



# Administrative Approval Action

Case File / Name: SUB-0011-2021  
DSLCL - Eagle Crest Industrial Park

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is generally located on the west side of Auburn Church Road south of the intersection of Auburn Church Road and Jones Sausage Road, with common street addresses of 4100 and 4300 Auburn Church Road. This site is outside the city limits.

**REQUEST:** Conventional subdivision of approximately 57.92 acres to create 5 lots and dedicate public streets. The subdivision is proposed in two phases, with Lots A, B and C, and right-of-way in Phase 1, and the remaining Lots D and E, and right-of-way in Phase 2. The subject property is zoned IH-CU (Z-002-89 and Z-003-89).

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** ASR-0024-2021: DSLCL - Administrative Site Review [ASR]/Administrative Site Review

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 7, 2021 by NV5 ENGINEERING.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Demonstrate compliance with UDO Section 7.2.8.D (Retaining Walls) prior to Site Permit, or Mass Grading permit as applicable.
2. Demonstrate compliance with UDO Section 7.2.6 (Stormwater Retention Ponds & Detention Basins).

### **Engineering**

3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

### **Public Utilities**

4. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.



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5. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

## Stormwater

6. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
10. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).

## Urban Forestry

11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
12. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Slope Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering



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2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A public infrastructure surety for 147 Street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
6. A fee-in-lieu for 7 street trees is paid to the City of Raleigh (UDO 8.1.10).
7. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
8. A fee-in-lieu for the stub street to the western portions of the site at the creek crossing and any locations not fully completed on Auburn Church Road at the existing creek parcel as to be determined by staff is paid to the City of Raleigh (UDO 8.1.10).

## **Public Utilities**

9. Infrastructure Construction Plans (SPR submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions. The SPR drawings for the subdivision must be permitted concurrently with the offsite water and sewer improvements. The acceptance of the water and sewer utilities of the subdivision's SPR should occur concurrently or after the acceptance of the offsite water and sewer improvement SPR.
10. Wake County approval for any required Well or Septic Permits shall be shown on the map for recordation.
11. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
12. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a water and/or sewer main. This shall apply where right of way is dedicated but the typical requirement for installation of a waterline is not practical.



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13. Any retaining walls proposed adjacent to City of Raleigh Sanitary Sewer Easements comply with the following statement. Any necessary documentation must be submitted with the SPR. "For structures being proposed directly adjacent to sanitary sewer easements, the engineer of record shall demonstrate through a sealed engineering report that the City will be able to safely excavate the easement to access, inspect, repair, and/or replace the existing pipe without diminishing the structural integrity of the structure being proposed. If this protection cannot be achieved due to depth of sewer installation or size of proposed structure, the engineer can propose structural reinforcement just outside the easement to provide the protection or provide additional separation between the structure and the easement to allow the City to maintain the existing sewer."

## Stormwater

14. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
15. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
16. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
17. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
18. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

## Urban Forestry

19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 5.79 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry





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2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 36 street trees along Treygan Road, 62 street trees along Eagle Crest Way, and 49 street trees along Conash Lane.

***The following are required prior to issuance of building occupancy permit:***

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance for both the onsite and offsite improvements. This also includes the existing sanitary sewer this development is proposing to re-utilize that was never accepted by the City for maintenance. Improvements or replacements at the developer's cost may be required in order for the existing sanitary sewer to be accepted by the City of Raleigh.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
3. All street lights and street signs required as part of the development approval are installed.

**EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:**

**3-Year Sunset Date: January 27, 2025**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: January 27, 2027**  
**Record entire subdivision.**

I hereby certify this administrative decision.

