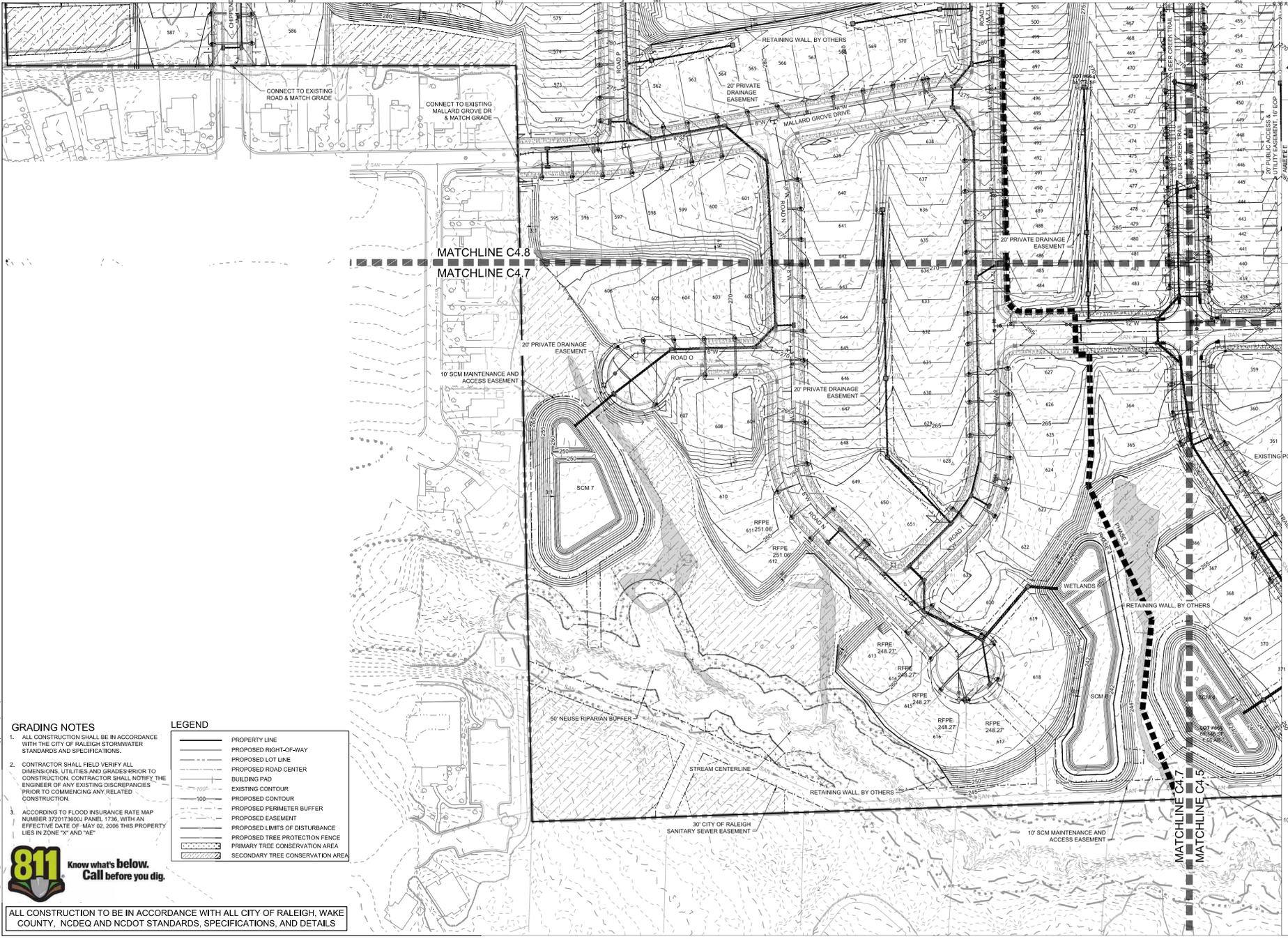
BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 6 OF 8

<p style="font-size: 0.7em;">THE DRAWING PREPARED AT THE <b>RALEIGH OFFICE</b> 5100 Trinity Road, Raleigh, NC 27607 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com</p>	<p style="font-size: 0.7em;">REVISION DESCRIPTION MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN</p>
DATE 07/24/2023	DATE 03/09/2023
YOUR VISION ACHIEVED THROUGH OURS.	DRAWN BY 331
DESIGNED BY 331	CHECKED BY A. STONE
SCALE 1" = 60'	JOB NO. 48038
SHEET NO. C4.6	SHEET NO. C4.6

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PRELIMINARY - DO NOT USE FOR CONSTRUCTION



- GRADING NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 37201730001 PANEL 1738, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "C" AND "AE".

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED PERIMETER BUFFER
	PROPOSED EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**TIMMONS GROUP**

10' SCM MAINTENANCE AND ACCESS EASEMENT

<p>THE DRAWING PREPARED AT THE <b>RALEIGH OFFICE</b> 5401 Park Road, Raleigh, NC 27607 TEL 919.886.4921 FAX 919.833.8124 www.timmons.com</p>	<p>REVISION DESCRIPTION MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN</p>	<p>DATE 03/09/2023</p> <p>DATE 07/24/2023</p> <p>YOUR VISION ACHIEVED THROUGH OURS.</p>
<p>DESIGNED BY 331</p> <p>CHECKED BY A. STONE</p> <p>SCALE 1"=60'</p>	<p>DESIGNED BY 331</p> <p>CHECKED BY A. STONE</p> <p>SCALE 1"=60'</p>	<p>DATE 03/09/2023</p> <p>DATE 07/24/2023</p> <p>YOUR VISION ACHIEVED THROUGH OURS.</p>
<p><b>BUFFALOEE RESERVE</b> WAKE COUNTY, NORTH CAROLINA</p> <p><b>DETAILED PRELIMINARY GRADING &amp; DRAINAGE PLAN - SHEET 7 OF 8</b></p>		
<p>JOB NO. 48038 SHEET NO. C4.7</p>		

