



Administrative Approval Action

Case File / Name: SUB-0010-2022
DSLCL - Everlee Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Watkins Road, north of Old Milburnie Road, at 2932, 2933, 3013, 3029 & 3033 Watkins Town Rd, 1505 Old Watkins.

REQUEST: Development of a 104.98 acre tract composed of multiple parcels zoned R-6 CU into a Conservation Development Subdivision. The development includes, 18.31 acres of right-of-way dedication with a net area of 86.68 acres. The proposed subdivision consists of 275 lots: 167 detached single-family lots, 94 townhomes and 14 HOA Common Lots.

Z-28-21 - Adopted 12/07/21 - Old Watkins Rd rezoning to R-6.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 12, 2023 by BGE.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The greenway connection located at 2932 Watkins Town Road will meet all Greenway trail design standards, be located within a bicycle & pedestrian easement, and include a seating area for the neighborhood and any future pedestrian traffic once the greenway corridor is improved.
2. A detail for the 6 foot fence and split rail fence notation across the site's northern border is provided with the Site Permit Review plans set or the note label is removed from sheets C3-7, C4 of the plans set.
3. All lot dimensions (width and depth details) are provided and shown in the Site Permit Review plans set.
4. Civil plans set demonstrate and show lot chords, distances, metes and bounds, and demonstrate residential lot setbacks, including design requirements for townhome internal lots.
5. Any plat recordings subsequent to preliminary plan submittal are inserted and provided with the civil plans set.



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Engineering

6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

7. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
8. A Water Model in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval prior to concurrent approval.

Stormwater

9. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
10. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
11. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
12. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

13. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
14. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
<input checked="" type="checkbox"/>	Pedestrian and Bicycle Access Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required



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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. A recombination plat is recorded prior to or in conjunction of the residential lot recordation, at plat recording for the Everlee subdivision (SUB-0010-2022).
3. Provide documentation indicating a Property Owner's Association has been established for the subject development.
4. A demolition permit shall be issued and this building permit number shown on all maps for recording.
5. All plat recording demonstrate compliance with UDO Section 2.5.7 for required open space per a Compact Development subdivision.
6. Comply with applicable zoning conditions in Z-28-22
7. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
8. The final subdivision maps to be recorded shall include a note on all sheets showing common area and open space lots which states "All common area and open space lots are to be owned and maintained by the Property Owners' Association for this development."

Engineering

9. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
10. A fee-in-lieu for any street and sidewalk that cannot be constructed as shown during the SPR review and approval is paid to the City of Raleigh (UDO 8.1.10).



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11. A slope easement (locations and size determined during SPR review) deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
12. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
13. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.
14. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
15. A pedestrian and bicycle deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

16. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a new water main in airmax drive
17. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater



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18. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
19. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
20. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
21. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
22. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
23. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
24. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

25. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 11.64 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-28-21.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry



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3. A public infrastructure surety for the required 535 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 23 street trees along Sandy Bluff Rd, 43 trees along Gray Alder Ln, 60 trees along Cedar Elm Way, Hickory Field Dr 31, 7 tree along Vasey Oak Dr, 96 Golden Ash Way, 74 trees along Laurel Pond Way, 27 trees along Blue Jack Ln, 45 trees along Yellow Beech Dr, 76 trees along Peachford Ln, and 53 trees along Arden Branch Ln.

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. Prior to issuance of the final CO in the development, signal warrant analyses at the intersections of Mitchell Mill Road and Watkins Road, and Forestville Road and Old Watkins Road are required and shall be conducted by the developer. Studies shall be conducted prior to the final acceptance of the streets and sidewalks in the final phase of development, and prior to the release of any surety associated with the work for the streets and sidewalks associated with the subdivision plan.

Details of the analysis shall be coordinated in advance, and subsequently submitted to NCDOT District Office and City of Raleigh Transportation Department for evaluation. If either study finds signalization warrants have been met, then the development shall be responsible for improving the associated intersection(s) accordingly. At the time of permitting the final phase of development, the developer shall put forth a separate surety with the City, covering the cost of signalization in the amount calculated by a licensed professional.

Stormwater

4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: March 7, 2026
Record at least ½ of the land area approved.

5-Year Sunset Date: March 7, 2028
Record entire subdivision.



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I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 03/07/2023
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**

FEE-IN-LIEU OF CONSTRUCTION	
SIDEWALK A - 6' WIDE	153.69 SF
SIDEWALK B - 6' WIDE	753.69 SF
SIDEWALK C - 6' WIDE	993.60 SF

[illegible]

<u>TREE CONSERVATION AREA DATA</u>	
TOTAL ACREAGE	104.08 ACRES (4,573,451.52 SF)
NET SITE AREAS (ACRES)	86.68 ACRES (3,775,867.52 SF)
TREE SAVE REQUIRED (ACRES)	8.67 ACRES 10% OF NET SITE AREA (377,868.20 SF)
TREE SAVE PROVIDED (ACRES)	12.39 ACRES (14.30% OF NET SITE AREA) (539,708.49 SF)
<div> <div>USPS MAIL DELIVERY</div> <div>MAIL DELIVERY ADDRESS AND LOCAL USE OF CLUSTER BOX UNITS (APPROVED FOR SUBMISSION ON AUGUST 9, 2022 BY CITY OF FALCONHURST POSTMASTERS OFFICE)</div> </div>	
<u>OPEN SPACE SITE DATA</u>	
TOTAL ACREAGE	104.08 ACRES (4,573,451.52 SF)
NET SITE AREAS (ACRES)	86.68 ACRES (3,775,867.52 SF)
OPEN SPACE REQUIRED (ACRES)	11.93 ACRES (40% OF TOTAL SITE AREA) (1,020,094.40 SF)
OPEN SPACE PROVIDED (ACRES)	54.80 ACRES (62.99% OF TOTAL SITE AREA) (2,378,444 SF)

SOLID WASTE COMPLIANCE STATEMENT	
1.	DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2.	SOLID WASTE & RECYCLING SERVICE APPROVED BY CITY OF RALEIGH SOLID WASTE SERVICES ON JUNE 2, 2022.

STREET TABLE			
STREET NAME	TYPE	ROW WIDTH	BO-BOC WIDTH
LAUREL POND WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
GOLDEN ASH WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
YELLOW BEECH DRIVE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
CEDAR ELM LANE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
PEACHFORD LANE	NEIGHBORHOOD LOCAL	55'-0"	31'-0"
BLUE JACK LANE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
GRAY ALDER LANE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
ANDER BRANCH LANE	NEIGHBORHOOD LOCAL	55'-0"	31'-0"
HICKORY FELD DRIVE	NEIGHBORHOOD YIELD	55'-0"	31'-0"
VASEY OAK DRIVE	NEIGHBORHOOD LOCAL	55'-0"	31'-0"
SUNNY BLUFF ROAD	NEIGHBORHOOD YIELD	55'-0"	27'-0"

COMMON ABBREVIATION	
RW	RIGHT-OF-WAY
BJ	BACK-OF-JOINT TO BACK-OF-JOINT
SDT	SHORT-DISTANCE TRIANGLE
SDE	SOIL ACCESS, MAINTENANCE, AND DRAINAGE EASEMENT
RCD	RADIAL DIMENSION
SCM	STORMWATER CONTROL MEASURE (WATPAC)

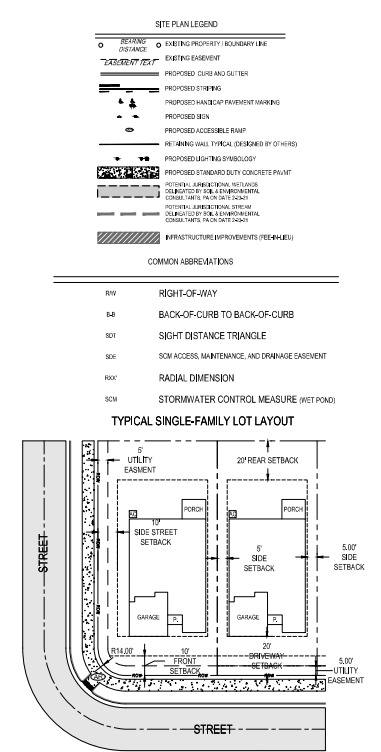
0 100' 200' 400'

SCALE: 1" = 200'

GENERAL NOTES:

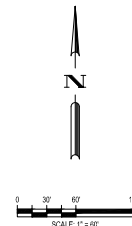
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(s), PARKING SPACE, OR SIDEWALK FROM NIGHTLY TRAFFIC FOR LESS THAN 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUING OF PERMITS OR BEGINNING OF ANY PLAN FOR THE PROJECT.
- FIELD SURVEYS OF THE PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SUBMITTALS INFORMATION PROVIDED TO STATE, RALEIGH, NORTH CAROLINA OFFICE BY 5PM IN COMPLIANCE WITH PARAGRAPH 302.1 AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY OFFICE BY JUNE 25, 2021.
- ALL PROPOSED CURBS AND GUTTERS WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 4" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL ENDINGS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE RIGHT TRAVEL LANE(S) SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 4 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART, OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY SIGN, SIGNAGE, FENCE, WALL, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR ELECTRICITY VEHICLES SHALL PROVIDE AVOIDING TURNING RADII OF 5' MINIMUM.
- ALL WALKWAY ITEMS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO RELOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCY TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTRACTING ORIGINATOR TO VERIFY LOCATION OF UTILITIES AND UTILITIES.
- WALKWAY FINISH, PARKING SPACES, AND ACCESSIBLE SHALL BE NO GREATER THAN TWO PERCENT (2%) SLOPE IN ANY DIRECTIONS, AS PER DESIGN STANDARDS.
- PROVIDE BARRIERS AND STRIPING OF HANDICAPPED SPACES AS PER DESIGN STANDARDS.
- PROVIDE BARRIERS WALLS GREATER THAN 2' HEIGHT TO AVOID SAFETY, RISK, OR DANGER, NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 30 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS, NO DRIVEWAYS SHALL ENDOUR ON THE CURB LINE OR CORNER LOCATIONS.
- NO ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROVISION STANDARDS AND CMAA SPECIFICATIONS.
- ALL RAMP(S) AND WALKWAYS SHALL BE CONFORM TO ACCESS STANDARDS.
- ALL ABOVE GROUND CABLES SHOULD BE INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE, PEDESTAL, ELECTRICAL TRANSFORMERS, BACKFLOW CHECK VALVE, FETC, SHALL BE SCREENED FROM OPERATOR VIEW OF THE PUBLIC RIGHT OF WAY.
- ALL SIGNAGE SHALL BE ACCESSIBLE TO PERSONS WHO ARE BLIND, AND LOW VISION AND PEOPLE WITH MOBILITY CHALLENGES. PEDIESTAL, ENDING ROUTES AND ALTERNATE ACCESSIBLE ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ADMINISTRATION GUIDELINES (PROVING) 2010 AS STANDARDS FOR ACCESSIBILITY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, DEVICES AND SIGNS.
- IF ANY CHANGES DURING DEVELOP PLAN DURING CONSTRUCTION, REFER TO CITY OF RALEIGH STREET CLOSURE MANUAL AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN LIMITS, ADJACENT TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TRAFFIC CONTROL SIGNAGE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK, SEE "RIGHT-OF-WAY CLOSURE" ON WWW.RALEIGH.GOV, COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO transportation@raleighnc.gov.
- NO TRY TO CONSTRUCTION INCLUDING ALL SIGNAGE AND TRAFFIC CONTROL, SHALL BE IN PLACE.
- NO TEMPORARY OR PERMANENT OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FLAGGERS, CONES, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE

[illegible]



