



Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
Conventional Subdivision	Compact Development	<input checked="" type="checkbox"/> Conservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): Everlee Subdivision			
Property Address(es): 2932, 2933, 3013, 3029, & 3033 Watkins Town Road; 1505 Old Watkins Road; and 0 Old Milburnie Road			
Recorded Deed PIN(s): 1746894942, 1747709196, 1747701824, 1747711222, 1747702102, 1746798664, 1747804539			
What is your project type?	<input checked="" type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses <input type="checkbox"/> Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Lennar Corporation	Owner/Developer Name and Title: Tucker Ennis, Land Entitlements Manager
Address: 1100 Perimeter Park Drive, Suite 112, Morrisville, NC 27560	
Phone #: 919-960-7674	Email: tucker.ennis@lennar.com
APPLICANT INFORMATION	
Company: BGE, INC	Contact Name and Title: Charles Townsend, PE, Project Manager
Address: 5440 Wade Park Boulevard, Suite 102, Raleigh, NC 27607	
Phone #: 919-276-0111	Email: ctownsend@bgeinc.com

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 101.15

Zoning districts (if more than one, provide acreage of each): R-6-CU

Overlay district: N/A

Inside City limits? Yes No

Conditional Use District (CUD) Case # Z- 28-21

Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface:

Acres: 0.44 Square Feet: 19,166

Proposed Impervious Surface:

Acres: 32.58 Square Feet: 1,419,184

Neuse River Buffer Yes NoWetlands Yes NoIs this a flood hazard area? Yes No

If yes, please provide the following:

Alluvial soils: _____

Flood study: _____

FEMA Map Panel #: 3720174700J dated May 2, 2006 & #3720174600J dated May 2, 2006

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: Detached Attached 89

Total # of single-family lots: 171

Proposed density for each zoning district (UDO 1.5.2.F): 2.57 du/ac

Total # of open space and/or common area lots: 6

Total # of requested lots: 266

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Charles Townsend, PE will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Tucker Ennis

Date: 2/9/2022

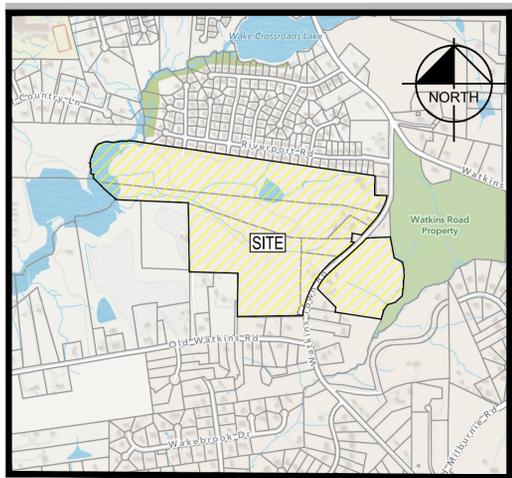
Printed Name: Tucker Ennis

Signature: Charles Townsend

Date: 2/9/2022

Printed Name: Charles Townsend

Please email your completed application to SiteReview@raleighnc.gov.



PRELIMINARY SUBDIVISION PLANS

EVERLEE SUBDIVISION

WATKINS TOWN ROAD

RALEIGH, NORTH CAROLINA 27604

SUB-0010-2022
ZONING CASE NO: Z-28-21

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0-0	COVER SHEET
C0-1	GENERAL NOTES
C1-0	EXISTING CONDITIONS (1 OF 3)
C1-1	EXISTING CONDITIONS (2 OF 3)
C1-2	EXISTING CONDITIONS (3 OF 3)
C1-3	DEMOLITION PLAN
C3-0	OVERALL SITE PLAN
C3-1	ENLARGED SITE PLAN (1 OF 5)
C3-2	ENLARGED SITE PLAN (2 OF 5)
C3-3	ENLARGED SITE PLAN (3 OF 5)
C3-4	ENLARGED SITE PLAN (4 OF 5)
C3-5	ENLARGED SITE PLAN (5 OF 5)
C3-6	SUBDIVISION PHASED CONSTRUCTION PLAN
C3-7	HOSE LENGTH EXHIBIT
C3-8	SITE DETAILS (1 OF 2)
C3-9	SITE DETAILS (2 OF 2)
C4-0	OVERALL GRADING PLAN
C4-1	GRADING PLAN (1 OF 5)
C4-2	GRADING PLAN (2 OF 5)
C4-3	GRADING PLAN (3 OF 5)
C4-4	GRADING PLAN (4 OF 5)
C4-5	GRADING PLAN (5 OF 5)
C5-0	SCM 1 PLAN & PROFILE
C5-1	SCM 2 PLAN & PROFILE (1 OF 2)
C5-2	SCM 2 PLAN & PROFILE (2 OF 2)
C5-3	SCM 3 PLAN & PROFILE
C5-4	SCM 4 PLAN & PROFILE
C5-5	SCM 5 PLAN & PROFILE
C5-6	SCM 6 PLAN & PROFILE
C7-0	MASTER WATER PLAN
C7-1	MASTER SEWER PLAN
C8-0	OVERALL UTILITY PLAN
C8-1	UTILITY PLAN (1 OF 5)
C8-2	UTILITY PLAN (2 OF 5)
C8-3	UTILITY PLAN (3 OF 5)
C8-4	UTILITY PLAN (4 OF 5)
C8-5	UTILITY PLAN (5 OF 5)
C9-0	OPEN SPACE PLAN
L1-0	OVERALL LANDSCAPE PLAN
L1-1	LANDSCAPE PLAN (1 OF 5)
L1-2	LANDSCAPE PLAN (2 OF 5)
L1-3	LANDSCAPE PLAN (3 OF 5)
L1-4	LANDSCAPE PLAN (4 OF 5)
L1-5	LANDSCAPE PLAN (5 OF 5)
L2-0	SCM LANDSCAPE PLAN (1 OF 4)
L2-1	SCM LANDSCAPE PLAN (2 OF 4)
L2-2	SCM LANDSCAPE PLAN (3 OF 4)
L2-3	SCM LANDSCAPE PLAN (4 OF 4)
L3-0	LANDSCAPE DETAILS
L3-1	LANDSCAPE DETAILS
L4-0	TREE CONSERVATION AREA PLAN
1 THROUGH X-20	OFFSITE ROADWAY IMPROVEMENTS

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Conventional Subdivision	<input type="checkbox"/>
Compact Development	<input checked="" type="checkbox"/>
Conservation Development	<input type="checkbox"/>
Cottage Court	<input type="checkbox"/>

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

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Development name (subject to approval):	Everlee Subdivision
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What is your project type?	<input checked="" type="checkbox"/> Single family <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other: <input type="checkbox"/> Attached houses

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Company:	Lennar Corporation
Owner/Developer Name and Title:	Tucker Ennis, Land Entitlements Manager
Address:	1100 Perimeter Park Drive, Suite 112, Morrisville, NC 27560
Phone #:	919-960-7674
Email:	tucker.ennis@lennar.com

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Company:	BGE, INC
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Address:	5440 Wade Park Blvd, Suite 102, Raleigh, NC 27607
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Email:	ctownsend@bgeinc.com

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Proposed Impervious Surface:	Acres: 32.58 Square Feet: 1,419,194
Neuse River Buffer:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Wetlands:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a flood hazard area?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, please provide the following:	
Alluvial soils:	
Flood study:	
FEMA Map Panel #:	37201747001 dated May 2, 2006 & #37201746001 dated May 2, 2006

NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached 99
Total # of single-family lots:	171
Proposed density for each zoning district (UDO 1.5.2.F):	2.57 du/ac
Total # of open space and/or common area lots:	0
Total # of requested lots:	266

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the conditions and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
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I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states that applications will expire after 180 days of inactivity.	
Signature: <i>Tucker Ennis</i>	Date: 2/9/2022
Printed Name: TUCKER ENNIS	
Signature: <i>Charles Townsend</i>	Date: 2/9/2022
Printed Name: Charles Townsend	

Please email your completed application to SiteReview@raleighnc.gov.

