

# Preliminary Subdivision Application

## Site Review

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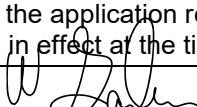
**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

DEVELOPMENT OPTIONS (UDO Chapter 2)				
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development		
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option		
<i>NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.</i>				
GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval): Gardner Townes at Poole				
Property Address(es): 1605 Rock Drive & 5805 Poole Road				
Recorded Deed PIN(s): 1733-50-2933 & 1733-50-3920				
<b>Building type(s):</b>	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
<b>Current Property Owner(s) Names:</b> William H. Gardner and Sandra McKoy Johnson	
Company: NA	Title: Owner
Address: 2028 New Bern Ave. Raleigh, N.C. 27610	
Phone #: 919-264-5427	Email: whgardner22@gmail.com
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact Names:</b> William Gardner	
Company: NA	Title: Owner
Address: 2028 New Bern Ave. Raleigh, N.C. 27610	
Phone #: 919-264-5427	Email: whgardner22@gmail.com

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION			
Gross site acreage: 0.42AC +0.42AC = 0.84AC			
Zoning districts (if more than one, provide acreage of each): R-6 ( 0.84AC)			
Overlay district(s):	Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: No N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>0</u> Proposed total (sf) <u>16,352.72</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) <u>4,323.26</u> Proposed total (sf) <u>22,685.21</u>
NUMBER OF LOTS AND DENSITY	
# of Detached House Lots:	# of Attached House Lots: # of Townhouse Lots: 9
# of Tiny House Lots:	# of Open Lots: <u>1</u> # of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units: 9
# of bedroom units (if known): 1br _____ 2br _____ 3br <u>9</u> 4br _____	
Proposed density for each zoning district (UDO 1.5.2.F): 10.71 units per acre	

SIGNATURE BLOCK	
<p>Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.</p> <p>By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).</p> <p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.</p>	
Signature: 	Date: <u>2-20-24</u>
Printed Name: <u>William H. Gardner</u>	
Signature:	Date:
Printed Name:	



**GENERAL NOTES**

- 1) ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, INDEMNITY, AND ALL OTHER APPLICABLE REGULATIONS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL OTHER APPLICABLE LOCAL, JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF LOCATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION WORK SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- 4) ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- 5) EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- 7) THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PROVIDED VALVE AND MANHOLE CHANGES AND LANDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- 8) IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR DUE TO SURETY DEFICIENCIES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- 9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES NECESSARY TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND ASSOCIATION OF THE RELOCATION.
- 10) THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- 11) THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 12) ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (80,000 LBS) DURING ALL PHASES OF CONSTRUCTION. ONCE VERTICAL CONSTRUCTION HAS BEGUN.

- SOLID WASTES**
- 1) SOLID WASTES WILL BE HANDLED VIA INDIVIDUAL ROLL OUT CART.
  - 2) DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

- EXISTING CONDITIONS NOTES**
- 1) THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
  - 2) HORIZONTAL DATUM IS NAD 83-2011 AND THE VERTICAL DATUM IS NAVD 88.
  - 3) THIS DRAWING DOES NOT CONFORM TO N.C. OS 47-30 AND THEREFORE IS NOT FOR RECORDED.
  - 4) UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UTILITY DESIGN/ANALYSIS SERVICES PERFORMED BY 811 LOCATION SERVICES, AND THE AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
  - 5) SURVEY INFORMATION COLLECTED BY ECLS GLOBAL, INC.

- UTILITY NOTES**
- 1) THESE SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
  - 7) NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.

- DEMOLITION NOTES**
- 1) REFER TO SHEET C-1 FOR GENERAL NOTES.
  - 2) THE CONTRACTOR SHALL REMOVE EXISTING CONCRETE(WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.
  - 3) THE CONTRACTOR SHALL SAW CUT EXISTING ASPHALT(WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
  - 4) CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND RAISED OR LOWERED AS NEEDED TO BE FLUSH WITH NEW GRADE.

- 5) ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SCHEDULING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS "NORTH CAROLINA ONE CALL" (TELEPHONE 1-800-632-6849) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO MAKE OPERATIONS. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL"
- 7) CLEAN SOLS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOLS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- 8) ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
- 9) ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
- 10) REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.

- 11) ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS.
- 13) TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION.
- 15) EROSION CONTROL PERMIT SHALL BE OBTAINED AND ON-SITE PRIOR TO BEGINNING DEMOLITION.
- 16) DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPES AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE UPSTREAM. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.

- 15) THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO EXISTING DRIVEWAYS, PARKING LOTS, SIDEWALK AND CURB & GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION VIDEO OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.
- 16) ALL MATERIALS, FURNISHINGS, UTILITIES AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

**MATERIALS NOTES**

CONTRACTOR IS TO PROVIDE SPECIFIC PRODUCT SHOP DRAWING SUBMITTALS FOR ALL MATERIALS INSTALLED ON THE PROJECT TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. NO MATERIALS ARE TO BE INSTALLED WITHOUT THE WRITTEN APPROVALS OF THE OWNER'S REPRESENTATIVE FOR THE PROPOSED MATERIALS TO BE INSTALLED.

**SITE NOTES**

- 1) CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, SECURITY AND REMOVAL OF MATERIALS LAY DOWN AREA.
- 2) THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS AND JOINT LOCATIONS NEAR BUILDINGS.
- 3) ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM PROPOSED ROAD DRIVE ENTRANCE.
- 4) REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- 5) ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES AND/OR FACE OF CURB UNLESS NOTED OTHERWISE.
- 6) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
- 7) ALL WRITTEN DIMENSIONS SHALL PREVAIL DO NOT SCALE FROM DRAWINGS.
- 8) ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- 9) ALIGN ALL JOINTS, CORNERS AND EDGES AS SHOWN.

- 10) CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
- 11) WHERE NEW SIDEWALK ADJONS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. THE NEW SIDEWALK IS TO BE INSTALLED TO MATCH JOINT WITH THAT OF EXISTING WALKWAY.
- 12) WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES, THE WALKWAY SHALL BE A MINIMUM OF 6.0" WIDE AS MEASURED FROM THE FACE OF CURB.
- 13) MAXIMUM RUNNING SLOPE FOR WALKWAY SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:50. HANDICAP SPACES SURFACE SLOPE SHALL NOT EXCEED 1:50 IN ANY DIRECTION.
- 14) SIGHT TRIANGLES - NOTHING OVER 30" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.
- 15) THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL.

- 16) HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANS 171.11 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND GRADING SPOT ELEVATIONS, IF THE EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE 1/12 FOR 8 FEET OR A MAXIMUM CROSS SLOPE OF 1:50 AND A 36" MINIMUM LANDING, THE CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 17) THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONCRETE CERTIFICATION WEDS TO MEET OR EXCEED ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

- GRADING AND STORM DRAINAGE NOTES**
- 1) REFER TO SHEET C-1 FOR GENERAL NOTES.
  - 2) THE CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
  - 3) THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE WALKWAY SHALL NOT EXCEED 3% AND SHALL NOT EXCEED 3% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1/12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NON-CURB CUT RAMPS SHALL HAVE HANDRAILES AND GUARDS PER DETAILS WITH 5' LANDINGS AT THE BOTTOM AND TOP OF RAMP.
  - 4) ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
  - 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAR OF SEDIMENT AND DEBRIS. PRIOR TO OPERATIONAL ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 12" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.
  - 6) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM (BOTH PUBLIC AND PRIVATE). THIS SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING CERTIFICATE OF OCCUPANCY.
  - 7) REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION.
  - 8) THE ROOF LEADERS AS SHOWN TO UNDERGROUND STORM SYSTEM WHERE ROOF LEADERS DRAIN/OUT AT GRADE, A SPLASH BLOCK APPROVED BY THE OWNER'S REPRESENTATIVE SHALL BE INSTALLED.
  - 9) MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND AISLE SHALL NOT EXCEED 2% IN ANY DIRECTION.
  - 10) PROPOSED CONTROLS ARE APPROXIMATE. SPOT ELEVATIONS SHALL BE USED IN CASE OF DISCREPANCY.
  - 11) PLACE BACKFILL AND FILL MATERIAL IN LAYER NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY CONSTRUCTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIAL EVENLY ON ALL SIZES TO REQUIRED ELEVATION, AND OPTIMIZE ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 1557-03. FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY UNIT WEIGHT TO A MINIMUM OF 4" FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.
  - 12) CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.

