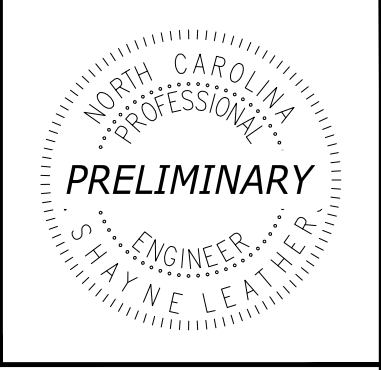




P200478_HUNTING RIDGE



VICINITY MAP
SCALE: NTS

SUB-0010-2021 1408 HUNTING RIDGE ROAD

PRELIMINARY SUBDIVISION SUBMITTAL: 02.08.21
SUBMITTAL 2: 03.18.21

1408 HUNTING RIDGE ROAD
RALEIGH, NC 27615
WAKE COUNTY

SITE DATA	
OWNER	SOLID ROCK CONSTRUCTION OF NC, INC
ADDRESS	1408 HUNTING RIDGE ROAD RALEIGH, NC 27615
PIN	1717-35-3854
OVERLAY	N/A
EXISTING USE	DETACHED SINGLE FAMILY DWELLING
PROPOSED USE	DETACHED SINGLE FAMILY DWELLINGS
ZONING	R-4
WATERSHED	PERRY
WATERSHED WATER SUPPLY	N/A
RIVER BASIN	NEUSE RIVER BASIN
FEMA MAP	MAP#372017100J DATE 05/02/2006
GROSS EXISTING TRACT AREA	0.57 AC. (24,984 SF)
ROW DEDICATION	.006 AC. (274 SF)
PROVIDED AREA LOT 32	0.28 AC. (12,333 SF)
PROVIDED AREA LOT 33	0.29 AC. (12,377 SF)
DEVELOPMENT TYPE - PRELIMINARY SUBDIVISION	
PROPOSED USE	DETACHED SINGLE FAMILY DWELLINGS
DENSITY	3.5 UNITS / AC. (MAX.)
UNITS ALLOWED	2 UNITS (MAX.)
UNITS PROVIDED	2 UNITS
PARKING	
PARKING CALCS.	2 SPACE / UNIT
PARKING REQUIRED	4 SPACES
PARKING PROVIDED	4 SPACES
ADA PARKING CALCS.	N/A
ADA PARKING REQUIRED	N/A
ADA PARKING PROVIDED	N/A

SETBACKS	22.1 A MIN.	PROVIDED
PRIMARY STREET	20'	20'
SIDE STREET	15'	15'
SIDE LOT LINE	10'	10'
REAR LOT LINE	30'	30'
SUM OF SIDE SETBACKS	20'	20'

LOT DIMENSIONS	22.1 A MIN.	PROVIDED
LOT 32		
WIDTH	80'	80.2'
DEPTH	100'	155'
AREA	10,000 SF	12,333 SF
LOT 33		
WIDTH	65'	81.1'
DEPTH	100'	155'
AREA	10,000 SF	12,377 SF

IMPERVIOUS AREA	
LOT 32	
TOTAL AREA	0.28 AC. (12,333 SF)
EXISTING IMPERVIOUS	0.04 AC. (1,777 SF)
PROPOSED IMPERVIOUS	0.11 AC. (4,887 SF) (38%)
ROW IMPROVEMENTS IMPERVIOUS	0.015 AC. (646 SF)
PROPOSED NET MAX. LOT IMPERVIOUS	0.095 AC. (4,041 SF)
LOT 33	
TOTAL AREA	0.29 AC. (12,377 SF)
EXISTING IMPERVIOUS	0.05 AC. (2,266 SF)
PROPOSED IMPERVIOUS	0.11 AC. (4,703 SF) (38%)
ROW IMPROVEMENTS IMPERVIOUS	0.001 (40 SF)
PROPOSED NET MAX. LOT IMPERVIOUS	0.11 AC. (4,663 SF)

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER AND / OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 919.996.2409 AND THE PUBLIC UTILITIES DEPARTMENT AT 919.996.4540 AT LEAST 24 HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF THE BEGINNING OF CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

