

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
Conventional Subdivision	Compact Development	Conservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): Eagle Crest Industrial Park			
Property Address(es): 4100, 4300, 4400 Auburn Church Road			
Recorded Deed PIN(s): 1721671227, 1721667499, 1721743078			
What is your project type?	<input type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses <input type="checkbox"/> Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: SOUND TIMBER MANAGEMENT LLC	Owner/Developer Name and Title: Glen Bagwell, Manager
Address: PO Box 1700, Garner, NC 27529	
Phone #:	Email: hgbjr@bellsouth.net
APPLICANT INFORMATION	
Company: NV5 Engineers + Consultants	Contact Name and Title: Jonathan Allen, Project Manager
	Address: 3300 Regency Parkway, Suite 100, Cary, NC 27518
Phone #: 919-924-2510	Email: Jonathan.Allen@nv5.com

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 291.48 Acres (3 parcels)

Zoning districts (if more than one, provide acreage of each): IH-CU

Overlay district: SHOD-1

Inside City limits? ☒ Yes ☐ No

Conditional Use District (CUD) Case # Z-

Board of Adjustment (BOA) Case # A- N/A

STORMWATER INFORMATION

Existing Impervious Surface:

Acres: 2.59 acs. Square Feet: 112,648 sf

Proposed Impervious Surface:

Acres: 17.55 acs. Square Feet: 764,654 sf

Neuse River Buffer ☒ Yes ☐ NoWetlands ☒ Yes ☐ NoIs this a flood hazard area? ☒ Yes ☐ No

If yes, please provide the following:

Alluvial soils: None

Flood study: Detailed Study - Zone AE

FEMA Map Panel #: 3720172100J dated May 02, 2006

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: Detached N/A Attached N/A

Total # of single-family lots: N/A

Proposed density for each zoning district (UDO 1.5.2.F): N/A

Total # of open space and/or common area lots: N/A

Total # of requested lots: 7

SIGNATURE BLOCK

I hereby designate Jonathan Allen, NV5 Engineers + Consultants to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

SOUND TIMBER MANAGEMENT LLCSignature: By:  Manager

Date: 2-12-2021

Printed Name: H. Glenn Bagwell, Jr., Manager

Signature: 

Date: 2-15-2021

Printed Name: Jonathan Allen

Please email your completed application to SiteReview@raleighnc.gov.