- SIGNAGE, STRIPING AND MARKING NOTES**
- 1) ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING ONTO PUBLIC THROUGHFARE SHALL BE INSTALLED AT RIGHT-OF-WAY PER NCDOT STANDARDS.
  - 2) ALL PAVEMENT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS AND DIMENSIONS SHALL CONFORM TO NCDOT STANDARDS FOR PAVEMENT STRIPING. INDIVIDUAL PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT.
  - 3) CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY DRIVE LANE.
  - 4) ADA SYMBOLS SHOWN ON THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE.

**UTILITY NOTES**

- 1) REFER TO SHEET C-1 FOR GENERAL NOTES.
- 2) UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.
- 3) THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE UTILITIES CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.
- 4) THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- 5) THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERFERENCES WITH THE OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
- 6) THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT-OF-WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL WORK INSIDE THE PUBLIC RIGHTS-OF-WAY.
- 7) ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTH OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED ON THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- 8) ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE. WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF UTILITY CROSSINGS, THE ELEVATION SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER. WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.
- 9) UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, DRIVEW, CURB AND GUTTER, OR CONCRETE WALKWAYS SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION AND PRIOR TO INSTALLATION OF IMPERVIOUS MATERIAL (ASPHALT/BITUMAST), CONDUIT SHALL BE INSTALLED FOR THE FUTURE UTILITY INSTALLATION.
- 10) AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER, THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (BOTH PAPER AND ELECTRONIC FORMS (CAD/PDF)) PREPARED AND CHECKED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL UTILITY INSTALLATION, SIZES AND THE ELEVATION OF THE SAME TRENCH AS THE SEWER WITH THE TOP OF THE SEWER, OR
- 11) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
- 12) CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A HORIZONTAL SEPARATION IN WHICH CASE BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- 13) CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- 14) SEPARATION OF SANITARY SEWERS AND STORM SEWERS:
  - a) A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTION.

- PROPOSED UTILITY SEPARATION:**
- 1) WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH CASE:
    - a) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
    - b) THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE TOP OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
  - 2) CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A HORIZONTAL SEPARATION IN WHICH CASE BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
  - 3) CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
  - 4) SEPARATION OF SANITARY SEWERS AND STORM SEWERS:
    - a) A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTION.

- SEWER NOTES**
- 1) SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.
  - 2) UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER.
  - 3) MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (ON GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATERLOG BOLT LIDS.
  - 4) MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
    - 4" SEWER SERVICE - 2.00% SLOPE
    - 6" SEWER SERVICE - 1.00% SLOPE
    - 8" SEWER SERVICE - 0.50% SLOPE
  - 5) UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL CLEANOUTS SHALL BE 75 FEET.
  - 6) SEWER LINES WITH LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW:
    - 4" SEWER SERVICE = S01 80
    - 6" SEWER SERVICE = S01 80
    - 8" SEWER SERVICE = S01 38
  - 7) SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DRIP, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL STOP SHALL BE LOCATED UPSTREAM AND DOWNSTREAM IMMEDIATELY UPSTREAM AND AT THE FIRST MANHOLE DOWNSTREAM IN THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM DAMAGE BY WATER, DRIP OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUS PRIOR TO OCCUPANCY.
  - 8) ALL MANHOLE COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

- WATER NOTES**
- 1) AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI/AWWA C101 PRESSURE CLASS 300 OR SOFT COPPER TYPE K17 PIPE PER ASTM B382. PIPE SPECIFICATIONS INDICATED ON THE PLANS, IT SHALL MEET THE REQUIREMENTS OF ANNA C-900, CLASS 200.
  - 2) ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
  - 3) TESTING NOTES:
    - 1) PRESSURE: SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN ANNA C-900. MINIMUM TEST PRESSURE SHALL BE 190 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION.
    - 2) DISINFECTION: TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS PRIOR TO TESTING. CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
  - 4) THE CHLORINE IS HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS PRIOR TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER DISPOSAL.
  - 5) PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

**SITE EXEMPTION NOTES**

- 1) THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
- 2) THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.2.2.A-2 AS AMENDED BY TC-2-16.
- 3) THIS DRAWING IS NOT FOR RECORDED.

- 4) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS.



ECLS GLOBAL, INC.  
19 N. MCKINLEY BLVD.  
DURHAM, NC 27621  
919.877.3359  
www.ecls.com

REVISIONS:

## C2 - GENERAL NOTES

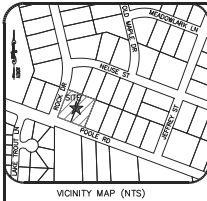
LOT 3&4, BLOCK B, RIVERVIEW ESTATES  
GARDNER TOWNS AT POOLE  
1608 ROCK RIDGE ROAD, RALEIGH  
DURHAM, NC 27616  
D.B. 19342 PG. 1530 PLAN# 17237-50-2933  
PHI: 17237-50-2930

DESIGNED BY: ECLS  
CHECKED BY: JZ WANG/JL  
DATE: 03/2018  
SCALE: 3/8" = 1'-0"  
DATE: 02/09/2018





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- NOTES:**
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
  2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
  3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS PLAT.
  4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS G.S. 47-30 AND REQUIREMENTS OF LAW, BUT WITHOUT BENEFITS FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS THAT MAY BE REVEALED BY TITLE EXAMINATION.
  5. NO NCOS MONUMENT FOUND WITHIN 2000 FT.
  6. DATE OF SURVEY: 09/28/2021.
  7. NO INVESTIGATION MADE FOR 404 JURISDICTION'S WETLANDS.

**PRELIMINARY**  
NOT FOR CONSTRUCTION

OLD LOTS	
TOTAL AREA	0.84 AC. 20,000.00 SQ.FT.
TAKEN R/W	0.04 AC. 1,088.14 SQ.FT.
REMAINING AREA	0.42 AC. 18,411.86 SQ.FT.
NEW LOT	
TOTAL AREA	0.84 AC. 20,000.00 SQ.FT.
TAKEN R/W	0.04 AC. 1,088.29 SQ.FT.
REMAINING AREA	0.42 AC. 18,399.75 SQ.FT.

**LEGEND**

- AD-ABOVE GROUND
- BD-BELOW GROUND
- DR-DRAIN
- EP-EXISTING IRON PIPE
- ED-EXISTING IRON ROD
- NP-NEW IRON PIPE
- EP-EXISTING E.P. PAVEMENT
- NP-NEW IRON PIPE
- EP-EXISTING E.P. PAVEMENT
- GUY-GUY WIRE
- OP-OPEN-ENDED POWER LINE
- PP-POWER POLE
- P-PAVEMENT OF WAY

**PROPERTY LINE**

- EASEMENT
- STATE OF ROAD
- COMMUNICATIONS LINE
- ELECTRIC LINE
- FIBER OPTIC LINE
- GAS
- LIGHT OF ENCUMBRANCE
- SURVEY OF NEIGHBORING PROP.
- WATER LINE