**Signed:** *Alycia Bailey Taylor* **Date:** 09/30/2021  
Development Services Dir/Designee  
**Staff Coordinator: Kasey Evans**

# EAGLE CREST INDUSTRIAL PARK

## PRELIMINARY SUBDIVISION PLANS

### CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

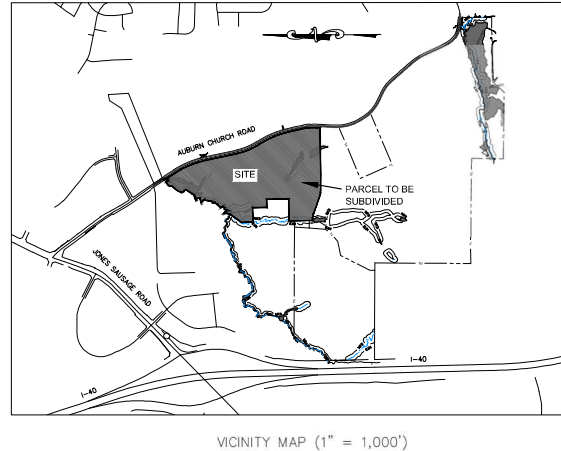
SUB-0011-2021

## General Notes:

1. All construction shall be in accordance with the City of Raleigh standards and specifications.
2. The contractor shall be solely responsible for trench safety during all phases of construction.
3. The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie on or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
4. The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
5. Traffic design/control on public streets shall be in conformance with the traffic control plan, the Raleigh Street Design Manual, the Manual of Uniform Traffic Control Devices, and as further directed by City and State Inspectors.
6. Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
7. Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
8. All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use sit fences (or other methods approved by the engineer and applicable municipality) as required to prevent all and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and utilization ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion and with approval of the erosion control inspector.
9. The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
10. Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches for any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-1555. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
11. Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used in case of discrepancy.
12. The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
13. All distances shown represent horizontal ground distances.
14. Rim elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junction Boxes.
15. Storm Sewer (RCP) shall be constructed to the following classes (unless otherwise noted):  
Cover less than 10 feet - Class C or D bedding, Class III walls  
Cover 10 feet to 15 feet - Class B bedding, Class II walls  
Cover greater than 15 feet - Class B bedding Class IV walls
16. All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
17. All handicap ramping, striping, and pavement markings shall conform to ADA requirements and the North Carolina State Building Code, Vol. "C-Accessibility Code."
18. Existing Water and sewer main/service sizes adjacent to the property are to be verified by the contractor prior to the start of construction. The project engineer has shown sizes based on as-built plans from the Property Owner, however, exact size/dimension can only be determined from field exposure of the relevant line.
19. Before starting any construction of improvements within any City street or highway Right-of-Way, the following procedures should be undertaken: City Right-of-Way-Contact local authority's traffic engineering department for information on detours, open cutting of streets or for any construction within Right-of-Way.
20. A portion of the subject property is in a special Road hazard area as mapped by FEMA and shown on FIRM map number 3720/12100 J. (Effective Date May 2nd, 2006).

This note shall apply to each and every sheet in this set.

The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the Plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners. Field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.



## SITE DATA TABLE

PROJECT NAME: EAGLE CREST INDUSTRIAL PARK  
PROJECT ADDRESS: 4100 AUBURN CHURCH ROAD  
PIN NUMBER: 1721671227\*  
1721667499\*  
1721743078\*

\*RECOMBINATION PLAT APPROVED AND RECORDED AT BM2021, PG01183 DATED 4/29/21

PROPERTY OWNER: SOUND TIMBER MANAGEMENT LLC  
333 SHERWEE DRIVE  
RALEIGH, NC 27603

ZONING: H-CU  
OVERLAY DISTRICT: N/A  
GROSS/NET SITE AREA: 57.92 ACS / 52.34 ACS  
WATERSHED: N/A  
RIVER BASIN: NEUSE  
JURISDICTION: CITY  
CURRENT USE: VACANT  
PROPOSED USE: OFFICE/WAREHOUSE  
NUMBER OF PROPOSED LOTS: 5

BLOCK PERIMETER EXEMPTION: BLOCK PERIMETER REQUIREMENTS ARE N/A FOR IH ZONING PER UDO SECTION 8.3.2.A.2.b.

STUB STREET EXEMPTION: CREATION OF STUB STREET OBSTRUCTED BY WATER COURSE THAT HAS ONE (1) SQUARE MILE OF DISCHARGE AREA OR MORE PER UDO SECTION 8.3.2.A.1.b.i.v.c.

CROSS ACCESS EXEMPTION: CREATION OF CROSS ACCESS OBSTRUCTED BY STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE PER UDO SECTION 8.3.5.D.5.b.ii.