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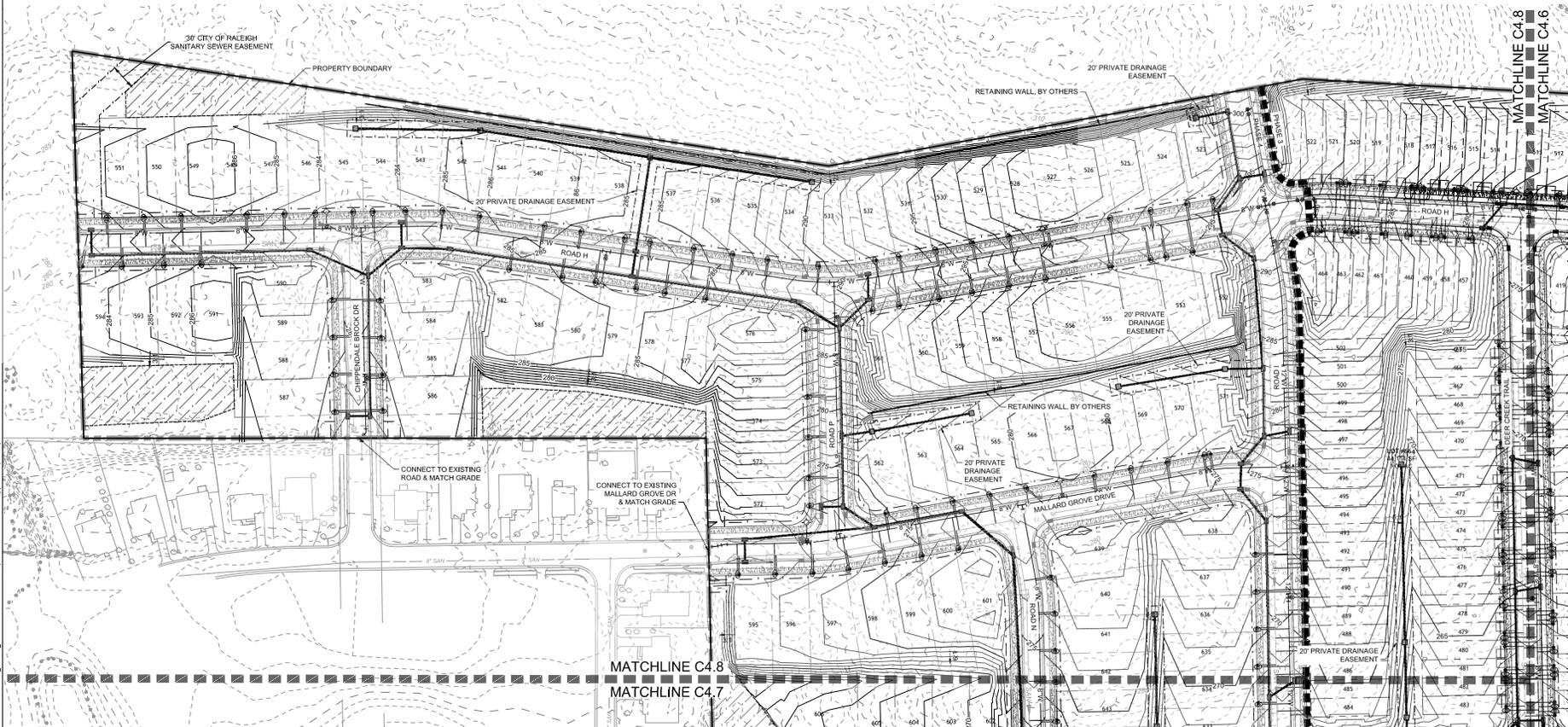


**GRADING NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720173800J PANEL 1736, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "X" AND "AE".

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED ROAD CENTER
	BUILDING PAD
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED PERIMETER BUFFER
	PROPOSED EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TREE PROTECTION FENCE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA



**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY GRADING & DRAINAGE PLAN - SHEET 8 OF 8

JOB NO. 48038  
SHEET NO. C4.8

YOUR VISION ACHIEVED THROUGH OURS.

DATE 03/09/2023

REVISION DESCRIPTION

07/23/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

DATE 03/09/2023

DRAWN BY 333

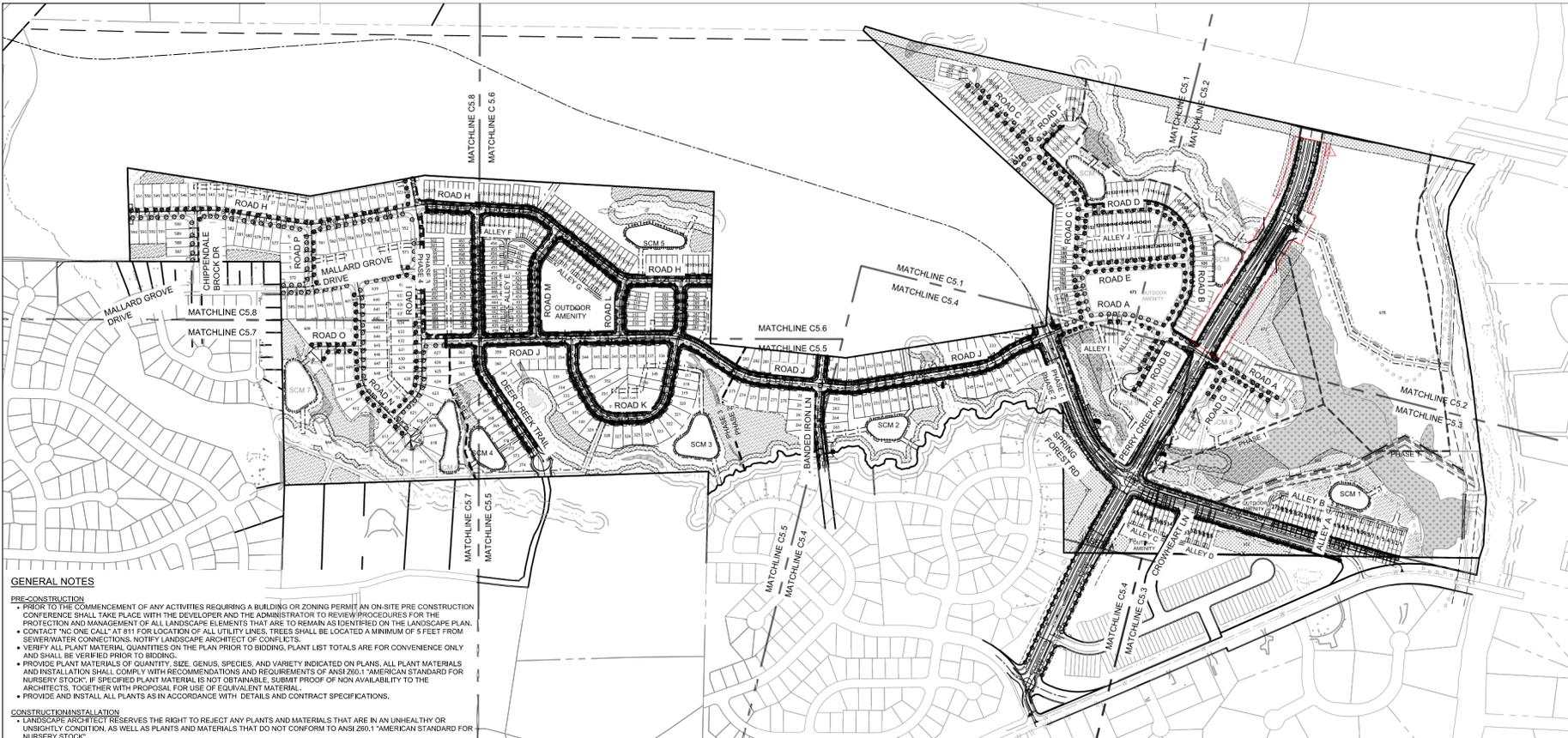
DESIGNED BY 333

CHECKED BY A. STONE

SCALE 1"=60'

THE DRAWING PREPARED AT THE RALEIGH OFFICE 500 S. TAYLOR ST., SUITE 1000, RALEIGH, NC 27607 TEL: 919.896.4921 FAX: 919.833.8124 WWW.TIMMONS.COM