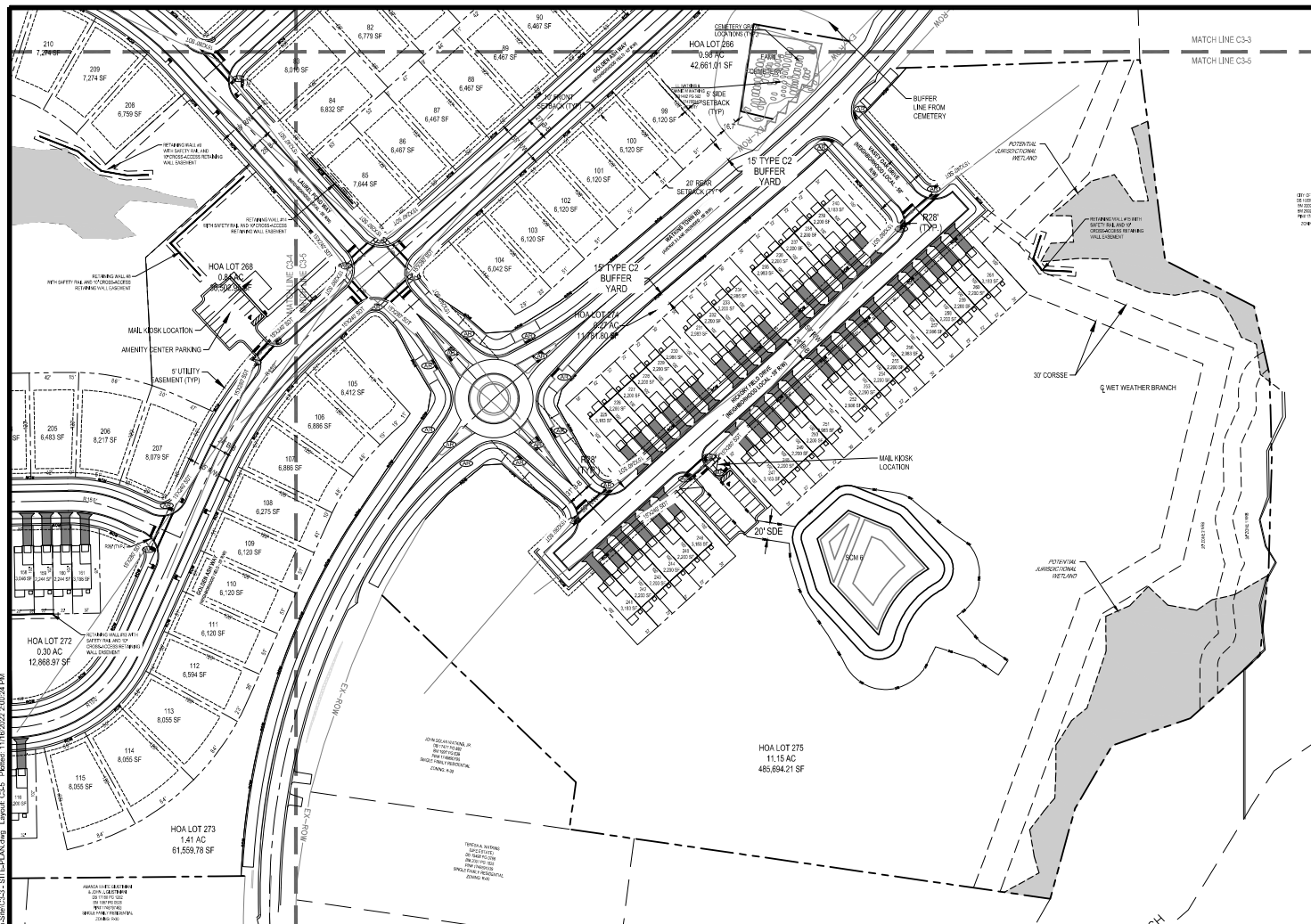
TRAFFIC IMPACT ANALYSIS NOTES PER RAMEY KEMP ASSOCIATES	
<u>NORTHBOUND TURN AND RIGHT DRIVE - LEFT DRIVE</u>	<ol style="list-style-type: none"> 1. CONSTRUCT EASTBOUND APPROACH WITH ONE (1) BORESS LANE AND ONE (1) EXPRESS LANE. 2. CONSTRUCT WESTBOUND APPROACH WITH ONE (1) BORESS LANE AND ONE (1) EXPRESS LANE. 3. PROVIDE STOP-CONTROL FOR THE EASTBOUND AND THE WESTBOUND APPROACHES. 4. PROVIDE AN ENCLAVE NORTHBOUND LEFT/TURN LANE WITH A MINIMUM OF 30 FEET OF STORAGE AND APPROPRIATE DECELERATION AND TAPER. 5. PROVIDE AN ENCLAVE SOUTHBOUND LEFT/TURN LANE WITH A MINIMUM OF 30 FEET OF STORAGE AND APPROPRIATE DECELERATION AND TAPER.
<u>NORTHBOUND TURN AND RIGHT DRIVE</u>	<ol style="list-style-type: none"> 1. CONSTRUCT WESTBOUND APPROACH WITH ONE (1) BORESS LANE AND ONE (1) EXPRESS LANE. 2. PROVIDE STOP-CONTROL FOR THE WESTBOUND APPROACH.
<u>NORTHBOUND TURN AND LEFT DRIVE</u>	<ol style="list-style-type: none"> 1. CONSTRUCT EASTBOUND APPROACH WITH ONE (1) BORESS LANE AND ONE (1) EXPRESS LANE. 2. PROVIDE STOP-CONTROL FOR THE EASTBOUND APPROACH.

5. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



Know what's below.
Call before you dig.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



STREET TABLE			
STREET NAME	TYPE	ROW WIDTH	BOC400 WIDTH
LAUREL POND WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
GOLDEN ASH WAY	NEIGHBORHOOD YIELD	55'-0"	27'-0"
YELLOW BEECH DRIVE	NEIGHBORHOOD YIELD	55'-0"	27'-0"
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VASEY OAK DRIVE	NEIGHBORHOOD LOCAL	55'-0"	31'-0"
SANDY BLUFF ROAD	NEIGHBORHOOD YIELD	55'-0"	27'-0"

GENERAL NOTES

5. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



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ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

FILE NUMBER:
8430-00

DATE:11/16/2022

C3-5

LENNAR
CORPORATION

EVERLEE
SUBDIVISION

ENLARGED SITE PLAN

BCE

BCE

1. **Introduction**

DESIGNED BY:	
DRAWN BY:	
REVIEWED BY:	

REVIEWED BY:

DRAWN BY:

REVIEWED BY:

4/2022

CITY

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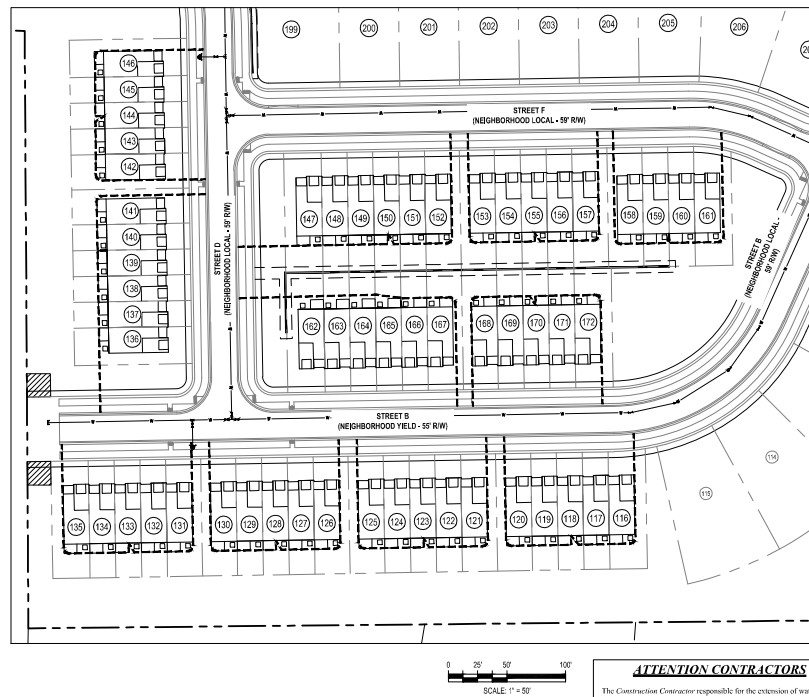
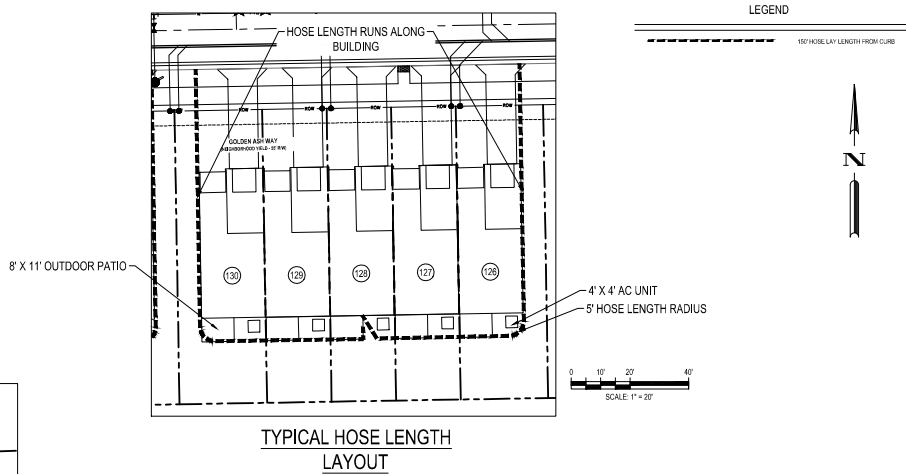
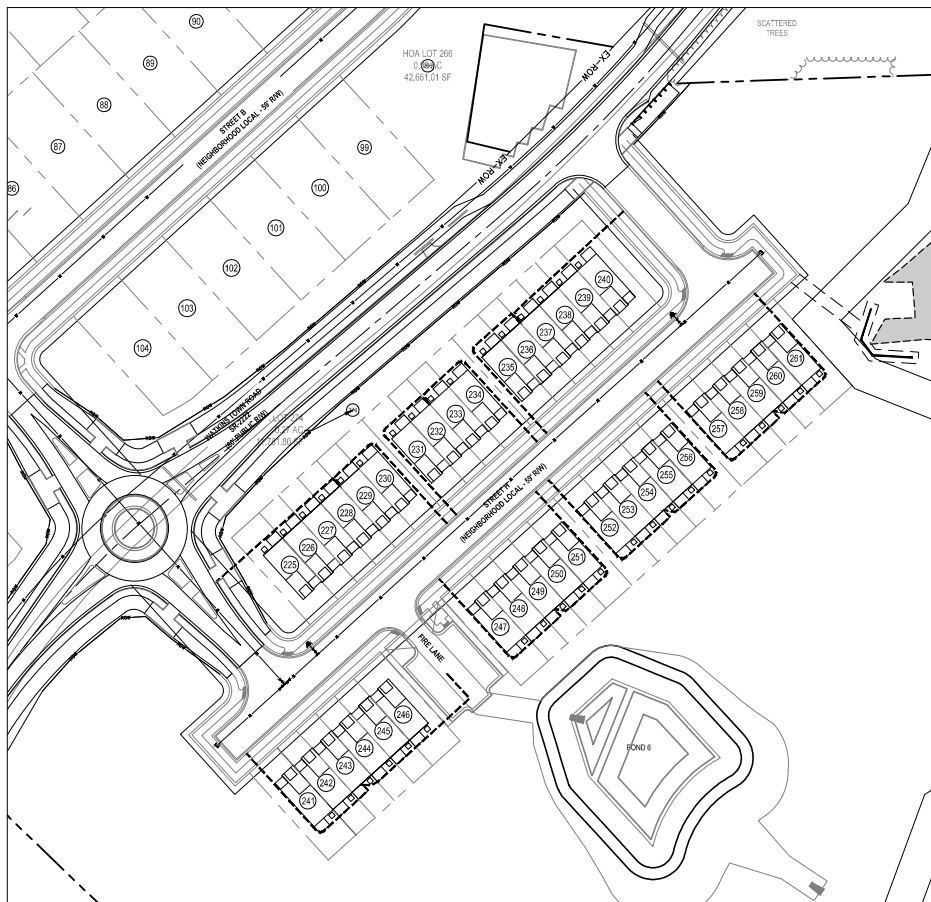


MENT

THIRD

TVIEW

4. FIRE HYDRANT SHALL BE LOCATED NOT MORE THAN 60' ALONG MAIN ROAD. ALTERNATE SITES ON BRIDGES/ROADS.
5. FIRE HYDRANTS SHALL BE AT EVEN NUMBERED STREET INTERSECTIONS.
6. *ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED BY THE DEPARTMENT.
7. FIRE HYDRANT SPACING: A. ALL BUILDINGS AND LOTS SHALL REQUIRE FIRE DEPARTMENT ACCESS COMPLING WITH NORTH CAROLINA FIRE PREVENTION CODE (NCFPC), CHAPTER 160 AND CONSTRUCTION STANDARDS, TITLE 150 (MATERIALS AND CONSTRUCTION) AND NCFPC, CHAPTER 160 (FIRE PREVENTION CODE). B. HYDRANTS SHALL BE LOCATED AT THE INTERSECTION OF THE LOT WITH THE ADJACENT LOT OR STREET. C. HYDRANTS, GATED DRIVEWAYS AND ALLEYS, AND TRUCK CIRCLES ARE OF SPECIAL CONSIDERATION. SEE ALTERNATIVE C-2 FOR DETAILS ON GATED DRIVEWAYS (P. 17-29).
8. MINIMUM ALLOWED TURNING RADIUS OF 20 FEET MUST BE MAINTAINED THROUGHOUT THE ENTIRE PLAN FOR ANY ACCESS LINES THAT WOULD COMMONLY BE USED BY FIRE DEPARTMENT VEHICLES.
9. FIRE DEPARTMENT ACCESS LINES MUST ALLOW A MINIMUM DRIVEWAY WIDTH OF 10' AT ALL PORTIONS OF THE FIRST FLOOR. BUILDINGS THAT DO NOT COMPLY MUST BE REDESIGNED TO ACCOMMODATE FIRE DEPARTMENT ACCESS LINES.
10. DRIVEWAYS, ALLEYS AND ACCESS ARE NOT REQUIRED TO BE CONCRETE OR ASPHALT BUT ARE REQUIRED TO BE IMPROVED TO ACCEPT TRUCK TRAFFIC.
11. DRIVEWAY ACCESS SHALL BE LOCATED SUCH THAT IT DOES NOT INTERFERE WITH A DRIVEWAY APPROXIMATELY 10' FROM THE FIRE DEPARTMENT ZONE OF IMPACT ON THE DRIVEWAY.



NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



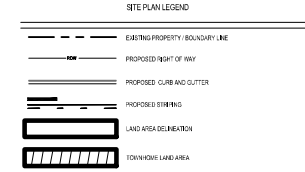
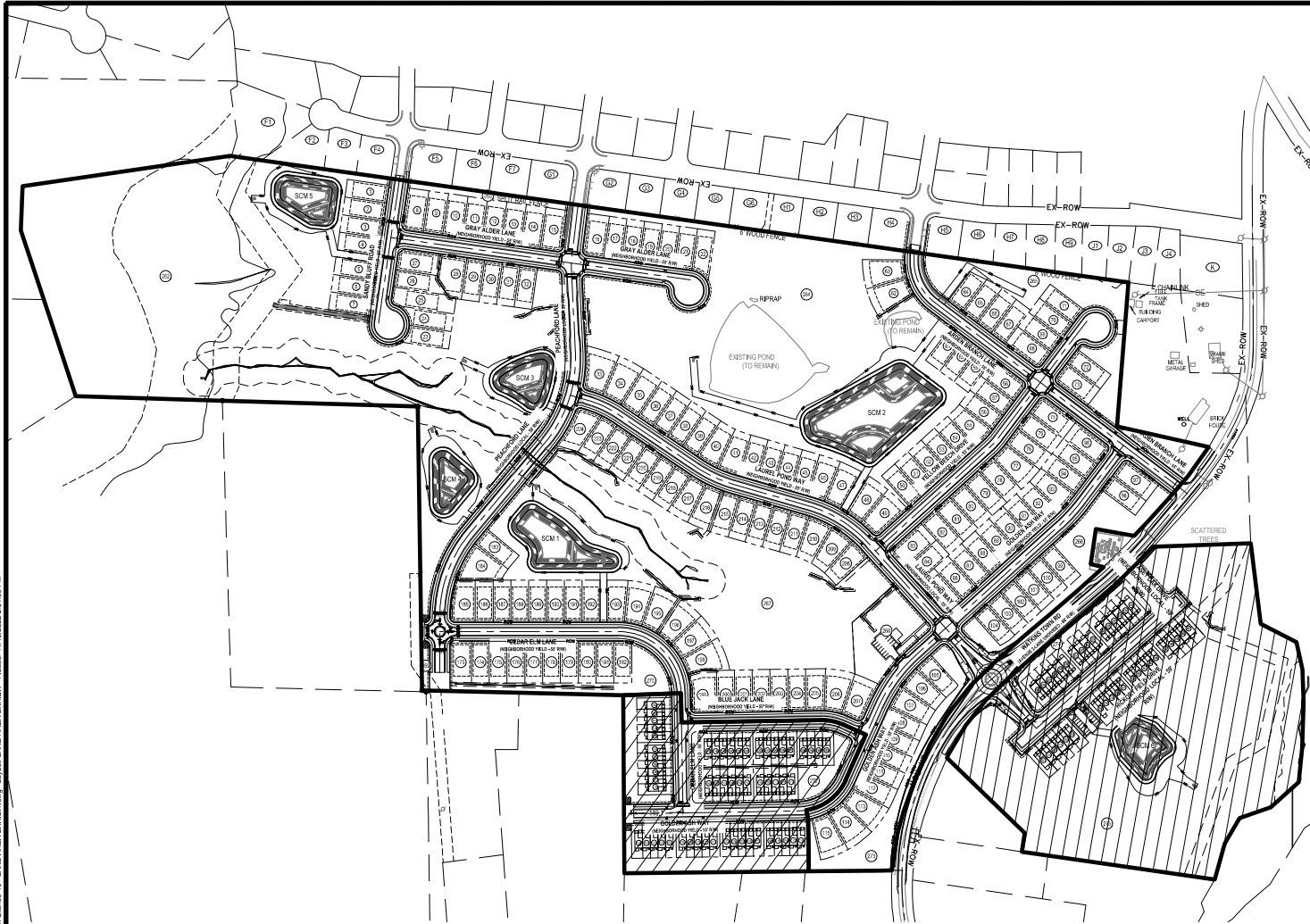
Know what's below.
Call before you dig.

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4340 at least twenty-four hours prior to beginning any of their construction.

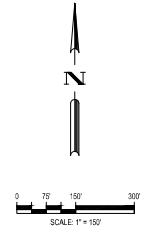
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

FILE NUMBER: 8430-00		DATE: 11/16/2022	
C3-6			
<p>EVERLEE SUBDIVISION PRELIMINARY SUBDIVISION PLAN HOSE LENGTH EXHIBIT</p>			
<p>1100 PLEASANTVIEW DRIVE, SUITE 112 KALEIGH, NC 27601 919.487.1100 WWW.BGEE.COM NC LICENSE #C-4587</p>			
<p>5440 WILSON PARKWAY, SUITE 102 KALEIGH, NC 27601 919.487.1100 WWW.BGEE.COM NC LICENSE #C-4587</p>			
<p>DESIGNED BY: TWJAP</p>		<p>DATE: 11/16/2022</p>	
<p>DRAWN BY: CDAP</p>		<p>REVIEW DATE: 11/16/2022</p>	
<p>REVIEWED BY: JDU</p>		<p>REVIEW DESCRIPTION:</p>	
<p>CITY OF KALEIGH COMMENTS - THIRD REVIEW</p>		<p>10/4/2022</p>	
<p>CITY OF KALEIGH COMMENTS - SECOND REVIEW</p>		<p>7/22/2022</p>	
<p>CITY OF KALEIGH COMMENTS - FIRST REVIEW</p>		<p>3/18/2022</p>	



LAND AREA DELINEATION TABLE	
OVERALL SITE GROSS AREA (TOTAL)	4,573,451.52 SF (104.98 ACRES)
WATKINS TOWN ROAD (EXISTING RIGHT OF WAY DEDICATION)	74,052.00 SF (1.70 ACRES)
CYNTHIA S. PERRY PARTIAL LAND SALE (PIN #1747711222)	101,494.80 SF (2.33 ACRES)
REMAINING SITE AREA	4,397,904.72 (100.96 ACRES)
SINGLE FAMILY LAND AREA	3,476,565.88 SF (79.81 ACRES)
TOWNHOME LAND AREA	921,338.84 SF (21.15 ACRES)
PROPOSED TOWNHOME UNITS	94 UNITS
PROPOSED TOWNHOME DENSITY	9.81-48 SF PER UNIT
MINIMUM TOWNHOME DENSITY	3,000 SF PER UNIT



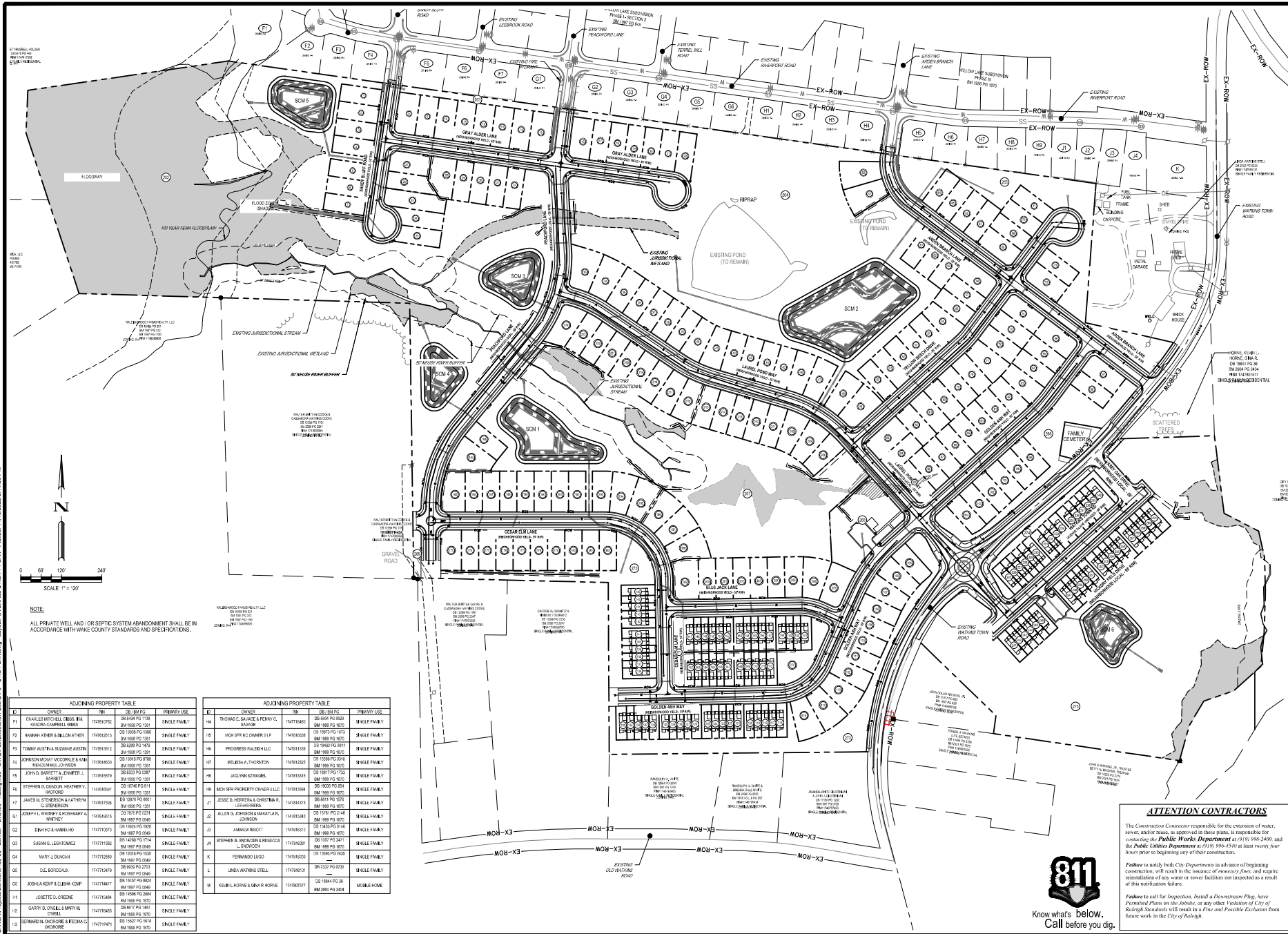
ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2400, and the **Public Utilities Department** at (919) 996-2500 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

FILE NUMBER: 8430-00	DATE:11/16/2022	C3-7
LAND AREA EXHIBIT		
EVERLEE SUBDIVISION PRELIMINARY SUBDIVISION PLAN 1100 PERIMETER PARK DRIVE, SUITE 112 RALEIGH, NC 27606		
LENNAR CORPORATION 1100 PERIMETER PARK DRIVE, SUITE 112 MONROVILLE, NC 27060		
EGE 5440 VALE PARK BLVD, SUITE 102 RALEIGH, NC 27607 NC LICENSE #C-4397		
DESIGNED BY: CD/AP	DESIGNED BY: CD/AP	DESIGNED BY: CD/AP
REVIEWED BY: JDU	REVIEWED BY: JDU	REVIEWED BY: JDU
DATE	DATE	DATE
REV	REV	REV
CITY OF RALEIGH COMMENTS - THIRD REVIEW 10/4/2022		
CITY OF RALEIGH COMMENTS - SECOND REVIEW 7/22/2022		
CITY OF RALEIGH COMMENTS - FIRST REVIEW 3/16/2022		



NOTE
ALL PRIVATE WELL AND/OR SEPTIC SYSTEM ABANDONMENT SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS AND SPECIFICATIONS.

