



Administrative Approval Action

Case File / Name: SUB-0014-2023
DSLCL - Redgrove Place

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 1.16 acre lot zoned R-6 and within an SRPOD overlay is located on the east side of Grove Avenue between Linville Drive and Grovewood Place at 711 Grove Avenue.
- REQUEST:** This is a conventional townhome subdivision consisting of a total number of twelve lots (eleven dwelling unit lots and one HOA/Community lot)
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 29, 2024 by The Site Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Public access easement should be shown and labeled connecting access to the 1415 sf outdoor amenity area on the east end of the parent tract.

Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
4. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)



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8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

12. A public infrastructure surety for 2 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
4. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along Grove Ave.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all the street trees by Urban Forestry Staff.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: June 20, 2027
Record at least 1/2 of the land area approved.

5-Year Sunset Date: June 20, 2029
Record entire subdivision.

I hereby certify this administrative decision.

Signed: _____ Date: 06/20/2024
Development Services Dir/Designee
Staff Coordinator: Michael Walters

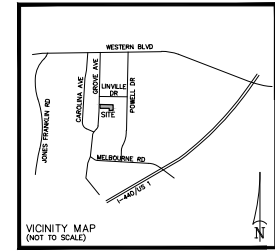
RED GROVE PLACE

711 GROVE AVENUE

Raleigh, North Carolina

PRELIMINARY SUBDIVISION

SUB-0014-2023



Preliminary Subdivision Application

Site Review
 Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 • Raleigh, NC 27601 • 919-996-2000

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plan to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)

Conventional Subdivision Compact Development Conservation Development

Cottage Court Flag lot Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if a Mature Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/lot/plan case number(s): SCOPE-0095-2021

Development name (subject to approval): Red Grove Place

Property Address(es): 711 Grove Avenue

Recorded Deed PIN(s): 0783-49-5669

Building type(s): Detached House Attached House Townhouse Apartment

General Building Mixed Use Building Civic Building Open Lot Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Name(s): Payton Chung

Company: Westover Green LLC Title: _____

Address: 1133 Manchester Drive, Cary, NC 27511

Phone #: 507-724-8647 Email: payton@westnorth.com

Applicant Name different from owner. See "who can apply" in instructions: Brandon Moore

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: The Site Group Address: 1111 Oberlin Road

Phone #: 919-835-4787 Email: bdm@theitegroup.net

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Name(s): Payton Chung

Company: Westover Green LLC Title: _____

Address: 1133 Manchester Drive, Cary, NC 27511

Phone #: 507-724-8647 Email: payton@westnorth.com

DEVELOPMENT TYPE + SITE DATA TABLE - ZONING INFORMATION

Gross site acreage: 1.16 Ac

Zoning districts (if more than one, provide acreage of each): R-6

County district(s): SRPOD Inside City Limits? Yes No Historic District/Landmark: no N/A

Conditional Use District (CUD) Board of Adjustment Case # Design Alternate Case #

Case #: Z- _____ BJA: _____ DA: _____

STORMWATER INFORMATION

Impervious Area on Parcel(s): _____ Impervious Area for Compliance (includes right-of-way)

Existing (sf) 8,288 Proposed (sf) 26,833 Existing (sf) 8,918 Proposed (sf) 41,281

NUMBER OF LOTS AND DENSITY

of Detached House Lots: _____ # of Attached House Lots: _____ # of Townhouse Lots: 11

of Tiny House Lots: _____ # of Other Lots (Apartment, Caretaker, Mixed Use, Civic): _____

Total # of Lots: 12 Total # of Dwelling Units: 11

Proposed density for each zoning district (UDO 1.5.2.F): 9.48 units/acre

SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-43(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as is authorized by the assessment.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-43(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in this application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-43(b).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

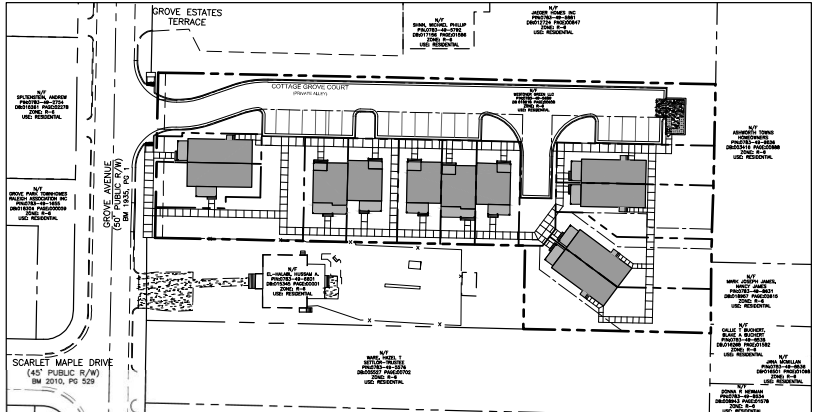
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 163-700(1)), if this permit application is based on lot and the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Justin Jones Date: Feb 21, 2023

Printed Name: Justin Jones

Signature: _____ Date: _____

Printed Name: _____



CONTACT:
 BRANDON MOORE, PLA
 THE SITE GROUP, PLLC
 1111 OBERLIN ROAD
 RALEIGH, NC 27605
 PHONE: (919) 835-4787
 FAX: (919) 839-2255
 EMAIL: bdm@theitegroup.net

OWNER/DEVELOPER:
 PAYTON CHUNG
 WESTOVER GREEN LLC
 1133 MANCHESTER DR
 CARY, NC 27511
 PHONE: 507-724-8647
 EMAIL: payton@westnorth.com

GFL GREEN FOR LIFE

November 16, 2023

Justin Jones
 The Site Group

We Serve Letter for:
 Red Grove Place
 711 Grove Ave
 Raleigh, NC 27608

Justin

This is a letter of support for trash and/or recycling services for your facility at the above location. GFL Environmental strives to achieve one all encompassing goal: To provide a waste collection service that is streamlined and stress-free that truly allows entirely out of our customer's mind.

Our goal has always been to provide a level of service that is truly unmatched by anyone in the industry. From sustainable efforts, environmentally conscious decisions, and a caliber of customer support unparalleled by your service based company, we have always provided to be more than what we are today.

We thank you for the opportunity to provide waste and recycling services at your property here in Raleigh.

Sincerely,
 John Steiner
 John Steiner
 GFL Environmental USA Inc.
 Account Manager - Raleigh Hauling Branch
 (919) 934-3739
 (M) 919-720-6330

3741 Conquest Drive, Garner, NC 27529
 Tel: 919-962-7100 Fax: 919-773-0503 | gflenv.com

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND HICODT ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - *MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - *PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - *AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - *RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

PUBLIC IMPROVEMENT QUANTITIES

PHASE NUMBER	N/A
NUMBER OF LOTS	14
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	11
UNITS BY BUILDING TYPE	11
PUBLIC WATER (LF)	370 LF
PRIVATE GRAVITY SEWER (LF)	354 LF
PUBLIC WATER (LF)	0 LF
PUBLIC SEWER (LF)	92 LF
WATER SERVICE STUBS	11*
SEWER SERVICE STUBS	11*
*STUB COUNT INCLUDES TIE-IN POINTS THAT NEED TO BE INSPECTED	

DRAWINGS INDEX:

PS 1.0	COVER SHEET
PS 2.0	EXISTING CONDITIONS & DEMO PLAN (BOUNDARY SURVEY)
PS 3.0	SITE LAYOUT PLAN
PS 3.1	SUBDIVISION PLAN
PS 3.2	FIRE ACCESS PLAN
PS 4.0	GRADING & DRAINAGE PLAN
PS 4.1	SCM DETAILS
PS 5.0	UTILITY PLAN
PS 5.1	LIGHTING PLAN
PS 5.2	LIGHTING DETAILS
PS 6.0	LANDSCAPE PLAN
PS 7.0	SITE DETAILS
PS 7.1	SITE DETAILS
PS 7.2	SITE DETAILS
PS 7.3	SITE DETAILS

FLOODPLAIN NOTE:

THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 37200785006 DATED JULY 18, 2022.

TREE CONSERVATION EXEMPTION:

TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.1.2)

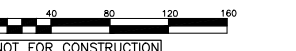
SITE DATA SUMMARY

PROJECT NAME:	RED GROVE PLACE
FIN:	0783-49-6008
SITE ADDRESS:	711 GROVE AVENUE
EXISTING SITE ACREAGE:	50,603 SF, /1.16 AC.
RIGHT OF WAY DEDICATION:	839 SF, /0.02 AC.
NET SITE ACREAGE:	49,764 SF, /1.14 AC.
NET SITE AREA/UNIT:	4,496 SF.
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-6
OVERLAY DISTRICT:	SRPOD
RIVER BASIN:	WALNUT CREEK
CURRENT USE:	NEUSE
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
MAX. BUILDING HEIGHT:	30'
NUMBER OF BUILDINGS:	5
NUMBER OF UNITS (30 MAX):	11 UNITS
DUPLEX UNIT SIZE:	44' x 16'-2"
TRIPLEX UNIT SIZE:	28' x 23'-4"
PARKING PROVIDED:	20 SPACES
BUILDING SETBACKS:	
FROM PRIMARY STREET (MIN):	10'
FROM SIDE STREET (MIN):	10'
FROM SIDE SITE LOT LINE (MIN):	10'
FROM REAR SITE LOT LINE (MIN):	20'
FROM ALLEY (MIN):	4' OR 20' MIN.
INTERNAL BUILDING SEPARATION (MIN):	10'
PARKING SETBACKS:	
FROM PRIMARY STREET (MIN):	20'
FROM SIDE STREET (MIN):	10'
FROM SIDE LOT LINE (MIN):	0'
FROM REAR LOT LINE (MIN):	3'
FROM ALLEY (MIN):	0'
OUTDOOR AMENITY AREA REQUIRED:	4,976 SF. (10%)
OUTDOOR AMENITY AREA PROVIDED:	7,681 SF. (15.4%)
DISTURBED AREA:	51,820 SF, /1.19 AC.



COVER SHEET

SCALE: 1" = 40' (DRAWING SCALES FOR 24x36 INCH PLOTS)



[NOT FOR CONSTRUCTION]

THE SITE GROUP, PLLC
 CIVIL ENGINEERS, LANDSCAPE ARCHITECTS
 1111 Oberlin Road
 Raleigh, NC 27605
 Office: 919-835-4787
 Mobile: 919-839-2255
 E-Mail: bdm@theitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 711 GROVE AVENUE
 RALEIGH, NC 27608

Drawn By: JHJ
 Checked By: BDM

DATE: 22 FEB 2023
 REVISED:
 21 AUG 2023
 15 DEC 2023
 06 MAR 2024

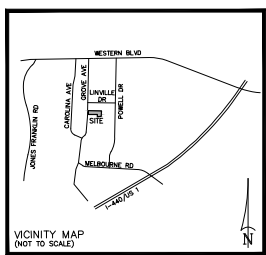
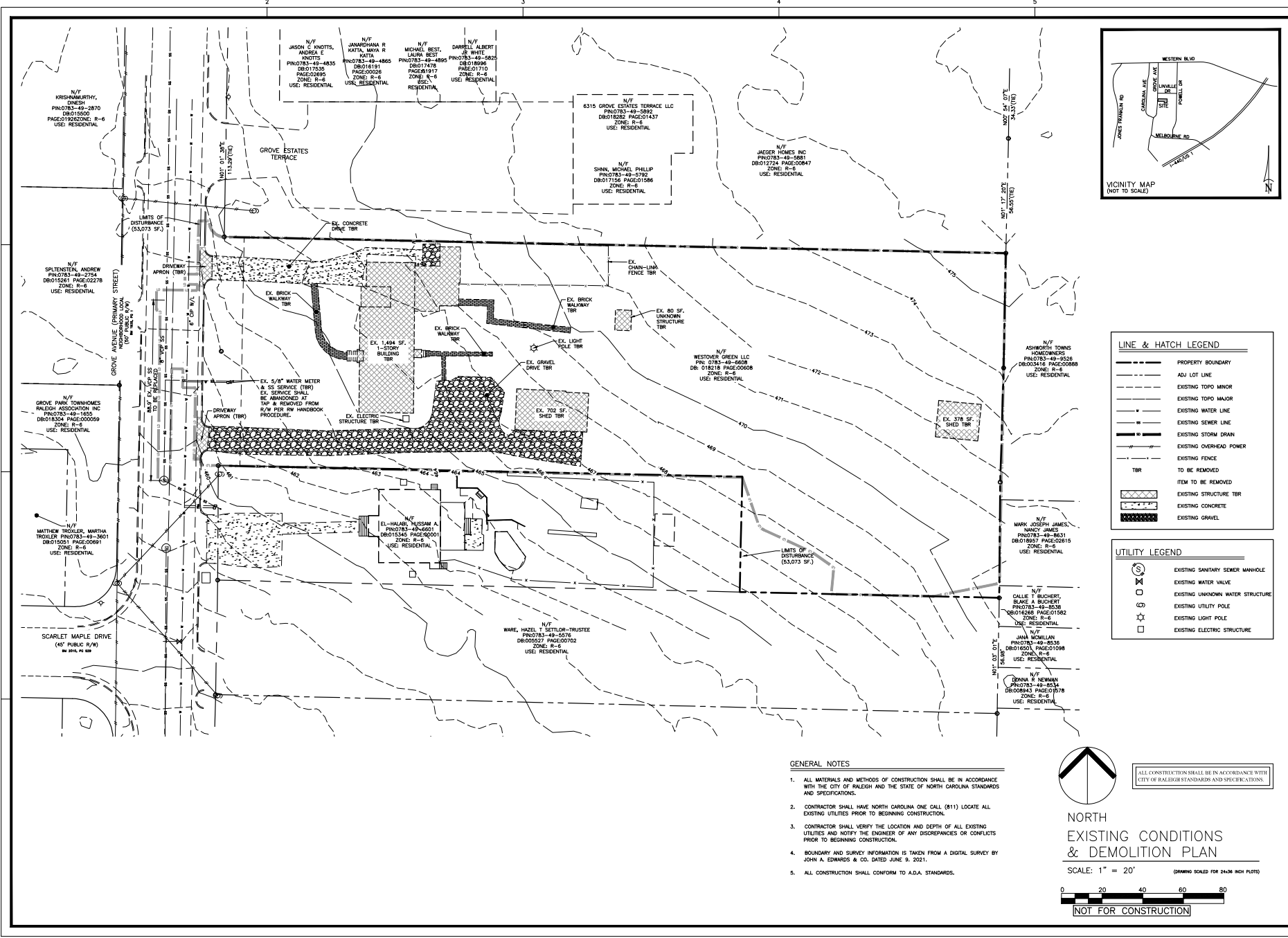
PRELIMINARY SUBDIVISION