Page 1 of 2

Page 2 of 2

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED BY BASS, NIXON AND KENNEDY INC., RALEIGH, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH, 2021, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN JUNE, 2021.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOUSING, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2509 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT THE TIME OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT, WHEN DESIGNING THE SITE. THE DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN THE RALEIGH STREET DESIGN MANUAL ARTICLE 9.5.5 AND SECTION 4.6.1.
- THE WATKINS FAMILY CEMETERY (31042459) IS IMMEDIATELY ADJACENT TO THE PROJECT AREA. CEMETERIES ARE PROTECTED UNDER NORTH CAROLINA GENERAL STATUTES CHAPTER 14-148 AND 14-149, AND CEMETERIES AND BURIALS ARE AFFORDED CONSIDERATION UNDER CHAPTER 65 AND 70. A GROUND-PENETRATING RADAR (GPR) SURVEY OF THE CEMETERY IDENTIFIED 71 PROBABLE GRAVE MARKERS INCLUDING 20 THAT LACK MARKERS. THE N.C. DEPARTMENT OF NATURAL AND CULTURAL RESOURCES (STATE PRESERVATION OFFICE) AGREED WITH THE DELINEATION OF THE CEMETERY AND RECOMMENDED A 10-METER BUFFER. THE CEMETERY, INCLUSIVE OF THE RECOMMENDED 10-METER BUFFER, WILL BE MAPPED BY A LICENSED SURVEYOR AND RESULT PLAT FILED WITH WAKE COUNTY.

CONSULTANT INFORMATION		
DEVELOPER:	ENGINEER:	SURVEYOR:
LENNAR CORPORATION 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE, NC 27560 (919) 236-3052	BGE, INC 5440 WADE PARK BLVD, SUITE 102 RALEIGH, NC 27607 (919) 276-0111	JOHNSON, MIRMIRAN & THOMPSON, INC. 9201 ARBORETUM PARKWAY, SUITE 310 RICHMOND, VA 23236 (804) 655-4818
CONTACT: TUCKER ENNIS, P.E.	CONTACT: JAVIER D. JARAMILLO, P.E.	CONTACT: MICHAEL ZMUDA, L.S., P.E.

SOLID WASTE INSPECTION STATEMENT	
1.	SOLID WASTE SERVICES ARE TO BE PROVIDED BY CITY OF RALEIGH FOR ALL UNITS.
2.	CARTS THAT ARE NOT STORED WITHIN THE GARAGE BEFORE AND AFTER SCHEDULED COLLECTION MAY BE ISSUED A NOTICE OF VIOLATION FOR THE FIRST OFFENSE AND A \$100 ADMINISTRATION FEE FOR SUBSEQUENT VIOLATIONS WITHIN A TWELVE MONTH PERIOD.
3.	ROLL OUT CARTS TO BE LOCATED ON DRIVEWAY APPROX WHEN POSITIONED FOR THE COLLECTION.

SOLID WASTE COMPLIANCE STATEMENT	
1.	DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

FIRE DEPARTMENT NOTES	
1.	ALL PORTIONS OF THE BUILDINGS MUST BE WITHIN 150 FEET OF THE APPARATUS ACCESS ROAD SURFACE (503.1.1 NCF); 200 FEET WITH A 1.5R SPRINKLER SYSTEM, 250 FEET WITH A 1.5 SYSTEM.
2.	FIRE HYDRANTS (RESIDENTIAL SUBDIVISIONS) SHALL BE LOCATED WITHIN 600 FEET ALONG NAMED ROADS AND AT EVERY STREET INTERSECTION.
3.	FIRE FLOW ANALYSIS MUST BE PERFORMED & SEALED BY A N.C. REGISTERED PROFESSIONAL ENGINEER.
4.	ALL PROPOSED PUBLIC FIRE HYDRANTS WILL BE IN ACCORDANCE TO CITY OF RALEIGH STANDARD DETAIL W-5.

PHASING NOTE

THE SUBDIVISION WILL BE REVIEWED, APPROVED AND PERMITTED FOR THE ENTIRETY OF THE SUBDIVISION AS ONE PROJECT. PHASED PLATTING IS NOT PROPOSED FOR THE SUBDIVISION, HOWEVER, THE DEVELOPER WILL PURSUE PHASED CONSTRUCTION OF NEW HOMES.

GIS STREET NAMES

APPROVED 6-8-2022

1. VASEY OAK DRIVE
2. GRAY ALDER LANE
3. GOLDEN ASH WAY
4. CEDAR ELM LANE
5. HICKORY FIELD DRIVE
6. BLUEJACK LANE
7. LAUREL POND WAY
8. YELLOW BEECH

PRIMARY STREET DESIGNATIONS

PER UDO TC-5A-18 & UDO SEC. 1.5.4.C, THE PRIMARY STREET DESIGNATIONS SHALL BE THE FOLLOWING:

LOTS 8.16 - GRAY ALDER LANE
LOT 27 - SANDY BLUFF ROAD
LOTS 33, 49, 53, & 224 - LAUREL POND WAY
LOTS 58, 68, 73, 74 - YELLOW BEECH DRIVE
LOTS 85, 96, 97, 105, 106, 207 - GOLDEN ASH WAY
LOTS 195, 203 - BLUE JACK LANE
LOTS 137, 170, 181 - CEDAR ELM LANE

PERMITS REQUIRED

1. 401/404 PERMITS FOR WETLANDS IMPACT
2. NCDOT UTILITY ENCROACHMENT
3. NCDOT DRIVEWAY PERMIT

NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

PROPERTY OWNER CONTACT INFORMATION

PERRY, CYNTHIA S TRUSTEE (35 ACRE TRACT) CINDY PERRY PHONE: 919-413-5254 EMAIL: BENANDCINDY@BELLSOUTH.NET	DUKE, ROBERT MANTLE / DUKE, RONALD EDWARD / DUKE, ROGER HENDERSON (3.34 ACRES) BOB DUKE PHONE: 919-614-5081 EMAIL: BDUKE57@GMAIL.COM
ZEIGLER, DONALD LAWRENCE / MURRAY, JAMES EDWARD / MURRAY, KEITH EARL (19.1 ACRES) DON ZEIGLER PHONE: 919-218-3235	RONALD DUKE EMAIL: RONDUKE@GMAIL.COM
ZEIGLER, DONALD L (1.69 ACRES) DON ZEIGLER PHONE: 919-218-3235	WATKINS, HILDA W (2.5 ACRES) HILDA WATKINS PHONE: 984-365-7025
BROTHER SEVENTEEN LLC (17.57 ACRES) BOB DUKE (MANAGING MEMBER) PHONE: 919-614-5081 EMAIL: BDUKE57@GMAIL.COM	

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction will result in the issuance of monetary fines and require reconstruction of any water or sewer facilities not inspected as a result of this notification failure.

Failure to notify for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



DESIGNED BY:	TW/AP
DRAWN BY:	CD/AP
REVIEWED BY:	JDJ

BCE
5440 WADE PARK BLVD, SUITE 102
RALEIGH, NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4387

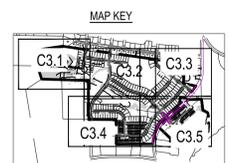
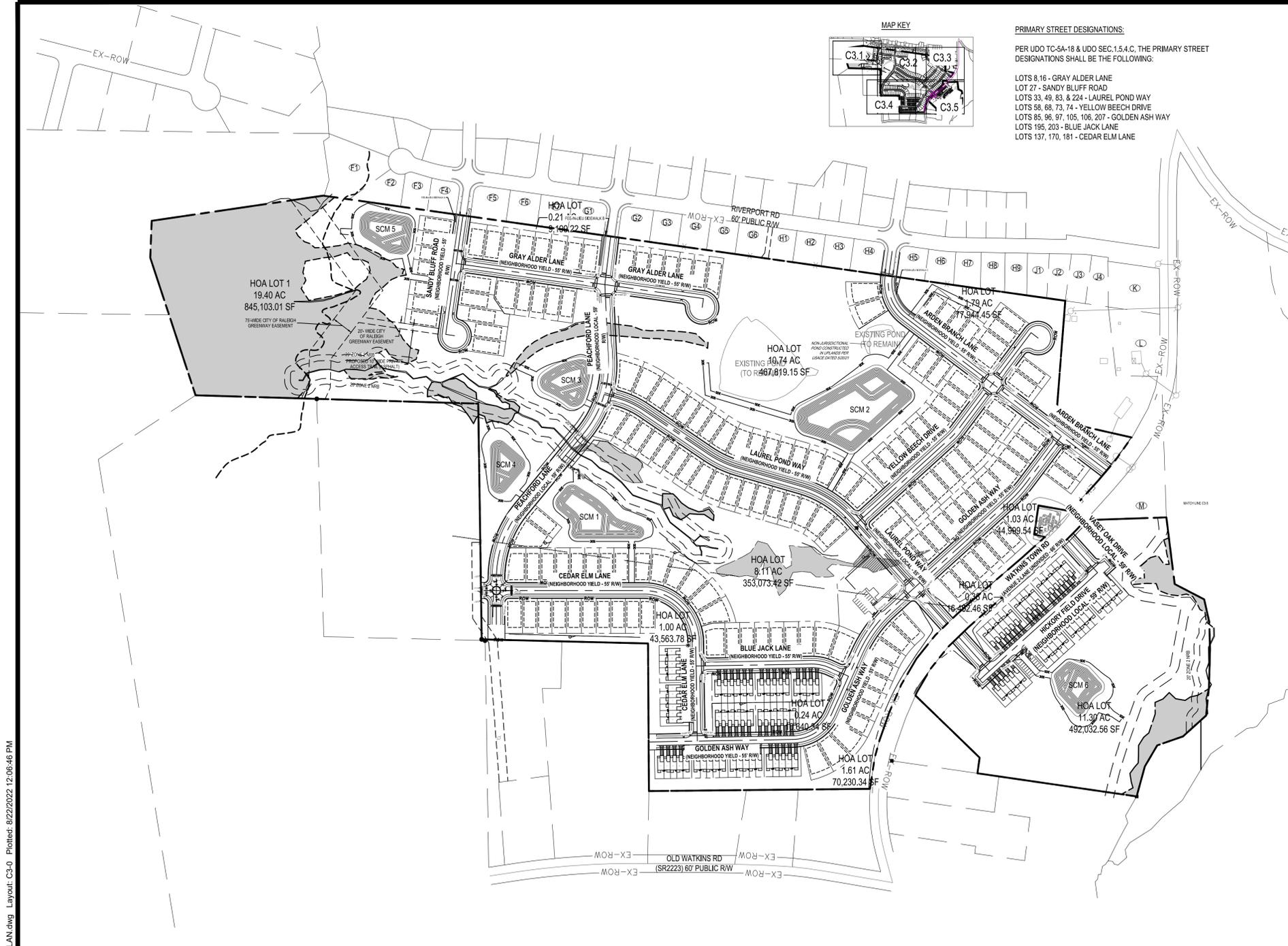
LENNAR CORPORATION
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE, NC 27560