**PROPOSED 12" WALKING PATH PER POOLE ROAD WIDENING PROJECT**

**PROPOSED 12" WALKING PATH PER POOLE ROAD WIDENING PROJECT**

**NEW CONCRETE CURB & GUTTER**

**NEW CONCRETE SIDEWALK**

**NEW ASPHALT PAVING**

**SEWER CLEANOUT**

**SEWER MANHOLE**

**WATER METER**

**WATER VALVE**

**WATER FIRE HYDRANT**

**OWNERS:**

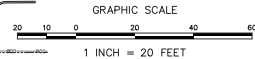
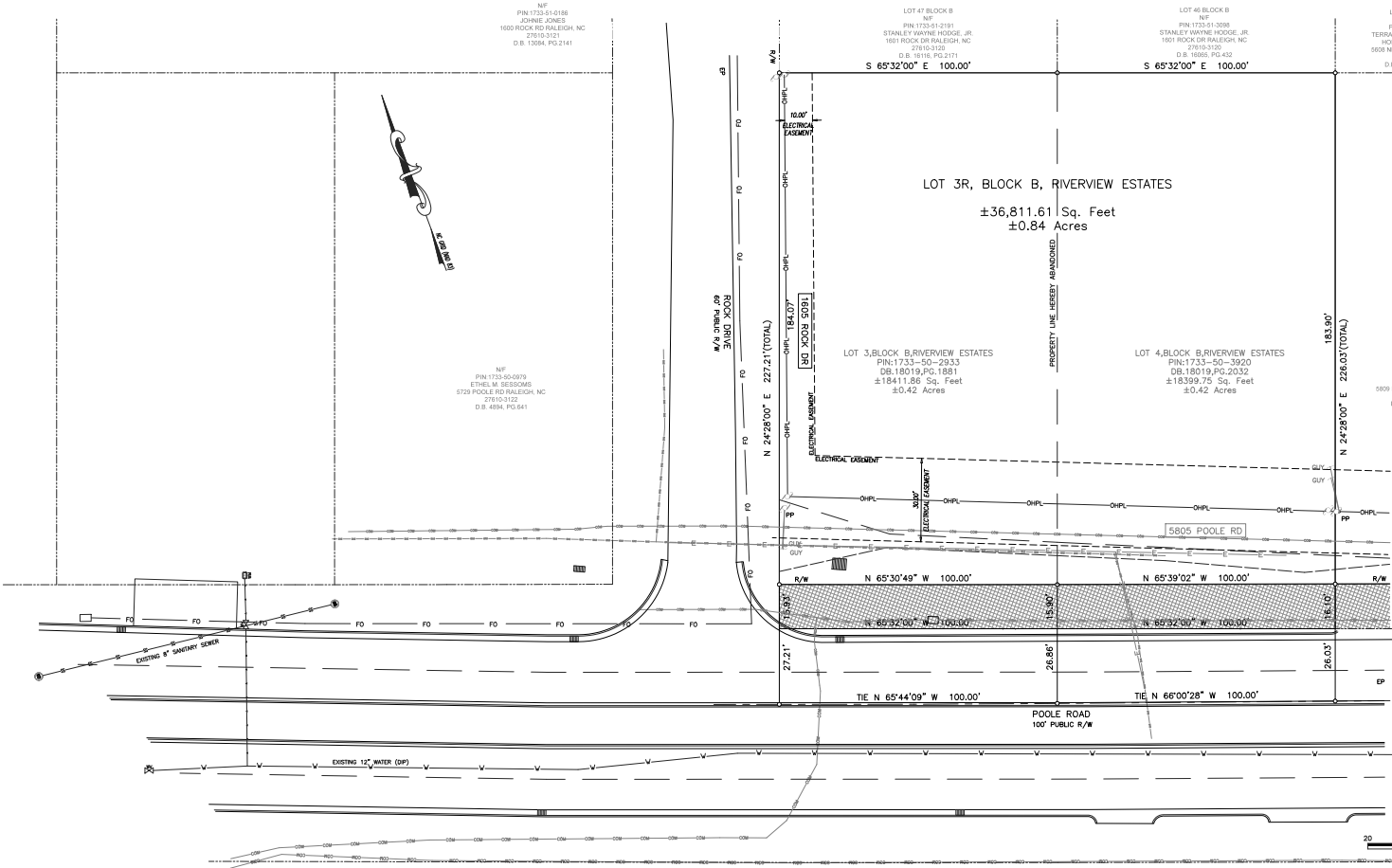
WILLIAM H. GARDNER & SANDRA MONY JOHNSON (JOINT TENANTS)  
6008 NEW BORN AVENUE, RALEIGH, NC 27610

LOT 3: PIN:1733-50-2933  
LOT 4: PIN:1733-50-2932

**FLOOD NOTE:**

NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD MAP 17330203000 CITY OF RALEIGH CO. 37024 PANEL:0562 SHEET:7

EFFECTIVE DATE: 05/02/2006



**SHEET 4 OF 9**

**ECLS**  
GLOBAL  
19 N. MCKINLEY ST.  
DURHAM, NC 27621  
910.897.3329

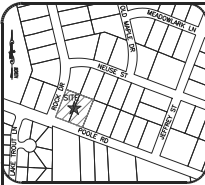
**C4 - RECOMBINATION PLAN**

**LOT 3&4, BLOCK B, RIVERVIEW ESTATES**  
**GARDNER TOWNES AT POOLE**  
1605 B. ROCK DRIVE, RALEIGH, NC 27610  
D.B. 19342 PG. 1, 530 PIN:1733-50-2933  
PIN:1733-50-2932

**PROJECT: T-88**  
**DESIGNED BY: SAFFETY/LH/BBB**  
**DRAWN BY: JZ WANG/LJL**  
**CHECK BY: JZT**  
**SCALE: 1"=30'**  
**DATE: 02/20/2024**

**ECLS**

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- NOTES:**
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
  2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
  3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS PLAT.
  4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATED, AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS G.S. 47-30, AND REQUIREMENTS OF LAW, BUT WITHOUT BENEFIT OF FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS THAT MAY BE REVEALED BY TITLE EXAMINATION.
  5. NO MONUMENT FOUND WITHIN 2000 FT.
  6. DATE OF SURVEY: 09/28/2021.
  7. NO INVESTIGATION MADE FOR 404 JURISDICTION'S WETLANDS.

**PRELIMINARY  
NOT FOR CONSTRUCTION**

LOT AREA TABLE	
TOTAL AREA	0.42 AC. 20,000.00 SQ.FT.
TAKEN R/W	0.04 AC. 1,368.14 SQ.FT.
REMAINING AREA	0.42 AC. 18,411.86 SQ.FT.
TOTAL AREA	0.42 AC. 20,000.00 SQ.FT.
TAKEN R/W	0.04 AC. 1,368.14 SQ.FT.
REMAINING AREA	0.42 AC. 18,399.75 SQ.FT.

**LEGEND**

- PROPERTY LINE
- BOUNDARY PROPERTY LINE
- EASEMENT
- CENTER OF ROAD
- COMMUNICATIONS LINE
- ELECTRIC LINE
- FIBER OPTIC LINE
- 6" GAS LINE
- 12" WATER MAIN
- 18" WATER MAIN
- PROPOSED 12" WALKING PATH PER POOLE ROAD WIDENING PROJECT
- PROPOSED 12" WALKING PATH PER POOLE ROAD WIDENING PROJECT
- CURB & GUTTER
- NEW CONCRETE
- NEW CONCRETE SIDEWALK
- NEW ASPHALT PAVING
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER METER
- WATER VALVE
- WATER FIRE HYDRANT

**OWNERS:**

WILLIAM H. GARDNER & SANDRA MONY JOHNSON (JOINT TENANTS) 5008 NEW BERN AVENUE, RALEIGH, NC 27610  
 LOT 3, PIN: 1733-50-2933  
 LOT 4, PIN: 1733-50-2933

**FLOOD NOTE:**

NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD MAP 1733000 CITY OF RALEIGH SURVEY PANEL 0562 EFFECTIVE DATE 05/02/2006

**VICINITY MAP (NTS)**

**SITE DATA:**

PROJECT NAME: GARDNER TOWNES AT POOLE  
 SITE ADDRESS: 1605 ROCK DRIVE & 5005 POOLE ROAD  
 COUNTY: WAKE  
 PARCEL PIN#: LOT 3 - 1733-50-2933  
 LOT 4 - 1733-50-2933  
 PARCEL OWNER: WILLIAM H. GARDNER & SANDRA MONY JOHNSON  
 (AS JOINT TENANTS WITH RIGHT OF SURVIVORSHIP)  
 5008 NEW BERN AVENUE, RALEIGH, NC 27610  
 PARCEL AREA: LOT 3 - 2 18.411.86 S.F. (0.42 ACRES)  
 LOT 4 - 2 18.399.75 S.F. (0.42 ACRES)  
 TOTAL AREA 0.84 ACRES

TOTAL SITE GROSS AREA 0.84 ACRES  
 RIGHT-OF-WAY DEDICATION 0.00 ACRES  
 NET ACREAGE 0.84 ACRES  
 CURRENT ZONING: R-9 (0.84 ACRES)  
 PROPOSED ZONING: R-9 (0.84 ACRES)  
 EXISTING LAND USE: VACANT  
 PROPOSED LAND USE: MULTIFAMILY LIVING (3 BEDROOM UNITS)

FLOOD PLAIN DATA: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD MAP 1733000 CITY OF RALEIGH  
 CID: 370243 PANEL: 1733 SURV: K. EFFECTIVE DATE: 05/02/2006