COVER SHEET

Job Code: WNGABA

Dwg No.: PS 1.0

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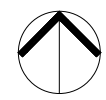
LINE & HATCH LEGEND

---	PROPERTY BOUNDARY
---	ADJ LOT LINE
---	EXISTING TOPO MINOR
---	EXISTING TOPO MAJOR
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN
---	EXISTING OVERHEAD POWER
---	EXISTING FENCE
TBR	TO BE REMOVED
---	ITEM TO BE REMOVED
---	EXISTING STRUCTURE TBR
---	EXISTING CONCRETE
---	EXISTING GRAVEL

UTILITY LEGEND

⊗	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING WATER VALVE
⊙	EXISTING UNKNOWN WATER STRUCTURE
⊖	EXISTING UTILITY POLE
⊛	EXISTING LIGHT POLE
⊠	EXISTING ELECTRIC STRUCTURE

- GENERAL NOTES**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY JOHN A. EDWARDS & CO. DATED JUNE 9, 2021.
 5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.



NORTH
**EXISTING CONDITIONS
 & DEMOLITION PLAN**

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



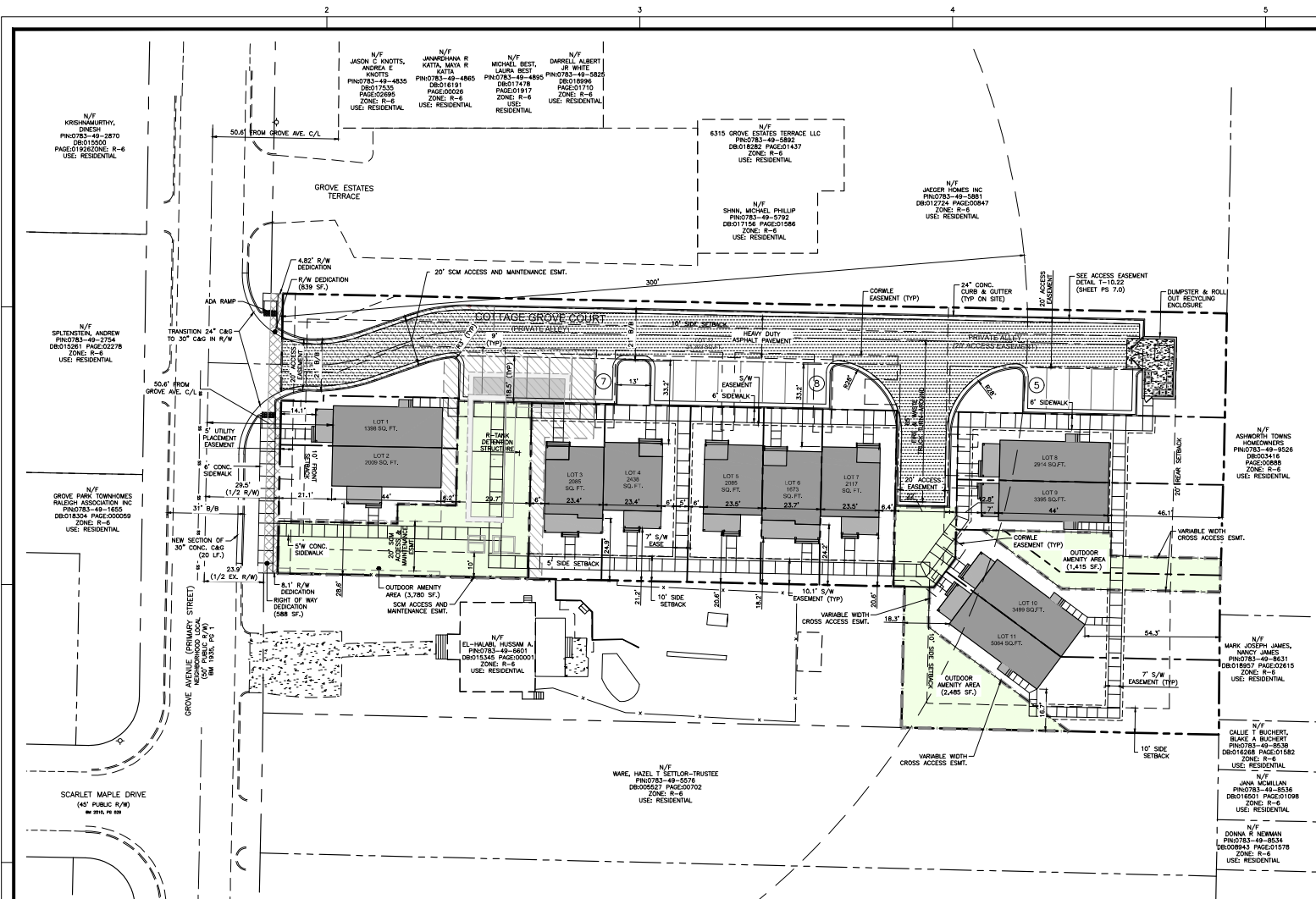
[NOT FOR CONSTRUCTION]

THE SITE GROUP
 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1111 Obelisk Road
 Raleigh, NC 27605
 Phone: 919.850.4787
 Fax: 919.850.4787
 E-Mail: info@thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 111 GROVE AVENUE
 RALEIGH, NC 27606

Drawn By: RLA
 Checked By: BDM
 DATE: 22 FEB 2023
 REVISED:
 Δ 02 JUN 2023
 Δ 21 AUG 2023
 Δ 15 DEC 2023
 Δ 06 MAR 2024

CONSTRUCTION DOCUMENTS
 EXISTING CONDITIONS & DEMOLITION PLAN
 Job Code: WNGABA
 Dwg No.: PS 2.0



SITE DATA SUMMARY	
PROJECT NAME:	RED GROVE PLACE
PERM:	0783-49-608
SITE ADDRESS:	711 GROVE AVENUE
EXISTING SITE ACREAGE:	50,603 SF./1.16 AC.
RIGHT OF WAY DEDICATION:	839 SF./0.02 AC.
NET SITE ACREAGE:	49,764 SF./1.14 AC.
NET SITE AREA/UNIT:	4,496 SF.
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-6
OVERLAY DISTRICT:	SRPOD
WATERSHED:	NEUSE
RIVER BASIN:	WALNUT CREEK
CURRENT USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	TOWNHOMES
MAX. BUILDING HEIGHT:	30'
NUMBER OF BUILDINGS:	5
NUMBER OF UNITS (30 MAX):	11 UNITS
DUPLEX UNIT SIZE:	44' x 16'-2"
TRIPLEX UNIT SIZE:	28' x 23'-6"
PARKING PROVIDED:	20 SPACES
BUILDING SETBACKS:	
FROM PRIMARY STREET (MIN):	10'
FROM SIDE STREET (MIN):	10'
FROM SIDE LOT LINE (MIN):	10'
FROM REAR SITE LOT LINE (MIN):	20'
FROM ALLEY (MIN):	4' OR 20' MIN.
INTERNAL BUILDING SEPARATION (MIN):	
PARKING SETBACKS:	
FROM PRIMARY STREET (MIN):	20'
FROM SIDE STREET (MIN):	20'
FROM SIDE LOT LINE (MIN):	0'
FROM REAR LOT LINE (MIN):	3'
FROM ALLEY (MIN):	4'
OUTDOOR AMENITY AREA REQUIRED:	4,978 SF. (10%)
OUTDOOR AMENITY AREA PROVIDED:	7,681 SF. (15.4%)
DISTURBED AREA:	51,920 SF./1.19 AC.

THE SITE GROUP, PLLC
 CIVIL ENGINEERS, LANDSCAPE ARCHITECTS
 1111 Oberlin Road
 Durham, NC 27604
 Phone: 919.450.4787
 Email: thesitegroup@nc.rr.com

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 711 GROVE AVENUE
 RALEIGH, NC 27606

Drawn By: RLA
 Checked By: BDM
 DATE: 22 FEB 2023
 REVISED:
 02 JUN 2023
 21 AUG 2023
 15 DEC 2023
 06 MAR 2024
 29 APR 2024

CONSTRUCTION DOCUMENTS
 SITE LAYOUT PLAN

Job Code: WNGABA
 Dwg No.: PS 3.0

LINE & HATCH LEGEND	
	PROPERTY BOUNDARY
	ADJ. LOT LINE
	SETBACK LINE
	HEAVY DUTY ASPHALT PAVEMENT
	OUTDOOR AMENITY AREA
	RIGHT OF WAY DEDICATED

- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY JOHN A. EDWARDS & CO. DATED JUNE 8, 2021.
 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

INFILL LOT COMPLIANCE:
 THE SUBJECT LOT QUALIFIES AS AN INFILL LOT AND MUST MEET THE REQUIREMENTS SET FORTH IN LDCO SEC. 22.7.2.1.6. THE COMPARATIVE SAMPLE BEING USED TO MEET THIS REQUIREMENT IS PN 0783-49-4835. THE BUILDING ON THIS PROPERTY IS LOCATED 50.4 LF FROM THE CENTERLINE OF GROVE AVENUE. THIS SETBACK HAS BEEN MATCHED WITH THE PROPOSED BUILDING.

FLOODPLAIN NOTE:
 THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 22202026006, DATED JULY 18, 2022.