## TRAFFIC INFORMATION

THE CITY OF RALEIGH REQUIRES A TRAFFIC IMPACT ANALYSIS (TIA) FOR DEVELOPMENTS EXPECTED TO GENERATE:

- PEAK HOUR TRIPS > 150 VEHICLES PER HOUR
- PEAK HOUR TRIPS > 100 VEHICLES PER HOUR IF PRIMARY ACCESS IS ON A 2-LANE ROAD
- MORE THAN 100 VEHICLES PER HOUR IN THE PEAK DIRECTION
- DAILY TRIPS 3,000 VEHICLES PER DAY

WITH TWO INDUSTRIAL BUILDINGS TOTALING 343,750 SF, THERE ARE A TOTAL OF 1,360 DAILY TRIPS (111 AM PEAK, 86 PM PEAK) BASED ON THE TRIP GENERATION MANUAL 10TH EDITION LAND USE CODE 110 "GENERAL INDUSTRIAL". IN ADDITION, SITE ACCESS IS ON AN EXISTING 34-LANE SECTION OF AUBURN CHURCH ROAD, BASED ON AADT VOLUME, WHICH IS THE AVERAGE NUMBER OF VEHICLES TWO-WAY PASSING AT A GIVEN LOCATION, AND ROUTE CROSS SECTION, ALL SURROUNDING ROADS CURRENTLY OPERATE UNDER CAPACITY.

FOR THE ABOVE REASONS, A TRAFFIC IMPACT ANALYSIS IS NOT REQUIRED AT THIS TIME.

## INDEX OF SHEETS

C-000	COVER
C-001	ZONING CONDITIONS
C-100	EXISTING CONDITIONS
C-101	DEMOLITION PLAN
C-200	OVERALL SITE PLAN
C-200A	PHASING SITE PLAN
C-201	SITE PLAN
C-201A	LOTS AND EASEMENT PLAN
C-201B	LOTS AND EASEMENT PLAN
C-202	ROAD WIDENING PLAN
C-300	GRADING & STORMWATER PLAN
C-400	UTILITY PLAN
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE PLAN
TC-100	TREE CONSERVATION PLAN
TC-101	TREE CONSERVATION PLAN

PROJECT MANAGER

ENGINEER

DEVELOPMENT &  
CONSTRUCTION INSIGHT

2054 KILDAIRE FARM RD, #167  
CARY, NORTH CAROLINA 27518  
CONTACT: DAVID PARKER  
Dparker@chlight.com  
(919) 868-2099

NV5 ENGINEERS &  
CONSULTANTS

3300 REGENCY PARKWAY, SUITE 100  
CARY, NORTH CAROLINA 27518  
CONTACT: JONATHAN ALLEN  
Jallen@nv5.com  
(919) 858-1831

Kasey Evans

#### Preliminary Subdivision Application

##### Planning and Development

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [UDO@nc.gov](mailto:UDO@nc.gov).

DEVELOPMENT TYPE (UDO Section 2.1.2)

NOTE: Subdivisions may require City Council approval if in a Main Park Overlay or Historic Overlay District.

Stippling/ketch plan case number(s):

Development name (subject to approval): Eagle Crest Industrial Park

Property Address(es): 4100 Auburn Church Road

Recorded Deed PIN(s): 1721671227, 1721667499, 1721743078

(Recombination Plat approved and recorded at BM2021, PG01183 dated 6/29/21)

What is your project type?

☐ Single family ☒ Townhouse ☐ Other ☐ Attached houses

☐ Apartment ☒ Non-residential ☐ Other

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION

NOTE: Please attach purchase agreement when submitting this form.

Company: SOUND TIMBER MANAGEMENT LLC Owner/Developer Name and Title: Glen Bagwell, Manager

Address: PO Box 1700, Garner, NC 27529

Phone #: 919-824-2510 Email: [hgby@shellicouth.net](mailto:hgby@shellicouth.net)

Company: NV5 Engineers + Consultants Contact Name and Title: Jonathan Allen, Project Manager

Address: 3300 Regency Parkway, Suite 100, Cary, NC 27518

Phone #: 919-824-2510 Email: [Jonathan.Allen@nv5.com](mailto:Jonathan.Allen@nv5.com)

