

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)				
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development		
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option		
<i>NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.</i>				
GENERAL INFORMATION				
Scoping/sketch plan case number(s): SCOPE-0191-2022				
Development name (subject to approval): Focus Church of Raleigh				
Property Address(es): 3609 Tarheel Club Road, Raleigh, NC 27604				
Recorded Deed PIN(s): 1735956084				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input checked="" type="checkbox"/> Civic Building	<input checked="" type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: Focus Church of Raleigh	
Company: Focus Church of Raleigh	Title:
Address: 7000 Destiny Drive, Raleigh, NC 27604	
Phone #: 919-810-3813	Email: kris@focus.church
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: Finch and Associates	Address: 309 North Boylan Ave, Raleigh, NC 27603
Phone #: 919-833-1212	Email: jwatson@finch-associates.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: 1	
Company:	Title:
Address:	
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage: 11.719			
Zoning districts (if more than one, provide acreage of each): R-4			
Overlay district(s): NONE	Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input checked="" type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) 14300 Proposed total (sf) 218900	Impervious Area for Compliance (includes right-of-way): Existing (sf) 14300 Proposed total (sf) 65870
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NUMBER OF LOTS AND DENSITY

# of Detached House Lots: 0	# of Attached House Lots: Focus Ch	# of Townhouse Lots:
# of Tiny House Lots: 0	# of Open Lots: 1	# of Other Lots (Apartment, General, Mixed Use, Civic): 1
Total # of Lots: 2	Total # Dwelling Units: 0	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F): N/A		

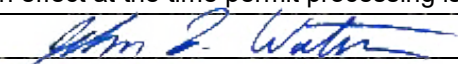
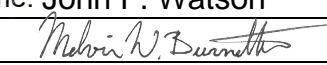
SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 2/22/2024
Printed Name: John F. Watson	
Signature: 	Date: 2/22/2024
Printed Name: Melvin W. Burnette	

PRELIMINARY SUBDIVISION

FOCUS CHURCH of RALEIGH

3609 TARHEEL CLUB DRIVE
RALEIGH, NORTH CAROLINA
PROJECT #:

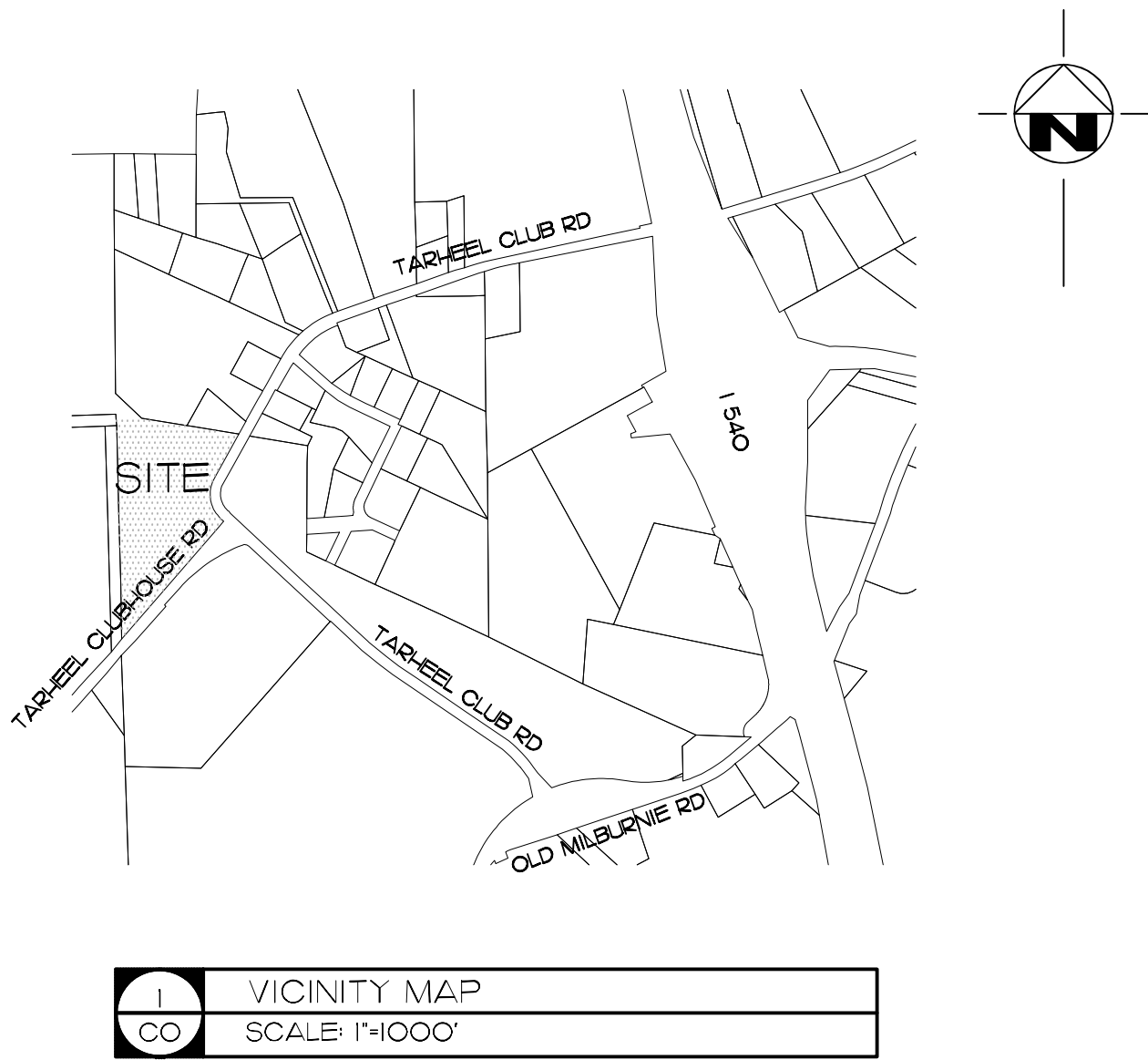
OWNER/DEVELOPER

FOCUS CHURCH OF RALEIGH
7000 DESTINY DRIVE
RALEIGH, NC 27604
KRIS WEISS, EXECUTIVE PASTOR OF FINANCE
TEL: 919-810-3813

SITE / CIVIL

FINCH & ASSOCIATES, PLLC

309 NORTH BOYLAN AVENUE, RALEIGH, NC 27603-1402
MELVIN W. BURNETTE., RLA - LICENSE # NC 1821
JOHN F. WATSON, PE - LICENSE # NC 039760
TEL. (919) 833-1212



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C2	PRELIMINARY SUBDIVISION PLAN
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L1.2	TREE CONSERVATION PLAN
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E102	SITE LIGHTING PLAN

PROJECT #:

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

REVISIONS

Finch & Associates
309 North Boylan Avenue
Raleigh, NC 27603-1402
T 919 | 833-1212
F 919 | 833-3203
NCBELS Lic. No. P-1845
NCBOLA Lic. No. C-656

FINCH

FINCH & ASSOCIATES

engineering • landscape architecture • land surveying

DRAWN BY: MWB

CHECKED BY: JFW

PROJ. NO. 22059

DATE 2/22/2024

CO SHEET OF

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.

- GENERAL NOTES
- BOUNDARY LINES WERE TAKEN FROM A SURVEY PERFORMED BY TERRESTRIAL SURVEYING, DATED SEPTEMBER 20, 2022.
 - TOPOGRAPHIC INFORMATION, VEGETATION LINES, AND EXISTING STRUCTURES AND UTILITIES WERE TAKEN FROM A SURVEY COMPLETED BY TERRESTRIAL SURVEYING MARCH 12, 2023.
 - ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
 - LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
 - ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
 - ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - NO FEMA MAPPED FLOOD BOUNDARIES EXIST ON THE PROJECT SITE.
 - THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
 - DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
 - SOLID WASTE TO BE HANDLED BY DUMPSTER COLLECTED BY PRIVATE WASTE SERVICES PROVIDER.
 - PROPERTY IS SUBJECT TO RESIDENTIAL INFILL RULES PER UDO SECTION 2.2.7. NO CONSTRUCTION EXISTS ON NEIGHBORING PROPERTIES TO BE USED IN DETERMINING A COMPARATIVE SAMPLE. SETBACKS ARE DETERMINED BY UNDERLYING ZONING REQUIREMENTS.
 - PER UDO SEC. 8.3.2.A.IX THE PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.
 - ALL LAND DISTURBANCE SHOWN ON THESE PLANS SHALL BE CONTAINED WITHIN THE PROPERTY BOUNDARIES AND PUBLIC RIGHT-OF-WAY. ENCROACHMENTS ONTO NEIGHBORING PROPERTIES SHOWN ON THESE PLANS ARE FOR VISUAL CLARITY ONLY AND DO NOT REPRESENT A CONDITION TO BE CONSTRUCTED.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCDOT.

SITE DATA TABLE

SITE INFORMATION

PIN NUMBER: 1735956084

OWNER/DEVELOPER: FOCUS CHURCH OF RALEIGH

SITE ADDRESS: 3609 TARHEEL CLUB DRIVE, RALEIGH, NC 27604

TOTAL AREA: 510,483 S.F., 11.719 ACRES

RIGHT-OF-WAY DEDICATION:

TARHEEL CLUBHOUSE ROAD: 16,910 SF, .388 AC

TARHEEL CLUB ROAD: 10,320 SF, .235 AC

DESTINY DRIVE: 40,813 SF, .937 AC

TOTAL RIGHT-OF-WAY DEDICATION: 1,560 AC

NET SITE AREA: 10,159 AC

ZONING INFORMATION:

ZONING: R-4 (EXEMPT - PLACE OF WORSHIP)

ZONING OVERLAY: NONE

WATERSHED: NEUSE RIVER BASIN

WATERSHED PROTECTION AREA: NONE

DEVELOPMENT INFORMATION

EXISTING USE: VACANT

EXISTING FLOOR AREA: 0 SF

TOTAL LOTS PROPOSED: 2

TOTAL DWELLING UNITS PROPOSED: 0

PROPOSED USE: CIVIC (PLACE OF WORSHIP)

PROPOSED DEVELOPMENT TYPE: CONVENTIONAL, CIVIC

- TRAFFIC CONTROL & PEDESTRIAN PLAN NOTES
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGH-NC.GOV.
 - THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
 - A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
 - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
 - ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD),
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG),
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS,
 - RALEIGH STREET DESIGN MANUAL (RSDM).
 - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SYMBOL		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	ADJACENT PROPERTY LINE
---	---	LOT LINE
---	---	BUFFER LINE
---	---	EASEMENT LINE
---	---	SETBACK LINE
---	---	LIMIT OF DISTURBANCE
---	---	CONTOURS
---	---	SPOT ELEVATION
---	---	STORM DRAINAGE
---	---	TREE CONSERVATION AREA
---	---	TREES AND TREELINE
---	---	STREET OR DRIVEWAY
---	---	WALL
---	---	FENCE

REVISIONS

Finch & Associates
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Phone #:	Email:

DEVELOPMENT TYPE + SITE DATA TABLE – ZONING INFORMATION			
Gross site acreage: 11.719			
Zoning districts (if more than one, provide acreage of each): R-4			
Overlay district(s): NONE	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A	<input checked="" type="checkbox"/>
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STORMWATER INFORMATION			
Imperious Area on Parcel(s): Existing (sf) 14300 Proposed total (sf) 218900		Impervious Area for Compliance (includes right-of-way): Existing (sf) 14300 Proposed total (sf) 65870	
NUMBER OF LOTS AND DENSITY			
# of Detached House Lots: 0	# of Attached House Lots: Focus Church of Raleigh # of Townhouse Lots:		
# of Tiny House Lots: 0	# of Open Lots: 1	# of Other Lots (Apartment, General, Mixed Use, Civic): 1	
Total # of Lots: 2	Total # Dwelling Units: 0		
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____			
Proposed density for each zoning district (UDO 1.5.2.F): N/A			

SIGNATURE BLOCK	
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Signature: John F. Watson	Date: 2/22/2024
Printed Name: John F. Watson	
Signature: Melvin W. Burnette	Date: 2/22/2024
Printed Name: Melvin W. Burnette	

ATTENTION CONTRACTORS

THE **CONSTRUCTION CONTRACTOR** RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE **PUBLIC WORKS DEPARTMENT** AT (919) 996-2409, AND THE **PUBLIC UTILITIES DEPARTMENT** AT (919) 996-4540 AT LEAST **TWENTY FOUR HOURS** PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

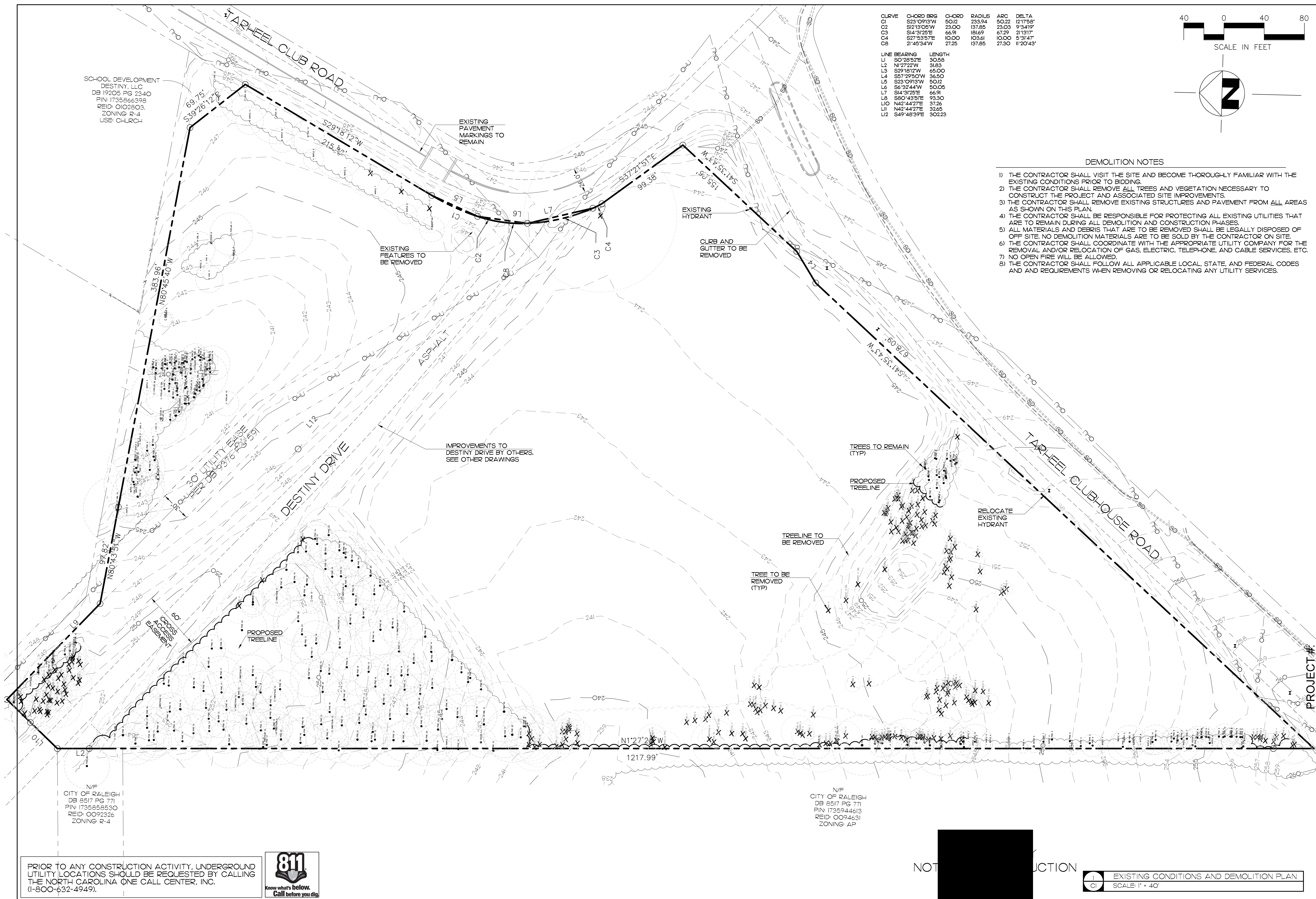
FAILURE TO NOTIFY BOTH **CITY DEPARTMENTS** IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE **PERMITTED PLANS** ON THE **JOB SITE**, OR ANY OTHER VIOLATION OF **CITY OF RALEIGH STANDARDS** WILL RESULT IN A **FINE AND POSSIBLE EXCLUSION** FROM FUTURE WORK IN THE **CITY OF RALEIGH**.