EAGLE CREST INDUSTRIAL PARK

PRELIMINARY SUBDIVISION PLANS

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

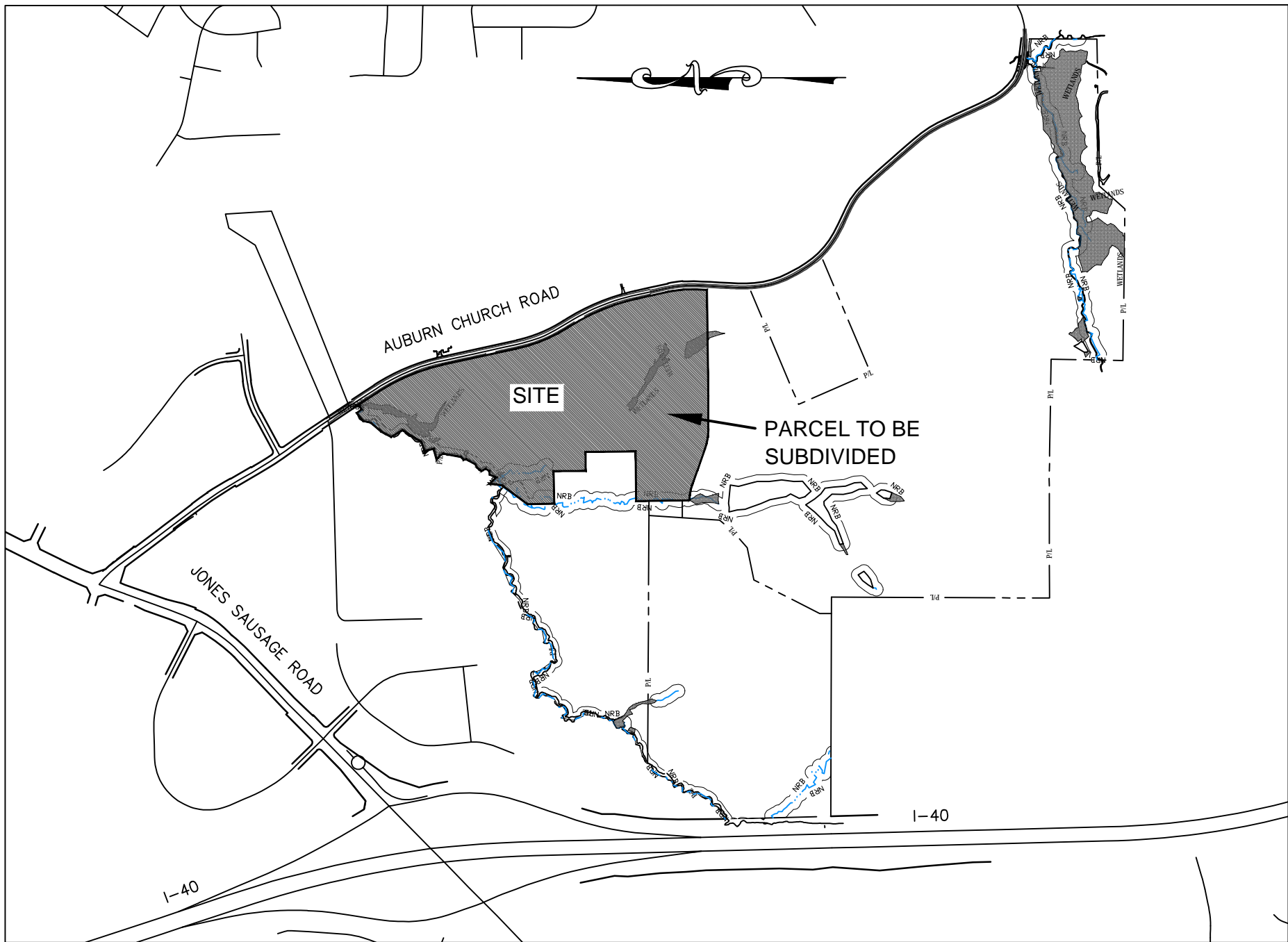
SUB-0011-2021

General Notes:

- All construction shall be in accordance with the City of Raleigh standards and specifications.
- The contractor shall be solely responsible for trench safety during all phases of construction.
- The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
- The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic design/control on public streets shall be in conformance with the traffic control plan, the Raleigh Street Design Manual, the "Manual of Uniform Traffic Control Devices," and as further directed by City and State Inspectors.
- Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion and with approval of the erosion control inspector.
- The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
- Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches for any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-968. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials' testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used in case of discrepancy.
- The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
- All distances shown represent horizontal ground distances.
- Rim elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junction Boxes.
- Storm Sewer (RCP) shall be constructed to the following classes (unless otherwise noted):
 - Cover less than 10 feet - Class C or D bedding, Class III walls
 - Cover 10 feet to 15 feet - Class B bedding, Class III walls
 - Cover greater than 15 feet - Class B bedding Class IV walls
- All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
- All handicap ramping, striping, and pavement markings shall conform to ADA requirements and the "North Carolina State Building Code, Vol. 1-C Accessibility Code."
- Existing Water and sewer main/service sizes adjacent to the property are to be verified by the contractor prior to the start of construction. The project engineer has shown sizes based on as-built plans from the Property Owner, however, exact size/dimension can only be determined from field exposure of the relevant line.
- Before starting any construction of improvements within any City street or highway Right-of-Way, the following procedures should be undertaken: City Right-of-Way-Contact local authority's traffic engineering department for information on detours, open cutting of streets or for any construction within Right-of-Way.
- A portion of the subject property is in a special flood hazard area as mapped by FEMA and shown on FIRM map number 3720172100 J. (Effective Date May 2nd, 2006).

This note shall apply to each and every sheet in this set.

The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the Plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.