**RIVER BARRIERS:**  
 DEVELOPMENT TYPE: TOWNHOUSE  
 MAXIMUM BUILDING HEIGHT: 45 FEET  
 PROPOSED BUILDING HEIGHT: 17  
 PROPOSED NUMBER OF LOTS: 9 TOWNHOUSE LOTS + 1 OPEN LOT  
 TREE CONSERVATION AREA: N/A  
 TOTAL LIMITS OF DISTURBANCE: 0.84 ACRES + 0.12 ACRES = 0.96 ACRES TOTAL  
 EXISTING IMPERVIOUS AREA: 4,323.26 S.F. (0.10 ACRES) ROW + 0 S.F. SITE = 4,323.26 S.F. TOTAL  
 PROPOSED IMPERVIOUS AREA: 23,889.21 S.F. (0.521 ACRES) INCLUDING ROW  
 AMENITY AREA REQUIRED: 100 (0.48) 1.18 S.F./U  
 AMENITY AREA PROVIDED: 78,111 (28.34) S.F./U

**PARKING DATA:**  
 REQUIRED PARKING MAXIMUM - NO MAXIMUM  
 PROPOSED PARKING - 17 REGULAR PARKING SPACES + 1 HANDICAP PARKING SPACE

BIKE PARKING REQUIRED - NONE  
 BIKE PARKING PROVIDED - NONE

**DENSITY CALCULATIONS:**  
 MINIMUM DENSITY - 4.000 S.F. AREA PER UNIT (NET SITE AVERAGE)  
 PROPOSED DENSITY - 4,090.18 S.F. AREA PER UNIT (N UNITS)

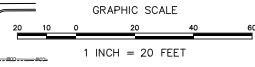
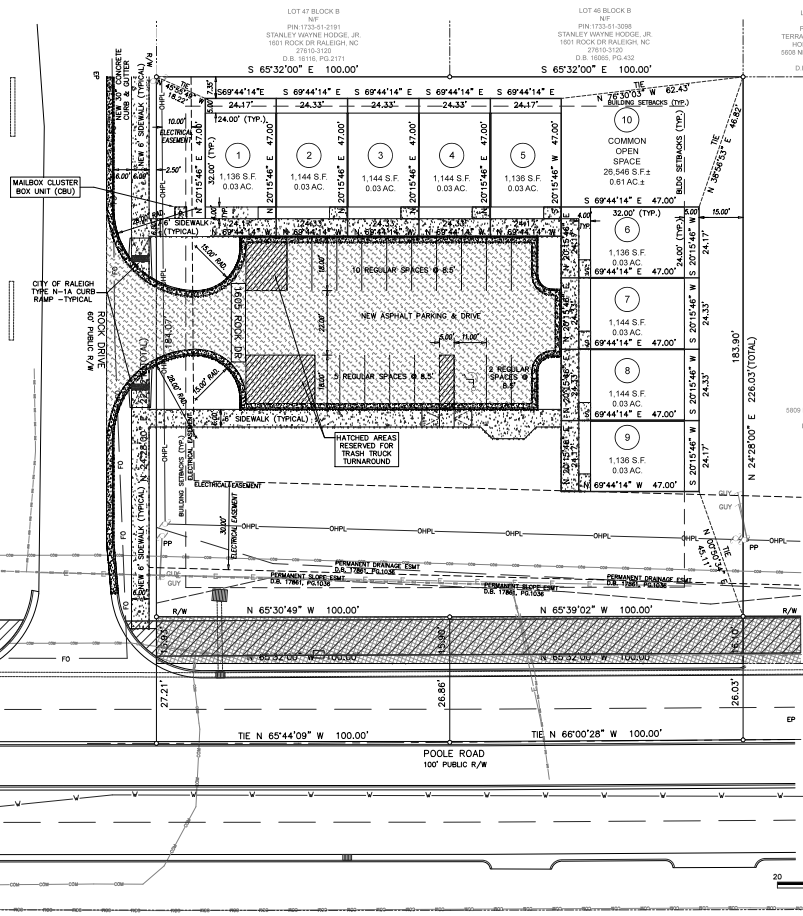
**AMENITY AREA CALCULATIONS:**  
 REQUIRED AMENITY AREA - 10% SITE AREA (0.84 ACRES) = 0.08 ACRES  
 PROPOSED AMENITY AREA - 0.61 ACRES

**BUILDING SETBACKS:**

FRONT 10'  
 SIDE 10'  
 REAR 20'

NP  
 PIN: 1733-01268  
 JONAS JONES  
 1602 ROCK RD RALEIGH, NC  
 27610-3121  
 D.B. 1706A, PG: 2141

NP  
 PIN: 1733-00979  
 ETHEL M. SASSONS  
 3703 POOLE RD RALEIGH, NC  
 27610-3122  
 D.B. 4648, PG: 2141



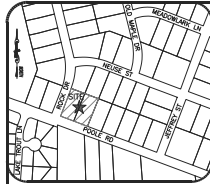
**SHEET 5 OF 9**

**ECLS**  
 19 N. MCKINLEY ST.  
 CDA, NC 27621  
 910.897.3329

**CS - SUBDIVISION SITE PLAN**

**LOT 3&4, BLOCK B, RIVERVIEW ESTATES**  
 GARDNER TOWNES AT POOLE  
 1605 ROCK DRIVE & 5005 POOLE ROAD, RALEIGH  
 NC 27610  
 D.B. 19342 PG. 1, 530 PIN: 1733-50-2933  
 PIN: 1733-50-2933

PROJECT: 17-08  
 DESIGNER: J. BRADY/L. HERR  
 NAME: J. Z. WANG/L. HERR  
 CHECK BY: J.B.S.  
 SCALE: 1"=30'  
 DATE: 02/20/2024



**NOTES:**

1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
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4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATED, AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS, G.S. 47-200, AND REQUIREMENTS OF LAW, BUT WITHOUT BENEFIT OF A FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS THAT MAY BE REVEALED BY TITLE EXAMINATION.
5. NO COCS MONUMENT FOUND WITHIN 2000 FT.
6. DATE OF SURVEY: 09/28/2021.
7. NO INVESTIGATION MADE FOR 404 JURISDICTION'S WETLANDS.

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**LOT AREA TABLE**

LOT #	TOTAL AREA	TAKEN R/W	REMAINING AREA
LOT 3	20,000.00 SQ.FT.	0.04 AC. 1,388.14 SQ.FT.	18,611.86 SQ.FT.
LOT 4	20,000.00 SQ.FT.	0.04 AC. 1,388.14 SQ.FT.	18,611.86 SQ.FT.

**LEGEND**

- AD-ABOVE GROUND
- BD-BELOW GROUND
- CD-CORNER
- EP-EXISTING IRON PIPE
- ED-EXISTING IRON ROAD
- NP-NEW IRON PIPE
- EP-EXISTING OF PAVERMENT
- GP-GUY WIRE
- OP-OPEN-ENDED POWER LINE
- PP-POWER POLE
- PV-HEIGHT OF WAY
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT
- CENTER OF ROAD
- COMMUNICATIONS LINE
- ELECTRIC LINE
- FIBER OPTIC LINE
- GAS LINE
- HEIGHT OF DISTURBANCE
- HEIGHT OF CLEARANCE
- WATER LINE
- PROPOSED 12' WALKING PATH PER POOLE ROAD WIDENING PROJECT
- PROPOSED 12' WALKING PATH PER POOLE ROAD WIDENING PROJECT
- NEW CONCRETE CURB & GUTTER
- NEW CONCRETE SIDEWALK
- NEW ASPHALT PAVING
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER METER
- WATER VALVE
- WATER FIRE HYDRANT

**OWNERS:**  
WILLIAM H. GARDNER & SANDRA MORAY JOHNSON (JOINT TENANTS)  
608 NEW BORN AVENUE, RALEIGH, NC 27610

**FLOOD NOTE:**  
LOT 3: PIN:1733-50-2833  
LOT 4: PIN:1733-50-3502

**NOTE:** THIS PROPERTY IS NOT LOCATED IN A SPECIAL HAZARD HAZARDOUS AREA AS SHOWN ON FLOOD MAP 17023T0300 BY CITY OF RALEIGH. (S.D. 37024) PANEL:0562 SURVEY:7