Continue to page 2 >>

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DEVELOPMENT TYPE + SITE DATA TABLE	
ZONING INFORMATION	
Gross site acreage: 57.92 acres	
Zoning districts of more than one, provide acreage of each: H-CU	
Overlay district: SHD01	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case #: 2-002-88	Board of Adjustment (BOA) Case #: N/A
Conditional Use District (CUD) Case #: 2-002-88	
STORMWATER INFORMATION	
Existing Impervious Surface Area: 250,000 sq ft	Proposed Impervious Surface Area: 218,000 sq ft
Storm Water Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Hardscapes: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide the following: Flood study: Coastal Study - Zone A	
FEMA Map Panel #: 19000000000000000000	
NUMBER OF LOTS AND DENSITY	
Total # of lots/parcels lots: 5	Attached lot: <input type="checkbox"/>
Total # of single-family lots: 0	
Proposed density for each zoning district (UDO 1.5.3.7):	
Total # of open space and/or common area lots: N/A	
Total # of requested lots: 5	
SIGNATURE BLOCK	
I hereby designate Jonathan Allen, NV5 Engineers + Consultants, to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I have read, understand, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing schedule and submitted policy, which states applications will expire after six consecutive months of inactivity.	
Signature: [Signature]	Date: 2-13-2021
Signature: [Signature]	Date: 2-13-2021
Printed Name: Jonathan Allen	Printed Name: Jonathan Allen

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# NV5

NV5 ENGINEERS AND CONSULTANTS, INC.  
3300 REGENCY PARKWAY, STE 100  
CARY, NC 27518  
P 919.858.1831  
www.nv5.com

Kasey Evans  
Project Civil Engineer + Draftsman

## EAGLE CREST INDUSTRIAL PARK

### PRELIMINARY SUBDIVISION PLANS

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS	REMARKS
1	02/13/2021	PRELIMINARY SUBDIVISION	PRELIMINARY SUBDIVISION
2	07/30/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
3	07/30/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
4	09/07/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
5	09/07/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
6	09/07/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
7	09/07/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
8	09/07/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
9	09/07/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL
10	09/07/2021	SUBDIVISION RESUBMITAL	SUBDIVISION RESUBMITAL

PROJECT NO: 2020173.01

DRAWN BY: JPD

DWG. CHECKED BY: JA

SCALE: SEE PLAN

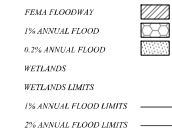
DATE: 02-13-2021

COVER

C000



# FLOOD LEGEND



## LEGEND



## NOTES

1. PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY FEL PHARR AND ASSOCIATES, P.A. DATED 11/10/2000 AND WAKE COUNTY GIS INFORMATION.
2. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT THE ONE CALL CENTER AT 1-800-4-A-DAVE FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



**NIVIS**

NIVIS ENGINEERS AND CONSULTANTS, INC.  
3300 REGENCY PARKWAY, STE 100  
DARY, NC 27515  
P: 919.851.1212  
www.nivis.com

## EAGLE CREST INDUSTRIAL PARK PRELIMINARY SUBDIVISION PLANS

AUBURN, GULF CREEK ROAD, RALEIGH, NORTH CAROLINA

## REVISIONS

NO.	DATE	REVISIONS
1	06/04/2021	SUBDIVISION RESUBMITTAL
2	07/30/2021	SUBDIVISION RESUBMITTAL
3	08/07/2021	SUBDIVISION RESUBMITTAL
4		
5		
6		
7		
8		

