



Administrative Approval Action

Case File / Name: SUB-0011-2023
DSLCL - WATERVIEW VILLAS

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The is a 4.91 acre site located west of Holly Lane at the eastern extension of Stony Crest Road. The property is zoned R-4 and R-6. The site is outside the city limits.

REQUEST: The request is for an 10 lot subdivision consisting of 4 residential townhome lots, 4 detached house lot, and 2 open space lots. There is an existing dwelling on an adjacent lot that is not part of this development.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 4, 2025 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



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7. Only 16 trees are required along Stony Crest Rd and 17 have been shown with the fifth submittal of this SUB. 16 street trees, and any spacing adjustments to follow spacing guidelines, must be shown on SPR.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. Provide documentation indicating a Property Owner's Association has been established for the subject development.

Engineering

3. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A pedestrian and bicycle deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
7. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

9. Infrastructure Construction Plans (spr submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.



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10. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

11. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
13. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
14. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
15. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

16. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .4486 acres of tree conservation area.
17. A public infrastructure surety for 16 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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3. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 16 street trees along Stony Crest Rd.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 12, 2028
Record at least ½ of the land area approved.

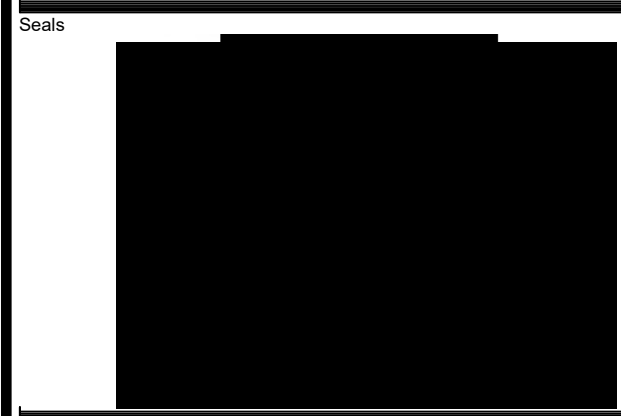
5-Year Sunset Date: February 12, 2030
Record entire subdivision.



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

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333 Wade Ave., Raleigh, N.C. 27605
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Project
WATERVIEW VILLAS

Client
WATERVIEW VILLAS INC.
3809 HOLLY LANE
RALEIGH, NC 27612

LEGEND

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IP	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	NF	NOW OR FORMERLY
CO	SEWER CLEANOUT	NS	PRIVATE DRAINAGE EASEMENT
CONC	CONCRETE	PG	PAGE
CRB	CREED BOOK	PVC	POLYVINYL CHLORIDE PIPE
DOVA	DOUBLE CHECK VALVE	RCP	REINFORCED CONCRETE PIPE
D.I.	DUCTILE IRON	RP	REDUCED PRESSURE
DI	DROP INLET	RZ	REDUCED PRESSURE ZONE
EIP	EXISTING IRON PIPE	RW	RIGHT-OF-WAY
ELEV	ELEVATION	S.F.	SQUARE FEET
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
ESMT	EASEMENT	SW	SIDEWALK
EX	EXISTING	TC	TOP OF CURB
FDC	FIRE DEPARTMENT CONNECTION	TCA	TREE CONSERVATION AREA
FES	FLARED END SECTION	TCP	TERRA COTTA PIPE
FFE	FINISHED FLOOR	TSP	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TYP	TYPICAL
FL	FIRE LINE	WL	WATER LINE
HB	HANDICAP BOTTOM	WM	WATER METER
HC	HANDICAP	WS	WATER SERVICE
HT	HANDICAP TOP	WV	WATER VALVE
		YI	YARD INLET

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW WATER REDUCER
EX. WATER METER	NEW FIRE HYDRANT
EX. SEWER MANHOLE	NEW WATER METER
EX. SEWER CLEANOUT	NEW SEWER MANHOLE
EX. STORM CATCH BASIN	NEW SEWER CLEANOUT
EX. STORM DROP INLET	NEW STORM CATCH BASIN
EX. FLARED END SECTION	NEW STORM DROP INLET
CALCULATED POINT	NEW FLARED END SECTION
EX. IRON PIPE	IRON PIPE SET
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM DRAINAGE
	NEW WATER LINE
	NEW SANITARY SEWER
	NEW STORM DRAINAGE
	EXISTING CONTOUR LINE
	NEW CONTOUR LINE
	TOP OF POND BANK
	FLOODWAY
	NEUSE RIVER BUFFER
	CENTERLINE OF CREEK
	EXISTING OVERHEAD POWER
	EXISTING FENCE LINE
	NEW TREE PROTECTION FENCE

EXISTING CONDITIONS SURVEY

Revisions

Number	Description	Date
1st	CITY OF RALEIGH - REVIEW COMMENTS	6/1/23
2nd	CITY OF RALEIGH - REVIEW COMMENTS	11/02/23
3rd	CITY OF RALEIGH - REVIEW COMMENTS	01/26/24
4th	CITY OF RALEIGH - REVIEW COMMENTS	08/21/24
5th	CITY OF RALEIGH - REVIEW COMMENTS	10/15/24
6th	CITY OF RALEIGH - REVIEW COMMENTS	11/15/24
7th	CITY OF RALEIGH - REVIEW COMMENTS	02/04/25

Drawing Scale 1" = 50'
 Drawn By BF
 Checked By JAE, JR.
 Date Issued 02/01/2025 of

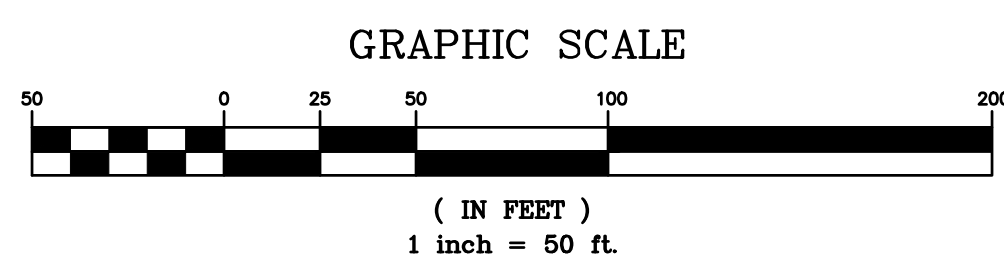
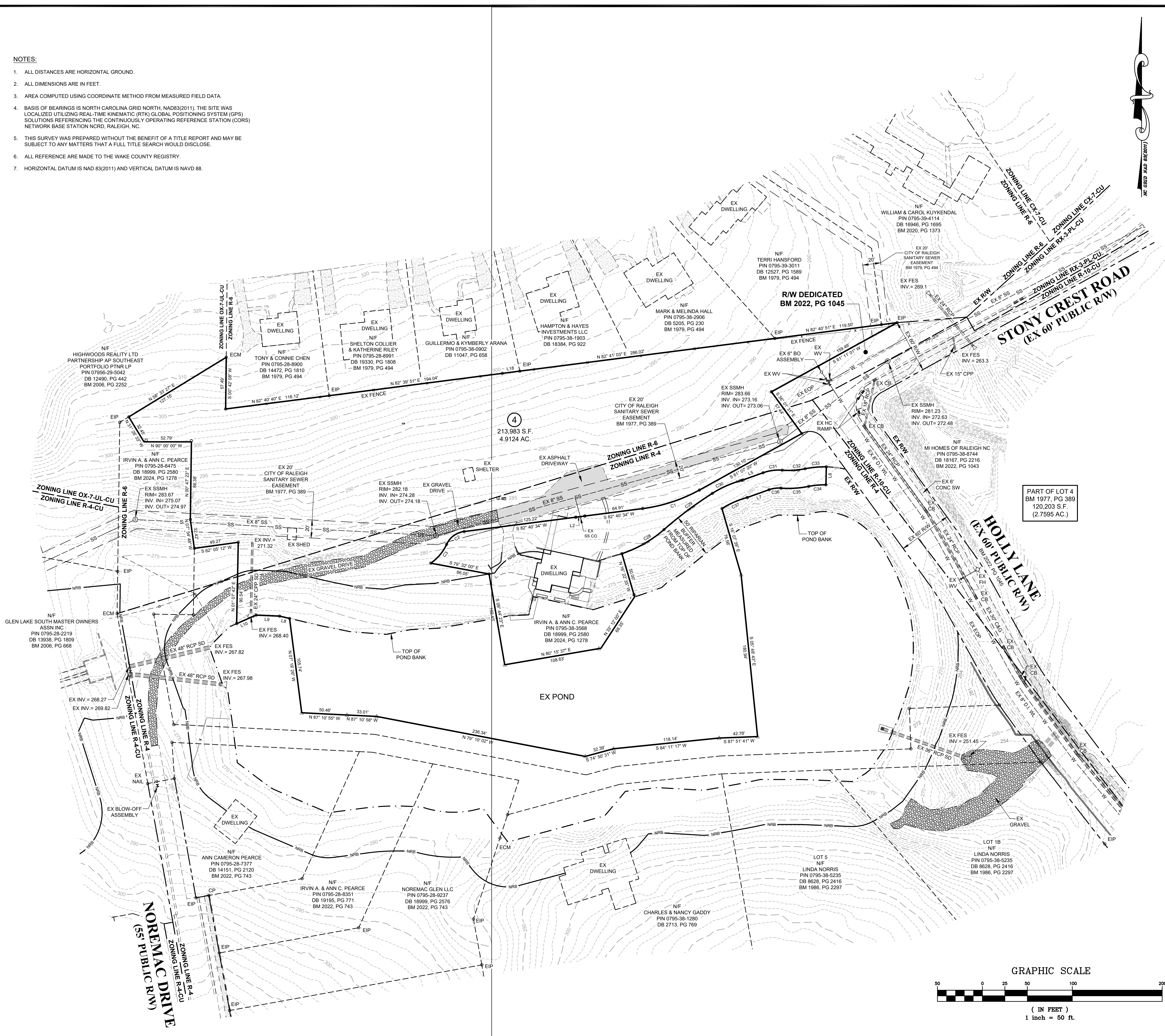
BOUNDARY LINE TABLE

LINE #	LENGTH	DIRECTION
L1	17.56'	N82° 34' 06"E
L2	10.10'	S82° 40' 34"W
L5	24.97'	N70° 20' 16"E
L6	20.00'	S01° 06' 49"W
L7	25.78'	S70° 20' 16"W
L8	11.40'	N76° 53' 15"W
L9	26.22'	N87° 33' 03"W
L10	23.60'	S66° 13' 21"W
L18	19.74'	N82° 39' 51"E

BOUNDARY CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	66.77'	177.50'	66.38'	S71° 53' 57"W
C2	25.20'	25.00'	24.14'	S53° 48' 07"W
C3	27.71'	52.00'	27.38'	S40° 11' 33"W
C28	54.31'	135.96'	53.95'	N60° 12' 44"E
C29	67.21'	435.88'	67.15'	N53° 11' 11"E
C30	36.03'	120.48'	35.89'	N86° 10' 15"E
C31	21.69'	51.98'	21.53'	N82° 17' 31"E
C32	25.59'	93.50'	25.51'	N86° 24' 24"E
C33	23.75'	108.45'	23.70'	N84° 50' 26"E
C34	19.37'	88.45'	19.33'	S84° 50' 26"W
C35	31.06'	113.50'	30.96'	S86° 24' 24"W
C36	13.34'	31.98'	13.25'	S82° 17' 31"W
C37	30.78'	100.48'	30.66'	S66° 22' 48"W

- NOTES:**
- ALL DISTANCES ARE HORIZONTAL GROUND.
 - ALL DIMENSIONS ARE IN FEET.
 - AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
 - BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
 - ALL REFERENCE ARE MADE TO THE WAKE COUNTY REGISTRY.
 - HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88.