VICINITY MAP (1" = 1,000')

SITE DATA TABLE

PROJECT NAME:	EAGLE CREST INDUSTRIAL PARK
PROJECT ADDRESS:	4100 AUBURN CHURCH ROAD
PIN NUMBER:	1721671227* 1721667499* 1721743078*
PROPERTY OWNER:	*RECOMBINATION PLAT APPROVED AND RECORDED AT BM2021, PG01183 DATED 6/29/21 SOUND TIMBER MANAGEMENT LLC 333 SHERWEE DRIVE RALEIGH, NC 27603
ZONING:	IH-CU
OVERLAY DISTRICT:	N/A
GROSS/NET SITE AREA:	57.92 ACS / 52.34 ACS
WATERSHED:	N/A
RIVER BASIN:	NEUSE
JURISDICTION:	CITY
CURRENT USE:	VACANT
PROPOSED USE:	OFFICE/WAREHOUSE
NUMBER OF PROPOSED LOTS:	5

BLOCK PERMETER EXEMPTION: BLOCK PERMETER REQUIREMENTS ARE N/A FOR IH ZONING PER UDO SECTION 8.3.2.A.2.b.

STUB STREET EXEMPTION: CREATION OF STUB STREET OBSTRUCTED BY WATERCOURSE THAT HAS ONE (1) SQUARE MILE OF DISCHARGE AREA OR MORE PER UDO SECTION 8.3.2.A.1.b.vi.c.

CROSS ACCESS EXEMPTION: CREATION OF CROSS ACCESS OBSTRUCTED BY STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE PER UDO SECTION 8.3.5.D.5.b.iii.

TRAFFIC INFORMATION

THE CITY OF RALEIGH REQUIRES A TRAFFIC IMPACT ANALYSIS (TIA) FOR DEVELOPMENTS EXPECTED TO GENERATE:

- PEAK HOUR TRIPS > 150 VEHICLES PER HOUR
- PEAK HOUR TRIPS > 100 VEHICLES PER HOUR IF PRIMARY ACCESS IS ON A 2-LANE ROAD
- MORE THAN 100 VEHICLES PER HOUR IN THE PEAK DIRECTION
- DAILY TRIPS 3,000 VEHICLES PER DAY

WITH TWO INDUSTRIAL BUILDINGS TOTALING 343,750 SF, THERE ARE A TOTAL OF 1,360 DAILY TRIPS (111 AM PEAK, 86 PM PEAK) BASED ON ITE TRIP GENERATION MANUAL 10TH EDITION LAND USE CODE 110 "GENERAL INDUSTRIAL". IN ADDITION, SITE ACCESS IS ON AN EXISTING 3-LANE SECTION OF AUBURN CHURCH ROAD. BASED ON AADT VOLUME, WHICH IS THE AVERAGE NUMBER OF VEHICLES TWO-WAY PASSING AT A GIVEN LOCATION, AND ROUTE CROSS SECTION, ALL SURROUNDING ROADS CURRENTLY OPERATE UNDER CAPACITY.

FOR THE ABOVE REASONS, A TRAFFIC IMPACT ANALYSIS IS NOT REQUIRED AT THIS TIME.

INDEX OF SHEETS

C-000	COVER
C-001	ZONING CONDITIONS
C-100	EXISTING CONDITIONS
C-101	DEMOLITION PLAN
C-200	OVERALL SITE PLAN
C-200A	PHASING SITE PLAN
C-201	SITE PLAN
C-201A	LOTS AND EASEMENT PLAN
C-201B	LOTS AND EASEMENT PLAN
C-202	ROAD WIDENING PLAN
C-300	GRADING & STORMWATER PLAN
C-400	UTILITY PLAN
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE PLAN
TC-100	TREE CONSERVATION PLAN
TC-101	TREE CONSERVATION PLAN