PRELIMINARY - DO NOT USE FOR CONSTRUCTION



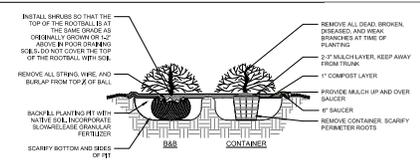
**GENERAL NOTES**

- PRE-CONSTRUCTION**
- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS THAT ARE TO REMAIN AS IDENTIFIED ON THE LANDSCAPE PLAN.
  - CONTACT THE CITY CALLER AT 811 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
  - VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
  - PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601.1 "AMERICAN STANDARD FOR NURSERY STOCK" IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ARCHITECTS, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
  - PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
- CONSTRUCTION/INSTALLATION**
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSUITABLE CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z601.1 "AMERICAN STANDARD FOR NURSERY STOCK".
  - LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
  - INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
  - CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

- INSPECTION/GUARANTEE**
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
  - ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL. ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
  - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
  - REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

ROAD	LENGTH	REQUIRED #	Provided #
ROAD A*	892	45	44
ROAD B*	1224	62	57
ROAD C*	1231	62	57
ROAD E	481	25	25
ROAD F*	322	17	13
ROAD G*	142	8	7
ROAD H	2527	127	128
ROAD I*	1042	53	51
ROAD J	2773	139	140
ROAD K*	1255	68	57
ROAD L*	193	10	9
ROAD M*	481	25	23
ROAD N	682	35	37
ROAD O	173	9	9
ROAD P	220	11	11
MALLARD GROVE DRIVE	519	26	27
BANDED IRON LN	368	19	19
CHIPPENDALE BROOK DR	200	10	10
CROWHEART LANE	195	10	10
PERRY CREEK ROAD	2684	135	133
SPRING FOREST ROAD	1660	85	87
DEER CREEK TRAIL*	1185	60	56
Total	20479	1036	1010

- REVISION LEGEND**
- △ PHASE LINE REVISION
  - △ LOT TYPE REVISION
  - △ SCB REMOVAL
  - △ ALLEY ADDITION
  - △ ALLEY REVISION
  - △ PERRY CREEK ROAD ADDITION
- \*ROADS WITH FRONT-LOADED TOWNHOMES WILL NOT MEET THE MINIMUM 40' O.C. STREET TREE SPACING DUE TO PROPOSED INFRASTRUCTURE. SEE SHEET CS 1 FOR TYPICAL FRONT-LOAD TOWNHOME STREET TREE PLACEMENT
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



**SHRUB DETAIL**  
NOT TO SCALE

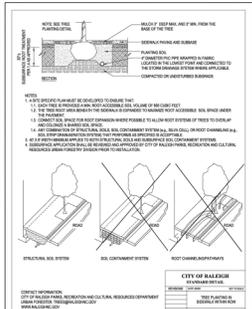
**STREET TREE SCHEDULE**

Symbol	Species	Caliper	Quantity
⊗	QUERCUS COCCINEA	SCARLET OAK	3" CALIPER 358
⊗	TILIA CORPATA	LINDEN	3" CALIPER 261
⊗	NYSSA SYLVATICA	BLACK GUM	3" CALIPER 220
⊗	ACER BURGERIANUM	TRIDENT MAPLE	3" CALIPER 115
⊗	LLEX OPACA	AMERICAN HOLLY	3" CALIPER 31
⊗	CARPINUS CAROLINIANA	MUSCLEWOOD	3" CALIPER 25
			TOTAL 1010

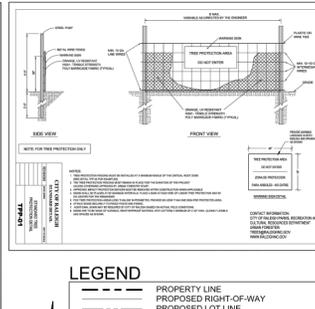
**POND BUFFER SCHEDULE**

Symbol	Species	Quantity
⊗	ILEX GLABRA	599
⊗	INK BERRY	599

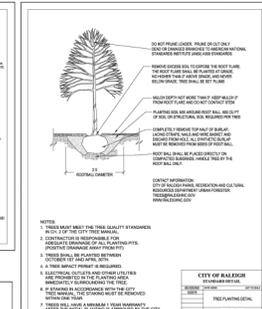
SCALE 1"=250'



- STRUCTURAL SOILS NOTE:**
- STREET TREES PLANTED BETWEEN TOWNHOME DRIVEWAYS WILL BE REQUIRED TO BE PLANTED WITH STRUCTURAL SOILS (FOR STANDARD DETAIL TTP-07) TO PROVIDE 600 CUBIC FT OF ROOT SPACE.
  - WHERE STRUCTURAL SOIL IS NOT REQUIRED UNDERNEATH SIDEWALK TO MEET THE 800 CUBIC FEET ROOT SPACE REQUIREMENT, PROVIDE A LARGE MATURING TREE SPECIES.
  - WHERE STRUCTURAL SOIL IS REQUIRED UNDERNEATH SIDEWALK TO MEET THE 800 CUBIC FEET ROOT SPACE REQUIREMENT, PROVIDE A MEDIUM MATURING TREE SPECIES.



- LEGEND**
- PROPERTY LINE
  - PROPOSED RIGHT-OF-WAY
  - PROPOSED LOT LINE
  - PERIMETER BUFFER
  - DRAINAGE EASEMENT
  - SANITARY SEWER EASEMENT
  - EXISTING WETLANDS
  - OPEN SPACE
  - PRIMARY TREE CONSERVATION AREA
  - SECONDARY TREE CONSERVATION AREA



- LEGEND**
- PROPERTY LINE
  - PROPOSED RIGHT-OF-WAY
  - PROPOSED LOT LINE
  - PERIMETER BUFFER
  - DRAINAGE EASEMENT
  - SANITARY SEWER EASEMENT
  - EXISTING WETLANDS
  - OPEN SPACE
  - PRIMARY TREE CONSERVATION AREA
  - SECONDARY TREE CONSERVATION AREA

**TIMMONS GROUP**

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TEL: 919.866.9341 FAX: 919.833.8124 www.timmons.com

THE DRAWING PREPARED AT THE  
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DATE	REVISION DESCRIPTION
07/23/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 03/09/2023  
DRAWN BY: 331  
DESIGNED BY: 331  
CHECKED BY: A. STONE  
SCALE: 1"=250'