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LEGEND

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BW	BOTTOM OF WALL	JB	JUNCTION BOX
CB	CATCH BASIN	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	NF	NOT FORMERLY
CO	SEWER CLEANOUT	PDE	PRIVATE DRAINAGE EASEMENT
CONC	CONCRETE	PG	PAGE
DB	DEED BOOK	PVC	POLYVINYL CHLORIDE PIPE
DCVA	DOUBLE CHECK VALVE	RCF	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON PIPE	RPPA	REDUCED PRESSURE DETECTOR ASSEMBLY
DI	DROP INLET	RPZ	REDUCED PRESSURE ZONE
ELEV	ELEVATION	S.F.	SQUARE FEET
EOP	EDGE OF PAVEMENT	SP	SPACES
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			NEW STORM CATCH BASIN
			NEW STORM DROP INLET
			NEW FLARED END SECTION
			IRON PIPE SET
			PROPERTY LINE
			RIGHT-OF-WAY LINE
			LOT LINE
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			EXISTING WATER LINE
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			EXISTING FENCE LINE
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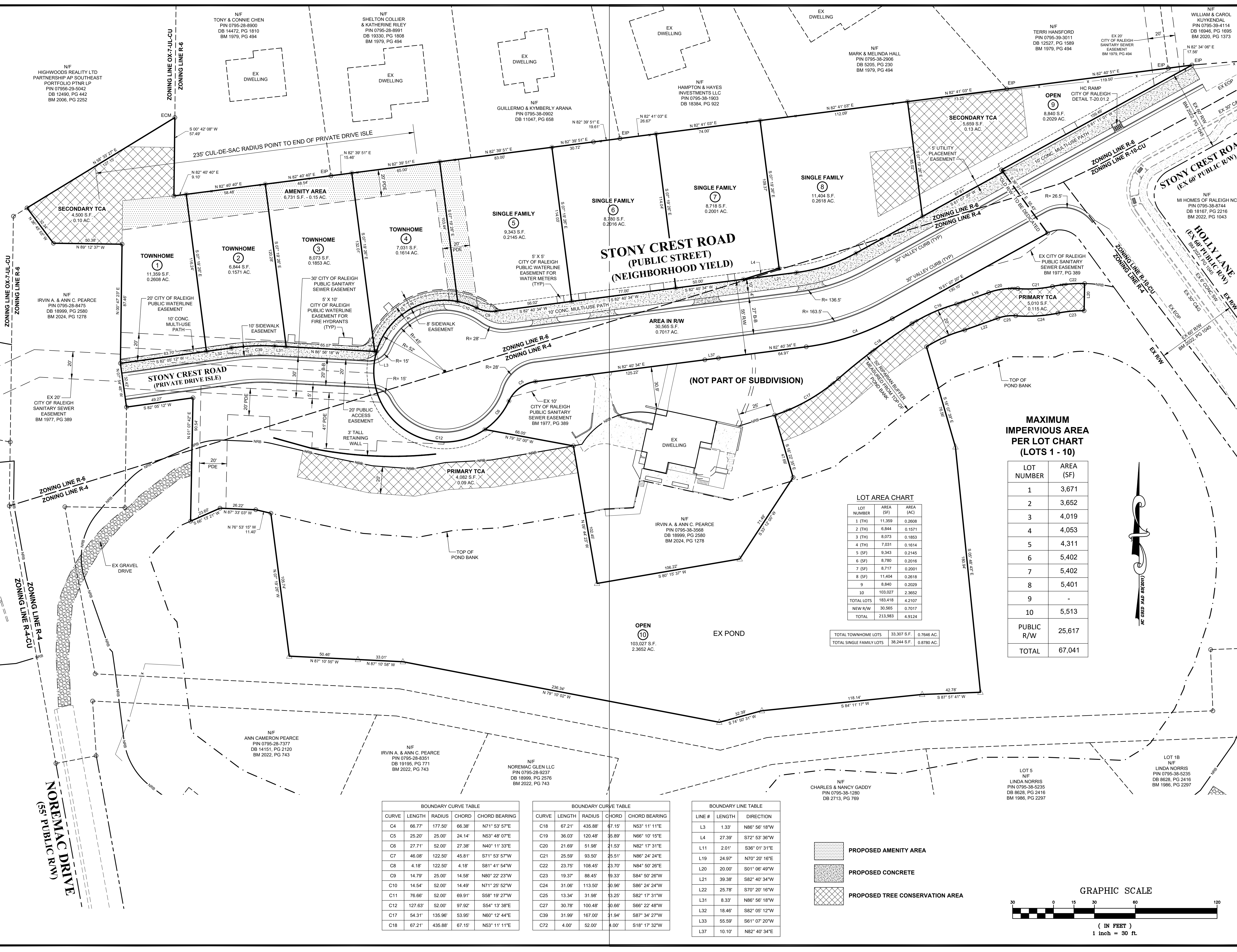
MAXIMUM IMPERVIA AREA PER LOT CHART (LOTS 1 - 10)

LOT NUMBER	AREA (SF)
1	3,671
2	3,652
3	4,019
4	4,053
5	4,311
6	5,402
7	5,402
8	5,401
9	-
10	5,513
PUBLIC R/W	25,617
TOTAL	67,041

LOT AREA CHART

LOT NUMBER	AREA (SF)	AREA (AC)
1 (TH)	11,359	0.2608
2 (TH)	6,844	0.1571
3 (TH)	8,073	0.1853
4 (TH)	7,031	0.1614
5 (SF)	9,343	0.2145
6 (SF)	8,780	0.2016
7 (SF)	8,717	0.2001
8 (SF)	11,404	0.2616
9	8,840	0.2029
10	103,027	2.3652
TOTAL LOTS	183,418	4.2107
NEW R/W	30,565	0.7017
TOTAL	213,983	4.9124

TOTAL TOWNHOME LOTS	33,307 S.F.	0.7646 AC.
TOTAL SINGLE FAMILY LOTS	38,244 S.F.	0.8780 AC.



BOUNDARY CURVE TABLE

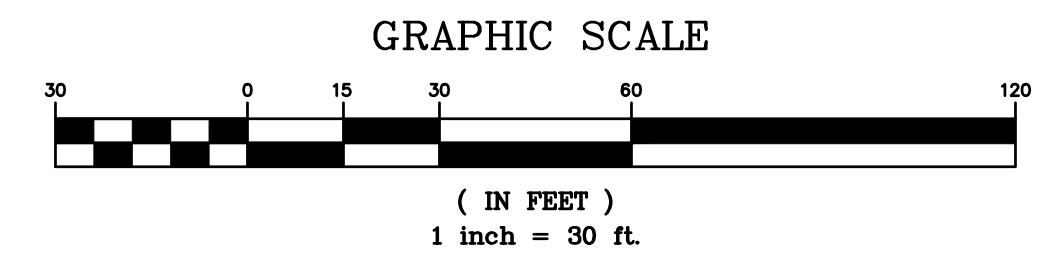
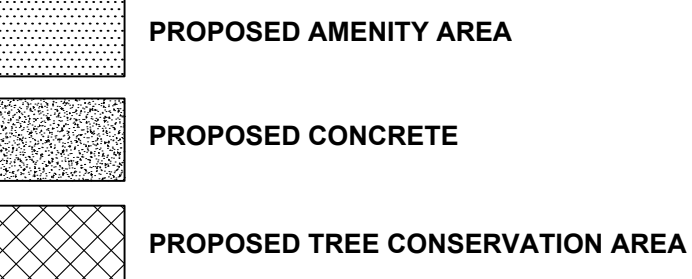
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C5	25.20	25.00	24.14	N53° 48' 07"E
C6	27.71	52.00	27.38	N40° 11' 33"E
C7	46.08	122.50	45.81	S71° 53' 57"W
C8	4.18	122.50	4.18	S81° 41' 54"W
C9	14.79	25.00	14.58	N80° 22' 23"W
C10	14.54	52.00	14.49	N71° 25' 52"W
C11	76.66	52.00	69.91	S58° 19' 27"W
C12	127.63	52.00	97.92	S54° 13' 38"E
C17	54.31	135.96	53.95	N60° 11' 44"E
C18	67.21	435.88	67.15	N53° 11' 11"E

BOUNDARY CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C18	67.21	435.88	67.15	N53° 11' 11"E
C19	36.03	120.48	35.89	N66° 10' 16"E
C20	21.69	51.98	21.53	N82° 17' 31"E
C21	25.59	93.50	25.51	N86° 24' 24"E
C22	23.75	108.45	23.70	N84° 50' 26"E
C23	19.37	88.45	19.33	S84° 50' 26"W
C24	31.06	113.50	30.96	S86° 24' 24"W
C25	13.34	31.98	13.25	S82° 17' 31"W
C27	30.78	100.48	30.68	S66° 22' 48"W
C39	31.99	167.00	31.94	S87° 34' 27"W
C72	4.00	52.00	4.00	S18° 17' 32"W

BOUNDARY LINE TABLE

LINE #	LENGTH	DIRECTION
L3	1.33	N86° 56' 18"W
L4	27.39	S72° 53' 36"W
L11	2.01	S36° 01' 31"E
L19	24.97	N70° 20' 16"E
L20	20.00	S01° 06' 49"W
L21	39.38	S82° 40' 34"W
L22	25.78	S70° 20' 16"W
L31	8.33	N86° 56' 18"W
L32	18.46	S82° 05' 12"W
L33	55.59	S61° 07' 20"W
L37	10.10	N82° 40' 34"E



SUBDIVISION PLAN

Revisions

Number	Description	Date
1st	CITY OF RALEIGH - REVIEW COMMENTS	6/1/23
2nd	CITY OF RALEIGH - REVIEW COMMENTS	11/02/23
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7th	CITY OF RALEIGH - REVIEW COMMENTS	02/04/25

Drawing Scale 1" = 30'
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 Checked By JAE, JR.
 Date Issued 02/01/2025
CE-3

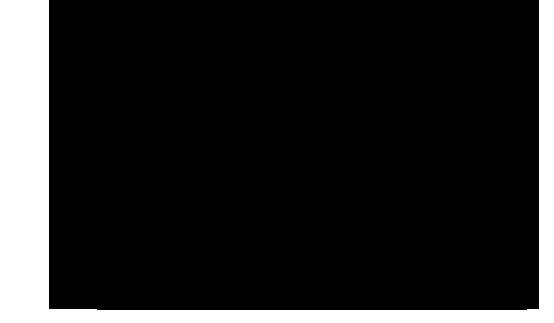


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Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
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Scale:



WATERVIEW VILLAS

WATERVIEW VILLAS INC.
3809 HOLLY LANE
RALEIGH, NC 27612

Client:

WATERVIEW VILLAS INC.
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Legend:

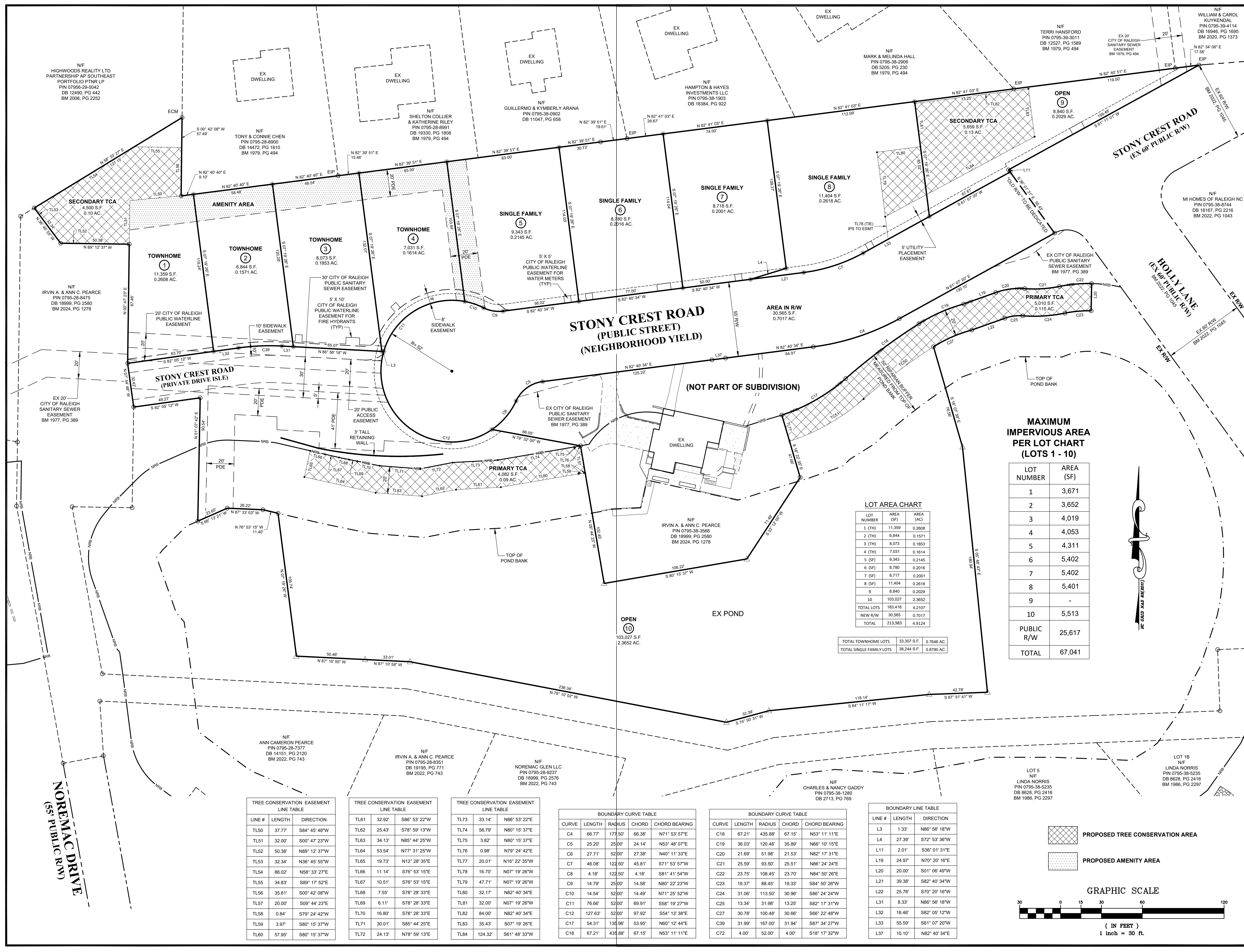
AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IP	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
CAG	CURB AND GUTTER	MB	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL	NF	NOT FORMERLY
CO	SEWER CLEANOUT	PDE	PRIVATE DRAINAGE EASEMENT
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DOVA	DOUBLE CHECK VALVE	RFP	REDUCED PRESSURE ZONE
D1	DUCTILE IRON	RP	REDUCED PRESSURE
DI	DROP INLET	RW	RIGHT-OF-WAY
ELEV	ELEVATION	S.F.	SQUARE FEET
EOP	EDGE OF PAVEMENT	SP	SPACES
ESMT	EASEMENT	SW	SANITARY SEWER
EX	EXISTING	TC	TOP OF CURB
FDC	FIRE DEPARTMENT CONNECTION	TCA	TREE CONSERVATION AREA
FES	FLARED END SECTION	TCP	TERRA COTTA PIPE
FFE	FINISHED FLOOR ELEVATION	TSP	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FIRE LINE	TY	TYPICAL
HB	HANDICAP BOTTOM	WL	WATER LINE
HC	HANDICAP	WM	WATER METER
HT	HANDICAP TOP	WS	WATER SERVICE
		WV	WATER VALVE
		YI	YARD INLET

LOT & EASEMENT MAP

Number	Description	Date
1st	CITY OF RALEIGH - REVIEW COMMENTS	6/1/23
2nd	CITY OF RALEIGH - REVIEW COMMENTS	11/02/23
3rd	CITY OF RALEIGH - REVIEW COMMENTS	01/26/24
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6th	CITY OF RALEIGH - REVIEW COMMENTS	11/15/24
7th	CITY OF RALEIGH - REVIEW COMMENTS	02/04/25

Drawing Scale: 1" = 30'
Drawn By: BF
Checked By: JAE, JR.
Date Issued: 02/01/2025

CE-3A



MAXIMUM IMPERVIOUS AREA PER LOT CHART (LOTS 1 - 10)

LOT NUMBER	AREA (SF)
1	3,671
2	3,652
3	4,019
4	4,053
5	4,311
6	5,402
7	5,402
8	5,401
9	-
10	5,513
PUBLIC R/W	25,617
TOTAL	67,041

LOT AREA CHART

LOT NUMBER	AREA (SF)	AREA (AC)
1 (TH)	11,359	0.2608
2 (TH)	6,844	0.1571
3 (TH)	8,073	0.1853
4 (TH)	7,031	0.1614
5 (SF)	9,343	0.2145
6 (SF)	8,780	0.2016
7 (SF)	8,717	0.2001
8 (SF)	11,404	0.2616
9	8,840	0.2029
10	103,027	2.3652
TOTAL LOTS	183,418	4.2107
NEW R/W	30,565	0.7017
TOTAL	213,983	4.9124

TOTAL TOWNHOME LOTS	33,307 S.F.	0.7646 AC.
TOTAL SINGLE FAMILY LOTS	38,244 S.F.	0.8780 AC.

TREE CONSERVATION EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
TL50	37.77'	S84° 45' 48"W
TL51	32.00'	S00° 47' 23"W
TL52	50.38'	N89° 12' 37"W
TL53	32.34'	N36° 45' 55"W
TL54	86.02'	N58° 33' 27"E
TL55	34.83'	S89° 17' 52"E
TL56	35.61'	S00° 42' 08"W
TL57	20.00'	S09° 44' 23"E
TL58	0.84'	S79° 24' 42"W
TL59	3.97'	S80° 15' 37"W
TL60	57.95'	S80° 15' 37"W

TREE CONSERVATION EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
TL61	32.92'	S86° 53' 22"W
TL62	25.43'	S78° 59' 13"W
TL63	34.13'	N85° 44' 25"W
TL64	53.54'	N77° 31' 25"W
TL65	19.73'	N12° 28' 35"E
TL66	11.14'	S76° 53' 15"E
TL67	10.51'	S76° 53' 15"E
TL68	7.55'	S78° 28' 33"E
TL69	6.11'	S78° 28' 33"E
TL70	16.80'	S78° 28' 33"E
TL71	30.01'	S85° 44' 25"E
TL72	24.13'	N78° 59' 13"E

TREE CONSERVATION EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
TL73	33.14'	N86° 53' 22"E
TL74	56.79'	N80° 15' 37"E
TL75	3.82'	N80° 15' 37"E
TL76	0.98'	N79° 24' 42"E
TL77	20.01'	N16° 22' 35"W
TL78	16.70'	N07° 19' 26"W
TL79	47.71'	N07° 19' 26"W
TL80	32.17'	N82° 40' 34"E
TL81	32.00'	N07° 19' 26"W
TL82	84.00'	N82° 40' 34"E
TL83	35.43'	S07° 19' 26"E
TL84	124.32'	S61° 48' 33"W

BOUNDARY CURVE TABLE

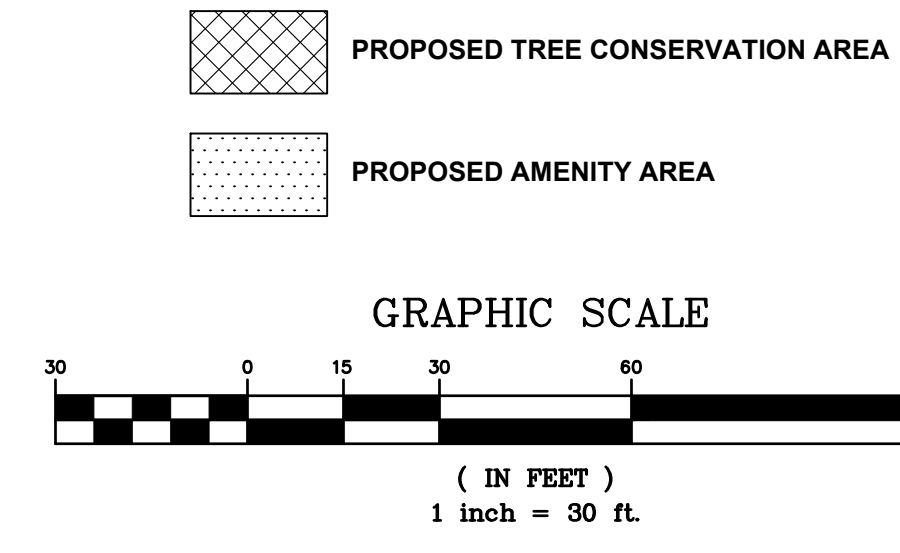
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C4	66.77'	177.50'	66.38'	N71° 53' 57"E
C5	25.20'	25.00'	24.14'	N53° 48' 07"E
C6	27.71'	52.00'	27.38'	N40° 11' 33"E
C7	46.08'	122.50'	45.81'	S71° 53' 57"W
C8	4.18'	122.50'	4.18'	S81° 41' 54"W
C9	14.79'	25.00'	14.58'	N80° 22' 23"W
C10	14.54'	52.00'	14.49'	N71° 25' 52"W
C11	76.66'	52.00'	69.91'	S58° 19' 27"W
C12	127.63'	52.00'	97.92'	S54° 13' 38"E
C17	54.31'	135.96'	53.95'	N60° 12' 44"E
C18	67.21'	438.88'	67.15'	N53° 11' 11"E

BOUNDARY CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C18	67.21'	438.88'	67.15'	N53° 11' 11"E
C19	36.03'	120.48'	35.89'	N66° 10' 15"E
C20	21.69'	51.98'	21.53'	N82° 17' 31"E
C21	25.59'	93.50'	25.51'	N86° 24' 24"E
C22	23.75'	108.45'	23.70'	N84° 50' 26"E
C23	19.37'	88.45'	19.33'	S84° 50' 26"W
C24	31.06'	113.50'	30.96'	S86° 24' 24"W
C25	13.34'	31.98'	13.25'	S82° 17' 31"W
C27	30.78'	100.48'	30.66'	S86° 22' 48"W
C39	31.99'	167.00'	31.94'	S87° 34' 27"W
C72	4.00'	52.00'	4.00'	S18° 17' 32"W

BOUNDARY LINE TABLE

LINE #	LENGTH	DIRECTION
L3	1.33'	N86° 56' 18"W
L4	27.39'	S72° 53' 36"W
L11	2.01'	S36° 01' 31"E
L19	24.97'	N70° 20' 16"E
L20	20.00'	S01° 06' 49"W
L21	39.38'	S82° 40' 34"W
L22	25.78'	S70° 20' 16"W
L31	8.33'	N86° 56' 18"W
L32	18.46'	S82° 05' 12"W
L33	55.59'	S61° 07' 20"W
L37	10.10'	N82° 40' 34"E