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.

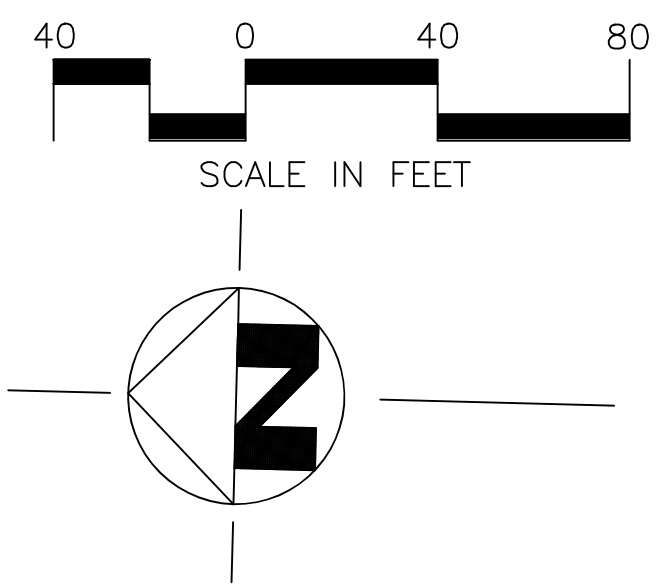
PROJECT #:

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA



CURVE	C2-CHORD BRG	C-CHORD	RADIUS	ARC	DELTA
L1	S23 09'13"W	50.12	50.22	12°17'58"	
C2	S27°13'05"W	23.00	137.85	23.03	9°34'47"
L2	S68°09'01"W	66.59	186.69	67.29	21°13'17"
C8	S27°53'57"E	10.00	103.61	10.00	5°31'49"
C8	N21°45'34"W	27.25	137.85	27.30	11°20'43"

LINE BEARING	LENGTH
L1 S20°28'52"E	30.58
L2 N1°27'22"E	31.83
L3 S29°18'12"W	65.00
L4 S57°29'10"W	36.50
L5 S23°09'13"W	50.12
L6 S6°32'44"W	50.05
L7 S14°39'15"E	60.91
L8 S80°43'51"E	93.30
L10 N42°44'27"E	37.26
L11 N42°44'27"E	33.65
L12 S49°48'39"E	302.23



DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO BIDDING.
- 2) THE CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION NECESSARY TO CONSTRUCT THE PROJECT AND ASSOCIATED SITE IMPROVEMENTS.
- 3) THE CONTRACTOR SHALL REMOVE EXISTING STRUCTURES AND PAVEMENT FROM ALL AREAS AS SHOWN ON THIS PLAN.
- 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES THAT ARE TO REMAIN DURING ALL DEMOLITION AND CONSTRUCTION PHASES.
- 5) ALL EXISTING MATERIALS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE. NO DEMOLITION MATERIALS ARE TO BE SOLD BY THE CONTRACTOR ON SITE.
- 6) THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR THE REMOVAL AND/OR RELOCATION OF GAS, ELECTRIC, TELEPHONE, AND CABLE SERVICES, ETC.
- 7) NO OPEN FIRE WILL BE ALLOWED.
- 8) THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REQUIREMENTS WHEN REMOVING OR RELOCATING ANY UTILITY SERVICES.

REVISIONS

Finch & Associates
309 North Boylan Avenue
Raleigh, NC 27603-1402

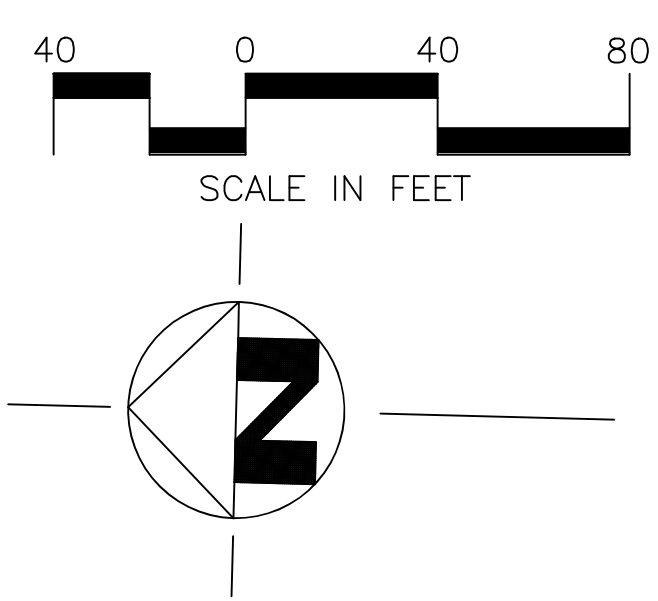
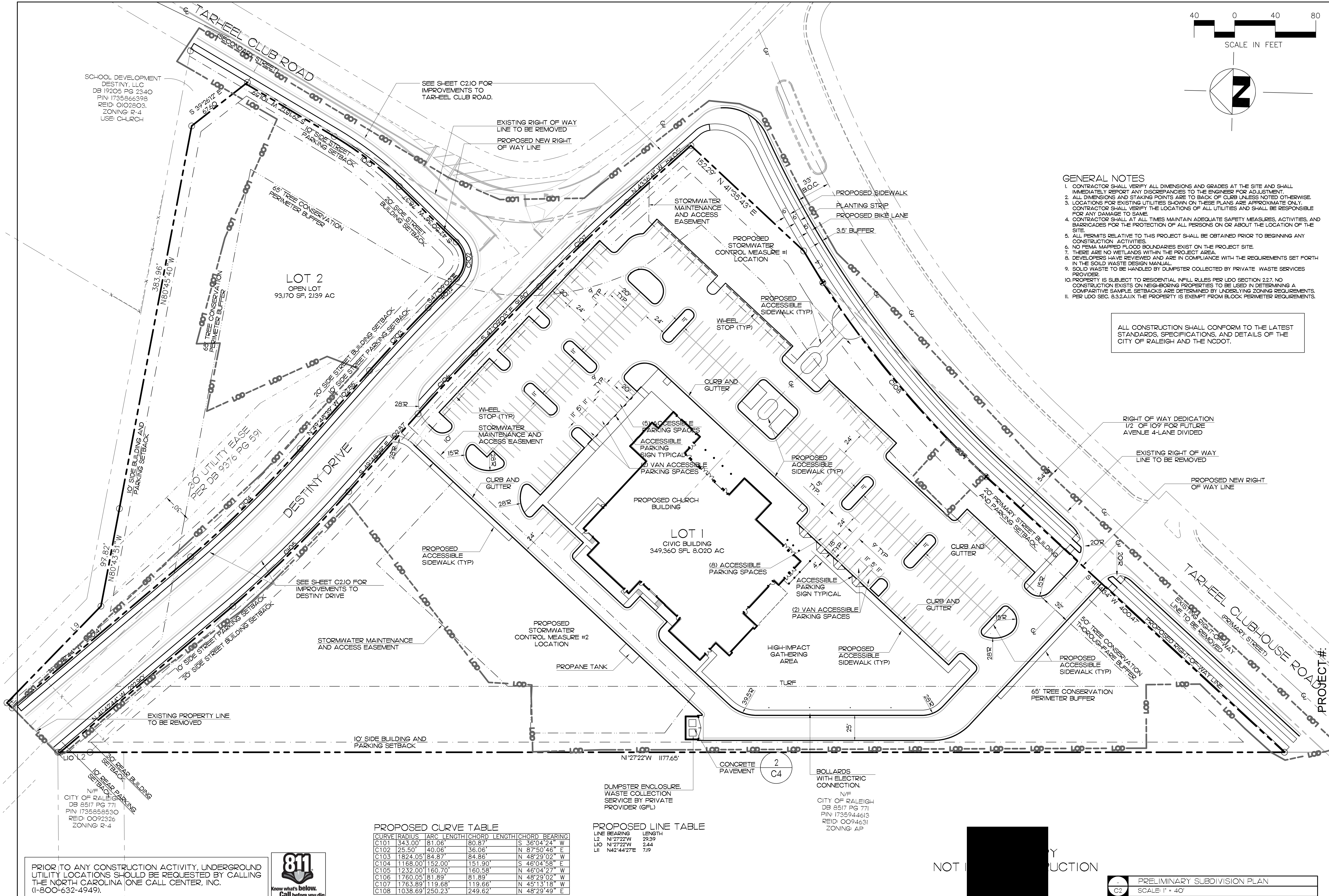
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FINCH
FINCH & ASSOCIATES
engineering • landscape architecture • land surveying

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

DRAWN BY	MW
CHECKED BY	JFW
PROJ. NO.	22059
DATE	2/22/2024
CI	
SHEET	OF



- GENERAL NOTES**
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES AT THE SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ENGINEER FOR ADJUSTMENT.
 2. ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
 3. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
 4. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
 5. ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
 6. NO FEMA MAPPED FLOOD BOUNDARIES EXIST ON THE PROJECT SITE.
 7. THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
 8. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
 9. SOLID WASTE TO BE HANDLED BY DUMPSTER COLLECTED BY PRIVATE WASTE SERVICES PROVIDER.
 10. PROPERTY IS SUBJECT TO RESIDENTIAL INFILL RULES PER LDO SECTION 2.27. NO CONSTRUCTION EXISTS ON NEIGHBORING PROPERTIES TO BE USED IN DETERMINING A COMPARATIVE SAMPLE. SETBACKS ARE DETERMINED BY UNDERLYING ZONING REQUIREMENTS.
 11. PER LDO SEC. 8.3.2.A.IX THE PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCDOT.

RIGHT OF WAY DEDICATION
1/2' OF 109' FOR FUTURE
AVENUE 4-LANE DIVIDED

EXISTING RIGHT OF WAY
LINE TO BE REMOVED

PROPOSED NEW RIGHT
OF WAY LINE

TARHEEL CLUBHOUSE ROAD
EXISTING RIGHT OF WAY
LINE TO BE REMOVED

50' TREE CONSERVATION
TODOR-GARE BUFFER

65' TREE CONSERVATION
PERIMETER BUFFER

BOLLARDS
WITH ELECTRIC
CONNECTION.
N/F
CITY OF RALEIGH
DB 8517 PG 771
PIN: 1735944613
REID: 0094631
ZONING: AP

DUMPSTER ENCLOSURE.
WASTE COLLECTION
SERVICE BY PRIVATE
PROVIDER (GFL)

PROPOSED CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C101	343.00'	81.06'	80.87'	S 36°04'24" W
C102	25.50'	40.06'	36.06'	N 87°50'46" E
C103	1824.05'	84.87'	84.86'	N 48°29'02" W
C104	1168.00'	152.00'	151.90'	S 46°04'58" E
C105	1232.00'	160.70'	160.58'	N 46°04'27" W
C106	1760.05'	81.89'	81.89'	N 48°29'02" W
C107	1763.89'	119.68'	119.66'	N 45°13'18" W
C108	1038.69'	1250.23'	249.62'	N 48°29'49" E

PROPOSED LINE TABLE	
LINE BEARING	LENGTH
L2 N 27°22' W	29.39
L10 N 27°22' W	2.44
L1 N 42°44' 27" E	7.19

NOT IN CONSTRUCTION

PRELIMINARY SUBDIVISION PLAN
SCALE: 1" = 40'

REVISIONS

FINCH & ASSOCIATES

engineering • landscape architecture • land surveying

PROJECT #:

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

DRAWN BY: MWB
CHECKED BY: JFW
PROJ. NO.: 22059
DATE: 2/22/2024
C2 SHEET OF

SUBDIVISION INFORMATION

PIN NUMBER: 1735956084
SITE ADDRESS: 3609 TARHEEL CLUB DRIVE, RALEIGH, NC 27604
ZONING: R-4 (EXEMPT - PLACE OF WORSHIP)
ZONING OVERLAY: NONE

TOTAL AREA: 510,483 SF, 11.719 ACRES
RIGHT-OF-WAY DEDICATION:
TARHEEL CLUBHOUSE ROAD: 16,910 SF, .388 AC
TARHEEL CLUB ROAD: 10,230 SF, .235 AC
DESTINY DRIVE: 40,813 SF, .937 AC
TOTAL RIGHT-OF-WAY DEDICATION: 1,560 AC
LOT 1 - CIVIC BUILDING: 349,360 SF, 8.020 AC
LOT 2 - OPEN LOT: 93,170 SF, 2.139 AC

DEVELOPMENT INFORMATION

RIGHT OF WAY IMPROVEMENTS:
TARHEEL CLUBHOUSE ROAD:
TYPE: AVENUE 4-LANE DIVIDED
SIDEWALK: 820 LF, 4910 SF
BIKE LANE: 770 LF, 3870 SF
STREET WIDENING: 840 LF, 15,950 SF

TARHEEL CLUB DRIVE:
TYPE: LOCAL STREET
SIDEWALK: 350 LF, 2100 SF
STREET WIDENING: 350 LF, 21,000 SF

DESTINY DRIVE:
TYPE: NEIGHBORHOOD STREET
SIDEWALK: 1450 LF, 2540 SF
STREET WIDENING: 705 LF, 15,500 SF

LOT 1 -
EXISTING USE: VACANT
EXISTING FLOOR AREA: 0 SF
PROPOSED USE: CIVIC (PLACE OF WORSHIP)
PROPOSED DEVELOPMENT TYPE: CONVENTIONAL
TOTAL DWELLING UNITS PROPOSED: 0
LOT AREA REQUIRED: 10,000 SF
LOT AREA PROVIDED: 349,360 SF
MIN WIDTH: 65'

AMENITY AREA: NOT APPLICABLE

REQUIRED BUILDING SETBACKS:
PRIMARY STREET: 20'
SIDE STREET: 20'
SIDE: 10'
REAR: 30'

REQUIRED PARKING SETBACKS:
PRIMARY STREET: 20'
SIDE STREET: 10'
SIDE: 10'
REAR: 10'

