



Administrative Approval Action

Case File / Name: SUB-0012-2024
DSLCL - TOWNES OF HAVEN

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 0.726 acre site is identified as 2918 Haven Road (BM2025 page 0860), and is located north of Poole Road, south of Kidd Road, east of Donald Ross Drive, and west of Diversity Way. The site is zoned R-6, R-10 and RX-4-CU. The lot is also located in a frequent transit area.

REQUEST: The site is currently developed with a detached house and accessory structure (to be demolished) on one lot. The plan proposes a total of 8 lots with 7 townhouse lots and 1 open lot. Each townhouse lot is 1,458 square feet and new common area lot 8 will be approximately 21,400 square feet or 0.491 acres. This is a conventional subdivision.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** FIL-0497-2024: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 28, 2025 by CMS ENGINEERING PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Plan shall show compliance with the Solid Waste Services Design Manual and the UDO (Section 7.2.5.C), receive approval from the City's Solid Waste Services, and if applicable, provide a will serve letter from third party provider.
2. Permits for any proposed retaining walls shall be issued prior to SPR approval. Retaining walls less than 5 feet in height will be issued zoning permits and retaining walls 5 feet or greater will be issued building permits.
3. A miscellaneous zoning permit shall be issued for any other site-related features including lighting or landscaping, etc.
4. Remove the extra zero in "Total Area in Common Area Lot" for 21,400 SF in the Subdivision Notes box on Sheet PS 3.

Stormwater



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5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
-------------------------------------	--

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Provide documentation indicating a Property Owner's Association has been established for the subject development.
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

3. A fee-in-lieu for road widening and sidewalk along Haven Road is paid to the City of Raleigh (UDO 8.1.10).
4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

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5. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

7. A public infrastructure surety for (3) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
2. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes (3) street trees along Haven Rd.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary



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subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: October 1, 2028
Record at least ½ of the land area approved.

5-Year Sunset Date: October 1, 2030
Record entire subdivision.

I hereby certify this administrative decision.

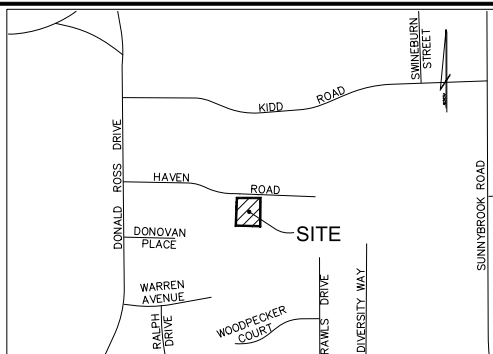
Signed: Keegan.McDonald@raleighnc.gov Digitally signed by Keegan.McDonald@raleighnc.gov
DN: E=Keegan.McDonald@raleighnc.gov, CN=Keegan.McDonald@raleighnc.gov
Reason: I am approving this document
Date: 2025.10.01 08:32:55-04'00' **Date:** 10/01/2025

Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

Townes of Haven

Preliminary Subdivision

SUB-0012-2024



VICINITY MAP
SCALE: 1"=400'

INDEX

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Development ID: MP0011-ADD-ABC-001-001-001-001

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center - One Commerce Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2000

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document.

DEVELOPMENT OPTIONS (UDO Chapter 2)

☒ Conventional Subdivision ☐ Compact Development ☐ Conservation Development

☐ Cottage Court ☐ Flag lot ☐ Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Subdivision/plan case number(s):

Development name (subject to approval): Townes of Haven

Property Address(es): 2918 Haven Road

Recorded Deed (PUD): 1723-17-9648

Building type(s): ☐ Detached House ☐ Attached House ☒ Townhouse ☐ Apartment

☐ General Building ☐ Mixed Use Building ☐ Civic Building ☐ Open Lot ☐ Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Name(s): Nathan Becker

Company: Southern Purchasing Group, LLC Title: Manager

Address: P.O. Box 37086, Raleigh, NC 27627

Phone #: (919) 807-4403 Email: nathan@bigrealty.com

Applicant Name (if different from owner, see "who can apply" in instructions):

Relationship to owner: ☐ Lessee or contract purchaser ☐ Owner's authorized agent ☐ Assessor's holder

Company: Southern Purchasing Group, LLC Address: P.O. Box 37086, Raleigh, NC 27627

Phone #: (919) 807-4403 Email: nathan@bigrealty.com

NOTE: Please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Name(s): Patricia Hildreth

Company: CMS Engineering PLLC Title: Manager

Address: 9320 St. John's Church Road, Zebulon, NC 27597

Phone #: (919) 210-5899 Email: pat@cmsengr@gmail.com

Revision 04/20/20
raleighnc.gov

Development ID: MP0011-ADD-ABC-001-001-001-001

DEVELOPMENT TYPE - SITE DATA TABLE - ZONING INFORMATION

Gross site acreage: 0.726 ac/31,606 sf

Zoning districts (if more than one, provide acreage of each):

R-6: 0.461 ac; R-10: 0.221 ac; RX-4-CU: 0.044 ac

Overlay district(s): N/A Inland City Limits? ☒ Yes ☐ No Historic District/Landmark: N/A ☒ Design Alternative Case # DA: N/A

Conditional Use District (CUD): Board of Adjustment Case # BOA: N/A

STORMWATER INFORMATION

Impervious Area on Parcel(s): Existing (sf) 15,283 Proposed total (sf) 15,283

Impervious Area for Compliance (includes right-of-way): Existing (sf) 2,485 Proposed total (sf) 15,705

NUMBER OF LOTS AND DENSITY

of Detached House Lots: N/A # of Attached House Lots: N/A # of Townhouse Lots: 7

of Tiny House Lots: N/A # of Open Lots: N/A # of Other Lots (Apartment, General, Mixed Use, Civic): N/A

Total # of Lots: 6 Total # of Dwelling Units: 7

of bedroom units (if known): 1br 2br 3br 4br

Proposed density for each zoning district (UDO 10.2.3.7):

1br: 1 unit/lot 2br: 1 unit/lot 3br: 1 unit/lot 4br: 1 unit/lot

Notes: Therefore density is 31,606/31,606 = 1.00 units/acre

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-43(b)), application for development approval may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for each development as is authorized by the assessment.

As an authorized agent requires written permission from the property owner for the purposes of making the development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-43(b)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in this application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-43(b).