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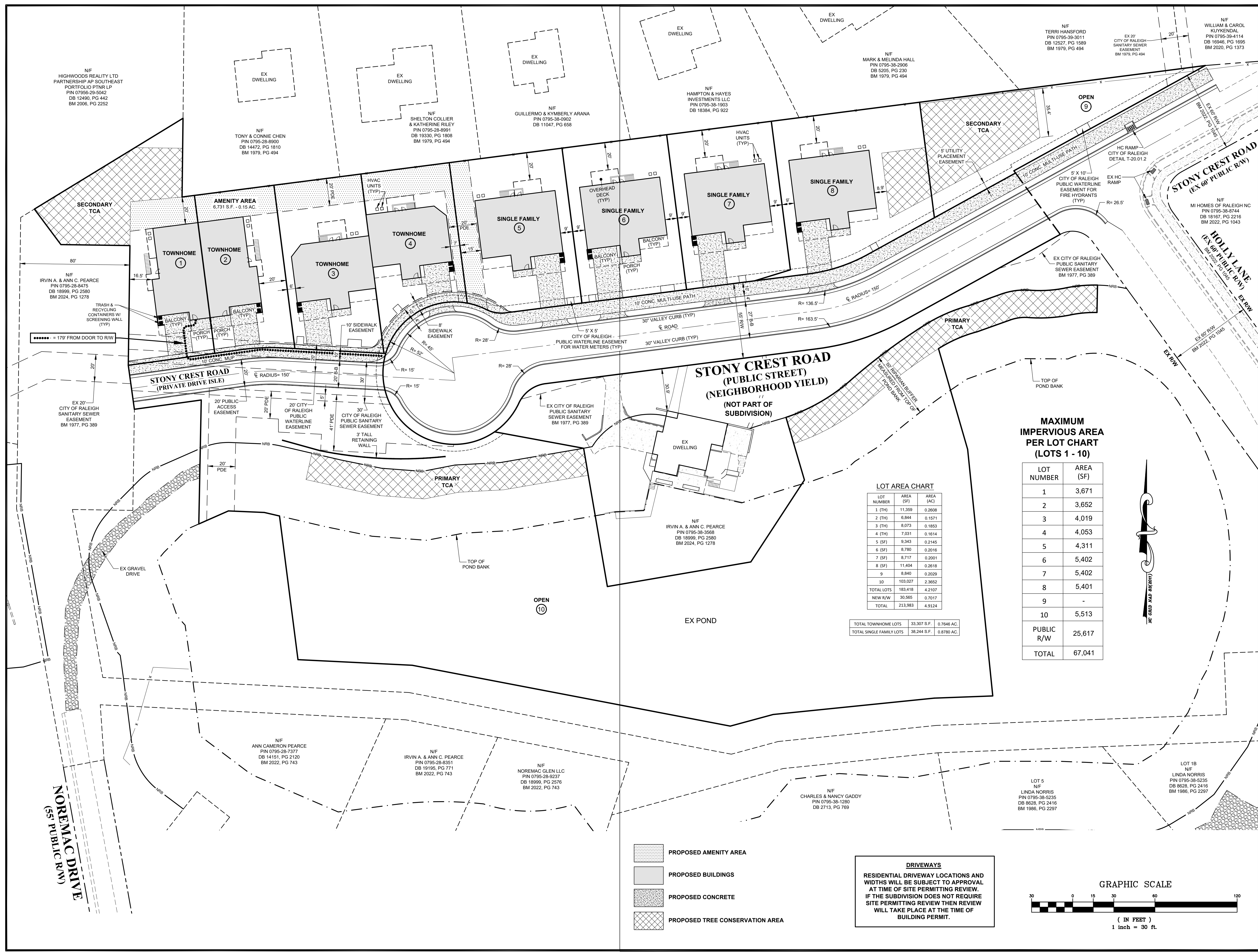
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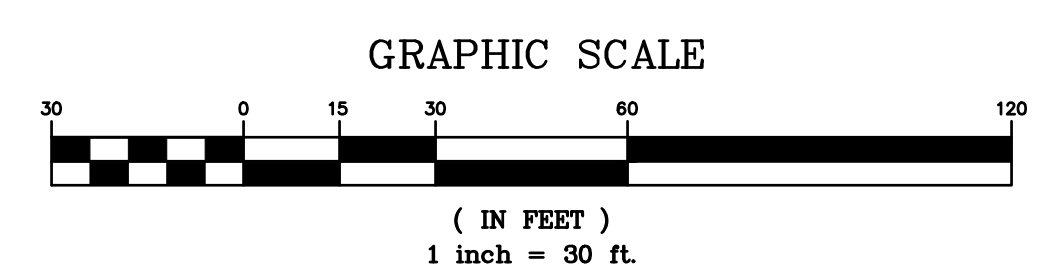
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- PROPOSED AMENITY AREA
- PROPOSED BUILDINGS
- PROPOSED CONCRETE
- PROPOSED TREE CONSERVATION AREA

DRIVEWAYS
RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT.



SITE PLAN

Number	Description	Date
1st	CITY OF RALEIGH - REVIEW COMMENTS	6/1/23
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Drawing Scale 1" = 30'

Drawn By BF

Checked By JAE, JR.

Date Issued 02/01/2025

CE-4

of



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Project

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DI	DROP INLET	RS	REDUCED PRESSURE ZONE
EIP	EXISTING IRON PIPE	RW	RIGHT-OF-WAY
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HT	HANDICAP TOP	WV	WATER VALVE
		YI	YARD INLET
			EX POWER POLE
			NEW WATER VALVE
			NEW WATER REDUCER
			NEW FIRE HYDRANT
			NEW WATER METER
			NEW SEWER MANHOLE
			NEW SEWER CLEANOUT
			NEW STORM CATCH BASIN
			NEW STORM DROP INLET
			NEW STORM END SECTION
			NEW FLARED END SECTION
			IRON PIPE SET
			PROPERTY LINE
			RIGHT-OF-WAY LINE
			LOT LINE
			EASEMENT LINE
			EXISTING WATER LINE
			EXISTING SANITARY SEWER
			EXISTING STORM DRAINAGE
			NEW WATER LINE
			NEW SANITARY SEWER
			NEW STORM DRAINAGE
			EXISTING CONTOUR LINE
			NEW CONTOUR LINE
			TOP OF POND BANK
			FLOODWAY
			NEUSE RIVER BUFFER
			CENTERLINE OF CREEK
			EXISTING OVERHEAD POWER
			EXISTING FENCE LINE
			NEW TREE PROTECTION FENCE

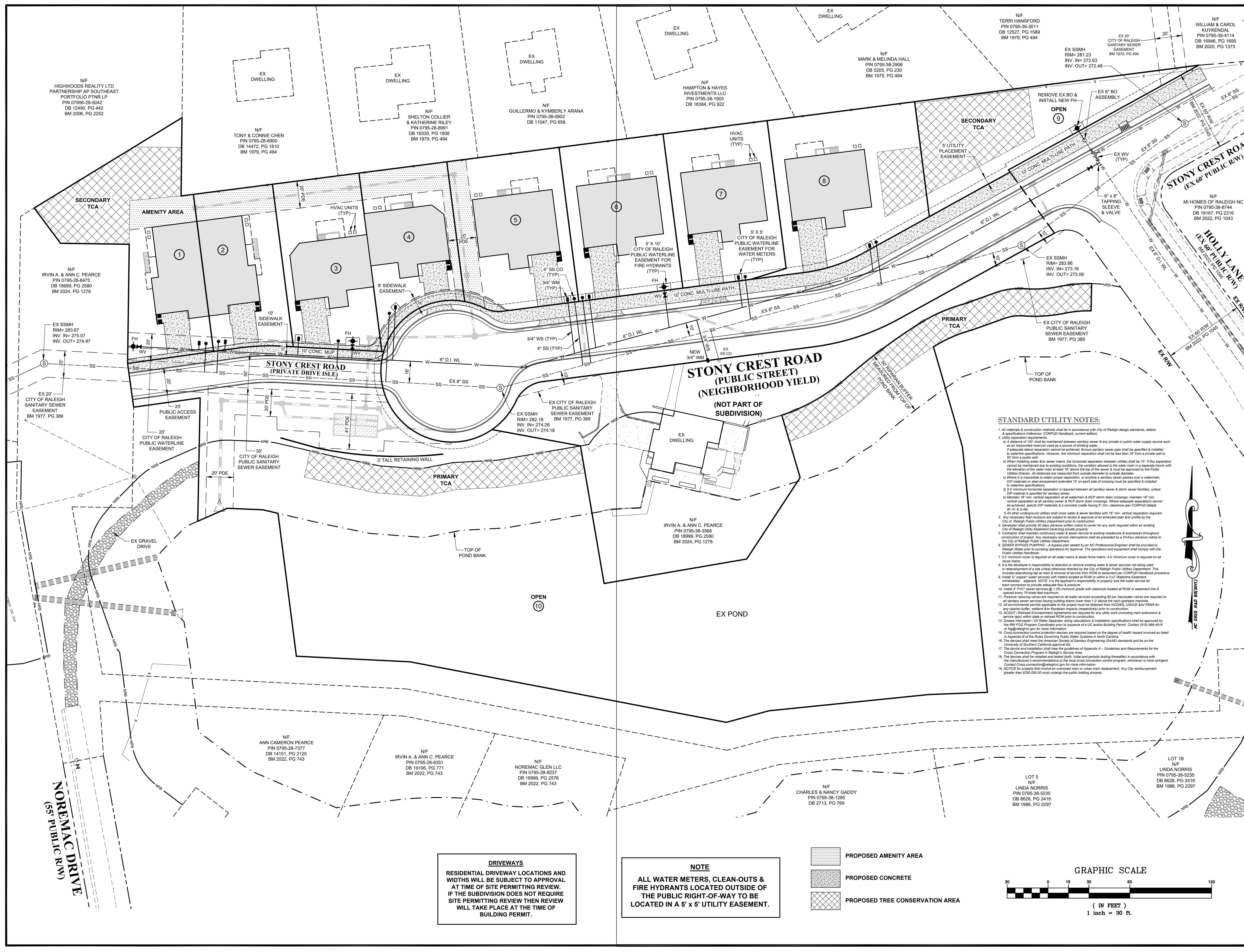
UTILITY PLAN

Revisions

Number	Description	Date
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CE-5

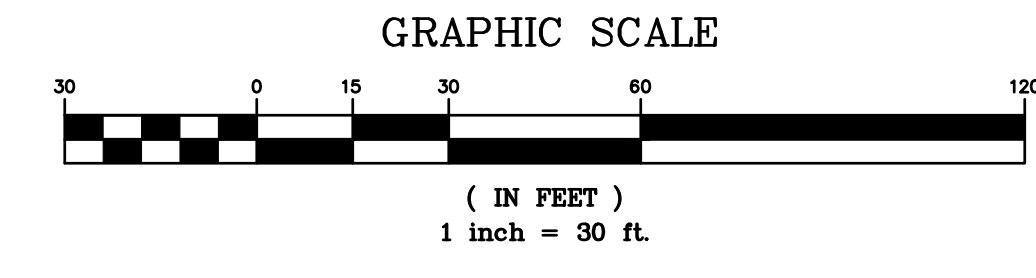
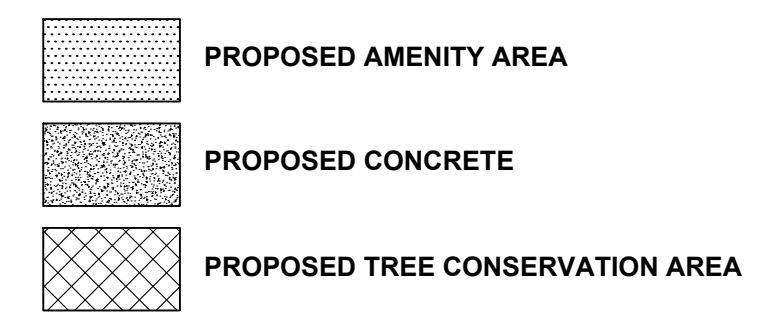


STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPLD Handbook, current edition).
- Utility separation requirements:
 - a) A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water.
 - b) If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed in accordance with specifications. However, the minimum separation between utilities shall be 10' from a private well or 50' from a public well.
 - c) When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the elevation of this water main at least 12" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - d) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 12" on each side of crossing must be specified & installed to waterline specifications.
 - e) 5' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP materials is specified for sanitary sewer.
 - f) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings, maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & concrete encasement having 8" min. clearance per CORPLD details W-41 & S-49.
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER SPASS PLUMBING - A spass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all water mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used or re-equipment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandonment of all water & sewer services located at ROW or within a 2'-2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer service (S) 12" minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the rear upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDM, USACE & FEMA for any riparian buffer, wetland & floodplain impacts (respectively) prior to construction.
- NC027 (Rainfall Erosion Control) requirements are required for any utility work involving main extensions & service lines within state or railroad ROW prior to construction.
- Create Interceptor / Oil Water Separator using calculations & installation specifications shall be approved by the RWFG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 998-4916 or rwfg@raleigh.gov for more information.
- Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
- The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approved list.
- The devices and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Water Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact crossconnection@raleigh.gov for more information.
- NOTICE for projects that involve an oversized main or urban main replacement: Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

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NOTE
ALL WATER METERS, CLEAN-OUTS & FIRE HYDRANTS LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY TO BE LOCATED IN A 5' x 5' UTILITY EASEMENT.