BUILD-TO: NOT APPLICABLE
MAX BUILDING HEIGHT ALLOWED: 40', 3 STORIES
TRANSPARENCY: NOT APPLICABLE
BLANK WALL AREA: NOT APPLICABLE

VEHICLE PARKING REQUIRED: NONE
VEHICLE PARKING PROVIDED: 217 SPACES
ACCESSIBLE PARKING SPACES INCLUDED: 13
BICYCLE PARKING REQUIRED: NONE

CROSS ACCESS: EXEMPT (PLACE OF WORSHIP)

WATER: CITY OF RALEIGH
WASTEWATER: PRIVATE SEPTIC SYSTEM
FIRE SUPPRESSION: NFPA-13 SPRINKLER SYSTEM

TRANSIT: NOT APPLICABLE

BLOCK PERIMETER: EXEMPT PLACE OF WORSHIP. REF:
UDO 8.3.2.A.I.IX

LOT 2 -
EXISTING USE: VACANT
EXISTING FLOOR AREA: 0 SF
PROPOSED USE: OPEN LOT
PROPOSED DEVELOPMENT TYPE: CONVENTIONAL
TOTAL DWELLING UNITS PROPOSED: 0
LOT AREA REQUIRED: 10,000 SF
LOT AREA PROVIDED: 93,170 SF
MIN WIDTH: 65'
MAX BUILDING COVERAGE: 17%
BUILDING COVERAGE PROPOSED: 0%

AMENITY AREA: NOT APPLICABLE

REQUIRED BUILDING SETBACKS:
PRIMARY STREET: 20'
SIDE STREET: 20'
SIDE: 10'
REAR: 30'

REQUIRED PARKING SETBACKS:
PRIMARY STREET: 10'
SIDE STREET: 10'
SIDE: 10'
REAR: 10'

BUILD-TO: NOT APPLICABLE
MAX BUILDING HEIGHT ALLOWED: 40', 3 STORIES
TRANSPARENCY: NOT APPLICABLE
BLANK WALL AREA: NOT APPLICABLE

VEHICLE PARKING REQUIRED: NONE
VEHICLE PARKING PROVIDED: NONE
BICYCLE PARKING REQUIRED: NONE

TRANSIT: NOT APPLICABLE

REVISIONS

Finch & Associates
309 North Boylan Avenue
Raleigh, NC 27603-1402
T 919 | 833-1212
F 919 | 834-3203
NCBELS Lic. No. P-1845
NCBOLA Lic. No. C-656

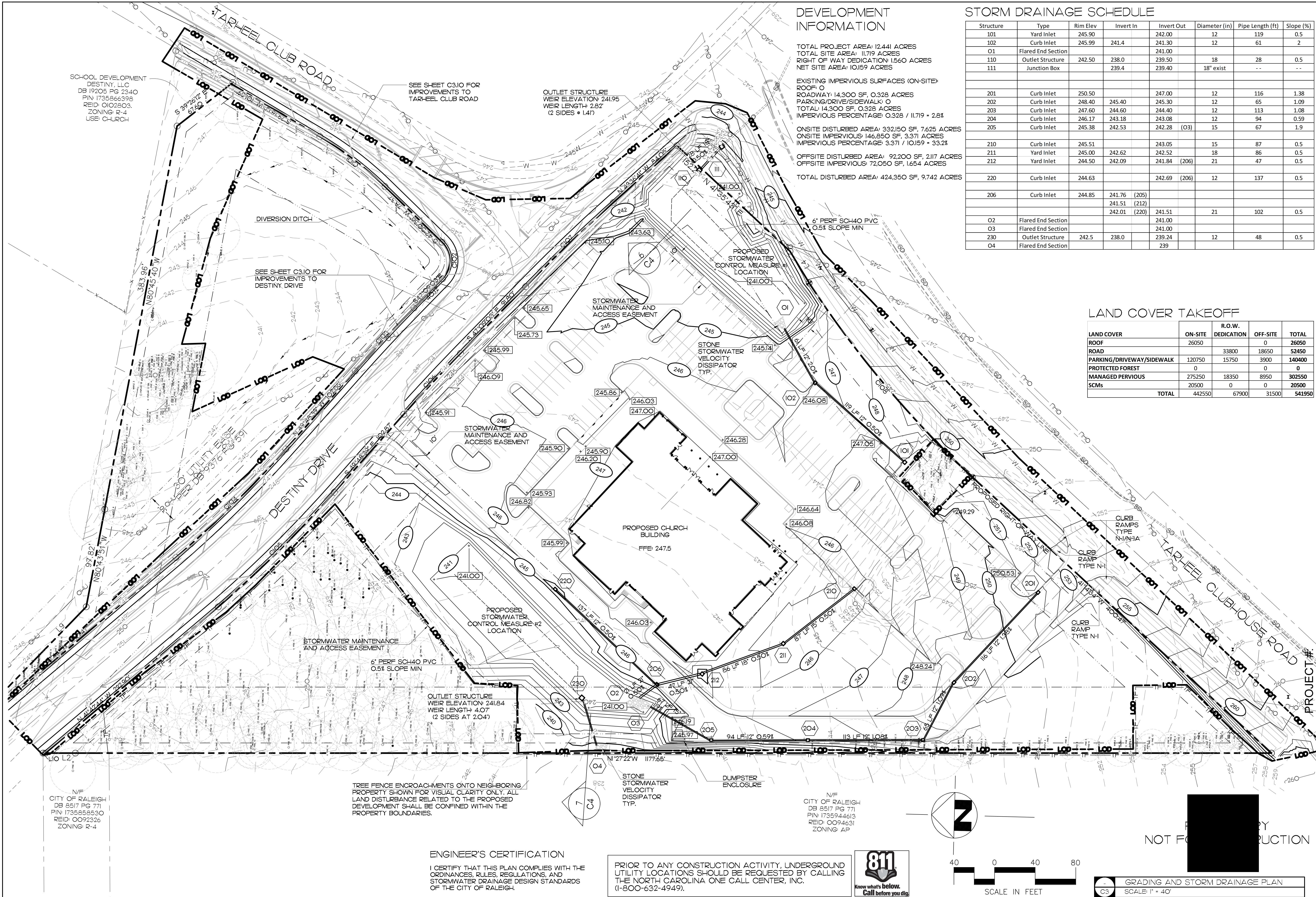


SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

PROJECT #:

DRAWN BY: MWB
CHECKED BY: JFW
PROJ. NO. 22059
DATE 2/22/2024
C2.1
SHEET OF

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL
AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE
WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO
NOTED.



DEVELOPMENT INFORMATION

TOTAL PROJECT AREA: 12.441 ACRES
TOTAL SITE AREA: 11.719 ACRES
RIGHT OF WAY DEDICATION: 1.560 ACRES
NET SITE AREA: 10.159 ACRES

EXISTING IMPERVIOUS SURFACES (ON-SITE):
ROOF: 0
ROADWAY: 14,300 SF, 0.328 ACRES
PARKING/DRIVE/SIDEWALK: 0
TOTAL: 14,300 SF, 0.328 ACRES
IMPERVIOUS PERCENTAGE: 0.328 / 11.719 = 2.8%

ONSITE DISTURBED AREA: 332,150 SF, 7.625 ACRES
ONSITE IMPERVIOUS: 146,850 SF, 3.371 ACRES
IMPERVIOUS PERCENTAGE: 3.371 / 10.159 = 33.2%

OFFSITE DISTURBED AREA: 92,200 SF, 2.117 ACRES
OFFSITE IMPERVIOUS: 72,050 SF, 1.654 ACRES

TOTAL DISTURBED AREA: 424,350 SF, 9.742 ACRES

STORM DRAINAGE SCHEDULE

Structure	Type	Rim Elev	Invert In	Invert Out	Diameter (in)	Pipe Length (ft)	Slope (%)
101	Yard Inlet	245.90		242.00	12	119	0.5
102	Curb Inlet	245.99	241.4	241.30	12	61	2
01	Flared End Section			241.00			
110	Outlet Structure	242.50	238.0	239.50	18	28	0.5
111	Junction Box		239.4	239.40	18" exist	--	--
201	Curb Inlet	250.50		247.00	12	116	1.38
202	Curb Inlet	248.40	245.40	245.30	12	65	1.09
203	Curb Inlet	247.60	244.60	244.40	12	113	1.08
204	Curb Inlet	246.17	243.18	243.08	12	94	0.59
205	Curb Inlet	245.38	242.53	242.28 (03)	15	67	1.9
210	Curb Inlet	245.51		243.05	15	87	0.5
211	Yard Inlet	245.00	242.62	242.52	18	86	0.5
212	Yard Inlet	244.50	242.09	241.84 (206)	21	47	0.5
220	Curb Inlet	244.63		242.69 (206)	12	137	0.5
206	Curb Inlet	244.85	241.76 (205) 241.51 (212) 242.01 (220)	241.51	21	102	0.5
02	Flared End Section			241.00			
03	Flared End Section			241.00			
230	Outlet Structure	242.5	238.0	239.24	12	48	0.5
04	Flared End Section			239			

LAND COVER TAKEOFF

LAND COVER	ON-SITE	R.O.W. DEDICATION	OFF-SITE	TOTAL
ROOF	26050		0	26050
ROAD		33800	18650	52450
PARKING/DRIVEWAY/SIDEWALK	120750	15750	3900	140400
PROTECTED FOREST	0		0	0
MANAGED PERVIOUS	275250	18350	8950	302550
SCMs	20500	0	0	20500
TOTAL	442550	67900	31500	541950

REVISIONS

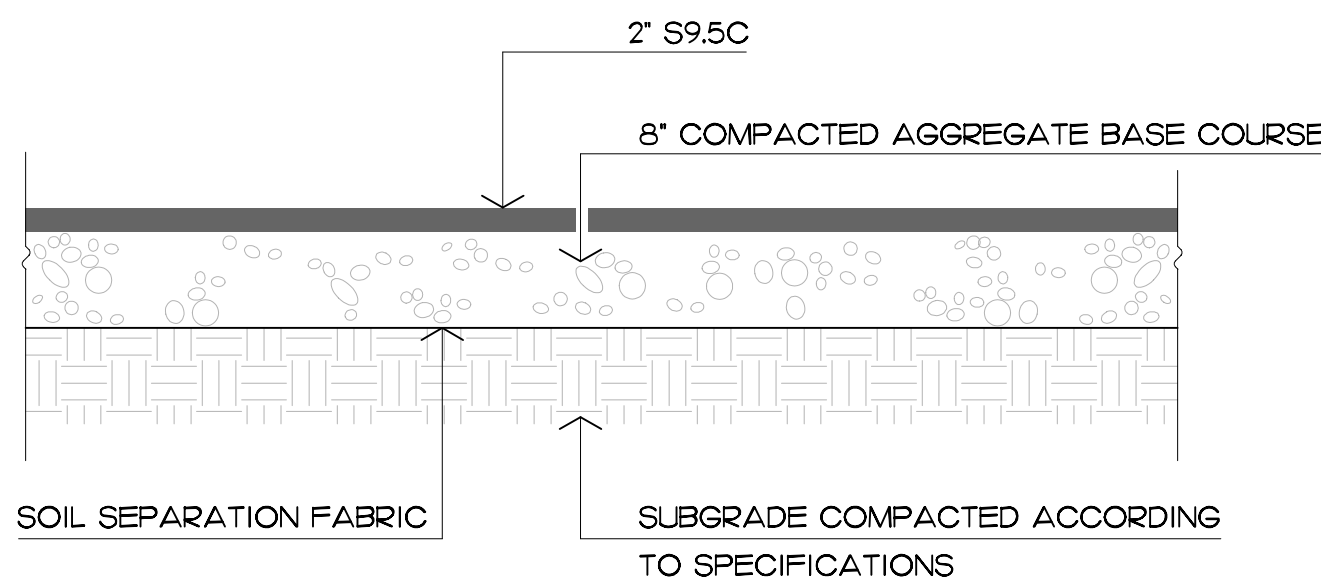
FINCH & ASSOCIATES
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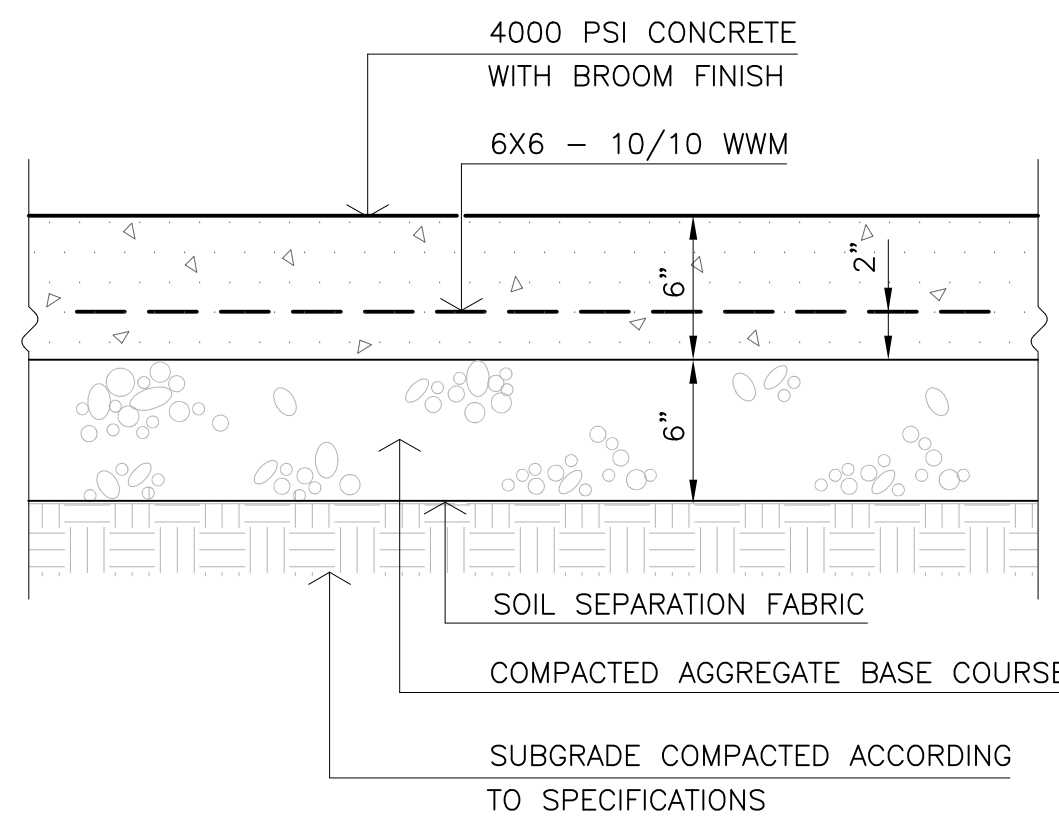
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C3 SHEET OF

NOT FOR CONSTRUCTION



NOTE
ANY UNSATISFACTORY SUBSURFACE CONDITIONS INCLUDING BUT NOT LIMITED TO HIGH WATER TABLE, EXCESSIVE MOISTURE, MUCK, ORGANIC MATERIAL, OR OTHER MATERIAL THAT WILL NOT ATTAIN ADEQUATE COMPACTION ACCORDING TO N.C.D.O.T STANDARDS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR PRIOR TO PLACING ANY BASE MATERIAL, SO THAT MODIFICATIONS CAN BE MADE TO PREVENT PAVEMENT FAILURE.