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-750(1)), if this permit described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-750(1)), if this permit described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

Signature: Nathan Becker Date: 7/25/2023

Printed Name: Nathan Becker

Signature: _____ Date: _____

Printed Name: _____

PLAN SUMMARY

Address 2918 Haven Road
0 Haven Road
Wake Co. PINs 1723-17-9648
1723-17-9548
Reference DB 19609 PG 1959
DB 18672 PG 477
BM 2025 Page 860

OWNER/DEVELOPER SOUTHERN PURCHASING GROUP, LLC
PHELLCO CORPORATION
P.O. BOX 37086
RALEIGH, NC 27627
nathan@bigrealty.com
(978) 807-4403

PROPOSED TOWNHOME SITE DATA

Zoning R-6/R-10/RX-4-CU
R/W Dedication 0.0 ac
Other Dedications 0.0 ac
R-6 Site Area 0.461 ac/20,073 sf
R-10 Site Area 0.221 ac/9,613 sf
RX-4-CU Site Area 0.044 ac/1,920 sf
Gross Site Area 0.726 ac/31,606 sf
Proposed Use - Multi Unit Townhomes UDO 2.2.3
Maximum Site Density 31,606/4500 = 7.02 UNITS
Per UDO based on R-6 Zoning for portion of property where townhomes are located
Total Units Proposed 7 Units

TOWNHOME DEVELOPMENT REQUIREMENTS

SITE DIMENSIONS - UDO 2.2.3.A

Outdoor Amenity Area Required UDO 2.2.3.A3 10% of 31,606 sf = 3,160.6 sf
Outdoor Amenity Area Provided UDO 2.2.3.A3 6,440 sf = 20.4%
Min. Lot Area UDO 2.2.3.B1 N/A
Min. Lot Width UDO 2.2.3.B2 16 feet

PRINCIPLE BUILDING/STRUCTURE SETBACK - UDO 2.2.3.C

From Primary Street UDO 2.2.3.C1 10 feet
From Side Site Boundary Line UDO 2.2.3.C3 10 feet
From Rear Site Boundary Line UDO 2.2.3.C4 20 feet
Building Separation UDO 2.2.3.C6 10 feet

PARKING SETBACKS - UDO 2.2.3.D

From Primary Street UDO 2.2.3.D1 20 feet
From Side Lot Line UDO 2.2.3.D3 0 feet
From Rear Lot Line UDO 2.2.3.D4 3 feet (min.)

HEIGHT - UDO 2.2.3.E

Maximum Building Height UDO 2.2.3.E1 45 feet/3 stories

PARKING - UDO 7.1.2

Minimum Parking Required UDO 7.1.2.C No minimum
Maximum Parking Allowed UDO 7.1.2.C No maximum
Parking Provided - 7 driveway spaces, 7 surface spaces, 6 guest spaces = 20 spaces



NOTES:

- BOUNDARY & TOPOGRAPHIC SURVEY BY PENNONI RECOMBINATION MAP BY ESP ASSOCIATES, INC. BM 2025 PG 860.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- A FEE-IN-LIEU WILL BE PAID FOR WIDENING STREET TO 1/2 OF 27'B-B AND 6' WIDE CONCRETE SIDEWALK ALONG FRONTAGE.
- RESIDENTIAL INFILL RULES APPLY (SEC 2.2.7) AND PROPOSED SETBACKS AND BUILDING HEIGHTS ARE BASED ON SAID RULES.
- HAVEN ROAD IS CATEGORIZED AS NEIGHBORHOOD YIELD. THIS STREET TYPOLOGY HAS A REQUIRED ROW WIDTH OF 55'; 27' BOC-BOC, 6'SW, 6'PS, 5'UPE AND 2'MS. A FEE-IN-LIEU WILL BE REQUIRED FOR ADDITIONAL ROADWAY WIDENING, CURB AND GUTTER AND 6' SIDEWALK.
- RETAINING WALLS AND SOLID WASTE APPROVAL TO BE OBTAINED WITH SITE PERMIT REVIEW. IF REQUIRED A LIGHTING PLAN WILL BE SUBMITTED WITH SITE PERMIT REVIEW.
- THE EXISTING ZONING LINES WILL REMAIN.
- BUILDING FOOTPRINTS ARE SHOWN FOR REFERENCE ONLY.
- THE COMMON AREA LOT WILL NOT BE OCCUPIED IN THE FUTURE AND IS DESIGNATED ACCORDINGLY AS A NON-BUILDABLE LOT ON THE PRELIMINARY PLAN AND WILL BE RECORDED AS SUCH ON THE FINAL SUBDIVISION PLAT.

SOLID WASTE SERVICES

- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.

BLOCK PERIMETER EXEMPTION

UDO 8.3.2.A.2.b
MINIMUM SITE AREA APPLICABLE IS 5 ACRES, THIS SITE IS EXEMPT

FREQUENT TRANSIT DEVELOPMENT OPTION

NOT USED FOR THIS PROJECT

TREE CONSERVATION

THIS SITE IS LESS THAN 2 ACRES AND THEREFORE IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS.

LIGHTING PLAN

A LIGHTING PLAN, IF REQUIRED, WILL PROVIDED WITH SITE PERMIT REVIEW.

PUBLIC IMPROVEMENT QUANTITIES

Phase Number(s)	1
Number of Lots(s)	7
Lot Number(s) by Phase	1-8
Number of Units	7
Liveable Buildings	7
Common Area?	Yes
Number of Common Area Lots	1
Public Water (LF)	0
Public Sewer (LF)	0
Public Street (LF) - FULL	0
Public Street (LF) - PARTIAL	0
Public Sidewalk (LF)	0
Street Signs (LF)	0
Water Service Stubs	7
Sewer Service Stubs	7

LEGEND:

RF - IRON PIPE FOUND
RF - IRON ROD FOUND
RF - REBAR FOUND
RW - RIGHT-OF-WAY
CONC. - CONCRETE
TRF - ELECTRICAL TRANSFORMER
AC - HVAC UNIT
WM - WATER METER
CO - SEWER CLEANOUT
SSWH - SANITARY SEWER MANHOLE
SS - UNDERGROUND SANITARY SEWER PIPE
DI - STORM DRAIN INLET
AI - STORM AREA INLET WITH CONCRETE LID
RCF - REINFORCED CONC. PIPE
SSD - UNDERGROUND STORM PIPE (SIZE UNKNOWN)
FES - FLARED END SECTION
SW - SIDEWALK
PTE - FINISHED FLOOR ELEVATION
PP - POWER/UTILITY POLE
OW - OVERHEAD UTILITY LINES

NOT RELEASED FOR CONSTRUCTION

CMS Engineering, PLLC
9320 St. John's Church Road
Zebulon, NC 27597
PHONE: (919) 210-5899
EMAIL: pat@cmsengr@gmail.com