PROJECT NO: 2020173.01

DRAWN BY: JPD

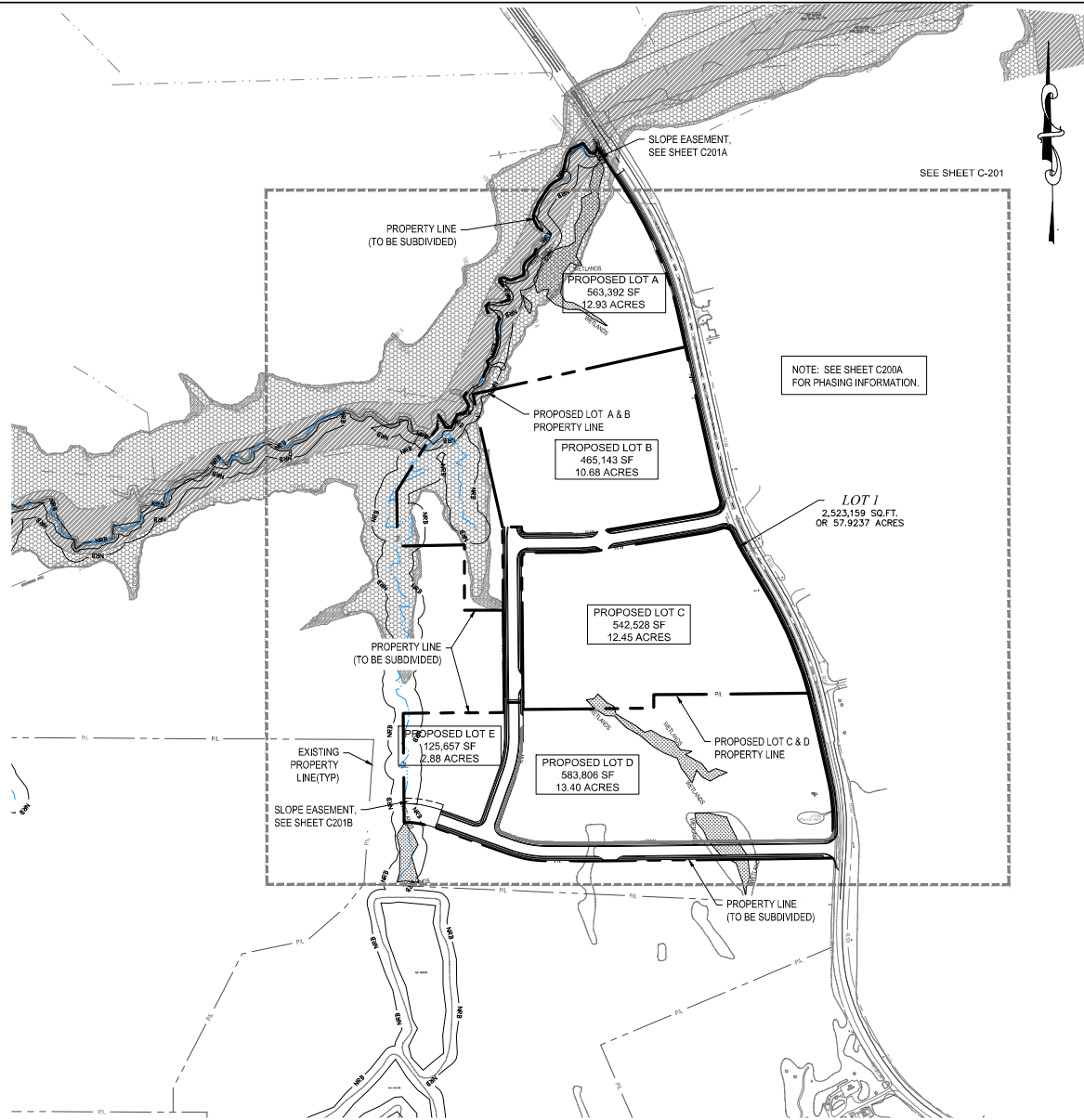
CHKD, CHECKED BY: JPD

SCALE: SEE PLAN

DATE: 02-15-2021

OVERALL EXISTING  
CONDITIONS

C100



## SITE DATA TABLE

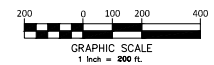
PROJECT NAME:	EAGLE CREST INDUSTRIAL PARK
PROJECT ADDRESS:	4100 AUBURN CHURCH ROAD
PIN NUMBER:	1721671227* 1721667499* 1721743078*
PROPERTY OWNER:	SOUND TIMBER MANAGEMENT LLC 333 SHERWEE DRIVE RALEIGH, NC 27603
TONING:	84-CU
OVERLAY DISTRICT:	N/A
GROSS/NET SITE AREA:	57.92 ACS / 52.34 ACS
WATERSHED:	N/A
RIVER BASIN:	NEUSE
JURISDICTION:	CITY
CURRENT USE:	VACANT
PROPOSED USE:	OFFICE/WAREHOUSE
NUMBER OF PROPOSED LOTS:	5