**EFFECTIVE DATE:** 05/02/2006



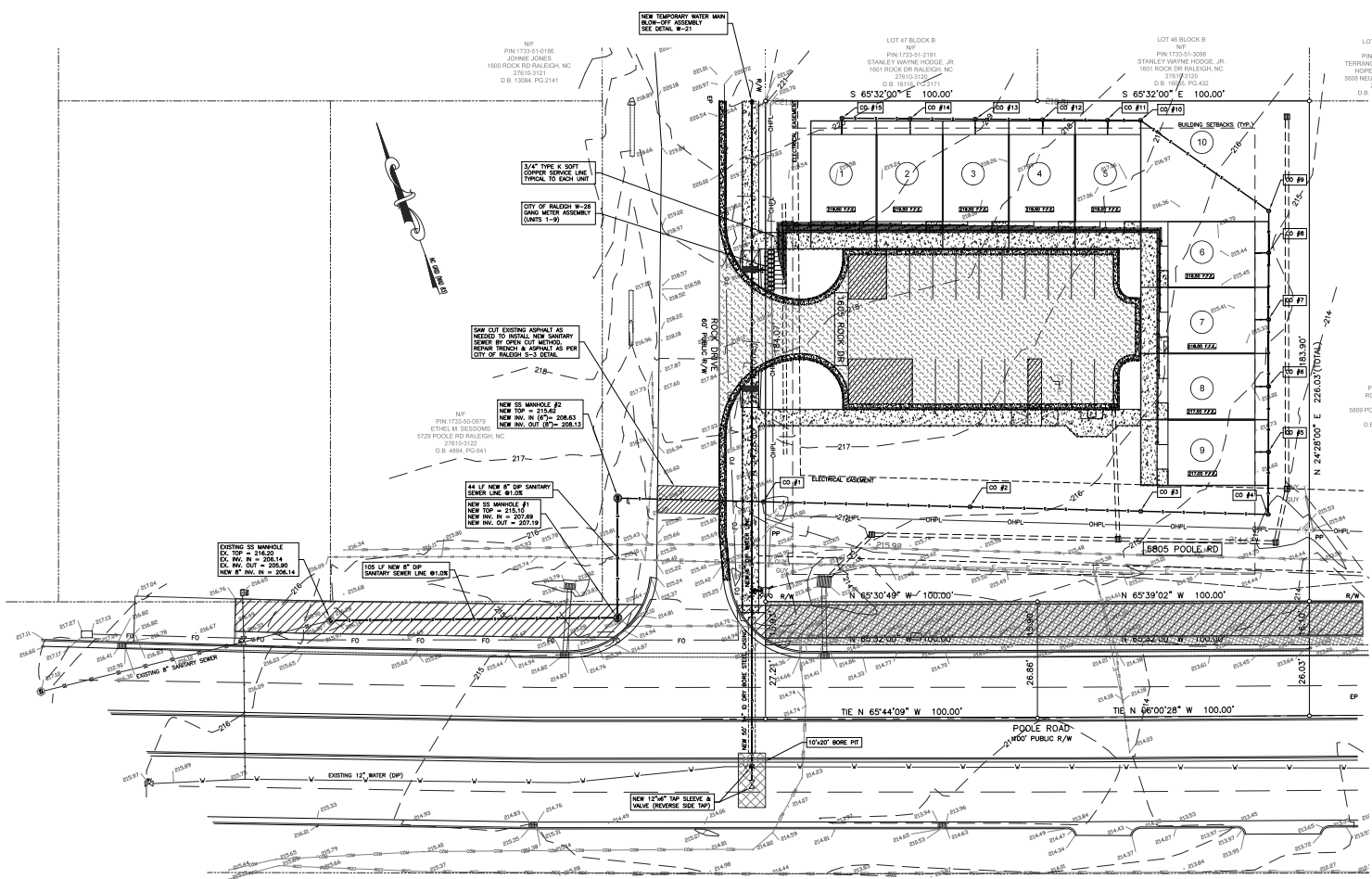
REVISIONS:

**C6 - UTILITY PLAN**

**LOT 3&4-BLOCK B, RIVERVIEW ESTATES**

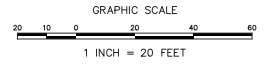
**GARDNER TOWNS AT POOLE**  
1605 ROCK RIDGE DRIVE, RALEIGH, NC 27610  
D.B. 19342 PG.1530 PIN:1733-50-2933  
PIN:1733-50-3520

**PREPARED BY:** TR-48  
**DESIGNED BY:** SANCY/LP/BB  
**DRAWN BY:** JZ WANG/LP  
**CHECK BY:** D.B.  
**SCALE:** 1"=30'  
**DATE:** 02/09/2024



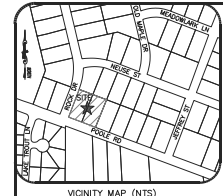
**PROPOSED SEWER STRUCTURE & PIPE LEGEND**

PIPE LENGTH & %	SANITARY SEWER STRUCTURE #	TOP	INV. IN.	INV. OUT.
55 LF. - 6" DIP @ 1.0%	NEW MH #2	215.62	208.63	208.13
75 LF. - 6" DIP @ 1.0%	CO #1	215.56	209.18	209.18
75 LF. - 6" DIP @ 1.0%	CO #2	215.31	209.93	209.93
35 LF. - 6" DIP @ 1.0%	CO #3	215.65	210.68	210.68
23 LF. - 6" DIP @ 4.22%	CO #4	215.65	211.03	211.03
24 LF. - 6" DIP @ 1.0%	CO #5	215.83	212.00	212.00
24 LF. - 6" DIP @ 1.0%	CO #6	215.83	212.24	212.24
24 LF. - 6" DIP @ 1.0%	CO #7	216.00	212.48	212.48
24 LF. - 6" DIP @ 1.0%	CO #8	216.00	212.72	212.72
15 LF. - 6" DIP @ 1.0%	CO #9	216.00	212.87	212.87
57 LF. - 6" DIP @ 1.0%	CO #10	217.00	213.44	213.44
12 LF. - 6" DIP @ 1.0%	CO #11	217.50	213.56	213.56
24 LF. - 6" DIP @ 1.0%	CO #12	218.25	213.80	213.80
24 LF. - 6" DIP @ 1.0%	CO #13	218.15	214.04	214.04
24 LF. - 6" DIP @ 1.0%	CO #14	218.29	214.28	214.28
24 LF. - 6" DIP @ 1.0%	CO #15	218.44	214.52	214.52



Drawn by: Y. Wang; Date: 02/09/2024; Project: 1733-50-2933; Title: C6 - UTILITY PLAN; Scale: 1"=30'; Date: 02/09/2024





**NOTES:**

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5. NO NCDS MONUMENT FOUND WITHIN 2000 FT.
6. DATE OF SURVEY: 09/29/2021.
7. NO INVESTIGATION MADE FOR 404 JURISDICTION'S WETLANDS.

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**STORMWATER IMPERVIOUS NOTES:**

**REQUIRED SITE IMPROVEMENTS:**  
 ROCK DRIVE ROW (NEW CURB & GUTTER & ENTRANCE) = 0.025 AC (1,065.20 S.F.)  
 ROCK DRIVE ROW (NEW SIDEWALK) = 0.022 AC (935.58 S.F.)  
 TOTAL NEW IMPERVIOUS SURFACE ROCK DRIVE ROW = 0.048 AC (2,000.78 S.F.)

**MAXIMUM IMPERVIOUS SURFACE ALLOWED PER ZONING = 51% (0.84 AC) = 0.528 AC**

TOTAL NEW ON-SITE/PARCEL ONLY IMPERVIOUS SURFACE = 0.325 AC (16,552.72 S.F.)  
 NEW ON-SITE/PARCEL ONLY IMPERVIOUS SURFACE + NEW IMPERVIOUS SURFACE ROCK DRIVE ROW = 0.422 AC (16,361.95 S.F.)