TOWNES OF HAVEN
SOUTHERN PURCHASING GROUP, LLC
PRELIMINARY SUBDIVISION
RALEIGH, NC

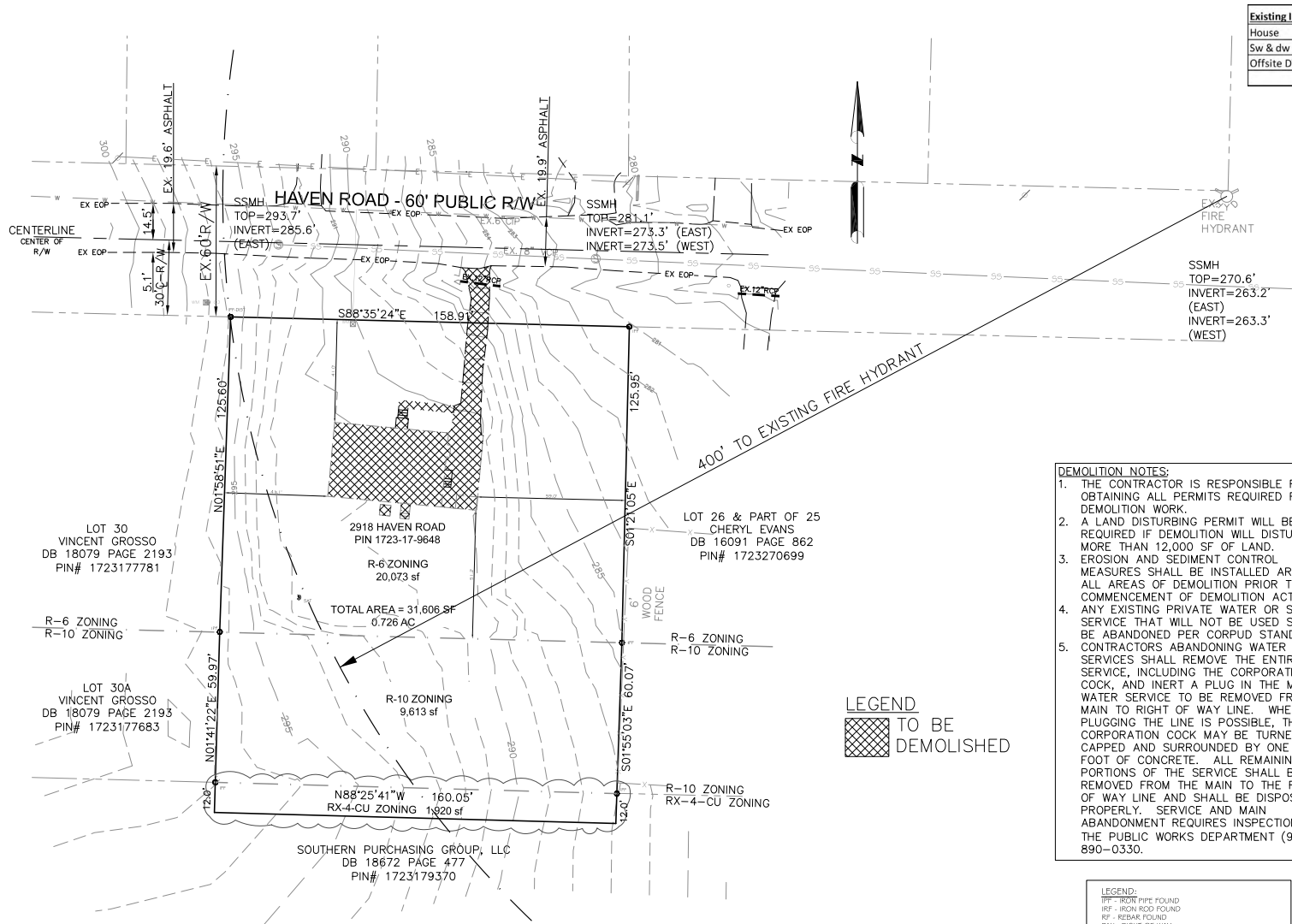
REVISIONS

5/28/24 PER REVIEW COMMENTS
9/17/24 PER REVIEW COMMENTS
07/28/25 REV LOT AREA

TITLE SHEET

DWG NAME:
2018 PSD4
PLAN DATE:
03/18/24
DATE ISSUED:
07/28/25
SCALE: NTS

PS-1



NOT RELEASED FOR CONSTRUCTION

CMS Engineering, PLLC
9320 St. John's Church Road
Zebulon, NC 27597
PHONE: (919) 210-5899
EMAIL: pat@cmseng.com

TOWNS OF HAVEN
SOUTHERN PURCHASING GROUP, LLC
PRELIMINARY SUBDIVISION
RALEIGH, NC

REVISIONS

5/28/24	PER REVIEW COMMENTS
9/17/24	PER REVIEW COMMENTS
07/28/25	REV LOT AREA

EXISTING CONDITIONS & DEMOLITION PLAN

DWG NAME:
2018 PSDA
PLAN DATE:
03/18/24
DATE ISSUED:
07/28/25
SCALE: 1"=20'

PS-2



SOUTHERN PURCHASING GROUP, LLC
DEED BOOK 18672, PAGE 477

[Signature]
SOUTHERN PURCHASING GROUP, LLC by
SIGNATURE(S) OF PROPERTY OWNER(S)

AUTHORIZED SIGNATORY
TO FIDELITY PROPERTY OWNERS

SOUTHERN PURCHASING GROUP, LLC
PHELCO CORPORATION
DEED BOOK 19609, PAGE 1959
SOUTHERN Purchasing Group LLC by *NA*

SOUTHERN PURCHASING GROUP LLC by *Handwritten Signature*
SIGNATURE(S) OF PROPERTY OWNER(S) - SOUTHERN PURCHASING GROUP, L
AUTHORIZED SIGNATORY

TITLE(S) OF PROPERTY OWNER(S) - SOUTHERN PURCHASING GROUP, LLC
SIGNATURE(S) OF PROPERTY OWNER(S) - PHELLCO CORPORATION

President
TITLE(S) OF PROPERTY OWNER(S) - PHELLCO CORPORATION

Nathan Becken
SOUTHERN PURCHASING GROUP, LLC
DATE: April 28, 2015

DATE: Apr 28, 2015

 NOTARY SIGNATURE

 NOTARY PRINTED NAME: Delinda K Wheeler NOTARY PUBLIC

Philip J. Wheeler
PHELCO CORPORATION
DATE: 04/30/25
Denise A.

DATE: 04/30/25
 Denise Allison
 NOTARY SIGNATURE
 NOTARY PRINTED NAME: Denise Allison
 NOTARY PUBLIC

Denise Allison
 Notary Public
 Transylvania County
 My Commission Expires

Denise Allison
Notary Public
Transylvania County, NC
My Commission Expires: 02/01/2029

SITE DATA TABLE						
LOT #	PARCEL OWNER	PIN	ZONING	LAND USE	ORIGINAL AREA	RECOMBINED AREA
1	SOUTHERN PURCHASING GROUP, LLC	1723179370	RX-4-CU	VACANT	342,429.5 FT ² // 7.861 AC.	340,509.5 FT ² // 7.817 AC.
27	SOUTHERN PURCHASING GROUP, LLC & PHELLO CORPORATION	1723179741	R-6	RESIDENTIAL	28,073.1 FT ² // 0.641 AC.	31,608.0 FT ² // 0.726 AC.
27A	SOUTHERN PURCHASING GROUP, LLC & PHELLO CORPORATION	1723179843	R-10	VACANT	9,812.6 FT ² // 0.221 AC.	N/A

OWNER (500 RAWLS DRIVE);
SOUTHERN PURCHASING GROUP, LLC
PO BOX 37086
RALEIGH NC 27627

OWNERS (2906 & 2918 HAVEN ROAD):
SOUTHERN PURCHASING GROUP, LLC &
PHELLCO CORPORATION
PO BOX 37066

I, KEVIN C. PIVER, PLS HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEEDS AND MAPS OF RECORD AS SHOWN; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DASHED LINES DRAWN FROM DEEDS AND MAPS OF RECORD AS SHOWN; THAT THE RATIO OF PRECISION IS 1:39,630; THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30, AS AMENDED.

FURTHERMORE, I CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (b)(1)(d). THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

THAT THE GRID TIE WAS DETERMINED FROM AN ACTUAL GNSS SURVEY AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

CLASS OF SURVEY: CLASS A
POSITIONAL ACCURACY: 0.05'
TYPE OF GPS FIELD PROCEDURE: NC REAL TIME KINEMATIC NETWORK
DATE OF SURVEY: JULY 9, 13, & 17, 2018
DATUM/EPOCH: NAD 83(2011) EPOCH 2018.00
GEOID MODEL: GEOID 12B
COMBINED GRID FACTOR: 0.9999904516
UNITS: US SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 28TH DAY OF APRIL, 2025.

