



Administrative Approval Action

Case File / Name: SUB-0010-2024
DSLCL - Focus Church

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located between the Neuse River and Old Milburnie Road at 3609 Tarheel Club Road, PIN 1735956084. The site is located in the R-4 zoning district and is vacant. It is outside the city limits.

REQUEST: This development plan proposes to subdivide an 11.719 acre site into two lots and create public street right-of-way for Destiny Drive, currently a private driveway in this location.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 8, 2024 by Finch & Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Remove the proposed *Nyssa sylvatica* on the corner of Destiny Dr, Tarheel Club Dr., and Tarheel Clubhouse Rd. Update the provided number of street trees for Destiny Dr.

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry



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6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities



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4. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.16 acres of tree conservation area.
9. A public infrastructure surety for 61 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 20 street trees along Tarheel Clubhouse Rd and 41 street trees along Destiny Dr.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater



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2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: June 11, 2027
Record at least 1/2 of the land area approved.

5-Year Sunset Date: June 11, 2029
Record entire subdivision.

I hereby certify this administrative decision.

Signed: _____ *Jeff Caines* _____ Date: 06/11/2024
Development Services Dir/Designee
Staff Coordinator: Jeff Caines

PRELIMINARY SUBDIVISION
FOCUS CHURCH of RALEIGH
 3609 TARHEEL CLUB DRIVE
 RALEIGH, NORTH CAROLINA
 PROJECT #: SUB-0010-2024

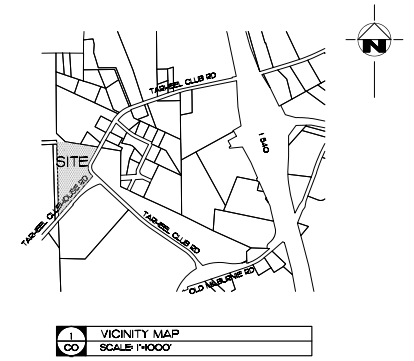
OWNER/DEVELOPER

FOCUS CHURCH OF RALEIGH
 7000 DESTINY DRIVE
 RALEIGH, NC 27604
 KRIS WEISS, EXECUTIVE PASTOR OF FINANCE
 TEL: 919-810-3813

SITE / CIVIL

FINCH & ASSOCIATES, PLLC

309 NORTH BOYLAN AVENUE, RALEIGH, NC 27603-1402
 MELVIN W. BURNETTE., RLA - LICENSE # NC 1821
 JOHN F. WATSON, PE - LICENSE # NC 039760
 TEL. (919) 833-1212



INDEX OF DRAWINGS

- C0 COVER SHEET
- C0.1 COVER NOTES
- C1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C2 PRELIMINARY SUBDIVISION PLAN
- C2.1 SUBDIVISION NOTES
- C2.10 PRELIMINARY ROADWAY SITE PLAN
- C3 GRADING AND STORM DRAINAGE PLAN
- C3.10 PREL. ROADWAY GRADING & DRAINAGE PLAN
- C4 CONSTRUCTION DETAILS
- L1 LANDSCAPE PLAN
- L1.1 SCREEN PLANTING PLAN
- L1.2 TREE CONSERVATION PLAN
- L1.10 PREL. ROADWAY LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS
- L2.1 LANDSCAPE DETAILS
- U1 UTILITIES PLAN
- A102 SITE LIGHTING PLAN

Digitally signed by
 jeff.caines@raleighnc.gov
 DN:
 E=jeff.caines@raleighnc.gov,
 jeff.caines@raleighnc.gov CN=jeff.caines@raleighnc.gov
 Reason: I am approving this
 document
 Date: 2024.06.14
 10:41:05-04'00'

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL
 AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE
 WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO
 NOTED.

REVISIONS
 5/8/2024

Finch & Associates
 Raleigh, NC 27603-1402
 T 919 833-1212
 F 919 834-1003
 NC RLA License # 1821
 NC PE License # 039760



PROJECT #: SUB-0010-2024

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

DRAWN BY: **MWB**
 CHECKED BY: **JFW**
 PROJ. NO.: 22059
 DATE: 2/22/2024
 SHEET OF

GENERAL NOTES

- BOUNDARY LINES WERE TAKEN FROM A SURVEY PERFORMED BY TERRESTRIAL SURVEYING, DATED SEPTEMBER 20, 2022.
- TOPOGRAPHIC INFORMATION, VEGETATION LINES, AND EXISTING STRUCTURES AND UTILITIES WERE TAKEN FROM A SURVEY COMPLETED BY TERRESTRIAL SURVEYING MARCH 12, 2023.
- ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
- ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- NO FEMA MAPPED FLOOD BOUNDARIES EXIST ON THE PROJECT SITE.
- THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE TO BE HANDLED BY DUMPSTER COLLECTED BY PRIVATE WASTE SERVICES PROVIDER.
- PROPERTY IS SUBJECT TO RESIDENTIAL INFLUENCE PER UDO SECTION 22.7. NO CONSTRUCTION EXISTS ON NEIGHBORING PROPERTIES TO BE USED IN DETERMINING A COMPARATIVE SAMPLE. SETBACKS ARE DETERMINED BY UNDERLYING ZONING REQUIREMENTS.
- PER UDO SEC. 8.3.2(A)(1), THE PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.
- ALL LAND DISTURBANCE SHOWN ON THESE PLANS SHALL BE CONTAINED WITHIN THE PROPERTY BOUNDARIES AND PUBLIC RIGHT-OF-WAY. ENCROACHMENTS ONTO NEIGHBORING PROPERTIES SHOWN ON THESE PLANS ARE FOR VISUAL CLARITY ONLY AND DO NOT REPRESENT A CONDITION TO BE CONSTRUCTED.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS SPECIFICATIONS AND DETAILS OF THE CITY OF RALEIGH AND THE NCDOT.

SITE DATA TABLE

SITE INFORMATION
 PIN NUMBER: 1755966084
 OWNER/DEVELOPER: FOCUS CHURCH OF RALEIGH
 SITE ADDRESS: 3609 TARHEEL CLUB DRIVE, RALEIGH, NC 27604

TOTAL AREA: 510,483 SF, 11,719 ACRES
 RIGHT-OF-WAY DEDICATION
 TARHEEL CLUBHOUSE ROAD: 16,910 SF, 388 AC
 TARHEEL CLUB ROAD: 10,320 SF, 235 AC
 DESTINY DRIVE: 40,815 SF, 937 AC
 TOTAL RIGHT-OF-WAY DEDICATION: 1,560 AC
 NET SITE AREA: 10,159 AC

ZONING INFORMATION:
 ZONING: R-4 (EXEMPT - PLACE OF WORSHIP)
 ZONING OVERLAY: NONE
 WATERSHED: NEUSE RIVER BASIN
 WATERSHED PROTECTION AREA: NONE

DEVELOPMENT INFORMATION
 EXISTING USE: VACANT
 EXISTING FLOOR AREA: 0 SF
 TOTAL LOTS PROPOSED: 2
 TOTAL DWELLING UNITS PROPOSED: 0
 PROPOSED USE: CIVIC (PLACE OF WORSHIP)
 PROPOSED DEVELOPMENT TYPE: CONVENTIONAL, CIVIC

TRAFFIC CONTROL & PEDESTRIAN PLAN NOTES

- REFER TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LAKE OR SIDEWALK. THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHT-OF-WAY SERVICES@RALEIGH-NC.GOV.
- THE STREET LAKE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL CDDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES,
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES PROHAWA,
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS,
 - RALEIGH STREET DESIGN MANUAL, 2020A.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES PROHAWA. THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES MUST BE PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

LEGEND

EXISTING	SYMBOL	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	LOT LINE
---	---	---	BUFFER LINE
---	---	---	EASEMENT LINE
---	---	---	SETBACK LINE
---	---	---	LIMIT OF DISTURBANCE
---	---	---	CONTOURS
---	---	---	SPOT ELEVATION
---	---	---	STORM DRAINAGE
---	---	---	TREE CONSERVATION AREA
---	---	---	TREES AND TREELINE
---	---	---	STREET OR DRIVEWAY
---	---	---	WALL
---	---	---	FENCE

REVISIONS
 5/8/2024

Finch & Associates
 Raleigh, NC 27603-1402
 T 919 833-1212
 F 919 834-1003
 NCDOT, U.S. No. C-2450

FINCH
 FINCH & ASSOCIATES
 engineering architecture + landscape

Preliminary Subdivision Application
 Site Review
 Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)

Conventional Subdivision Compact Development Conservation Development
 Cottage Court Flag lot Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Scoping/sketch plan case number(s): SCOPE-0191-2022
 Development name (subject to approval): Focus Church of Raleigh
 Property Address(es): 3609 Tarheel Club Road, Raleigh, NC 27604
 Recorded Deed PIN(s): 1735956084

Building type(s): Detached House Attached House Townhouse Apartment
 General Building Mixed Use Building Civic Building Open Lot Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Name: Focus Church of Raleigh
 Company: Focus Church of Raleigh Title:
 Address: 7000 Destiny Drive, Raleigh, NC 27604
 Phone #: 919-810-3813 Email: kris@focus.church

Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: Finch and Associates Address: 309 North Boylan Ave, Raleigh, NC 27603
 Phone #: 919-833-1212 Email: jwatson@finch-associates.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names: 1
 Company: Title:
 Address:
 Phone #: Email:

DEVELOPMENT TYPE + SITE DATA TABLE - ZONING INFORMATION

Gross site acreage: 11.719
 Zoning districts (if more than one, provide acreage of each):
 R-4

Overlay district(s): NONE Inside City Limits? Yes No Historic District/Landmark: N/A
 Conditional Use District (CUD) Board of Adjustment Case # Design Alternate Case #
 Case # Z: BOA- DA-

STORMWATER INFORMATION

Impervious Area on Parcel(s):
 Existing (sf) 14300 Proposed total (sf) 218900 Impervious Area for Compliance (includes right-of-way):
 Existing (sf) 14300 Proposed total (sf) 65870

NUMBER OF LOTS AND DENSITY

of Detached House Lots: 0 # of Attached House Lots: Focus Chl # of Townhouse Lots:
 # of Tiny House Lots: 0 # of Open Lots: 1 # of Other Lots (Apartment, General, Mixed Use, Civic): 1
 Total # of Lots: 2 Total # Dwelling Units: 0
 # of bedroom units (if known): 1br 2br 3br 4br
 Proposed density for each zoning district (UDO 1.5.2.F): N/A

SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained as all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(d)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *John F. Watson* Date: 2/22/2024
 Printed Name: John F. Watson
 Signature: *Melvin W. Burnette* Date: 2/22/2024
 Printed Name: Melvin W. Burnette

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER SEWER AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409 AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4840 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSIDE MANHOLE, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF THE CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

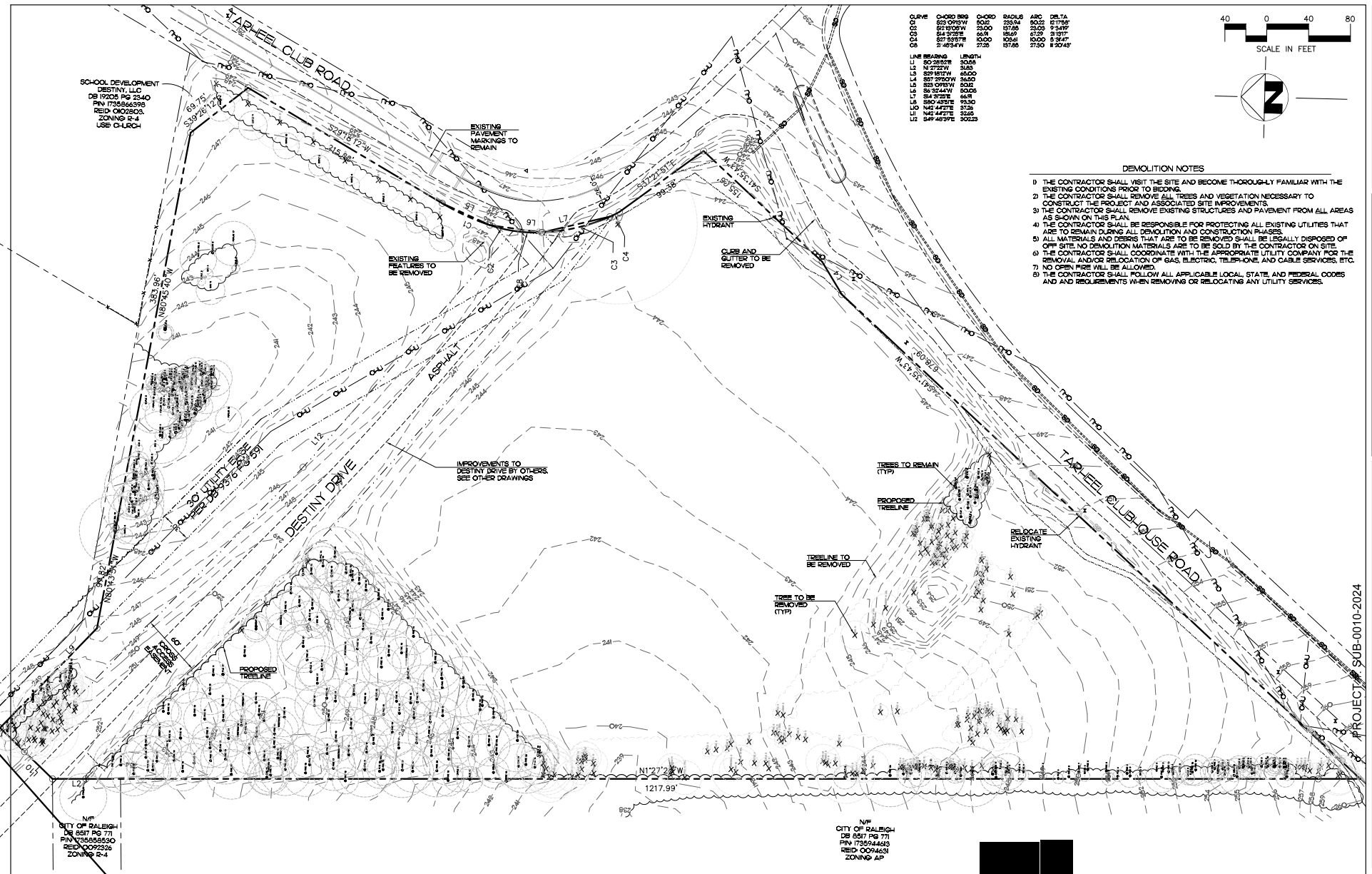
PROJECT #: SUB-0010-2024

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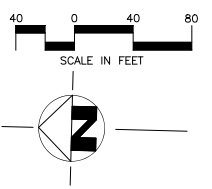
DRAWN BY: *MWB*
 CHECKED BY: *JFW*
 PROJ. NO.: 22024
 DATE: 2/22/2024
 SHEET: 01 OF