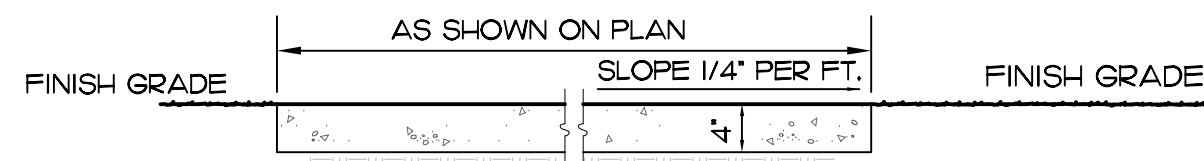
1 PAVEMENT SECTION
SCALE: 3/4" = 1'-0"



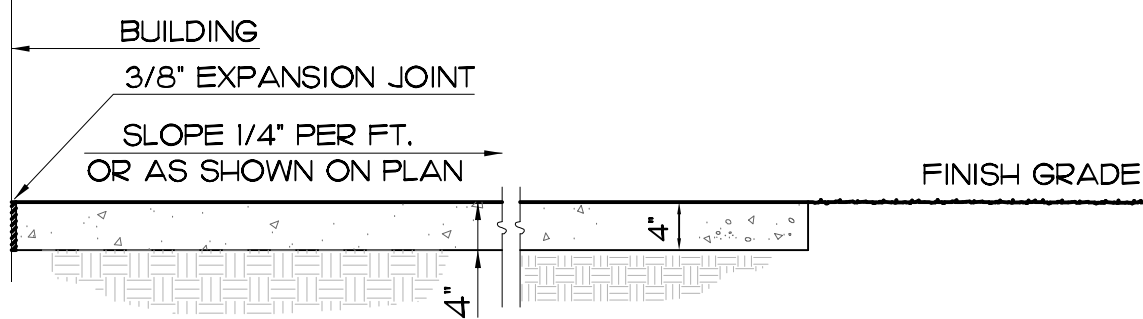
NOTES
SEE SEE FOR JOINTING PLANS FOR JOINTING DETAIL

2 CONCRETE PAVEMENT
SCALE: 1/2" = 1'-0"

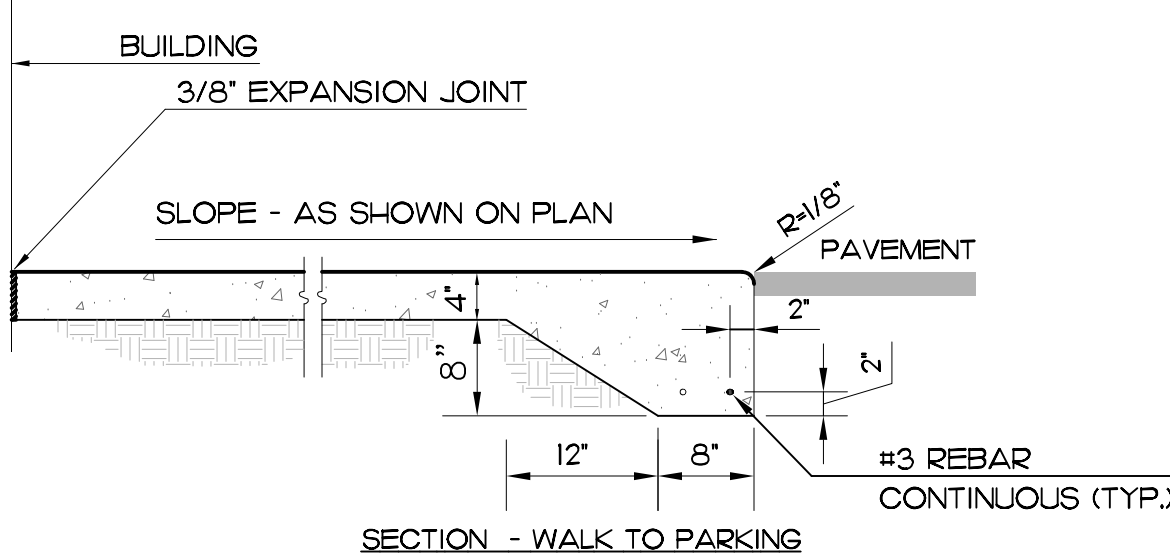
NOTES:
1) WALKS SHALL BE CONSTRUCTED OF 3000 PSI CONCRETE ON A SUBGRADE COMPACTED ACCORDING TO SPECIFICATIONS.
2) WALKS SHALL HAVE BROOM FINISH UNLESS OTHERWISE NOTED
3) SEE DETAIL FOR JOINTING