ID	OWNER	STREET	DEED NO.	DEED DATE	PROPERTY USE
F1	CHARLES MITCHELL BRUBAKER, III	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F2	WARRIOR OTHER & SULLIVAN OTHER	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F3	TOMMY ALLEN & SUZANNE ALLEN	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F4	JONATHAN W. JACOBSON & KAREN JACOBSON	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F5	JOHN D. BARRETT & JENNIFER L. BARRETT	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F6	STEPHEN D. GOSSEL & HEATHER L. GOSSEL	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F7	JAMES H. STEVENSON & KATHRYN G. STEVENSON	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F8	JOSEPH L. WHEAT & ROSEMARY A. WHEAT	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F9	DEBRA H. & HANNA H.	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F10	SILVIA G. LEGATOWICZ	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F11	MARY J. DUGAN	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F12	DE. BODOSIAK	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F13	JOSHUA KEMP & ELIANA KEMP	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F14	JOSETE C. GREENE	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F15	GARRY D. O'NEILL & MARY M. O'NEILL	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY
F16	BERNARD A. OKOBE & KATHA OKOBE	DEED 100-100-100	100-100-100	100-100-100	SINGLE FAMILY

ADJUDICATING PROPERTY TAX				
ID	OWNER	STREET	DEED NO.	PROPERTY USE
A1	THOMAS D. BAUNCE & PENNY C. BAUNCE	100-100-100	100-100-100	SINGLE FAMILY
A2	NON SPIC ACQUANTIA LLP	100-100-100	100-100-100	SINGLE FAMILY
A3	PROGRESS TALENT LLC	100-100-100	100-100-100	SINGLE FAMILY
A4	MELISSA A. THORNTON	100-100-100	100-100-100	SINGLE FAMILY
A5	JACQUIN ECKHART	100-100-100	100-100-100	SINGLE FAMILY
A6	MOH-SPE PROPERTY GROUP LLC	100-100-100	100-100-100	SINGLE FAMILY
A7	JOSE D. HERRERA & CHRISTINA R. LEBLANC	100-100-100	100-100-100	SINGLE FAMILY
A8	ALLEN G. JOHNSON & KATHY L. JOHNSON	100-100-100	100-100-100	SINGLE FAMILY
A9	ANANDA MOULT	100-100-100	100-100-100	SINGLE FAMILY
A10	STEPHEN D. BROWN & REBECCA L. BROWN	100-100-100	100-100-100	SINGLE FAMILY
A11	K. PERNANDO LUGO	100-100-100	100-100-100	SINGLE FAMILY
A12	LINDA WATKINS STELL	100-100-100	100-100-100	SINGLE FAMILY
A13	KEVIN L. HORNE & KATHA R. HORNE	100-100-100	100-100-100	MOBILE HOME

ATTENTION CONTRACTORS

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1/16/2022 CITY OF RALEIGH COMMENTS - THIRD REVIEW

1/16/2022 CITY OF RALEIGH COMMENTS - SECOND REVIEW

3/16/2022 CITY OF RALEIGH COMMENTS - FIRST REVIEW

DATE

DESIGNED BY: TWIAP

DRAWN BY: CD/AD

REVIEWED BY: JDU

EGE

5440 VALLEY PARK BLVD, SUITE 102
RALEIGH, NC 27607
NC LICENSE #C-2897

LENNAR CORPORATION

1100 PERIMETER PARK DRIVE, SUITE 112
MONROVILLE, NC 27656

EVERLEE SUBDIVISION

PRELIMINARY SUBDIVISION PLAN
1100 PERIMETER PARK DRIVE, SUITE 112
RALEIGH, NC 27656

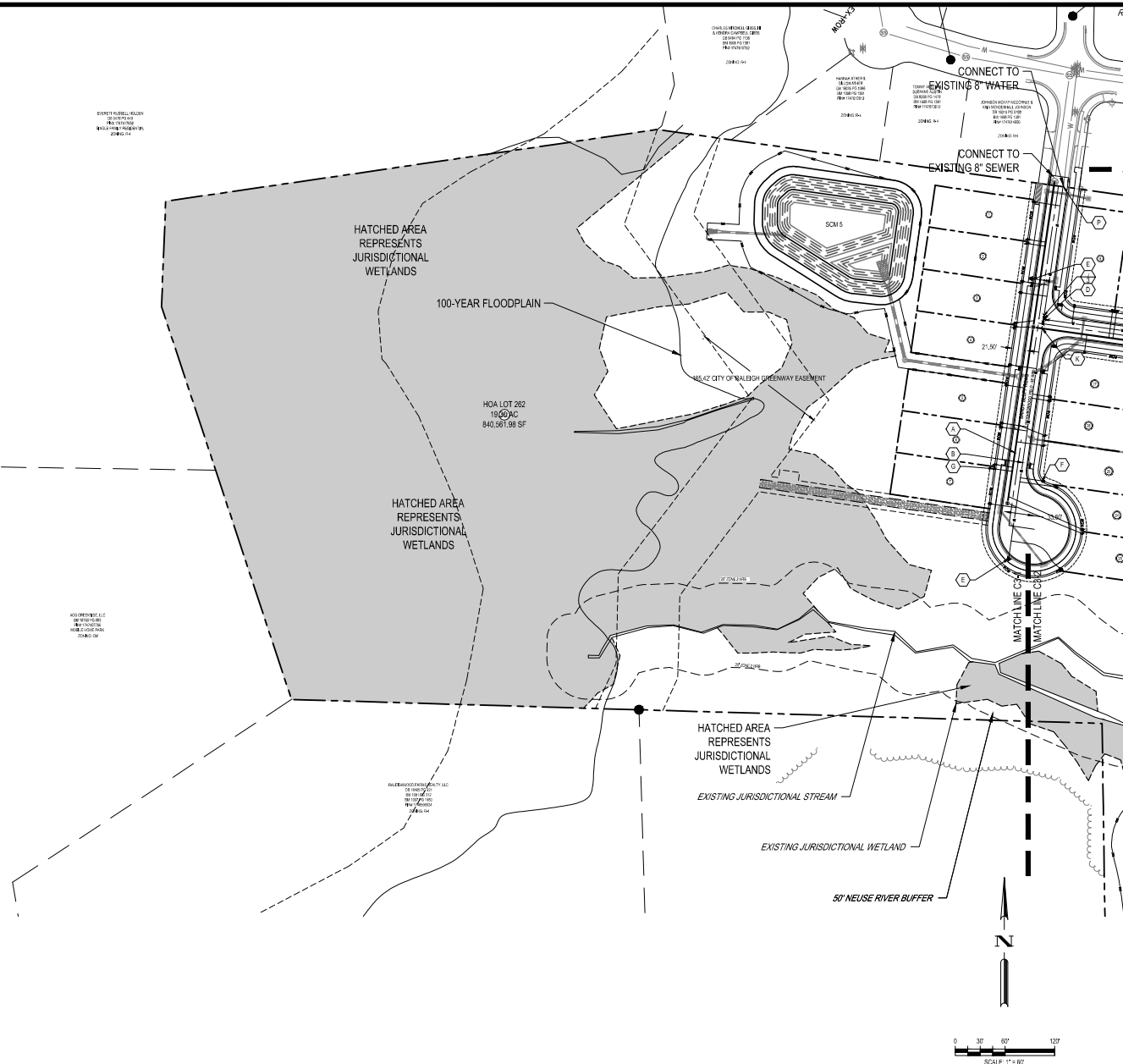
OVERALL UTILITY PLAN

FILE NUMBER: 8430-00

DATE: 1/16/2022

C8-0

C:\NCAN\Projects\amand\0300_4\amand - Everlee - Raleigh\103 - DWG\DWG\Sheet\03-Sub\11-UTL-PLAN.dwg Layout: UTILITY PLAN (1 OF 5) Plot Date: 11/16/2022 2:11:30 PM



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409 and the **Public Utilities Department** at (919) 996-2540 at least twenty-four hours prior to beginning any of their construction.

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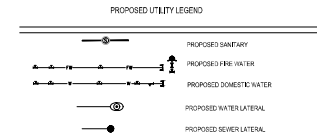
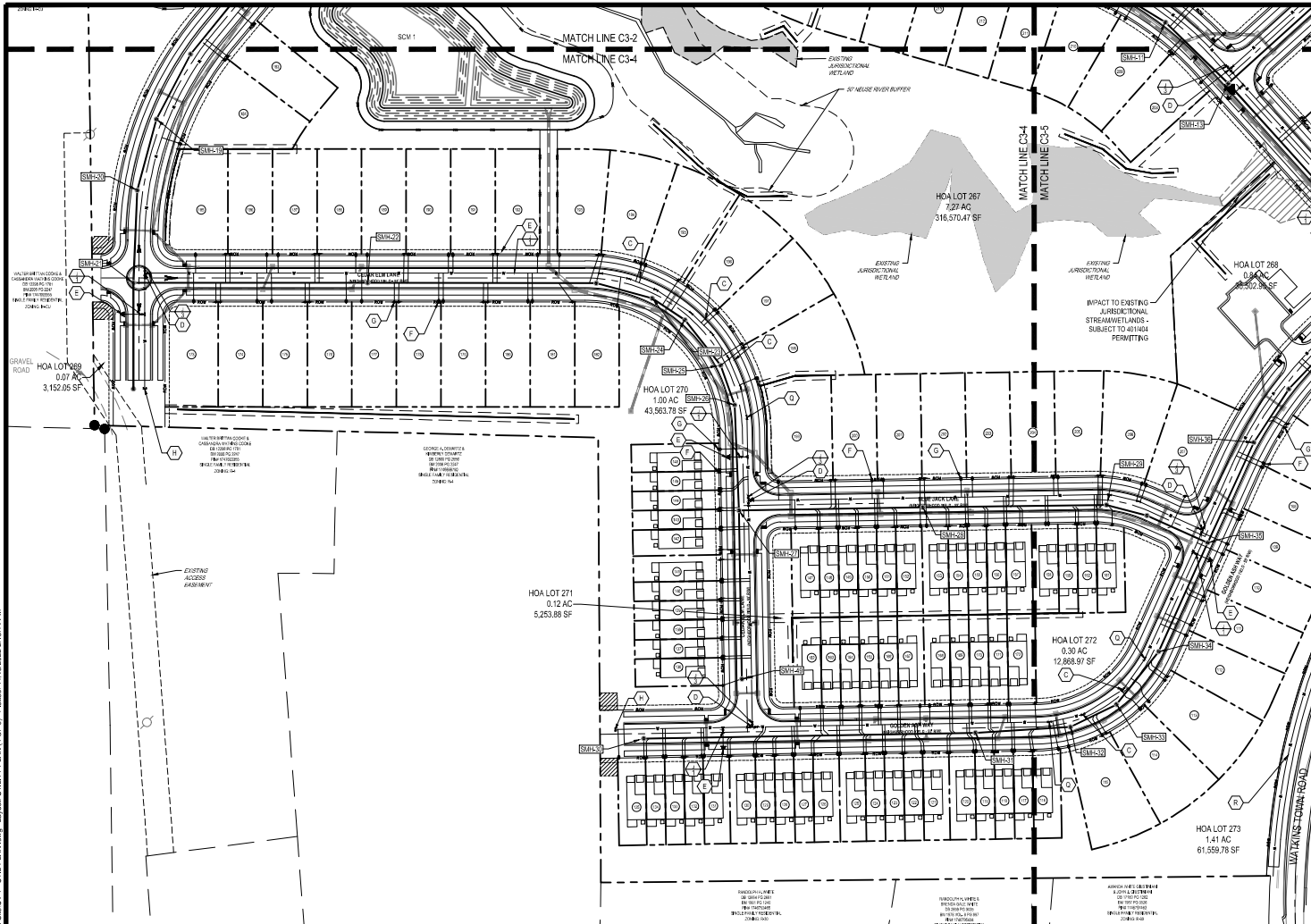
FILE NUMBER:	8430-00
DATE:	11/16/2022
C8-1	

DESIGNED BY:	TDW/AP
DRAWN BY:	CD/AP
REVIEWED BY:	JDU

10/4/2022	CITY OF RALEIGH COMMENTS - THIRD REVIEW
7/22/2022	CITY OF RALEIGH COMMENTS - SECOND REVIEW
3/16/2022	CITY OF RALEIGH COMMENTS - FIRST REVIEW