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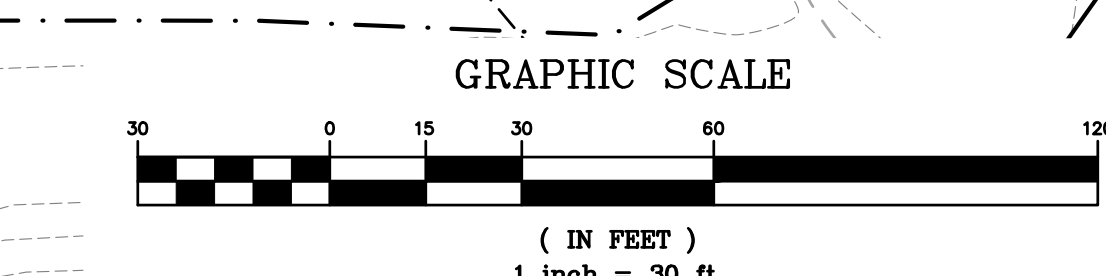
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EX	EX. FIRE HYDRANT	EX	EX. NEW WATER REDUCER
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EX	EX. SEWER MANHOLE	EX	EX. NEW WATER METER
EX	EX. SEWER CLEANOUT	EX	EX. NEW SEWER MANHOLE
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EX	EX. STORM DROP INLET	EX	EX. NEW STORM CATCH BASIN
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EX	EX. PROPERTY LINE	EX	EX. RIGHT-OF-WAY LINE
EX	EX. LOT LINE	EX	EX. EASEMENT LINE
EX	EX. EXISTING WATER LINE	EX	EX. EXISTING SANITARY SEWER
EX	EX. EXISTING STORM DRAINAGE	EX	EX. EXISTING STORM DRAINAGE
EX	EX. NEW WATER LINE	EX	EX. NEW WATER LINE
EX	EX. NEW SANITARY SEWER	EX	EX. NEW SANITARY SEWER
EX	EX. NEW STORM DRAINAGE	EX	EX. NEW STORM DRAINAGE
EX	EX. EXISTING CONTOUR LINE	EX	EX. NEW CONTOUR LINE
EX	EX. TOP OF POND BANK	EX	EX. FLOODWAY
EX	EX. NEUSE RIVER BUFFER	EX	EX. CENTERLINE OF CREEK
EX	EX. EXISTING OVERHEAD POWER	EX	EX. EXISTING FENCE LINE
EX	EX. NEW TREE PROTECTION FENCING		

MAXIMUM IMPERVIOUS AREA PER LOT CHART (LOTS 1 - 10)

LOT NUMBER	AREA (SF)
1	3,671
2	3,652
3	4,019
4	4,053
5	4,311
6	5,402
7	5,402
8	5,401
9	-
10	5,513
PUBLIC R/W	25,617
TOTAL	67,041

- PROPOSED AMENITY AREA
- PROPOSED CONCRETE
- PROPOSED TREE CONSERVATION AREA
- PROPOSED SAND FILTER

DRIVEWAYS
RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT.

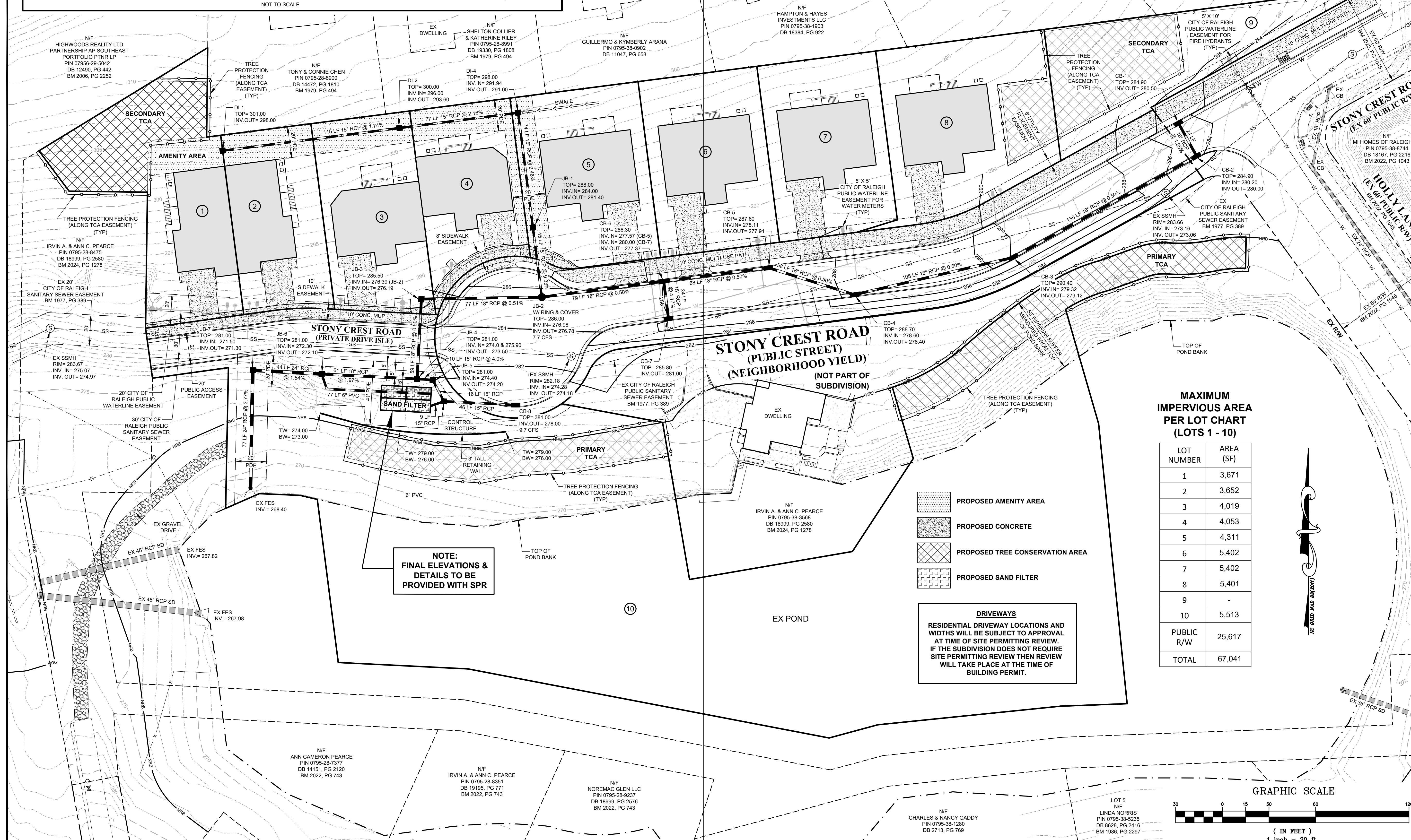
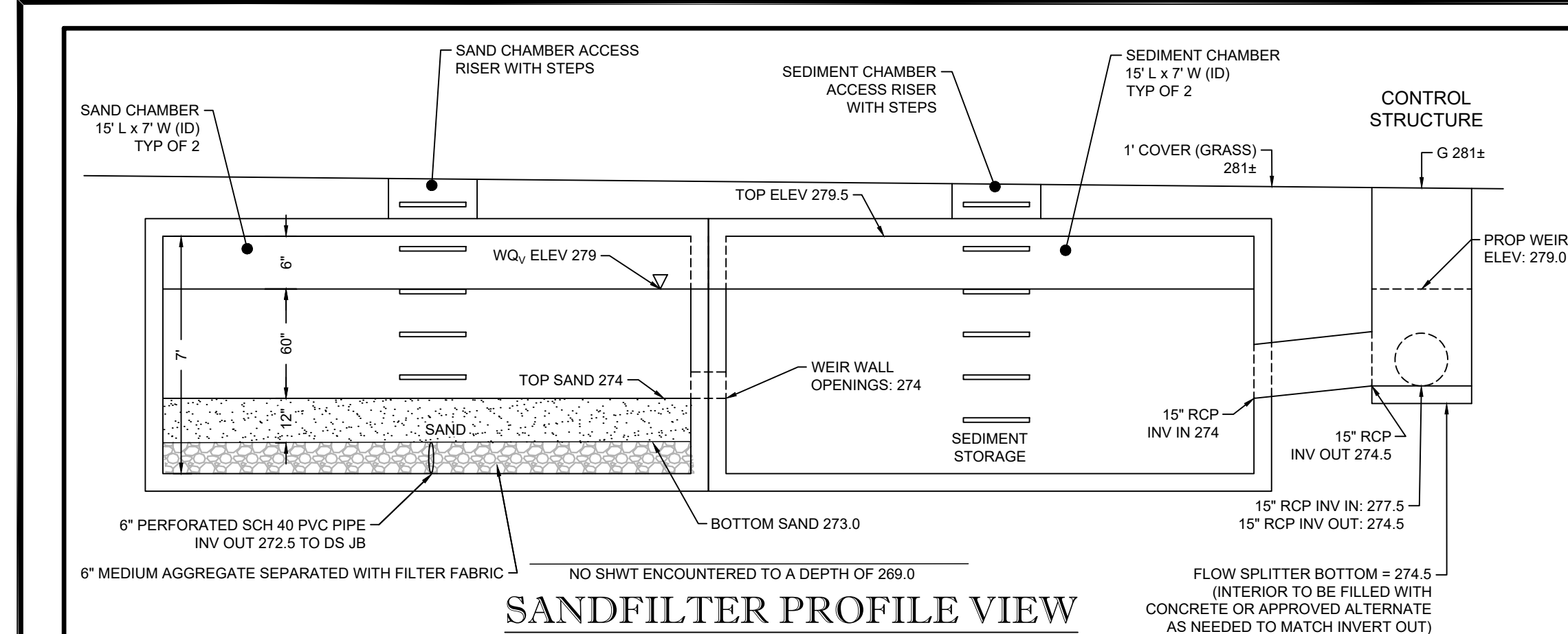


GRADING / STORMWATER MANAGEMENT PLAN

Revisions

Number	Description	Date
1st	CITY OF RALEIGH - REVIEW COMMENTS	6/1/23
2nd	CITY OF RALEIGH - REVIEW COMMENTS	11/02/23
3rd	CITY OF RALEIGH - REVIEW COMMENTS	01/26/24
4th	CITY OF RALEIGH - REVIEW COMMENTS	08/21/24
5th	CITY OF RALEIGH - REVIEW COMMENTS	10/15/24
6th	CITY OF RALEIGH - REVIEW COMMENTS	11/15/24
7th	CITY OF RALEIGH - REVIEW COMMENTS	02/04/25

Drawing Scale 1" = 30'
Drawn By BF
Checked By JAE, JR.
Date Issued 02/01/2023



NOTE:
FINAL ELEVATIONS & DETAILS TO BE PROVIDED WITH SPR

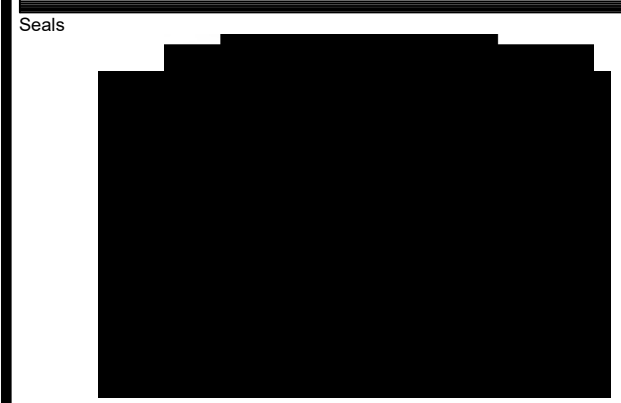
X:\Projects\Irr\Irr\345\Waterview (02)1 - Preliminary\AAA-Civil Base - Prelim Subdivision.dwg, 2/4/2025 7:02:17 AM