SECTION - WALK AT GRADE

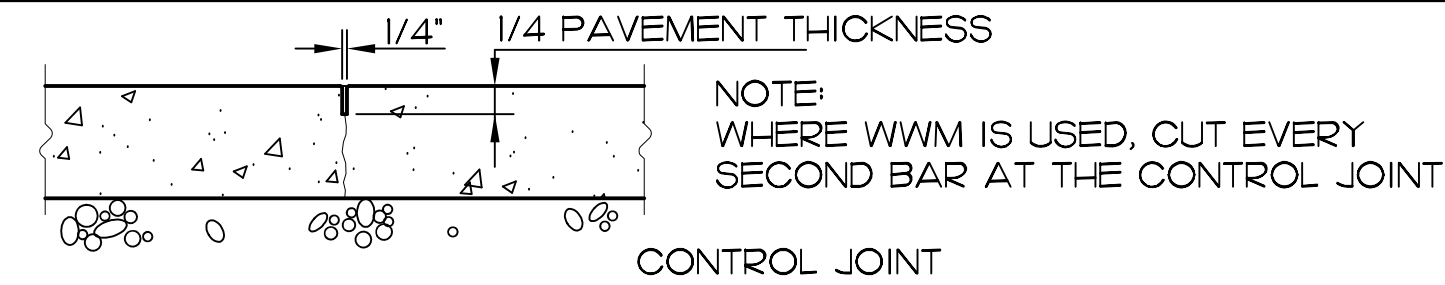


SECTION - WALK AT BUILDING TO GRADE



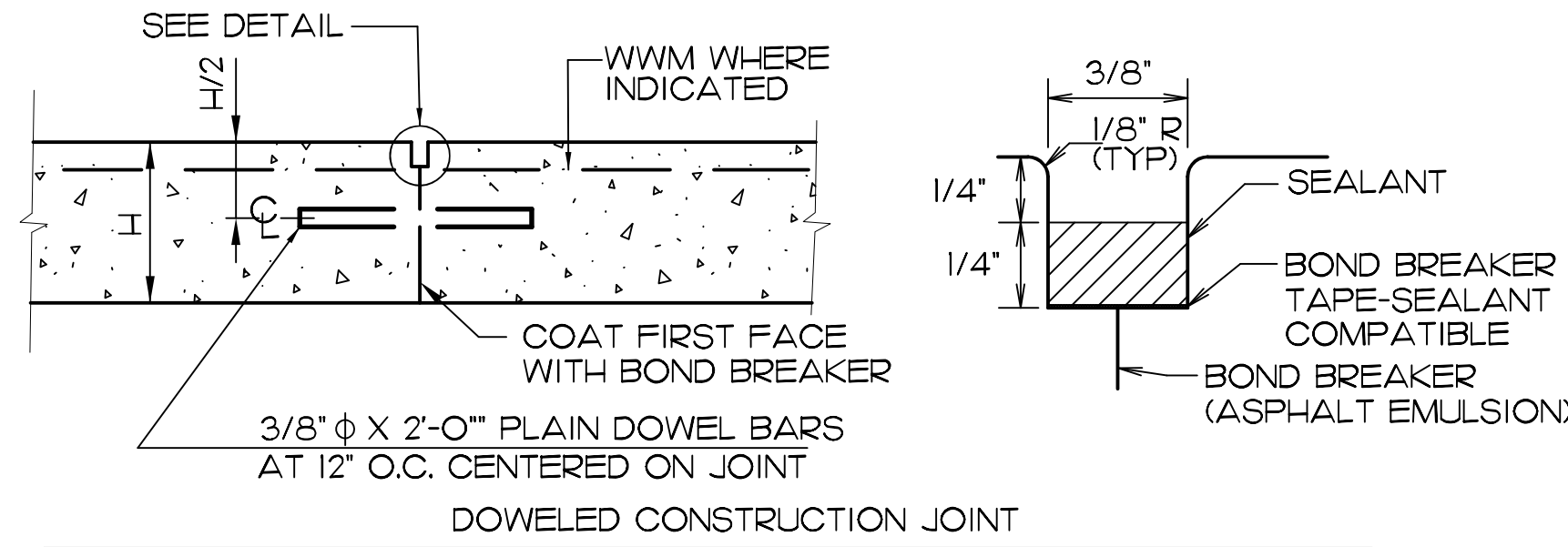
SECTION - WALK TO PARKING

3 CONCRETE WALK
SCALE: 3/4" = 1'-0"

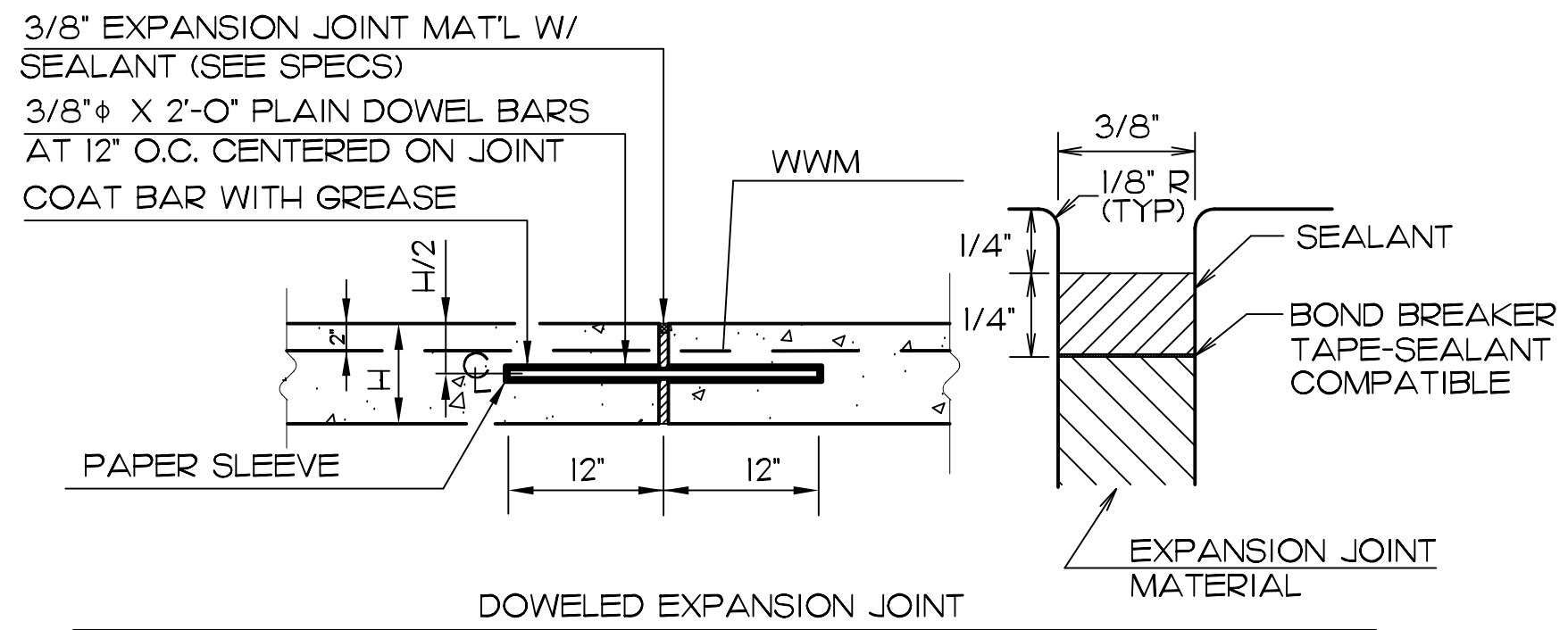


NOTE:
WHERE WWM IS USED, CUT EVERY SECOND BAR AT THE CONTROL JOINT

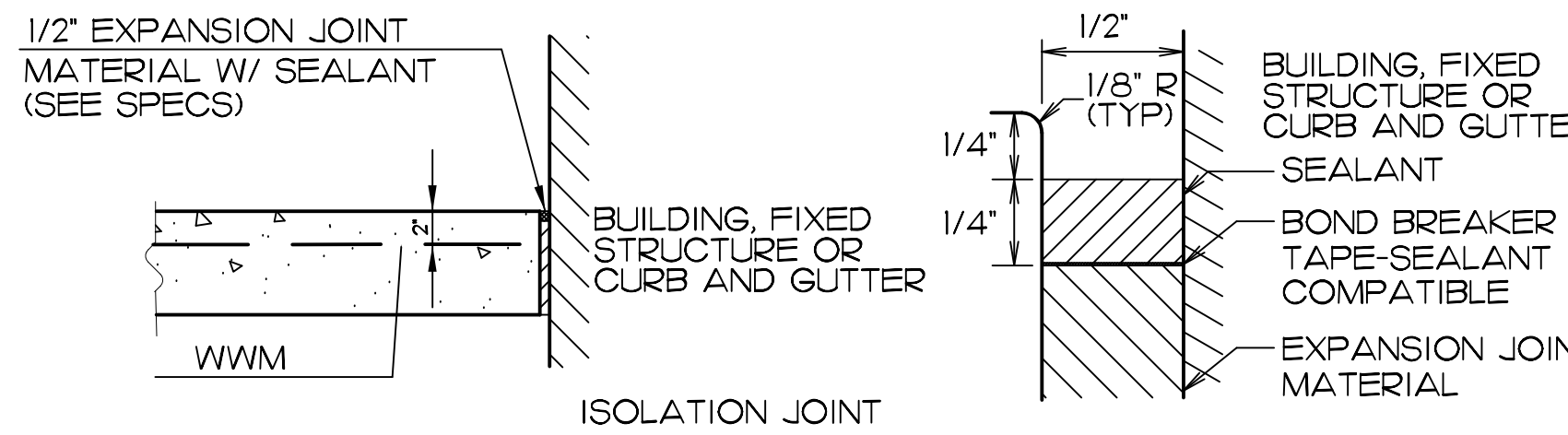
CONTROL JOINT



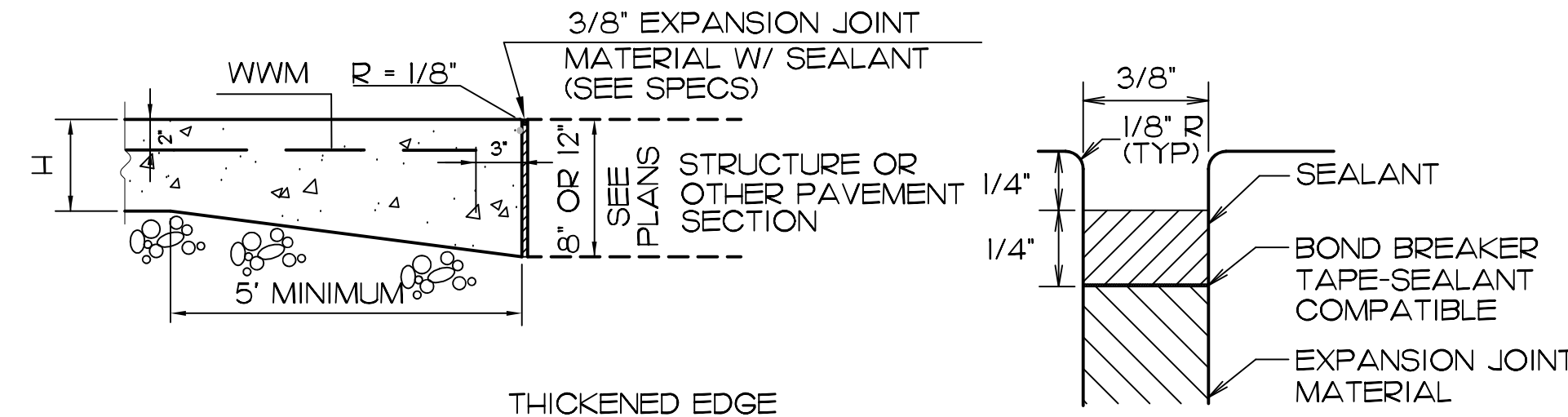
DOWELED CONSTRUCTION JOINT



DOWELED EXPANSION JOINT



ISOLATION JOINT

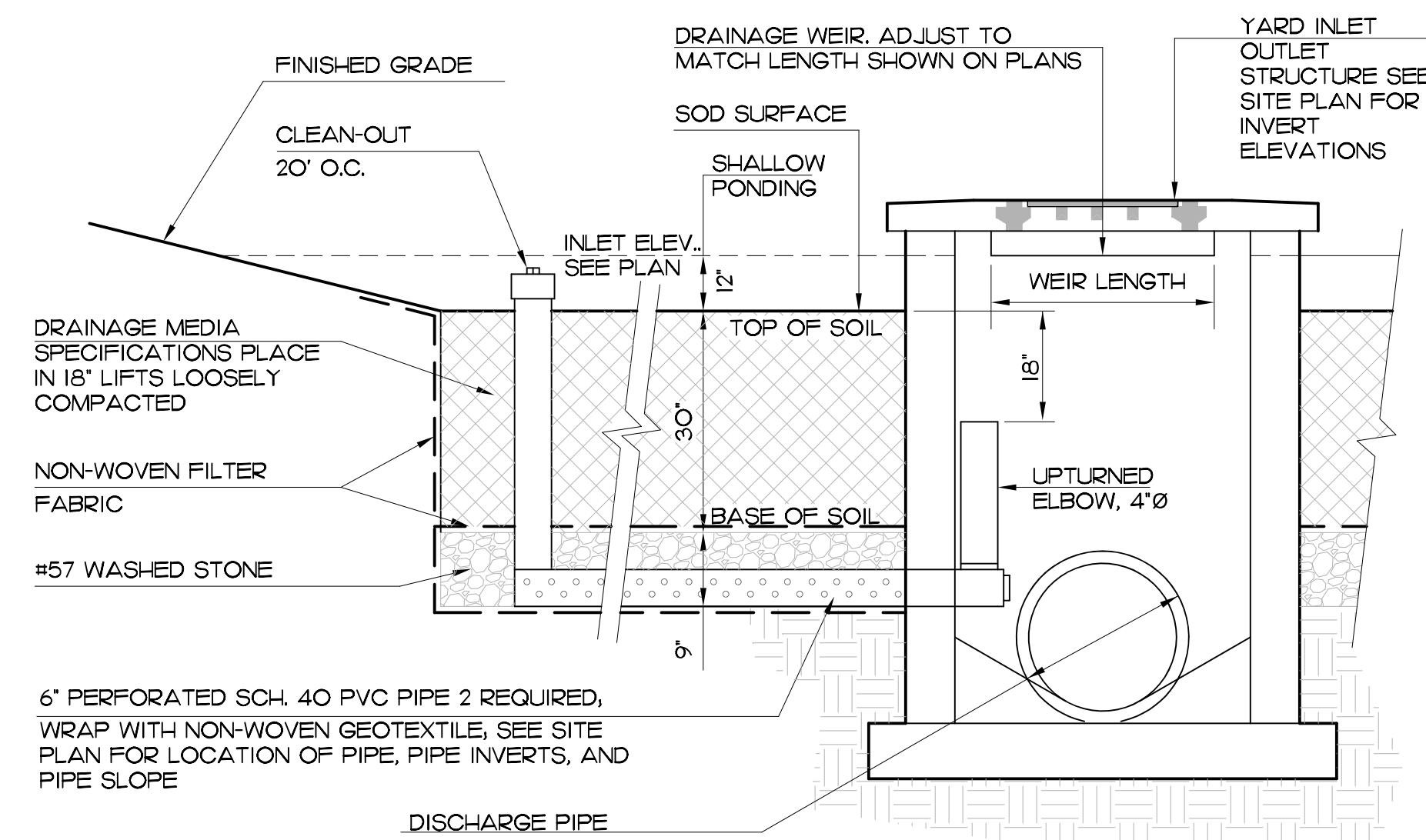


THICKENED EDGE

GENERAL NOTES:
1) ON CONCRETE WALKS, CONTROL JOINTS SHALL BE PLACED AT AN INTERVAL EQUAL TO THE WIDTH OF THE WALK, BUT SHALL NOT EXCEED 6' O.C.
2) ON CONCRETE WALKS, EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 30' O.C. AND AT ALL LOCATIONS WHERE A WALK IS ADJACENT TO BUILDINGS OR OTHER FIXED STRUCTURES.
3) OMIT DOWEL BARS WHERE SLAB THICKNESS IS LESS THAN 6".

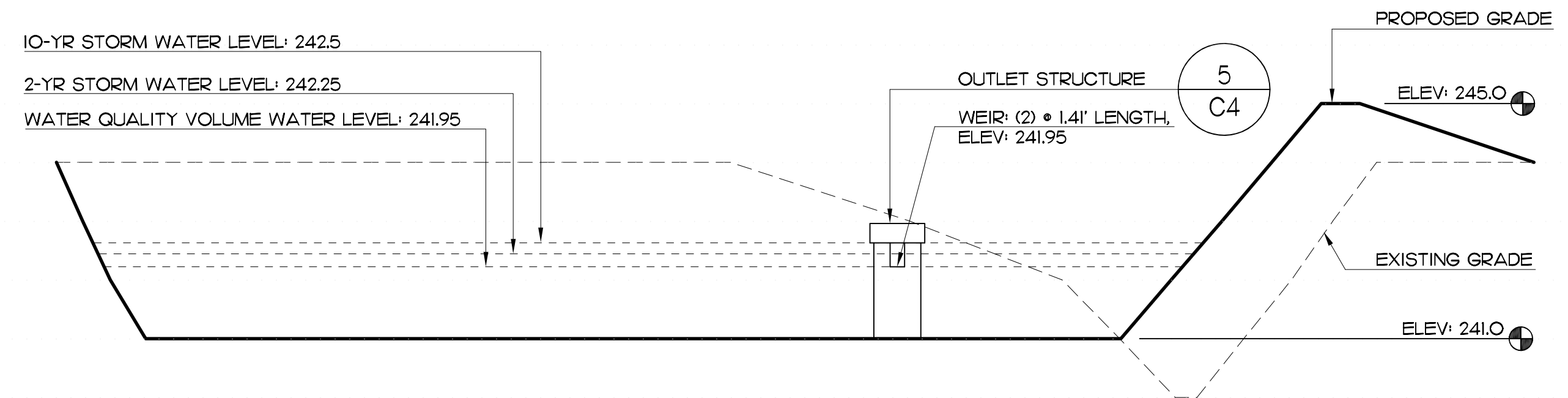
4 CONCRETE JOINTS
SCALE: 1 1/2" = 1'-0"

- NOTES
1. CONSTRUCT BIORETENTION AREA ONLY AFTER COMPLETION OF ALL OTHER GRADING ACTIVITIES.
 2. PROTECT PLANTING SOIL WITH A TEMPORARY COVER OF NON-WOVEN DRAINAGE FABRIC UNTIL SITE STABILIZATION IS ESTABLISHED. DRAINAGE MEDIA TO BE COMPOSED OF 75%-85% MEDIUM TO COURSE WASHED SAND, 8%-10% FINES, 5%-10% ORGANIC MATTER.
 3. PHOSPHORUS INDEX (P-INDEX) FOR THE MEDIA SHALL NOT EXCEED 30.
 4. REMOVE DRAINAGE FABRIC AND INSTALL MULCH AND PLANT MATERIAL AFTER SITE IS COMPLETELY STABILIZED WITH PERMANENT GROUND COVER.
 5. MAINTAIN DRAINAGE MEDIA AS NECESSARY TO ACHIEVE A MINIMUM DRAWDOWN RATE OF 1 IN PER HOUR AT THE PLANTING SURFACE.

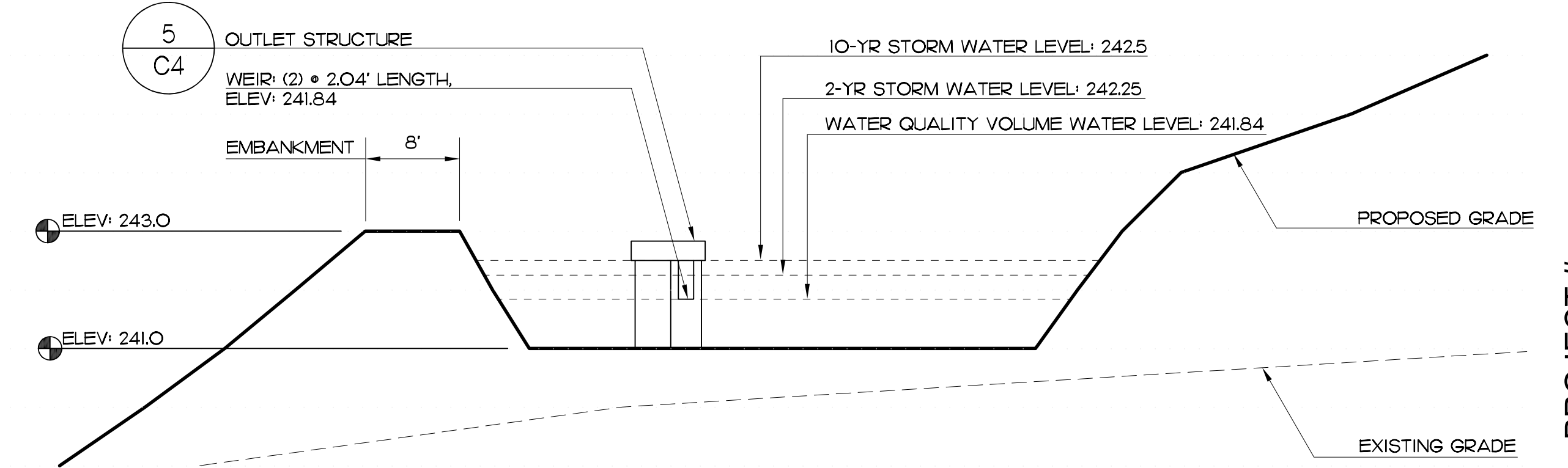


6\"/>

5 BIORETENTION AREA SECTION
SCALE: 1/2" = 1'-0"



6 SCM#1 CROSS SECTION
SCALE: H: 1" = 10', V: 1/2" = 1'-0"



7 SCM#2 CROSS SECTION
SCALE: H: 1" = 10', V: 1/2" = 1'-0"

REVISIONS

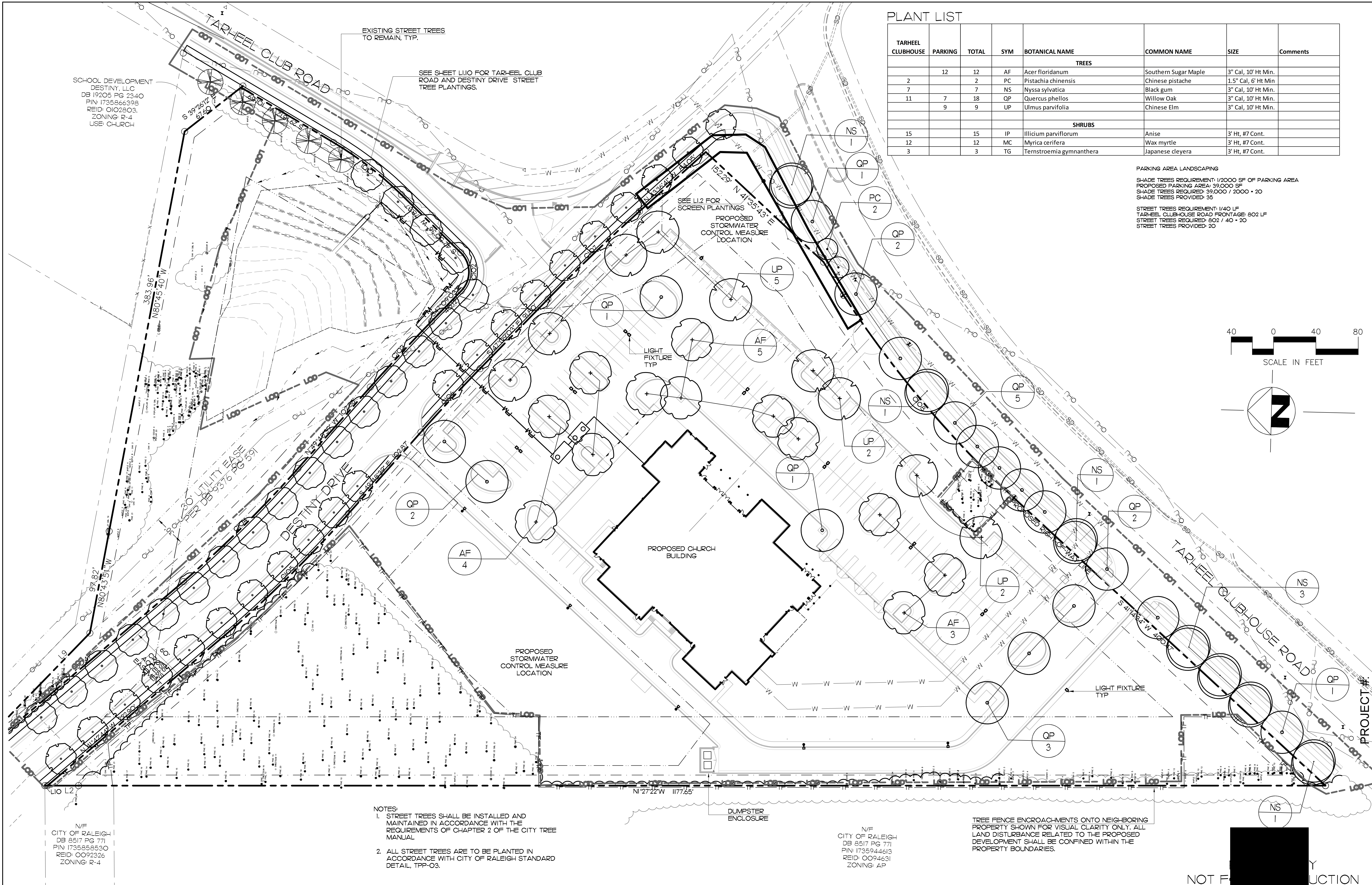
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PROJECT #:

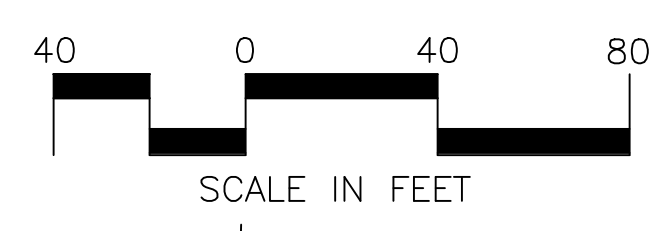
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RALEIGH, NORTH CAROLINA

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DATE 2/22/2024
C4 SHEET OF



PLANT LIST							
TARHEEL CLUBHOUSE	PARKING	TOTAL	SYM	BOTANICAL NAME	COMMON NAME	SIZE	Comments
TREES							
	12	12	AF	Acer floridanum	Southern Sugar Maple	3" Cal, 10' Ht Min.	
2		2	PC	Pistachia chinensis	Chinese pistache	1.5" Cal, 6' Ht Min	
7		7	NS	Nyssa sylvatica	Black gum	3" Cal, 10' Ht Min.	
11	7	18	QP	Quercus phellos	Willow Oak	3" Cal, 10' Ht Min.	
	9	9	UP	Ulmus parvifolia	Chinese Elm	3" Cal, 10' Ht Min.	
SHRUBS							
15		15	IP	Illicium parviflorum	Anise	3' Ht, #7 Cont.	
12		12	MC	Myrica cerifera	Wax myrtle	3' Ht, #7 Cont.	
3		3	TG	Ternstroemia gymnanthera	Japanese cleyera	3' Ht, #7 Cont.	