## FLOOD LEGEND

FEEL FLOODWAY	
1% ANNUAL FLOOD	
0.7% ANNUAL FLOOD	
WETLANDS	
WETLAND LIMITS	
1% ANNUAL FLOOD LIMITS	100%
0.7% ANNUAL FLOOD LIMITS	100%

## NOTES

- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY FEL PHARR AND ASSOCIATES, P.A. DATED 11/15/2020 AND WAKE COUNTY GIS INFORMATION.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT THE ONE CALL CENTER AT 800-4-A-DAVE FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



NIVIS

NIVIS ENGINEERS AND CONSULTANTS, INC.  
3300 REGENCY PARKWAY, STE 100  
DARY, NC 27515  
P: 919.851.1512  
www.nivis.com

# EAGLE CREST INDUSTRIAL PARK PRELIMINARY SUBDIVISION PLANS

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

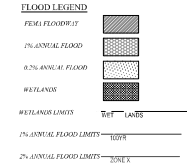
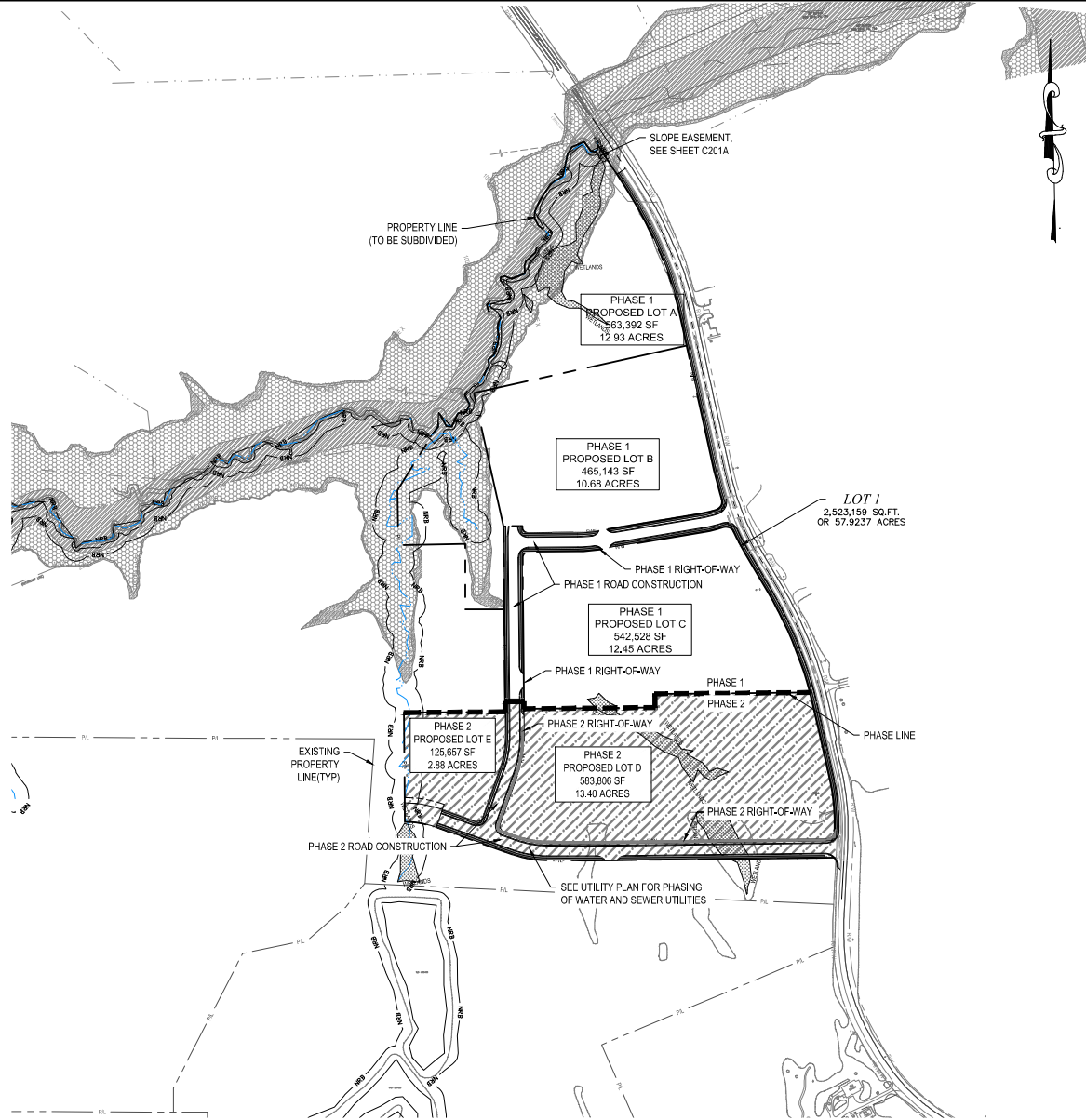
NO.	DATE	REVISIONS
1	06/04/2021	STUDY SUBMITTAL
2	06/04/2021	SUBDIVISION RESUBMITTAL
3	07/30/2021	SUBDIVISION RESUBMITTAL
4	08/07/2021	SUBDIVISION RESUBMITTAL
5		
6		
7		
8		