Kevin C. Piver, PLS

Register of Deeds
Tammy L. Brunner
Wake County, NC
05/09/2025 11:47:09 AM
B: BM2025 P: 00860 Pages: 1
MAP - MAP PLAT
Fee: \$21.00
DOCUMENT #0025008655

SALES	REFERENCE
	DB 18672 PAGE
	DB 19009 PAGE
LAR	DB 1603 PAGE
885	DB1424 PAGE
D	BM 1985 PAGE
	BM 1954 PAGE

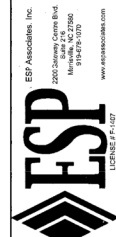
LEGEND:

IPF - IRON PIPE FOUND
IRF - IRON ROD FOUND
CMF - CONC. MONUMENT FOUND
MNF - MAG NAIL FOUND
MNF - MASON NAIL FOUND
NLF - NAIL FOUND
PKF - PK NAIL FOUND
RF - REBAR FOUND
RS - RIVET SET
MNS - MAG NAIL SET
MNS - MASON NAIL SET
D*ST - DISTURBED
CP - COMPUTED POINT
RW - RIGHT-OF-WAY
SS - SANITARY SEWER
SD - STORM DRAINAGE

— — — — — PROPERTY LINE (SURVEYED)
— — — — — PROPERTY LINE (NOT SURVEYED)
- - - - - EXISTING EASEMENT LINE

RECOMBINATION CERTIFICATE (RCMP-0057-2025)
THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION OF
PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY
REQUIREMENTS FOR RECORDING.
Reggie F. Borden
BY ANNOTING AND SIGNING, I HEREBY CERTIFY THAT I AM A MEMBER OF THE
5/8/2025

RCMP-0057-2025
Z-07-24



REVISIONS	DATE
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FINAL PLAT OF

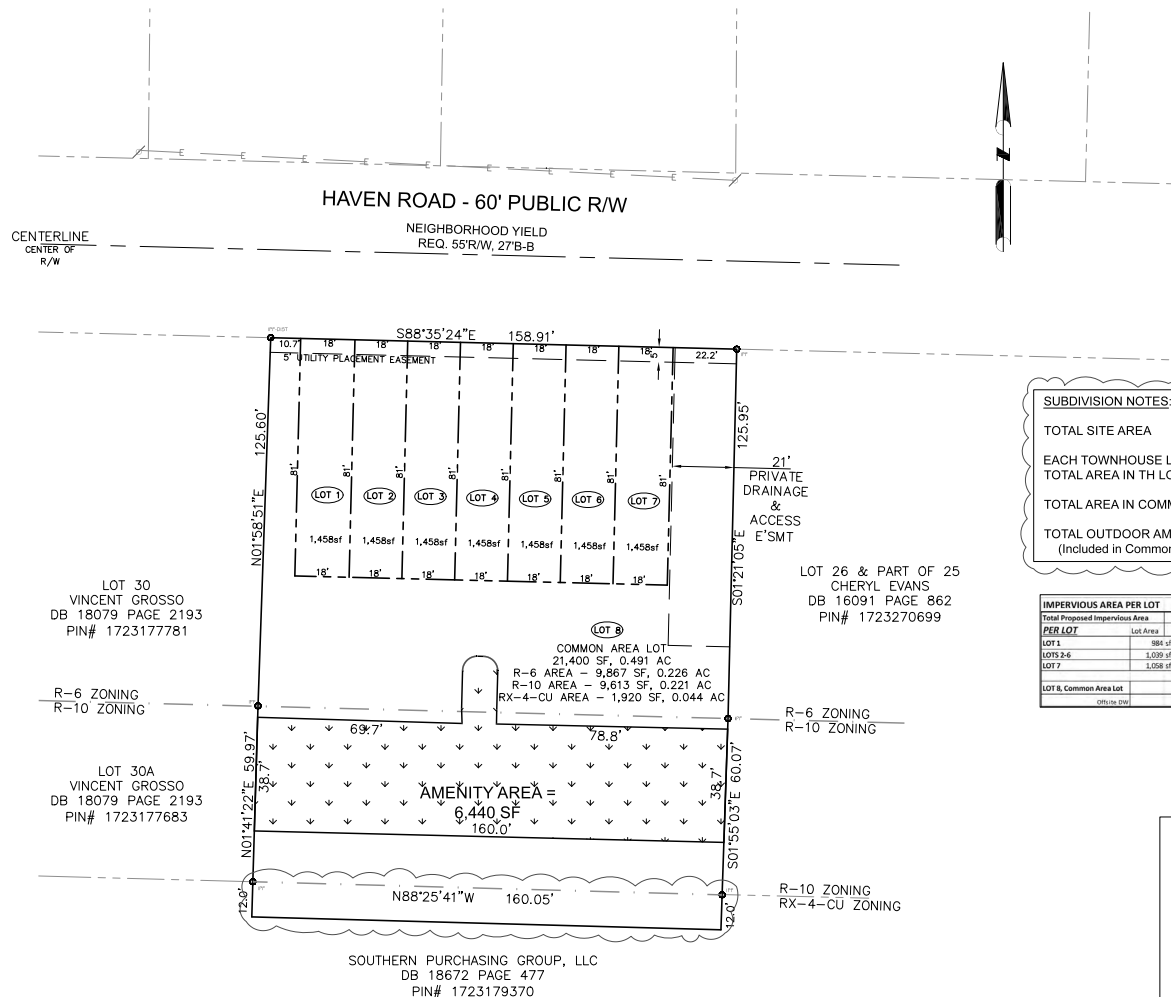
FOR
SOUTHERN PURCHASING GROUP, LLC

OWNER INFORMATION
SOUTHERN PURCHASING GROUP, LLC & PHEILCO CORPORATION

B 18672 PG 477 & DB 19609 PG 1959

PS-2A BOUNDARY MAP

U



SUBDIVISION NOTES:

TOTAL SITE AREA = 31,606 sf

EACH TOWNHOUSE LOT TO BE 18'x81'.
 TOTAL AREA IN TH LOTS = 10,206 sf

TOTAL AREA IN COMMON AREA LOT = 21,400 sf

TOTAL OUTDOOR AMENITY AREA = 6,440 sf
 (Included in Common Area Lot) 20.4%

IMPERVIOUS AREA PER LOT			
PER LOT	Lot Area	Impervious	% Impervious
LOT 1	984 sf	1,458 sf	87.5%
LOTS 2-6	1,099 sf per lot	5,195 sf	75.3%
LOT 7	1,098 sf	1,098 sf	72.6%
LOT 8, Common Area Lot		7,058 sf	69.2%
		497 sf	

LEGEND:

IPF - IRON PIPE FOUND
 IRF - IRON ROD FOUND
 RF - REBAR FOUND
 RW - RIGHT-OF-WAY
 CONC - CONCRETE
 TRF - ELECTRICAL TRANSFORMER
 AC - HVAC UNIT
 WM - WATER METER
 CD - SEWER CLEANOUT
 SS-MH - SANITARY SEWER MANHOLE
 SS - UNDERGROUND SANITARY SEWER PIPE
 DI - STORM DRAIN INLET
 AI - STORM AREA INLET WITH CONCRETE LID
 RCP - REINFORCED CONC. PIPE
 SD - UNDERGROUND STORM PIPE (SIZE UNKNOWN)
 FES - FLARED END SECTION
 SW - SIDEWALK
 FFE - FINISHED FLOOR ELEVATION
 PFE - POWER/UTILITY POLE
 OW - OVERHEAD UTILITY LINES

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL 811

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

NOTE:
 THE COMMON AREA LOT WILL NOT BE OCCUPIED IN THE FUTURE AND IS DESIGNATED ACCORDINGLY AS A NON-BUILDABLE LOT ON THE PRELIMINARY PLAN AND WILL BE RECORDED AS SUCH ON THE FINAL SUBDIVISION PLAT.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

NOT RELEASED FOR CONSTRUCTION

CMS Engineering, PLLC
 9320 St. John's Church Road
 Zebulon, NC 27597
 P-1867
 EMAIL: paul.cameron@cms-eng.com

TOWNES OF HAVEN
 SOUTHERN PURCHASING GROUP, LLC
 PRELIMINARY SUBDIVISION
 RALEIGH, NC

REVISIONS

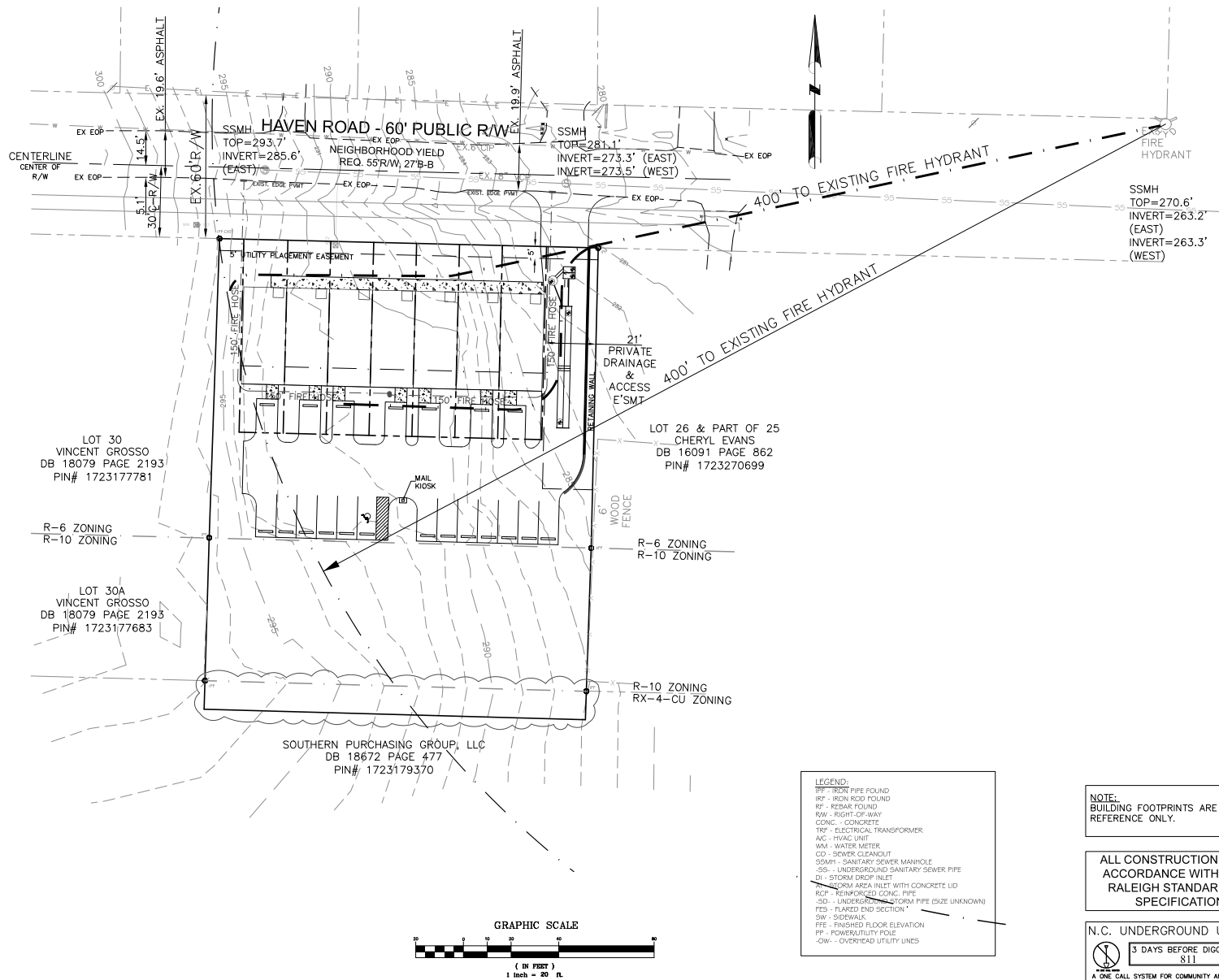
5/28/24 PER REVIEW COMMENTS

9/17/24 PER REVIEW COMMENTS

07/28/25 REV LOT AREA

SUBDIVISION LOTS & EASEMENTS

DWG NAME:
 2916 PSD4
 PLAN DATE:
 05/10/24
 DATE ISSUED:
 07/28/25
 SCALE: 1"=20'



NOT RELEASED FOR CONSTRUCTION

CMS Engineering, PLLC
9320 St. John's Church Road
Zebulon, NC 27597
PHONE: (919) 210-5899
EMAIL: patricia.mcm@gmail.com
P-1867