TREE CONSERVATION EXEMPTION:
 TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH LDCO SECTION 9.1.2)



SITE LAYOUT PLAN

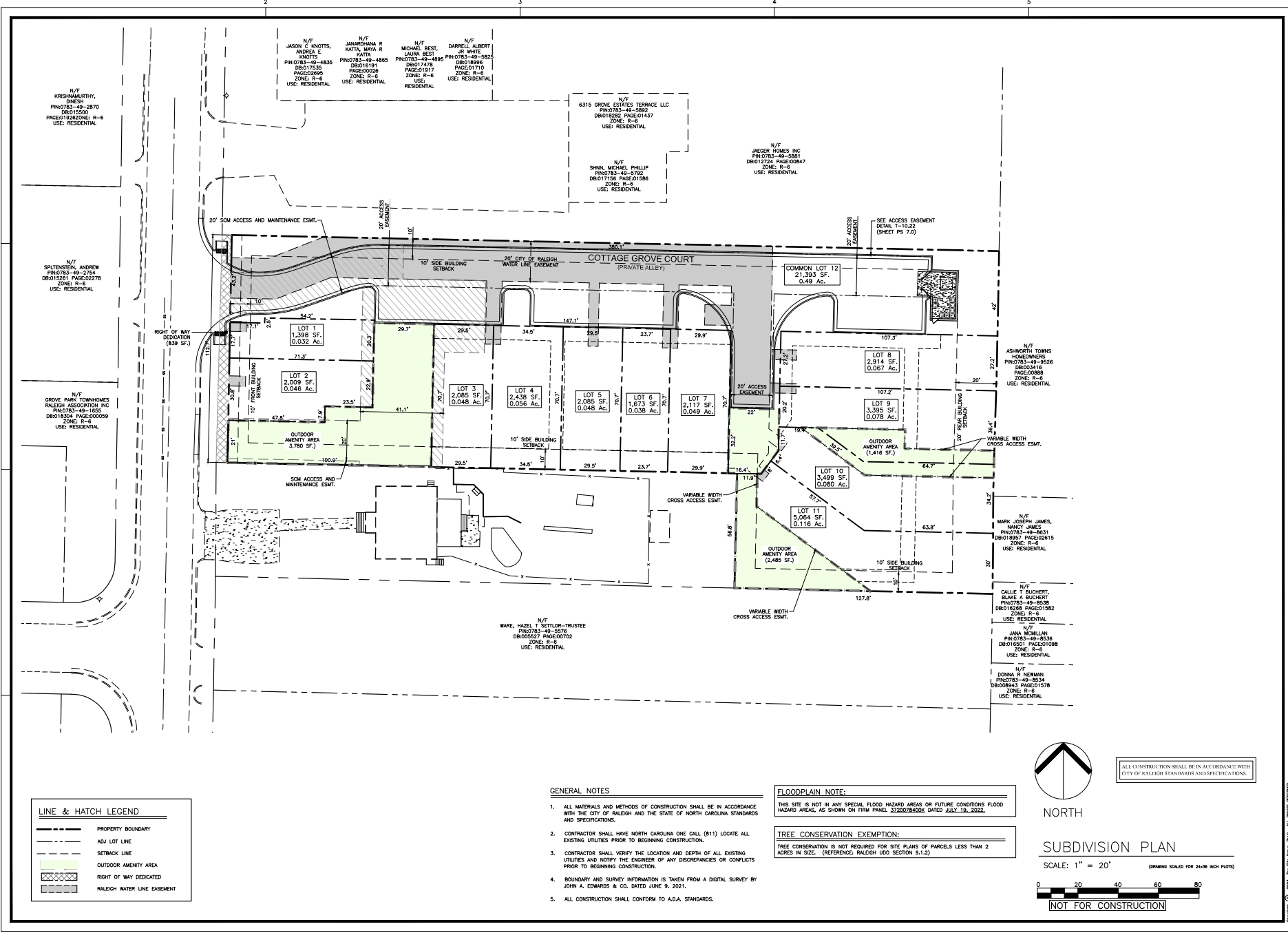
SCALE: 1" = 20'



NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

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LINE & HATCH LEGEND

	PROPERTY BOUNDARY
	ADJ. LOT LINE
	SETBACK LINE
	OUTDOOR AMENITY AREA
	RIGHT OF WAY DEDICATED
	RALEIGH WATER LINE EASEMENT

- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY JOHN A. EDWARDS & CO. DATED JUNE 9, 2021.
 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

FLOODPLAIN NOTE:
THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 2720078400C DATED JULY 19, 2022.

TREE CONSERVATION EXEMPTION:
TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH USE SECTION 9.1.2)

NORTH

SUBDIVISION PLAN

SCALE: 1" = 20'
(DRAWING SCALED FOR 24X36 INCH PLOTS)

0 20 40 60 80

NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

THE SITE GROUP
CIVIL ENGINEERS LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC
1111 Obelisk Road
Raleigh, NC 27605
Phone: 919.850.4787
Fax: 919.850.4787
E-Mail: info@thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
111 GROVE AVENUE
RALEIGH, NC 27606

Drawn By: RLA
Checked By: BDM

DATE:
22 FEB 2023
REVISED:
02 JUN 2023
21 AUG 2023
15 DEC 2023
06 MAR 2024
29 APR 2024

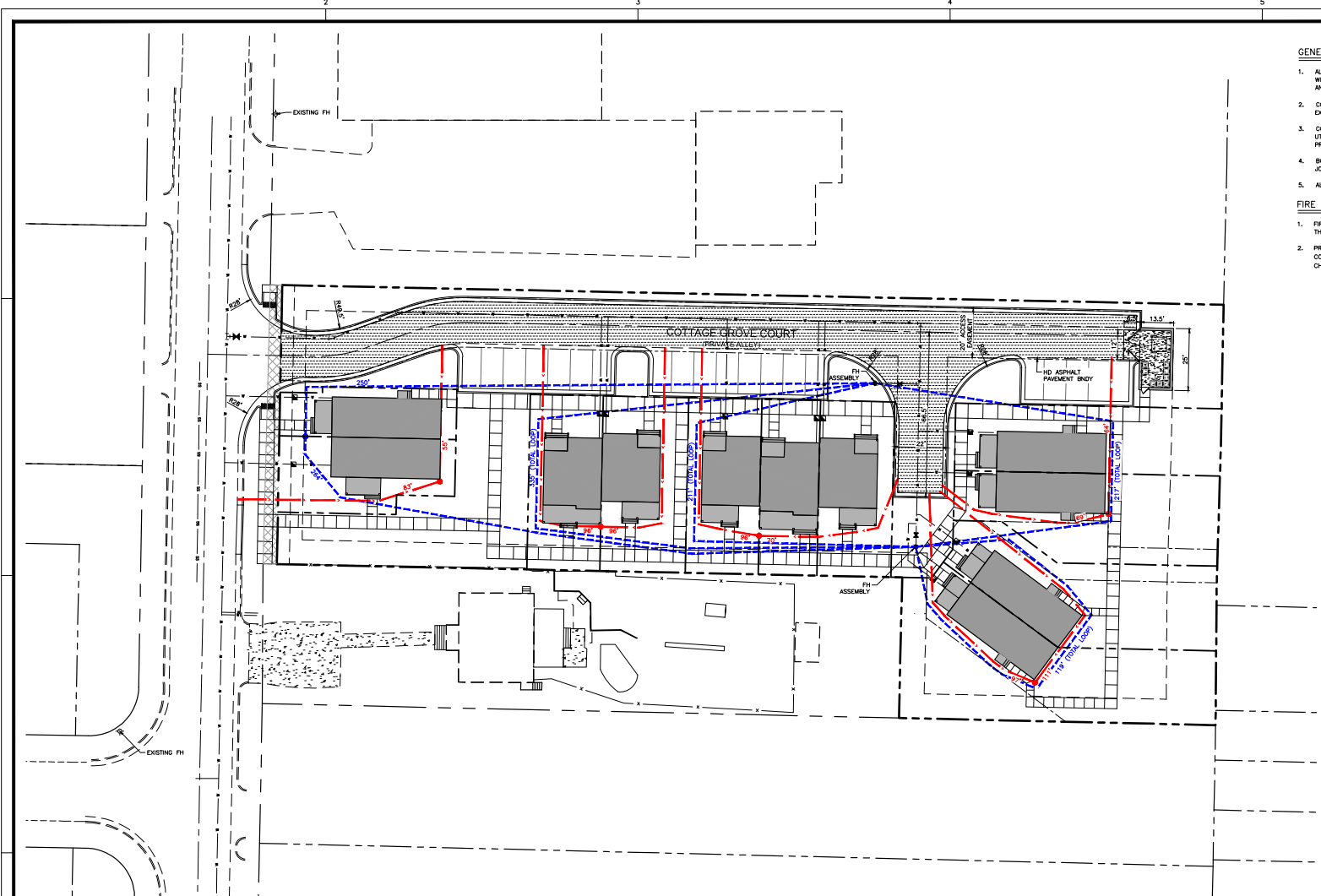
CONSTRUCTION DOCUMENTS

SUBDIVISION PLAN

Job Code: WNGABA

Dwg No.: PS 3.1

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- GENERAL NOTES**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY JOHN A. EDWARDS & CO. DATED JUNE 9, 2021.
 5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- FIRE PROTECTION NOTES**
1. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE 2018 NFPA SECTION 907.3.
 2. PROJECT MUST COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION (CHAPTER 33, 2018 N.C.F.A. NFPA 241 AND CHAPTER 33, 2018 N.C.B.C.)

LINE & HATCH LEGEND

	PROPERTY BOUNDARY
	ADJ LOT LINE
	SETBACK LINE
	HEAVY DUTY ASPHALT PAVEMENT
	OUTDOOR AMENITY AREA
	RIGHT OF WAY DEDICATED
	HOSE LAY TO FIRE APPARATUS
	HOSE LAY TO FIRE HYDRANT

FLOODPLAIN NOTE:
THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 2220278400R DATED JULY 19, 2022.

TREE CONSERVATION EXEMPTION:
TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDD SECTION 9.1.2)

NORTH

FIRE ACCESS PLAN
 SCALE: 1" = 20'
(DRAWING SCALED FOR 24x36 INCH PLOTS)

NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

THE SITE GROUP
 CIVIL ENGINEERS LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1111 Obelisk Road
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 Office: 919.850.4787
 E-Mail: info@thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 11 GROVE AVENUE
 RALEIGH, NC 27606

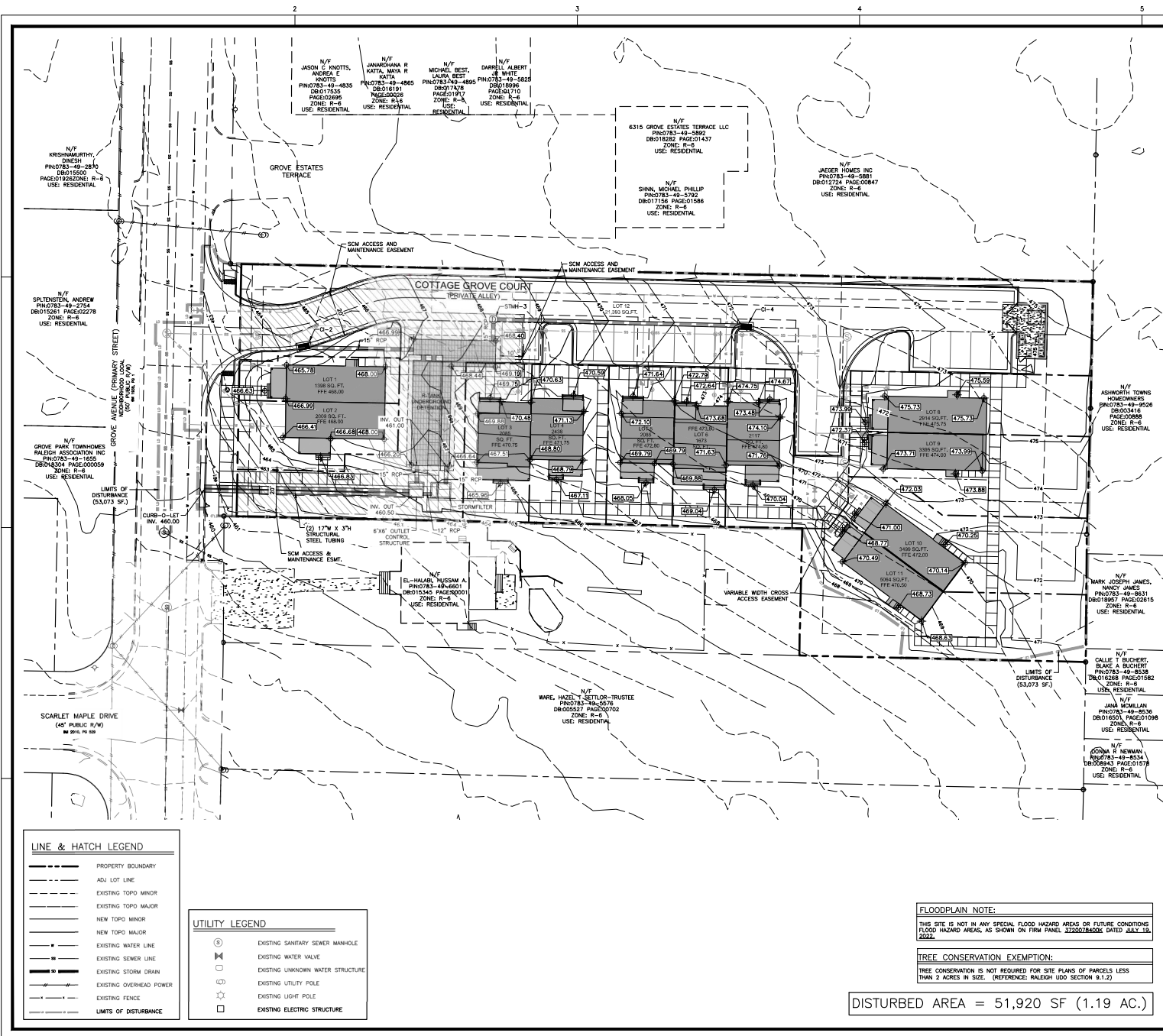
Drawn By	RLA
Checked By	BDM

DATE:
 21 AUG 2023
 REVISED:
 15 DEC 2023
 06 MAR 2024

CONSTRUCTION DOCUMENTS

FIRE ACCESS PLAN
 Job Code: WNGABA
 Dwg No.: PS
 3.2

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GRADING NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OR ANY DISCREPANCIES OR CONFLICTS.
3. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
5. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
6. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
7. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY JOHN A EDWARDS & CO. DATED JUN 9, 2021.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

CURB OUTLET NOTES

1. A "CURB-0-LET" OR EQUAL WILL BE PROVIDED FOR DRAINAGE TO GROVE AVENUE. SEE DETAIL SHEET R.S. 7.1.
2. IF A CURB-0-LET IS UNAVAILABLE "AN EQUAL" WOULD INCLUDE 0" CURB BORES WITH A MAX OF 3", EXTENDING AT LEAST 3' BEYOND THE BACK OF CURB OR 1' BEYOND THE EDGE OF SIDEWALK. MULTIPLE BORES WILL BE SEPARATED BY A MIN 1", AND ANY BORES WILL BE 1' AWAY FROM AN EXPANSION JOINT AND 6" FROM AN INTERSECTION RADII.