NEW ON-SITE IMPERVIOUS SURFACE + NEW IMPERVIOUS SURFACE IN ROCK DRIVE ROW = (0.422 AC - 0.84 AC) = 50.23%  
 THEREFORE SINCE 50.23% NEW IMPERVIOUS SURFACE IS LESS THAN ALLOWED 51% IMPERVIOUS PER SECTION 9.2.2.A.4 OF THE CITY OF RALEIGH UNITED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

**IMPERVIOUS SURFACE NEW IMPERVIOUS AREA**

BUILDING	8,399.81 SQ.FT.
CONC. DR.	4,288.89 SQ.FT.
CONC. DR.	1,028.89 SQ.FT.
ASPHALT	6,329.81 SQ.FT.
TOTAL	16,320.72 SQ.FT.
PERCENT OF LOT: 44.42%	

**ROCK DRIVE ROW NEW IMPERVIOUS AREA**

CONC. DR.	242.71 SQ.FT.
ASPHALT	692.87 SQ.FT.
TOTAL	935.58 SQ.FT.
PERCENT OF LOT: 4.42%	

**LEGEND**

- AG-ABOVE GROUND
- BE-BELOW GROUND
- CS-CURB & GUTTER
- EP-EXISTING IRON PIPE
- EM-EXISTING IRON MANHOLE
- NP-NEW IRON PIPE
- ENP-EXISTING CONCRETE PIPE
- OUT-GUY WIRE
- OPR-COVERHEAD POWER LINE
- PP-POWER POLE
- PV-PROPOSED 12" WALKING PATH PER POOLE ROAD WIDENING PROJECT
- PROPOSED 12" WALKING PATH PER POOLE ROAD WIDENING PROJECT
- NEW CONCRETE
- NEW CONCRETE SIDEWALK
- NEW ASPHALT PAVING
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER METER
- WATER VALVE
- WATER FIRE HYDRANT

**OWNERS:**

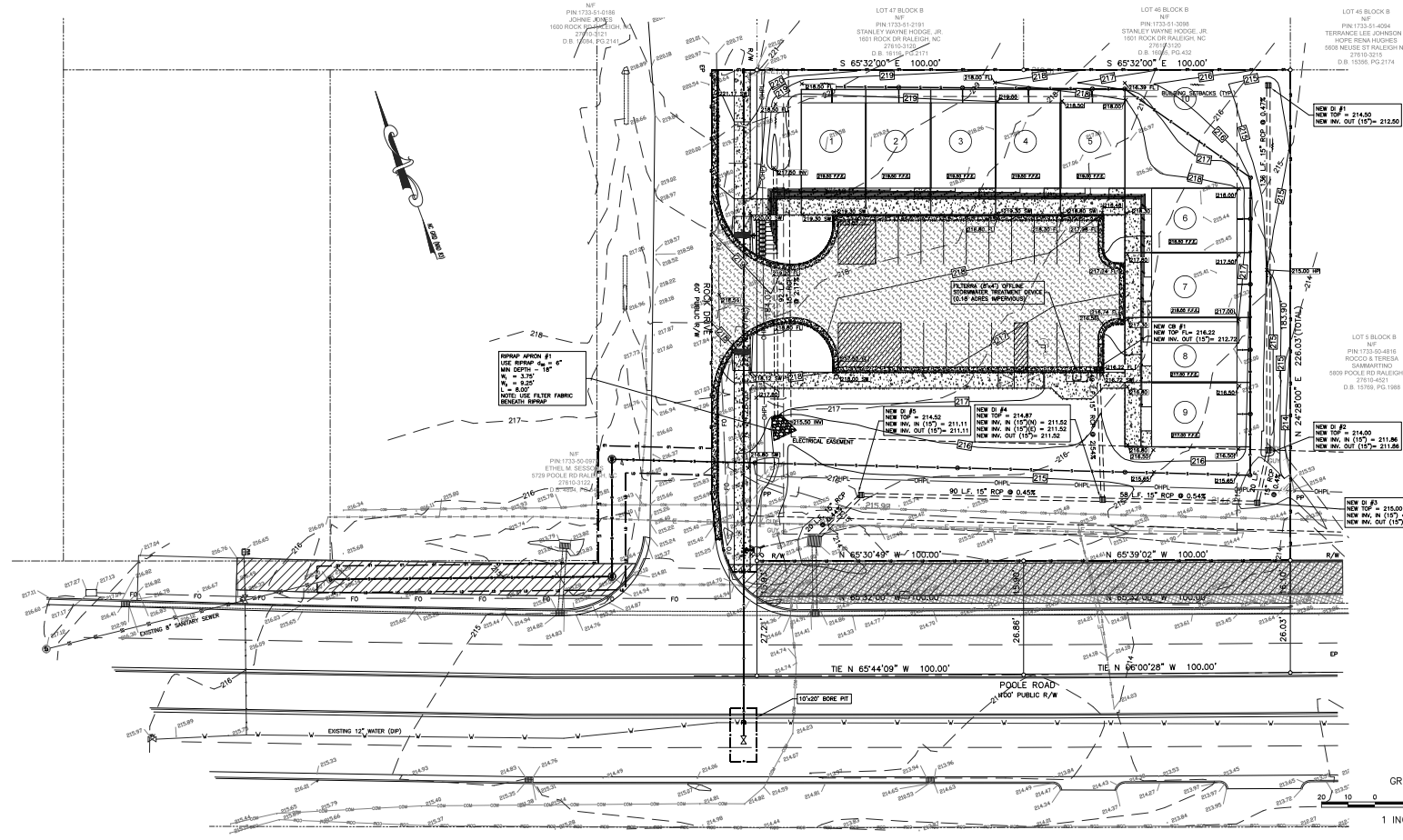
WILLIAM H. GARDNER & SANDRA MONY JOHNSON (JOINT TENANTS)  
 6308 NEW BURN AVENUE, RALEIGH, NC 27610