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com



Project
WATERVIEW VILLAS

Client
WATERVIEW VILLAS INC.
3809 HOLLY LANE
RALEIGH, NC 27612

LEGEND

AC	ACREAGE	HW	HEADWALL
AM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
C&G	CURB AND GUTTER	MB	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL	NF	NOT FORMERLY
CO	SEWER CLEANOUT	PDE	PRIVATE DRAINAGE EASEMENT
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
DB	DEED BOOK	PC	PAGE
DOVA	DOUBLE CHECK VALVE	PCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON	RP	REDUCED PRESSURE
DI	DROP INLET	RPA	REINFORCED CONCRETE PIPE
EIP	EXISTING IRON PIPE	RZ	REDUCED PRESSURE ZONE
ELEV	ELEVATION	RW	RIGHT-OF-WAY
EOP	EDGE OF PAVEMENT	S.F.	SQUARE FEET
ESMT	EASEMENT	SP	SPACES
EX	EXISTING	SS	SANITARY SEWER
EX	EXISTING	SW	SEWER
FDC	FIRE DEPARTMENT CONNECTION	TC	TERRA COTTA PIPE
FES	FLARED END SECTION	TCP	TERRA COTTA PIPE
FFE	FINISHED FLOOR ELEVATION	TSP	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TP	TOP OF POND BANK
FL	FIRE LINE	TY	TYPICAL
HB	HANDICAP BOTTOM	WL	WATER LINE
HC	HANDICAP	WM	WATER METER
HT	HANDICAP TOP	WS	WATER SERVICE
		WV	WATER VALVE
		YI	YARD INLET

From: Staley, Marion <Marion.Staley@raleighnc.gov>
Sent: Tuesday, May 16, 2023 2:31 PM
To: Johnny Edwards <johnny@jaeco.com>; SWS Code Compliance DL <SWSCodeCompliance@raleighnc.gov>
Cc: Caines, Jeff <jef.caines@raleighnc.gov>
Subject: RE: 333 wade SUB-0013-2023 - SWS Approval 5.16.2023

Hello Johnny,

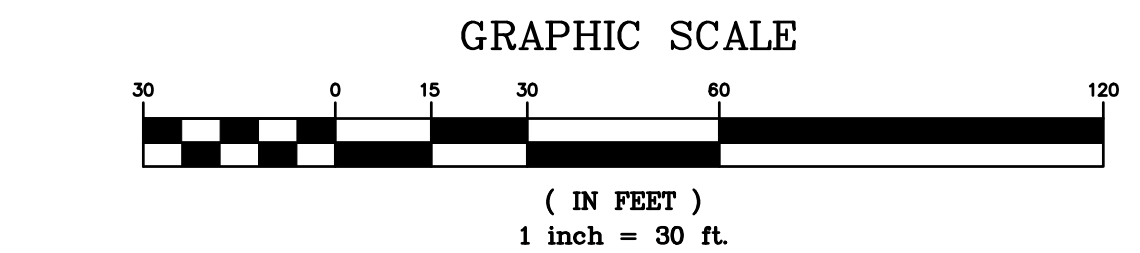
The solid waste collection plan for this development is approved to receive City of Raleigh Solid Waste garbage and recycling services. Thank you for your patience. Be sure updated plan with drawing of storage locations are in the plans. Add notes to go along with the drawing just in case other reviewers have questions. The notes can be placed on the cover and then indicate what page the drawing can be found on.

Kind Regards,
Marion

Marion O. Staley
Code Compliance Supervisor
Code Compliance Division
City of Raleigh - Solid Waste Services
919-995-6940 - Office
919-219-5437 - Cell
919-212-4290 - Fax

DRIVEWAYS
RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT.

- PROPOSED BUILDINGS
- PROPOSED CONCRETE
- PROPOSED TREE CONSERVATION AREA

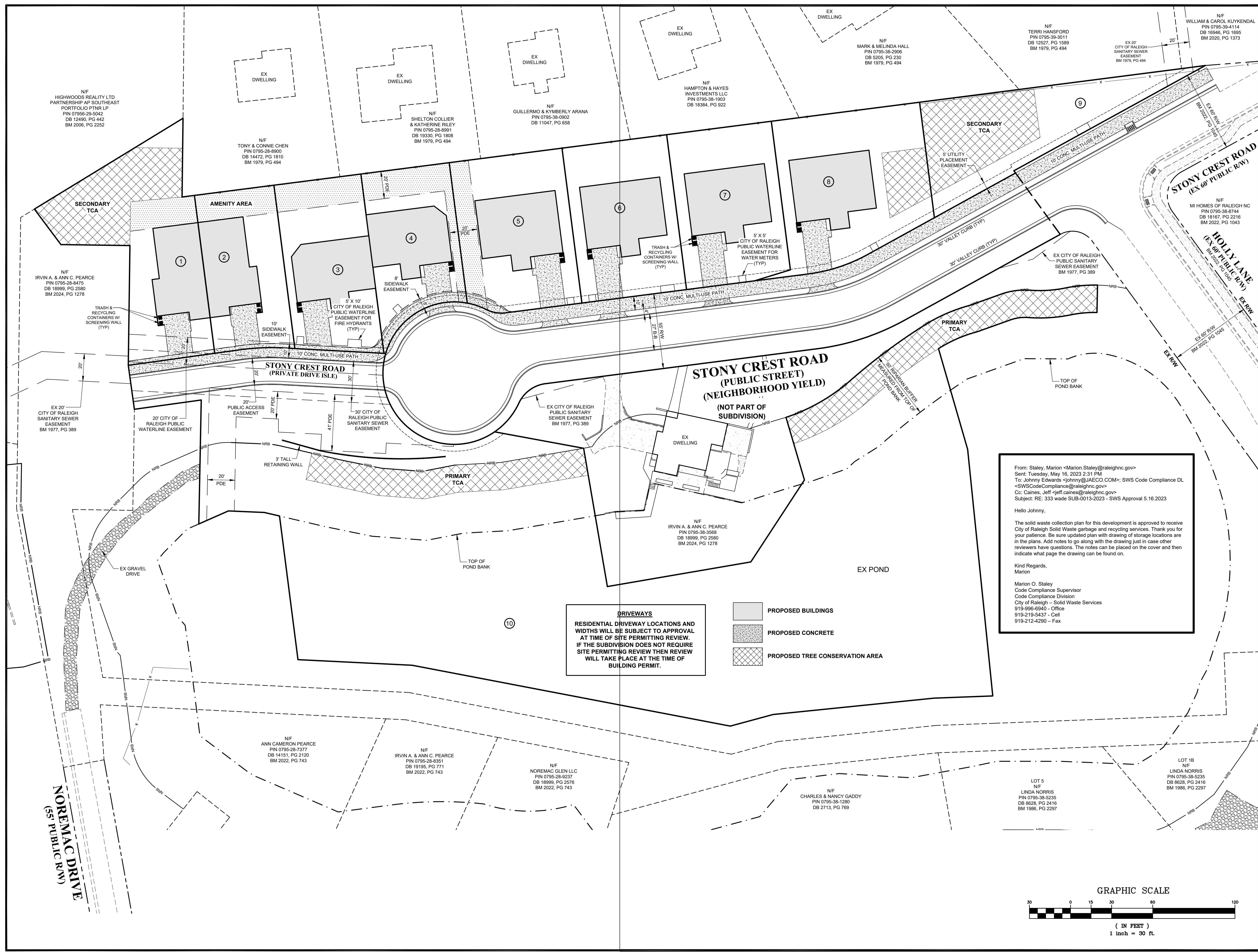


SOLID WASTE SERVICES PLAN

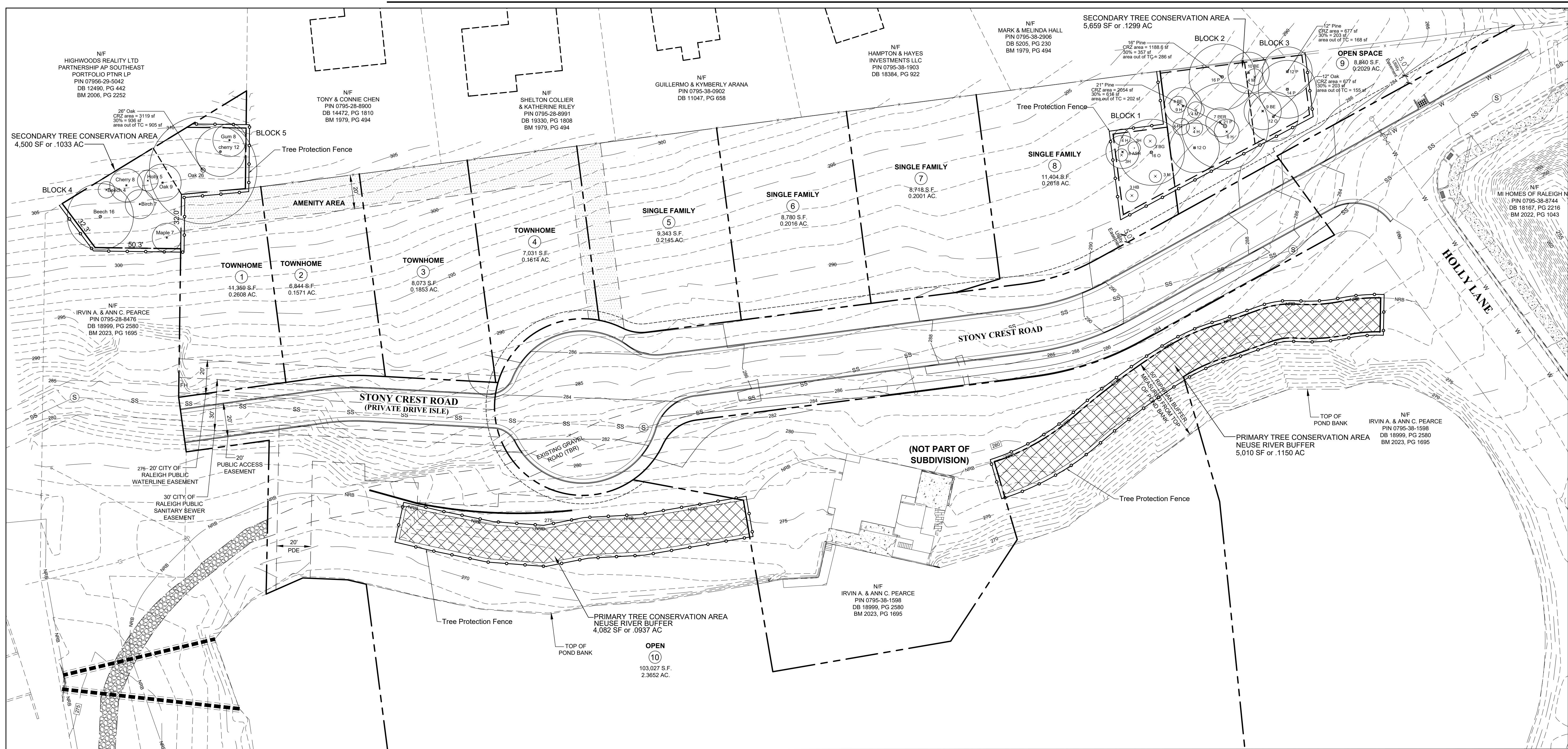
Number	Description	Date
1st	CITY OF RALEIGH - REVIEW COMMENTS	6/1/23
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Drawing Scale 1" = 30'
Drawn By BF
Checked By JAE, JR.
Date Issued 02/01/2023

CE-7
of



X:\Projects\Ivy Pearce (345)\Waterview (02)1 - Preliminary\AAA-Civil\Base - Prelim\Subdivision.dwg, 2/4/2025 7:03:40 AM



BLOCK 1
COMPOSITION: STAND OF 8+ PINE, OAK AND MIXED HARDWOOD TREES.
HEALTH OF TREE STAND: THE TREES LOCATED IN THIS AREA ARE IN GOOD HEALTH.
CHARACTERISTICS OF TREE STAND: MOSTLY MIXED HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 3"
LARGEST DBH: 16"
TYPICAL DBH: 8"
TYPICAL SPACING: 6'-19"
BASAL AREA CALCULATION / ACRE: 67.69
GENERAL HEALTH: GOOD

BLOCK 3
COMPOSITION: STAND OF 6+ PINE AND MIXED HARDWOOD TREES.
HEALTH OF TREE STAND: THE TREES LOCATED IN THIS AREA ARE IN GOOD HEALTH.
CHARACTERISTICS OF TREE STAND: MOSTLY MIXED HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 14"
TYPICAL DBH: 8"
TYPICAL SPACING: 19"
BASAL AREA CALCULATION / ACRE: 113.56
GENERAL HEALTH: GOOD