LINE & HATCH LEGEND

---	PROPERTY BOUNDARY
---	ADJ. LOT LINE
---	EXISTING TOPO MINOR
---	EXISTING TOPO MAJOR
---	NEW TOPO MINOR
---	NEW TOPO MAJOR
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN
---	EXISTING OVERHEAD POWER
---	EXISTING FENCE
---	LIMITS OF DISTURBANCE

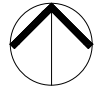
UTILITY LEGEND

⊙	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING WATER VALVE
○	EXISTING UNKNOWN WATER STRUCTURE
⊙	EXISTING UTILITY POLE
⊙	EXISTING LIGHT POLE
□	EXISTING ELECTRIC STRUCTURE

FLOODPLAIN NOTE:
THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 37220784000, DATED JULY 19, 2022.

TREE CONSERVATION EXEMPTION:
TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDD SECTION 9.1.2)

DISTURBED AREA = 51,920 SF (1.19 AC.)



**NORTH
GRADING
& DRAINAGE PLAN**

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)

NOT FOR CONSTRUCTION

THE SITE GROUP
CIVIL ENGINEERS, LANDSCAPE ARCHITECTS
1111 Oberlin Road
Durham, NC 27604
Office: 919.485.9787
E-mail: burt@thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
111 GROVE AVENUE
RALEIGH, NC 27606

Drawn By: RLA
Checked By: BDM

DATE:
22 FEB 2023
REVISED:
02 JUN 2023
21 AUG 2023
15 DEC 2023
06 MAR 2024
29 APR 2024

CONSTRUCTION DOCUMENTS

GRADING & DRAINAGE PLAN

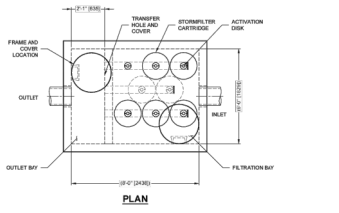
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Dwg No. PS 4.0

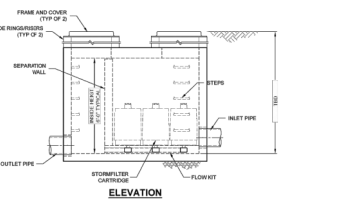
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STORMFILTER DESIGN NOTES

- 1. STORMFILTER TREATMENT CAPACITY BASED BY CATCHMENT COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE.
- 2. ALL PARTS AND INTERNAL ASSEMBLY PROCESSED BY CONTECH UNLESS NOTED OTHERWISE.



RED GROVE PLACE	
RALEIGH, NC 27608-5548	
CATCHMENT HEIGHT SEE TABLE 2008.1	
NUMBER OF CARTRIDGES REQUIRED	
SEE TYPE	PHYSICAL REQUIREMENTS
NOTES: CONTRACTOR REQUIREMENTS	

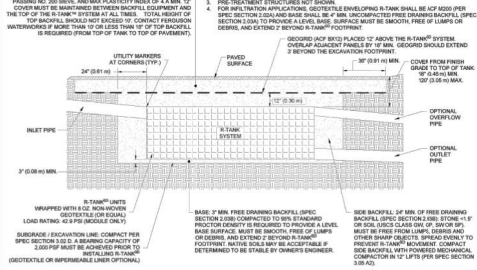


- PERFORMANCE SPECIFICATION**
1. FILTER MEDIA SHALL BE MEDIA FILLED, PNEUMATICALLY ACTIVATED, RADIAL FLOW AND SELF-CLEANING. RADIAL MEDIA WITH SPHERICAL MEDIA SHALL BE USED. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 18 SECONDS. SPECIFIC FLOW RATE SHALL BE 1.0 GPM/FT².
 2. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 3. DIMENSIONS SHOWN SHALL BE UNLESS OTHERWISE SPECIFIED. ACTUAL DIMENSIONS MAY VARY.
 4. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND HEIGHTS, PLEASE CONTACT YOUR CONTRACT REPRESENTATIVE.
 5. STORMFILTER WITH DOUBLE STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO COORDINATE STRUCTURE WITH NEAREST EXISTING UTILITY OR PROPERTY LINE AND DETERMINE ELEVATION AS OF RECORD. THE OUTLET PIPE INVERT ELEVATION, DIMENSION OF RECORD TO COMPLY WITH ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL BE FURNISHED HERE AND BE CAST WITH THE CONCRETE LOGS.
- INSTALLATION NOTES**
1. SET FILTER BACKFILL DEPTH AND ANCHOR ANTI-VIBRATION PROVISIONS AS PER SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
 3. CONTRACTOR TO INSTALL JOINT BEGARS BETWEEN ALL SECTIONS AND HOLES THROUGH STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GRUNT PIPES. MATCH OUTLET PIPES INVERT WITH OUTLET BAY FLOOR.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION RELATED BRUSH RUNOFF.
 6. CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

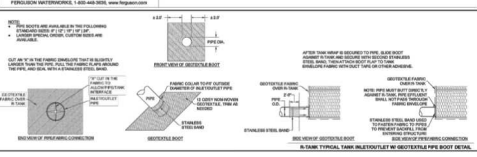
CONTECH
ENGINEERED SOLUTIONS LLC
808 Gates Road, Suite 100, Raleigh, NC 27608
919.876.2200 FAX 919.876.2201

SF0608 (6' x 8')
FULL HEIGHT BAFFLE STORMFILTER VAULT

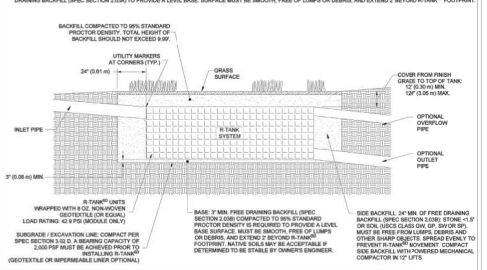
R-TANK^{HD} HS-20 LOADS - SECTION VIEW



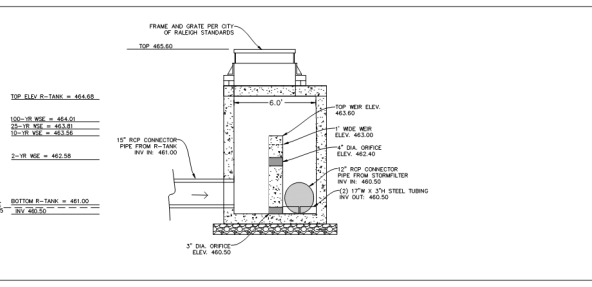
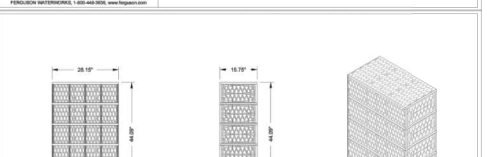
FERGUSON WATERWORKS
R-TANK^{HD} HS-20 LOADS - SECTION VIEW



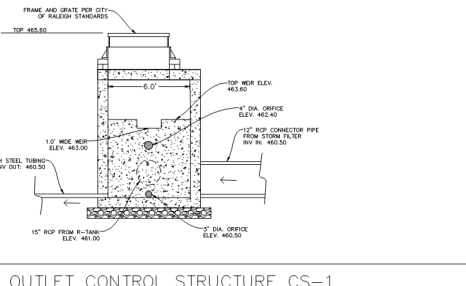
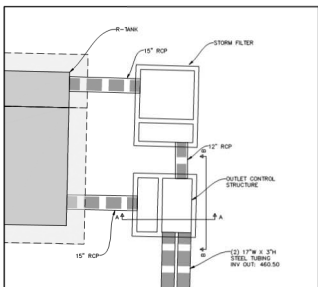
R-TANK^{HD} GREEN SPACE - SECTION VIEW (NON-TRAFFIC)



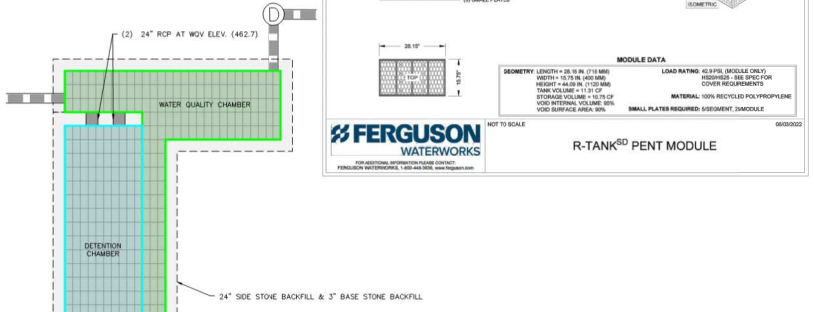
FERGUSON WATERWORKS
R-TANK^{HD} GREEN SPACE - SECTION VIEW (NON-TRAFFIC)



OUTLET CONTROL STRUCTURE CS-1 SECTION A-A (N.T.S.)



OUTLET CONTROL STRUCTURE CS-1 SECTION B-B (N.T.S.)



MODULE DATA

SECURITY LENGTH = 28.10 IN (718 MM)	LOAD RATING 40.5 PSL (MODULE ONLY)
HEIGHT = 44.00 IN (1118 MM)	HEIGHTS - SEE SPEC FOR COVER REQUIREMENTS
WIDTH = 44.00 IN (1118 MM)	MATERIAL 100% RECYCLED POLYPROPYLENE
TANK VOLUME = 11.77 CU YD	SMALL PLATES REQUIRED 100% DMC/UC
STORAGE VOLUME = 10.75 CU YD	
VOID SURFACE AREA 90%	

FERGUSON WATERWORKS
R-TANK^{HD} PENT MODULE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

THE SIDE GROUP
CIVIL ENGINEERS, LANDSCAPE ARCHITECTS

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
711 GROVE AVENUE
RALEIGH, NC 27606

Drawn By: RLA
Checked By: BDM

DATE: 22 FEB 2023
REVISED:
02 JUN 2023
21 AUG 2023
15 DEC 2023
06 MAR 2024
29 APR 2024

CONSTRUCTION DOCUMENTS

SCM DETAILS

Job Code: WNGABA

Dwg No.: PS 4.1

N/F
KRISHNAURTHY, DINESH
PNC0783-49-2870
DB010500
PAGE010500
ZONE: R-6
USE: RESIDENTIAL

N/F
SPLTENSTEIN, ANDREW
PNC0783-49-2754
DB010261 PAGE02278
ZONE: R-6
USE: RESIDENTIAL

N/F
GROVE PARK TOWNHOMES
RALEIGH ASSOCIATION INC.
PNC0783-49-1655
DB010354 PAGE03059
ZONE: R-6
USE: RESIDENTIAL

N/F
SHIN, MICHAEL PHILIP
PNC0783-49-5792
DB017156 PAGE01566
ZONE: R-6
USE: RESIDENTIAL

N/F
JAESER HOMES INC
PNC0783-49-5481
DB010224 PAGE02044
ZONE: R-6
USE: RESIDENTIAL

N/F
ASHWORTH TOWNS
HOMEOWNERS
PNC0783-49-8526
DB030416
PAGE030498
ZONE: R-6
USE: RESIDENTIAL

N/F
MARK JOSEPH JAMES,
NANCY JAMES
PNC0783-49-8631
DB010367 PAGE03615
ZONE: R-6
USE: RESIDENTIAL

N/F
CALLIE BUCHERT,
BLAKE A BUCHERT
PNC0783-49-8038
DB010268 PAGE01082
ZONE: R-6
USE: RESIDENTIAL

N/F
JANA MCILLIAN
PNC0783-49-8534
DB010251 PAGE01098
ZONE: R-6
USE: RESIDENTIAL

N/F
DONNA R NEWMAN
PNC0783-49-8534
DB000843 PAGE01578
ZONE: R-6
USE: RESIDENTIAL

N/F
WARE, HAZEL L SETTLOR-TRUSTEE
PNC0783-49-5976
DB000557 PAGE00502
ZONE: R-6
USE: RESIDENTIAL

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY JOHN A. EDWARDS & CO. DATED JUNE 9, 2021.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