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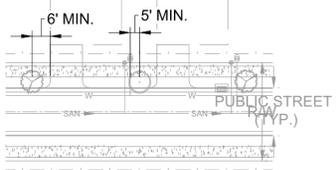
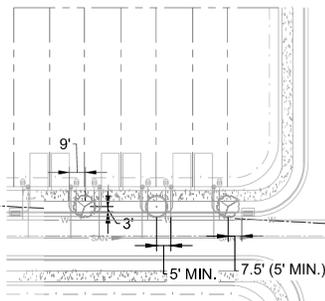
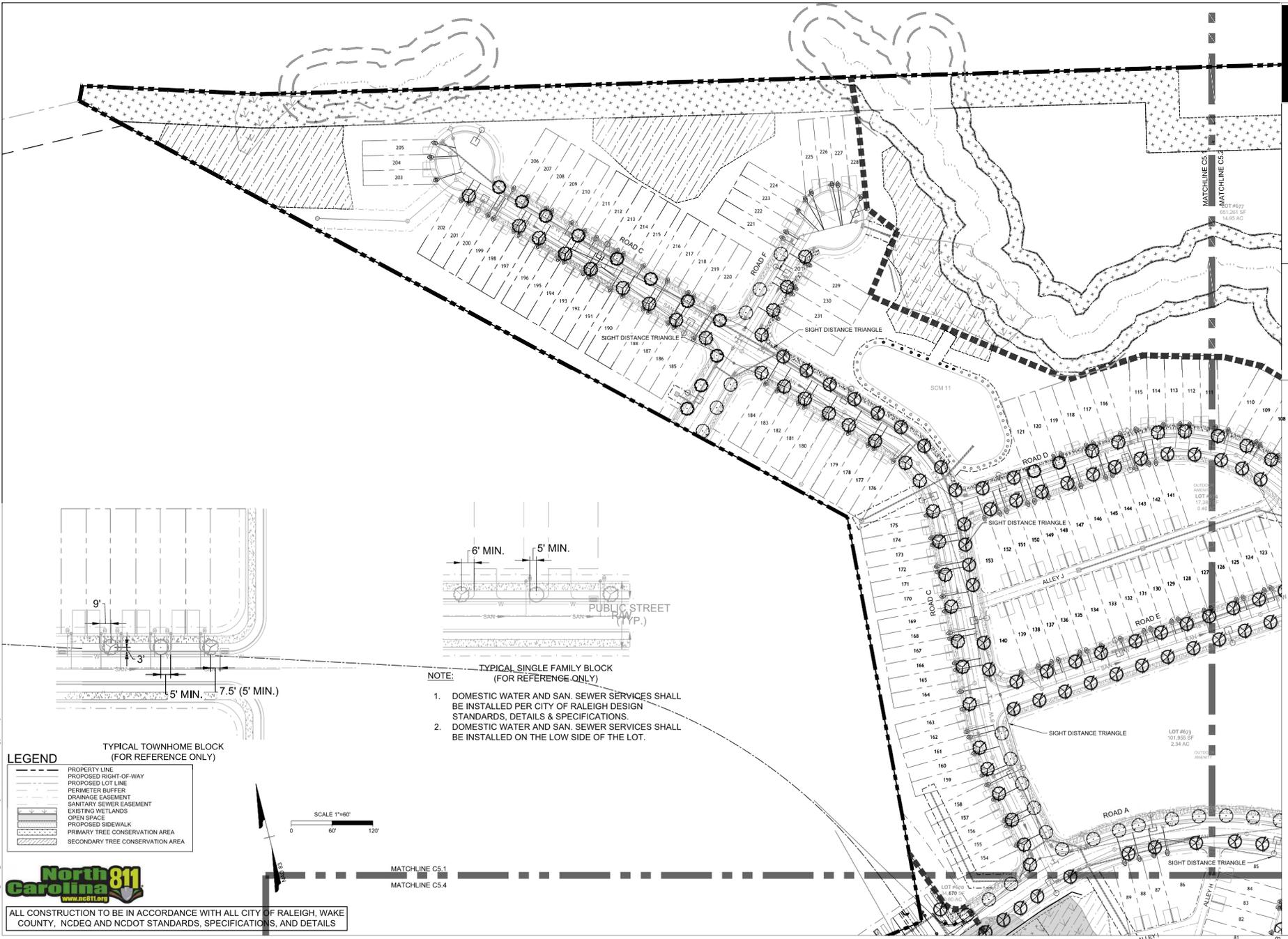
BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

JOB NO: 48038  
SHEET NO: C5.0

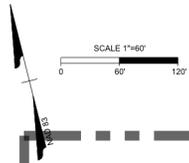


- NOTE: TYPICAL SINGLE FAMILY BLOCK (FOR REFERENCE ONLY)
1. DOMESTIC WATER AND SAN. SEWER SERVICES SHALL BE INSTALLED PER CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS.
  2. DOMESTIC WATER AND SAN. SEWER SERVICES SHALL BE INSTALLED ON THE LOW SIDE OF THE LOT.

**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	OPEN SPACE
	PROPOSED SIDEWALK
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

TYPICAL TOWNHOME BLOCK (FOR REFERENCE ONLY)



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

TIMMONS GROUP

BUFFALOEE RESERVE  
 WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 1 OF 8

JOB NO. 48038  
 SHEET NO. C5.1

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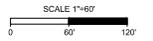
PRELIMINARY - DO NOT USE FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



**LEGEND**

- PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PERMETER BUFFER
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- OPEN SPACE
- PROPOSED SIDEWALK
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA



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**REVISION LEGEND**

- ▲ PHASE LINE REVISION
- ▲ LOT TYPE REVISION
- ▲ SOM REMOVAL
- ▲ ALLEY ADDITION
- ▲ ALLEY REVISION
- ▲ PERRY CREEK ROAD ADDITION

**TIMMONS GROUP**

4803 SHEET NO. C5.2

**BUFFALOEO RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 2 OF 8**

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REVISION DESCRIPTION: MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

DATE	REVISION DESCRIPTION
07/24/2023	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
03/09/2023	