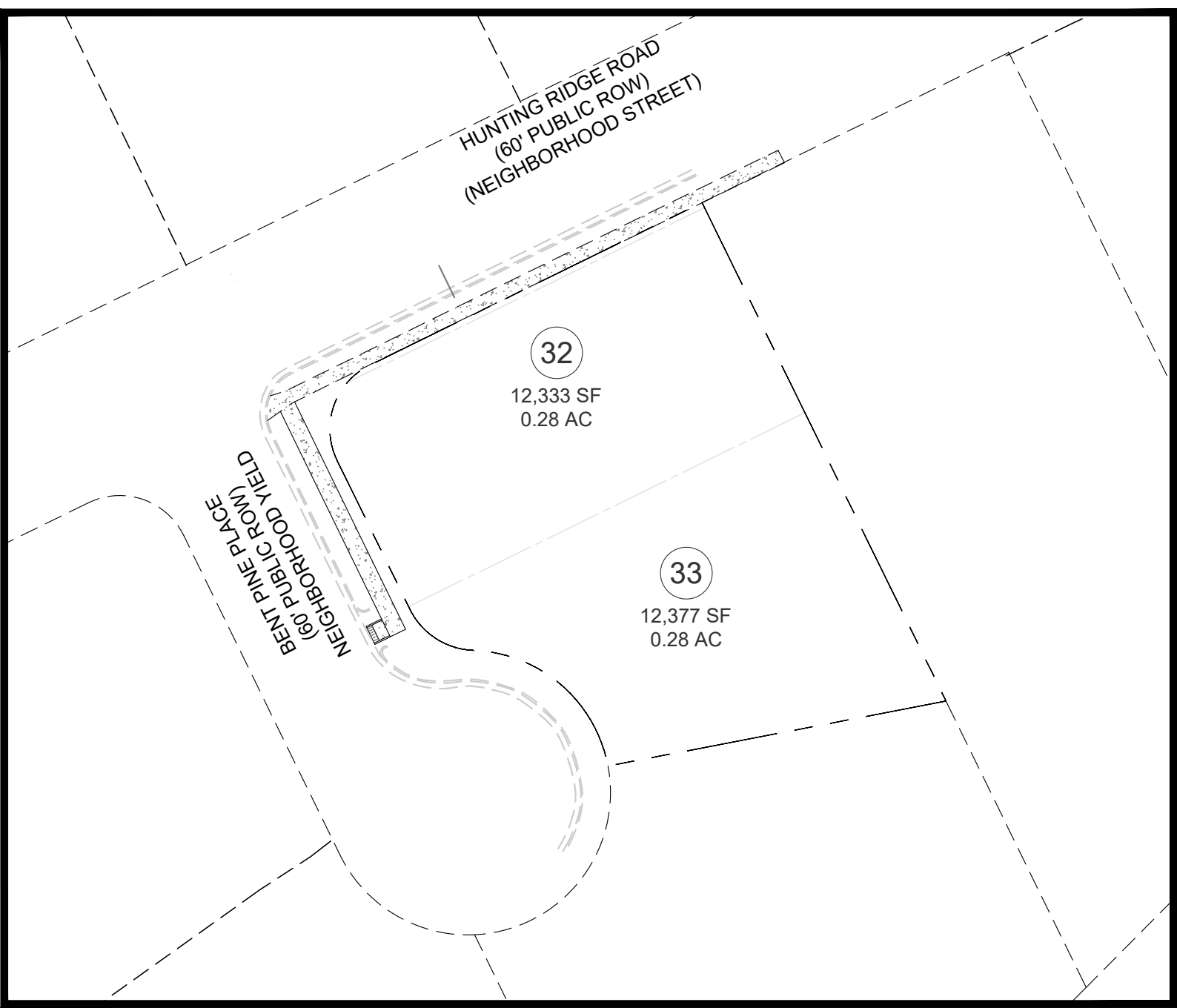
FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC SURVEY WAS PROVIDED BY BATEMAN CIVIL SURVEY COMPANY. CONTRACTOR TO CONFIRM ALL INFORMATION BEFORE CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
 - CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
 - ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH THE CITY OF RALEIGH ZONING AND SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR ADJUSTMENT.
 - LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
 - CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
 - CALL NORTH CAROLINA ONE CALL CENTER @ 1-800-635-4949 BEFORE DIGGING.
 - CITY OF RALEIGH WILL OFFER SOLID WASTE COLLECTION SERVICES.
 - SITE MUST BE STABILIZED AND SEEDED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 - IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO BUILDING PERMITS.
 - A FEE-IN-LIEU FOR 155 LF OF 1FT OF SIDEWALK ALONG HUNTING RIDGE ROAD WILL BE APPLIED.**

- TRAFFIC CONTROL & PEDESTRIAN (TCPED) NOTES:**
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH THE RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
 - A PERMIT REQUEST WITH TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
 - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
 - ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD)
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG)
 - AMERICAN DISABILITIES ACT (ADA) REQUIREMENTS
 - RALEIGH STREET DESIGN MANUAL (RSDM)
 - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND / OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBILITY DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SOLID WASTE COMPLIANCE STATEMENT:

- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.