BLOCK 5
COMPOSITION: STAND OF 3+ TREES - OAK, CHERRY AND GUM.
HEALTH OF TREE STAND: THE TREES LOCATED IN THIS AREA ARE IN GOOD HEALTH.
CHARACTERISTICS OF TREE STAND: MOSTLY MIXED HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 8"
LARGEST DBH: 26"
TYPICAL DBH: --"
TYPICAL SPACING: 15' - 35'
BASAL AREA CALCULATION / ACRE: 121.44
GENERAL HEALTH: GOOD

BLOCK 2
COMPOSITION: STAND OF 10+ PINE AND MIXED HARDWOOD TREES.
HEALTH OF TREE STAND: THE TREES LOCATED IN THIS AREA ARE IN GOOD HEALTH.
CHARACTERISTICS OF TREE STAND: MOSTLY MIXED HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 21"
TYPICAL DBH: 4" TO 12"
TYPICAL SPACING: 5'-20"
BASAL AREA CALCULATION / ACRE: 87.84
GENERAL HEALTH: GOOD

BLOCK 4
COMPOSITION: STAND OF 7+ CHERRY, BEECH, MAPLE AND OAK.
HEALTH OF TREE STAND: THE TREES LOCATED IN THIS AREA ARE IN GOOD HEALTH.
CHARACTERISTICS OF TREE STAND: MOSTLY MIXED HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 16"
TYPICAL DBH: 8"
TYPICAL SPACING: 15'
BASAL AREA CALCULATION / ACRE: 46.31
GENERAL HEALTH: GOOD

TREE LEGEND
ASH = ASH
BE = BEECH
BG = BLACK GUM
H = HICKORY
HB = AMERICAN HORNBEAM
M = MAPLE
PER = PERSIMMON
SG = SWEET GUM
SW = SOURWOOD
TULP = TULIP
C=CHERRY

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

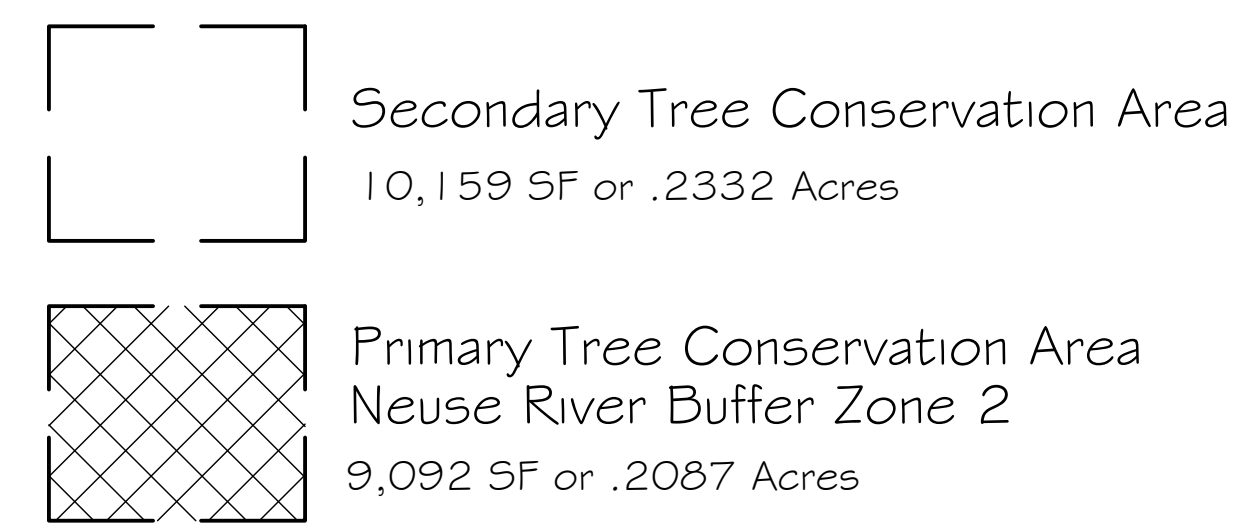
Project Name: WATERVIEW TOWNHOMES

Gross Site Acres:	4.91	ac
Right-of-way to be dedicated with this project:	.70	ac
Net Site Acres:	4.21	ac

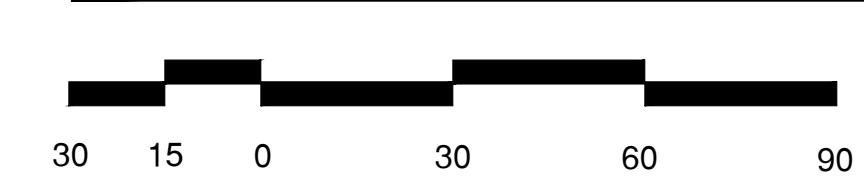
	Number of Acres	Percent of Total
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	ac	%
2. Primary Tree Conservation Area - SHOD 2	ac	%
3. Primary Tree Conservation Area - Parkway Frontage	ac	%
4. Primary Tree Conservation Area - MPOD	ac	%
5. Primary Tree Conservation Area - Champion Tree 'XX' dbh species	ac	%
6. Primary Tree Conservation Area - Neuse River Zone 2	2087	ac 4.9
7. Primary Tree Conservation Area - 45% Slopes	ac	%
8. Primary Tree Conservation Area - Thoroughfare	ac	%
Subtotal of Primary Tree Conservation Areas:	2087	ac 4.9
UDO 9.1.4.D.2 Tree Conservation Area - Greenway	ac	%
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Include perimeter buffers and their alternate compliance areas)	2332	ac 5.5
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (Include individual trees and their alternate compliance areas)	ac	%
Subtotal of Secondary Tree Conservation Areas:	2332	ac 5.5
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	4419	ac 10.4
UDO 9.1.8. Watershed Protection Overlay Districts		
LWPOD - Wooded Area (preserved)	ac	%
LWPOD - Wooded Area (planted)	ac	%
FWPOD - Wooded Area (preserved)	ac	%
FWPOD - Wooded Area (planted)	ac	%
SWPOD - Wooded Area (preserved)	ac	%
SWPOD - Wooded Area (planted)	ac	%

Total Gross Site Acres: 4.91 Acres / 213,983 SF total
ROW Dedication and public street = 30,565 SF / .70 Acres
Total Net Site Acres: 4.21 Acres / 183,418 SF total
x 10% = 18,341.8 SF / .4211 Acres of required Tree Conservation Area
TOTAL Tree Conservation Area provided: 19,251 SF or .4419 Acres

All trees indicated have at least 70% of their critical root zone within the Tree Conservation Area - See notes and calculations for individual trees



TREE CONSERVATION PLAN



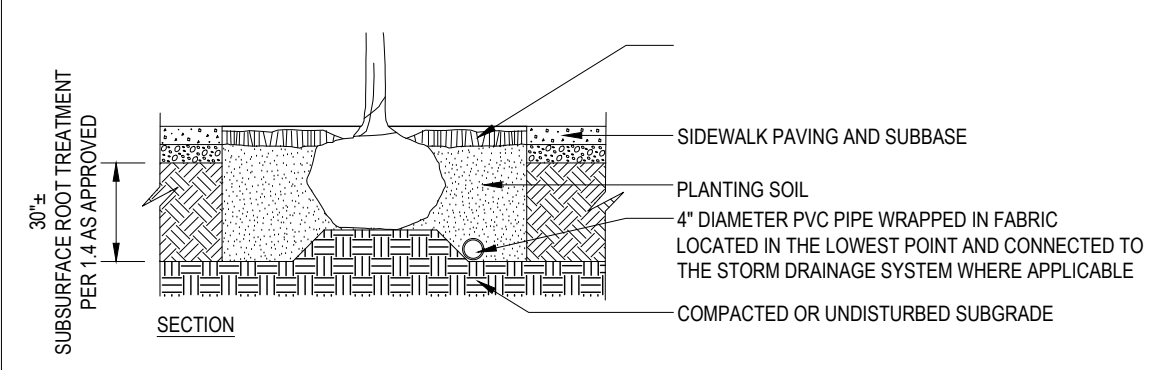
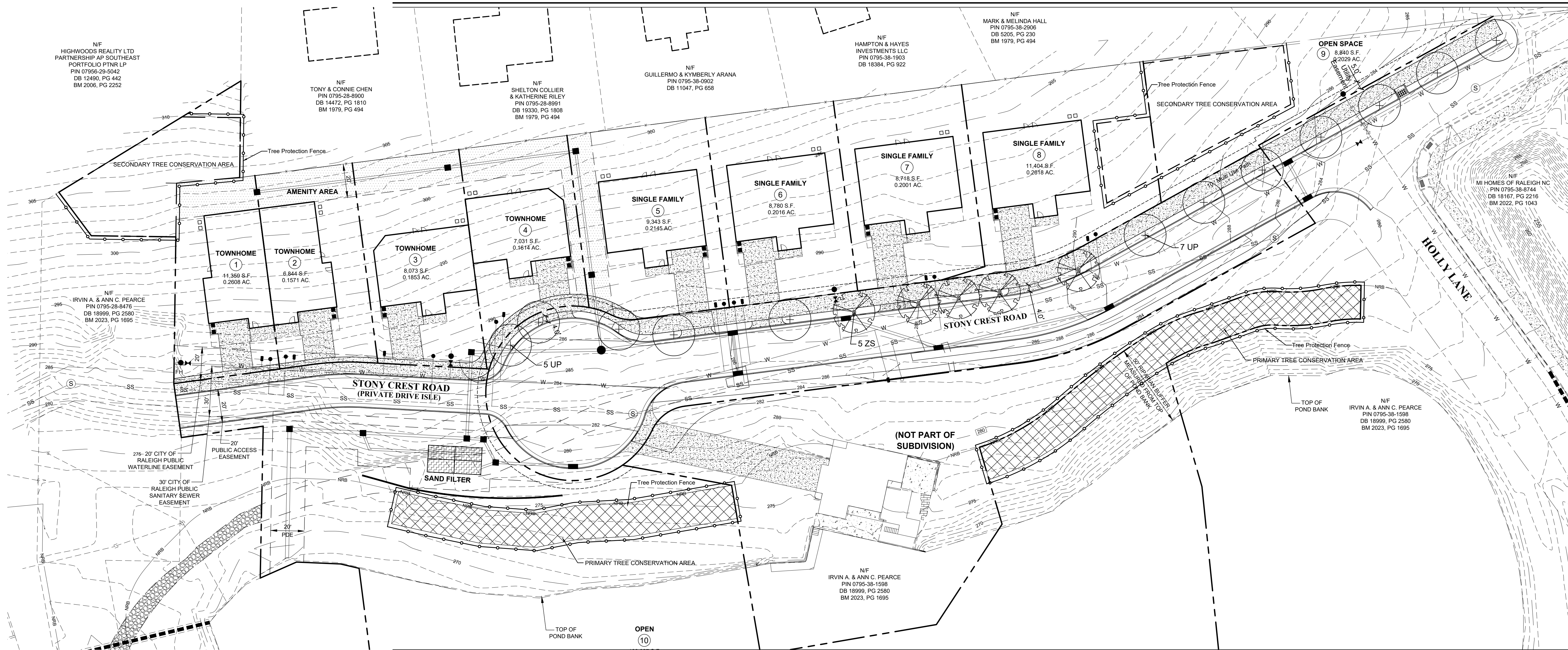
TREE CONSERVATION PLAN