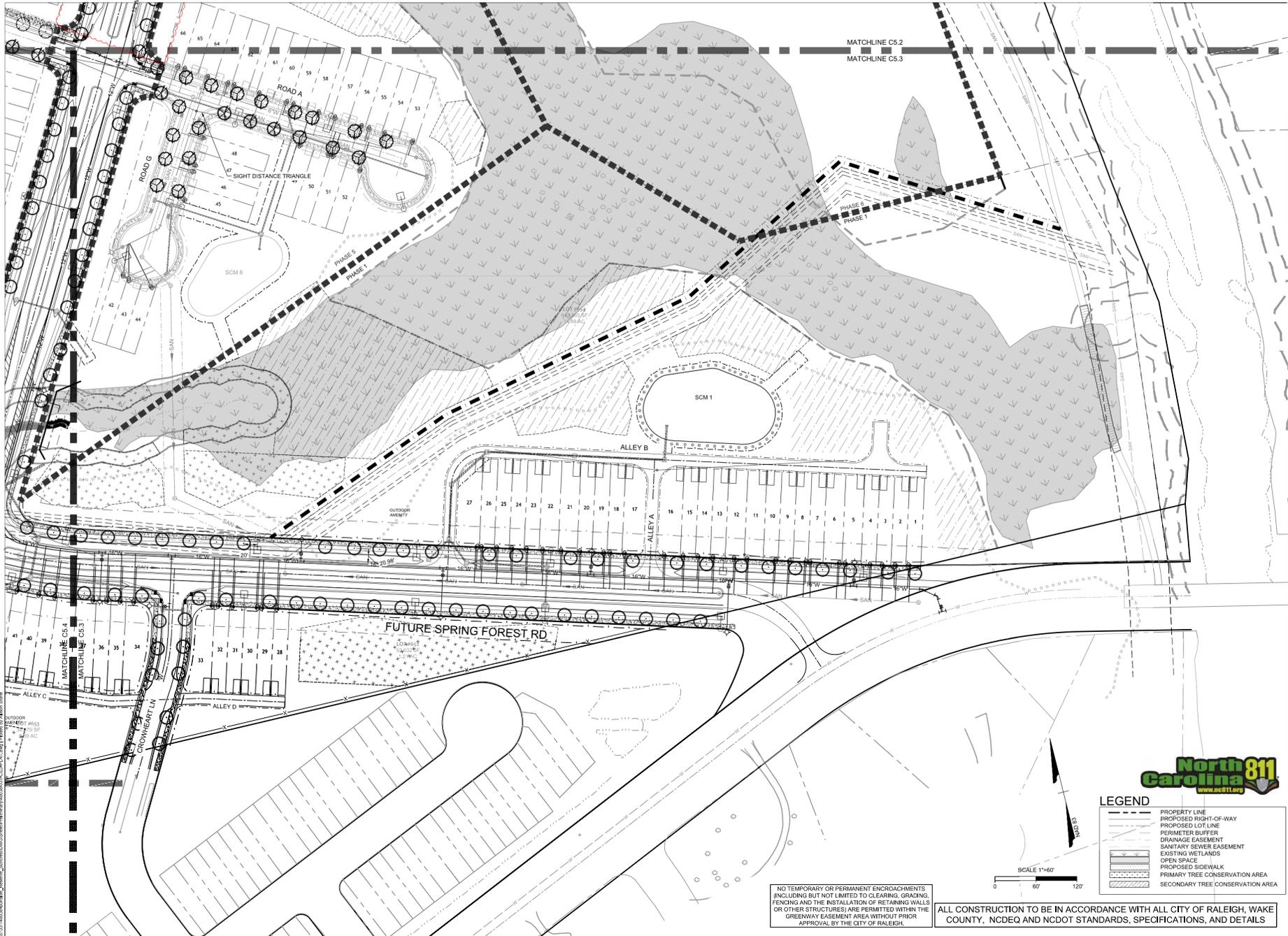
YOUR VISION ACHIEVED THROUGH OURS.

DATE: 03/09/2023  
DRAWN BY: 331  
DESIGNED BY: 331  
CHECKED BY: A. STONE  
SCALE: 1"=60'

JOB NO. 48038  
SHEET NO. C5.2

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LEGEND	
	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	OPEN SPACE
	PROPOSED SIDEWALK
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA



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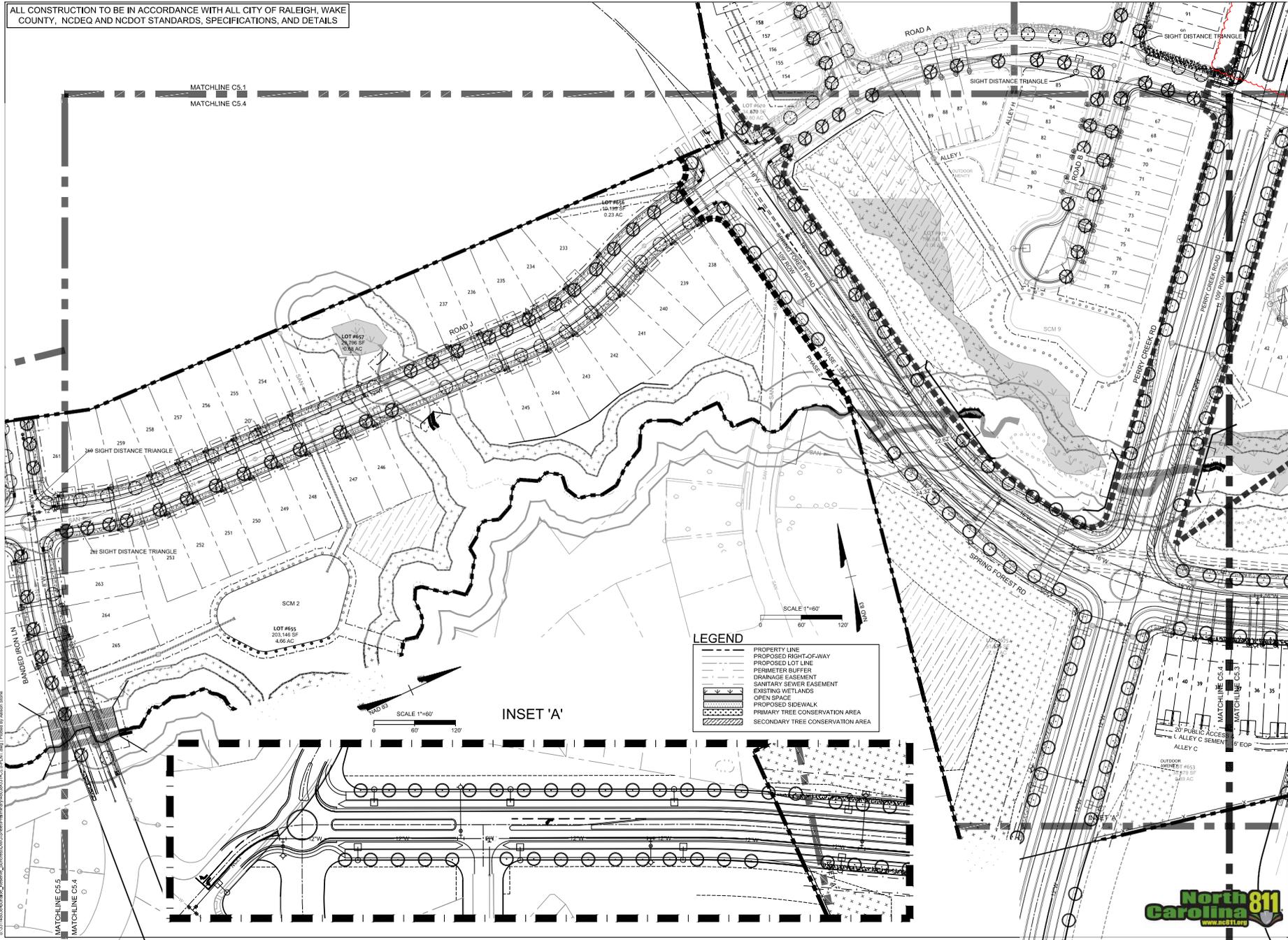
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DATE	07/24/2023	REVISION DESCRIPTION	ADDITION TO APPROVED PRELIMINARY SUBDIVISION PLAN
DATE	03/09/2023	DRAWN BY	331
		DESIGNED BY	331
		CHECKED BY	A. STONE
		SCALE	1"=60'
<p>48038          SHEET NO. C5.3</p>			

**BUFFALOE RESERVE**  
 WAKE COUNTY, NORTH CAROLINA  
**DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 3 OF 8**

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**BUFFALOEE RESERVE**  
 WAKE COUNTY, NORTH CAROLINA  
**DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 4 OF 8**

DATE	07/24/2023
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JOB NO.	48038
SHEET NO.	C5.4