LINE & HATCH LEGEND

	PROPERTY BOUNDARY
	ADJ LOT LINE
	EXISTING TOPO MINOR
	EXISTING TOPO MAJOR
	NEW WATER LINE
	EXISTING SEWER LINE
	NEW SEWER LINE
	NEW STORM DRAIN
	EXISTING STORM DRAIN
	EXISTING OVERHEAD POWER
	EXISTING FENCE

UTILITY LEGEND

	EXISTING SANITARY SEWER MANHOLE
	NEW SANITARY SEWER MANHOLE
	EXISTING WATER VALVE
	NEW WATER VALVE
	EXISTING UNKNOWN WATER STRUCTURE
	EXISTING LIGHT POLE
	NEW LIGHT POLE
	EXISTING ELECTRIC STRUCTURE

STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS
 - A) A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS; HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25 FROM A PRIVATE WELL OR 50 FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10, IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18 ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCHAMMENT EXTENDED 10 ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0 MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18 MIN. VERTICAL SEPARATION AT ALL WATERMAIN & ROP STORM DRAIN CROSSINGS; MAINTAIN 24 MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6 MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18 MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS; 4.0 MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
7. IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TAP AT MAN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
8. INSTALL 1/2 COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT, NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SITE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MINIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0 ABOVE THE NEXT UPSTREAM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
12. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOR PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT, CONTACT (919) 996-4516 OR FORB@RALEIGHNC.GOV FOR MORE INFORMATION.
14. PREVENTION OF POLLUTION PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA, THESE GUIDELINES ARE THE MINIMUM CROSS-CONNECTION CONTROL PROGRAM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT, CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

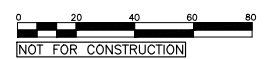


NORTH

UTILITY PLAN

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

THE SITE GROUP
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PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
111 GROVE AVENUE
RALEIGH, NC 27606

Drawn By: RLA
Checked By: SRN

DATE: 22 FEB 2023
REVISED:
21 AUG 2023
15 DEC 2023
06 MAR 2024
29 APR 2024

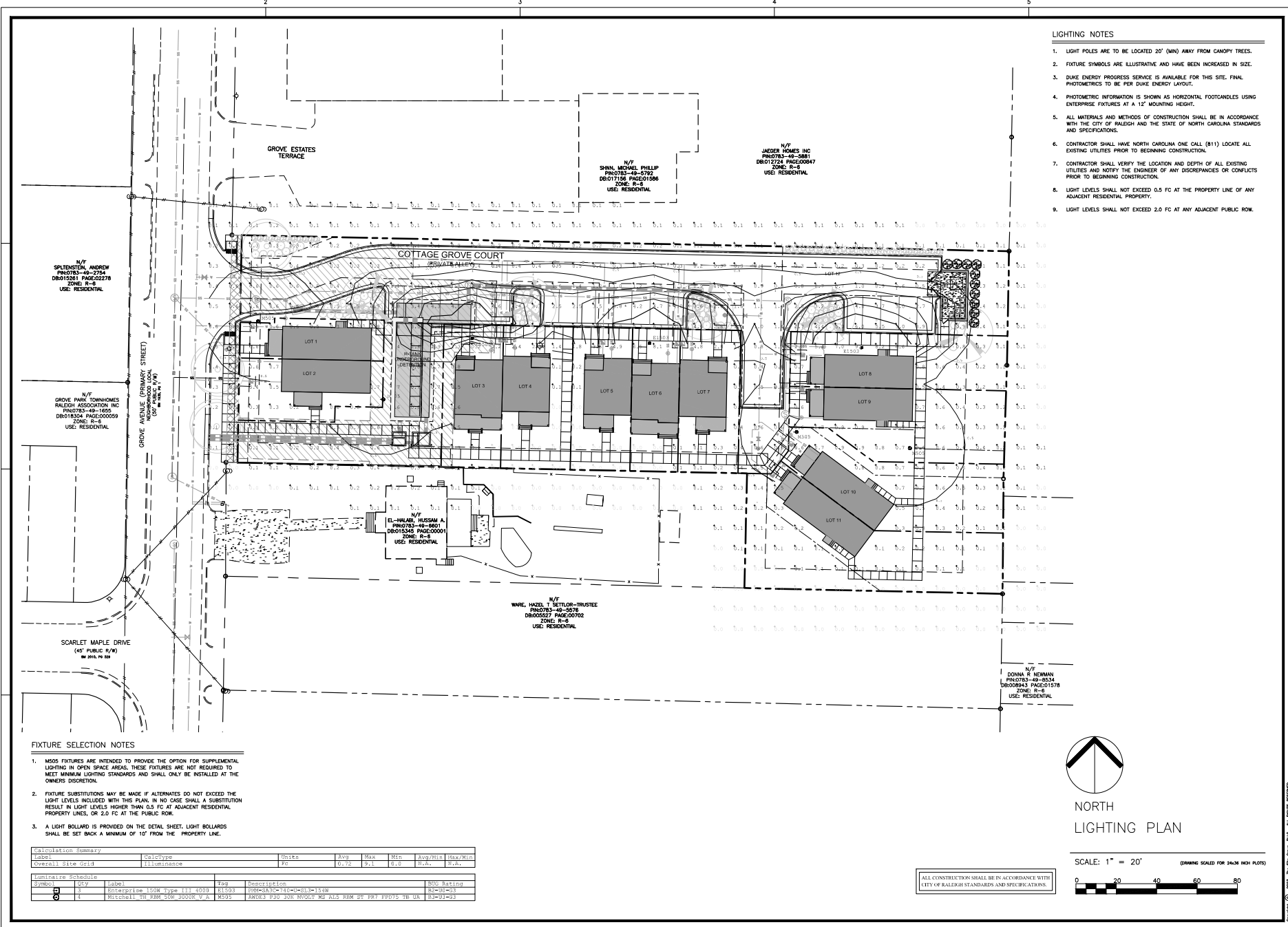
CONSTRUCTION DOCUMENTS

UTILITY PLAN

Job Code: WNGABA

Dwg No. PS 5.0

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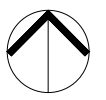
- LIGHTING NOTES**
1. LIGHT POLES ARE TO BE LOCATED 20' (MIN) AWAY FROM CANOPY TREES.
 2. FIXTURE SYMBOLS ARE ILLUSTRATIVE AND HAVE BEEN INCREASED IN SIZE.
 3. DUKE ENERGY PROGRESS SERVICE IS AVAILABLE FOR THIS SITE. FINAL PHOTOMETRICS TO BE PER DUKE ENERGY LAYOUT.
 4. PHOTOMETRIC INFORMATION IS SHOWN AS HORIZONTAL FOOTCANDLES USING ENTERPRISE FIXTURES AT A 12' MOUNTING HEIGHT.
 5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 6. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 7. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 8. LIGHT LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE OF ANY ADJACENT RESIDENTIAL PROPERTY.
 9. LIGHT LEVELS SHALL NOT EXCEED 2.0 FC AT ANY ADJACENT PUBLIC ROW.

- FIXTURE SELECTION NOTES**
1. MS05 FIXTURES ARE INTENDED TO PROVIDE THE OPTION FOR SUPPLEMENTAL LIGHTING IN OPEN SPACE AREAS. THESE FIXTURES ARE NOT REQUIRED TO MEET MINIMUM LIGHTING STANDARDS AND SHALL ONLY BE INSTALLED AT THE OWNERS DISCRETION.
 2. FIXTURE SUBSTITUTIONS MAY BE MADE IF ALTERNATES DO NOT EXCEED THE LIGHT LEVELS INCLUDED WITH THIS PLAN. IN NO CASE SHALL A SUBSTITUTION RESULT IN LIGHT LEVELS HIGHER THAN 0.5 FC AT ADJACENT RESIDENTIAL PROPERTY LINES, OR 2.0 FC AT THE PUBLIC ROW.
 3. A LIGHT BOLLARD IS PROVIDED ON THE DETAIL SHEET. LIGHT BOLLARDS SHALL BE SET BACK A MINIMUM OF 10' FROM THE PROPERTY LINE.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Overall Site Grid	ILLUMINANCE	FC	0.12	0.1	0.0	N/A

Luminaire Schedule						
Symbol	Qty	Label	Tag	Description	NSC	Relief
1	3	Enterprise 150W Type III 4000	R1503	150W-3A3C-710-0-281.2-114W	S2-III-03	
2	1	Mitchell 20' PBR 200' 2000K V.A.	M205	200W-2 P20 200' MOUNT NS A15 RBM OF PRT FPD12 20' GA	S1-III-03	

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



**NORTH
LIGHTING PLAN**

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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 Fax: 919.850.4727
 E-Mail: bs@thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 711 GROVE AVENUE
 RALEIGH, NC 27606

Drawn By: RLA
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PRELIMINARY SUBDIVISION

LIGHTING PLAN

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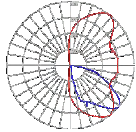
Dwg No. PS 5.1

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BEGA

Product Name: BEGA_BEGA_02101

TEST: BE_000004
 TEST LAB: SCS
 DATE: 10/20/19
 LABORATORY: SCS
 LAMP: TUV LED



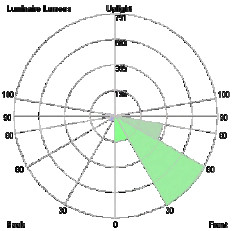
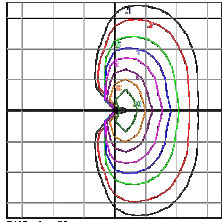
Characteristics

LED Classification	Type III
Longitudinal Classification	New Street
Luminaire Pole Lamp	N.A. (S0208)
Luminaire Lumens	N.A. (S0208)
Downward Total Efficacy	N.A.
Total Luminaire Efficacy	N.A.
Luminaire Efficiency Rating (LFR)	67
Rated Luminaire Watts	14.5
Ballast Power	1.00
Unrated Luminaire Watts	5.00
Min. C _d	804.3 (1181) (50V)
Min. C _d (400 Watt)	804.3 (1181) (50V)
Min. C _d (240 Watt)	17.0 (1541)
Min. C _d (30 to 400 Watt)	19.0 (1711)
Color Classification (S0208)	N.A. (S0208)

Lum. Classification System (LCS)

Lum. Class	Lumens	Wattage	Watt/Lm
L1 (S0208)	164.4	N.A.	18.3
M1 (S0208)	160.6	N.A.	18.2
M2 (S0208)	286.7	N.A.	32.4
M3 (S0208)	12.4	N.A.	1.8
M4 (S0208)	19.0	N.A.	2.8
M5 (S0208)	42.8	N.A.	5.8
M6 (S0208)	95.2	N.A.	1.3
M7 (S0208)	0.6	N.A.	0.1
M8 (S0208)	0.1	N.A.	0.0
M9 (S0208)	0.0	N.A.	0.0
Min.	1467.4	N.A.	100.0

LMW Rating: 80-01-01



Beam Spacing = 6 ft.

In the interest of product improvement, BEGA reserves the right to make technical changes without notice.
 BEGA, 8000 Kings Way, Chesham, CA 92519 (951)846-6222 Fax (951)846-6224 www.bega.com © Copyright BEGA-USA 2020

Standard LED luminaire - asymmetric BEGA

Application:
 All LED luminaire with adjustable luminaire distribution. Designed for standard street lighting applications, pathways, and open spaces. The luminaire design provides excellent center beam for uniform, gradual surfaces. Possible with mounting system that allows the luminaire to be adjusted independent of street lighting system.

Materials:
 Luminaire housing constructed of die-cast and extruded metal parts. Copper free ballast copper contact. Anodized aluminum alloy. Clear safety glass. High temperature silicone gaskets. Heat sink powder coated of heavy cast aluminum.

Notes: Refer to these alternative materials, finishes for standard luminaire.
 Photometric curve: P100
 Weight: 14.5 lbs.