ON

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.



LINE NUMBER	LENGTH	AREA	PERCENT
LI	80.2032E	30254	3.63
LI	11.7721W	3453	0.42
LI	529.8717W	66000	8.00
LI	87.79521W	3453	0.42
LI	525.0995W	6032	0.73
LI	26.4244W	1028	0.12
LI	514.3125E	6418	0.78
LI	86.4478E	3365	0.41
LI	142.4472E	5726	0.70
LI	141.4472E	3365	0.41
LI	549.4829E	30223	3.63



- DEMOLITION NOTES**
- 1) THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO BIDDING.
 - 2) THE CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION NECESSARY TO CONSTRUCT THE PROJECT AND ASSOCIATED SITE IMPROVEMENTS.
 - 3) THE CONTRACTOR SHALL REMOVE EXISTING STRUCTURES AND PAVEMENT FROM ALL AREAS AS SHOWN ON THIS PLAN.
 - 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES THAT ARE TO REMAIN DURING ALL DEMOLITION AND CONSTRUCTION PHASES.
 - 5) ALL MATERIALS AND DEBRIS THAT ARE TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE. NO DEMOLITION MATERIALS ARE TO BE SOLD BY THE CONTRACTOR ON SITE.
 - 6) THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR THE REMOVAL AND/OR RELOCATION OF GAS, ELECTRIC, TELEPHONE, AND CABLE SERVICES, ETC.
 - 7) NO OPEN FIRE WILL BE ALLOWED.
 - 8) THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ANY REQUIREMENTS WHEN REMOVING OR RELOCATING ANY UTILITY SERVICES.

REVISIONS
 5/8/2024

Prepared by: **FINCH**
 FINCH & ASSOCIATES
 ENGINEERING ARCHITECTURE + LANDSCAPE ARCHITECTURE
 Raleigh, NC 27603-1402
 T 919 833-3322
 F 919 834-3333
 NCEM No. 10000
 NCES No. C-2549

FINCH
 FINCH & ASSOCIATES
 ENGINEERING ARCHITECTURE + LANDSCAPE ARCHITECTURE

PROJECT: SUB-0010-2024
 SPACE DESIGN, LLC
 FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

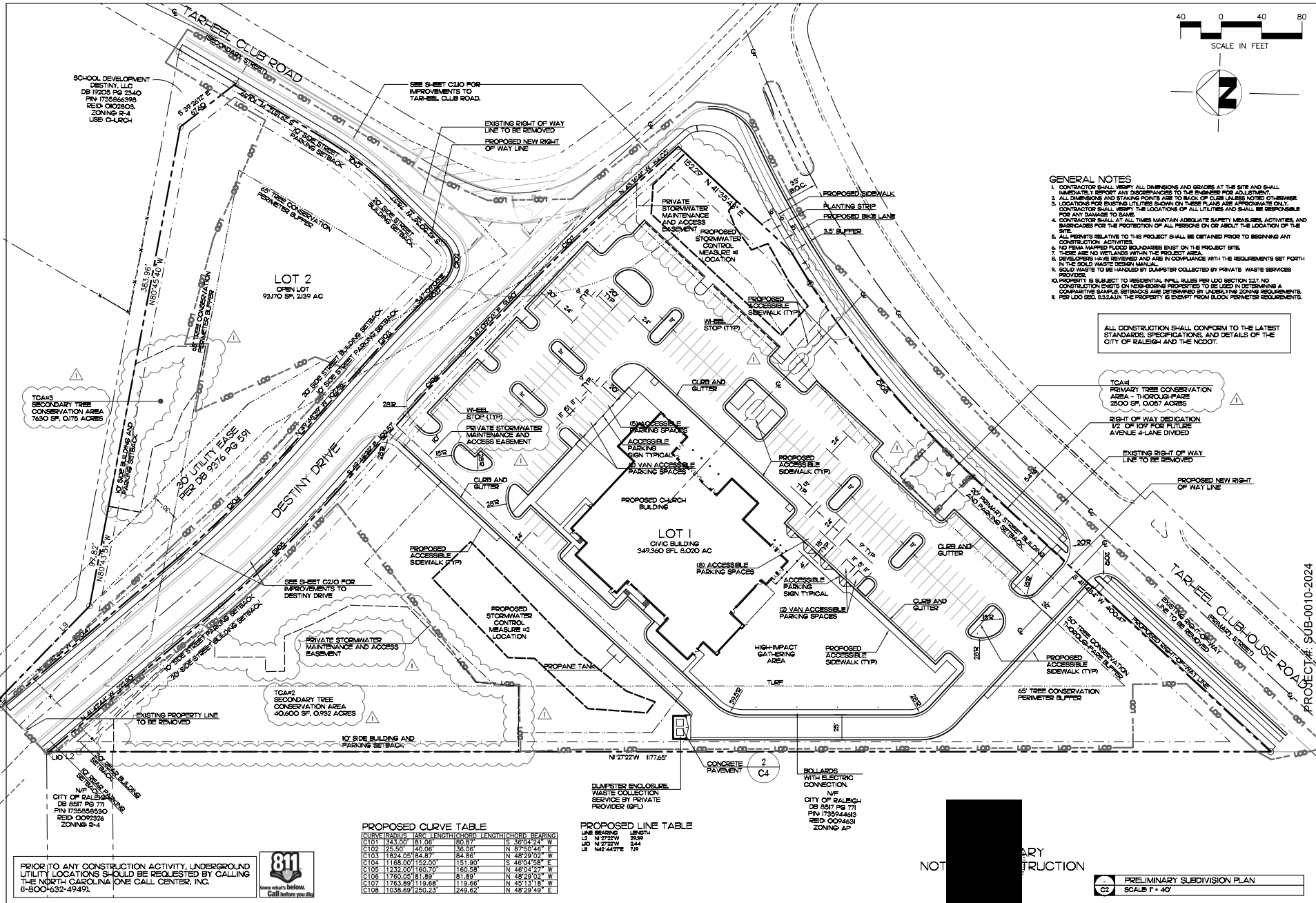
DRAWN BY: MWB
 CHECKED BY: JFW
 PROJ. NO.: 22059
 DATE: 9/22/2024
 SHEET 01 OF

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHALL BE REQUESTED BY CALLING THE NORTH CAROLINA ONE-CALL CENTER, INC. (1-800-632-4949).

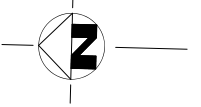
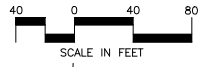


NOT A CONSTRUCTION

EXISTING CONDITIONS AND DEMOLITION PLAN
 SCALE: 1" = 40'



REVISIONS
5/8/2024



- GENERAL NOTES**
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES AT THE SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ENGINEER FOR ADJUSTMENT.
 2. ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
 3. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
 4. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND SIGNAGE FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
 5. ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
 6. NO TEMPORARY BLOCK BOUNDARIES EXIST ON THE PROJECT SITE.
 7. THESE ARE NO WETLANDS WITHIN THE PROJECT AREA.
 8. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
 9. SOLID WASTE TO BE HANDLED BY DUMPSTER COLLECTED BY PRIVATE WASTE SERVICES PROVIDER.
 10. PROPERTY IS SUBJECT TO RESIDENTIAL INFILL RULES PER LDC SECTION 227. NO CONSTRUCTION EXISTS ON NEAR-SHOPPING PROPERTIES TO BE USED IN DETERMINING A COMPARATIVE SAMPLE SETBACKS ARE DETERMINED BY LDC SECTION 227.03 ZONING REQUIREMENTS.
 11. PER LDC SEC. 233.2A IN THE PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCCDOT.

TC#81
PRIMARY TREE CONSERVATION AREA - THROUGH-PARK 2500 SF (0.007 ACRES)

RIGHT OF WAY DEDICATION 1/2 OF 100' FOOT R.F. USE AVENUE 4-LANE DIVIDED

EXISTING RIGHT OF WAY LINE TO BE REMOVED

PROPOSED NEW RIGHT OF WAY LINE

EXISTING RIGHT-OF-WAY LINE TO BE REMOVED

PROPOSED RIGHT-OF-WAY LINE

PROPOSED RIGHT-OF-WAY LINE

PROPOSED RIGHT-OF-WAY LINE

PROPOSED RIGHT-OF-WAY LINE

FINCH
FINCH & ASSOCIATES
PLANNING & ASSOCIATES

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

PROJECT#: SUB-0010-2024
DRAWN BY: MMB
CHECKED BY: JFW
PROJ. NO.: 22039
DATE: 2/22/2024
C2 SHEET OF

SCHOOL DEVELOPMENT
DESTINY, LLC
DB 19205 PG 2340
PIN 1755866398
REID 0020503
ZONING IS-4
USE C-URCH

LOT 2
OPEN LOT
9370 SF, 219 AC

LOT 1
CIVIC BUILDING
349,360 SF, 8.020 AC

TC#85
SECONDARY TREE CONSERVATION AREA 7650 SF, 0.175 ACRES

TC#8
SECONDARY TREE CONSERVATION AREA 40,600 SF, 0.932 ACRES

CITY OF RALEIGH
DB 2817 PG 771
PIN 1755866390
REID 0022326
ZONING IS-4

PROPOSED CURVE TABLE

CURVE ID	CHORD BEARING	CHORD LENGTH	CHORD BEARING
C101	S 36°04'24" W	80.87	S 36°04'24" W
C102	N 87°50'46" E	36.06	N 87°50'46" E
C103	N 48°23'02" E	84.86	N 48°23'02" E
C104	S 46°04'58" E	151.90	S 46°04'58" E
C105	N 48°23'02" W	160.59	N 48°23'02" W
C106	N 48°23'02" W	81.89	N 48°23'02" W
C107	N 49°13'18" W	119.66	N 49°13'18" W
C108	N 48°23'49" E	248.52	N 48°23'49" E

PROPOSED LINE TABLE

LINE BEARING	LENGTH
LD 1	N 27°22'W 593'
LD 2	N 27°22'W 544'
LD 3	N 42°42'27" E 79'

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-652-4343).