DATE	REV	DESCRIPTION
11/16/2022	1	PRELIMINARY SUBMITTAL PLAN
11/16/2022	2	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	3	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	4	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	5	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	6	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	7	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	8	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	9	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	10	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	11	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	12	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	13	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	14	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	15	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	16	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	17	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	18	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	19	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	20	1100 PERIMETER PARK DRIVE, SUITE 112
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11/16/2022	43	1100 PERIMETER PARK DRIVE, SUITE 112
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11/16/2022	66	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	67	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	68	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	69	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	70	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	71	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	72	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	73	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	74	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	75	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	76	1100 PERIMETER PARK DRIVE, SUITE 112
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11/16/2022	78	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	79	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	80	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	81	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	82	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	83	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	84	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	85	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	86	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	87	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	88	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	89	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	90	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	91	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	92	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	93	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	94	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	95	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	96	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	97	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	98	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	99	1100 PERIMETER PARK DRIVE, SUITE 112
11/16/2022	100	1100 PERIMETER PARK DRIVE, SUITE 112

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- UTILITY LEGEND
- UTILITY KEY NOTES
- A 8" SANITARY SEWER LINE
 - B 8" DP WATER LINE
 - C 8" 22.5' BEND W/ CONC. BLOCKING
 - D 8" TEE W/ CONC. BLOCKING
 - E FIRE HYDRANT ASSEMBLY WITH 8" VALVE (TYP.)
 - F PROPOSED 30" DOMESTIC METER SERVICE LATERAL (TYP.)
 - G PROPOSED 4" SEWER SERVICE LATERAL
 - H 8" 90° OFF ASSEMBLY
 - I 45° BEND W/ CONC. BLOCKING
 - J 8" VALVE
 - K WATER/SANITARY SEWER CROSSING
 - L 8" CROSS W/ CONC. BLOCKING
 - M 8" DP WATER LINE
 - N 8" 1/4" REDUCER
 - O 12" X 8" T&G
 - P 8" WATERLINE CAP
 - Q 12" DP BEND W/ CONC. BLOCKING
 - R 12" DP WATERLINE

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2400 and the **Public Utilities Department** at (919) 996-2540 at least twenty-four hours prior to beginning any of their construction.

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Know what's below.
Call before you dig.

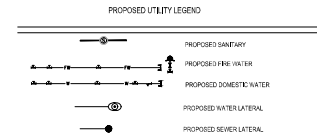
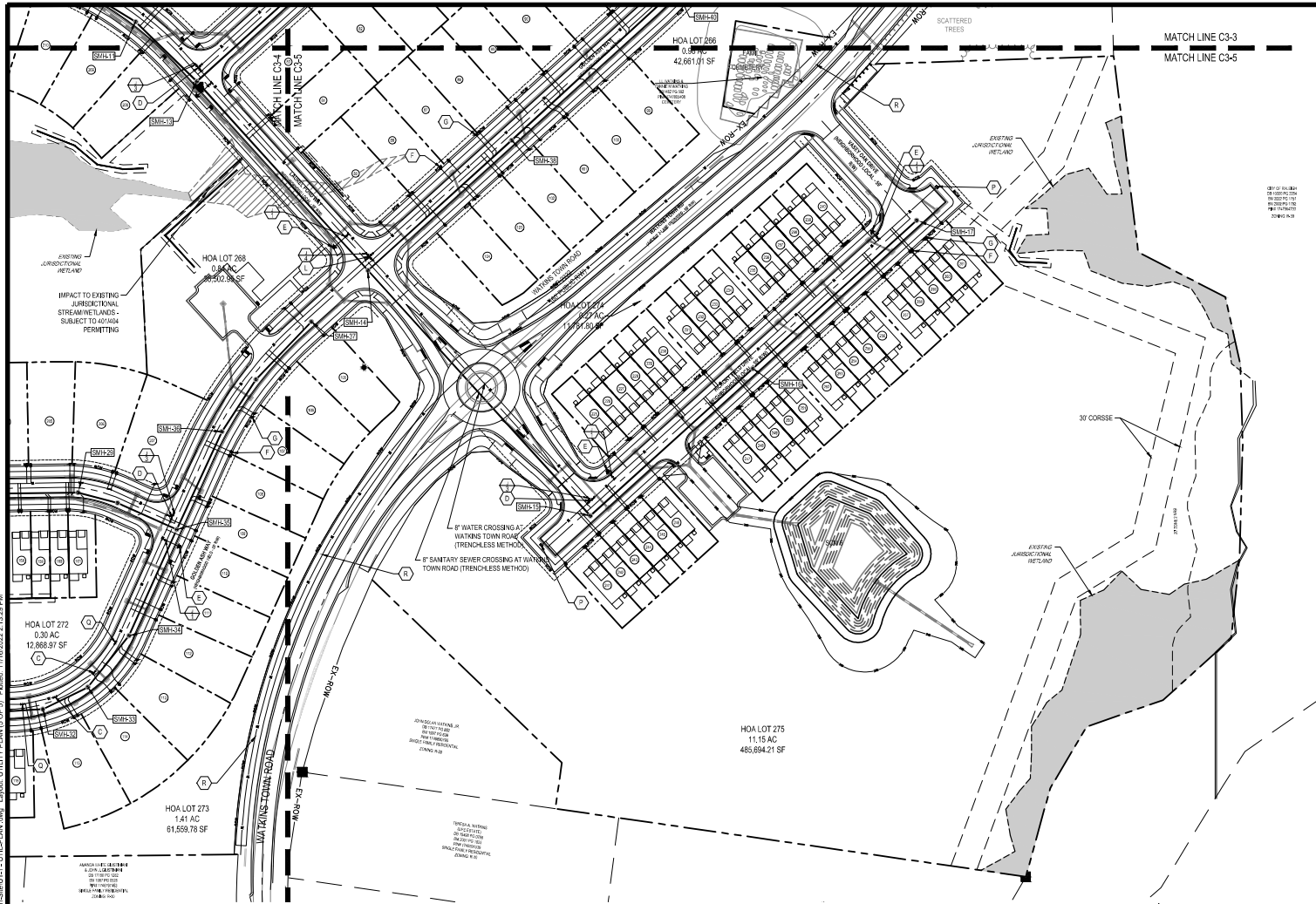
DATE	REV	DESCRIPTION
10/4/2022	1	CITY OF RALEIGH COMMENTS - THIRD REVIEW
7/22/2022	2	CITY OF RALEIGH COMMENTS - SECOND REVIEW
3/16/2022	3	CITY OF RALEIGH COMMENTS - FIRST REVIEW

DESIGNED BY:	TW/AP
DRAWN BY:	CD/AP
REVIEWED BY:	JDU

FILE NUMBER:	8430-00
DATE:	11/16/2022

C8-4

C:\NCAN\Projects\amand\0400 - Lennar - Everlee - Raleigh\111602022 2 13 26 PM - Layout Utility Plan (5 of 5).dgn Layout Utility Plan (5 of 5) R. Phelan 11/16/2022 2:13:26 PM



- UTILITY KEY NOTES
- A 8" SANITARY SEWER LINE
 - B 8" DP WATER LINE
 - C 8" 22.5° BEND W/ CONC. BLOCKING
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 - K WATER/SANITARY SEWER CROSSING
 - L 8" CROSS W/ CONC. BLOCKING
 - M 8" DP WATER LINE
 - N 8" 1/4" REDUCER
 - O 12" X 8" TRAP
 - P 8" WATERLINE CAP
 - Q 8" 112.5° BEND W/ CONC. BLOCKING
 - R 12" DP WATER LINE

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ATTENTION CONTRACTORS

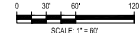
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409 and the **Public Utilities Department** at (919) 996-2540 at least twenty-four hours prior to beginning any of their construction.

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DATE	REV	DESCRIPTION
11/16/2022	1	CITY OF RALEIGH COMMENTS - THIRD REVIEW
11/16/2022	2	CITY OF RALEIGH COMMENTS - SECOND REVIEW
11/16/2022	3	CITY OF RALEIGH COMMENTS - FIRST REVIEW

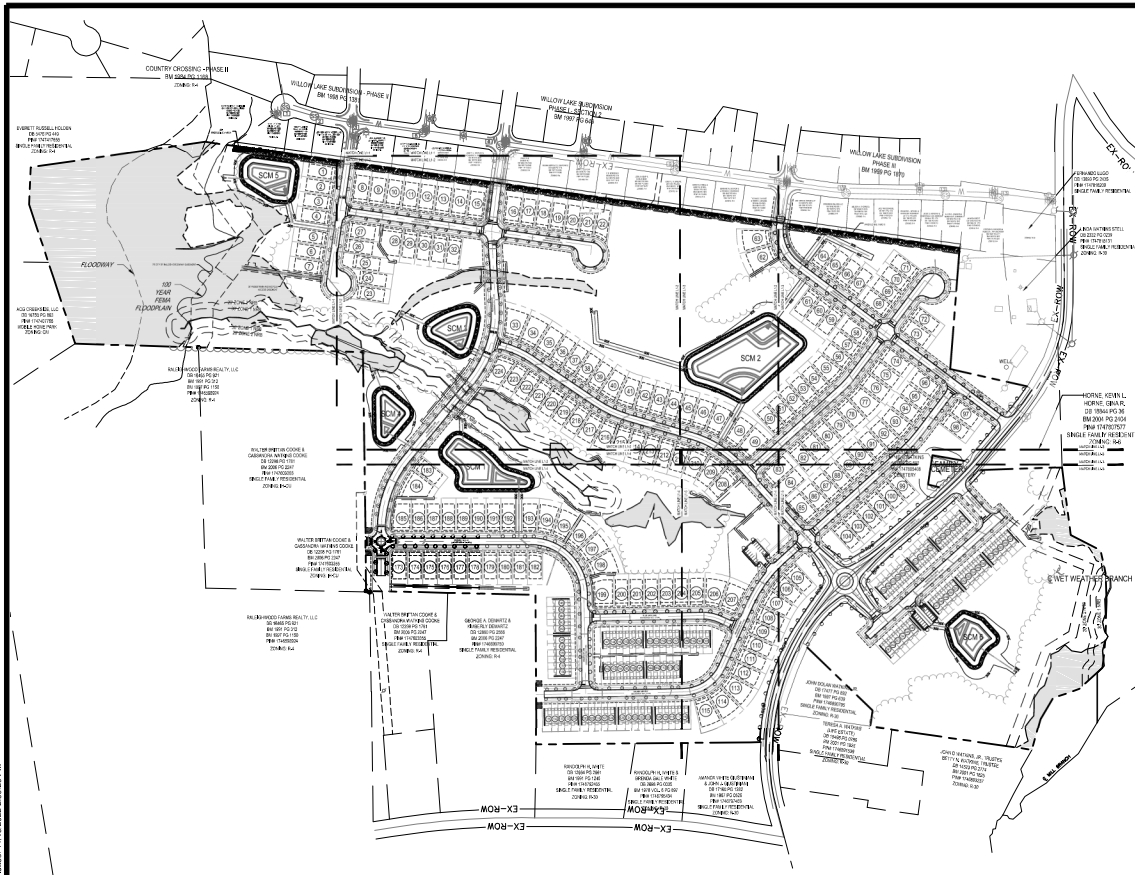
FILE NUMBER: 8430-00	DATE: 11/16/2022	C8-5
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LENNAR CORPORATION
1100 PERIMETER PARK DRIVE, SUITE 112
MONROVILLE, NC 27059

EVERLEE SUBDIVISION
PRELIMINARY SUBDIVISION PLAN
1100 PERIMETER PARK DRIVE, SUITE 112
MONROVILLE, NC 27059

UTILITY PLAN (5 OF 5)

811
Know what's below.
Call before you dig.



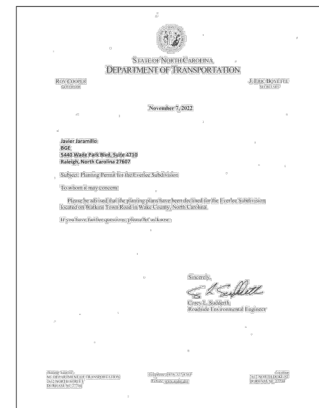
PLANT SCHEDULE						
	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER
LARGE SHADE TREES	AF	73	SOUTHERN SUGAR MAPLE	ACER FLORIDANUM	10' MIN.	3" CAL. MIN.
	ON	68	NUTTALL OAK	QUERCUS NUTTALLI	10' MIN.	3" CAL. MIN.
	UP	68	AMERICAN ELM	ULMUS AMERICANA	10' MIN.	3" CAL. MIN.
	LT	117	TULIP POPLAR	LIRIODENDRON TULIPIFERA	10' MIN.	3" CAL. MIN.
	QP	129	WILLOW OAK	QUERCUS PHILLIPS	10' MIN.	3" CAL. MIN.
	QA	60	WHITE OAK	QUERCUS ALBA	10' MIN.	3" CAL. MIN.
MEDIUM SHADE TREES	QF	56	SOUTHERN RED OAK	QUERCUS FALCATA	10' MIN.	3" CAL. MIN.
	GB	60	GINKGO	GINKGO BILOBA	10' MIN.	3" CAL. MIN.
	CB	69	EUROPEAN HORNBEE	CARPINUS BETULUS	10' MIN.	3" CAL. MIN.
UNDERSTORY TREES	PC	50	CAROLINA CHERRY LAUREL	PRUNUS CAROLINIANA	6' MIN.	1.5" CAL. MIN.
	AG	50	SERVICEBERRY	AMELANCHIER GRANDIFLORA	6' MIN.	1.5" CAL. MIN.
	IC	1,408	DWARF BURFORD HOLLY	ILEX CORNUTA DWARF BURFORD	18" MIN.	3 CAL.
SHRUBS	PL	431	ENGLISH LAUREL	PRUNUS LAURACERUSUS	18" MIN.	3 CAL.
			QUANTITY			
PLANTING SYMBOLS						
NOTE TO CONTRACTOR: IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DOES NOT MATCH QUANTITIES IN PLANT LIST, GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS WILL GOVERN.						