PRELIMINARY - DO NOT USE FOR CONSTRUCTION



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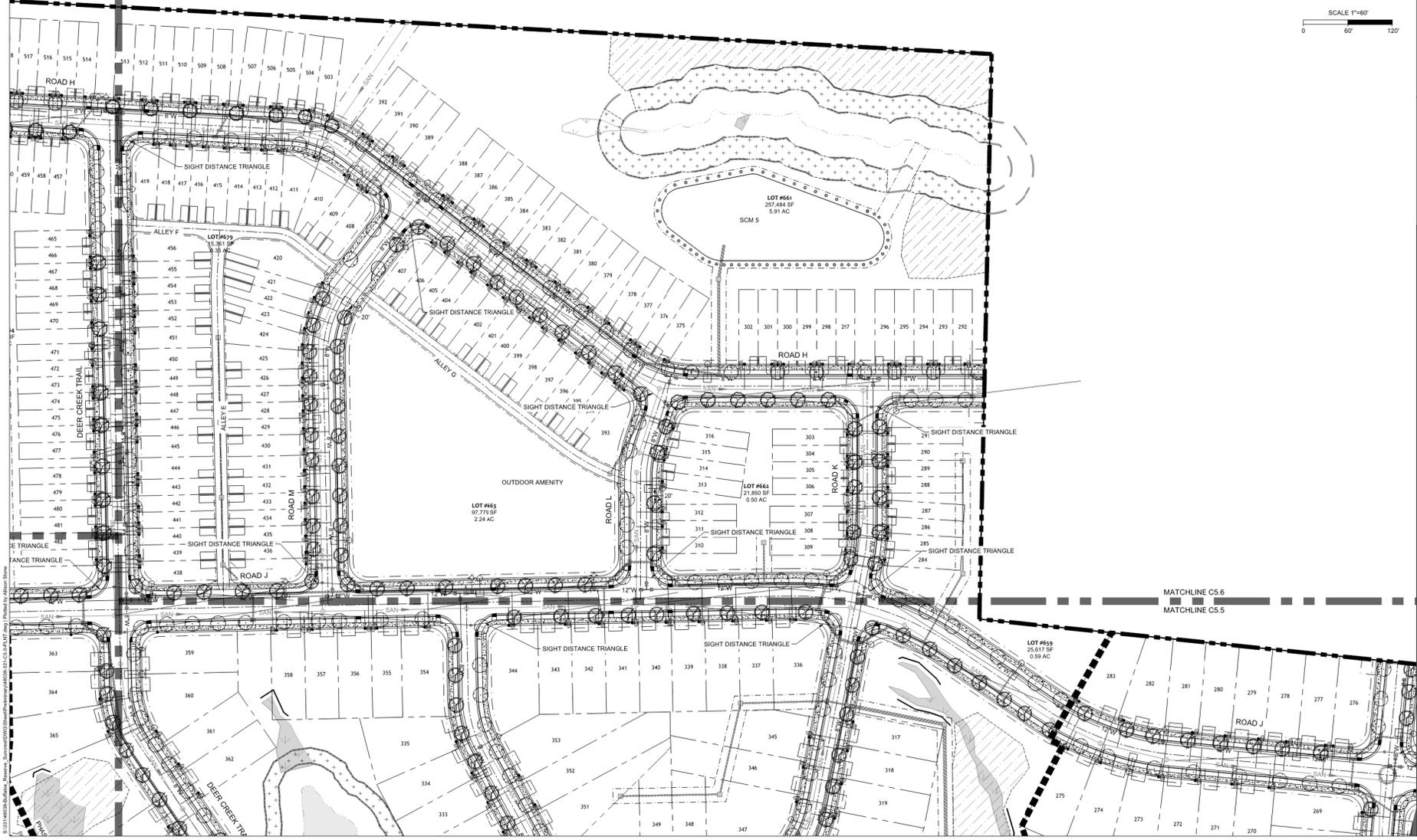


ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



**LEGEND**

- PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- - - PERIMETER BUFFER
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - EXISTING WETLANDS
- - - OPEN SPACE
- - - PROPOSED SIDEWALK
- - - PRIMARY TREE CONSERVATION AREA
- - - SECONDARY TREE CONSERVATION AREA



**TIMMONS GROUP**

BUFFALOEE RESERVE  
WAKE COUNTY, NORTH CAROLINA

DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 6 OF 8

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DATE	REVISION DESCRIPTION
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YOUR VISION ACHIEVED THROUGH OURS.	DATE	03/09/2023
	DRAWN BY	331
	DESIGNED BY	331
	CHECKED BY	A. STONE
	SCALE	1"=60'

JOB NO. 48038  
SHEET NO. C5.6

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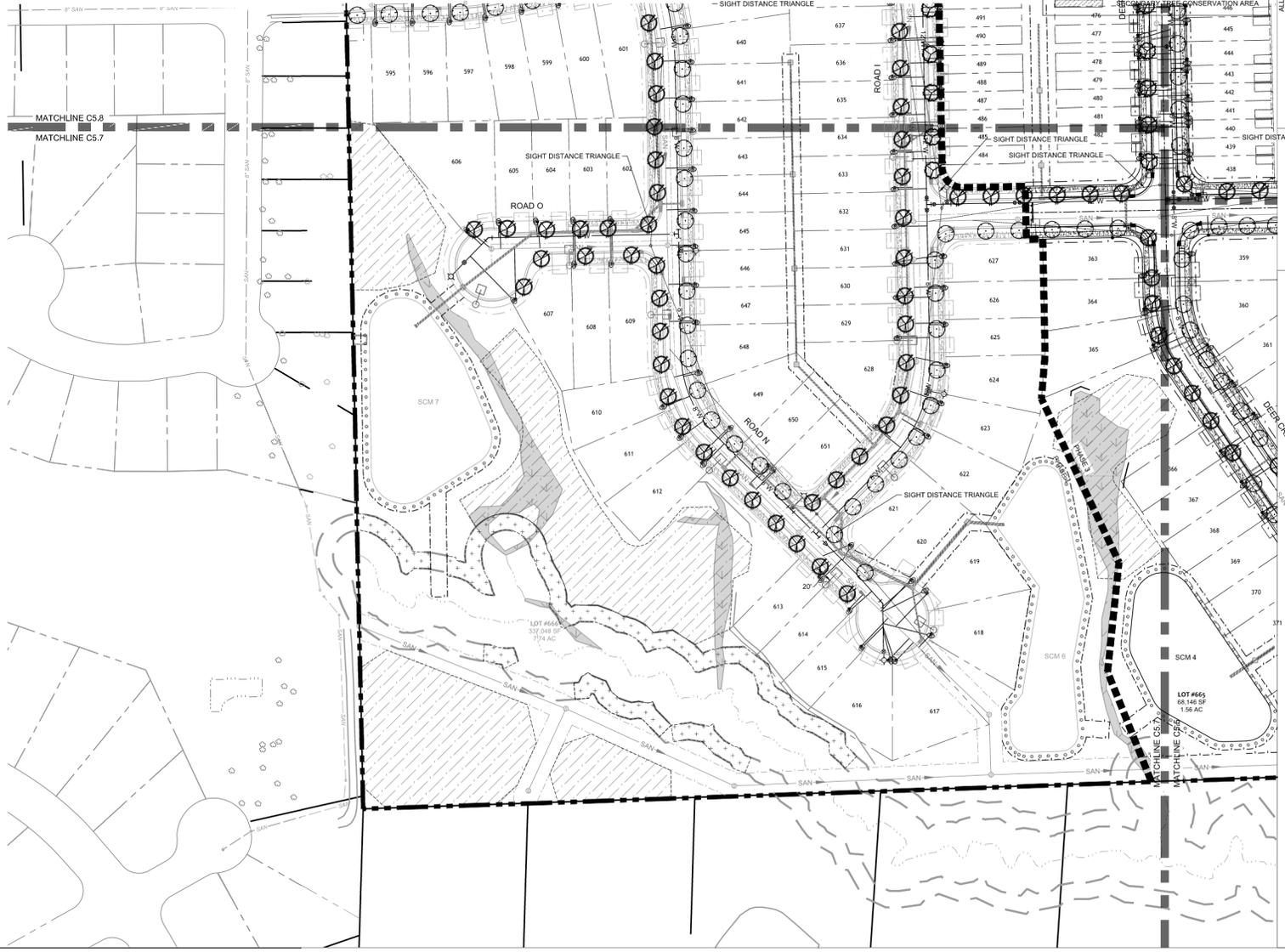
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