NOT FOR CONSTRUCTION

C2 PRELIMINARY SUBDIVISION PLAN
SCALE 1" = 40'

SUBDIVISION INFORMATION

PIN NUMBER: 1735956084
 SITE ADDRESS: 3609 TARHEEL CLUB DRIVE, RALEIGH, NC 27604
 ZONING: R-4 (EXEMPT - PLACE OF WORSHIP)
 ZONING OVERLAY: NONE

TOTAL AREA: 510,483 SF, 11.719 ACRES
 RIGHT-OF-WAY DEDICATION
 TARHEEL CLUBHOUSE ROAD: 16,910 SF, .388 AC
 TARHEEL CLUB ROAD: 10,290 SF, .235 AC
 DESTINY DRIVE: 40,813 SF, .937 AC
 TOTAL RIGHT-OF-WAY DEDICATION: 1,560 AC
 LOT 1 - CIVIC BUILDING: 349,360 SF, 8.020 AC
 LOT 2 - OPEN LOT: 93,170 SF, 2.139 AC

DEVELOPMENT INFORMATION
 RIGHT OF WAY IMPROVEMENTS
 TARHEEL CLUBHOUSE ROAD
 TYPE: AVENUE 4-LANE DIVIDED
 SIDEWALK: 820 LF, 4910 SF
 BIKE LANE: 770 LF, 3370 SF
 STREET WIDENING: 840 LF, 15,950 SF
 TARHEEL CLUB DRIVE
 TYPE: LOCAL STREET
 SIDEWALK: 350 LF, 2100 SF
 STREET WIDENING: 350 LF, 21,000 SF
 DESTINY DRIVE
 TYPE: NEIGHBORHOOD STREET
 SIDEWALK: 1450 LF, 2540 SF
 STREET WIDENING: 705 LF, 15,500 SF

LOT 1 -
 EXISTING USE: VACANT
 EXISTING FLOOR AREA: 0 SF
 PROPOSED USE: CIVIC (PLACE OF WORSHIP)
 PROPOSED DEVELOPMENT TYPE: CONVENTIONAL
 TOTAL DWELLING UNITS PROPOSED: 0
 LOT AREA REQUIRED: 10,000 SF
 LOT AREA PROVIDED: 349,360 SF
 MIN WIDTH: 65'

AMENITY AREA: NOT APPLICABLE

REQUIRED BUILDING SETBACKS:
 PRIMARY STREET: 20'
 SIDE STREET: 20'
 SIDE: 10'
 REAR: 30'

REQUIRED PARKING SETBACKS:
 PRIMARY STREET: 20'
 SIDE STREET: 10'
 SIDE: 10'
 REAR: 10'

BUILD-TO: NOT APPLICABLE
 MAX BUILDING HEIGHT ALLOWED: 40', 3 STORIES
 TRANSPARENCY: NOT APPLICABLE
 BLANK WALL AREA: NOT APPLICABLE

VEHICLE PARKING REQUIRED: NONE
 VEHICLE PARKING PROVIDED: 217 SPACES
 ACCESSIBLE PARKING SPACES INCLUDED: 13
 BICYCLE PARKING REQUIRED: NONE

CROSS ACCESS: EXEMPT (PLACE OF WORSHIP)

WATER: CITY OF RALEIGH
 WASTEWATER: PRIVATE SEPTIC SYSTEM
 FIRE SUPPRESSION: NFPA-13 SPRINKLER SYSTEM

TRANSIT: NOT APPLICABLE

BLOCK PERIMETER: EXEMPT PLACE OF WORSHIP, REF: UDO 8.3.2.A.IX

LOT 2 -
 EXISTING USE: VACANT
 EXISTING FLOOR AREA: 0 SF
 PROPOSED USE: OPEN LOT
 PROPOSED DEVELOPMENT TYPE: CONVENTIONAL
 TOTAL DWELLING UNITS PROPOSED: 0
 LOT AREA REQUIRED: 10,000 SF
 LOT AREA PROVIDED: 93,170 SF
 MIN WIDTH: 65'
 MAX BUILDING COVERAGE: 17%
 BUILDING COVERAGE PROPOSED: 0%

AMENITY AREA: NOT APPLICABLE

REQUIRED BUILDING SETBACKS:
 PRIMARY STREET: 20'
 SIDE STREET: 20'
 SIDE: 10'
 REAR: 30'

REQUIRED PARKING SETBACKS:
 PRIMARY STREET: 10'
 SIDE STREET: 10'
 SIDE: 10'
 REAR: 10'

BUILD-TO: NOT APPLICABLE
 MAX BUILDING HEIGHT ALLOWED: 40', 3 STORIES
 TRANSPARENCY: NOT APPLICABLE
 BLANK WALL AREA: NOT APPLICABLE

VEHICLE PARKING REQUIRED: NONE
 VEHICLE PARKING PROVIDED: NONE
 BICYCLE PARKING REQUIRED: NONE

TRANSIT: NOT APPLICABLE

REVISIONS
 5/8/2024

FINCH & ASSOCIATES
 ARCHITECTS
 Raleigh, NC 27603-1402
 T 919 833-3232
 F 919 834-3003
 NCEM, U.S. No. C-269



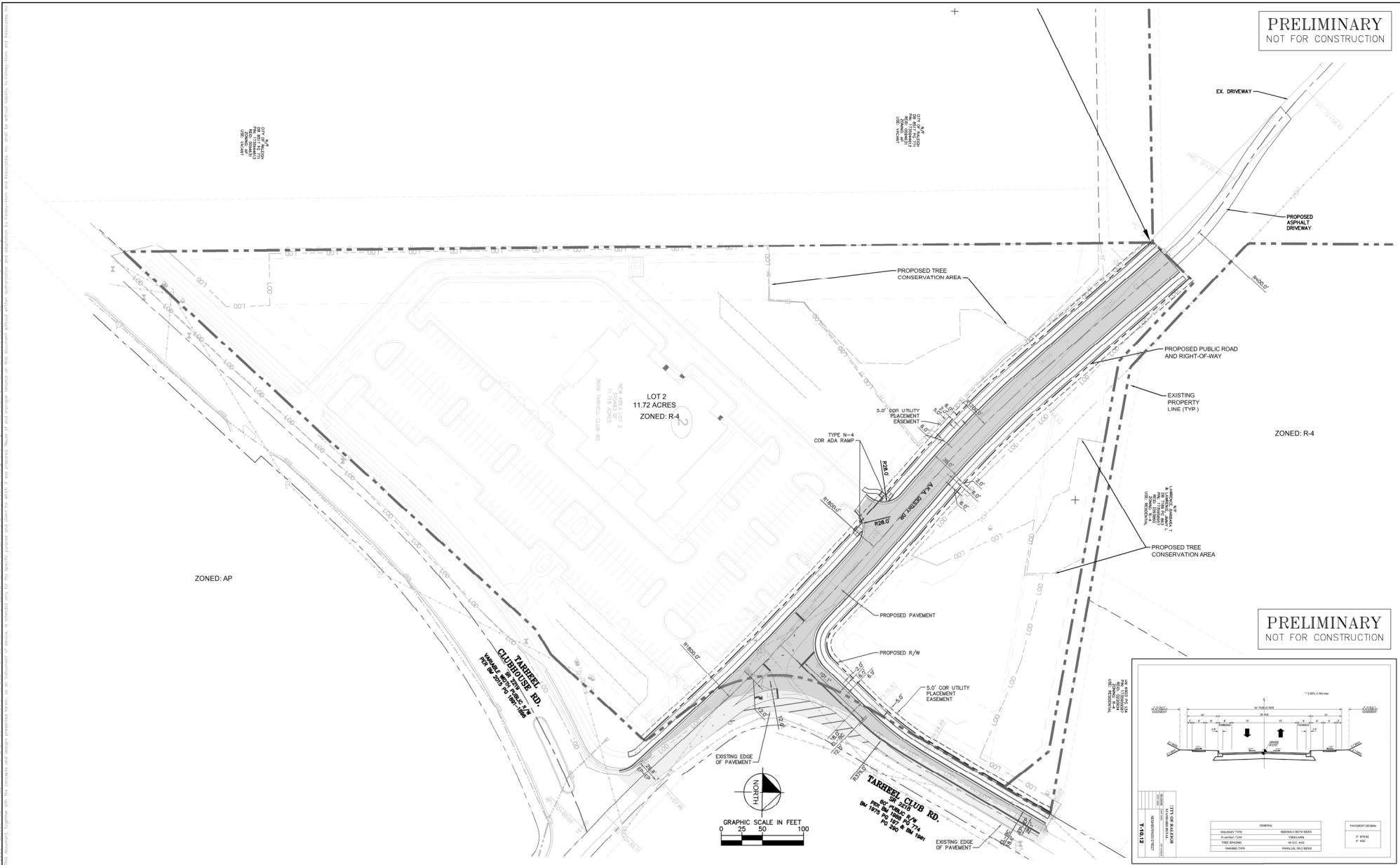
PROJECT #: SUB-0010-2024

SPACE DESIGN, LLC
 FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

DRAWN BY: MWB
 CHECKED BY: JFW
 PROJ. NO.: 22059
 DATE: 2/22/2024
 SHEET 01 OF 02

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.

PRELIMINARY
NOT FOR CONSTRUCTION



PRELIMINARY
NOT FOR CONSTRUCTION

No.	REVISIONS	DATE	BY

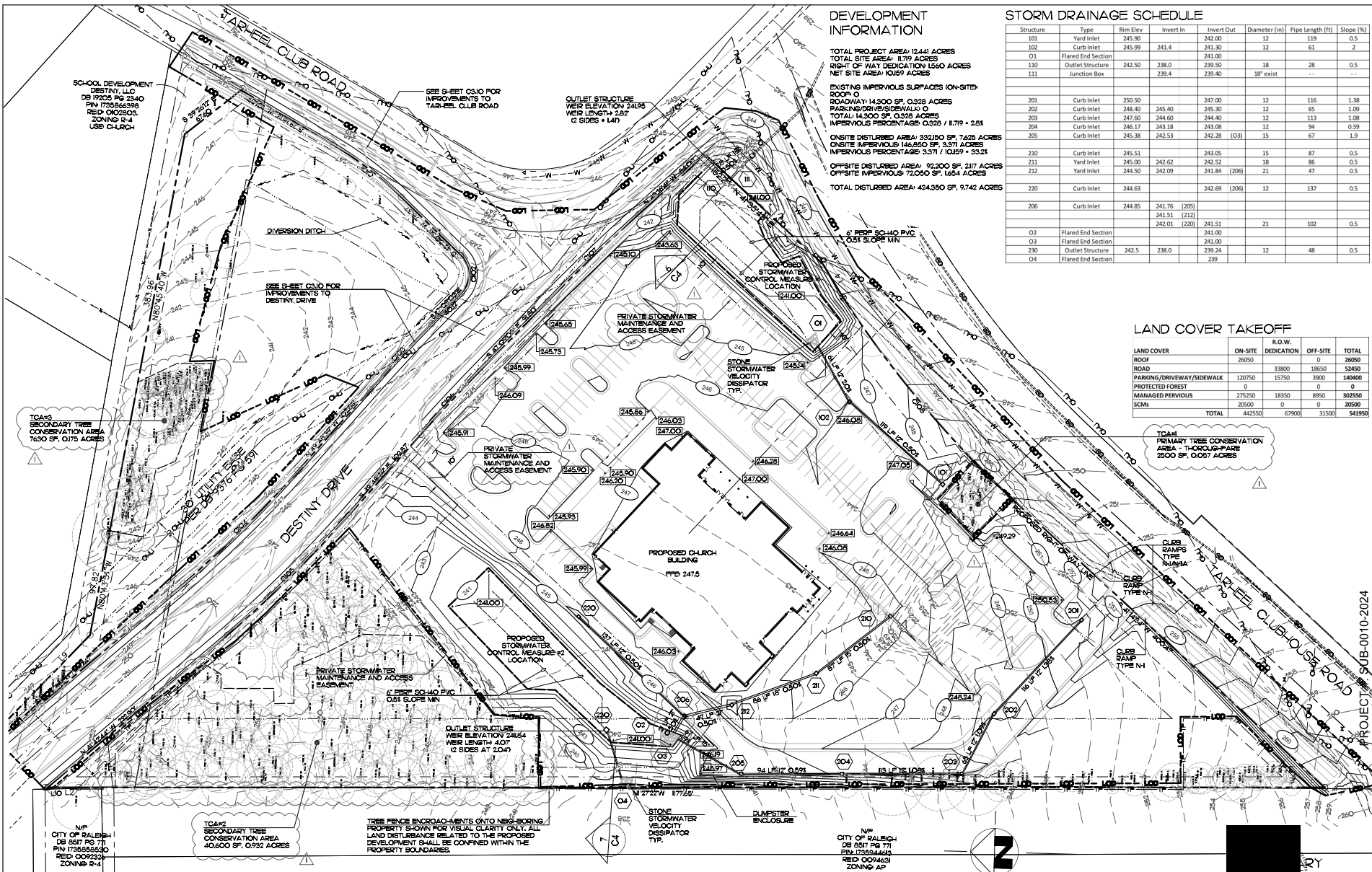
Kimley»Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT	013767000
DATE	10/12/2023
SCALE	AS SHOWN
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

**SCHOOL DEVELOPMENT
 DESTINY, LLC.
 DESTINY DRIVE**
 WAKE COUNTY

**PRELIMINARY ROADWAY
 SITE PLAN**

SHEET NUMBER
C2.10



DEVELOPMENT INFORMATION

TOTAL PROJECT AREA: 12.44 ACRES
 TOTAL SITE AREA: 8,179 ACRES
 RIGHT OF WAY DEDICATION: 1,660 ACRES
 NET SITE AREA: 10,819 ACRES

EXISTING IMPERVIOUS SURFACES (ON-SITE):
 ROADWAY: 14,300 SF, 0.328 ACRES
 PARKING/DRIVEWAY/SIDEWALK: 0
 TOTAL: 14,300 SF, 0.328 ACRES
 IMPERVIOUS PERCENTAGE: 0.328 / 11,719 = 2.81