LANDSCAPE REQUIREMENTS

STREET TREE REQUIREMENTS	
1 SHADE TREE EVERY 40' O.C.	
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.	
LAUREL POND WAY	
REQUIRED:	2,646' LENGTH (BOTH SIDES) / 40' = 67 TREES
PROVIDED:	74 TREES
GOLDEN ASH WAY	
REQUIRED:	3,809' LENGTH (BOTH SIDES) / 40' = 96 TREES
PROVIDED:	96 TREES
YELLOW BEECH DRIVE	
REQUIRED:	1,772' LENGTH (BOTH SIDES) / 40' = 45 TREES
PROVIDED:	45 TREES
CEDAR ELM LANE	
REQUIRED:	2,219' LENGTH (BOTH SIDES) / 40' = 56 TREES
PROVIDED:	60 TREES
BLUE JACK LANE	
REQUIRED:	1,046' LENGTH (BOTH SIDES) / 40' = 27 TREES
PROVIDED:	27 TREES
GRAY ALDER LANE	
REQUIRED:	1,746' LENGTH (BOTH SIDES) / 40' = 43 TREES
PROVIDED:	43 TREES
HICKORY FIELD DRIVE	
REQUIRED:	1,234' LENGTH (BOTH SIDES) / 40' = 31 TREES
PROVIDED:	31 TREES
VALEY OAK DRIVE	
REQUIRED:	274' LENGTH (BOTH SIDES) / 40' = 7 TREES
PROVIDED:	7 TREES
PEACH FORD LANE	
REQUIRED:	3,010' LENGTH (BOTH SIDES) / 40' = 76 TREES
PROVIDED:	76 TREES
SANDY BLUFF RD	
REQUIRED:	894' LENGTH (BOTH SIDES) / 40' = 23 TREES
PROVIDED:	23 TREES
ARDEN BRANCH LANE	
REQUIRED:	2,102' LENGTH (BOTH SIDES) / 40' = 53 TREES
PROVIDED:	53 TREES

PROTECTIVE YARD

PROTECTIVE YARD 1	
REQUIRED:	TYPE B1 PROTECTIVE YARD (20' WIDTH)
	4 SHADE TREES PER 100' (2,497' LENGTH) / 100' X 4 TREES = 100 SHADE TREES
	4 UNDERSTORY TREES PER 100' (2,497' LENGTH) / 100' X 4 TREES = 100 UNDERSTORY TREES
	40 SHRUBS PER 100' (2,497' LENGTH) / 100' X 40 SHRUBS = 960 SHRUBS (7 MIN. HEIGHT)
PROVIDED:	100 SHADE TREES
	100 UNDERSTORY TREES
	1079 SHRUBS
NOTE: ALL AREAS TO BE REPLANTED WITHIN THE DESIGNATED UNWOODED PLANTED AREAS ARE TO BE PLANTED PER COR UDO 9.1.8.A.	



NOTE: CONTRACTOR SHALL INCLUDE (IN BASE BID) COSTS FOR ALL CITY REQUIRED BACKFILL / SOIL AMENDMENT REQUIREMENTS WITHIN LANDSCAPING AREAS INCLUDING PLANTING STRIPS.

ATTENTION CONTRACTORS

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LANDSCAPE NOTES

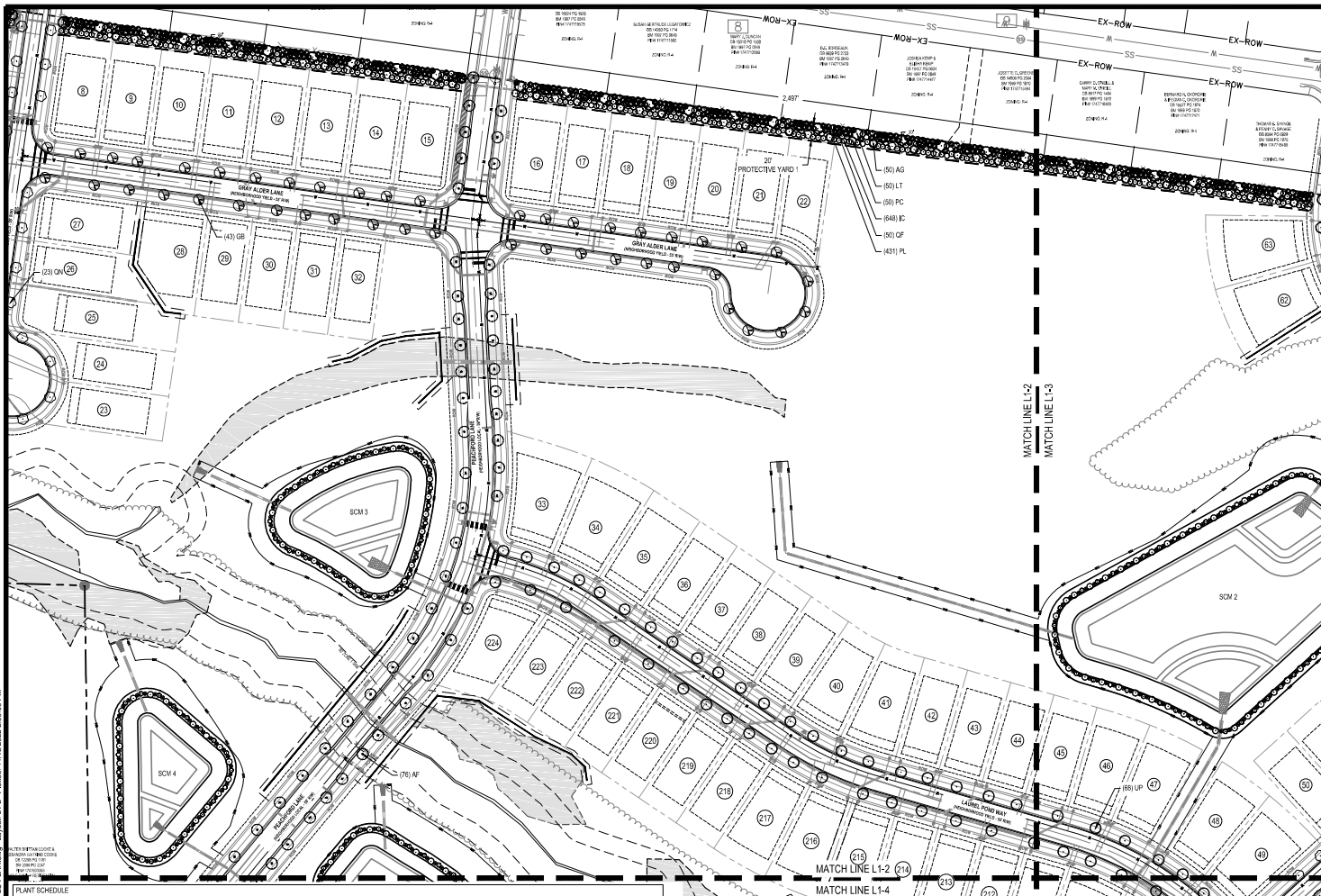
- ALL LANDSCAPE AREAS SHALL RECEIVE A MINIMUM OF 4" OF CLEAN FRABLE TOPSOIL FREE OF ROCKS, ROOTS, AND OTHER DESTRUCTIVE MATERIALS.
- ALL PLANT MATERIAL SHALL BE HEALTHY, MATURE, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN, FIELD GROWN, BALLED AND BURLAPPED OR AS INDICATED IN THE PLANT LIST.
- NEW TREES SHALL MEET REQUIREMENTS AS SPECIFIED. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTISTEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE "TYPICAL" SPECIES AND VARIETY HAVE NORMAL GROWTH HABITS, HAVE WELL DEVELOPED BRANCHES, BE VIGOROUS AND HAVE ROBUST ROOT SYSTEMS. TREES WITH MAJOR BRIDGING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHAVED, TOPPED OR CUT BACK TO MULTIPLE BRANCHING STRUCTURE WILL NOT BE ACCEPTED.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUDED OR STAKED AS SHOWN IN THE DETAILS OR PER LOCAL JURISDICTIONAL REQUIREMENTS.
- AFTER BEING CUT AT THE NURSERY SOURCE, ALL TREES MUST BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1) AS A MINIMUM FOR QUALITY REQUIREMENTS.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM OF FOUR INCHES (4") OF MULCH. MULCH SHALL BE ACQUIRED FROM A LOCAL SOURCE AND HARVESTED IN A SUSTAINABLE MANNER.
- PLANT SPACING IS AS INDICATED ON PLANT SCHEDULE UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVERAGE IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
- PLANT SPACING IS AS INDICATED ON PLANT SCHEDULE UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVERAGE IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
- TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF EIGHT FEET (8').
- TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF EIGHT FEET (8'). SHRUBS IN VISIBILITY EASEMENTS SHALL HAVE A MINIMUM HEIGHT OF 24" AND COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS.
- TREES OVERHANGING PUBLIC STREET PAVEMENT SHALL HAVE A MINIMUM CLEAR TRUNK OF FOURTEEN FEET (14').
- ALL TREES NOT LOCATED IN A LANDSCAPE BED ARE TO RECEIVE A FOUR FOOT (4') DIAMETER MULCH-RING.
- ALL PLANT BEDS AND LAWN AREAS SHALL HAVE A 4" VIRECHEN EDGE.

PLANTING MIX NOTES:

- EXISTING COMPACTED SOIL MUST BE REMOVED AND REPLACED WITH 24" OF PLANTING MIX. EXISTING SOIL MAY BE UNCOMPACTED TO A DEPTH OF 24" AND AMENDED TO MEET PLANTING MIX REQUIREMENTS.
- SOIL IN ALL PLANTING STRIPS, ISLANDS AND PLANTING BEDS, WHETHER EXISTING OR NEW (ON NEW OR RENOVATED STREETS), MUST MEET THE MINIMUM PLANTING MIX SPECIFICATIONS. SOIL AMENDMENTS OR FRESH PLANTING MIX ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE THE ORIGINAL TOPSOIL IS OF POOR QUALITY. HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED TO GRADE.
- PLANTING MIX SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER. PLANTING MIX SHALL CONTAIN NOT MORE THAN 1% OF ORGANIC MATTER UNLESS OTHERWISE SPECIFIED.
- PLANTING MIX HAVE AN ACIDITY OF 5.5 - 7.0 PH.
- ACCEPTABLE PLANTING MIX SHALL CONTAIN THE FOLLOWING SPECIFIED PERCENTAGES OF CONSTITUENTS:
CLAY - MINIMUM 10% MAXIMUM 40%
SAND - MINIMUM 20% MAXIMUM 50%
SILT - MINIMUM 20% MAXIMUM 50%
ORGANIC MATTER - MINIMUM 5% MAXIMUM 10%
ORGANIC MATTER B (SEEN AS COMPOST) SUCH AS SAWDUST OR LEAF MULD THAT HAS COMPLETED THE DECOMPOSITION PROCESS. PERCENTAGE OF ORGANIC MATTER SHALL BE DETERMINED BY LOSS ON IGNITION OF MOISTURE FREE SAMPLES DRIED AT 60 DEGREES.
- PLANTING MIX SHALL HAVE NORMAL CONTENTS OF NITROGEN, PHOSPHORUS, POTASSIUM, CALCIUM, MAGNESIUM, SULFUR AND PROPER MICRONUTRIENT LEVELS. NUTRIENT LEVELS MUST SATISFY GROWING NEEDS AS RECOMMENDED BY LAB REPORT OF THE EXISTING OR PLANNED PLANT MATERIAL.