Electrical:
 Operating voltage: 30-277VAC
 Minimum ambient temperature: 32°F
 Maximum ambient temperature: 87°C
 LED module wattage: 14.5W
 Ballast wattage: 1.0W
 Contactor: 8-10A
 Color rendering index: 80-90
 Luminaire lumens: 804.3 (1181) (50V)
 LED module life (L70): 60,000 hours

TYPE: BEGA Product
Package: ModBlock

Mounting Accessories:
 T802 Anchorage kit
 T803 Street ballast anchorage

Available options:
 P100 Anodized LED
 A100 Anodized LED
 P100 Anodized LED with integrated ballast
 P100 Anodized LED with integrated ballast and LED luminaire
 P100 Anodized LED with integrated ballast and LED luminaire and LED luminaire
 P100 Anodized LED with integrated ballast and LED luminaire and LED luminaire and LED luminaire



Standard LED luminaire - asymmetric

Beam Spacing: 12' 0" 15' 0" 18' 0" 21' 0"

Notes: BEGA reserves the right to make technical changes without notice. BEGA, 8000 Kings Way, Chesham, CA 92519 (951)846-6222 Fax (951)846-6224 www.bega.com © Copyright BEGA-USA 2020

Outdoor Lighting



MITCHELL TOP HAT LED

LED (Light-emitting diode)	60 WATT
Mounting height	12'
Color	Black
Pole	Aluminum Castable concrete Victorian concrete Washington concrete
Application	Highway/roadway Parks Shopping centers Streets

Light system: LED Luminaire

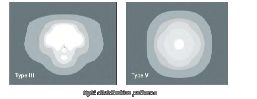
Medium: 20' width

Luminaire: 60 WATT

Light pattern: 200W Type III Type V

Light pattern classification: Street cutoff

Color temperature: 3,000K / 4,000K



POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12'	Black
Castable concrete	12'	Black, Gray-green
Victorian concrete	12'	Black, Gray

FEATURES	BENEFITS
Turnkey operation	Provides fast installation and service
Little or no installation cost	Free up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminate high and unexpected repair bills
One low monthly cost of your electric bill	Convenience and savings for you.

For additional information, contact us at 800.846.6222 or visit our website at www.bega.com

Outdoor Lighting ENTERPRISE LED



ENTERPRISE LED

LED (Light-emitting diode)	150 / 220 WATT
Mounting height	20' - 30'
Color	Black (Street) Castable Concrete (Street) Victorian Concrete (Street) Washington Concrete (Street)
Pole	Size A

BEGA cutoff classification: Full-cutoff

Color temperature: 3,000K / 4,000K

Medium: 20' width

Luminaire: 150 WATT

Light pattern: 200W Type III Type V

Light pattern classification: Street cutoff

Color temperature: 3,000K / 4,000K

FOOTCANDLE	WATT	LUMENS	PATTERN	ROAD WIDTH
Midway	150	16,000	III	22-UD-03
Midway	220	22,000	III	22-UD-03
Midway	220	22,000	III	22-UD-03
Midway	220	22,000	III	22-UD-03



POLE AVAILABLE	MOUNTING HEIGHT	FOUNDATION
Size A	12', 20', 25', 30'	Direct Burial, Anchor Base

Note: TYPICAL DUKE ENERGY ENTERPRISE CUTSHEET DOES NOT INCLUDE 50W FIXTURE. THIS CUTSHEET HAS BEEN MODIFIED PER FIXTURE SELECTED FOR PLAN.

For additional information, contact us at 800.846.6222 or visit our website at www.bega.com

BEGA Installation and Technical Information

Work Required:
 - Minimum height: 12' 0"
 - Maximum height: 30' 0"

Ordering Info:
 Luminaire: BEGA
 Luminaire: BEGA
 Pole: Size A

Notes to Installer:
 1. Verify all dimensions and specifications are correct.
 2. Verify all dimensions and specifications are correct.
 3. Verify all dimensions and specifications are correct.
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 Phone: 919.850.4787
 Email: info@thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 111 GROVE AVENUE
 RALEIGH, NC 27606

Drawn By: RLA
 Checked By: SRN

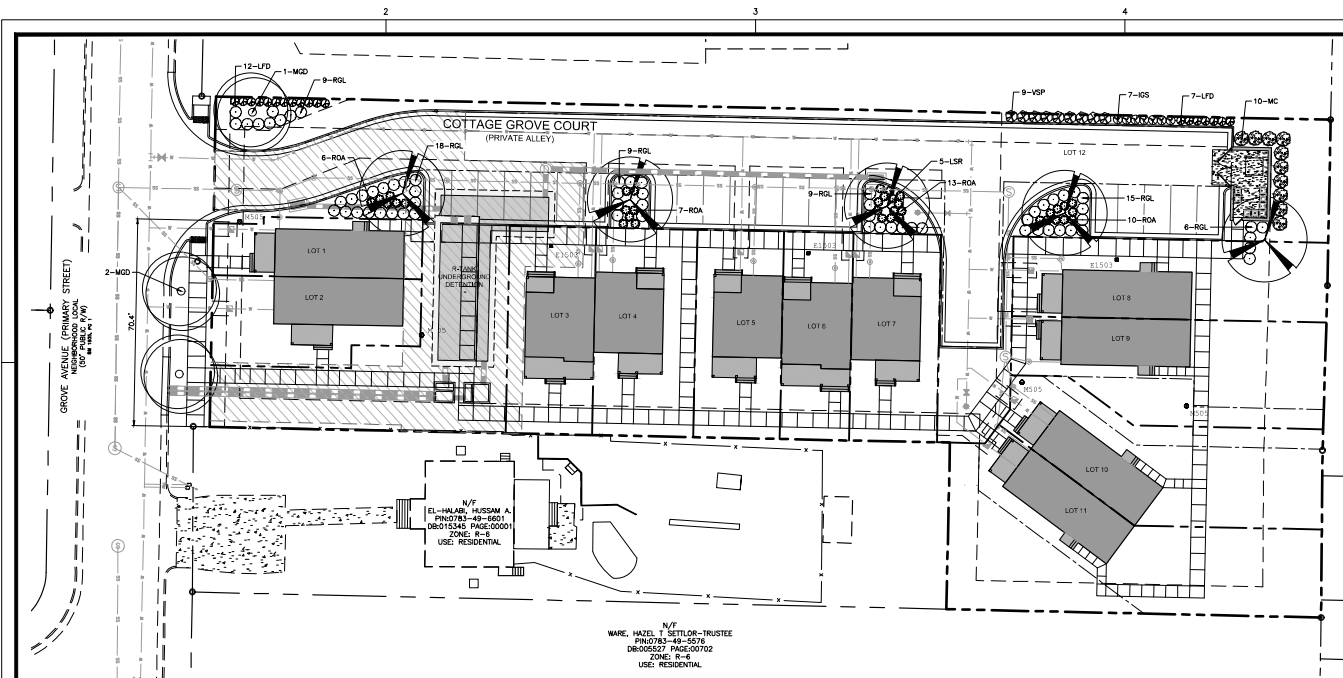
DATE: 02 JUN 2023
 REVISED:
 15 AUG 2023
 15 DEC 2023
 06 MAR 2023

PRELIMINARY SUBDIVISION

LIGHTING DETAILS

Job Code: WNGABA
 Dwg No.: PS 5.2

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



LANDSCAPE REQUIREMENTS:

1. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
2. ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
3. ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE RELOCATED TO THE SIDE OF ROAD AND SCREENED TO THE EXTENT POSSIBLE.
4. WITH EXISTING PLANTINGS, PLANTINGS SHALL ALLOW FOR A MINIMUM OF 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
5. THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUFFER OVERHANG FROM THE BACK OF CURB.
6. NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT OF WAY OR WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LIGHTING LOCATION.
7. ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES.
8. WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION AS DESIRED AS REQUIRED, THE CITY OF RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
9. UPON ESTABLISHMENT OF FINISHED GRADEN AND PRIOR TO BEGINNING INSTALLATION OF ANY TREES, A SOIL AMENDMENT SCHEDULE FOR ALL TREE PLANTINGS SHALL BE PREPARED BY A CERTIFIED LANDSCAPE ARCHITECT AND PROVIDED TO THE CITY OF RALEIGH PLANNING DEPARTMENT.
10. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFIED STATEMENT SHALL BE PROVIDED TO CITY STAFF/SITE INSPECTOR ATTESTING TO THE FACT THAT THE SOIL AMENDMENT SCHEDULE WAS FOLLOWED AS SPECIFIED IN THE APPROVED SITE AND/OR SUBDIVISION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST, OR OTHER SPECIALIST AS DETERMINED ACCEPTABLE BY THE PLANNING DIRECTOR.
11. THE PROPERTY OWNER OR DEVELOPER SHALL PROVIDE CONTINUOUS MAINTENANCE OF THE LANDSCAPE AREAS AFTER OCCUPANCY OF THE BUILDING. THE PROPERTY OWNER SHALL ENSURE THAT PERFORMANCE CRITERIA WITHIN THE GRADENCE AND/OR INCLUDED ON THE APPROVED SITE AND/OR SUBDIVISION PLAN ARE MET. FAILURE TO CORRECT DEFICIENCIES IN A TIMELY MANNER SHALL RESULT IN A CITATION FOR VIOLATION OF THIS GRADENCE IN ACCORDANCE WITH CHAPTER 11.
12. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TTP-03.
13. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

LANDSCAPE MAINTENANCE PLAN:

- THE OWNER OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:
- A. FERTILIZING: FERTILIZER LANSING TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 15-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZER WASH SEASON GRASSES ONCE DURING THE GROWING SEASON PER SOIL TEST.
 - B. PRUNING: PRUNING SHALL BE LIMITED TO DEAD WOOD OR BRANCHED FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE AREA AROUND STANDARDS SHOULD BE MOVED TO THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
 - C. EDGE CONTROL: PRE-EMERGENT WEED CONTROL FOR SHRUB WEDGE MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT RESISTANCE AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
 - D. MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2"-3" IN SHRUB BEDS. MULCH SHALL BE REPLACED EVERY TWO YEARS, AS NECESSARY TO MAINTAIN THE RECOMMENDED DEPTH OF THE SPECIES OF TREE GRASSES.
 - E. MOWING: PRIMARY PASTURE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3" AND SHALL BE MOWED APPROXIMATELY 30 TIMES PER YEAR. SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WASH SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASSES.
 - F. PLANT REPLACEMENT: AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
 - G. WATERING: IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (SPONSOR CITY OF RALEIGH WATER/IRRIGATION SUPPLIES)
 - H. PLANT REPLACEMENT: ANY REQUIRED PLANTING WHICH IS REMOVED OR DIES AFTER DATE OF PLANTING SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. ALSO, ANY TREE IN A TREE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.
- REMOVAL OF DISEASE INFESTED MATERIAL SHALL BE ALLOWED SO LONG AS REQUIRED SHRUBS ARE REPLACED AT THE REQUIRED RATES AND SIZES.
- FAILURE TO MAINTAIN REQUIRED LANDSCAPE AREAS SHALL CONSTITUTE A VIOLATION OF THIS UDD ENFORCEABLE UNDER THE PROVISIONS OF SECTION 10-4 ENFORCEMENT.

OVERALL PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	USE	CALIPER/HEIGHT AT PLANTING	MATURE HEIGHT /CROWN SPREAD	ROOT	SPACING
CANOPY TREES								
LSR	5	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	FRUITLESS SWEET GUM	PARKING SHADE	2.5" CAL./10' HT.	50'/25'	B&B	AS SHOWN
MGD	3	METASEQUOIA GLYPTOSTROBODES 'DAWN'	DAWN REDWOOD	STREET TREE	3" CAL./10' HT.	80'/25'	B&B	AS SHOWN
SHRUBS								
IOS	7	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOLLY	PARKING LOT	3 GAL./18" HT.	5'/3'	CONT.	3' O.C.
LFD	19	LOROPETALUM CHINENSE 'FIRE DANCE'	FIRE DANCE LOROPETALUM	SCREEN	3 GAL./18" HT.	5'/3'	CONT.	3' O.C.
MC	10	MYRTIA CERIFERA	WAX MYRTLE	SCREEN	3 GAL./24" HT.	3'/3'	CONT.	5' O.C.
ROL	65	RHUS x 'GROW LOW'	GROW LOW SUMAC	PARKING LOT	3 GAL./18" HT.	3'/4'	CONT.	4' O.C.
RDA	36	ROSMARINUS OFFICINALIS 'ARP'	ARP ROSEMARY	PARKING LOT	3 GAL./18" HT.	3'/4'	CONT.	3' O.C.
VSP	9	VIBURNUM TINUS 'SHADES OF PINK'	SHADES OF PINK VIBURNUM	SCREEN	3 GAL./18" HT.	4'/4'	CONT.	4' O.C.

PLANTING NOTES:
 LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR HARDY STOCK PROVIDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.

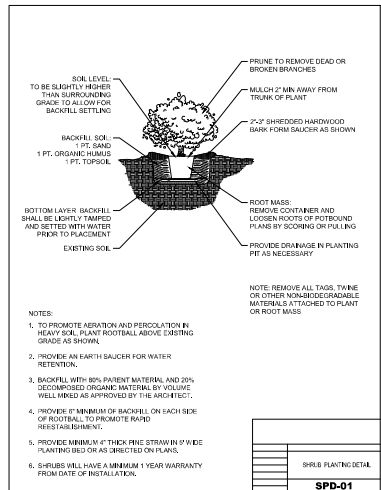
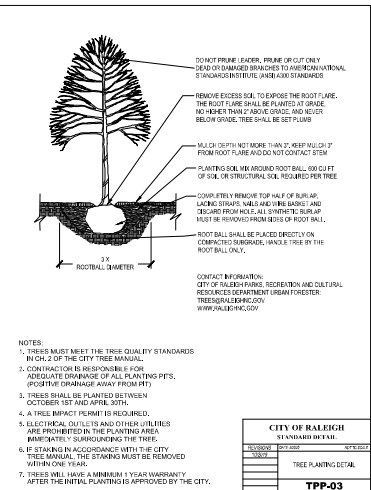
SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER; O.C. = ON-CENTER; (S) = TO ROMAN

MULCH: MULCH ALL BED AREAS WITH FRESH FINE STRAW TO A DEPTH OF 2".