EVERLEE SUBDIVISION
PRELIMINARY SUBDIVISION PLAN
WATKINS TOWN ROAD
RALEIGH, NC 27616

COVER SHEET

CONSTRUCTION
FILE NUMBER: 8430-00
DATE: 08/19/2022
CO-0

G:\NC\Projects\Lenmar\8430-00 - Everlee - Raleigh - DWG\PlanSheets\On-Site\C3-0 - SITE-PLAN.dwg Layout: C3-0 Plotted: 8/22/2022 12:06:46 PM



PRIMARY STREET DESIGNATIONS:
PER UDO TC-5A-18 & UDO SEC. 1.5.4.C, THE PRIMARY STREET DESIGNATIONS SHALL BE THE FOLLOWING:
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LOTS 85, 96, 97, 105, 106, 207 - GOLDEN ASH WAY
LOTS 195, 203 - BLUE JACK LANE
LOTS 137, 170, 181 - CEDAR ELM LANE

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 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROVAQ STANDARDS AND ADA4G SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGH.NC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGH.NC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

ADJOINING PROPERTY TABLE

ID	OWNER	PI#	DB / BM / PG	PRIMARY USE
F1	CHARLES MITCHELL GIBBS, III & KENDRA CAMPBELL GIBBS	1747610782	DB 2848 PG 1138 BM 1988 PG 1311	SINGLE FAMILY
F2	HANNAH ATHER & DILLON ATHER	1747612613	DB 19035 PG 1366 BM 1988 PG 1311	SINGLE FAMILY
F3	TOMMY JUSTIN & SUZANNE AUSTIN	1747613612	DB 19015 PG 0788 BM 1988 PG 1311	SINGLE FAMILY
F4	JOHNSON MCKAY MCCORMICK & KARA MENDENHALL JOHNSON	1747614600	DB 19015 PG 0788 BM 1988 PG 1311	SINGLE FAMILY
F5	JOHN D. BARRETT & JENNIFER J. BARRETT	1747615579	DB 8335 PG 0387 BM 1988 PG 1311	SINGLE FAMILY
F6	STEPHEN G. QUADLIN, HEATHER V. RADFORD	1747616597	DB 18746 PG 811 BM 1988 PG 1311	SINGLE FAMILY
F7	JAMES M. STENNERSON & KATHRYN C. STENNERSON	1747617596	DB 12870 PG 0091 BM 1988 PG 1311	SINGLE FAMILY
G1	JOSEPH L. WHITNEY & ROSEMARY A. WHITNEY	1747619515	DB 7875 PG 0221 BM 1987 PG 0649	SINGLE FAMILY
G2	DMH HO & HANNA HO	1747710573	DB 16624 PG 1938 BM 1997 PG 0649	SINGLE FAMILY
G3	SUSAN G. LEGATOWICZ	1747711582	DB 14280 PG 1114 BM 1987 PG 0649	SINGLE FAMILY
G4	MARY J. DUNCAN	1747712580	DB 16318 PG 1538 BM 1987 PG 0649	SINGLE FAMILY
G5	D.E. BORDEAUX	1747713479	DB 9939 PG 2783 BM 1987 PG 0649	SINGLE FAMILY
G6	JOSHUA KEMP & ELISHA KEMP	1747714477	DB 16457 PG 0024 BM 1987 PG 0649	SINGLE FAMILY
H1	JOSETTE D. GREENE	1747715484	DB 14506 PG 2084 BM 1989 PG 1810	SINGLE FAMILY
H2	GARRY D. O'NEILL & MARY M. O'NEILL	1747716483	DB 8817 PG 1484 BM 1989 PG 1810	SINGLE FAMILY
H3	BERNARD N. OKORORIE & FEOMA C. OKORORIE	1747717471	DB 15527 PG 1874 BM 1989 PG 1810	SINGLE FAMILY

ADJOINING PROPERTY TABLE

ID	OWNER	PI#	DB / BM / PG	PRIMARY USE
H4	THOMAS E. SAUSAGE & PENNY C. SAUSAGE	1747718480	DB 8594 PG 0929 BM 1989 PG 1870	SINGLE FAMILY
H5	MCH SFR NC OWNER 2 LP	1747810338	DB 18873 PG 1673 BM 1989 PG 1870	SINGLE FAMILY
H6	PROGRESS RALEIGH LLC	1747811336	DB 18482 PG 2011 BM 1989 PG 1870	SINGLE FAMILY
H7	MELISSA A. THORNTON	1747812225	DB 15356 PG 0318 BM 1989 PG 1870	SINGLE FAMILY
H8	JACLYNN SZWAGIEL	1747813315	DB 18817 PG 1733 BM 1989 PG 1870	SINGLE FAMILY
H9	MCH SFR PROPERTY OWNER 4 LLC	1747813394	DB 19036 PG 854 BM 1989 PG 1870	SINGLE FAMILY
J1	JESSE D. HERRERA & CHRISTINA R. LEE-HERRERA	1747814373	DB 8811 PG 1576 BM 1989 PG 1870	SINGLE FAMILY
J2	ALLEN G. JOHNSON & MAKAYLA R. JOHNSON	1747815343	DB 18781 PG 2146 BM 1989 PG 1870	SINGLE FAMILY
J3	AMANDA IBBOTT	1747816312	DB 15435 PG 0146 BM 1989 PG 1870	SINGLE FAMILY
J4	STEPHEN B. SNOWDEN & REBECCA L. SNOWDEN	1747816381	DB 1307 PG 2471 BM 1989 PG 1870	SINGLE FAMILY
K	FERNANDO LUGO	1747818209	---	SINGLE FAMILY
L	LINDA WATKINS STELL	1747819131	DB 2332 PG 0239 ---	SINGLE FAMILY
M	KEVIN L HORNE & GINA R HORNE	1747807577	DB 18844 PG 36 BM 2004 PG 2404	MOBILE HOME

COMMON ABBREVIATION

R/W	RIGHT-OF-WAY
B-B	BACK-OF-CURB TO BACK-OF-CURB
SDT	SIGHT-DISTANCE TRIANGLE
SDE	SCM ACCESS, MAINTENANCE AND DRAINAGE EASEMENT
RXX	RADIAL DIMENSION
SCM	STORMWATER CONTROL MEASURE (NET POND)