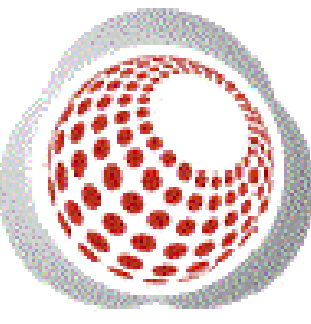
PROJECT PLAN
SCALE: 1" = 50'

OWNER:
SOLID ROCK CONSTRUCTION OF NC, INC
1426 WALL ROAD
WAKE FOREST, NC 27587

DEVELOPER:
SOLID ROCK CONSTRUCTION OF NC, INC
1426 WALL ROAD
WAKE FOREST, NC 27587

ENGINEER:
BATEMAN CIVIL SURVEY, PC.
S. SHAYNE LEATHERS, PE
2524 RELIANCE AVE.
APEX, NC 27539

Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Reliance Avenue, Apex, North Carolina 27539
Phone: 919.577.1080 Fax: 919.577.1081
NCBELS FIRM No. C-2378



SHEET LIST	
SHEET NUMBER	SHEET TITLE
C000	COVER
C100	EXISTING CONDITIONS
C200	SITE PLAN
C300	UTILITY PLAN
C400	UTILITY DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS

Preliminary Subdivision Application
Planning and Development
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2000



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
☐ Conventional Subdivision	☐ Compact Development	☐ Conservation Development	☐ Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): Hunting Ridge			
Property Address(es): 1408 Hunting Ridge Road, Raleigh, NC 27615			
Recorded Deed PIN(s): 1717-35-3854			
What is your project type?			
☒ Single family	☐ Townhouse	☐ Attached houses	☐ Other:
☐ Apartment	☐ Non-residential		
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION			
NOTE: Please attach purchase agreement when submitting this form			
Company: Solid Rock Construction of NC, INC Owner/Developer Name and Title: Ryan Blankenship/President			
Address: 1426 Wall Road, Wake Forest, NC 27587			
Phone #: 919-229-5142 Email: ryanb.sro@gmail.com			
APPLICANT INFORMATION			
Company: Solid Rock Construction of NC, INC Contact Name and Title: Ryan Blankenship/President			
Address: 1426 Wall Road, Wake Forest, NC 27587			
Phone #: 919-229-5142 Email: ryanb.sro@gmail.com			

Continue to page 2 >>

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raleighnc.gov

DEVELOPMENT TYPE • SITE DATA TABLE	
(Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 0.57 AC.	
Zoning districts (if more than one, provide acreage of each): R-4	
Overlay district: N/A	Inside City limits? ☒ Yes ☐ No
Conditional Use District (CUD) Case #: Z: N/A	Board of Adjustment (BOA) Case #: A: N/A
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.04 Square Feet: 4,198	Proposed Impervious Surface: Acres: 0.11 Square Feet: 4,887
Neuse River Buffer: ☒ Yes ☐ No	Wetlands: ☐ Yes ☒ No
Is this a flood hazard area? ☐ Yes ☒ No	
If yes, please provide the following:	
Alluvial soils:	
Flood study:	
FEMA Map Panel #:	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots:	2
Proposed density for each zoning district (UDO 1.5.2.F):	3.5 UNITS/ACRE
Total # of open space and/or common area lots: N/A	
Total # of requested lots: 2	

SIGNATURE BLOCK	
I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and substantial policy, which states applications will expire after six consecutive months of inactivity.	
Signature: _____ Date: 01/26/2021	
Printed Name: Ryan Blankenship/President	
Signature: _____ Date: _____	
Printed Name: _____	

Please email your completed application to SiteReview@raleighnc.gov.

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KNOW WHAT IS BELOW
CALL BEFORE YOU DIG

Date:	02.08.21
Project #:	P200478
SHEET	C000

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REV #	DATE	DESCRIPTION
1	03.15.2021	PER COR COMMENTS

PRELIMINARY

ENGINEER

SHAYNE LEATHERS

PLANNERS

ENGINEERS

BATEMAN CIVIL SURVEY COMPANY

2524 Reliance Avenue, Apex, North Carolina 27539

Phone: 919.577.1080 Fax: 919.577.1081

NCBELS FIRM No. C-2378

HUNTING RIDGE

1408 HUNTING RIDGE ROAD

RALEIGH, NC 27615

WAKE COUNTY

SITE PLAN

Project Engineer: SSL

Designed By: TEP

Drawn By: SLS

Checked By: TEP

Scale: AS SHOWN

Date: 02.08.21

Project #: P200478

SHEET

C200