NOTE:
 1. ANY TREES IN SIGHT TRIANGLES WILL BE LIMITED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2'.
 2. ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.

TREE CONSERVATION EXEMPTION:
 TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2.0 LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDD SECTION 9.1.2)

STREET TREE CALCULATION:
 FRONTAGE SUBJECT TO STREET TREE PLANTING IS 89', 89/40 = 2.22 WHICH ROUNDS DOWN TO 2 STREET TREES TO BE REQUIRED/PROVIDED.



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 E-mail: thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 11 GROVE AVENUE
 RALEIGH, NC 27606

Drawn By: JHU
 Checked By: BDM
 DATE: 22 FEB 2023
 REVISED:
 02 JUN 2023
 21 AUG 2023
 15 DEC 2023
 06 MAR 2024
 29 APR 2024

PRELIMINARY SUBDIVISION

LANDSCAPE PLAN

Job Code: WNGABA

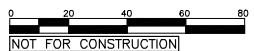
Dwg No.: PS 6.0



NORTH

LANDSCAPE PLAN

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)

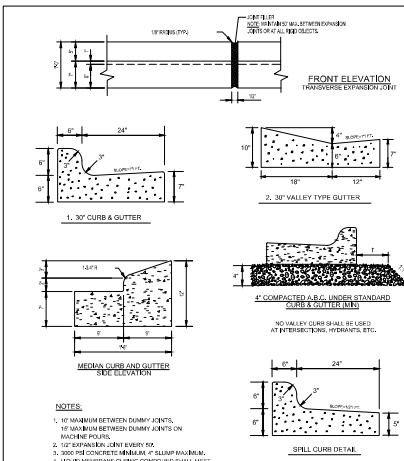


NOT FOR CONSTRUCTION

CITY OF RALEIGH
 STANDARD DETAIL
 TREE PLANTING DETAIL
TTP-03

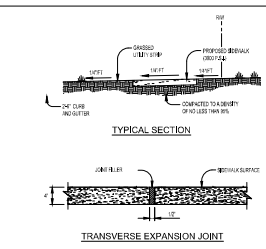
SHRUB PLANTING DETAIL
SPD-01

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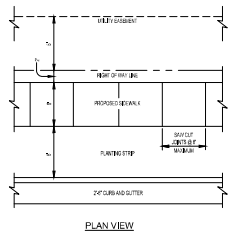


- NOTES:**
1. NO MAXIMUM BETWEEN DUMMY JOINTS, 10' MAXIMUM BETWEEN DUMMY JOINTS ON MIXED USE.
 2. 12\"/>

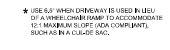
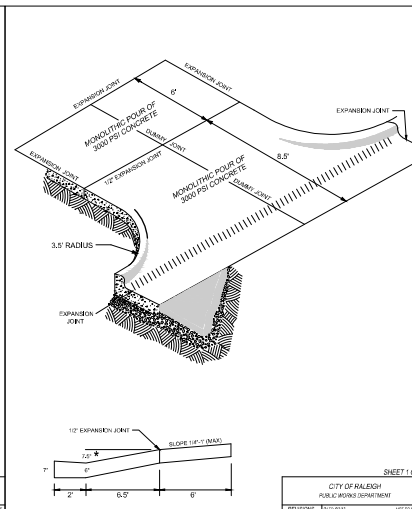
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REVISION	DATE	BY	DESCRIPTION
T-10.26.1			



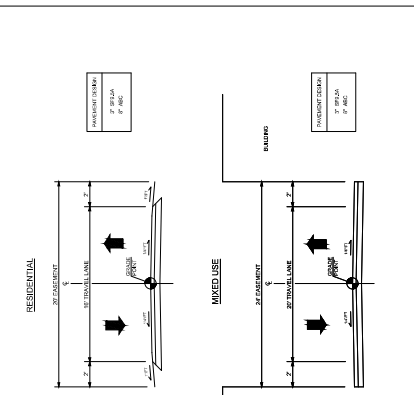
- NOTES:**
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 30 FEET.
 2. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
 3. A FINCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS ALONG THE LENGTH OF SIDEWALK CURB (SEE PLAN), AND AT THE TRANSVERSE JOINTS.



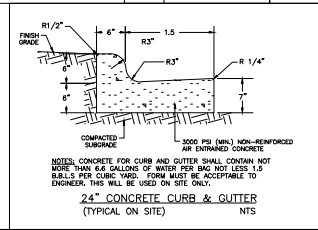
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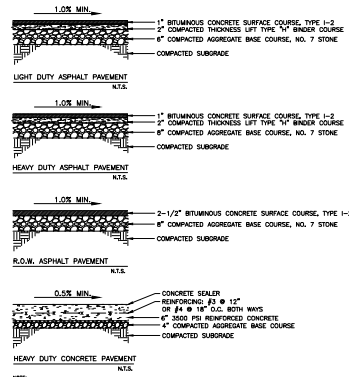
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REVISION	DATE	BY	DESCRIPTION
T-10.01.1			



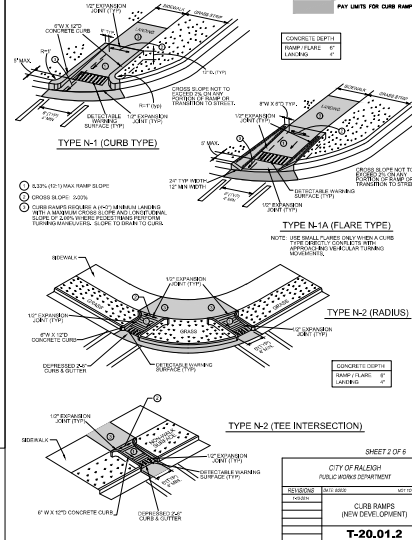
CITY OF RALEIGH STANDARD DETAIL			
REVISION	DATE	BY	DESCRIPTION
T-10.22			



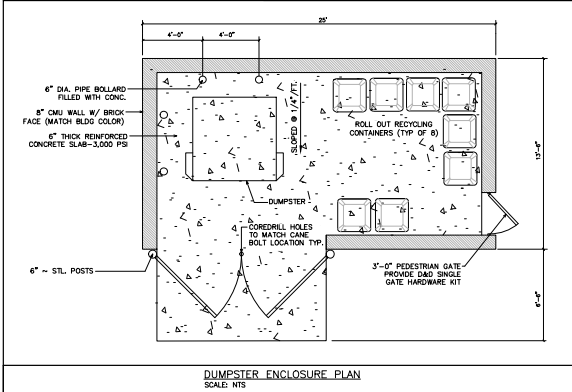
- NOTES:**
1. CONCRETE FOR CURB AND GUTTER SHALL BE FULLED WITH 40% FINE AGGREGATE AND BEARER (NO COARSENESS WITH FINCH) (HAWKWAY) IS FINISHED WITH A FINCH. THE FINCH MATERIAL SHALL COMPLY WITH SECTION 2004 OF NC DOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURES.
 2. REFER TO NC DOT DETAIL 102.101 FOR CURB AND GUTTER SUBPARALLEL TO DRIVE.



TYPICAL PAVING SECTIONS
N.T.S.



CITY OF RALEIGH PUBLIC WORKS DEPARTMENT			
REVISION	DATE	BY	DESCRIPTION
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DUMPER ENCLOSURE PLAN
SCALE: N.T.S.

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PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
111 GROVE AVENUE
RALEIGH, NC 27606

Drawn By: RLA
Checked By: BDM
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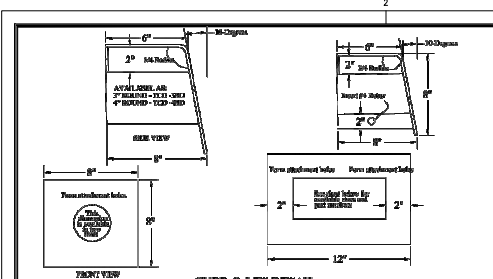
PRELIMINARY
SUBDIVISION

SITE
DETAILS

Job Code: WNGABA

Dwg No.
PS 7.0

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



CURB-O-LET DETAIL
PRODUCT SPECIFICATION - CURB-O-LET

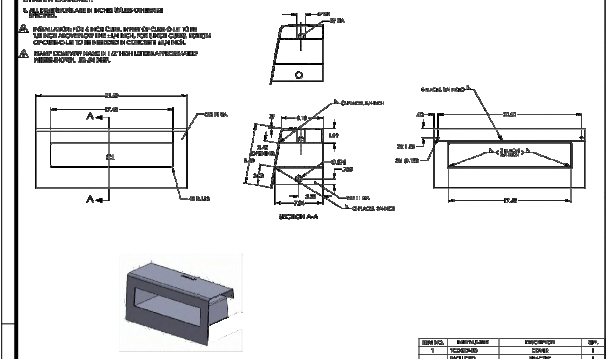
ROUND DENSITY	SIZE	MATERIAL	CURB DRAIN LABEL NUMBER	COVER OR TRAP LABEL NUMBER	COMMENTS
4"	4" ROUND	TCB-28D	TCB-28D-RND	TCB-28D-CRD	6"-4" CURB FACE
6"	4" ROUND	TCB-28D	TCB-28D-RND	TCB-28D-CRD	6"-4" CURB FACE
6"	3"x3"	TCB-55	TCB-55-RND	TCB-55-CRD	6"-4" CURB FACE
6"	3"x3"	TCB-58	TCB-58-RND	TCB-58-CRD	6"-4" CURB FACE
6"	3"x3 1/2"	TCB-37E	TCB-31E-RND	TCB-31E-CRD	6"-4" CURB FACE ONLY
6"	3"x3 1/2"	TCB-37E	TCB-31E-RND	TCB-31E-CRD	6"-4" CURB FACE ONLY
10"	3"x3 1/2"	TCB-37E	TCB-31E-RND	TCB-31E-CRD	6"-4" CURB FACE ONLY
10"	4"x2"	TCB-62	TCB-42-RND	TCB-42-CRD	6"-4" CURB FACE ONLY

ALL CURB-O-LET PRODUCTS ARE MANUFACTURED TO CURB HEIGHTS. VERY PLEASEY VERIFY HEIGHTS BEFORE ORDERING. IN CASE OF POSSIBLE CURB-O-LET FITS AT STANDARD 6" AND 10" CURB FACE, SPOTY COATING FINISH AVAILABLE ON REQUEST.



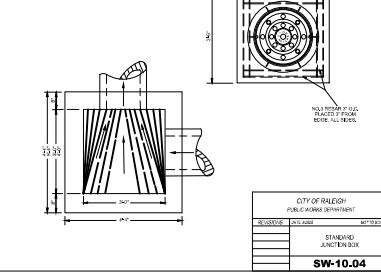
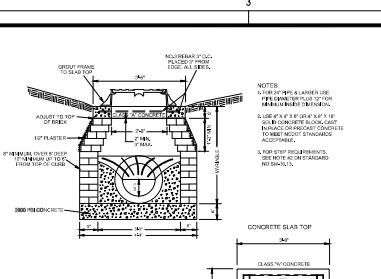
RECTANGULAR STEEL PIPE AND FITTINGS CURB-O-LET

APPROVED BY THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT

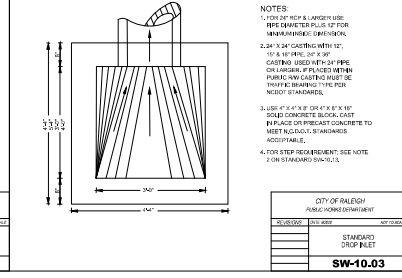
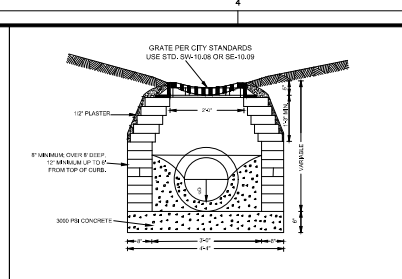


SER. NO.	DESCRIPTION	QUANTITY	REVISION
1	REVISION	1	DATE
2	REVISION	1	DATE

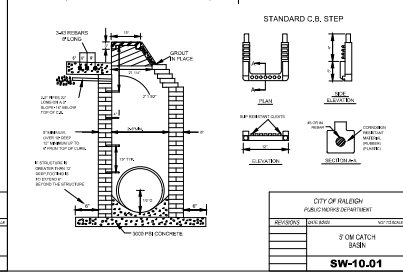
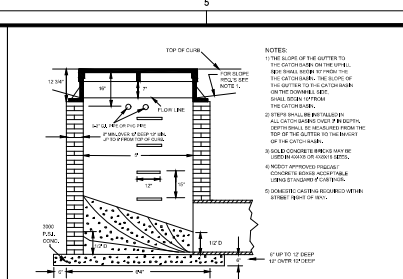
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT
STANDARD JUNCTION BOX
SW-10.04



CITY OF RALEIGH PUBLIC WORKS DEPARTMENT
STANDARD DROP INLET
SW-10.03



CITY OF RALEIGH PUBLIC WORKS DEPARTMENT
STANDARD CURB STEP
SW-10.01



CITY OF RALEIGH PUBLIC WORKS DEPARTMENT
STANDARD CURB STEP
SW-10.01

Curb-O-Let logo and contact information for The Site Group, PLLC.