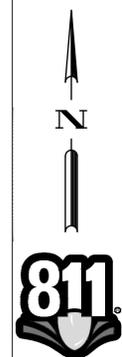
SOLID WASTE COMPLIANCE STATEMENT

1. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

2. SOLID WASTE & RECYCLING SERVICE APPROVED BY CITY OF RALEIGH SOLID WASTE SERVICES ON JUNE 2, 2022.

STREET TABLE

STREET NAME	TYPE	ROW WIDTH	BOC-BOC WIDTH
LAUREL POND WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
GOLDEN ASH WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
YELLOW BEECH DRIVE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
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UDO SECTION 2.4.4: TOWNHOUSE - CONSERVATION DEVELOPMENT OPTION

DATE: 08/19/2022		
EXISTING ADDRESSES:	2983, 2983, 3013, 3029, & 3033 Watkins Town Road; 2933 Old Watkins Road, and Old Millbourne Road	
PI#s (S):	1347035824 1347035824 1347035824 1347035824 1347035824 1347035824	
ZONING:	N/A	
OVERLAY DISTRICT:	N/A	
OVERALL SITE GROSS AREA (TOTAL):	104.99 AC	45,778,113 SF
WATKINS TOWN ROAD (EXISTING RIGHT OF WAY DEDICATION):	1.72 AC	74,933.20 SF
ON-SITE PUBLIC ROADS (PROPOSED RIGHT OF WAY DEDICATION):	13.93 AC	606,989.62 SF
OVERALL SITE NET ACRES (WITH PROPOSED RIGHT OF WAY DEDICATION):	89.35 AC	3,893,938.20 SF
EXISTING USE:	Single Family Residential	
PROPOSED/PRINCIPAL USE:	Single Family (Detached) and Townhomes (Attached)	
PROPOSED UNITS FOR SUBDIVISION:		
SINGLE FAMILY:	567	
TOWNHOMES:	94	
TOTAL UNITS:	661	
EXISTING IMPERVIOUS AREA:	0.36 AC	1,587.89 SF
PROPOSED ON-SITE IMPERVIOUS AREA:	21.13 AC	0 SF
PROPOSED ON-SITE IMPERVIOUS (%):	26.33 %	

UDO SECTION 2.4.1.B: GENERAL REQUIREMENTS - CONSERVATION DEVELOPMENT OPTION

OPEN SPACE		
B1) OPEN SPACE REQUIRED (MIN ACREAGE)	89% OR 1 AC	
B2) OPEN SPACE PROVIDED (MIN ACREAGE)	89%	
B3) CONTIGUOUS AREA (MIN)	60%	
B4) WIDTH OF OPEN SPACE (MIN)	20 FT	

UDO SECTION 2.4.1.C: DETACHED HOUSE (SINGLE-FAMILY) - CONSERVATION DEVELOPMENT OPTION

LOT DIMENSIONS		
A1) AREA (MIN) - BASED ON 2-28-21 CONDITION #10	6,000 SF	
A2) LOT WIDTH (MIN)	45 FT	
A3) DEPTH (MIN)	60 FT	
B) PRINCIPAL BUILDING SETBACKS		
B1) FROM PRIMARY STREET (MIN)	10 FT	
B2) FROM SIDE STREET (MIN)	10 FT	
B3) FROM SIDE LOT LINE (MIN)	5 FT	
B4) FROM REAR LOT LINE (MIN)	20 FT	
C) ACCESSORY STRUCTURE SETBACKS		
C1) HEIGHT	N/A	
D) PRINCIPAL BUILDING (MAX)	40 FT	
D1) ACCESSORY STRUCTURE (MAX)	25 FT	

FEE-IN-LIEU OF CONSTRUCTION

SIDEWALK A - 6' WIDE	153.69 SF
SIDEWALK B - 6' WIDE	753.69 SF
SIDEWALK C - 6' WIDE	993.60 SF

TREE CONSERVATION AREA DATA

TOTAL ACREAGE	104.99 ACRES
NET SITE ACRES (ACRES)	89.35 ACRES
TREE SAVE REQUIRED (ACRES)	8.94 (10% OF NET SITE AREA)
TREE SAVE PROVIDED (ACRES)	12.79 (14.31% OF NET SITE AREA)

UDO SECTION 2.3.1: DETACHED HOUSE (SINGLE-FAMILY) - CONVENTIONAL DEVELOPMENT OPTION (PERMETER LOTS ONLY) - BASED ON 2-28-21 CONDITIONS #8

LOT DIMENSIONS		
A1) AREA (MIN)	6,000 SF	
A2) LOT WIDTH (MIN)	45 FT	
A3) DEPTH (MIN)	60 FT	
A4) SETBACK (MIN)	N/A	
B) PRINCIPAL BUILDING SETBACKS		
B1) FROM PRIMARY STREET (MIN)	10 FT	
B2) FROM SIDE STREET (MIN)	10 FT	
B3) FROM SIDE LOT LINE (MIN)	5 FT	
B4) FROM REAR LOT LINE (MIN)	20 FT	
C) ACCESSORY STRUCTURE SETBACKS		
C1) HEIGHT	N/A	
D) PRINCIPAL BUILDING (MAX)	40 FT	
D1) ACCESSORY STRUCTURE (MAX)	25 FT	

UDO SECTION 7.1.2.C: PARKING REQUIRED BY USE

TYPE OF USE	MINIMUM REQUIRED
A1) SINGLE-FAMILY (MAX)	NO MAX
A2) SHORT-TERM BICYCLE PARKING	NONE
A3) LONG-TERM BICYCLE PARKING	NONE
B) SINGLE-UNIT LIVING	
B1) VEHICLE PARKING (MAX)	NO MAX
B2) SHORT-TERM BICYCLE PARKING	NONE
B3) LONG-TERM BICYCLE PARKING	NONE

USPS MAIL DELIVERY

MAIL DELIVERY SERVICES AND LOCATION OF CLUSTER BOX UNITS (CBU) APPROVED FOR SUBDIVISION ON AUGUST 9, 2022 BY CITY OF RALEIGH POSTMASTERS OFFICE

OPEN SPACE SITE DATA

TOTAL ACREAGE	104.99 ACRES
NET SITE ACRES (ACRES)	89.35 ACRES
OPEN SPACE REQUIRED (ACRES)	41.99 (40% OF TOTAL SITE AREA)
OPEN SPACE PROVIDED (ACRES)	54.96 (52.35% OF TOTAL SITE AREA)