GENERAL NOTES:

- PRIOR TO CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITY LINES ADJACENT TO WORK AREAS. CONTRACTOR SHALL PROTECT ALL UTILITY LINES AND ADJACENT TO THE WORK AREA DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, OR OTHER SITE APPURTENANCES, WHICH OCCUR AS A RESULT OF WORK PERFORMED BY THE CONTRACTOR, OR ANY OF THEIR SUBCONTRACTORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULE OF DELIVERY AND PROTECTION OF PLANT MATERIALS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING ALL OF THE PLANT MATERIALS AND LAWN FOR THE FULL MAINTENANCE PERIOD OF THE CONTRACT. THIS SHALL INCLUDE, BUT MAY NOT BE LIMITED TO: WATERING, MULCHING AND PEST CONTROL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNWOODED AREAS ON SITE OR OFF SITE FOR ANY DESTROYED AREA. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR RIG GRADING AND AN ADDITIONAL 1% REQUIRED TO ACHIEVE FINISH GRADE PRIOR TO PLANTING IN ALL AREAS.
- ANY PLANT MATERIAL WHICH IS DISEASED, INFESTED, DEAD, OR OTHERWISE REJECTED, PRIOR TO SUBSTANTIAL COMPLETION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY.
- THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
- PRIOR TO PLANTING, SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ACROSS THE SITE, AND LAB TESTED, TO CONFIRM PROPER SOIL CONDITION AND NUTRIENT LOAD FOR THE ESTABLISHMENT OF THE SPECIFIED PLANT MATERIALS. IF UNACCEPTABLE PH OR INADEQUATE SOIL NUTRIENTS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER'S AGENT, REFER TO PLANTING MIX NOTES.
- FINAL GRASSING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE IN THE FIELD PRIOR TO TESTING.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SOODING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO LAYING SOO.
- THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.



PLANT SCHEDULE						
LARGE SHADE TREES						
CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
AF	73	SOUTHERN SUGAR MAPLE	ACER FLORIDANUM	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
ON	68	NUTTALL OAK	QUERCUS NUTTALLI	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
UP	68	AMERICAN ELM	ULMUS AMERICANA	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
LT	117	TULIP POPLAR	LIRIODENDRON TULIPIFERA	10' MIN.	3" CAL. MIN.	STREET TREE, PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
QP	139	WILLOW OAK	QUERCUS PHELLOS	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
QA	60	WHITE OAK	QUERCUS ALBA	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
QF	60	SOUTHERN RED OAK	QUERCUS FALCATA	10' MIN.	3" CAL. MIN.	PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
GB	60	GINKGO	GINKGO BILOBA	10' MIN.	3" CAL. MIN.	STREET TREE, MALE / FRUITLESS ONLY, WELL MATCHED SPECIMENS / FULL CROWN
MEDIUM SHADE TREES						
CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
CB	89	EUROPEAN HORNBEECH	CARPINUS BETULUS	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
UNDERSTORY TREES						
CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
PC	50	CAROLINA CHERRY LAUREL	PRUNUS CAROLINIANA	6' MIN.	1.5" CAL. MIN.	PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
AG	50	SERVICEBERRY	AMELANCHIER GRANDIFLORA	6' MIN.	1.5" CAL. MIN.	PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
SHRUBS						
CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
IZ	1,408	CHAMP-BURFORD HOLLY	ILEX CORNUTA CHAMP-BURFORD	18" MIN.	1.5 GAL.	PROTECTIVE YARD SHRUB, WELL MATCHED SPECIMENS / FULL CROWN
FL	431	ENGLISH LAUREL	PRUNUS LAUROCEASUS	18" MIN.	3 GAL.	PROTECTIVE YARD SHRUB, WELL MATCHED SPECIMENS / FULL CROWN
PLANTING SYMBOLS						
QUANTITY						
PLANT CODE						
NOTE TO CONTRACTOR:						
IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DOES NOT MATCH QUANTITIES IN PLANT LIST, GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS WILL GOVERN.						

LANDSCAPE REQUIREMENTS

STREET TREE REQUIREMENTS
1 SHADE TREE EVERY 40' O.C.
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL

LAUREL POND WAY	REQUIRED: 2,848' LENGTH (BOTH SIDES) / 40' = 67 TREES PROVIDED: 74 TREES
GOLDEN ASH WAY	REQUIRED: 3,808' LENGTH (BOTH SIDES) / 40' = 96 TREES PROVIDED: 96 TREES
YELLOW BIRCH DRIVE	REQUIRED: 1,772' LENGTH (BOTH SIDES) / 40' = 44 TREES PROVIDED: 45 TREES
CEDAR ELM LANE	REQUIRED: 2,210' LENGTH (BOTH SIDES) / 40' = 56 TREES PROVIDED: 60 TREES
BLUE JACK LANE	REQUIRED: 1,048' LENGTH (BOTH SIDES) / 40' = 27 TREES PROVIDED: 27 TREES
GRAY ALDER LANE	REQUIRED: 1,718' LENGTH (BOTH SIDES) / 40' = 43 TREES PROVIDED: 43 TREES
HICKORY FIELD DRIVE	REQUIRED: 1,224' LENGTH (BOTH SIDES) / 40' = 31 TREES PROVIDED: 31 TREES
VASEY OAK DRIVE	REQUIRED: 274' LENGTH (BOTH SIDES) / 40' = 7 TREES PROVIDED: 7 TREES
PEACHTREE LANE	REQUIRED: 3,010' LENGTH (BOTH SIDES) / 40' = 76 TREES PROVIDED: 76 TREES
SANDY BLUFF RD	REQUIRED: 884' LENGTH (BOTH SIDES) / 40' = 23 TREES PROVIDED: 23 TREES
ARDEN BRANCH LANE	REQUIRED: 2,102' LENGTH (BOTH SIDES) / 40' = 53 TREES PROVIDED: 53 TREES

PROTECTIVE YARD

PROTECTIVE YARD 1	REQUIRED: TYPE B1 PROTECTIVE YARD (20' WIDTH) 4 SHADE TREES PER 100' (2,480' LENGTH / 100') X 4 TREES = 100 SHADE TREES 4 UNDERSTORY TREES PER 100' (2,480' LENGTH / 100') X 4 TREES = 100 UNDERSTORY TREES 40 SHRUBS PER 100' (2,480' LENGTH / 100') X 40 SHRUBS = 999 SHRUBS (3' MIN. HEIGHT)
PROVIDED:	100 SHADE TREES 100 UNDERSTORY TREES 100 SHRUBS

NOTE: ALL AREAS TO BE REPLANTED WITHIN THE DESIGNATED UNPOD PLANTED AREAS ARE TO BE PLANTED PER COR UDD 9.1.5.A.6.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2400, and the **Public Utilities Department** at (919) 996-2500 at least twenty-four (24) hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



Know what's below.
Call before you dig.

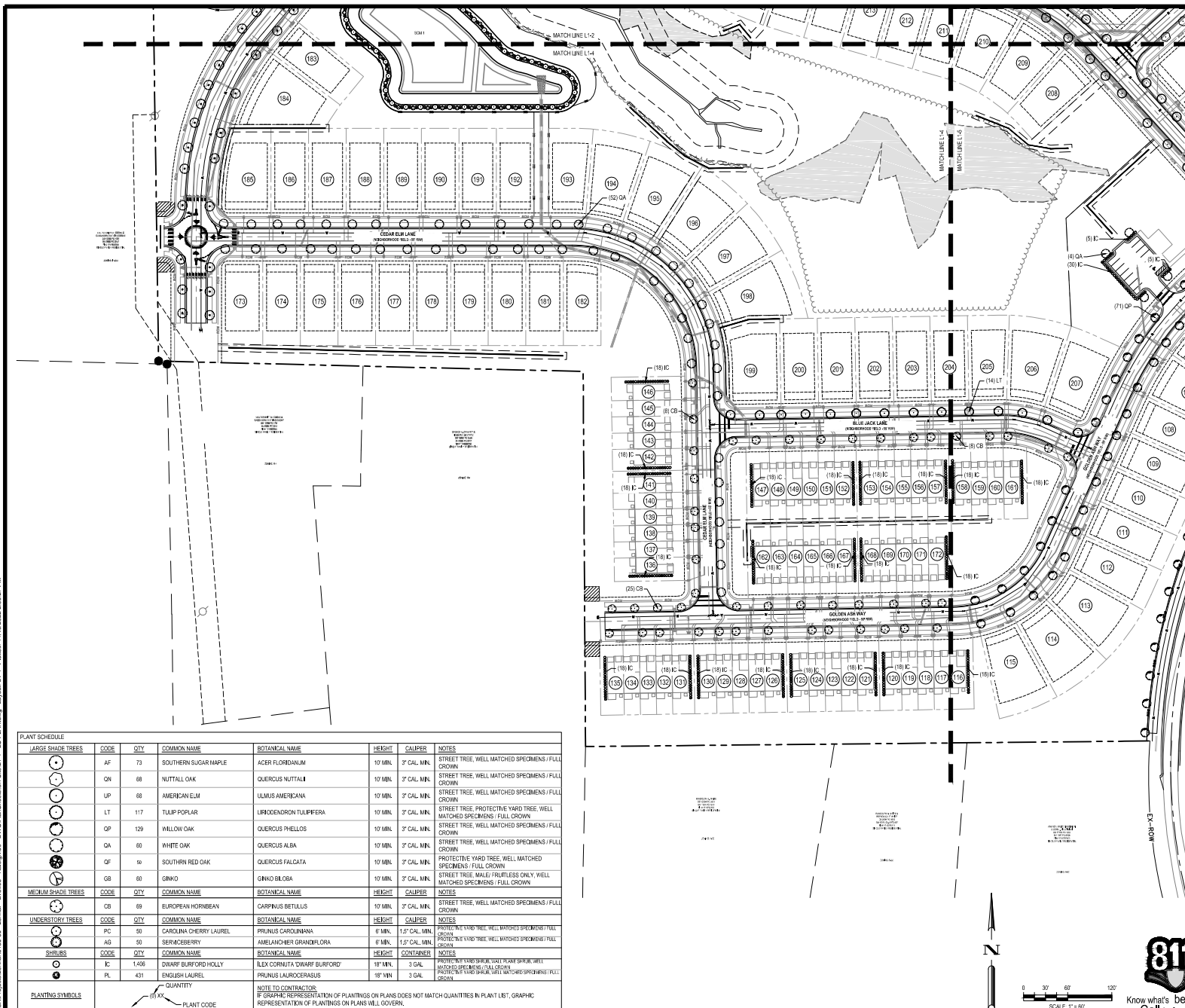
FILE NUMBER:	8430-00
DATE:	11/16/2022
L-1-2	

EVERLEE
SUBDIVISION
PRELIMINARY SUBDIVISION PLAN
1100 PERIMETER PARK DRIVE, SUITE 102
RALEIGH, NC 27607
N.C. LICENSE 6C-27616

LENNAR
CORPORATION
1100 PERIMETER PARK DRIVE, SUITE 102
RALEIGH, NC 27607
N.C. LICENSE 6C-27616

EGE
5440 VALLEY PARK BLVD, SUITE 102
RALEIGH, NC 27607
N.C. LICENSE 6C-2497

DESIGNED BY:	TW/AP
DRAWN BY:	CD/AP
REVIEWED BY:	JU
DATE:	11/16/2022
REV:	
DESCRIPTION:	
CITY OF RALEIGH COMMENTS - FIRST REVIEW	
CITY OF RALEIGH COMMENTS - SECOND REVIEW	
CITY OF RALEIGH COMMENTS - THIRD REVIEW	