LOT 3, PIN: 1733-50-2933  
 LOT 4, PIN: 1733-50-3922

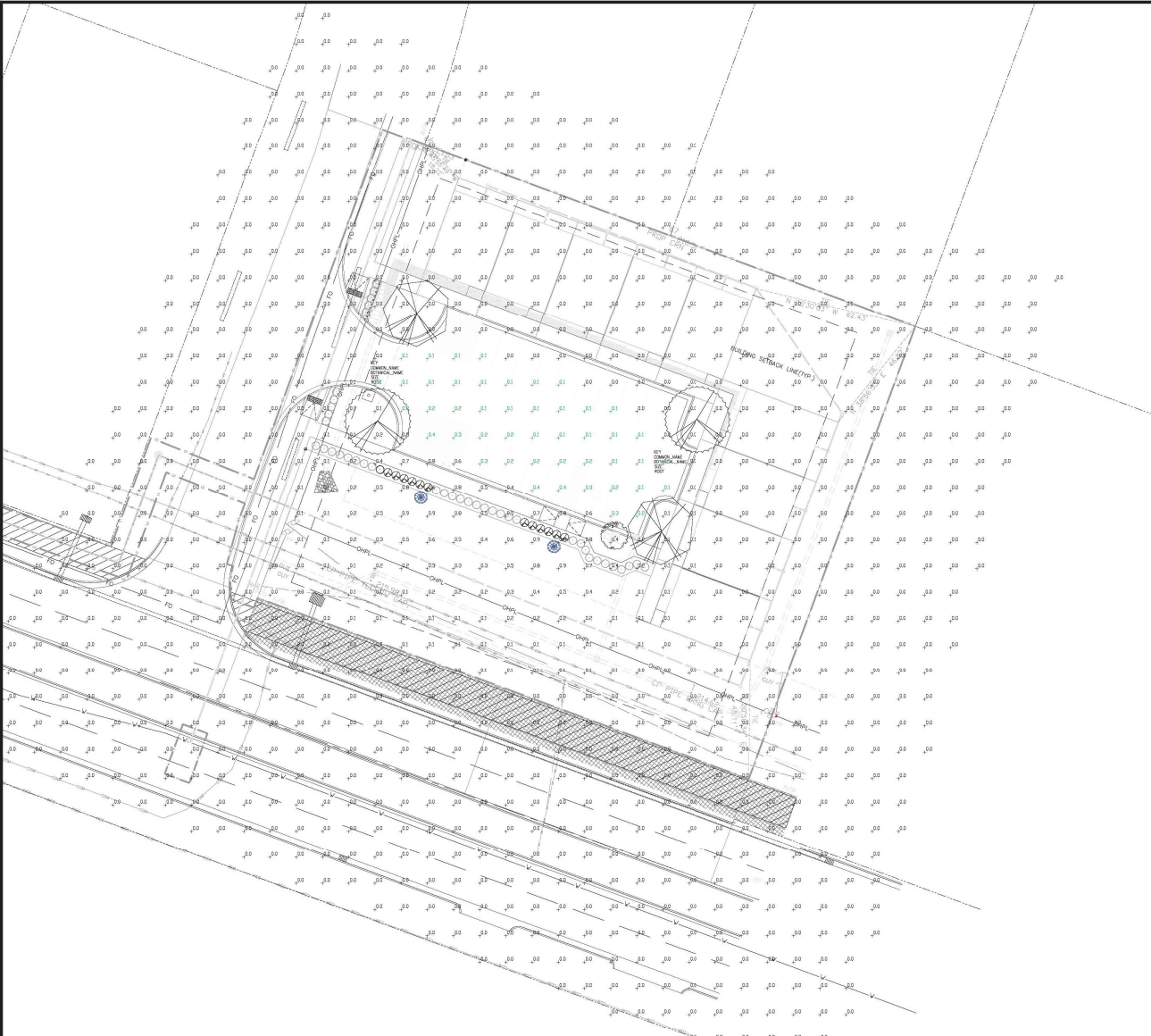
**FLOOD NOTE:**

NOTE THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD MAP 1702075004 CITY OF RALEIGH (SD 170204) PANEL 0562 (SHEET 2)

EFFECTIVE DATE: 05/02/2006







### Outdoor Lighting

**LED**  
(Light-emitting diode)

**Mounting height**  
12' - 17'

**Color**  
Black

**Material**  
Cast aluminum  
Cast aluminum  
Cast aluminum  
Cast aluminum

**Applications**  
Neighborhoods  
Parks  
Shopping centers  
Streets

**Light source:** LED (inhalable)  
**Wattage:** 50 watts  
**Lumens:** 6,500  
**Light pattern:** Type V Visual Comfort with Internal Optic  
**BUS rating:** BUUSG3  
**Color temperature:** 2,700K, 3,000K, 4,000K and 5,000K

**POLE AVAILABLE**

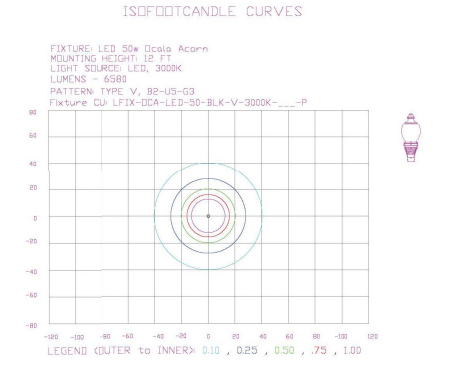
Flangeless	16'	Black
Fluted concrete	13'	Black
Decorative aluminum	12', 16'	Black

**FEATURES**

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

**BENEFITS**

- Positive baseline installation and service
- Free-up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminate high and unexpected repair bills
- Convenience and savings for you



Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
	A	2	LED 50w Ocala Acorn - 3000K - Type V		6500	0.85

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	X	0.1 fcd	0.6 fcd	0.0 fcd	N/A	N/A

**SHEET 9 OF 9**

NO.	DATE	REVISION	BY

**LIGHTING DESIGN TOLERANCE**  
 The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry (including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

**PROPRIETARY & CONFIDENTIAL**  
 This document together with the concepts and design presented herein, presented as an instrument of service, is the sole property of Duke Energy and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reliance on this document.



1605 ROCK DRIVE  
 RALEIGH, NC  
 STREET LIGHTING ARRANGEMENT  
 Designed by: DUKE ENERGY PROGRESS LIGHTING SOLUTIONS  
 Reviewed by: A. Herrera Scale: 1" = 20'  
 Date: 2/1/2024 Size: Drawing size "D"  
 Description: LED Ocala Acorn  
 Drawing No.: 24-0043A Str: 1 OF 1

# GARDNER TOWNHOMES

PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
PROJECT:  
MANASSAS/ROSEL  
NW  
CORNER/EX  
DRB  
SCALE  
1/4" = 1'-0"



WWW.DRBD  
dbiomedesign.com



DRB  
GARDNER  
TOWNHOMES



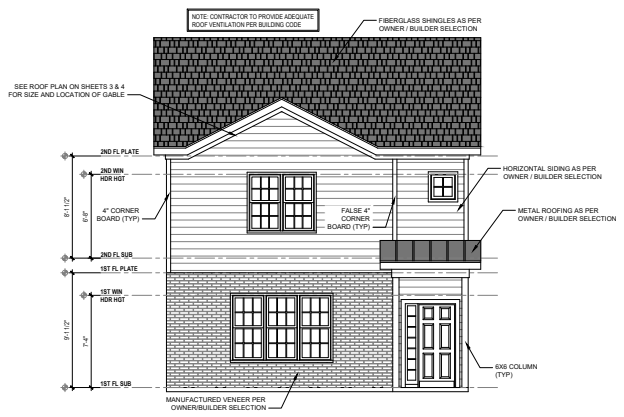
DRB DESIGN  
dbiomedesign.com 919.631.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427



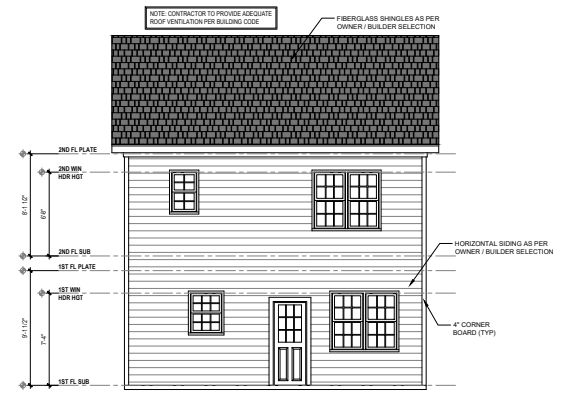
DRB DESIGN  
ELEVATIONS



**FRONT ELEVATION A**  
1/4" = 1'-0"



**RIGHT ELEVATION A**  
1/4" = 1'-0"



**REAR ELEVATION A**  
1/4" = 1'-0"



**LEFT ELEVATION A**  
1/4" = 1'-0"

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- All construction shall conform to the latest requirements of North Carolina State 2018 residential building code, in addition to all local codes and regulations.
- Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
- Release of these plans requires further cooperation among the owner, fabricator, contractor, and DRB DESIGN.
- Design and construction are complete and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
- Contingencies are implied and every contingency cannot be anticipated.
- Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN promptly may result in rework and increase construction costs.
- A failure to cooperate by a simple notice to DRB DESIGN shall release the designer from any and all responsibilities for all consequences.
- Changes made to these plans without the consent of the designer are unauthorized and shall release DRB DESIGN of responsibility for any and all consequences arising out of such changes.
- Written dimensions on these plans always have precedence over scaled dimensions.
- It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors unless construction has begun.
- DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

# GARDNER TOWNHOMES

PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
PROJECT:  
GARDNER  
DRB  
SCALE  
1/4" = 1'-0"