**LEGEND**

- PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - PERIMETER BUFFER
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - EXISTING WETLANDS
- - - OPEN SPACE
- - - PROPOSED SIDEWALK
- - - PRIMARY TREE CONSERVATION AREA
- - - DEER CREEK TRAIL CONSERVATION AREA

SCALE 1"=60'



THE DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
6401 FAYETTEVILLE ROAD, SUITE 200  
RALEIGH, NC 27607  
TEL 919.856.4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION  
DATE  
07/24/2023 MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN

YOUR VISION ACHIEVED THROUGH OURS

DATE  
03/09/2023

DRAWN BY  
331

DESIGNED BY  
331

CHECKED BY  
A. STONE

SCALE  
1"=60'

**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA  
**DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 7 OF 8**

JOB NO.  
**48038**

SHEET NO.  
**C5.7**

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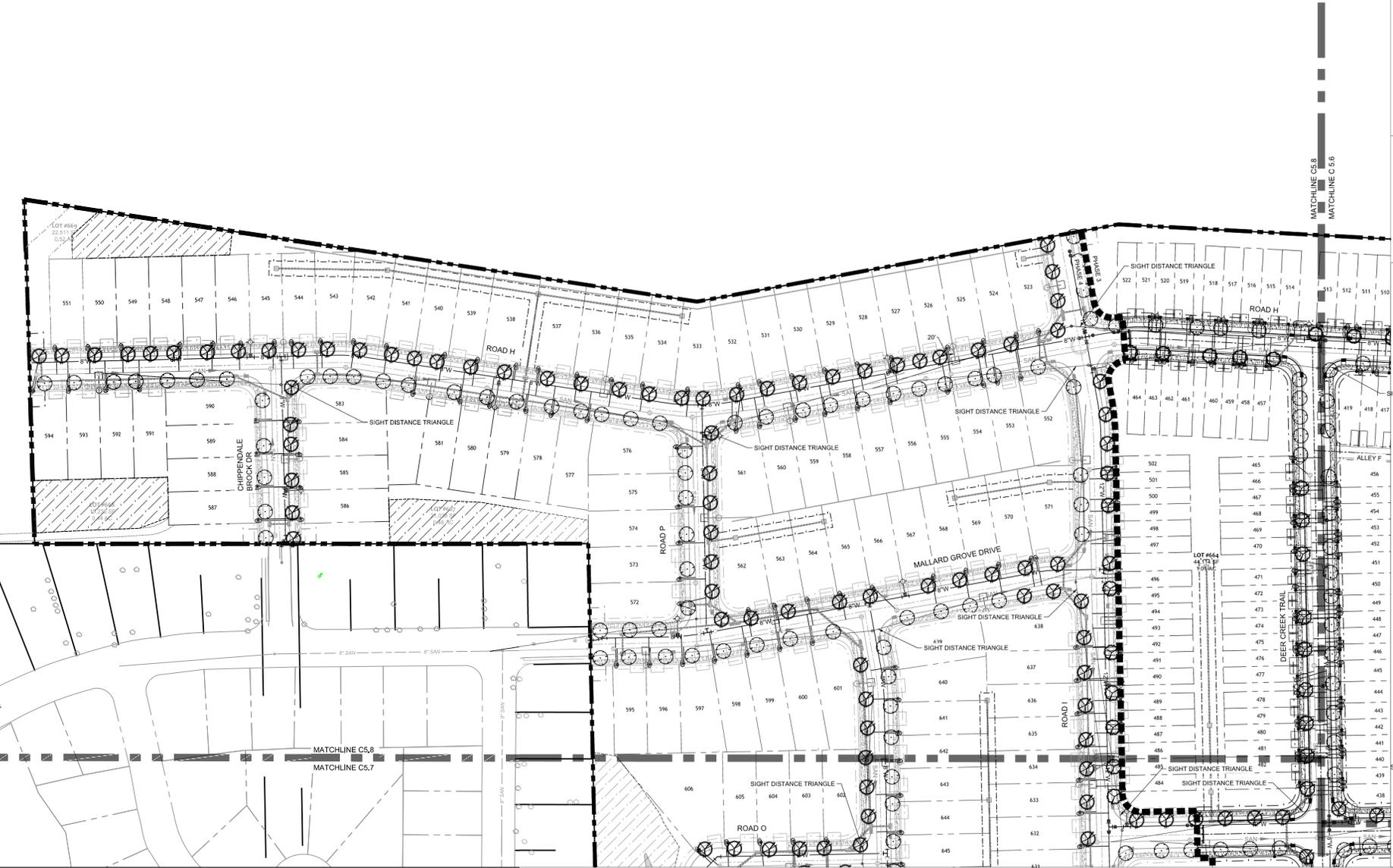
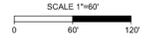
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**LEGEND**

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERIMETER BUFFER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	OPEN SPACE
	PROPOSED SIDEWALK
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA



**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA

**DETAILED PRELIMINARY LANDSCAPING PLAN - SHEET 8 OF 8**

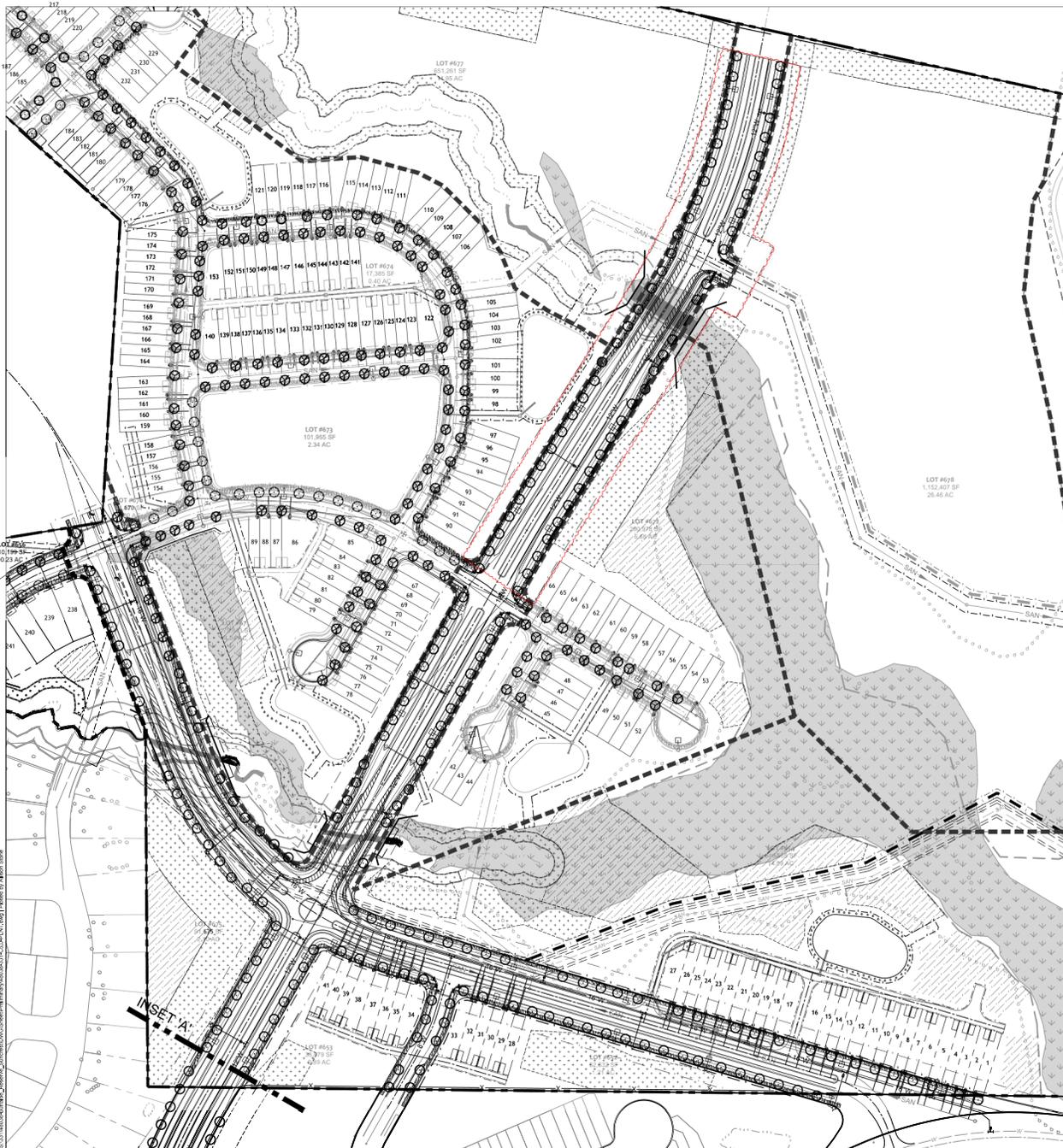
DATE	07/24/2023
REVISION DESCRIPTION	MODIFICATION TO APPROVED PRELIMINARY SUBDIVISION PLAN
DATE	03/09/2023
DESIGNED BY	331
CHECKED BY	A. STONE
SCALE	1"=60'

JOB NO. 48038  
SHEET NO. C5.8

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
640 F. Smith, Raleigh, NC 27607  
TEL 919.896.4921 FAX 919.833.8124 www.timmons.com

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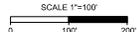


ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



**LEGEND**

- PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PERIMETER BUFFER
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- OPEN SPACE
- PROPOSED SIDEWALK
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA



**STREETSCAPE AREA - 1**

TREES	SYMB QUANT	SCIENTIFIC NAME	COMMON NAME	CAL	HEIGHT	SPREAD	NOTES
100	100	ACER BURGERIANUM	TREBENT MAPLE	3"	10-12'	6'-6"	SINGLE LEADER - FALL
63	63	QUERCUS COCCINEA	SCARLET OAK	3"	10-12'	6'-6"	SINGLE LEADER - FALL

**FUTURE PERRY CREEK ROAD TREE PLANTING**  
AREA 1  
2680' LENGTH

- REQUIRED STREET TREE PLANTING**
- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 40 FEET ON CENTER
  - PROVISIONS MADE FOR SITE TRIANGLES
  - TREE TO BE 3" CAL 10-12' HT MINIMUM
  - 2680' / 40' OC = 67 TREES PER SIDE (135 TOTAL)
- PROVIDED BUFFER PLANTING**
- TREES PLANTED A 40' OC
  - 172 TREES PROVIDED

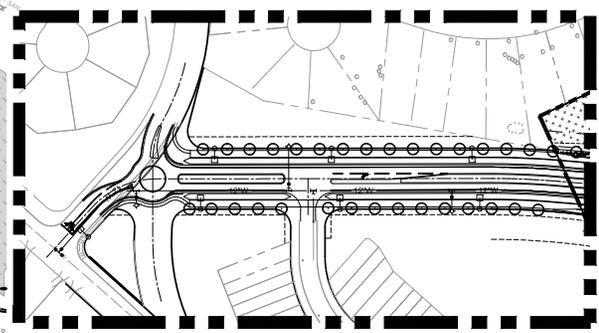
**STREETSCAPE AREA - 2**

TREES	SYMB QUANT	SCIENTIFIC NAME	COMMON NAME	CAL	HEIGHT	SPREAD	NOTES
40	40	ACER BURGERIANUM	TREBENT MAPLE	3"	10-12'	6'-6"	SINGLE LEADER - FALL
45	45	QUERCUS COCCINEA	SCARLET OAK	3"	10-12'	6'-6"	SINGLE LEADER - FALL

**FUTURE SPRING FOREST ROAD TREE PLANTING**  
AREA 2  
1680' LENGTH

- REQUIRED STREET TREE PLANTING**
- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 40 FEET ON CENTER
  - PROVISIONS MADE FOR SITE TRIANGLES
  - TREE TO BE 3" CAL 10-12' HT MINIMUM
  - 1680' / 40' OC = 42 TREES PER SIDE (85 TOTAL)
- PROVIDED BUFFER PLANTING**
- TREES PLANTED A 40' OC
  - 85 TREES PROVIDED

INSET 'A'



DATE	07/23/2023	REVISION DESCRIPTION	ADDITIONAL TO APPROVED PRELIMINARY SUBDIVISION PLAN
DATE	03/09/2023	YOUR VISION ACHIEVED THROUGH OURS.	
DRAWN BY	331		
DESIGNED BY	331		
CHECKED BY	A. STONE		
SCALE	1" = 100'		

**TIMMONS GROUP**

**BUFFALOEE RESERVE**  
WAKE COUNTY, NORTH CAROLINA  
NCDOT PLANTING PLAN

JOB NO. 48038  
SHEET NO. C5.9

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