PROJECT MANAGER

DEVELOPMENT & CONSTRUCTION INSIGHT

2054 KILDAIRE FARM RD, #167
CARY, NORTH CAROLINA 27518
CONTACT: DAVID PARKER
David@DCinsight.com
(919) 868-3099

ENGINEER

NV5 ENGINEERS & CONSULTANTS

3300 REGENCY PARKWAY, SUITE 100
CARY, NORTH CAROLINA 27518
CONTACT: JONATHAN ALLEN
Jonathan.Allen@NV5.com
(919) 858-1831

Preliminary Subdivision Application Planning and Development <small>Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 Raleigh, NC 27601 919-996-2500</small>	
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<input checked="" type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Development <input type="checkbox"/> Cottage Court	
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	
GENERAL INFORMATION	
Scoping/sketch plan case number(s):	
Development name (subject to approval): Eagle Crest Industrial Park	
Property Address(es): 4100 Auburn Church Road	
Recorded Deed PIN(s): 1721671227, 1721667499, 1721743078 (Recombination Plat approved and recorded at BM2021, PG01183 dated 6/29/21)	
What is your project type? <input type="checkbox"/> Single family <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other: <input type="checkbox"/> Attached houses	
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION NOTE: Please attach purchase agreement when submitting this form	
Company: SOUND TIMBER MANAGEMENT LLC Owner/Developer Name and Title: Glen Bagwell, Manager Address: PO Box 1700, Garner, NC 27529 Phone #: Email: hgbrj@bellsouth.net	
APPLICANT INFORMATION	
Company: NV5 Engineers + Consultants Contact Name and Title: Jonathan Allen, Project Manager Address: 3300 Regency Parkway, Suite 100, Cary, NC 27518 Phone #: 919-924-2510 Email: Jonathan.Allen@nv5.com	
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DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 57.92 acres	
Zoning districts (if more than one, provide acreage of each): IH-CU	
Overlay district: SHOD-1	
Conditional Use District (CUD) Case # Z-002-89	
Board of Adjustment (BOA) Case # A- N/A	
Z-003-89	
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 2.59 acres Square Feet: 112,648 sf	
Proposed Impervious Surface: Acres: 5.16 acres Square Feet: 224,560 sf	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: None	
Flood study: Detailed Study - Zone AE	
FEMA Map Panel #: 3720172100J dated May 02, 2006	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: Detached N/A Attached N/A	
Total # of single-family lots: N/A	
Proposed density for each zoning district (UDO 1.5.2.F): N/A	
Total # of open space and/or common area lots: N/A	
Total # of requested lots: 5	
SIGNATURE BLOCK	
I hereby designate Jonathan Allen, NV5 Engineers + Consultants to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.	
SOUND TIMBER MANAGEMENT LLC	
Signature: By: Glen Bagwell, Jr., Manager Date: 2-12-2021	
Printed Name: H. Glen Bagwell, Jr., Manager	
Signature: Jonathan Allen Date: 2-15-2021	
Printed Name: Jonathan Allen	
Please email your completed application to SiteReview@raleighnc.gov .	
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NV5

NV5 ENGINEERS AND CONSULTANTS, INC.
3300 REGENCY PARKWAY, STE 100
CARY, NC 27518
P: 919.851.1912
www.NV5.com
NC License # F 1333
Formerly CALIX Engineers + Consultants

EAGLE CREST INDUSTRIAL PARK
PRELIMINARY SUBDIVISION PLANS

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS
1	04/28/2021	SUBDIVISION RESUBMITTAL
2	06/04/2021	SUBDIVISION RESUBMITTAL
3	07/30/2021	SUBDIVISION RESUBMITTAL
4	06/07/2021	SUBDIVISION RESUBMITTAL
5		
6		
7		
8		
9		

PROJECT NO: 2020173.01

DRAWN BY: FM
DWG. CHECKED BY: JA
SCALE: SEE PLAN
DATE: 02-15-2021

COVER

C000

EAGLE CREST INDUSTRIAL PARK
PRELIMINARY SUBDIVISION PLANS

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

SITE DATA TABLE

PROJECT NAME:	EAGLE CREST INDUSTRIAL PARK
PROJECT ADDRESS:	4100 AUBURN CHURCH ROAD
	1721671227*
	1721667499*
PIN NUMBER:	1721743078*
	*RECOMBINATION PLAT APPROVED AND RECORDED AT BM2021, PG01183 DATED 6/29/21
PROPERTY OWNER:	SOUND TIMBER MANAGEMENT LLC 333 SHERWEE DRIVE RALEIGH, NC 27603
ZONING:	IH-CU
OVERLAY DISTRICT:	N/A
GROSS/NET SITE AREA:	57.92 ACS / 52.34 ACS
WATERSHED:	N/A
RIVER BASIN:	NEUSE
JURISDICTION:	CITY
CURRENT USE:	VACANT
PROPOSED USE:	OFFICE/WAREHOUSE
NUMBER OF PROPOSED LOTS:	5

FLOOD LEGEND

FEMA FLOODWAY	
1% ANNUAL FLOOD	
0.2% ANNUAL FLOOD	
WETLANDS	
WETLANDS LIMITS	WETLANDS
1% ANNUAL FLOOD LIMITS	100YR
2% ANNUAL FLOOD LIMITS	ZONE X

NOTE: SEE SHEET C200A
FOR PHASING INFORMATION.