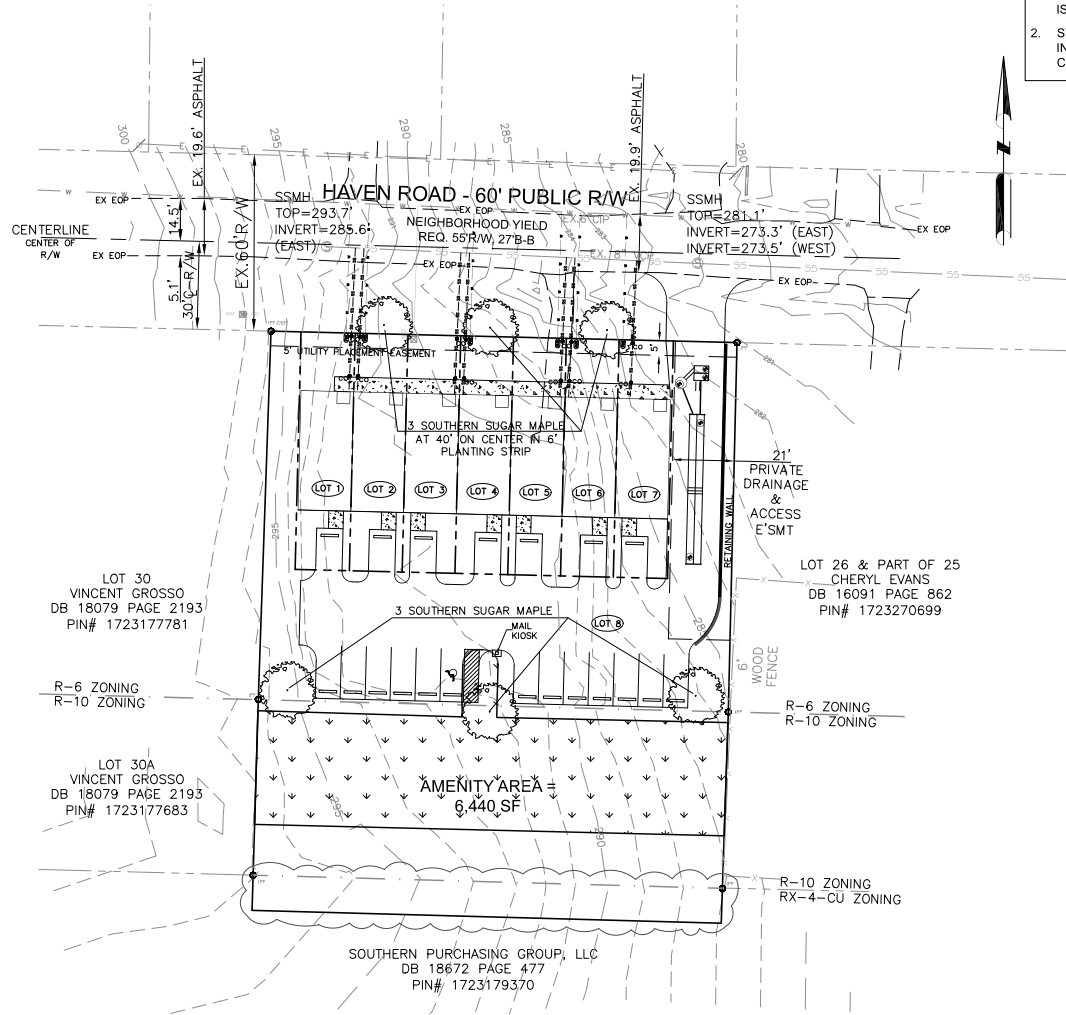
TOWNS OF HAVEN
SOUTHERN PURCHASING GROUP, LLC
PRELIMINARY SUBDIVISION
2918 HAVEN ROAD, RALEIGH, NC

REVISIONS
5/28/24 PER REVIEW COMMENTS
9/17/24 PER REVIEW COMMENTS
07/28/25 REV LOT AREA

FIRE APPARATUS ACCESS PLAN

DWG NAME:
2018 PSD4
PLAN DATE:
03/18/24
DATE ISSUED:
07/28/25
SCALE: 1"=20'

PS-5



- NOTES:**
- THIS PARCEL IS LESS THAN 2 ACRES THEREFORE COMPLIANCE WITH ARTICLE 9.1 TREE CONSERVATION IS NOT REQUIRED.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

PARKING TREE REQUIREMENT

AREA IN PARKING	5,947 SF
TREES REQUIRED	1/2,000 SF
TREES PROVIDED	3 TREES

RESIDENTIAL STREET FRONTAGE: 159'

TREES REQUIRED 1/40' = 3.975

TREES PROVIDED = 3

STREETSCAPE WIDTH = 6' STREETSCAPE

PLANT LARGE MATURING TREES AT 40' ON CENTER.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

N.C. UNDERGROUND UTILITIES

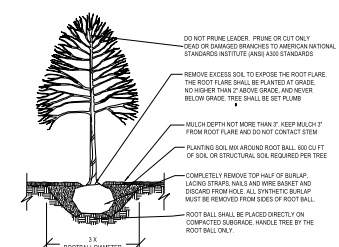
3 DAYS BEFORE DIGGING CALL 811

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

- LEGEND:**
- IRF - IRON PIPE FOUND
 - IRF - IRON ROD FOUND
 - RF - REBAR FOUND
 - ROW - RIGHT-OF-WAY
 - CONC - CONCRETE
 - TRF - ELECTRICAL TRANSFORMER
 - AC - HVAC UNIT
 - WM - WATER METER
 - CO - SEWER CLEANOUT
 - SSMH - SANITARY SEWER MANHOLE
 - SS - UNDERGROUND SANITARY SEWER PIPE
 - DI - STORM DRAIN INLET
 - AI - STORM AREA INLET WITH CONCRETE LID
 - RCP - REINFORCED CONC. PIPE
 - SD - UNDERGROUND STORM PIPE (SIZE UNKNOWN)
 - FES - FLARED END SECTION
 - SW - SIDEWALK
 - FTE - FINISHED FLOOR ELEVATION
 - PP - POWER/UTILITY POLE
 - OW - OVERHEAD UTILITY LINES

NOTE:

BUILDING FOOTPRINTS ARE SHOWN FOR REFERENCE ONLY.



- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH

STANDARD DETAIL

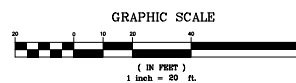
REVISIONS

NO.	DATE	DESCRIPTION
1	07/28/25	TREE PLANTING DETAIL

TPP-03

LANDSCAPE PLANTING SCHEDULE				
QTY	COMMON	SCIENTIFIC	SIZE @ PLANTING	MATURE HT/CROWN SPREAD
6	SOUTHERN SUGAR MAPLE	ACER FLORIDANUM	3" CAL, 10' HT	50'-75' / 30'-40'

- PLANTING STANDARDS:**
- ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
 - AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300, AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42nd STREET, NEW YORK, N.Y. 10036
 - AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET, NW, SUITE 500, WASHINGTON, DC 20005
 - HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM, 1976, MACMILLAN PUBLISHING CO., NEW YORK



NOT RELEASED FOR CONSTRUCTION

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P-1867

TOWNES OF HAVEN

SOUTHERN PURCHASING GROUP, LLC

PRELIMINARY SUBDIVISION

RALEIGH, NC

REVISIONS

5/28/24 PER REVIEW COMMENTS

07/28/25 REV LOT AREA

PRELIMINARY LANDSCAPE PLAN

DWG NAME:

2018 PSD4

PLAN DATE:

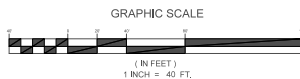
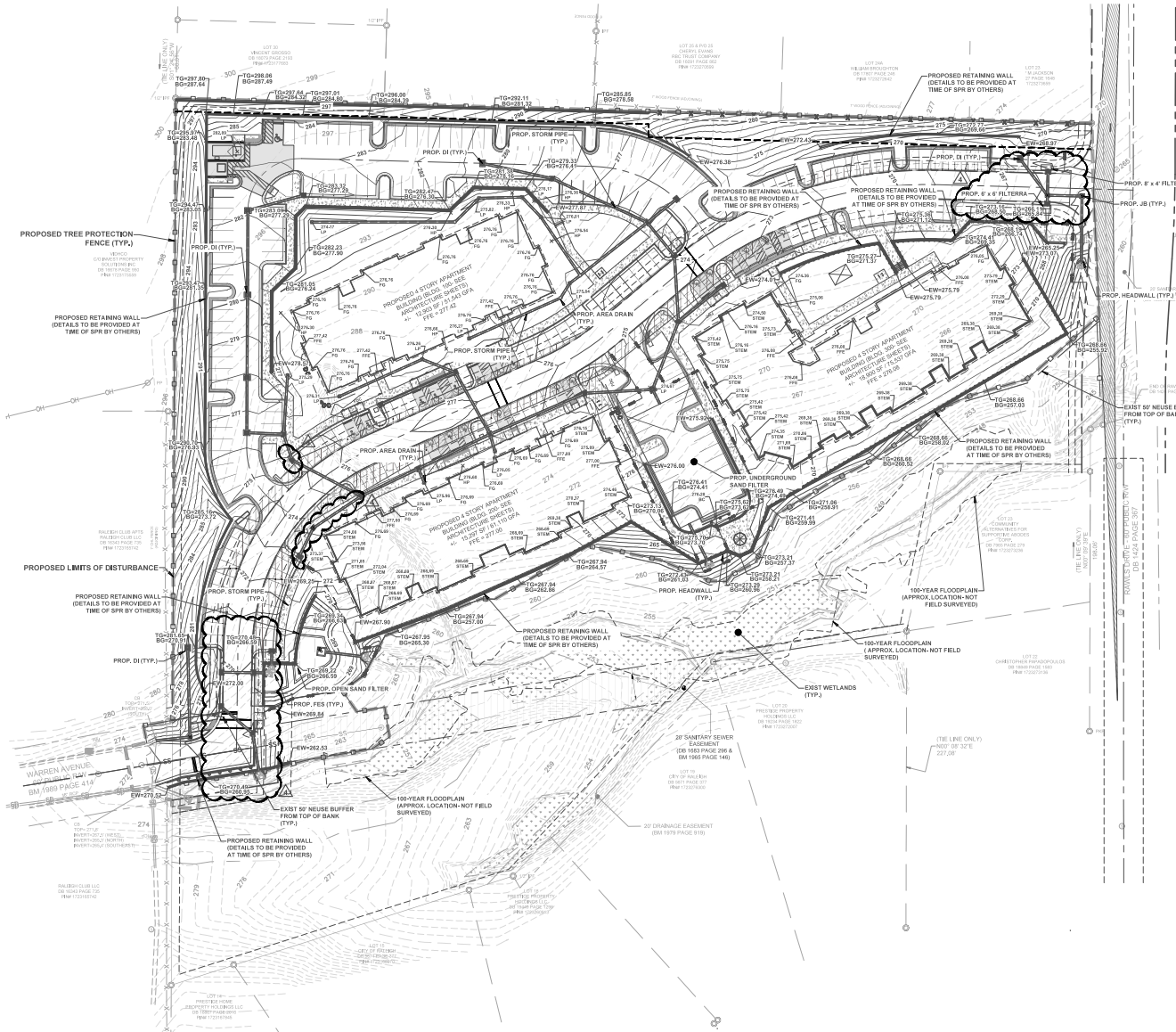
03/19/24

DATE ISSUED:

07/28/25

SCALE: 1"=20'

PS-7



- GRADING NOTES:**
1. THE PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHTS-OF-WAYS, UTILITIES AND COVENANTS WHICH ARE OF RECORD.
 2. WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE ANY TIME WORK IS BEING PERFORMED.
 3. CONTRACTOR IS RESPONSIBLE AT CONTRACTORS EXPENSE FOR ENSURING AND OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THESE PERMITS MAY INCLUDE, BUT NOT LIMITED TO: GRADING, DREDGING, BLASTING, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBMISSION SPECIAL USE, WATER AND SEWER PERMITS AND APPROVALS.
 4. APPROVAL OF THE PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES, WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. WRITTEN PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNER(S).
 5. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTRACTING ALL APPROPRIATE UTILITIES AND ENSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACCORDING TO NC STATE LAW. CONTRACTOR SHALL VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE APPROPRIATE UTILITY SERVICE PROVIDER PRIOR TO ANY INTERRUPTION OF AN EXISTING UTILITY.
 7. WHEN UNDERGROUND OBSTRUCTIONS NOT SHOWN ON THE CONSTRUCTION DRAWINGS (ROCK, PILING, ETC.) ARE ENCOUNTERED, THE CONTRACTOR SHALL PROMPTLY REPORT THE CONTACT TO THE OWNER'S ENGINEER. ALL CHARGES MUST BE APPROVED IN WRITING BY THE ENGINEER BEFORE CONSTRUCTION CAN PROCEED.
 8. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
 9. CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE LIMITS SHOWN ON THE PLANS. ALL TREES, BRUSH, ROOTS, STUMPS, TREES, OR OTHER VEGETATION CUT DURING THE CLEARING OPERATIONS SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF PROPERLY, AND SHALL BE EITHER REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR, OR SATISFACTORY DISPOSED OF ON-SITE WITH APPROVAL FROM THE OWNER.
 10. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROPER REMOVAL OF ALL CONSTRUCTION WASTE AND DEBRIS. ALL WASTE AND DEBRIS SHALL BE LEGALLY DEPOSITED AT AN OFF-SITE LOCATION.
 11. ROAD SHOULDERS, SWALES, BACK-OF-CURBS, AND CUTFILL BANKS SHALL BE COMPLETELY DRESSED BY THE CONTRACTOR AND SEEDS AS SOON AS POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THESE AREAS UNTIL A PERMANENT STAND OF GRASS IS ESTABLISHED.
 12. CUT AND FILL SLOPES OF ANY AREA SHALL NOT EXCEED THE RATIO OF 2:1, UNLESS NOTED OTHERWISE.
 13. STREETS SHALL BE GRADED IN ACCORDANCE WITH THE LINES AND GRADE SET BY THE ENGINEER.
 14. SIDEWALKS AND STEPS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,000 PSI CONCRETE AND SHALL BE 4 INCHES THICK. CONSTRUCTED ON AN ADEQUATELY GRADED BASE WHERE A SIDEWALK INTERSECTS WITH A DRIVEWAY ACCESS. THE SIDEWALK SECTION SHALL BE 6 INCHES THICK. SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURBED WITH ACCEPTABLE CONCRETE CURING COMPOUND. TOELED JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN FORTY-FIVE (45) FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF ONE-QUARTER (1/4) INCH PER FOOT.
 15. FILL EMBANKMENTS SHALL BE FORMED OF SUITABLE MATERIAL PLACED IN SUCCESSIVE LAYERS NOT TO EXCEED MORE THAN 36 INCHES IN DEPTH FOR THE FULL WIDTH OF THE CROSS-SECTION INCLUDING THE WIDTH OF THE SLOPE AREA. NO STUMPS, TREES, BRUSH, RUBBER OR OTHER UNSUITABLE MATERIALS OR SUBSTANCES SHALL BE PLACED IN THE EMBANKMENT. EACH SUCCESSIVE 36 INCH LAYER SHALL BE THOROUGHLY COMPACTED BY THE SHEEPSFOOT TAMMING ROLLER, 10-TON POWER ROLLER, PNEUMATIC-TIRED ROLLER, OR OTHER METHODS APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER. EMBANKMENTS OVER AND AROUND ALL PIPE CULVERTS SHALL BE OF SELECT MATERIAL, PLACED AND THOROUGHLY TAMPED AND COMPACTED AS DIRECTED BY THE PROJECT'S GEOTECHNICAL ENGINEER.
 16. ALL SOILS SHALL BE OF LOW PLASTICITY, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, AND OTHER OBJECTIONABLE MATERIAL. SAND MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMMING BLOW OR PROOF ROLLING OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
 17. THE CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED ACCORDING TO THE LINES AND GRADES ESTABLISHED BY THE ENGINEER.
 18. IN ORDER TO ENSURE PROPER DRAINAGE, CURB SHALL HAVE A MINIMUM OF 0.50% SLOPE. UNLESS SPILL CURB IS INDICATED ON THE PLANS, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING POSITIVE DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN AT LOCATIONS WHERE SPILL CURB IS INDICATED.
 19. ALL PROPOSED GRADES SHOWN ON THESE PLANS ARE FINAL GRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE SUBGRADE ELEVATIONS.