EVERLEE SUBDIVISION PRELIMINARY SUBDIVISION PLAN

WATKINS TOWN ROAD RALEIGH / NC / 27616

LENMAR CORPORATION

1100 PERIMETER PARK DRIVE, SUITE 112 MCKINNSVILLE / NC / 27660

DESIGNED BY: TW/AP

DRAWN BY: CD/AP

REVIEWED BY: JDJ

7/22/2022 CITY OF RALEIGH COMMENTS - SECOND REVIEW

3/18/2022 CITY OF RALEIGH COMMENTS - FIRST REVIEW

DATE

REV

DESCRIPTION

FILE NUMBER: 8430-00

DATE: 08/19/2022

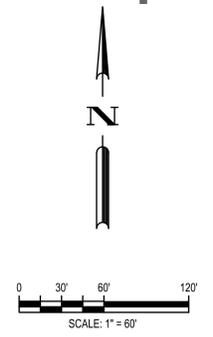
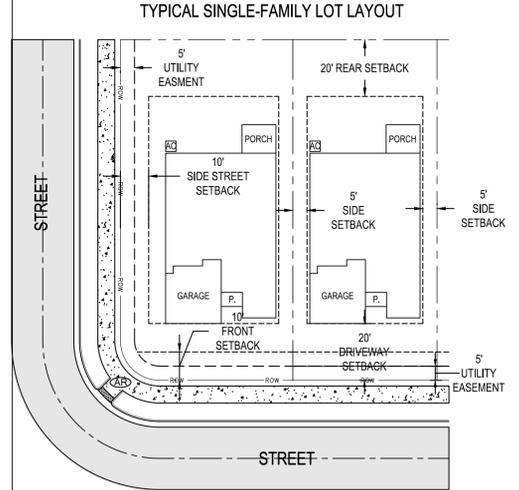
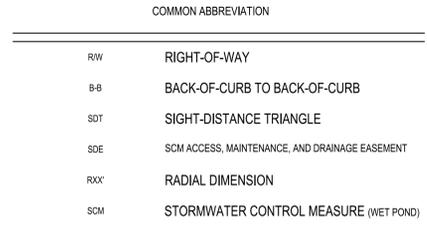
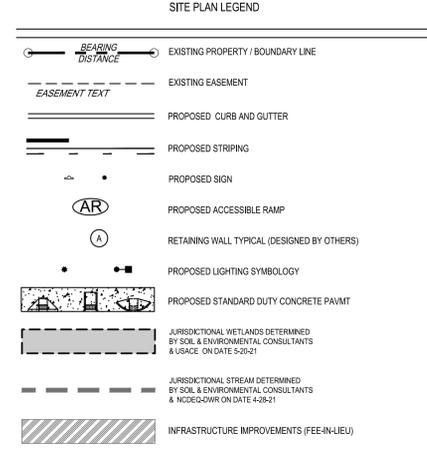
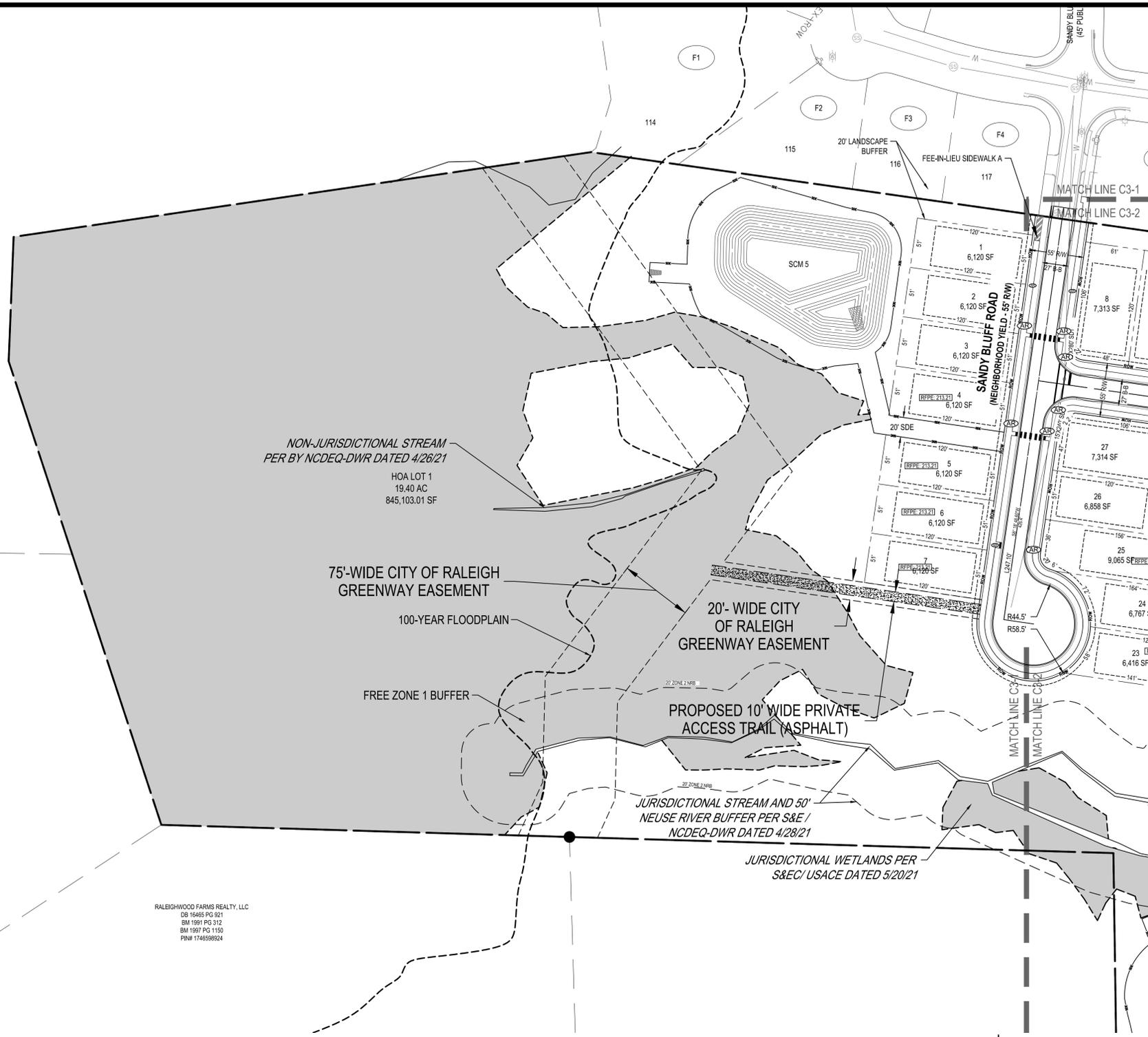
C3-0

EVERETT RUSSELL HOLDEN
DB 5476 PG 449
PIN# 1747417658
SINGLE FAMILY RESIDENTIAL

ACG CREEKSIDE, LLC
DB 16750 PG 863
PIN# 1747407786
MOBILE HOME PARK

RALEIGHWOOD FARMS REALTY, LLC
DB 16465 PG 921
BM 1991 PG 312
BM 1997 PG 1150
PIN# 1746598924

STREET TABLE			
STREET NAME	TYPE	ROW WIDTH	BOC-BOC WIDTH
LAUREL POND WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
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DESIGNED BY:	TW/AP
DRAWN BY:	CD/AP
REVIEWED BY:	JDJ

BCE
5440 WADE PARK BLVD, SUITE 102
RALEIGH NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4387

LENNAR CORPORATION
1100 PERIMETER PARK DRIVE, SUITE 112
MCKINNSVILLE / NC / 27560

EVERLEE SUBDIVISION
PRELIMINARY SUBDIVISION PLAN
WATKINS TOWN ROAD
RALEIGH / NC / 27616

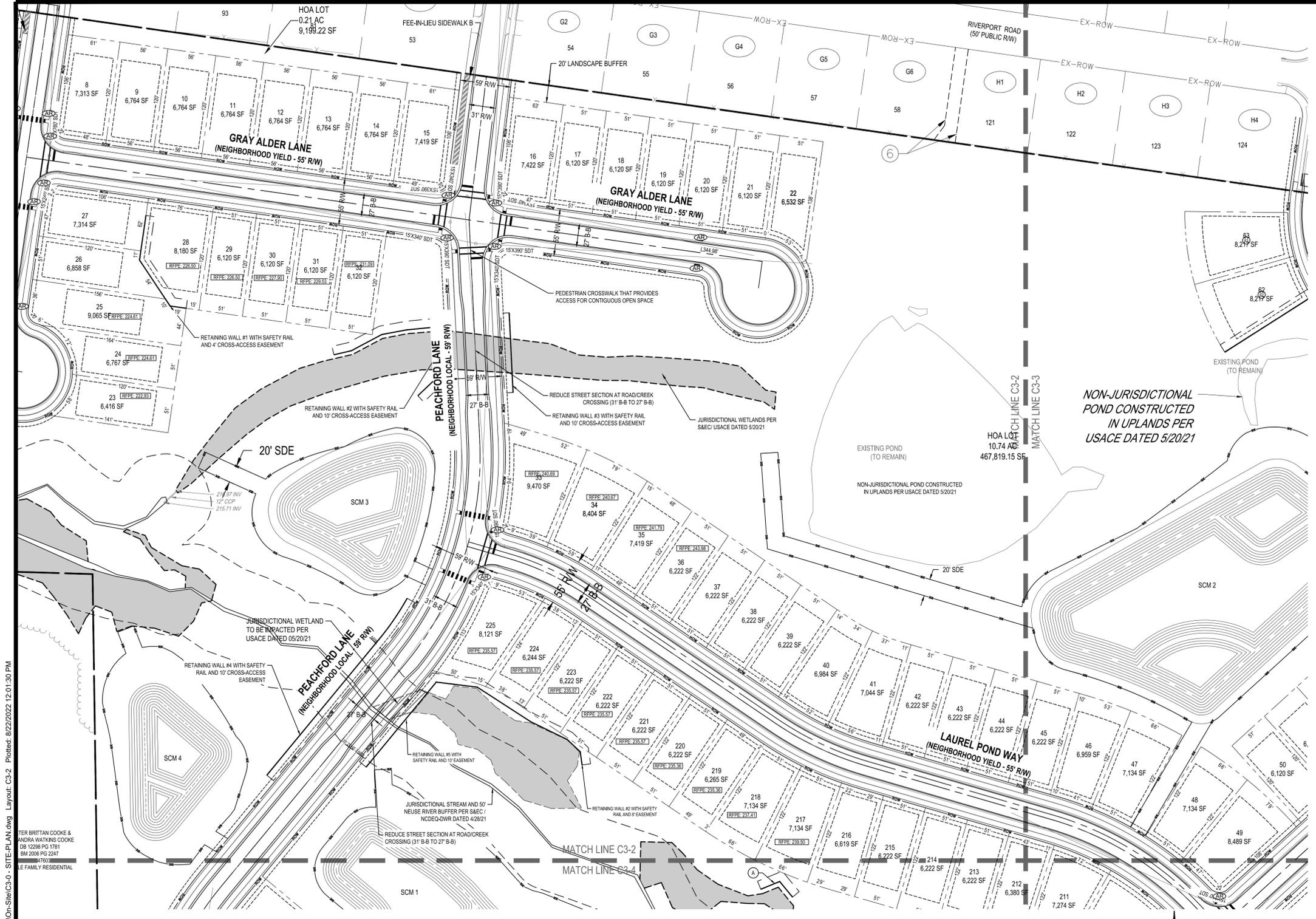
ENLARGED SITE PLAN (1 OF 5)