ON-SITE DISTURBED AREA: 332,150 SF, 7.625 ACRES
 ON-SITE IMPERVIOUS: 146,550 SF, 3.371 ACRES
 IMPERVIOUS PERCENTAGE: 3.371 / 10,819 = 31.21

OFF-SITE DISTURBED AREA: 92,200 SF, 2.17 ACRES
 OFF-SITE IMPERVIOUS: 72,050 SF, 1.654 ACRES
 TOTAL DISTURBED AREA: 424,350 SF, 9.742 ACRES

STORM DRAINAGE SCHEDULE

Structure	Type	Rim Elev.	Invert In	Invert Out	Diameter (in)	Pipe Length (ft)	Slope (%)
101	Yard Inlet	245.90		242.00	12	119	0.5
102	Curb Inlet	245.99	241.4	241.30	12	61	2
01	Flared End Section			241.00			
110	Outlet Structure	242.50	238.0	239.50	18	28	0.5
111	Junction Box		239.4	239.40	18" exist	--	--
201	Curb Inlet	250.50		247.00	12	116	1.38
202	Curb Inlet	248.40	245.40	245.30	12	65	1.09
203	Curb Inlet	247.60	244.60	244.40	12	113	1.08
204	Curb Inlet	246.17	243.18	243.08	12	94	0.59
205	Curb Inlet	245.38	242.53	242.28 (03)	15	67	1.9
210	Curb Inlet	245.51		243.05	15	87	0.5
211	Yard Inlet	245.00	242.62	242.52	18	86	0.5
212	Yard Inlet	244.50	242.09	241.84 (206)	21	47	0.5
220	Curb Inlet	244.63		242.69 (206)	12	137	0.5
206	Curb Inlet	244.85	241.76 (205)	241.51 (212)			
				242.01 (220)	21	102	0.5
02	Flared End Section			241.00			
03	Flared End Section			241.00			
230	Outlet Structure	242.5	238.0	239.24	12	48	0.5
04	Flared End Section			239			

LAND COVER TAKEOFF

LAND COVER	ON-SITE	R.O.W. DEDICATION	OFF-SITE	TOTAL
ROOF	26050	0	0	26050
ROAD	33800	18650	52650	105100
PARKING/DRIVEWAY/SIDEWALK	120750	15750	3900	140400
PROTECTED FOREST	0	0	0	0
MANAGED PERVIOUS	275,250	18,850	8950	302,550
SCM	20500	0	0	20500
TOTAL	442,550	67,900	31,500	541,950

TC#1
 PRIMARY TREE CONSERVATION
 AREA - THOROUGHFARE
 2500 SF, 0.057 ACRES

SCHOOL DEVELOPMENT
 DESTINY, LLC
 DB 19205 PG 2540
 PIN 17558663998
 REID 0022303
 ZONING R-4
 USE: CHURCH

TC#3
 SECONDARY TREE
 CONSERVATION AREA
 7650 SF, 0.175 ACRES

TC#2
 SECONDARY TREE
 CONSERVATION AREA
 40,600 SF, 0.932 ACRES

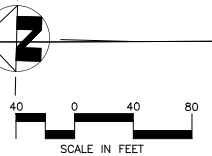
TREE FENCE ENCROACHMENTS ONTO NEIGHBORING
 PROPERTY SHOWN FOR VISUAL CLARITY ONLY. ALL
 LAND DISTURBANCE RELATED TO THE PROPOSED
 DEVELOPMENT SHALL BE CONFINED WITHIN THE
 PROPERTY BOUNDARIES.

N/C
 CITY OF RALEIGH
 DB 8517 PG 771
 PIN 17558664469
 REID 0094631
 ZONING AP

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS PLAN COMPLIES WITH THE
 ORDINANCES, RULES, REGULATIONS, AND
 STORMWATER DRAINAGE DESIGN STANDARDS
 OF THE CITY OF RALEIGH.

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND
 UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING
 THE NORTH CAROLINA ONE CALL CENTER, INC.
 (1-800-632-4949).



GRADING AND STORM DRAINAGE PLAN
 SCALE 1" = 40'

REVISIONS
 5/8/2024

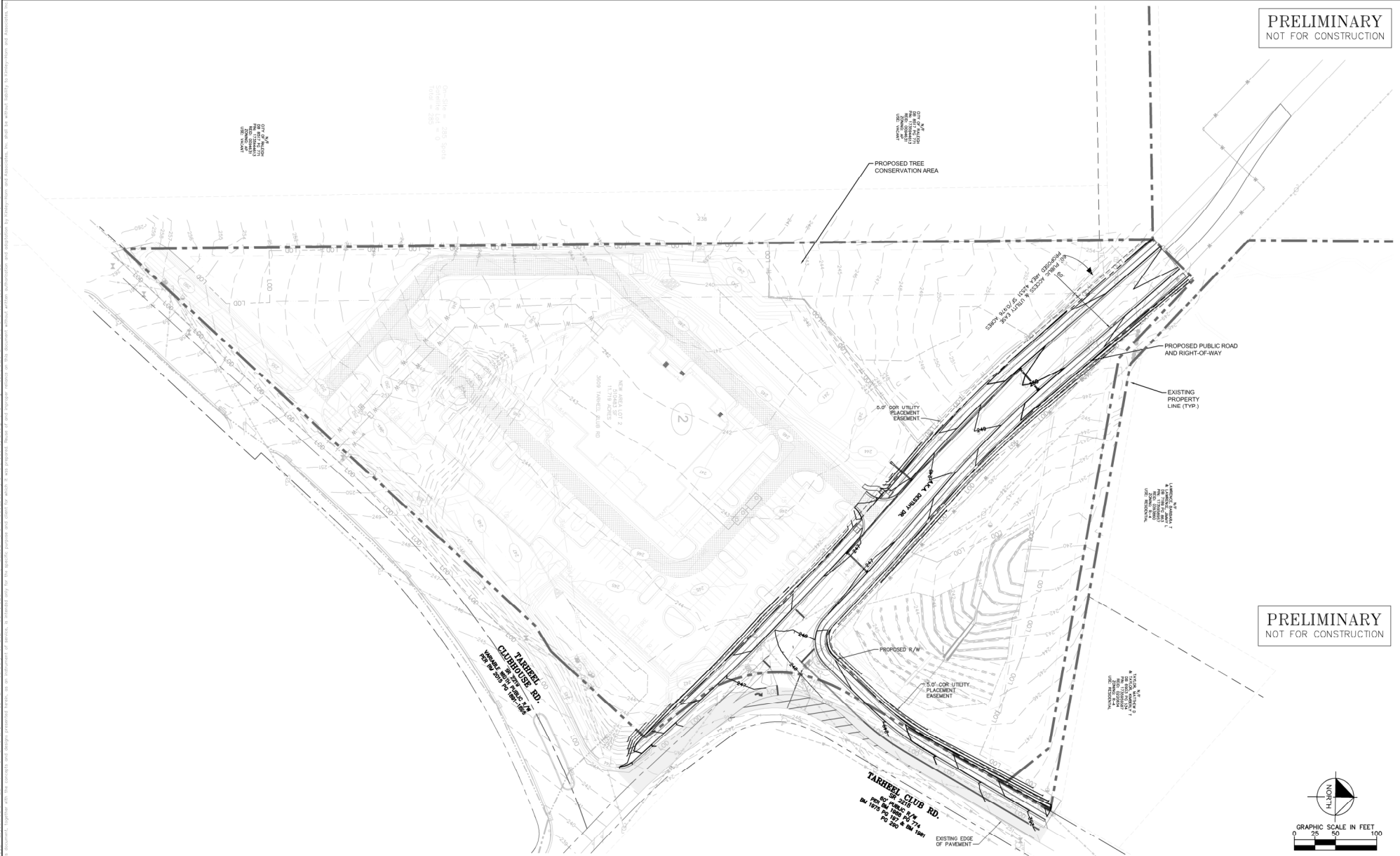
Finch & Associates
 Raleigh, NC 27605-1402
 T 919 833-2322
 F 919 834-3303
 NC&VA, U.S. No. C-240

FINCH
 FINCH & ASSOCIATES
 ENGINEERS • ARCHITECTS • PLANNERS

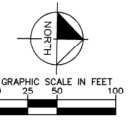
SPACE DESIGN, LLC
 FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

PROJECT: SUB-0010-2024
 DRAWN BY: MMB
 CHECKED BY: JFW
 PROJ. NO.: 22059
 DATE: 9/22/2024
 C3
 SHEET 0F

PRELIMINARY
NOT FOR CONSTRUCTION



PRELIMINARY
NOT FOR CONSTRUCTION



No.	REVISIONS	DATE	BY

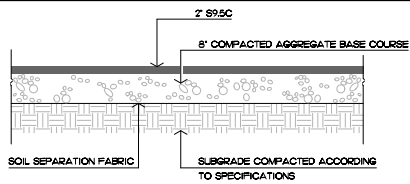
Kimley»Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 012767000
 DATE
 10/12/2023
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

**SCHOOL DEVELOPMENT
 DESTINY, LLC.
 DESTINY DRIVE
 WAKE COUNTY**

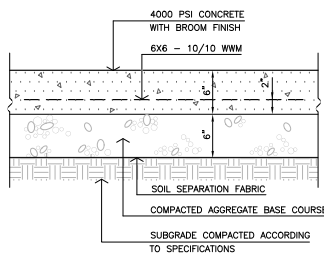
**PRELIMINARY ROADWAY
 GRADING & DRAINAGE PLAN**

SHEET NUMBER
C3.10



NOTE
 ANY UNSATISFACTORY SUBSURFACE CONDITIONS INCLUDING BUT NOT LIMITED TO HIGH WATER TABLE, EXCESSIVE MOISTURE, MUCK, ORGANIC MATERIAL, OR OTHER MATERIAL THAT WILL NOT ATTAIN ADEQUATE COMPACTION ACCORDING TO NCDOT STANDARDS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR PRIOR TO PLACING ANY BASE MATERIAL, SO THAT MODIFICATIONS CAN BE MADE TO PREVENT PAVEMENT FAILURE.

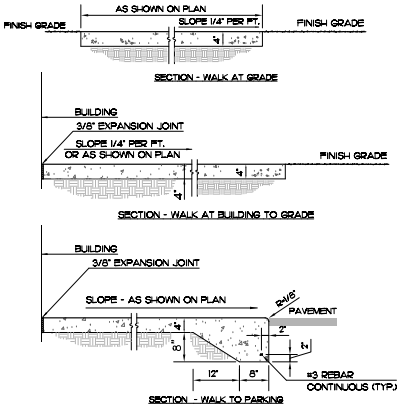
1 PAVEMENT SECTION
 SCALE: 3/4" = 1'-0"



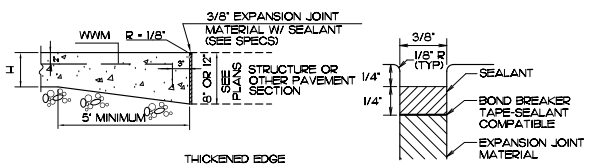
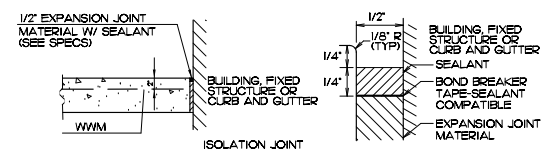
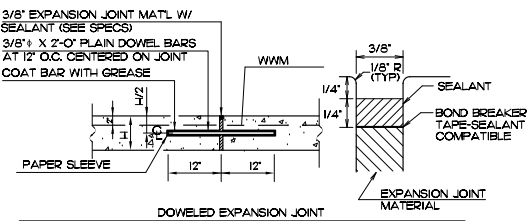
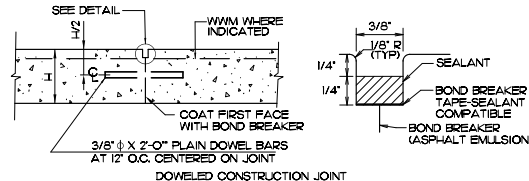
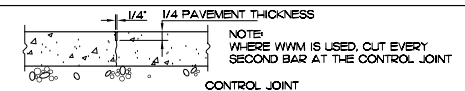
NOTES
 SEE SEE FOR JOINING PLANS FOR JOINING DETAIL

2 CONCRETE PAVEMENT
 SCALE: 1/2" = 1'-0"

NOTES
 1) WALKS SHALL BE CONSTRUCTED OF 4000 PSI CONCRETE ON A SUBGRADE COMPACTED ACCORDING TO SPECIFICATIONS.
 2) WALKS SHALL HAVE BROOM FINISH UNLESS OTHERWISE NOTED.
 3) SEE DETAIL FOR JOINING



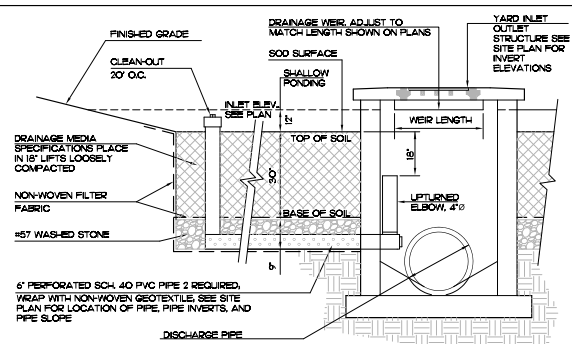
3 CONCRETE WALK
 SCALE: 3/4" = 1'-0"



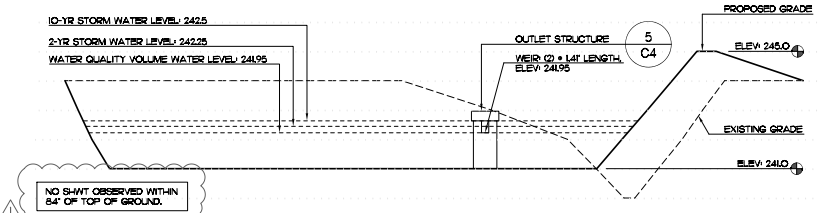
GENERAL NOTES:
 1) ON CONCRETE WALKS, CONTROL JOINTS SHALL BE PLACED AT AN INTERVAL EQUAL TO THE WIDTH OF THE WALK, BUT SHALL NOT EXCEED 6' O.C.
 2) ON CONCRETE WALKS, EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 30' O.C. AND AT ALL LOCATIONS WHERE A WALK IS ADJACENT TO BUILDINGS OR OTHER FIXED STRUCTURES.
 3) OMIT DOWEL BARS WHERE SLAB THICKNESS IS LESS THAN 6".