PARKING AREA LANDSCAPING
SHADE TREES REQUIREMENT: 1/2000 SF OF PARKING AREA
PROPOSED PARKING AREA: 39,000 SF
SHADE TREES REQUIRED: 39,000 / 2000 = 20
SHADE TREES PROVIDED: 35
STREET TREES REQUIREMENT: 1/40 LF
TARHEEL CLUBHOUSE ROAD FRONTAGE: 602 LF
STREET TREES REQUIRED: 602 / 40 = 20
STREET TREES PROVIDED: 20



- NOTES:
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL
 - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.

TREE FENCE ENCROACHMENTS ONTO NEIGHBORING PROPERTY SHOWN FOR VISUAL CLARITY ONLY. ALL LAND DISTURBANCE RELATED TO THE PROPOSED DEVELOPMENT SHALL BE CONFINED WITHIN THE PROPERTY BOUNDARIES.

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).

811
Know what's below.
Call before you dig!

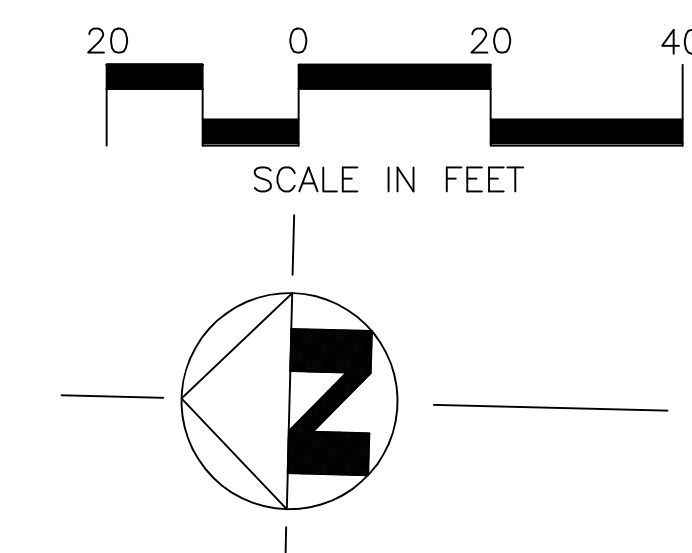
REVISIONS

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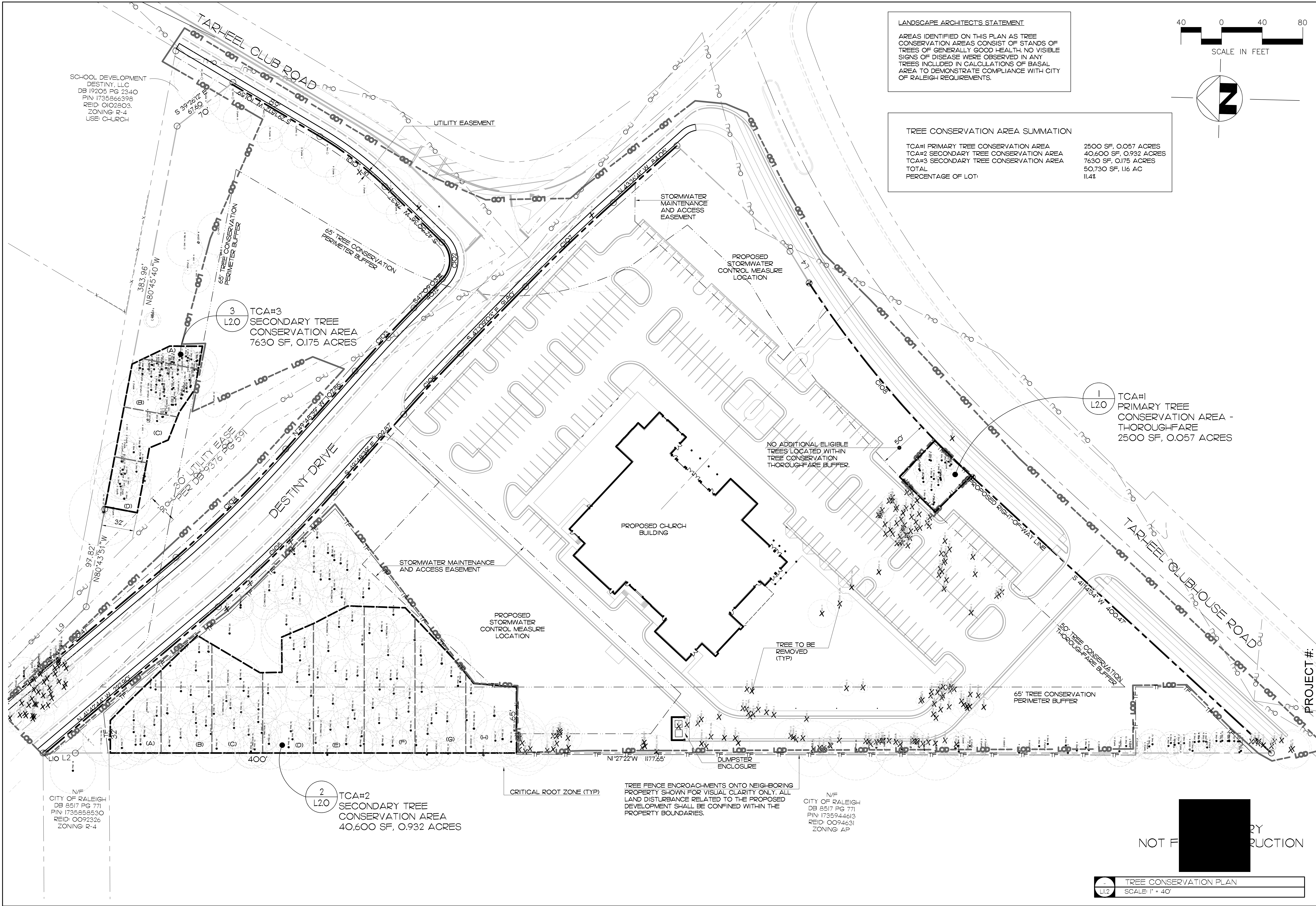
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SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

DRAWN BY: MWB
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SHEET: OF



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SPACE DESIGN, LLC

FOCUS CHURCH OF RALEIGH

3609 TARHEEL CLUB DR.

RALEIGH, NORTH CAROLINA

DRAWN BY: MWB

CHECKED BY: JFW

PROJ. NO. 22059

DATE: 2/22/2024

L1.2 SHEET OF

PROJECT #:

SCALE IN FEET

40 0 40 80

2

LANDSCAPE ARCHITECT'S STATEMENT

TREE CONSERVATION AREA SUMMATION

TOA#1 PRIMARY TREE CONSERVATION AREA 2500 SF, 0.057 ACRES

TOA#2 SECONDARY TREE CONSERVATION AREA 40,600 SF, 0.932 ACRES

TOA#3 SECONDARY TREE CONSERVATION AREA 7630 SF, 0.175 ACRES

TOTAL 50,730 SF, 1.16 AC

PERCENTAGE OF LOT: 11.4%

1 L2.0 TCA#1 PRIMARY TREE CONSERVATION AREA - THOROUGHFARE 2500 SF, 0.057 ACRES

2 L2.0 TCA#2 SECONDARY TREE CONSERVATION AREA 40,600 SF, 0.932 ACRES

3 L2.0 TCA#3 SECONDARY TREE CONSERVATION AREA 7630 SF, 0.175 ACRES

PROPOSED CHURCH BUILDING

PROPOSED STORMWATER CONTROL MEASURE LOCATION

STORMWATER MAINTENANCE AND ACCESS EASEMENT

UTILITY EASEMENT

CRITICAL ROOT ZONE (TYP)

TREE TO BE REMOVED (TYP)

DUMPSTER ENCLOSURE

NO ADDITIONAL ELIGIBLE TREES LOCATED WITHIN TREE CONSERVATION THOROUGHFARE BUFFER.

PROPOSED RIGHT-OF-WAY LINE

50' TREE CONSERVATION THOROUGHFARE BUFFER

65' TREE CONSERVATION PERIMETER BUFFER

DESTINY DRIVE

TARHEEL CLUBHOUSE ROAD

SCHOOL DEVELOPMENT
DESTINY, LLC
DB 19205 PG 2340
PIN: 1735866398
REID: 0102803
ZONING: R-4
USE: CHURCH

CITY OF RALEIGH
DB 8517 PG 771
PIN: 1735858530
REID: 0092326
ZONING: R-4

N/F
CITY OF RALEIGH
DB 8517 PG 771
PIN: 1735944613
REID: 0094631
ZONING: AP

NOT FOR CONSTRUCTION

NOTE:
TREES WITH MORE THAN 30% OF THE CRITICAL ROOT ZONE
OUTSIDE OF THE TREE CONSERVATION AREA ARE NOT INCLUDED IN
THE COMPUTATIONS OF BASAL AREA AND ARE NOT SHOWN IN THE
DETAILS ON THIS SHEET.

BASAL AREA COMPUTATIONS

TCA #1 PRIMARY TREE CONSERVATION AREA - THOROUGHFARE

	CALIPER (IN)	BASAL AREA(SF)
PINE	3	0.049
PINE	5	0.136
PINE	5	0.136
PINE	3	0.049
PINE	3	0.049
PINE	3	0.049
PINE	5	0.136
PINE	4	0.087
PINE	3	0.049
PINE	4	0.087
PINE	3	0.049
PINE	3	0.049
PINE	5	0.136
PINE	3	0.049
PINE	3	0.049
PINE	4	0.087
PINE	5	0.136
PINE	3	0.049
PINE	3	0.049
PINE	4	0.087
MAPLE	4	0.087
PINE	5	0.136
PINE	3	0.049
PINE	3	0.049
PINE	4	0.087

TOTAL (SF) 1.794
ACREAGE (AC) 0.057
COVER RATIO (SF/AC) 31.646



1
L2.0 TCA#1 - PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
SCALE: 1" = 20'



BASAL AREA COMPUTATIONS

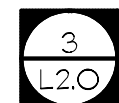
TCA #3 SECONDARY TREE CONSERVATION AREA

	CALIPER (IN)	BASAL AREA(SF)
PINE	7	0.267
PINE	6	0.196
PINE	8	0.349
PINE	3	0.049
PINE	3	0.049
PINE	5	0.136
PINE	5	0.136
PINE	11	0.660
PINE	7	0.267
PINE	3	0.049
PINE	4	0.087
PINE	7	0.267
PINE	7	0.267
PINE	3	0.049

TOTAL (SF) 2.782
ACREAGE (AC) 0.019
COVER RATIO (SF/AC) 143.904

	CALIPER (IN)	BASAL AREA(SF)
PINE	5	0.136
PINE	4	0.087
PINE	3	0.049
POPLAR	16	1.396
PINE	4	0.087
SYCAMORE	9	0.442
PINE	4	0.087
PINE	3	0.049
POPLAR	11	0.660
DBL PINE	10	0.545
PINE	3	0.049
PINE	4	0.087
POPLAR	8	0.349
PINE	4	0.087
PINE	4	0.087
PINE	3	0.049
PINE	3	0.049
CEDAR	3	0.049
PINE	4	0.087

TOTAL (SF) 4.385
ACREAGE (AC) 0.070
COVER RATIO (SF/AC) 62.959



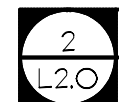
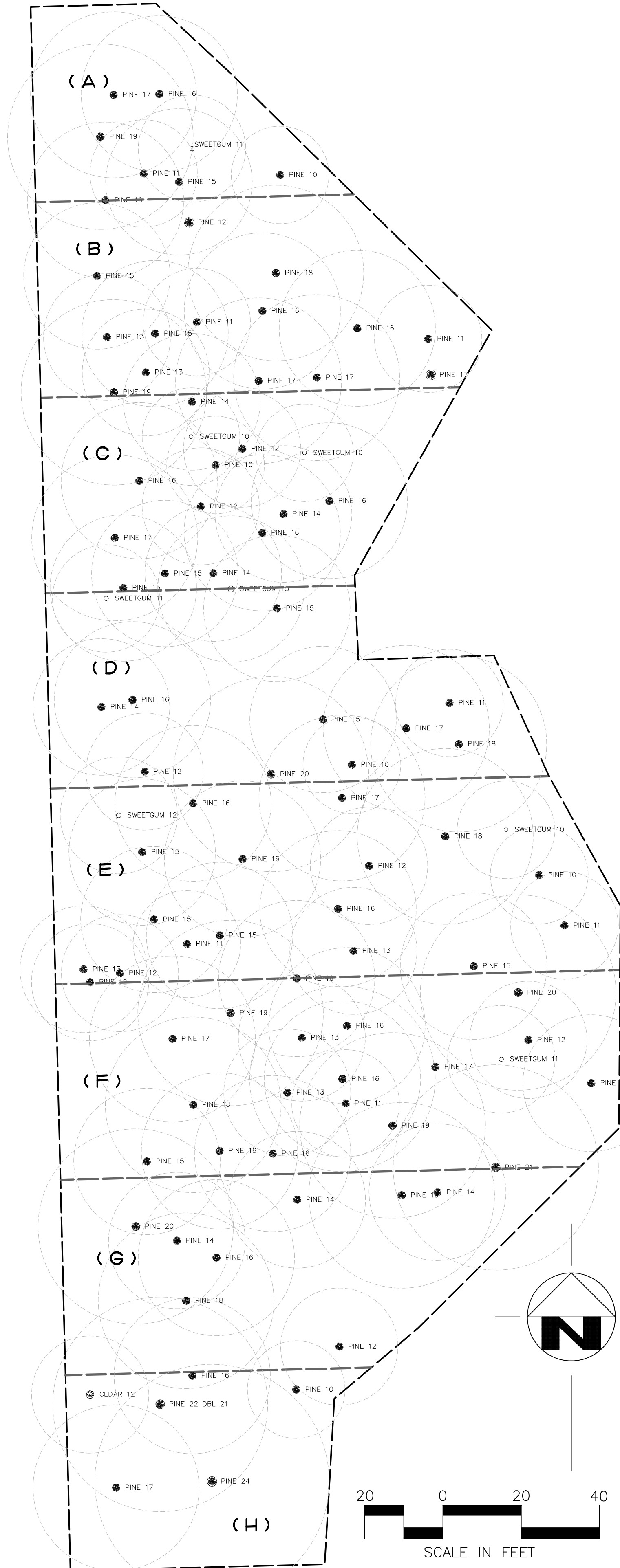
3
L2.0 TCA#3 - SECONDARY TREE CONSERVATION AREA
SCALE: 1" = 20'