CONSTRUCTION
FILE NUMBER:
8430-00
DATE: 08/19/2022

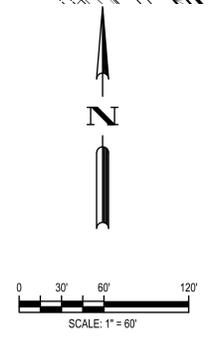
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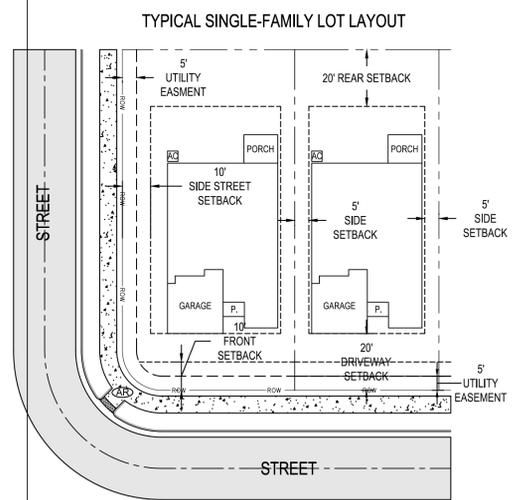


SITE PLAN LEGEND

- BEARING DISTANCE
- EXISTING PROPERTY / BOUNDARY LINE
- EXISTING EASEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED STRIPING
- PROPOSED SIGN
- PROPOSED ACCESSIBLE RAMP
- RETAINING WALL TYPICAL (DESIGNED BY OTHERS)
- PROPOSED LIGHTING SYMBOLOLOGY
- PROPOSED STANDARD DUTY CONCRETE PAVMT
- JURISDICTIONAL WETLANDS DETERMINED BY SOIL & ENVIRONMENTAL CONSULTANTS & USAGE ON DATE 5-20-21
- JURISDICTIONAL STREAM DETERMINED BY SOIL & ENVIRONMENTAL CONSULTANTS & NCDEQ-DWR ON DATE 4-28-21
- INFRASTRUCTURE IMPROVEMENTS (FEE-IN-LIEU)

COMMON ABBREVIATION

- RW RIGHT-OF-WAY
- B-B BACK-OF-CURB TO BACK-OF-CURB
- SOT SIGHT-DISTANCE TRIANGLE
- SDE SCM ACCESS, MAINTENANCE, AND DRAINAGE EASEMENT
- ROD RADIAL DIMENSION
- SCM STORMWATER CONTROL MEASURE (WET POND)



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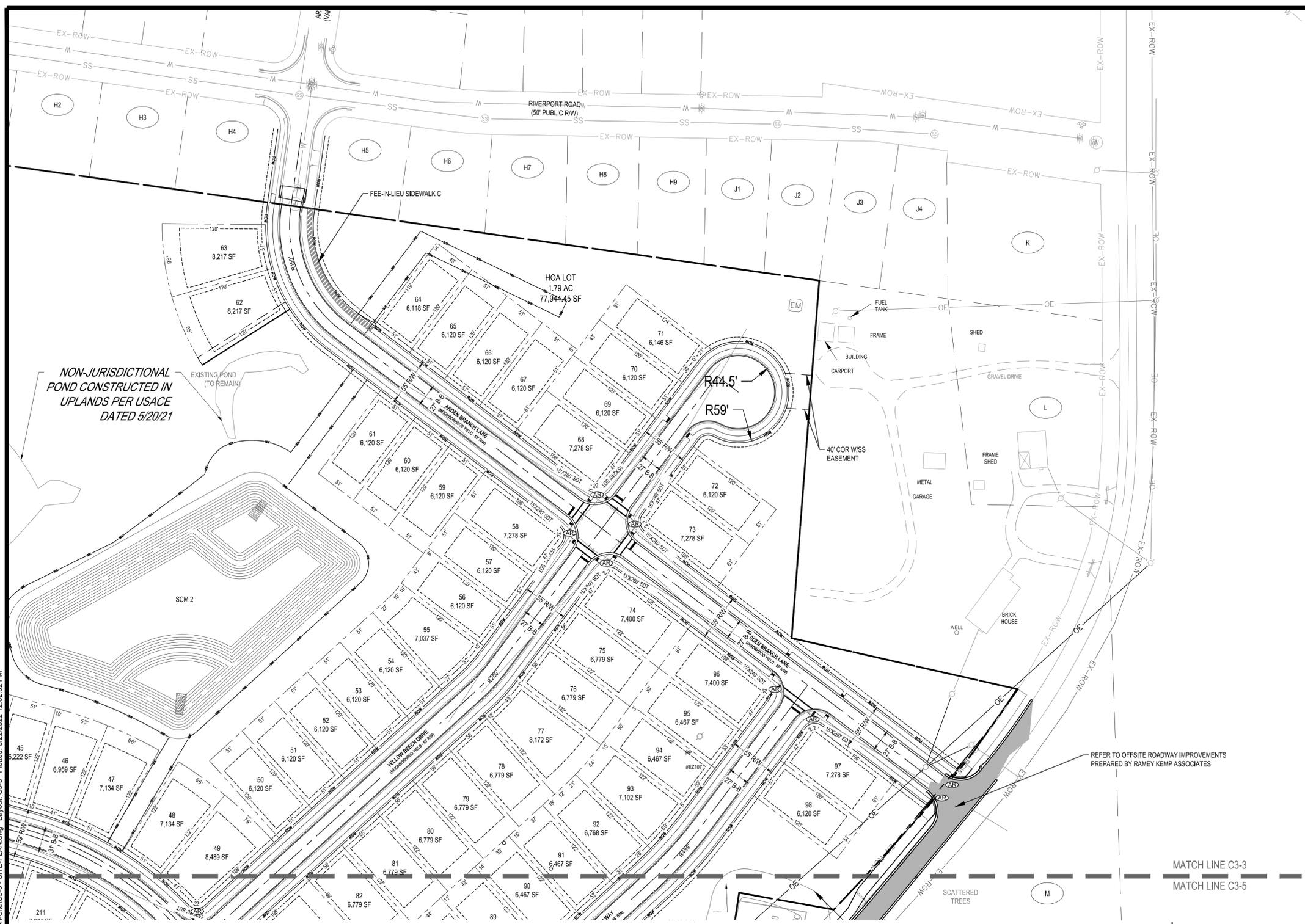
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	CITY OF RALEIGH COMMENTS - FIRST REVIEW	3/18/2022	DATE	
DESIGNED BY:	TW/AP			
DRAWN BY:	CD/AP			
REVIEWED BY:	JDJ			
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LENNAR CORPORATION 1100 PERIMETER PARK DRIVE, SUITE 112 MCKINNSVILLE, NC 27560				
EVERLEE SUBDIVISION PRELIMINARY SUBDIVISION PLAN WATKINS TOWN ROAD RALEIGH, NC 27616				
ENLARGED SITE PLAN (2 OF 5)				
NOT FOR CONSTRUCTION FILE NUMBER: 8430-00 DATE: 08/19/2022 C3-2				

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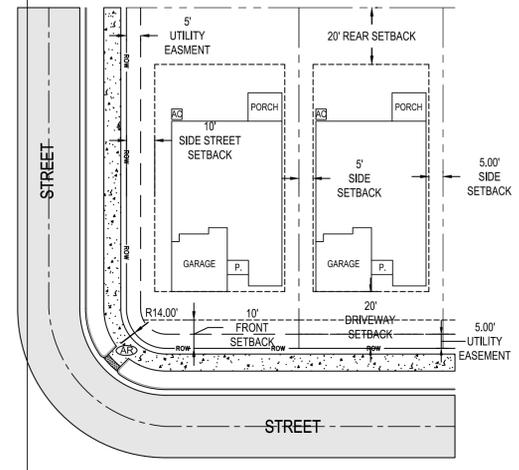