LOT 1
2,523,159 SQ.FT.
OR 57.9237 ACRES

PROPOSED LOT C
542,528 SF
12.45 ACRES

PROPOSED LOT D
583,806 SF
13.40 ACRES

PROPOSED LOT E
125,657 SF
2.88 ACRES

PROPOSED LOT B
465,143 SF
10.68 ACRES

PROPOSED LOT A
563,392 SF
12.93 ACRES

PROPERTY LINE
(TO BE SUBDIVIDED)

PROPOSED LOT A & B
PROPERTY LINE

SLOPE EASEMENT,
SEE SHEET C201A

SEE SHEET C-201

PROPERTY LINE
(TO BE SUBDIVIDED)

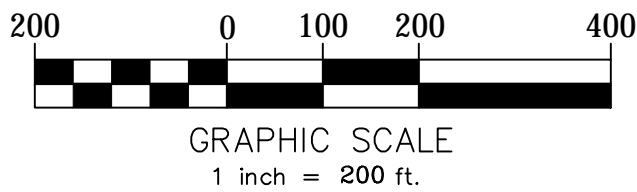
EXISTING
PROPERTY
LINE(TYP)

SLOPE EASEMENT,
SEE SHEET C201B

PROPERTY LINE
(TO BE SUBDIVIDED)

NOTES

- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY R.B. PHARR AND ASSOCIATES, P.A. DATED 11/12/2020 AND WAKE COUNTY GIS INFORMATION.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



NO.	DATE	REVISIONS	REMARKS
1.	04/28/2021		SUBDIVISION RESUBMITTAL
2.	06/04/2021		SUBDIVISION RESUBMITTAL
3.	07/30/2021		SUBDIVISION RESUBMITTAL
4.	09/07/2021		SUBDIVISION RESUBMITTAL
5.			
6.			
7.			
8.			
9.			

PROJECT NO:	2020173.01
DRAWN BY:	FM
DWG. CHECKED BY:	JA
SCALE:	SEE PLAN
DATE:	02-15-2021

OVERALL
SITE PLAN

C200

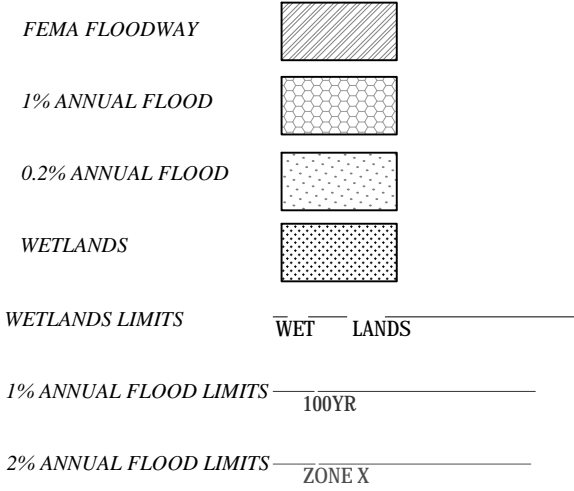
NV5

NV5 ENGINEERS AND CONSULTANTS, INC.
3300 REGENCY PARKWAY, STE 100
CARY, NC 27518
P: 919.851.1912
www.NV5.com
NC License # F1333
Formerly CALYX Engineers + Consultants

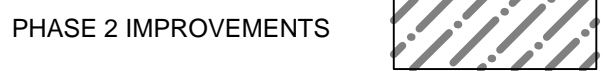
EAGLE CREST INDUSTRIAL PARK
PRELIMINARY SUBDIVISION PLANS

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

FLOOD LEGEND

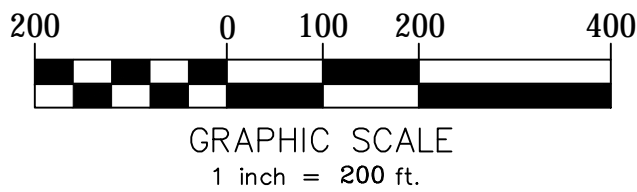


SITE LEGEND



NOTES

- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY R.B. PHARR AND ASSOCIATES, P.A. DATED 11/12/2020 AND WAKE COUNTY GIS INFORMATION.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



REVISIONS	
NO.	DATE
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5.	
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PROJECT NO:	2020173.01
DRAWN BY:	FM
DWG. CHECKED BY:	JA
SCALE:	SEE PLAN
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PHASING
SITE PLAN

C200A