	CALIPER (IN)	BASAL AREA(SF)
MAPLE	3	0.049
MAPLE	4	0.087
MAPLE	8	0.349
OAK	3	0.049
PINE	4	0.087
PINE	3	0.049
PINE	4	0.087
OAK	4	0.087
PINE	3	0.049
CEDAR	4	0.087
POPLAR	20	2.182
PINE	3	0.049
PINE	3	0.049
PINE	3	0.049
PINE	5	0.136

TOTAL (SF) 3.436
ACREAGE (AC) 0.049
COVER RATIO (SF/AC) 69.585

	CALIPER (IN)	BASAL AREA(SF)
MAPLE	3	0.049
PINE	14	1.069
PINE	9	0.442
MAPLE	6	0.196
MAPLE	7	0.267
MAPLE	3	0.049
OAK	6	0.196
PINE	21	2.405
PINE	11	0.660
OAK	15	1.227
PINE	8	0.349

TOTAL (SF) 6.910
ACREAGE (AC) 0.037
COVER RATIO (SF/AC) 187.901



2
L2.0 TCA#2 - SECONDARY TREE CONSERVATION AREA
SCALE: 1" = 20'

BASAL AREA COMPUTATIONS

TCA#2 SECONDARY TREE CONSERVATION AREA

	CALIPER (IN)	BASAL AREA(SF)
PINE	16	1.396
PINE	17	1.576
PINE	19	1.969
SWEETGUM	11	0.660
PINE	11	0.660
PINE	10	0.545
PINE	15	1.227
TOTAL (SF)		8.034
ACREAGE (AC)		0.065
COVER RATIO (SF/AC)		122.836

	CALIPER (IN)	BASAL AREA(SF)
PINE	16	1.396
PINE	12	0.785
PINE	18	1.767
PINE	15	1.227
PINE	16	1.396
PINE	11	0.660
PINE	16	1.396
PINE	15	1.227
PINE	13	0.922
PINE	11	0.660
PINE	13	0.922
PINE	17	1.576
PINE	17	1.576
PINE	19	1.969
TOTAL (SF)		19.057
ACREAGE (AC)		0.117
COVER RATIO (SF/AC)		162.417

	CALIPER (IN)	BASAL AREA(SF)
PINE	14	1.069
SWEETGUM	10	0.545
PINE	12	0.785
SWEETGUM	10	0.545
PINE	10	0.545
PINE	16	1.396
PINE	16	1.396
PINE	12	0.785
PINE	14	1.069
PINE	16	1.396
PINE	17	1.576
PINE	14	1.069
PINE	15	1.227
PINE	15	1.227
TOTAL (SF)		14.633
ACREAGE (AC)		0.106
COVER RATIO (SF/AC)		137.973

	CALIPER (IN)	BASAL AREA(SF)
SWEETGUM	15	1.227
SWEETGUM	11	0.660
PINE	15	1.227
PINE	16	1.396
PINE	11	0.660
PINE	14	1.069
PINE	15	1.227
PINE	17	1.576
PINE	18	1.767
PINE	10	0.545
PINE	12	0.785
PINE	20	2.182
TOTAL (SF)		14.323
ACREAGE (AC)		0.156
COVER RATIO (SF/AC)		92.047

	CALIPER (IN)	BASAL AREA(SF)
PINE	17	1.576
PINE	16	1.396
PINE	12	0.785
SWEETGUM	10	0.545
SWEETGUM	18	1.767
PINE	15	1.227
PINE	16	1.396
PINE	12	0.785
PINE	10	0.545
PINE	16	1.396
PINE	15	1.227
PINE	11	0.660
PINE	13	0.922
PINE	15	1.227
PINE	13	0.922
PINE	12	0.785
PINE	12	0.785
TOTAL (SF)		19.837
ACREAGE (AC)		0.158
COVER RATIO (SF/AC)		125.576

	CALIPER (IN)	BASAL AREA(SF)
PINE	17	1.576
PINE	16	1.396
SWEETGUM	12	0.785
SWEETGUM	10	0.545
PINE	18	1.767
PINE	15	1.227
PINE	16	1.396
PINE	12	0.785
PINE	10	0.545
PINE	16	1.396
PINE	15	1.227
PINE	11	0.660
PINE	15	1.227
PINE	11	0.660
PINE	13	0.922
PINE	15	1.227
PINE	13	0.922
PINE	12	0.785
PINE	12	0.785
TOTAL (SF)		19.837
ACREAGE (AC)		0.164
COVER RATIO (SF/AC)		121.208

	CALIPER (IN)	BASAL AREA(SF)
PINE	14	1.069
PINE	19	1.969
PINE	14	1.069
PINE	20	2.182
PINE	14	1.069
PINE	16	1.396
PINE	18	1.767
PINE	12	0.785
TOTAL (SF)		11.306
ACREAGE (AC)		0.122
COVER RATIO (SF/AC)		92.647

	CALIPER (IN)	BASAL AREA(SF)
PINE	16	1.396
PINE	10	0.545
CEDAR	12	0.785
PINE	22	2.640
DBL PINE	21	2.405
PINE	24	3.142
PINE	17	1.576
TOTAL (SF)		12.490
ACREAGE (AC)		0.078
COVER RATIO (SF/AC)		160.538

REVISIONS

Finch & Associates
309 North Boylan Avenue
Raleigh, NC 27603-1402
T 919 | 833-1212
F 919 | 834-3203
NCBELS Lic. No. P-1845
NCBOLA Lic. No. C-656

FINCH
& ASSOCIATES
engineering • landscape architecture • land surveying

PROJECT #:

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

DRAWN BY MWB
CHECKED BY JFW
PROJ. NO. 22059
DATE 2/22/2024
L2.0
SHEET OF

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
 (Include applicable information on the plan sheet)

Project Name: 9

Gross Site Acres:	11.719	ac
Right-of-way to be dedicated with this project:	1.560	ac
Net Site Acres:	10.159	ac

UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	ac	%
1. Primary Tree Conservation Area - SHOD 2	ac	%
2. Primary Tree Conservation Area - Parkway Frontage	ac	%
3. Primary Tree Conservation Area - CM	ac	%
4. Primary Tree Conservation Area - MPOD	ac	%
5. Primary Tree Conservation Area - Champion Tree XX' dbh species	ac	%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	ac	%
7. Primary Tree Conservation Area - 45% Slopes	ac	%
8. Primary Tree Conservation Area - Thoroughfare	0.057	0.5

Subtotal of Primary Tree Conservation Areas:	0.057	ac	0.5	%
--	-------	----	-----	---

UDO 9.1.4.D.2 Tree Conservation Area - Greenway _____ ac _____ %

UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas

(Include perimeter buffers and their alternate compliance areas)	1.107	ac	10.9	%
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UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas

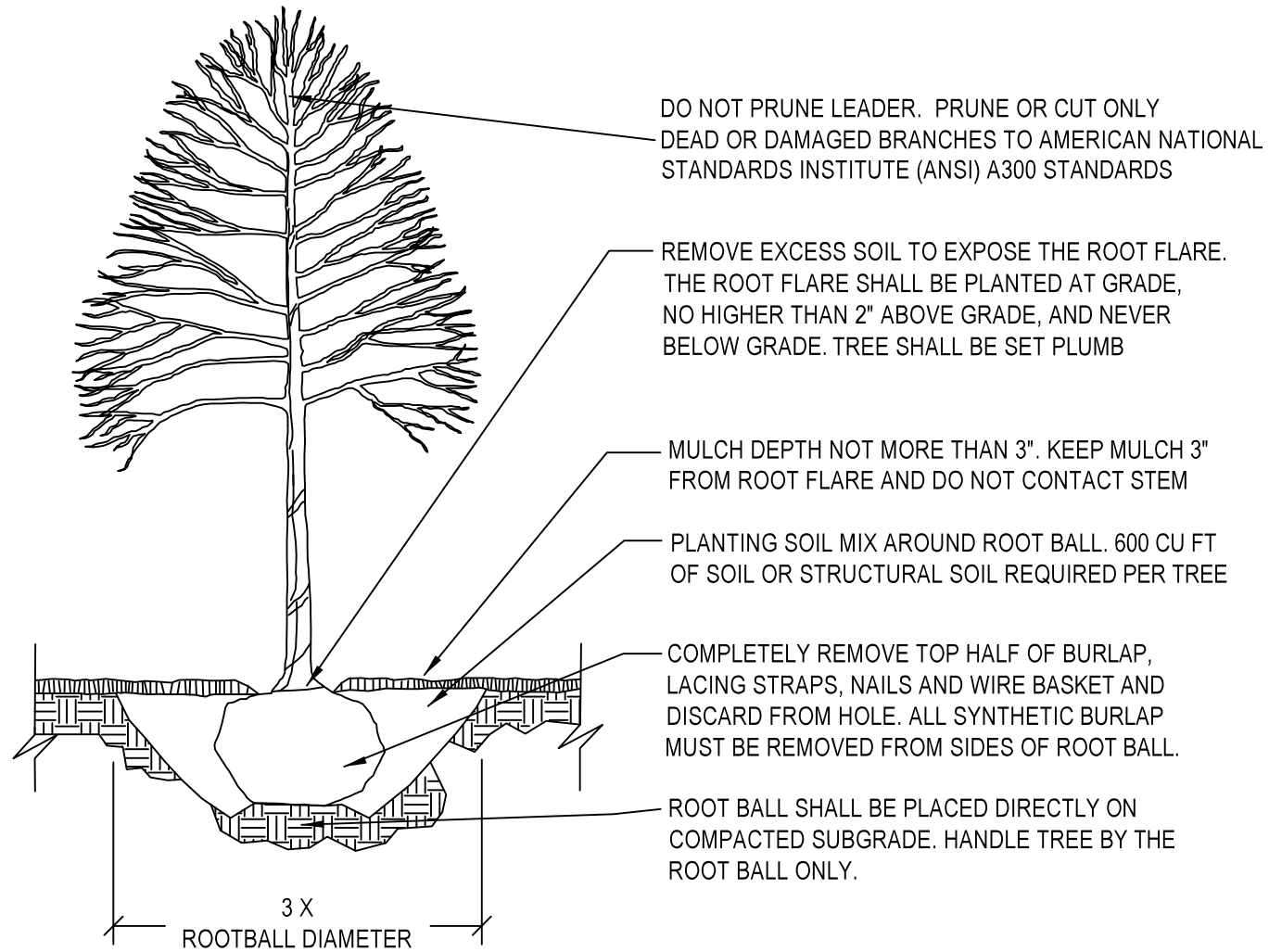
(Include individual trees and their alternate compliance areas)

	AC	%
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Subtotal of Secondary Tree Conservation Areas:	ac	%
--	----	---

TOTAL ALL TREE CONSERVATION AREA PROVIDED: 1.164 ac 11.4 %

UDO 9.1.9. Watershed Protection Overlay Districts		
UWPOD - Wooded Area (preserved)	ac	%
UWPOD - Wooded Area (planted)	ac	%
FWPOD - Wooded Area (preserved)	ac	%
FWPOD - Wooded Area (planted)	ac	%
SWPOD - Wooded Area (preserved)	ac	%
SWPOD - Wooded Area (planted)	ac	%



CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL
RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
4. A TREE IMPACT PERMIT IS REQUIRED.
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

<h1 style="text-align: center;">CITY OF RALEIGH</h1> <h2 style="text-align: center;">STANDARD DETAIL</h2>		
REVISIONS 10/2019 	DATE: 8/2020	NOT TO SCALE
<h3>TREE PLANTING DETAIL</h3>		
<h2>TPP-03</h2>		

STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

January 18, 2024

Melvin Burnette
Finch & Associates
309 N. Boylan Avenue
Raleigh, NC 27603

Subject: Planting Permit for Focus Church

To whom it may concern:

Please be advised that the planting plans have been conditionally approved for the Focus Church located at 3609 Tarheel Club Road in Wake County, North Carolina.

The following standard provisions are made part of this agreement:

1. The permittee shall maintain a clear sight distance for vehicles utilizing driveway connections.
2. The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
3. Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
4. Plants to be first class quality of their species.
5. A copy of this permit must be on the worksite at all times while the work is being performed.
6. All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 5 OFFICE
2612 NORTH DUKE STREET
DURHAM, NC 27704
CS # 17-27-03

Telephone: (919) 317-4700
Fax: (919) 317-4710
Customer Service: 1-877-368-4
Website: www.ncdot.gov

Location:
2612 NORTH DUKE STREET
DURHAM, NC 27704


- The traveling public will be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTCD). No work shall be performed in the Right of Way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations.
8. NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation.
9. Two-way traffic shall be maintained at all times.
10. No lane of travel shall be closed or restricted between the hours of 6:00 AM - 9:00 AM and 4:00 PM - 7:00 PM Monday - Friday. Any violation of these hours will result in termination of the encroachment agreement.
11. The applicant reserves the right to further limit, restrict, or suspend operations within the Right of Way, if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
12. The Traffic Services Supervisor shall be notified at (919) 477-2140 in Durham prior to beginning work on the Right of Way if there are existing NCDOT signals, traffic signals, or signal equipment on or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signals, signals, or associated equipment shall be the responsibility of the Encroacher.
13. The applicant will be required to notify the Roadside Environmental Technician, **Mark Conner** at (919) 621-5462 prior to beginning and after completion of work.
14. It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area. The Encroacher shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessability to existing utilities.
15. At the end of each working day, equipment shall be parked a minimum of 30 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear recovery zone.
16. The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires a permit from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain pertinent permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. Additional information can be obtained by contacting the USACE or NCDWQ.
17. The applicant is responsible for complying with the Neuse and Tar-Pamlico Riparian Buffer Rule as regulated by the NCDWQ. The Rule regulates activities within 60-foot buffer along Neuse and Pamlico streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

18. The applicant is responsible for avoiding impacts to federally protected species during project construction. Bald eagle, Michaux's sumac, smooth coneflower, dwarf wedge-mussel, harperella, red-cockaded woodpecker and tar spiny-mussel are federally protected species that have been identified within NCDOT right-of-way in Durham, Person, Granville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services.