PROJECT NO:	200173.01
DRAWN BY:	FM
CHK. CHECKED BY:	JL
SCALE:	SEE PLAN
DATE:	02-15-2023

OVERALL  
SITE PLAN

C200





**NOTES**

1. PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY FLE PHARR AND ASSOCIATES, P.A. DATED 11/15/2020 AND WAKE COUNTY GIS INFORMATION.
2. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 800-444-4444 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



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**EAGLE CREST INDUSTRIAL PARK  
PRELIMINARY SUBDIVISION PLANS**

AUBURN, CHURCH ROAD, RALEIGH, NORTH CAROLINA

**REVISIONS**

NO.	DATE	REVISIONS
1	06/04/2021	SUBDIVISION RESUBMITTAL
2	07/30/2021	SUBDIVISION RESUBMITTAL
3	08/07/2021	SUBDIVISION RESUBMITTAL
4		
5		
6		
7		
8		

PROJECT NO: 2020173.01

DRAWN BY: JPL

CHKD. CHECKED BY: JPL

SCALE: SEE PLAN

DATE: 02-15-2023

**PHASING  
SITE PLAN**

C200A





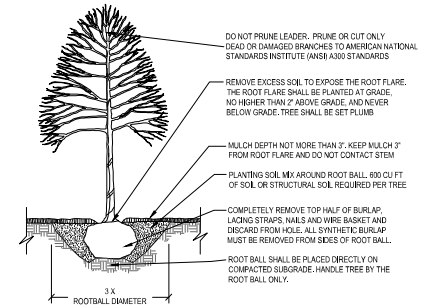


PROJECT NO:		2020173.01
DRAWN BY:		FM
DWG. CHECKED BY:		JA
SCALE:		SEE PLAN
DATE:		02-15-2021
NO.	DATE	REMARKS
1.	04/28/2021	SUBDIVISION RESUBMITTAL
2.	06/04/2021	SUBDIVISION RESUBMITTAL
3.	07/30/2021	SUBDIVISION RESUBMITTAL
4.	09/07/2021	SUBDIVISION RESUBMITTAL
5.		
6.		
7.		
8.		
9.		

C400

**EAGLE CREST INDUSTRIAL PARK  
PRELIMINARY SUBDIVISION PLANS**

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA



CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL  
RESOURCES DEPARTMENT, URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

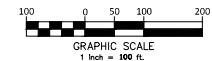
- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS  
IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR  
ADEQUATE DRAINAGE OF ALL PLANTING PITS.  
(POSITIVE DRAINAGE AWAY FROM PIT)
  - TREES SHALL BE PLANTED BETWEEN  
OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES  
ARE PROHIBITED IN THE PLANTING AREA  
IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKING IN ACCORDANCE WITH THE CITY  
TREE MANUAL, THE STAKING MUST BE REMOVED  
WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY  
AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	NOT TO SCALE
000000	04/18/2021	NOT TO SCALE
000001	07/07/2021	NOT TO SCALE
TREE PLANTING DETAIL		TPP-03