4 CONCRETE JOINTS
 SCALE: 1/2" = 1'-0"

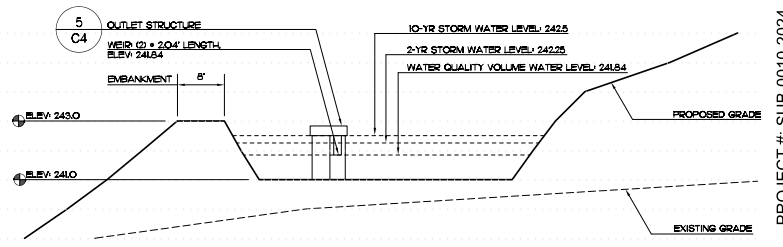
- NOTES**
1. CONSTRUCT BIORETENTION AREA ONLY AFTER COMPLETION OF ALL OTHER GRADING ACTIVITIES.
 2. PROTECT PLANTING SOIL WITH A TEMPORARY COVER OF NON-WOVEN DRAINAGE FABRIC UNTIL SITE STABILIZATION IS ESTABLISHED.
 3. DRAINAGE MEDIA TO BE COMPOSED OF 75%-85% MEDIA TO COURSE WASHED SAND, 8#-10# FINES, 5#-10# ORGANIC MATTER.
 4. PERFORATION INDEX (P-INDEX) FOR THE MEDIA SHALL NOT EXCEED 30.
 5. REMOVE DRAINAGE FABRIC AND INSTALL MULCH AND PLANT MATERIAL AFTER SITE IS COMPLETELY STABILIZED WITH PERMANENT GROUND COVER.
 6. MAINTAIN DRAINAGE MEDIA AS NECESSARY TO ACHIEVE A MINIMUM DRAINAGE RATE OF 1" PER HOUR AT THE PLANTING SURFACE.



5 BIORETENTION AREA SECTION
 SCALE: 1/2" = 1'-0"



6 SCMH1 CROSS SECTION
 SCALE: 1/2" = 1'-0"



7 SCMH2 CROSS SECTION
 SCALE: 1/2" = 1'-0"

REVISIONS
 5/8/2024

Finch & Associates
 Raleigh, NC 27603-1102
 T 919 833-0212
 F 919 834-3300
 NCDOT U.S. No. C-89

FINCH
 FINCH & ASSOCIATES
 engineering • landscape architecture • land planning

PROJECT #: SUB-0010-2024
 SPACE DESIGN, LLC
 FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

DRAWN BY: MMB
 CHECKED BY: JFH
 PROJ. NO. 22029
 DATE: 2/22/2024
 SHEET C4 OF

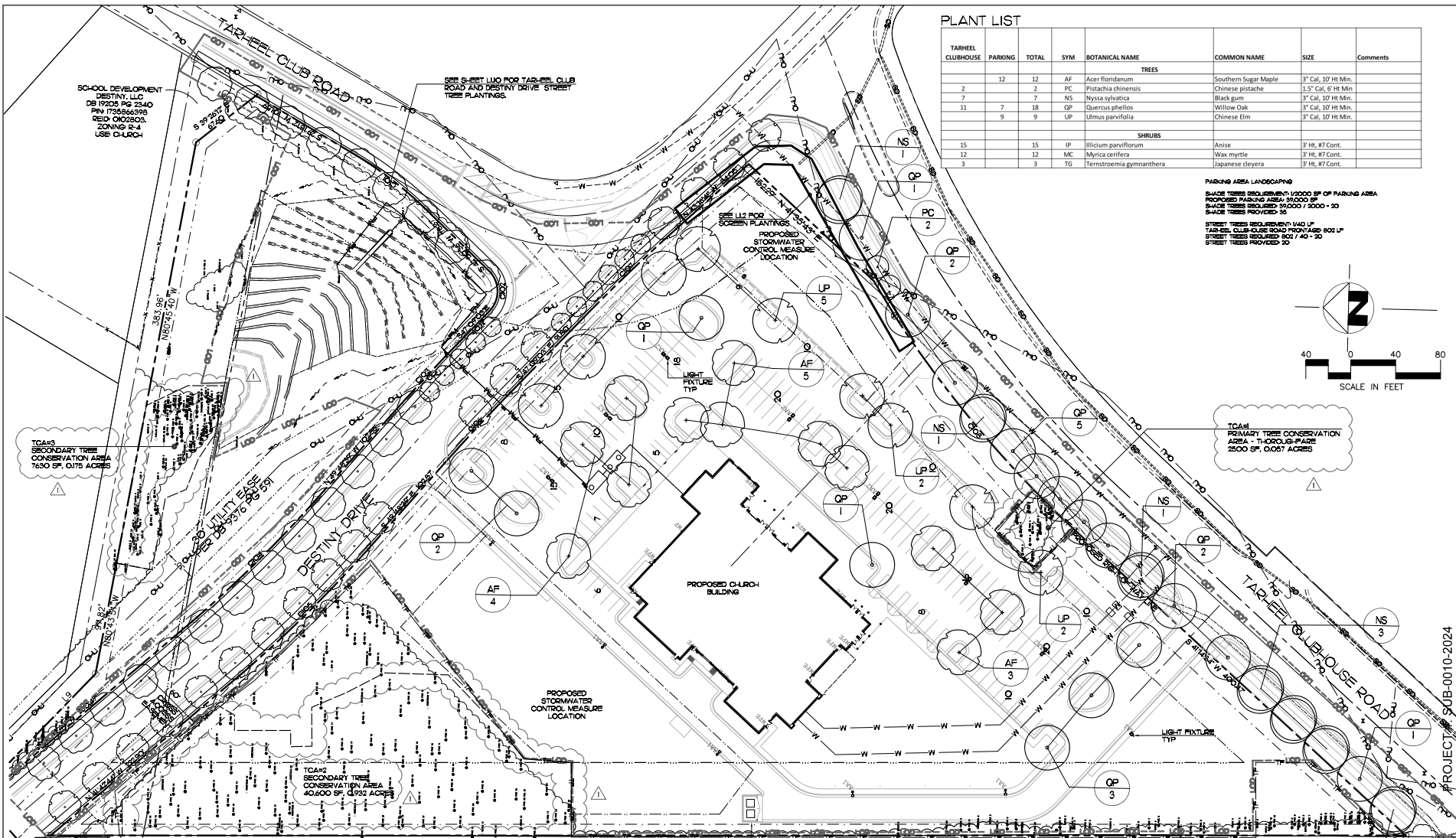
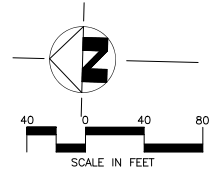
NOT FOR CONSTRUCTION

PLANT LIST

TARHEEL CLUBHOUSE	PARKING	TOTAL	SYM	BOTANICAL NAME	COMMON NAME	SIZE	Comments
TREES							
2	12	12	AF	Acer floridanum	Southern Sugar Maple	3" Cal, 10' Ht Min.	
2	2	2	PC	Pistacia chinensis	Chinese pistache	1.5" Cal, 6' Ht Min	
7	7	7	NS	Nyssa sylvatica	Black gum	3" Cal, 10' Ht Min.	
11	7	18	QP	Quercus phellos	Willow Oak	3" Cal, 10' Ht Min.	
	9	9	UP	Ulmus parviflora	Chinese Elm	3" Cal, 10' Ht Min.	
SHRUBS							
15	15	15	IP	Illicium parviflorum	Anise	3" Ht, #7 Cont.	
12	12	12	MC	Myrica cerifera	Wax myrtle	3" Ht, #7 Cont.	
3	3	3	TG	Ternstroemia gymnanthera	Japanese cleyera	3" Ht, #7 Cont.	

PARKING AREA LANDSCAPING
 SHADE TREE REQUIREMENT: 10000 SF OF PARKING AREA
 PROPOSED PARKING AREA: 95000 SF
 SHADE TREES REQUIRED: 19000 / 2000 = 30
 SHADE TREES PROVIDED: 35

STREET TREES REQUIREMENT: 1000 LF
 TARHEEL CLUBHOUSE ROAD FRONTAGE: 800 LF
 STREET TREES REQUIRED: 800 / 40 = 20
 STREET TREES PROVIDED: 30



NOTES
 1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 2. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.

TREE FENCE ENCROACHMENTS ONTO NEIGHBORING PROPERTY SHOWN FOR VISUAL CLARITY ONLY. ALL LAND DISTURBANCE RELATED TO THE PROPOSED DEVELOPMENT SHALL BE CONFINED WITHIN THE PROPERTY BOUNDARIES.

N/P
 CITY OF RALEIGH
 DE 8517 PG 711
 PIN 17355944630
 REID 00922323
 ZONING AP


N/P
 CITY OF RALEIGH
 DE 8517 PG 711
 PIN 17355944649
 REID 0094631
 ZONING AP

Finch & Associates
 Raleigh, NC 27605-1402
 T 919 833-3332
 F 919 834-3333
 NCEM No. 10000
 NCARB No. C-246



PROJECT: SUB-0010-2024
 SPACE DESIGN, LLC
 FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

NOT FOR CONSTRUCTION

 LANDSCAPE PLAN
 SCALE: 1" = 40'

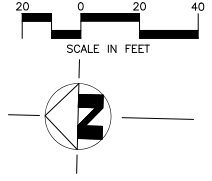
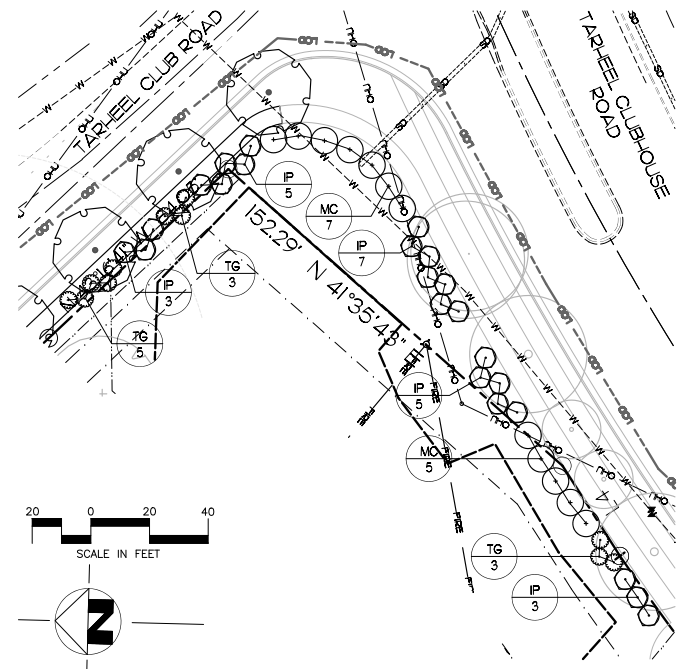
DRAWN BY: MWB
 CHECKED BY: JFW
 PROJ. NO.: 22059
 DATE: 2/22/2024
 L1
 SHEET OF

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



355 SPOTS
 20' x 10'

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



SCMHI SCREENING
SCALE 1" = 20'