SITE PLAN LEGEND

	BEARING DISTANCE		EXISTING PROPERTY BOUNDARY LINE
	EASEMENT TEXT		PROPOSED CURB AND GUTTER
	PROPOSED STRIPING		PROPOSED HANDICAP PAVEMENT MARKING
	PROPOSED SIGN		PROPOSED ACCESSIBLE RAMP
	RETAINING WALL TYPICAL (DESIGNED BY OTHERS)		PROPOSED LIGHTING SYMBOLOLOGY
	PROPOSED STANDARD DUTY CONCRETE PAVMT		POTENTIAL JURISDICTIONAL WETLANDS DENOTATED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA ON DATE 2-23-21
	POTENTIAL JURISDICTIONAL STREAM DENOTATED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA ON DATE 2-23-21		INFRASTRUCTURE IMPROVEMENTS (FEE-IN-LIEU)

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VASEY OAK DRIVE	NEIGHBORHOOD LOCAL	59'-0"	31'-0"
SANDY BLUFF ROAD	NEIGHBORHOOD YIELD	55'-0"	27'-0"

TRAFFIC IMPACT ANALYSIS NOTES PER RAMEY KEMP ASSOCIATES

WATKINS TOWN ROAD AND SITE DRIVE 1/ SITE DRIVE 2

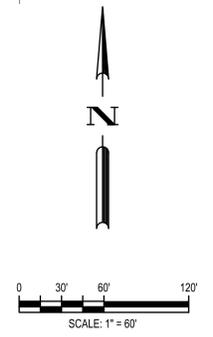
- CONSTRUCT EASTBOUND APPROACH WITH ONE (1) INGRESS LANE AND ONE (1) EGRESS LANE.
- CONSTRUCT WESTBOUND APPROACH WITH ONE (1) INGRESS LANE AND ONE (1) EGRESS LANE.
- PROVIDE STOP-CONTROL FOR THE EASTBOUND AND THE WESTBOUND APPROACHES.
- PROVIDE AN EXCLUSIVE NORTHBOUND LEFT-TURN LANE WITH A MINIMUM OF 60 FEET OF STORAGE AND APPROPRIATE DECELERATION AND TAPER.
- PROVIDE AN EXCLUSIVE SOUTHBOUND LEFT-TURN LANE WITH A MINIMUM OF 60 FEET OF STORAGE AND APPROPRIATE DECELERATION AND TAPER.

WATKINS TOWN ROAD AND SITE DRIVE 3

- CONSTRUCT WESTBOUND APPROACH WITH ONE (1) INGRESS LANE AND ONE (1) EGRESS LANE.
- PROVIDE STOP-CONTROL FOR THE WESTBOUND APPROACH.

WATKINS TOWN ROAD AND SITE DRIVE 3

- CONSTRUCT EASTBOUND APPROACH WITH ONE (1) INGRESS LANE AND ONE (1) EGRESS LANE.
- PROVIDE STOP-CONTROL FOR THE EASTBOUND APPROACH.



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REV	DATE	DESCRIPTION
1	7/22/2022	CITY OF RALEIGH COMMENTS - SECOND REVIEW
2	3/18/2022	CITY OF RALEIGH COMMENTS - FIRST REVIEW

DESIGNED BY: TW/AP
 DRAWN BY: CD/AP
 REVIEWED BY: JDJ

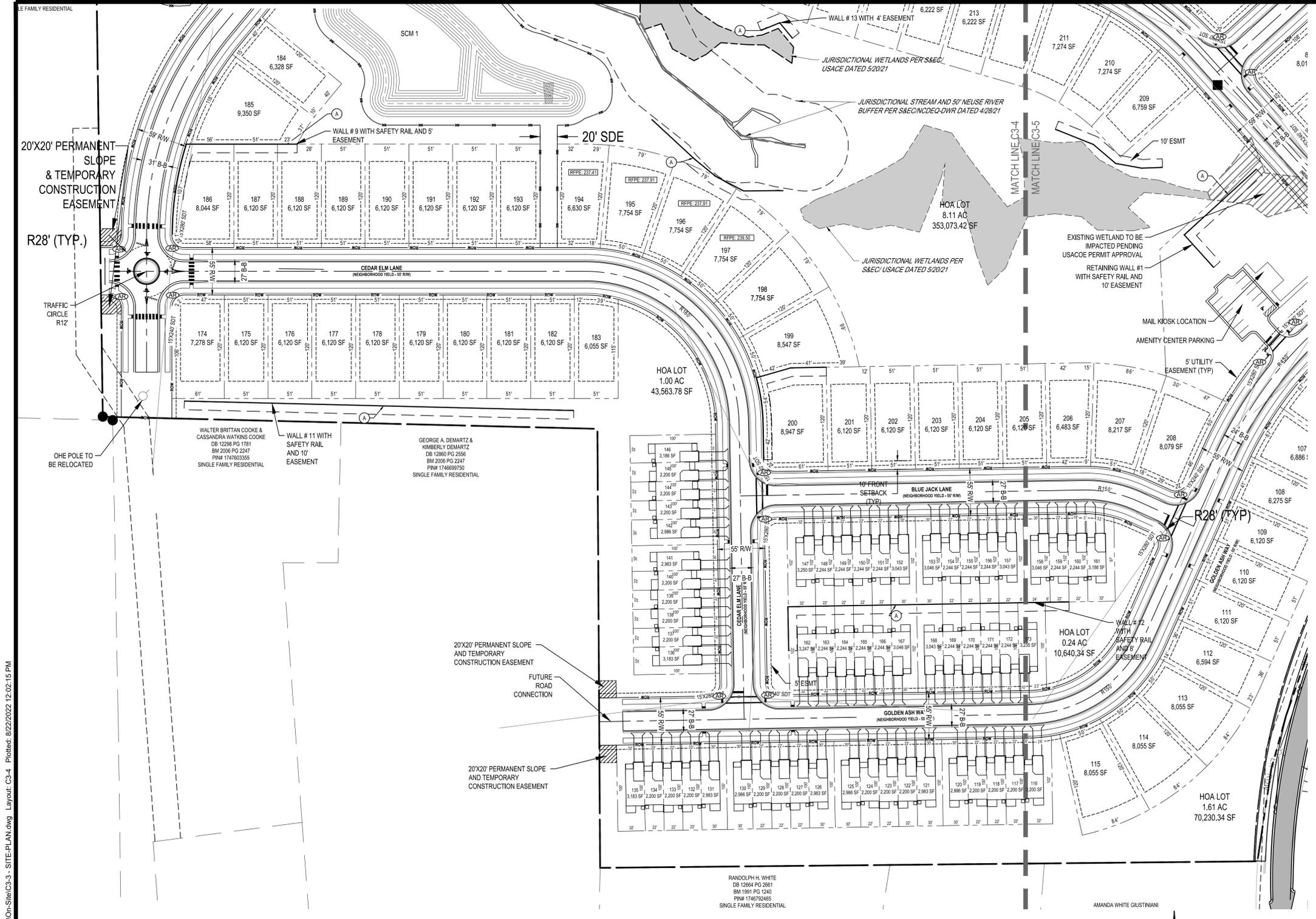
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 RALEIGH, NC 27607
 WWW.BCEINC.COM
 NC LICENSE #C-4397

LENNAR CORPORATION
 1100 PERIMETER PARK DRIVE, SUITE 112
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EVERLEE SUBDIVISION
 PRELIMINARY SUBDIVISION PLAN
 WATKINS TOWN ROAD
 RALEIGH, NC 27616

ENLARGED SITE PLAN (3 OF 5)

CONSTRUCTION
 FILE NUMBER:
 8430-00
 DATE: 08/19/2022
 C3-3

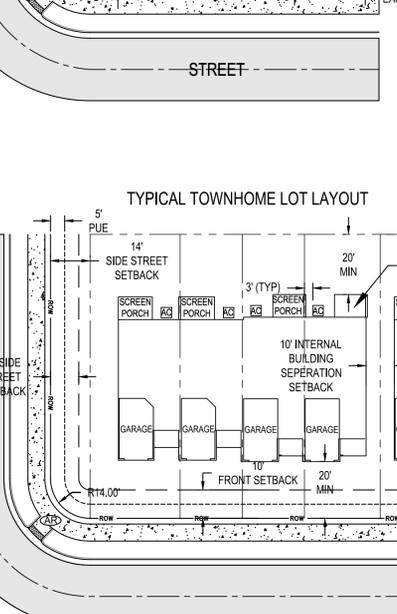
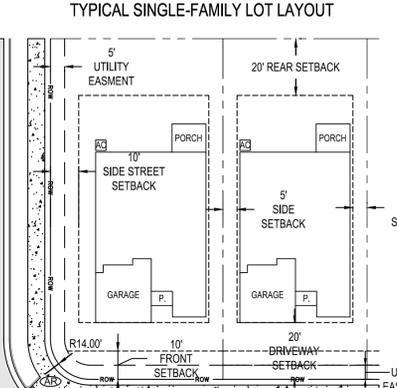