1111 Oberlin Road, Raleigh, NC 27605
 Tel: 919.850.4787
 Fax: 919.850.4788
 E-Mail: info@thesitegroup.net

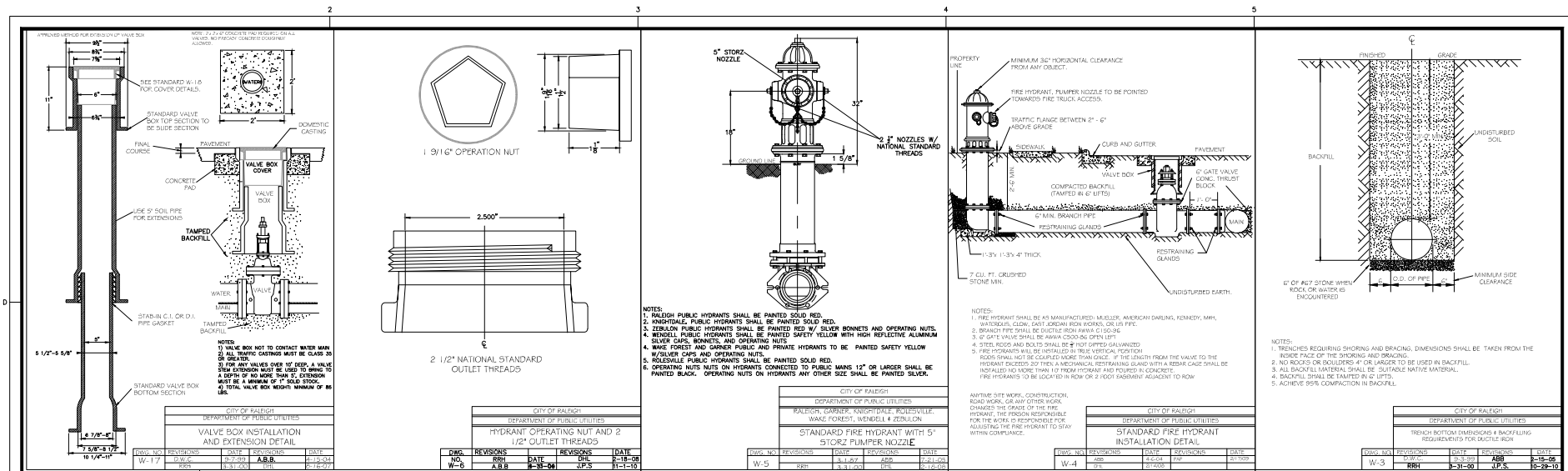
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THE SITE GROUP, PLLC
 CIVIL ENGINEERS, LANDSCAPE ARCHITECTS
 PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
 111 GROVE AVENUE
 RALEIGH, NC 27608

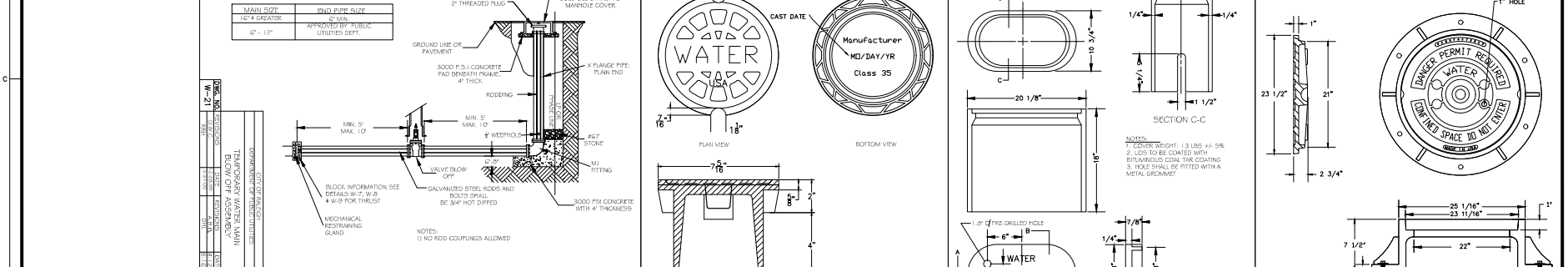
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 Checked By: BDM

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 02 JUN 2023
 21 AUG 2023
 15 DEC 2023
 06 MAR 2024
 29 APR 2024

PRELIMINARY SUBDIVISION
 SITE DETAILS
 WNGABA
 Dwg No. PS 7.1



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NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
W-17	2.0.0	8-27-09	A.B.B.	W-4	2.0.0	8-27-09	A.B.B.
W-18	2.0.0	8-27-09	J.P.S.	W-5	2.0.0	8-27-09	J.P.S.



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DEPARTMENT OF PUBLIC UTILITIES		DEPARTMENT OF PUBLIC UTILITIES		DEPARTMENT OF PUBLIC UTILITIES		DEPARTMENT OF PUBLIC UTILITIES	
NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
W-21	2.0.0	8-27-09	A.B.B.	W-20	2.0.0	8-27-09	A.B.B.
W-22	2.0.0	8-27-09	J.P.S.	W-21	2.0.0	8-27-09	J.P.S.

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 E-Mail: info@thesitegroup.net

PRELIMINARY SUBDIVISION PLANS FOR:
RED GROVE PLACE
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 RALEIGH, NC 27606

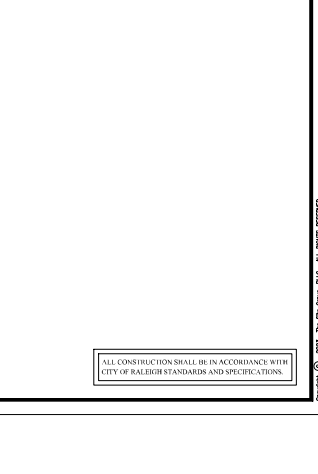
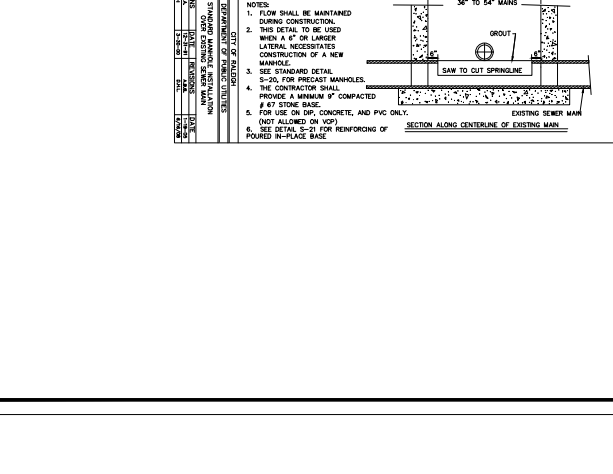
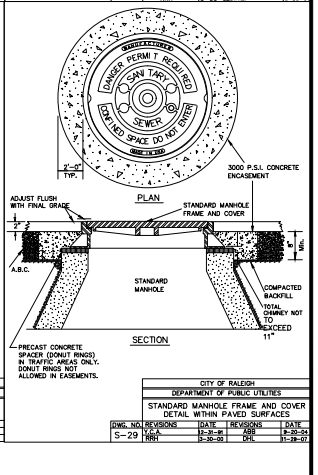
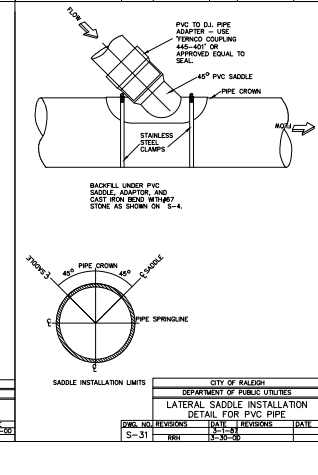
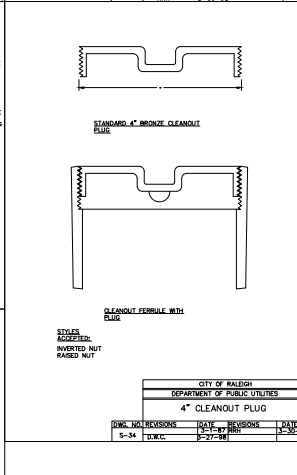
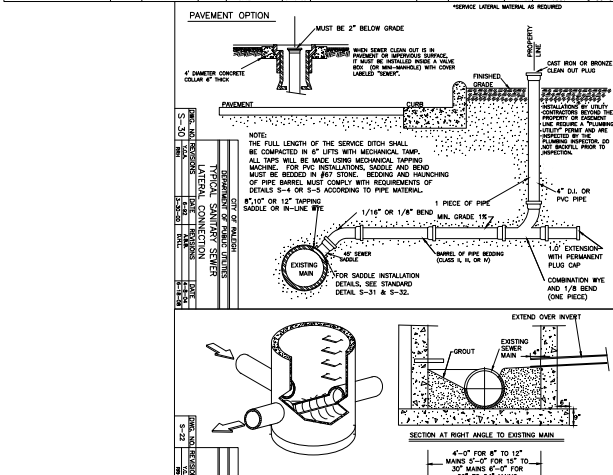
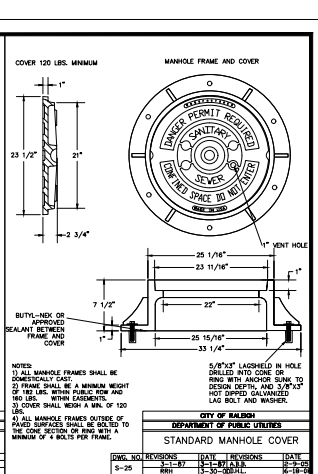
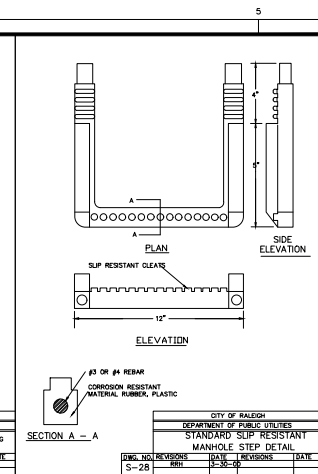
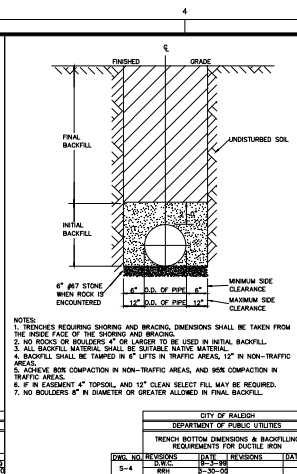
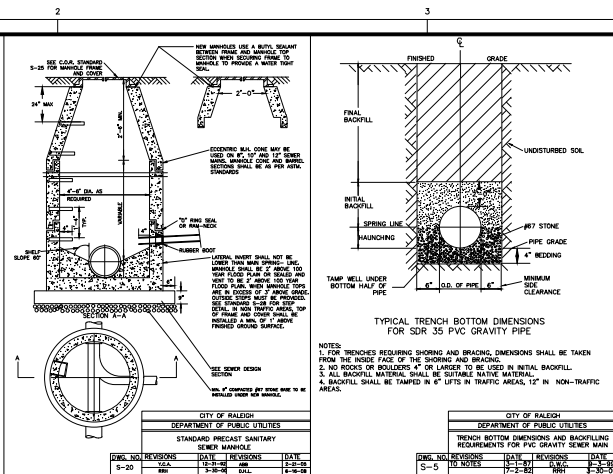
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PRELIMINARY SUBDIVISION

SITE DETAILS

Job Code: WNGABA
 Dwg No.: PS 7.2

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PRELIMINARY SUBDIVISION PLANS FOR:
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PRELIMINARY SUBDIVISION

SITE DETAILS

Job Code: WNGABA
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