19. In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (municipality/civic group/individual) upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance, please contact Corey Sudderth by phone at 919-317-4700 or by email at csudderth@ncdot.gov.

Sincerely,



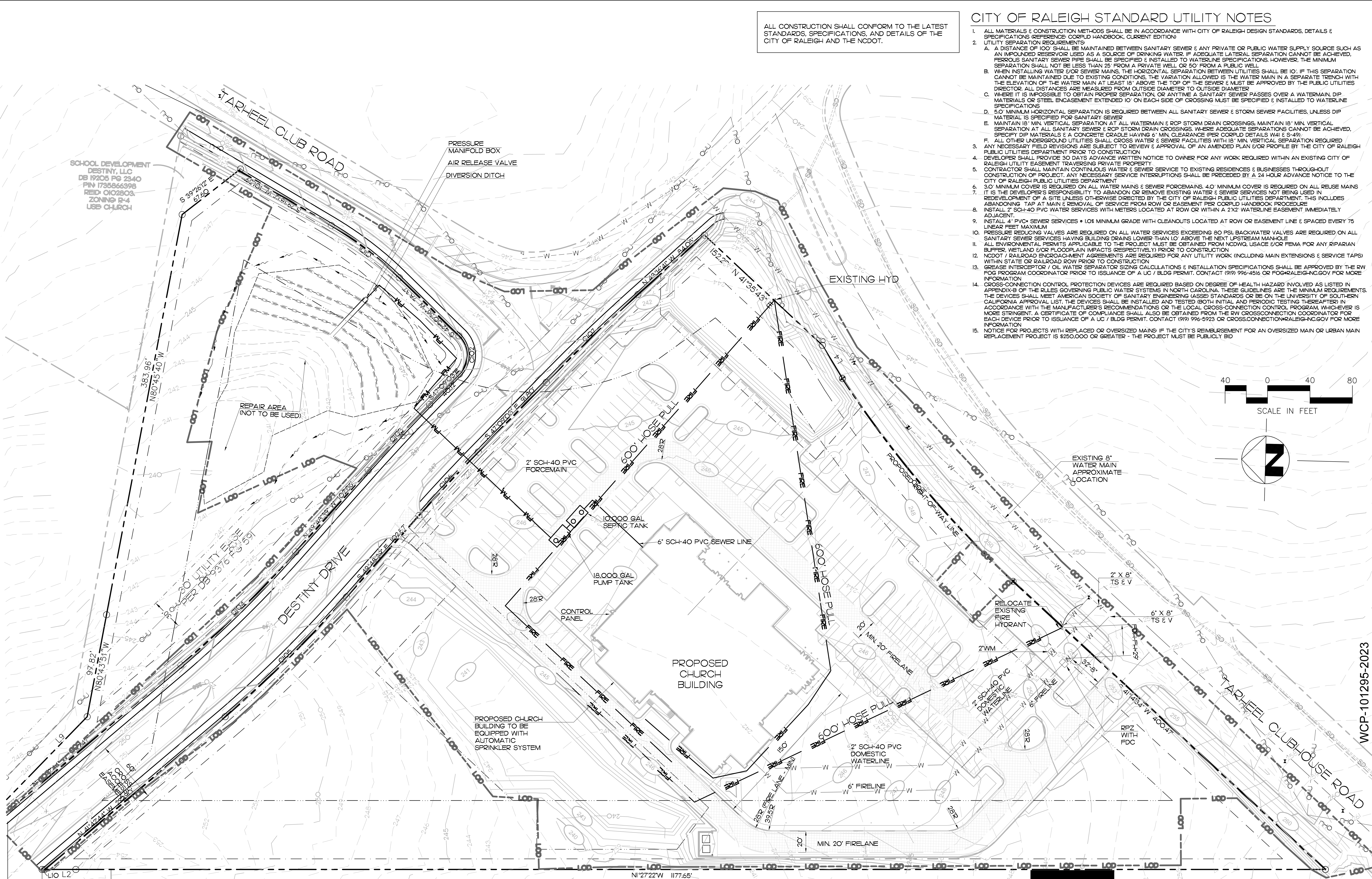
Brandon H. Jones, PE
Division Engineer

BHJ/cls

Cc: Corey Sudderth, Roadside Environmental Engineer
File

PROJECT #:

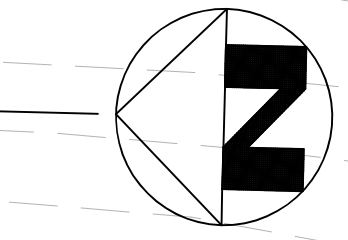
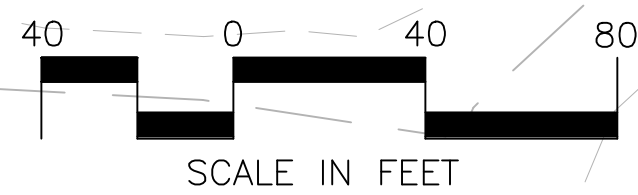
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ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCDOT.

CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DESIGNER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" SCH-40 PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL 4" PVC SEWER SERVICES • 10X MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NODWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGH-NC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A COORDINATOR OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGH-NC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.



PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



NOT FOR CONSTRUCTION

UTILITIES PLAN
SCALE: 1" = 40'

REVISIONS

Finch & Associates
309 North Boylan Avenue
Raleigh, NC 27603-1402
T 919 | 833-1212
F 919 | 834-3203
NCBELS Lic. No. P-1845
NCBOLA Lic. No. C-656

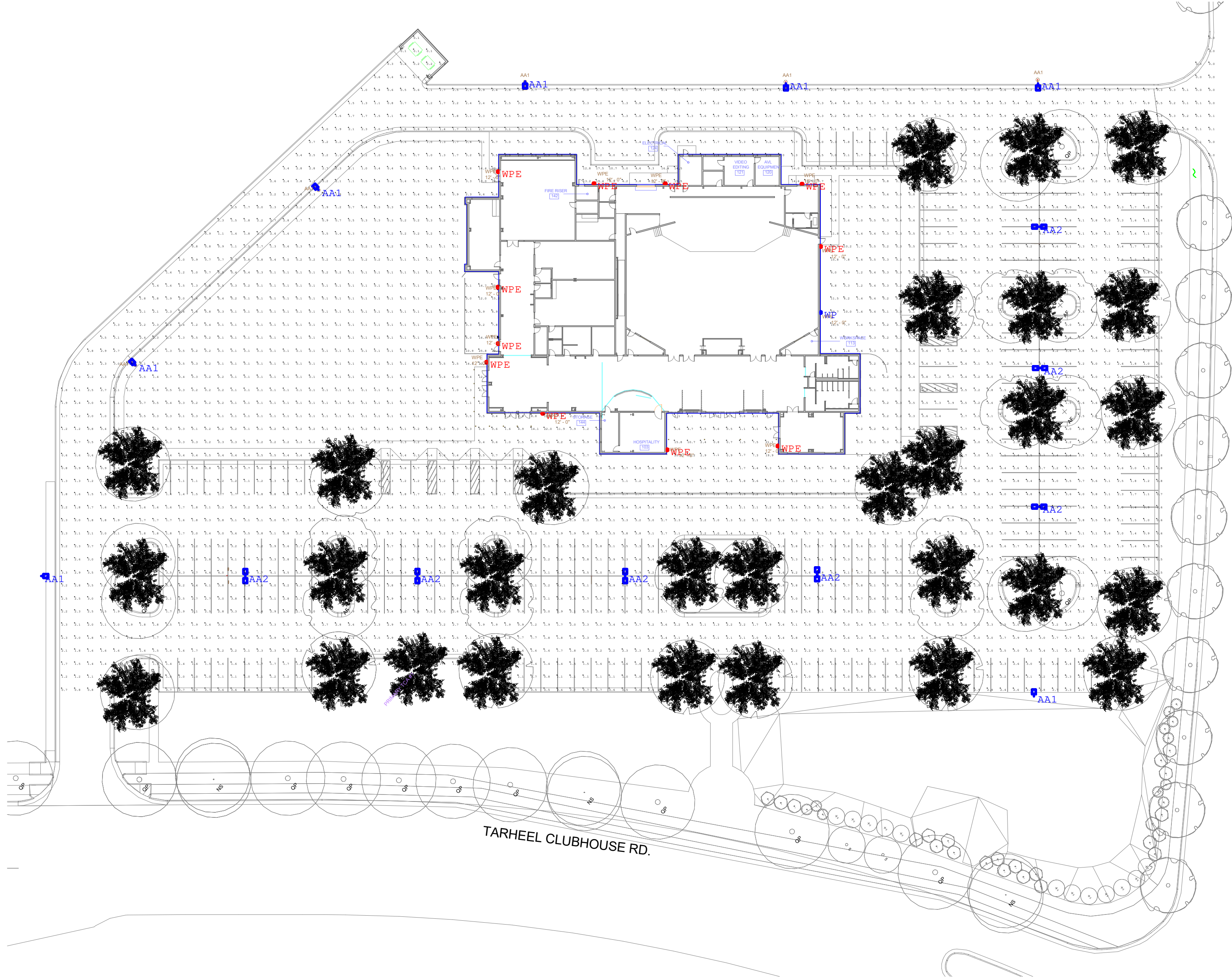


SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

WCP-101295-2023

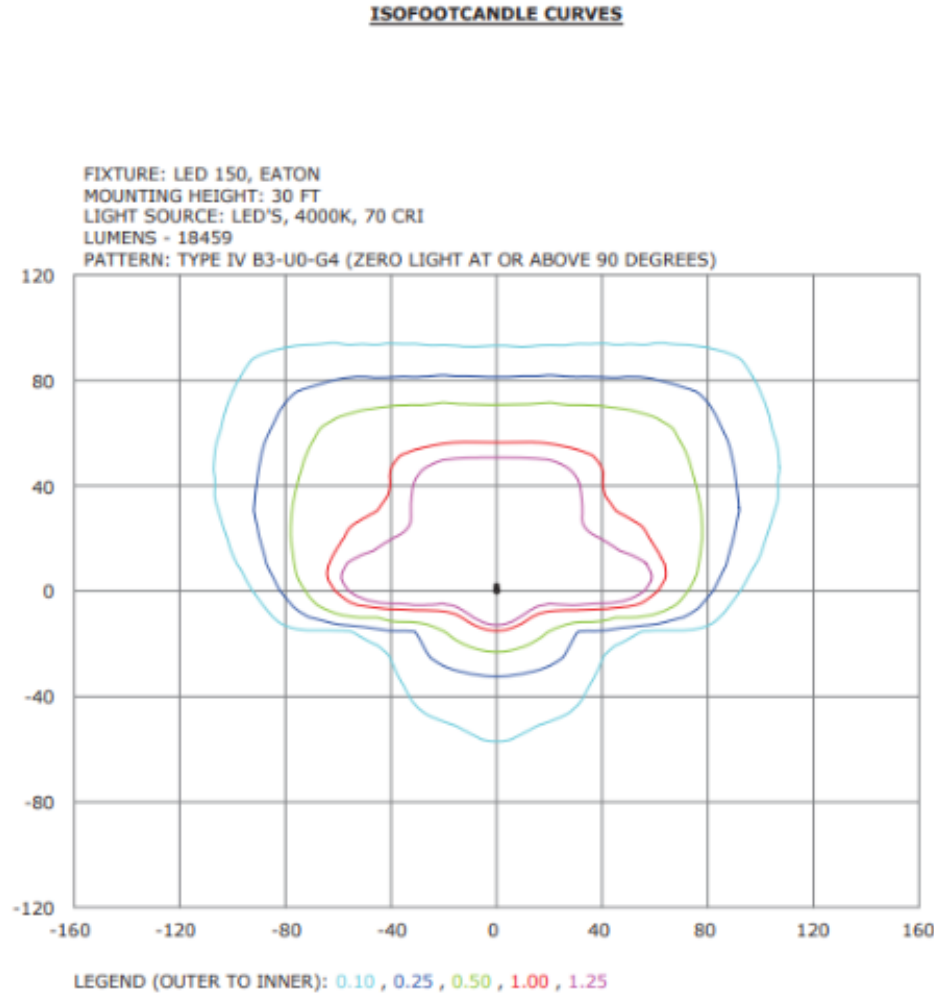
DRAWN BY: BAB
CHECKED BY: JFW
PROJ. NO.: 22059
DATE: 2/22/2024
SHEET: 0F

1 SITE LIGHTING PHOTOMETRIC
A.102 1" = 40'-0"



Luminaire Schedule						
Symbol	Label	Description	Arrangement	Arrangement Luminaire Lumens	Arrangement Watts	BUG Rating
	AA2	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 1	Back-Back	38918	332	B3-U0-G4
	AA1	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 1	Single	18459	166	B3-U0-G4
	WP	WST LED P3 40K VW MVOLT DDBXD	Single	6691	50	B1-U0-G1
	WPE	WST LED P3 40K VW MVOLT E20WC DDBXD	Single	6691	50	B1-U0-G1

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Site Litg	2.16	25.8	0.0	N.A.	N.A.



Outdoor Lighting

SHOEBOX LED
(Meets Dark Sky Criteria)

LED
(Light-emitting diode)

Mounting height

Color

Pole

Applications

150 | 220 | 420 | 630 watts

25', 30', 35'

Black | Bronze | Gray | White

Fiberglass (1 or 2 fixtures per pole)
Decorative tapered metal
Decorative square metal

Neighborhoods
Roadways
Shopping centers

Light source: LED (white)

Wattage: 150 | 220 | 420 | 630 watts

Light pattern: IES Type V | Type IV (forward throw) | Type III

IESNA cutoff classification: Full-cutoff

BUG rating: 150W Type III = B2U0G3 / Type IV = B3U0G4 / Type V = B5U0G3
220W Type III = B2U0G4 / Type IV = B3U0G4 / Type V = B4U0G3
420W Type IV = B3U0G5 / Type V = B5U0G5
630W Type IV = B3U0G5 / Type V = B5U0G5

Color temperature: 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

FEATURES

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

BENEFITS

- Provides hassle-free installation and service
- Frees up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates high and unexpected repair bills
- Convenience and savings for you

For additional information, email us at
ODL.Carelines@duke-energy.com.

DUKE ENERGY
PROGRESS

ADVANCING A SUSTAINABLE ENERGY FUTURE™

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Revisions:	Date	Civil Engineers:	MEP Engineers:	Structural Engineers:	Seal	Design Team Manager:	Drawing Title	Project Title	Date
		FINCH FINCH & ASSOCIATES	DC Darr+Collins CONSULTING ENGINEERS	wallace Wallace Engineering Structural Consultants, Inc.	REVIEW SET NOT FOR CONSTRUCTION	Space	Site Lighting Photometrics	FOCUS CHURCH	10/27/2022
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								Submittal PERMIT DRAWINGS	Checked Designer
								Drawn Author	Location 3609 Tarheel Club Rd. Raleigh, NC 27604
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