**PLANT SCHEDULE**

TREES	CODE	COMMON NAME	BOTANICAL NAME	PHI	QTY	ROOT	SIZE	NOTE
●	NS	BLACK OAK	QUERCUS VULPINA	64	90	540 2" CAL	MIN 10' HT	PLANT 40' OC
●	ASA	SOUTHERN SUGAR MAPLE	ACER BARBATUM	20	9	540 2" CAL	MIN 10' HT	
●	BO	AMERICAN HOLLY	ILEX OPACA	30	17	540 2" CAL	MIN 10' HT	
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	PHI	QTY	ROOT	SIZE	NOTE
○	BS	SORRELIA YAMON HOLLY	ILIX VOMITARIA HOLLY	271	80	CONTEINER	10' HT	

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THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT THE  
ONE CALL CENTER AT 800.484.4844 FOR LOCATION OF EXISTING UTILITIES  
PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE  
CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
  - STREET TREES SHALL BE NO CLOSER THAN 30 FEET TO AN INTERSECTION  
AND TO 10 FEET TO A DRIVEWAY. MINIMUM SPACING BETWEEN STREET TREES  
SHALL BE 20'.



MATCHLINE

MATCHLINE

PHASE 2 AUBURN CHURCH  
ROAD PLANTINGS (BEHIND

AUBURN CHURCH ROAD  
PLANTINGS (BEHIND 20' CITY OF  
RALEIGH WATER EASEMENT)

AUBURN CHURCH ROAD  
PLANTINGS (BEHIND 20' CITY OF  
RALEIGH WATER EASEMENT)

STREET TREES  
40' OC (TYP)

(16 NS)

(12 NS)

(18 NS)

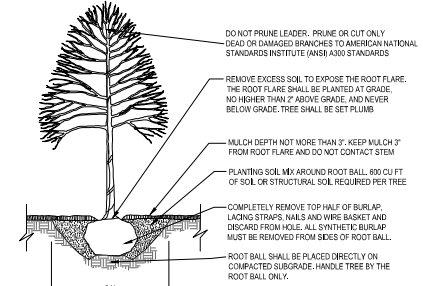
(18 NS)

NOTE: RW PLANTINGS NOT  
ALLOWED PER NC DOT ROADSIDE  
ENVIRONMENTAL UNIT

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**EAGLE CREST INDUSTRIAL PARK  
PRELIMINARY SUBDIVISION PLANS**

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA



CONTACT INFORMATION:  
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TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

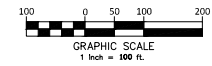
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CITY OF RALEIGH STANDARD DETAIL			
REVISION	DATE	BY	NOT TO SCALE
000001	04/18/2021	JR	
000002			
TREE PLANTING DETAIL			
TPP-03			

**PLANT SCHEDULE**

TREES	CODE	COMMON NAME	BOTANICAL NAME	PH1 QTY	PH2 QTY	ROOT	SIZE	NOTE
•	NE	BLACK OAK	NYSSA SYLVATICA	64	90	360 2" CAL	18IN-19" HT	PLANT 42 G.C.
•	ASA	SOUTHERN SUGAR MAPLE	ACER BARBATUM	20	9	360 2" CAL	18IN-17" HT	
•	ED	AMERICAN HOLLY	ILEX OPACA	35	17	360 2" CAL	18IN-19" HT	
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	PH1 QTY	PH2 QTY	ROOT	SIZE	
○	BS	BOREREAUX YAMPOON HOLLY	LEUCOMYRTON NORDEAN	211	85	CORNFARM	18" HT	

- NOTES:**
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WAKE COUNTY GIS INFORMATION.
  - EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN  
THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT INC  
ONE CALL CENTER AT 1-800-444-4444 FOR LOCATOR OR UTILITIES  
PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE  
CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
  - STREET TREES SHALL BE NO CLOSER THAN 30 FEET TO AN INTERSECTION  
AND 10 FEET TO A DRIVEWAY. MINIMUM SPACING BETWEEN STREET TREES  
SHALL BE 25'.



NO.	DATE	REVISIONS
1	04/18/2021	STUDY SUBMITTAL
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4	09/07/2021	SUBDIVISION RESUBMITTAL
5		
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PROJECT NO:	2020173.01
DRAWN BY:	JR
CHKD. CHECKED BY:	JR
SCALE:	SEE PLAN
DATE:	02-15-2023

**LANDSCAPE PLAN**