NOT FOR CONSTRUCTION

REVISIONS
5/8/2024

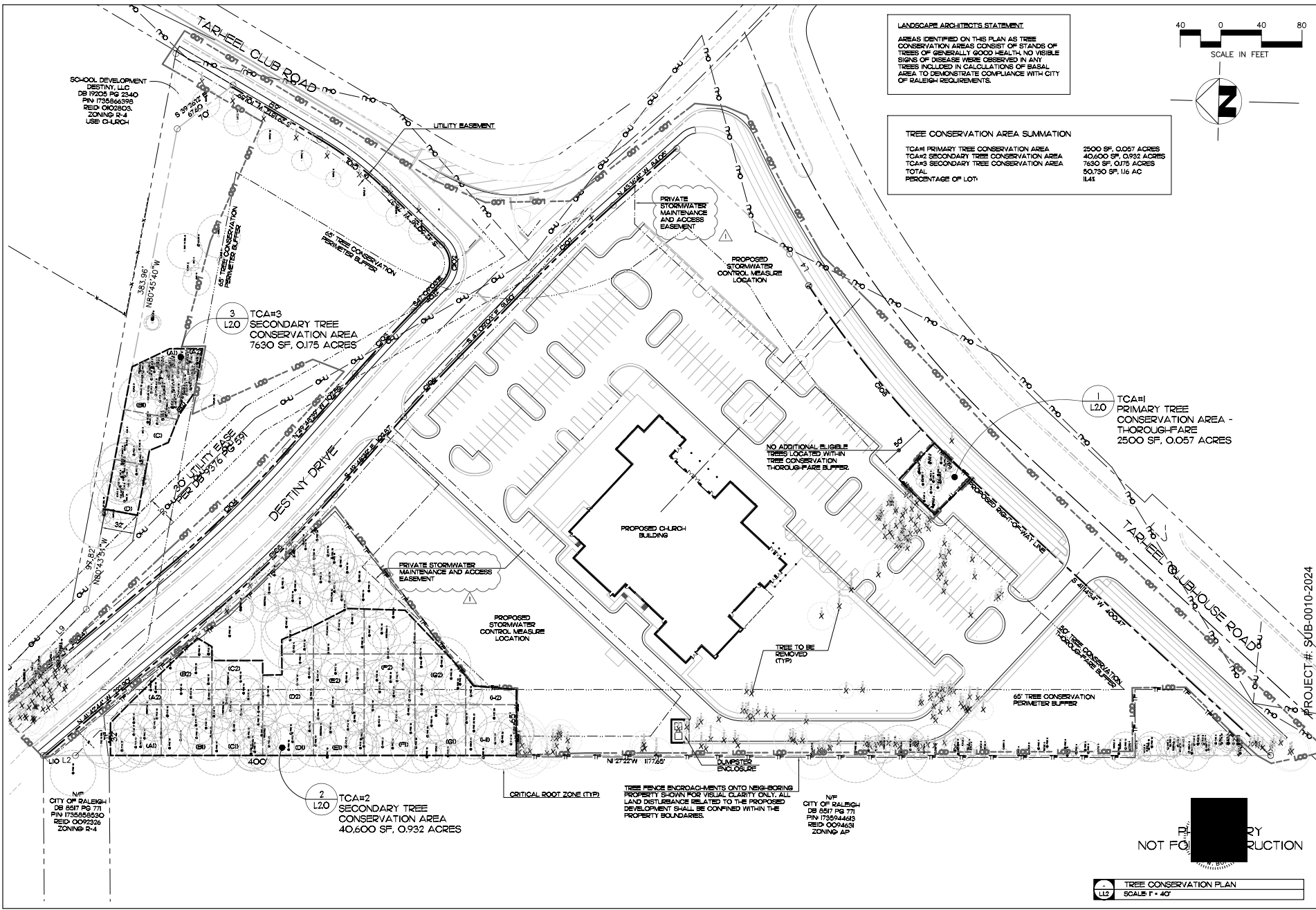
Finch & Associates
Raleigh, NC 27603-1402
T 919 833-3232
F 919 834-3003
NCEM, U.S. No. C-269

FINCH
FINCH & ASSOCIATES
engineering • architecture • interior design

PROJECT #: SUB-0010-2024

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TAPHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

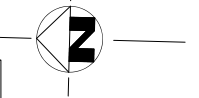
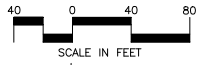
DRAWN BY: **MWB**
CHECKED BY: **FW**
PROJ. NO.: 22039
DATE: 2/22/2024
SHEET 1 OF 1



LANDSCAPE ARCHITECTS STATEMENT
 AREAS IDENTIFIED ON THIS PLAN AS TREE CONSERVATION AREAS CONSIST OF STANDS OF TREES OF GENERALLY GOOD HEALTH. NO VISIBLE SIGNS OF DISEASE WERE OBSERVED IN ANY TREES INCLUDED IN CALCULATIONS OF BASAL AREA TO DEMONSTRATE COMPLIANCE WITH CITY OF RALEIGH REQUIREMENTS.

TREE CONSERVATION AREA SUMMATION

TCA#1 PRIMARY TREE CONSERVATION AREA	2500 SF, 0.057 ACRES
TCA#2 SECONDARY TREE CONSERVATION AREA	40,600 SF, 0.932 ACRES
TCA#3 SECONDARY TREE CONSERVATION AREA	7,630 SF, 0.175 ACRES
TOTAL	50,730 SF, 1.16 AC
PERCENTAGE OF LOT	11.41



REVISIONS
 5/8/2024

Finch & Associates
 Raleigh, NC 27605-1402
 T 919 833-2322
 F 919 834-3303
 MOBILE U.S. No. 612-640



SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

PROJECT # : SUB-0010-2024

DRAWN BY: MW
 CHECKED BY: FW
 PROJ. NO.: 22059
 DATE: 2/22/2024
 SHEET 12 OF

TREE CONSERVATION PLAN
 SCALE 1" = 40'

NOT FOR CONSTRUCTION

TREE FENCE ENCROACHMENTS ONTO NEIGHBORING PROPERTY SHOWN FOR VISUAL CLARITY ONLY. ALL LAND DISTURBANCE RELATED TO THE PROPOSED DEVELOPMENT SHALL BE CONFINED WITHIN THE PROPERTY BOUNDARIES.

TREE TO BE REMOVED (TFR)

CRITICAL ROOT ZONE (CTR)

2 L2.0 TCA#2 SECONDARY TREE CONSERVATION AREA 40,600 SF, 0.932 ACRES

3 L2.0 TCA#3 SECONDARY TREE CONSERVATION AREA 7,630 SF, 0.175 ACRES

1 L2.0 TCA#1 PRIMARY TREE CONSERVATION AREA - THOROUGHFARE 2,500 SF, 0.057 ACRES

SCHOOL DEVELOPMENT
 DESTINY, LLC
 DB 19205 PG 2340
 PIN 1755866398
 REID 0020503
 ZONING R-4
 USE CHURCH

N/P
 CITY OF RALEIGH
 DB 8517 PG 771
 PIN 1755866390
 REID 0022826
 ZONING R-4

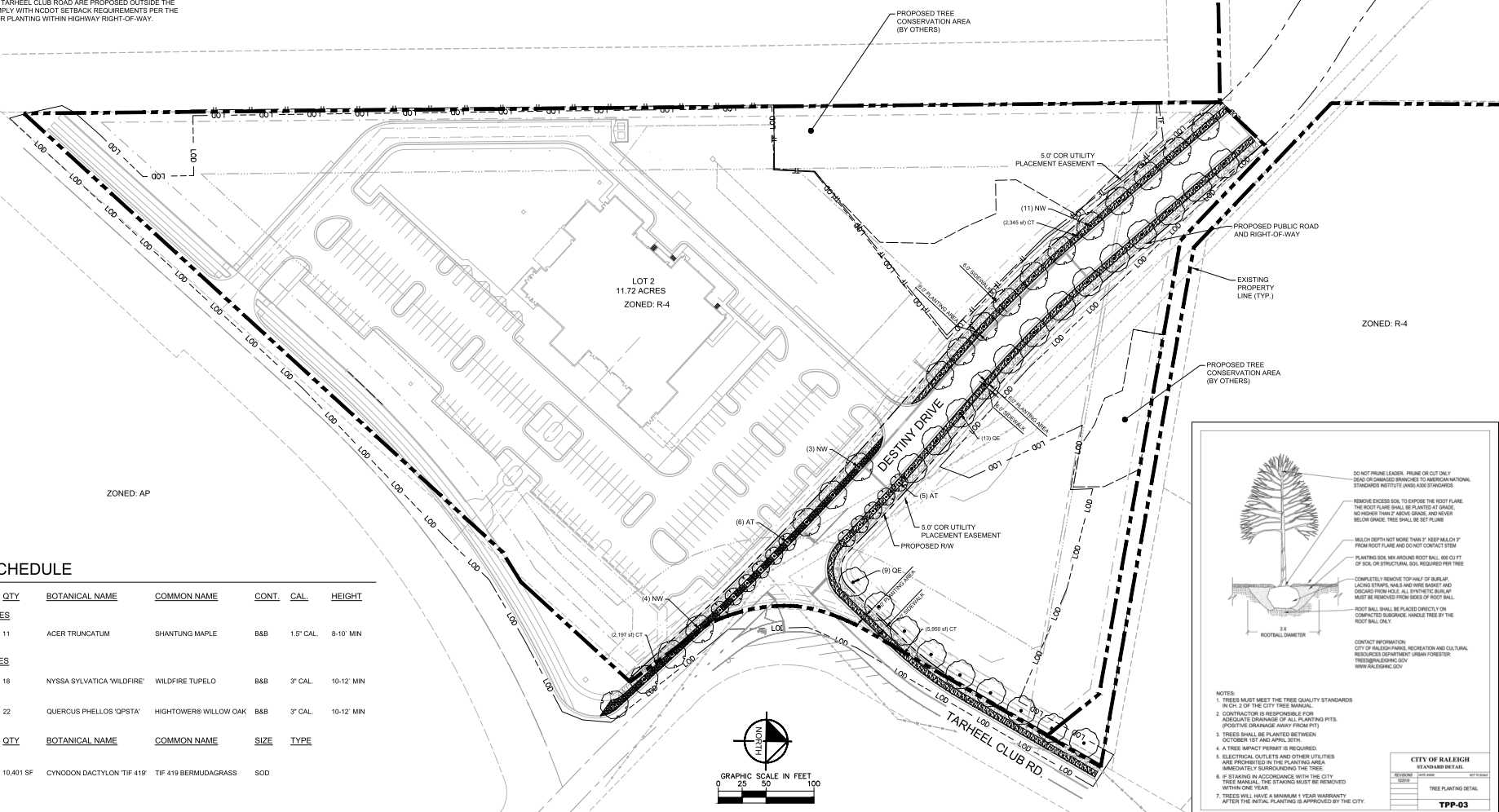
N/P
 CITY OF RALEIGH
 DB 8517 PG 771
 PIN 1755866483
 REID 0024631
 ZONING AP

LANDSCAPE REQUIREMENTS & CALCULATIONS

AREA TO BE LANDSCAPED	CODE REQUIREMENT	SITE LOCATION	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
STREET TREES	1 CANOPY TREE PER 40 LF	DESTINY DRIVE	1,470 LF (EXCLUDES DRIVEWAYS)	1,470 / 40 = 37 TREES	31 PROPOSED CANOPY TREES 11 PROPOSED UNDERSTORY TREES	8.5.2.B
		TARHEEL CLUB RD	355 LF	355 / 40 = 9 TREES	9 PROPOSED CANOPY TREES	

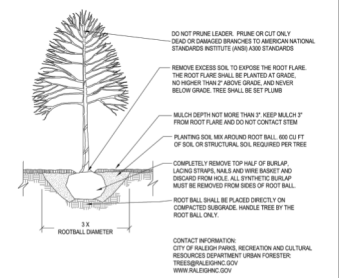
- NOTES:
- ALL TREES WITHIN SIGHT DISTANCE TRIANGLES SHALL BE PRUNED TO MAINTAIN CLEAR SIGHT BETWEEN 2 FEET AND 3 FEET ABOVE FINISHED GRADE.
 - EXISTING UTILITY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
 - ALL UNDERSTORY AND CANOPY/UPPERSTORY TREES SHALL BE SINGLE STEM SPECIMENS.
 - STREET TREES ALONG TARHEEL CLUB ROAD ARE PROPOSED OUTSIDE THE RIGHT-OF-WAY TO COMPLY WITH NCDOT SETBACK REQUIREMENTS PER THE NCDOT GUIDELINES FOR PLANTING WITHIN HIGHWAY RIGHT-OF-WAY.