Client

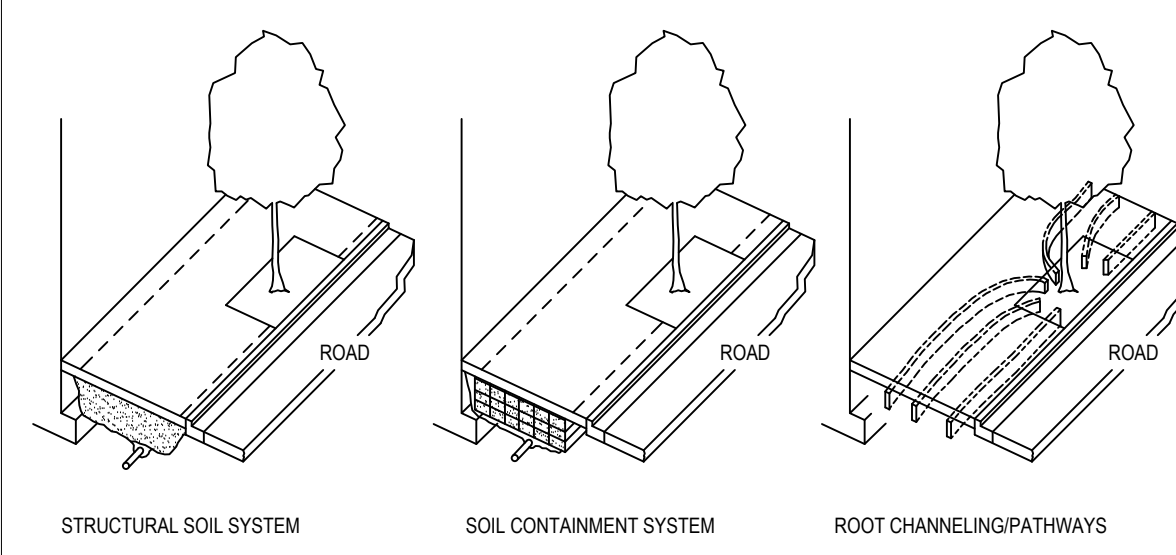
Professional Seals

Date issued:	1.9.23
Scale	1"=30'
Drawn by:	KJS
Checked by:	KJS

Revisions	No.	Description	Date	By
	1	Per Comments	5.25.23	KJS
	2	Per Comments	9.25.23	KJS
	3	Per Comments	12.7.23	KJS
	4	Per Comments	5.7.24	KJS
	5	Per Comments	7.17.24	KJS
	6	Per Comments	1.31.25	KJS



- NOTES:**
 1. A SITE SPECIFIC PLAN MUST BE DEVELOPED TO ENSURE THAT:
 1.1 EACH TREE IS PROVIDED A MIN. ROOT-ACCESSIBLE SOIL VOLUME OF 600 CUBIC FEET.
 1.2 THE TREE ROOT AREA BENEATH THE SIDEWALK IS EXPANDED TO MAXIMIZE ROOT ACCESSIBLE SOIL SPACE UNDER THE PAVEMENT.
 1.3 CONNECT SOIL SPACE FOR ROOT EXPANSION WHERE POSSIBLE TO ALLOW ROOT SYSTEMS OF TREES TO OVERLAP AND COLONIZE A SHARED SOIL SPACE.
 1.4 ANY COMBINATION OF STRUCTURAL SOILS, SOIL CONTAINMENT SYSTEM (e.g., SILVA CELL), OR ROOT CHANNELING (e.g., SOIL STRIP DRAINAGE SYSTEM) THAT PERFORMS AS SPECIFIED IS ACCEPTABLE.
 2. 40' X 6' WIDTH MINIMUM APPLIES TO BOTH STRUCTURAL SOILS AND SUBSURFACE SOIL CONTAINMENT SYSTEMS.
 3. SUBSURFACE APPLICATION SHALL BE REVIEWED AND APPROVED BY CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES URBAN FORESTRY DIVISION PRIOR TO INSTALLATION.

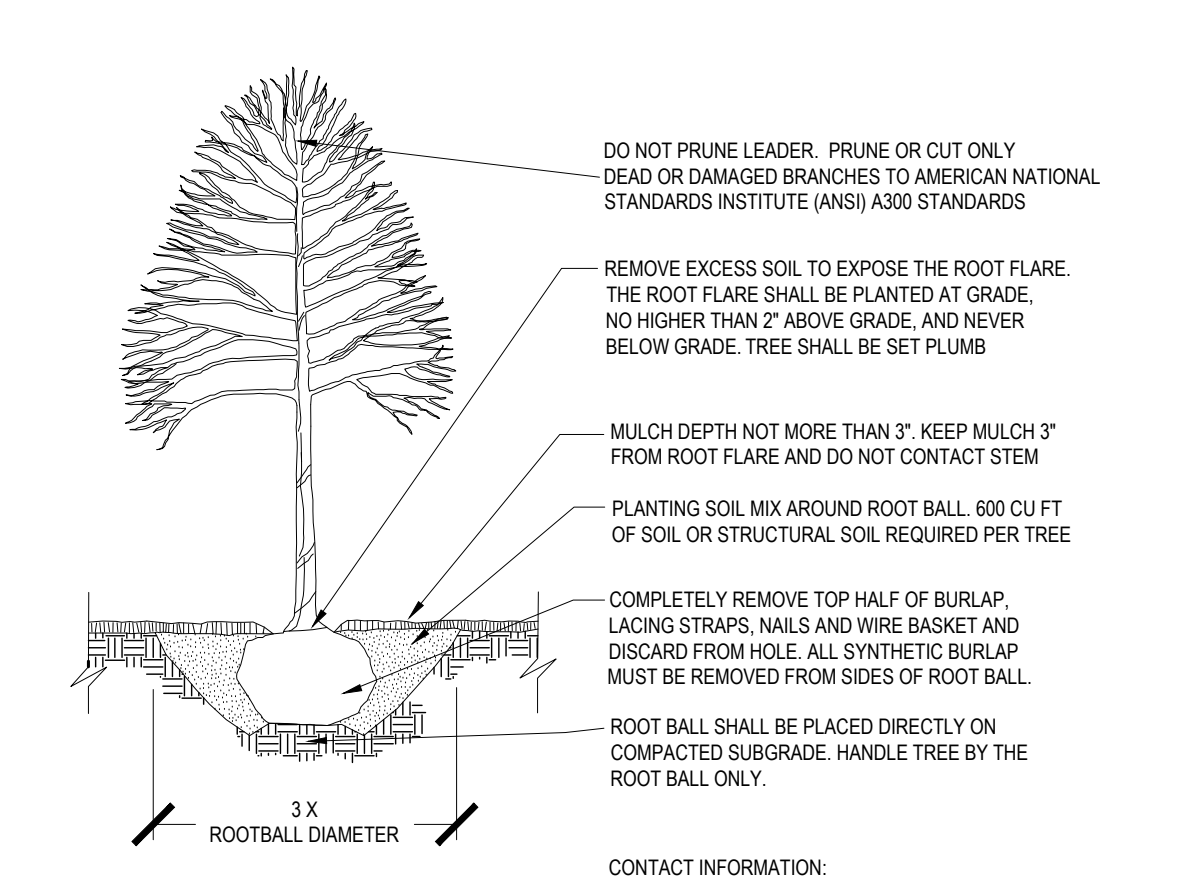


CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

TREE PLANTING IN SIDEWALK WITHIN ROW
TPP-07

CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT
 URBAN FORESTER: TREES@RALEIGHNC.GOV
 WWW.RALEIGHNC.GOV



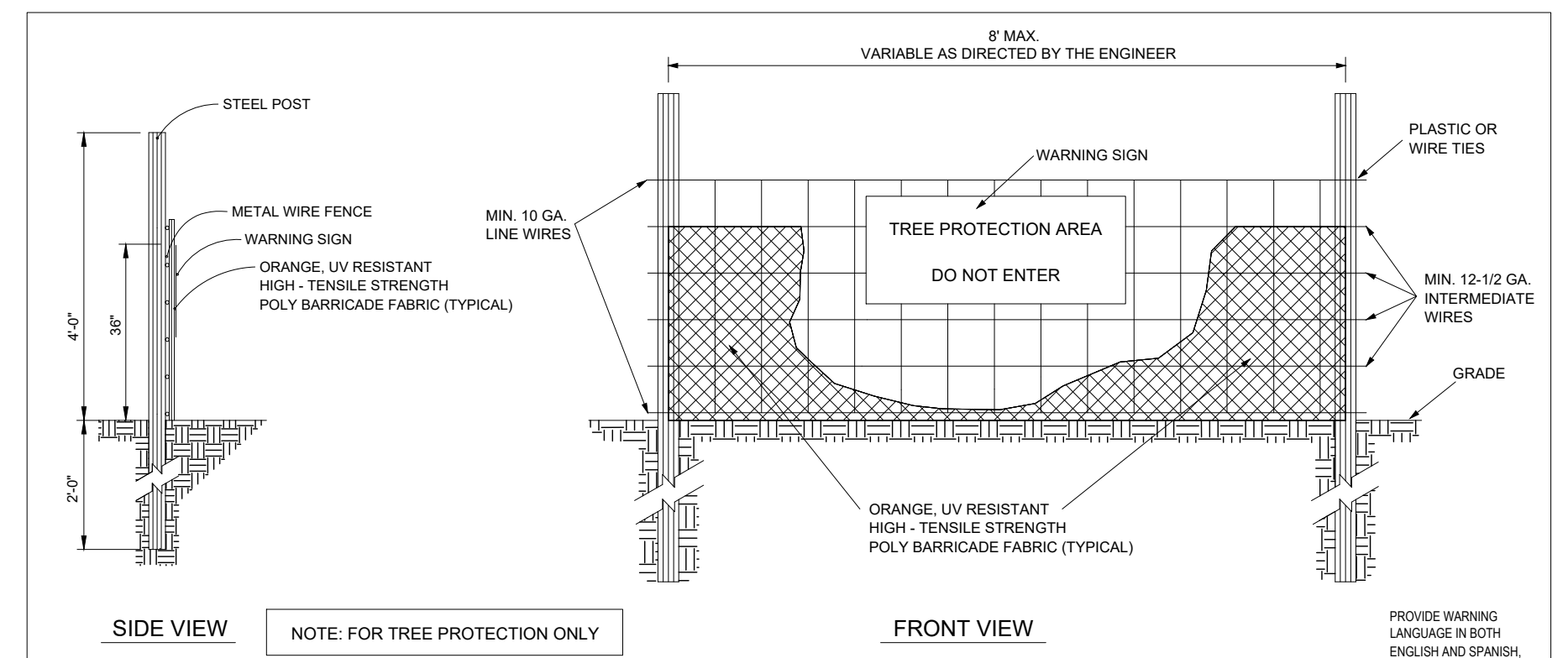
NOTES:
 1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

TREE PLANTING DETAIL
TPP-03

CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
 TREES@RALEIGHNC.GOV
 WWW.RALEIGHNC.GOV



NOTES:
 1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TPP-03 FOR EXAMPLES).
 2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
 3. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
 4. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
 5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
 6. ATTACH SIGNS TO FENCE POSTS AND FABRIC.
 7. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
 8. SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.

CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

STANDARD TREE PROTECTION DETAIL
TPP-01

CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
 TREES@RALEIGHNC.GOV
 WWW.RALEIGHNC.GOV

City of Raleigh Planting Requirements:
 1) STREET TREES:
 STONEY CREST ROAD:
 Required: (1) 3" Caliper tree per 40 LF of street frontage placed in 4' tree lawn.
 665 LF of frontage / 40 = 16.62 trees
 Provided: 17 TREES (UP and ZS)

Street trees shall be installed and maintained in accordance with the requirements of Chapter 2 of the City Tree Manual.
 All street trees are to be planted in accordance with City of Raleigh Standard Detail TPP-03.

PLANT SCHEDULE

QTY.	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING	MATURE HT. / SP.
12	UP	Ulmus parvifolia 'Emer II' / Chinese Elm	3" Cal. / 10' HT.	B + B	as indicated / 40' O.C.	30' / 30'
5	ZS	Zelkova serrata 'Village Green' / Japanese Zelkova	3" Cal. / 10' HT.	B + B	as indicated / 40' O.C.	40' Canopy



2 TREE PLANTING DETAIL
 LA-2 TPP-03

3 TREE PROTECTION FENCE
 LA-2 TPP-01

Client
Professional Seals

Date Issued: 1.9.23
 Scale: 1"=30'
 Drawn by: KJS
 Checked by: KJS

Revisions

No.	Description	Date	By
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