GRADING ABBREVIATIONS:

1. SDE = STORM DRAINAGE EASEMENT
2. SCM = STORMWATER CONTROL MEASURE
3. LP = LOW POINT
4. HP = HIGH POINT
5. TO = TOP OF GRADE
6. BO = BOTTOM OF GRADE
7. EW = END OF WALL
8. BC = BACK OF CURB
9. EP = EDGE OF PAVEMENT
10. FFE = FINISHED FLOOR ELEVATION
11. FE = FINISHED GRADE
12. CB = CATCH BASIN
13. DI = DRAIN INLET
14. JB = JUNCTION BOX
15. FE = FLARED END SECTION

ESP Associates, Inc.
2300 Gregory Drive, Suite 200
Raleigh, NC 27607
919.976.1070
www.ESPAssociates.com

PROJECT INFORMATION

PROJECT MANAGER: ER

DESIGNED BY: ER

DRAWN BY: ER

PROJECT NUMBER: 24-0591

ORIGINAL DATE: 10/09/2024

SHEET: C3.0

PRELIMINARY GRADING & DRAINAGE PLAN

MAPLE RIDGE (AFFORDABLE HOUSING)

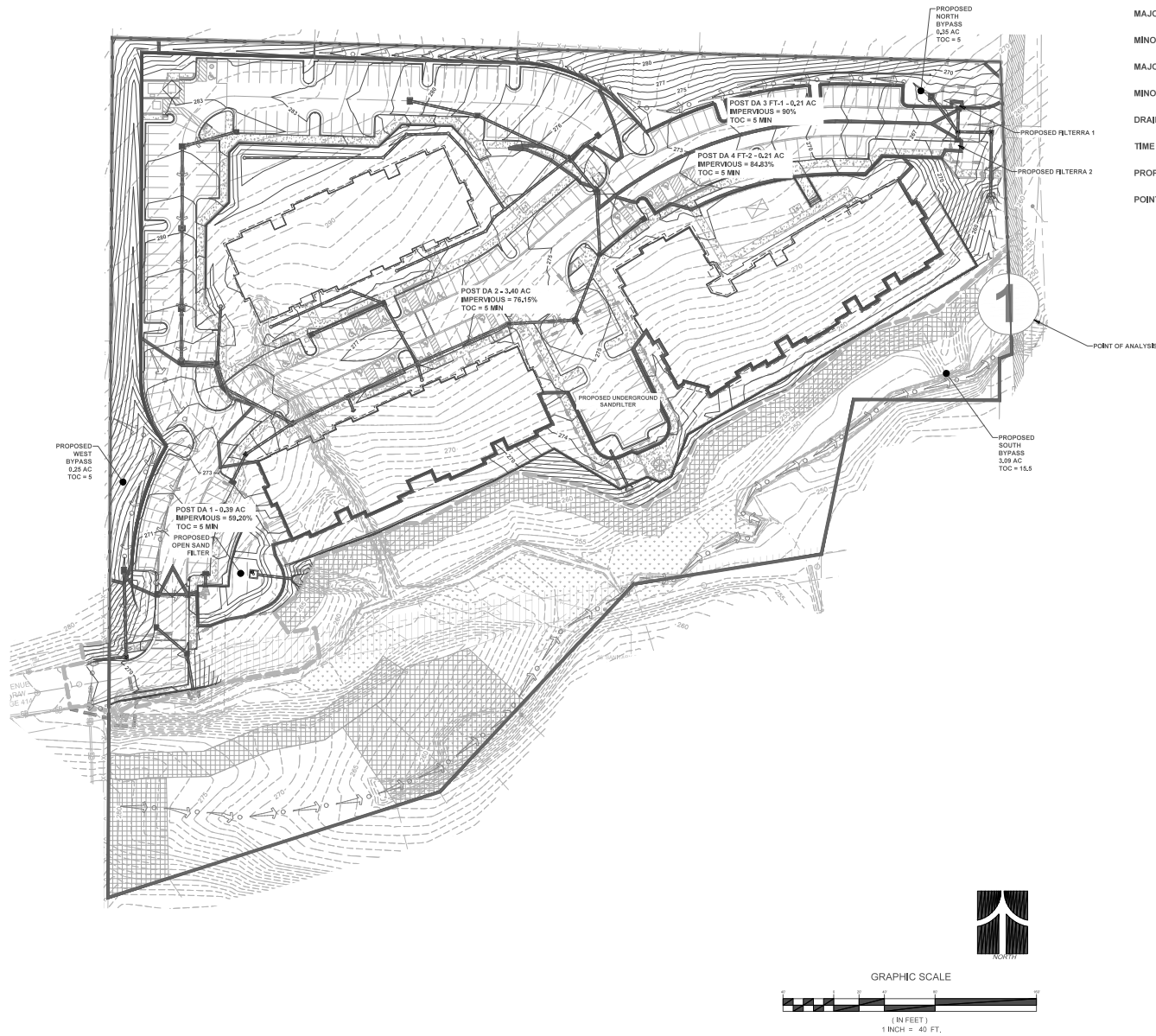
ADMINISTRATIVE SITE REVIEW PLAN

SOUTH CREEK DEVELOPMENT

RALEIGH, NORTH CAROLINA



PRELIMINARY MAPLE RIDGE ADMINISTRATIVE SOUTH CREEK DEVELOPMENT	PROJECT INFORMATION	
	PROJECT MANAGER:	ER
	DESIGNED BY:	ER
	DRAWN BY:	BA



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2300 Gregory Center Blvd.
Raleigh, NC 27603
Phone: 919.876.1070
www.essassociates.com

ESP

PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	DATE	REVISION	BY
1.	1/10/2024	REVIEWED TO ADDRESS AIR SUBMITTAL #1 REVIEW COMMENTS	CA/THN
2.	4/11/2024	REVIEWED TO ADDRESS AIR SUBMITTAL #2 REVIEW COMMENTS	CA/THN
3.	6/13/2024	REVIEWED TO ADDRESS AIR SUBMITTAL #3 REVIEW COMMENTS	CA/THN
4.	8/11/2024	REVIEWED TO ADDRESS AIR SUBMITTAL #4 REVIEW COMMENTS	CA/THN

POST DEVELOPMENT
DRAINAGE AREAS
MAPLE RIDGE (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLAN
SOUTH CREEK DEVELOPMENT
RALEIGH, NORTH CAROLINA

PROJECT INFORMATION
PROJECT MANAGER: ER
DESIGNED BY: ER
DRAWN BY: 2247591
PROJECT NUMBER: 2247591
ORIGINAL DATE: 10/03/2024
SHEET: POST-DA

811
Know what's below.
Call before you dig.