**PRELIMINARY
NOT FOR CONSTRUCTION**



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HEIGHT
UNDERSTORY TREES							
	AT	11	ACER TRUNCATUM	SHANTUNG MAPLE	B&B	1.5" CAL.	8-10' MIN
UPPERSTORY TREES							
	NW	18	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO	B&B	3" CAL.	10-12' MIN
	OE	22	QUERCUS PHellos 'QPSTA'	HIGHTOWER® WILLOW OAK	B&B	3" CAL.	10-12' MIN
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	
GROUND COVERS							
	CT	10,401 SF	CYNODON DACTYLON 'TIF 419'	TIF 419 BERMUDAGRASS	SOD		



- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PITS).
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

**CITY OF RALEIGH
STANDARD DETAIL**

REVISION: 2019
DATE: 10/05/2023
TYP-03
TREE PLANTING DETAIL

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000
WWW.KIMLEY-HORN.COM

KHA PROJECT	013767000
DATE	10/05/2023
SCALE	AS SHOWN
DESIGNED BY	AMF
DRAWN BY	AMF
CHECKED BY	COB

**SCHOOL DEVELOPMENT
DESTINY, LLC.
DESTINY DRIVE**

**PRELIMINARY ROADWAY
LANDSCAPE PLAN**

**SHEET NUMBER
L1.10**

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NOTE:
TREES WITH MORE THAN 50% OF THE CRITICAL ROOT ZONE
OUTSIDE OF THE TREE CONSERVATION AREA ARE NOT INCLUDED IN
THE COMPUTATIONS OF BASAL AREA AND ARE NOT SHOWN IN THE
DETAILS ON THIS SHEET.

BASAL AREA COMPUTATIONS

TCA #1 PRIMARY TREE CONSERVATION AREA - THOROUGHFARE

CALIPER (IN)	BASAL AREA(SF)	
PINE	3	0.049
PINE	5	0.136
PINE	5	0.136
PINE	3	0.049
PINE	3	0.049
PINE	3	0.049
PINE	5	0.136
PINE	4	0.087
PINE	3	0.049
PINE	3	0.049
PINE	3	0.049
PINE	5	0.136
PINE	3	0.049
PINE	4	0.087
PINE	3	0.049
PINE	3	0.049
MAPLE	4	0.087
PINE	5	0.136
PINE	3	0.049
PINE	3	0.049
PINE	4	0.087
PINE	3	0.049
PINE	4	0.087
PINE	3	0.049
PINE	3	0.049
TOTAL (SF)	1,194	
ACREAGE (AC)	0.057	
COVER RATIO (SF/AC)	31.646	

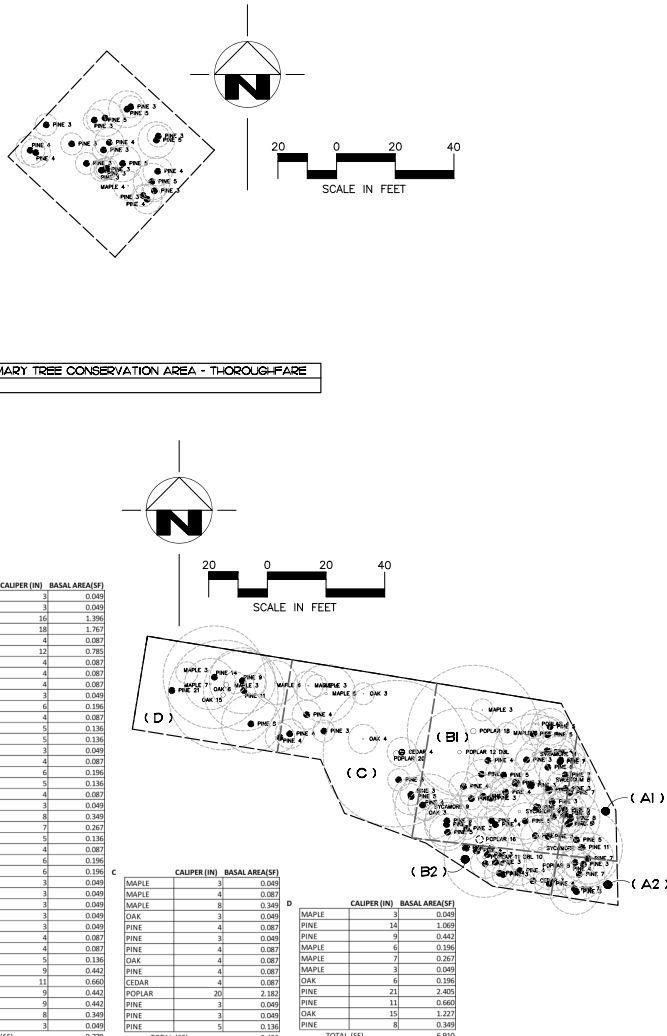
1 TCA#1 - PRIMARY TREE CONSERVATION AREA - THOROUGH-FARE
SCALE: T = 20'

BASAL AREA COMPUTATIONS

TCA #3 SECONDARY TREE CONSERVATION AREA

CALIPER (IN)	BASAL AREA(SF)	
PINE	7	0.267
PINE	4	0.087
PINE	6	0.196
PINE	8	0.349
PINE	3	0.049
PINE	5	0.136
PINE	5	0.136
TOTAL (SF)	1,931	
ACREAGE (AC)	0.052	
COVER RATIO (SF/AC)	159.289	

3 TCA#3 - SECONDARY TREE CONSERVATION AREA
SCALE: T = 20'



BASAL AREA COMPUTATIONS

TCA#2 SECONDARY TREE CONSERVATION AREA

CALIPER (IN)	BASAL AREA(SF)	
SWEETGUM	11	0.660
PINE	17	1.576
PINE	16	1.396
PINE	15	1.227
PINE	19	1.969
PINE	11	0.660
PINE	15	1.227
PINE	13	0.922
PINE	12	0.785
PINE	13	0.922
TOTAL (SF)	7,489	
ACREAGE (AC)	0.057	
COVER RATIO (SF/AC)	130.481	

CALIPER (IN)	BASAL AREA(SF)	
PINE	16	1.396
PINE	16	1.396
PINE	15	1.227
PINE	15	1.227
PINE	15	1.227
PINE	13	0.922
PINE	13	0.922
TOTAL (SF)	10,412	
ACREAGE (AC)	0.057	
COVER RATIO (SF/AC)	185.418	

CALIPER (IN)	BASAL AREA(SF)	
PINE	17	1.576
PINE	17	1.576
PINE	16	1.396
PINE	13	0.922
TOTAL (SF)	4,460	
ACREAGE (AC)	0.057	
COVER RATIO (SF/AC)	81.538	

CALIPER (IN)	BASAL AREA(SF)	
SWEETGUM	10	0.545
PINE	10	0.545
PINE	10	0.545
PINE	11	0.660
PINE	11	0.660
PINE	11	0.660
PINE	15	1.227
TOTAL (SF)	4,745	
ACREAGE (AC)	0.045	
COVER RATIO (SF/AC)	106.326	

CALIPER (IN)	BASAL AREA(SF)	
PINE	18	1.767
PINE	16	1.396
PINE	16	1.396
PINE	17	1.576
PINE	17	1.576
TOTAL (SF)	7,714	
ACREAGE (AC)	0.053	
COVER RATIO (SF/AC)	144.928	

CALIPER (IN)	BASAL AREA(SF)	
PINE	11	0.660
TOTAL (SF)	0.660	
ACREAGE (AC)	0.007	
COVER RATIO (SF/AC)	98.490	

CALIPER (IN)	BASAL AREA(SF)	
SWEETGUM	10	0.545
PINE	14	1.266
PINE	10	0.545
PINE	16	1.396
PINE	12	0.785
PINE	17	1.576
PINE	14	1.069
PINE	15	1.227
PINE	15	1.227
TOTAL (SF)	9,441	
ACREAGE (AC)	0.057	
COVER RATIO (SF/AC)	164.502	

CALIPER (IN)	BASAL AREA(SF)	
SWEETGUM	10	0.545
PINE	21	2.405
PINE	16	1.396
PINE	14	1.069
PINE	16	1.396
TOTAL (SF)	6,812	
ACREAGE (AC)	0.050	
COVER RATIO (SF/AC)	136.433	

CALIPER (IN)	BASAL AREA(SF)	
SWEETGUM	15	1.227
SWEETGUM	11	0.660
PINE	16	1.396
PINE	14	1.069
PINE	12	0.785
PINE	14	1.069
TOTAL (SF)	12,079	
ACREAGE (AC)	0.057	
COVER RATIO (SF/AC)	89.521	

CALIPER (IN)	BASAL AREA(SF)	
PINE	15	1.227
PINE	15	1.227
PINE	14	1.069
PINE	12	0.785
PINE	13	0.922
PINE	15	1.227
PINE	15	1.227
TOTAL (SF)	6,228	
ACREAGE (AC)	0.048	
COVER RATIO (SF/AC)	130.841	

CALIPER (IN)	BASAL AREA(SF)	
PINE	11	0.660
PINE	16	1.396
TOTAL (SF)	2,427	
ACREAGE (AC)	0.014	
COVER RATIO (SF/AC)	173.075	

CALIPER (IN)	BASAL AREA(SF)	
PINE	16	1.396
PINE	16	1.396
PINE	17	1.576
PINE	24	3.142
TOTAL (SF)	5,539	
ACREAGE (AC)	0.057	
COVER RATIO (SF/AC)	166.213	

CALIPER (IN)	BASAL AREA(SF)	
PINE	10	0.545
TOTAL (SF)	0.545	
ACREAGE (AC)	0.020	
COVER RATIO (SF/AC)	26.729	

2 TCA#2 - SECONDARY TREE CONSERVATION AREA
SCALE: T = 20'

REVISIONS
5/8/2024

Finch & Associates
Professional Engineers
Registration No. 29003-11020
T 911 833-022
F 911 834-3309
1050 N. W. C. 486
NOBLESVILLE, IN.

FINCH
ENGINEERING ARCHITECTURE + LANDSCAPE

PROJECT # - SUB-0010-2024

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3609 TARHEEL CLUB DR.
RALEIGH, NORTH CAROLINA

NOT IN SECTION

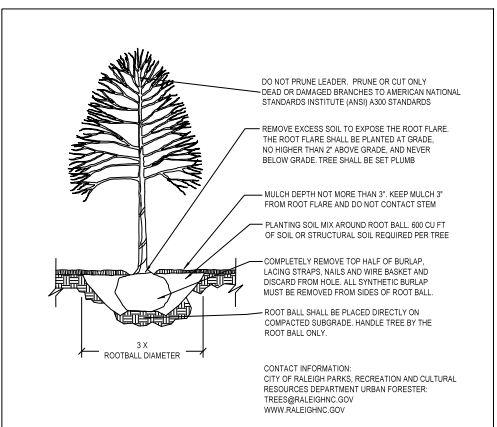
DRAWN BY: M/M
CHECKED BY: F/W
PROJ. NO. 22029
DATE: 2/22/2024
SHEET 01 OF

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
 (Include applicable information on the plan sheet)

Project Name: Focus Church of Raleigh

Gross Site Acres:	11.719	ac
Right-of-way to be dedicated with this project:	1.560	ac
Net Site Acres:	10.159	ac

	Number of Acres	Percent of Total
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	ac	%
1. Primary Tree Conservation Area - SHOD 2	ac	%
2. Primary Tree Conservation Area - Parkway Frontage	ac	%
3. Primary Tree Conservation Area - CM	ac	%
4. Primary Tree Conservation Area - MPOD	ac	%
5. Primary Tree Conservation Area - Champion Tree XX" dbh species	ac	%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	ac	%
7. Primary Tree Conservation Area - 40% Slopes	ac	%
8. Primary Tree Conservation Area - Throughfare	0.067	0.5
Subtotal of Primary Tree Conservation Areas:	0.067	0.5
UDO 9.1.4.D.2 Tree Conservation Area - Greenway		
	ac	%
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (include perimeter buffers and their alternate compliance areas)		
	1.107	10.9
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (include individual trees and their alternate compliance areas)		
	ac	%
Subtotal of Secondary Tree Conservation Areas:	1.107	10.9
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	1.164	11.4
UDO 9.1.9. Watershed Protection Overlay Districts		
UWPOD - Wooded Area (preserved)	ac	%
UWPOD - Wooded Area (planted)	ac	%
FWPOD - Wooded Area (preserved)	ac	%
FWPOD - Wooded Area (planted)	ac	%
BWPOD - Wooded Area (preserved)	ac	%
BWPOD - Wooded Area (planted)	ac	%



- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY (INITIALS)
000001		
TREE PLANTING DETAIL		
TPP-03		

REVISIONS
5/8/2024

Finch & Associates
 309 N. Kaplan Avenue
 Raleigh, NC 27603-1102
 T 919 833-0212
 F 919 834-3030
 NCDOT U.S. No. C-890

FINCH
 FINCH & ASSOCIATES
 engineering • landscape architecture • land planning

STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
 Governor

J.R. "BOB" HOPKINS
 Secretary

January 18, 2024

Revised permit:
 Finch & Associates
 309 N. Kaplan Avenue
 Raleigh, NC 27603

Subject: Planting Permit for Focus Church

To whom it may concern:

Please be advised that the planting plans have been conditionally approved for the Focus Church located at 3609 Tarheel Club Road in Wake County, North Carolina. This letter is issuing the Planting Permit per North Carolina Department of Transportation policy. The following standard provisions are made part of this agreement:

- The permittee shall maintain a clear right of distance for vehicles utilizing driveway connections.
- The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
- Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
- Plants to be first class quality of their species.
- A copy of this permit must be on the worksite at all times while the work is being performed.
- All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Signature: 01/18/24 JWC
 J. W. COOPER, GOVERNOR
 DEPARTMENT OF TRANSPORTATION
 100 SOUTH TRYON STREET
 RALEIGH, NC 27603
 WWW.NCDEPARTMENTOFTRANSPORTATION.GOV

- The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTED). No work shall be performed in the Right of Way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for construction operations.
- NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damage brought by any property owner by reason of the installation.
- Two-way traffic shall be maintained at all times.
- No line of traffic shall be closed or restricted between the hours of 6:00 AM - 9:00 AM and 4:00 PM - 7:00 PM Monday - Friday. Any violation of these hours will result in termination of the encroachment agreement.
- NCDOT reserves the right to further limit, restrict, or suspend operations within the Right of Way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
- The Traffic Services Supervisor shall be notified at (919) 477-2914 in Durham prior to beginning work on the Right of Way. If there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work area. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Encroacher.
- The applicant will be required to notify the Roadside Environmental Technician, Mark Connor at (919) 621-5462 prior to beginning and after completion of work.
- It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area. The Encroacher shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
- At the end of each working day, equipment shall be parked a minimum of 30 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear recovery zone.
- The applicant is responsible for identifying project impacts to waters of the United States (streams, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into any waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain permit/permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. Additional information can be obtained by contacting the USACE or NCDWQ.
- The applicant is responsible for complying with the Neuse and Tar-Pamlico River Basin Buffer Rule as regulated by the NCDWQ. The Rule regulates activity within a 30-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

18. The applicant is responsible for avoiding impacts to federally protected species during project construction. Bald eagle, Mead's lark, smooth cordgrass, dwarf widgeon, wetland, peregrine, and sandhill crane are federally protected species that have been identified within NCDOT right-of-way in Durham, Perdue, Greenville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services.