SITE PLAN LEGEND

○ BEARING DISTANCE	○ EXISTING PROPERTY / BOUNDARY LINE
— EASEMENT TEXT	— EXISTING EASEMENT
— PROPOSED CURB AND GUTTER	— PROPOSED STRIPING
— PROPOSED HANDICAP PAVEMENT MARKING	— PROPOSED SIGN
— PROPOSED ACCESSIBLE RAMP	— RETAINING WALL TYPICAL (DESIGNED BY OTHERS)
— PROPOSED LIGHTING SYMBOLOLOGY	— PROPOSED STANDARD DUTY CONCRETE PAVMT
— POTENTIAL JURISDICTIONAL WETLANDS DELINEATED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA ON DATE 2-23-21	— POTENTIAL JURISDICTIONAL STREAM DELINEATED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA ON DATE 2-23-21
— INFRASTRUCTURE IMPROVEMENTS (FEE-IN-LIEU)	

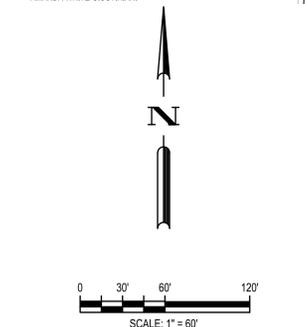
COMMON ABBREVIATIONS

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B-B	BACK-OF-CURB TO BACK-OF-CURB
SDT	SIGHT DISTANCE TRIANGLE
SDE	SCM ACCESS, MAINTENANCE, AND DRAINAGE EASEMENT
RXX	RADIAL DIMENSION
SCM	STORMWATER CONTROL MEASURE (WET POND)



STREET TABLE

STREET NAME	TYPE	ROW WIDTH	BOC-BOC WIDTH
LAUREL POND WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
GOLDEN ASH WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
YELLOW BEECH DRIVE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
CEDAR ELM LANE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
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DESIGNED BY:	TW/AP
DRAWN BY:	CD/AP
REVIEWED BY:	JDJ

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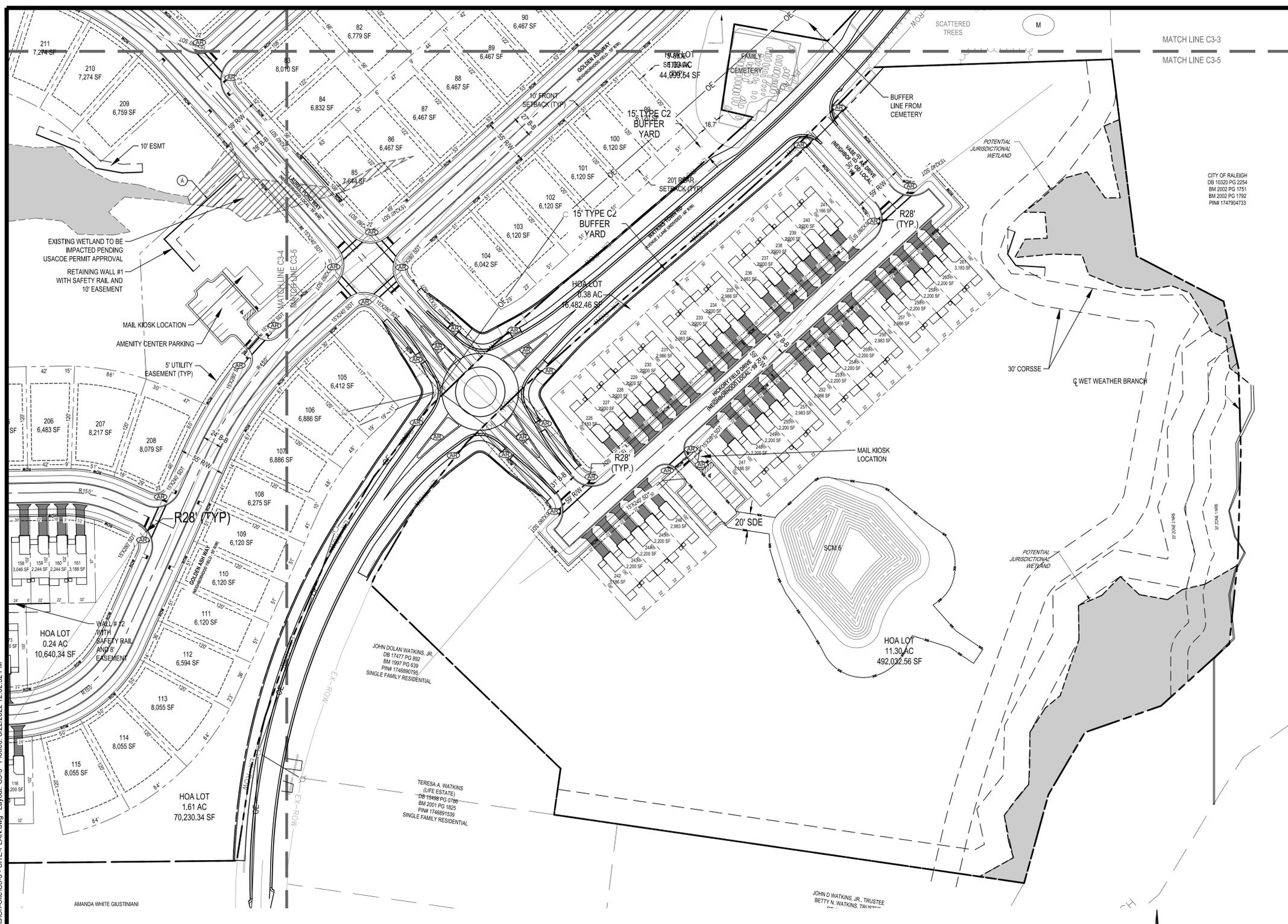
ENLARGED SITE PLAN (4 OF 5)

NOT FOR CONSTRUCTION
FILE NUMBER:
8430-00
DATE: 08/19/2022

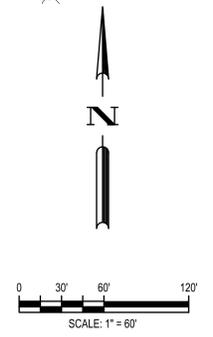
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STREET TABLE			
STREET NAME	TYPE	ROW WIDTH	BOC-BOC WIDTH
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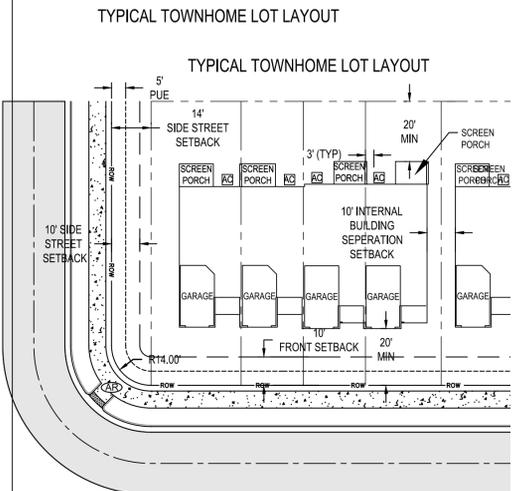
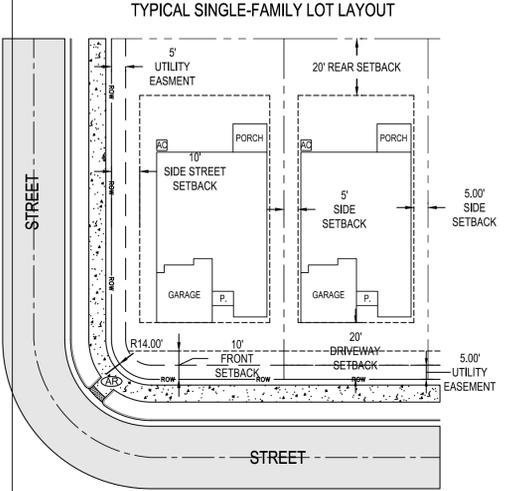
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811
Know what's below.
Call before you dig.

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