LANDSCAPE REQUIREMENTS

STREET TREE REQUIREMENTS

STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

LAUREL POND WAY
REQUIRED: 2.04K LENGTH (BOTH SIDES) / 47 ~ 87 TREES
PROVIDED: 74 TREES

GOLDEN ASH WAY
REQUIRED: 3.80K LENGTH (BOTH SIDES) / 47 ~ 96 TREES
PROVIDED: 96 TREES

YELLOW BIRCH DRIVE
REQUIRED: 1.77K LENGTH (BOTH SIDES) / 47 ~ 45 TREES
PROVIDED: 45 TREES

CEDAR ELM LANE
REQUIRED: 2.21K LENGTH (BOTH SIDES) / 47 ~ 56 TREES
PROVIDED: 80 TREES

BLUE JACK LANE
REQUIRED: 1.04K LENGTH (BOTH SIDES) / 47 ~ 27 TREES
PROVIDED: 27 TREES

GRAY ALDER LANE
REQUIRED: 1.71K LENGTH (BOTH SIDES) / 47 ~ 43 TREES
PROVIDED: 43 TREES

HICKORY FIELD DRIVE
REQUIRED: 1.22K LENGTH (BOTH SIDES) / 47 ~ 31 TREES
PROVIDED: 31 TREES

VASEY OAK DRIVE
REQUIRED: 274' LENGTH (BOTH SIDES) / 47 ~ 7 TREES
PROVIDED: 7 TREES

PEACHFORD LANE
REQUIRED: 3.01K LENGTH (BOTH SIDES) / 47 ~ 76 TREES
PROVIDED: 76 TREES

SANDY BLUFF ROAD
REQUIRED: 884' LENGTH (BOTH SIDES) / 47 ~ 23 TREES
PROVIDED: 23 TREES

JADEN BRANCH LANE
REQUIRED: 2.10K LENGTH (BOTH SIDES) / 47 ~ 53 TREES
PROVIDED: 53 TREES

PROTECTIVE YARDS

PROTECTIVE YARD 1
REQUIRED: TYPE B1 PROTECTIVE YARD (20' WIDTH)
4 SHADE TREES PER 100' (2,497' LENGTH / 100') X 4 TREES = 100 SHADE TREES

TREES = 4 UNDERSTORY TREES PER 100' (2,497' LENGTH / 100') X 4
40 SHRUBS PER 100' (2,497' LENGTH / 100') X 40 SHRUBS = 999 SHRUBS (2' MIN. HEIGHT)

PROVIDED: 100 SHADE TREES
100 UNDERSTORY TREES
1075 SHRUBS

NOTE: ALL AREAS TO BE REPLANTED WITHIN THE DESIGNATED UNPLANTED AREAS ARE TO BE PLANTED PER CDD 0.8.1.8.6.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409 and the **Public Utilities Department** at (919) 996-2540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

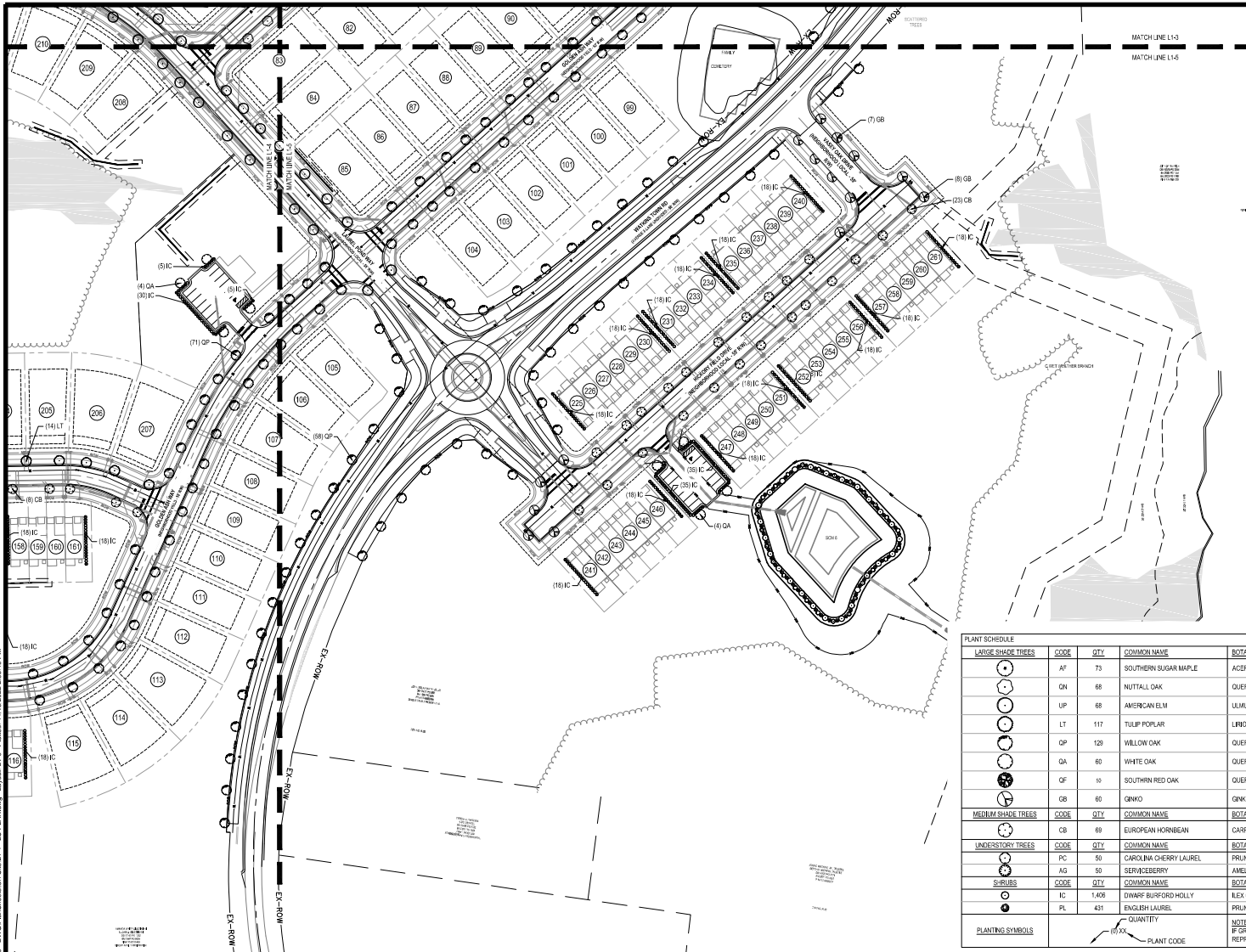
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Eviction from future work in the City of Raleigh.



Know what's below.
Call before you dig.

1/4/2022	CITY OF RALEIGH COMMENTS - THIRD REVIEW	DATE
7/22/2022	CITY OF RALEIGH COMMENTS - SECOND REVIEW	DATE
3/16/2022	CITY OF RALEIGH COMMENTS - FIRST REVIEW	DATE
DESIGNED BY:	CDIAP	REV
DRAWN BY:	CDIAP	REV
REVIEWED BY:	JDU	REV
DESCRIPTION	DATE	REV
EGE	5440 VALLEY PARK BLVD, SUITE 102 RALEIGH, NC 27607 NC LICENSE #C-4897	©2022
LENNAR CORPORATION	1100 PERIMETER PARK DRIVE, SUITE 112 MONROVILLE, NC 27656	
EVERLEE SUBDIVISION	PRELIMINARY SUBDIVISION PLAN RALEIGH, NC 27656	
LANDSCAPE PLAN (4 OF 5)		
FILE NUMBER:	8430-90	
DATE:	11/16/2022	
L1-4		

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LANDSCAPE REQUIREMENTS

STREET TREE REQUIREMENTS

1 SHADE TREE EVERY 40' C/S
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL

LAUREL POND WAY
REQUIRED: 2.84' LENGTH (BOTH SIDES) / 40' = 67 TREES
PROVIDED: 74 TREES

GOLDEN ASH WAY
REQUIRED: 3.00' LENGTH (BOTH SIDES) / 40' = 94 TREES
PROVIDED: 96 TREES

YELLOW BIRCH DRIVE
REQUIRED: 1.77' LENGTH (BOTH SIDES) / 40' = 46 TREES
PROVIDED: 45 TREES

CEDAR ELM LANE
REQUIRED: 2.21' LENGTH (BOTH SIDES) / 40' = 56 TREES
PROVIDED: 60 TREES

BLUE JACK LANE
REQUIRED: 1.04' LENGTH (BOTH SIDES) / 40' = 27 TREES
PROVIDED: 27 TREES

GRAY ALDER LANE
REQUIRED: 1.78' LENGTH (BOTH SIDES) / 40' = 45 TREES
PROVIDED: 45 TREES

HICKORY FIELD DRIVE
REQUIRED: 1.24' LENGTH (BOTH SIDES) / 40' = 31 TREES
PROVIDED: 31 TREES

VASBY OAK DRIVE
REQUIRED: 2.74' LENGTH (BOTH SIDES) / 40' = 7 TREES
PROVIDED: 7 TREES

PEACHTREE LANE
REQUIRED: 3.01' LENGTH (BOTH SIDES) / 40' = 76 TREES
PROVIDED: 76 TREES

SANDY BLUFF RD
REQUIRED: 88' LENGTH (BOTH SIDES) / 40' = 23 TREES
PROVIDED: 23 TREES












ARDEN BRANCH LANE
REQUIRED: 2.10' LENGTH (BOTH SIDES) / 40' = 53 TREES
PROVIDED: 53 TREES

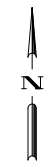
PROTECTIVE YARDS

PROTECTIVE YARD 1
REQUIRED: TYPE B1 PROTECTIVE YARD (20' WIDTH)
4 SHADE TREES PER 100' (2.40' LENGTH / 100' X 4 TREES = 100 SHADE TREES
4 UNDERSTORY TREES PER 100' (2.40' LENGTH / 100' X 4 TREES = 100 UNDERSTORY TREES
40 SHRUBS PER 100' (2.40' LENGTH / 100' X 40 SHRUBS = 999 SHRUBS (3 MIN. HEIGHT)
PROVIDED: 100 SHADE TREES
100 UNDERSTORY TREES
1000 SHRUBS

NOTE: ALL AREAS TO BE REPLANTED WITHIN THE DESIGNATED UNPOD PLANTED AREAS ARE TO BE PLANTED PER COR UDD 5.1.5.A.6.

PLANT SCHEDULE

LARGE SHADE TREES		CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
		AF	73	SOUTHERN SUGAR MAPLE	ACER FLORIDANUM	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
		GN	66	NUTTALL OAK	QUERCUS NUTTALLI	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
		UP	66	AMERICAN ELM	ULMUS AMERICANA	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
		LT	117	TULIP POPLAR	LIRIODENDRON TULIPIFERA	10' MIN.	3" CAL. MIN.	STREET TREE, PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
		OP	129	WILLOW OAK	QUERCUS PHellos	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
		QA	60	WHITE OAK	QUERCUS ALBA	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
		OF	10	SOUTHERN RED OAK	QUERCUS FALCATA	10' MIN.	3" CAL. MIN.	PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
		GB	60	GINKGO	GINKGO BILOBA	10' MIN.	3" CAL. MIN.	STREET TREE, MALE, FULL FRILLS ONLY, WELL MATCHED SPECIMENS / FULL CROWN
MEDIUM SHADE TREES		CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
		CB	66	EUROPEAN HORNBEE	CARPINUS BETULUS	10' MIN.	3" CAL. MIN.	STREET TREE, WELL MATCHED SPECIMENS / FULL CROWN
UNDERSTORY TREES		CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
		PC	50	CAROLINA CHERRY LAUREL	PRUNUS CAROLINIANA	6' MIN.	1.5" CAL. MIN.	PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
		AG	50	SERVICEBERRY	AMELANCHIER GRANDIFLORA	6' MIN.	1.5" CAL. MIN.	PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS / FULL CROWN
SHRUBS		CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CALIPER	NOTES
		IC	1,408	DWARF BURFORD HOLLY	ILEX CORNUTA DWARF BURFORD	18" MIN.	3 GAL	PROTECTIVE YARD SHRUB, WELL MATCHED SPECIMENS / FULL CROWN
		PL	431	ENGLISH LAUREL	PRUNUS LAUROCEARUS	18" MIN.	3 GAL	PROTECTIVE YARD SHRUB, WELL MATCHED SPECIMENS / FULL CROWN
PLANTING SYMBOLS		QUANTITY		NOTE TO CONTRACTOR: IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DOES NOT MATCH QUANTITIES IN PLANT LIST, GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS WILL GOVERN.				
								



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10/4/2022	CITY OF RALEIGH COMMENTS - THIRD REVIEW	DESIGNED BY:	TM/AP
7/22/2022	CITY OF RALEIGH COMMENTS - SECOND REVIEW	DRAWN BY:	CD/AP
3/16/2022	CITY OF RALEIGH COMMENTS - FIRST REVIEW	REVIEWED BY:	JDJ
DATE	REV	DATE	REV
EGL		EGL	
5440 VALLEY PARK DRIVE, SUITE 102 RALEIGH, NC 27607 NC LICENSE 6C-4897		LENAR CORPORATION 1100 PERIMETER PARK DRIVE, SUITE 102 MONROVIE, NC 27058	
EVERLEE SUBDIVISION PERMANENT SUBDIVISION PLAN RALEIGH, NC 27608		LANDSCAPE PLAN (5 OF 5)	
FILE NUMBER: 8430-00		DATE: 11/16/2022	
L1-5			