19. In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (contractor) or its agent/individual upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance, please contact Corey Suddeth by phone at 919-317-4700 or by email at csuddeth@ncdot.gov.

Sincerely,
 Brandon H. Jones, PE
 Division Engineer

File
 Corey Suddeth, Roadside Environmental Engineer

PROJECT #: SUB-0010-2024

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
 3609 TARHEEL CLUB DR.
 RALEIGH, NORTH CAROLINA

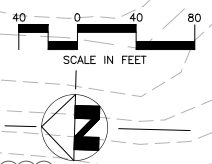
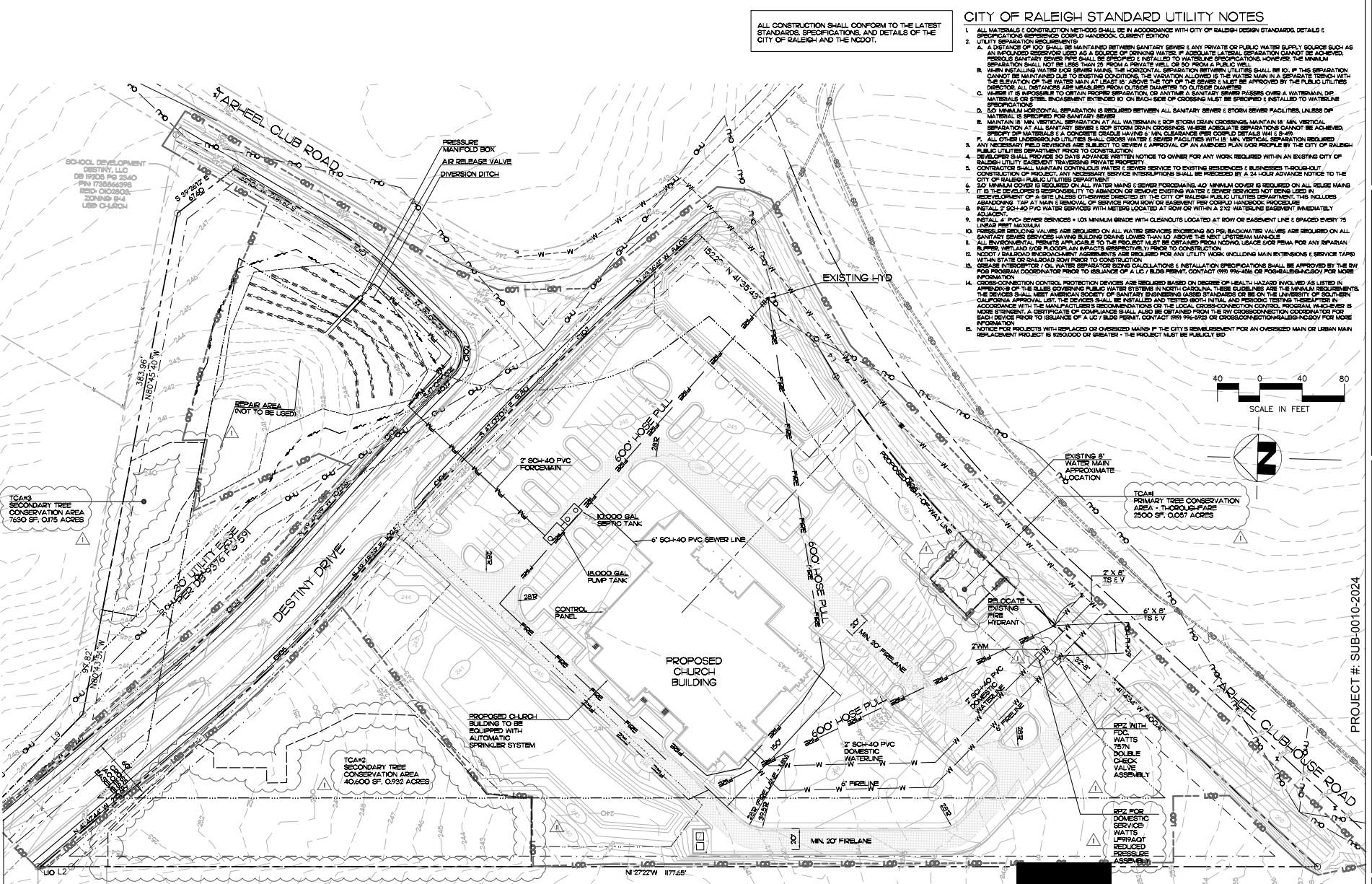
NOT IN PROGRESS

DRAWN BY: MMB
 CHECKED BY: JFH
 PROJ. NO.: 22029
 DATE: 2/22/2024
 SHEET: 121 OF

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCDOT.

CITY OF RALEIGH STANDARD UTILITY NOTES

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE: CDDA HANDBOOK, CURRENT EDITION.
2. UTILITY SEPARATION REQUIREMENTS
A. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ABSOLUTE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER PIPS SHALL BE SPECIFIED & INSTALLED TO WATERLINE SEPARATIONS HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 10' FROM A PRIVATE WELL OR 30' FROM A PUBLIC WELL.



PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



REVISIONS 5/5/2024

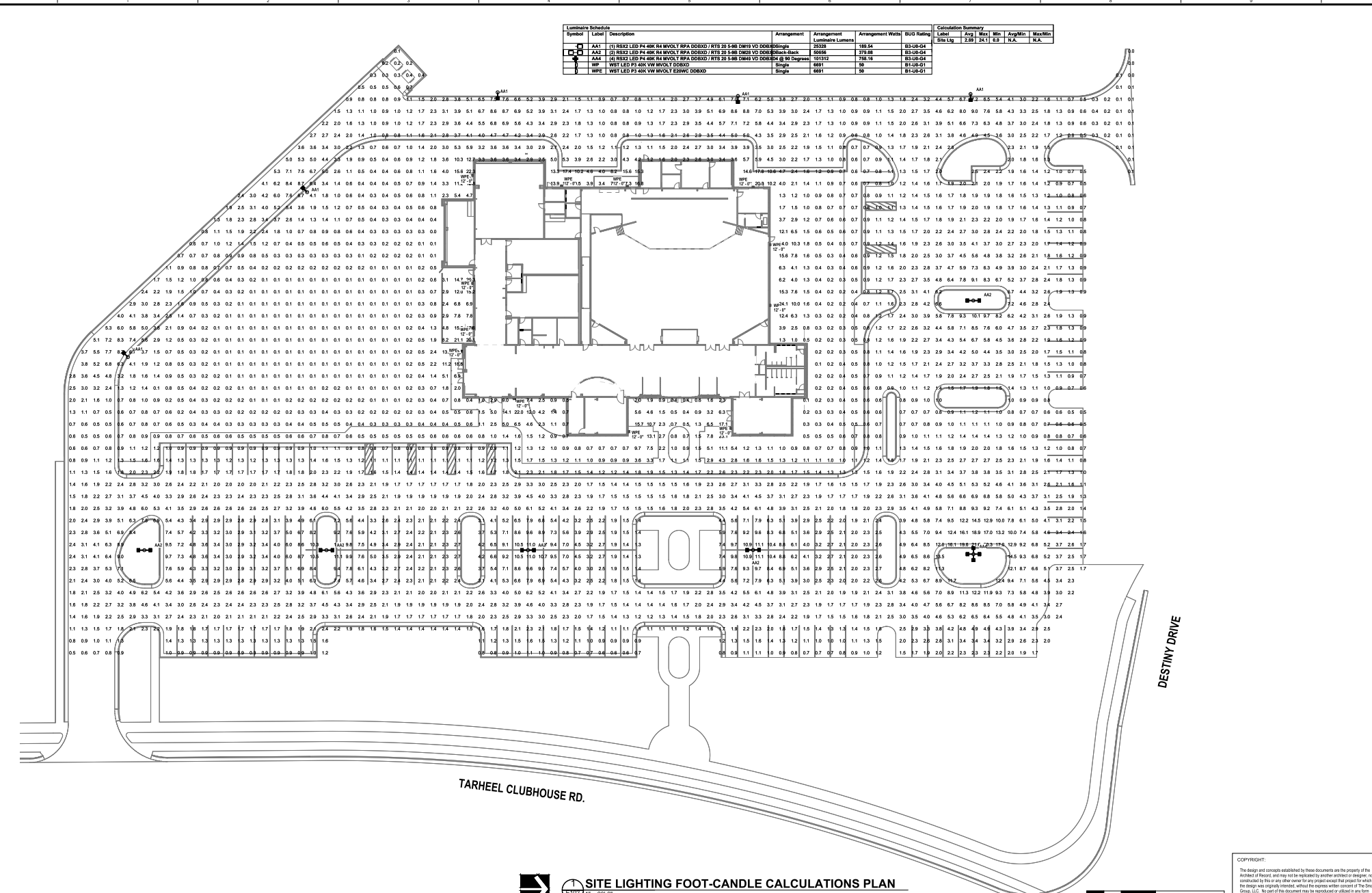
FINCH & ASSOCIATES ENGINEERS ARCHITECTS PLS INC. Raleigh, NC 27601-1422



SPACE DESIGN, LLC FOCUS CHURCH OF RALEIGH 3609 TARHEEL CLUB DR. RALEIGH, NORTH CAROLINA

DRAWN BY: BAB CHECKED BY: JFW PROJ. NO.: 22069 DATE: 2/22/2024 SHEET 0F

Luminaire Schedule						Calculation Summary						
Symbol	Label	Description	Arrangement	Arrangement Luminaire	Arrangement Watts	BUD Rating	Label	Avg	Max	Min	Avg/Min	Max/Min
							Site No.	2.50	2.11	0.9	F.A.	N.A.
AA1	T1	R832 LED P4 40W 84 MVOLT RFA DOBXD / RYS 20 5-88 DM19 VD DOB	Single	28328	189.54	BS-UG-04						
AA2	T0	R832 LED P4 40W 84 MVOLT RFA DOBXD / RYS 20 5-88 DM19 VD DOB	Single	28328	189.54	BS-UG-04						
AA4	T0	R832 LED P4 40W 84 MVOLT RFA DOBXD / RYS 20 5-88 DM19 VD DOB	Single	10131	758.16	BS-UG-04						
WP		WST-LED P3 40W 84 MVOLT DOBXD	Single	6891	56	BS-UG-01						
WPE		WST-LED P3 40W 84 MVOLT EDWAC DOBXD	Single	6891	56	BS-UG-01						



SITE LIGHTING FOOT-CANDLE CALCULATIONS PLAN



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Revision	Date

Architect:
FINCH
 FINCH & ASSOCIATES

MEP Consultants:
Darr+Collins
 CONSULTING ENGINEERS

Structural Engineers:
wallace
 Wallace Engineering
 Structural Consultants, Inc.

Owner:
Focus
 CHURCH

Design Team Manager / Architect:
Space

Drawing Title:
SITE LIGHTING FOOT-CANDLE CALCULATIONS PLAN

Project Title:
FOCUS CHURCH

Date: 10-26-2023
 Project No: 20-28-001
 DRAWING NO: **E102**

Submitted: 85% CD's
 Checked: FTS
 Drawn: Author

Location:
 3609 Tarheel Club Rd. Raleigh, NC 27604

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