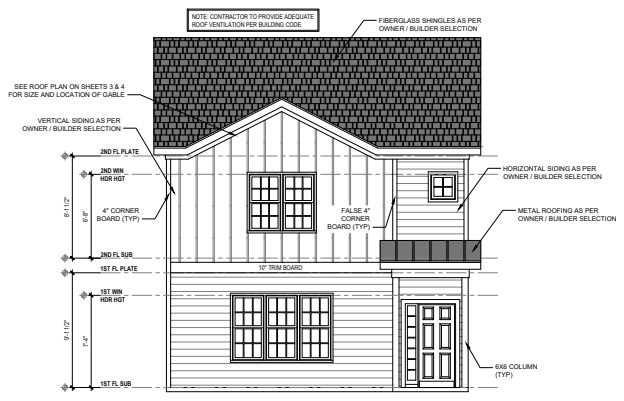
WWW.DRBDISIGN.COM  
dbrbdesign.com



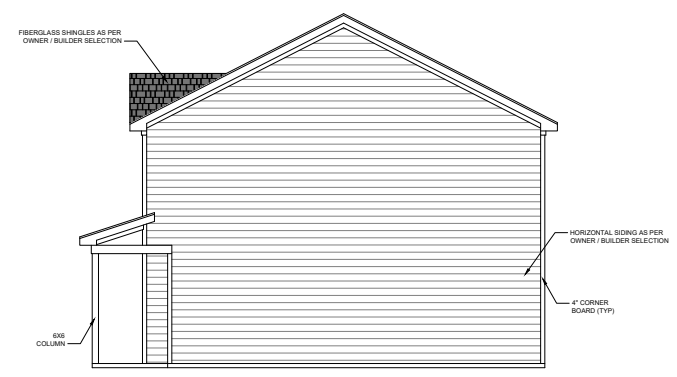
GARDNER  
TOWNHOMES



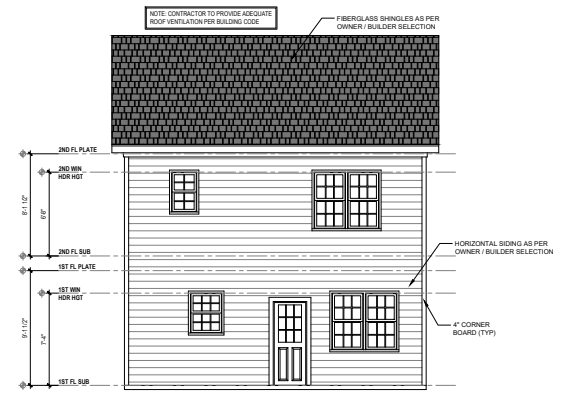
DRB DESIGN  
dbrbdesign@drbdesign.com 919.631.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



**FRONT ELEVATION B**  
1/4" = 1'-0"



**RIGHT ELEVATION B**  
1/4" = 1'-0"



**REAR ELEVATION B**  
1/4" = 1'-0"



**LEFT ELEVATION B**  
1/4" = 1'-0"

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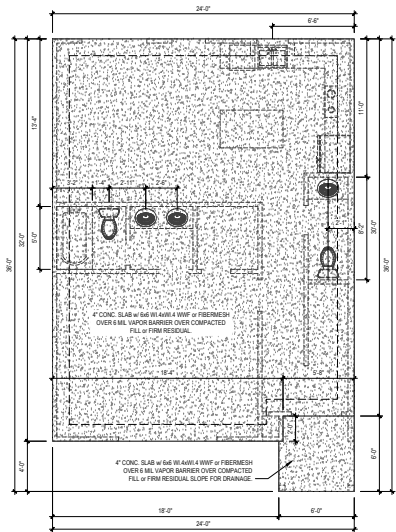


WWW.DRBDISIGN.COM  
dbrbdesign.com

William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
willg Gardner22@gmail.com  
(919) 264-5427

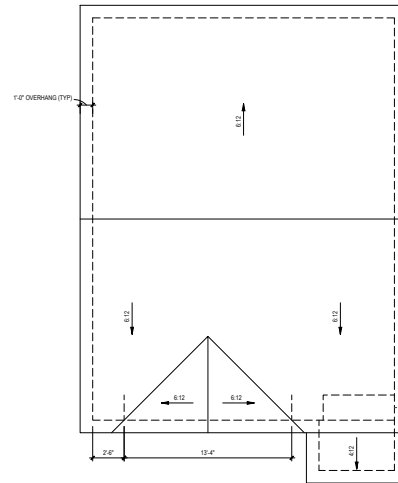


DRB DESIGN  
ELEVATIONS



**FOUNDATION PLAN - ALL ELEVATIONS**  
1/4" = 1'-0"

NOTE: SEE STRUCTURAL PLANS FOR ENGINEERING INFORMATION

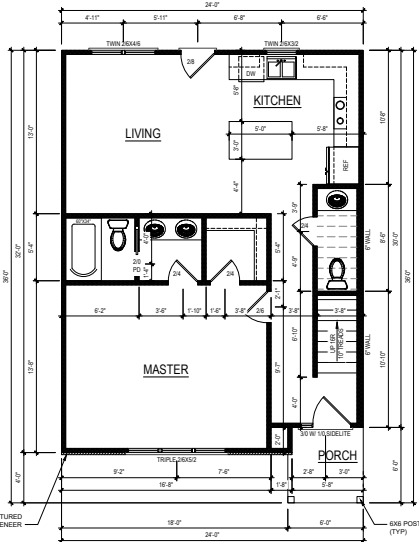


**ROOF PLAN - ALL ELEVATIONS**  
1/4" = 1'-0"

NOTE: OVERHANG DIMENSIONS ARE FROM FRAMING

NOTE: SEE STRUCTURAL PLANS FOR ATTIC VENTILATION CALCULATIONS

NOTE: ANY ROOF PITCH 1:12 OR LESS SHOULD BE PROPERLY WATERPROOFED PER BLDG. CODE



**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

HEATED SQUARE FOOTAGE	
First Floor	757
Second Floor	699
<b>TOTAL HEATED</b>	<b>1456</b>
UNHEATED SQUARE FOOTAGE	
Front Porch	35
<b>TOTAL UNHEATED</b>	<b>35</b>
<b>TOTAL SQ. FT.</b>	<b>1491</b>

NOTE: SEE ELEVATIONS FOR WINDOW HDR HGT'S

NOTE: ALL DOORS ARE 6'-0" TALL UNO

NOTE: ALL EXTERIOR WALLS ARE NOMINAL 4" UNO

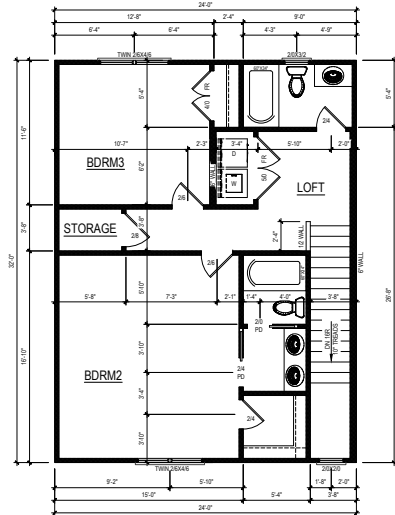
NOTE: ALL INTERIOR WALLS ARE NOMINAL 4" UNO

NOTE: ALL DIMENSIONS ARE FRAME TO FRAME

NOTE: BEST WINDOW SILL HEIGHT CLEARANCE ABOVE TUBS AND COUNTERTOPS TO ALLOW FOR TRIM AND/OR BACKLASH

NOTE: ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT. FOR GRADE FLOOR WINDOWS AND 5.7 SQ. FT. FOR UPPER STORY WINDOWS. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". MAXIMUM SILL HEIGHT - 44" A.F.F.

NOTE: CONTRACTOR TO LOCATE WATER HEATER, A/C UNIT(S), AND ATTIC ACCESS ON SITE



**SECOND FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

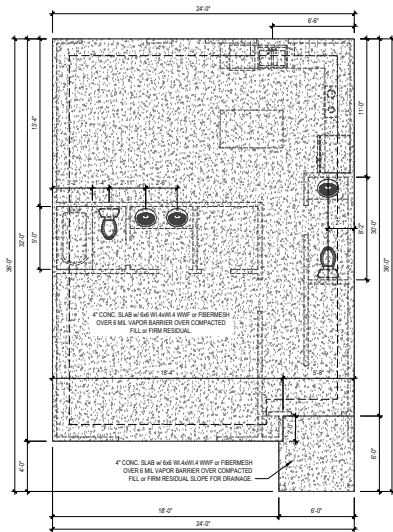
NOTE: ALL DOORS ARE 6'-0" TALL UNO

NOTE: ALL EXTERIOR WALLS ARE NOMINAL 4" UNO

NOTE: ALL INTERIOR WALLS ARE NOMINAL 4" UNO

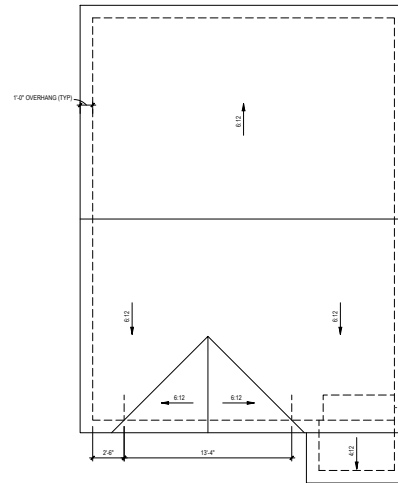
NOTE: ALL DIMENSIONS ARE FRAME TO FRAME

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- Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
- Interior dimensions on these plans always have precedence over stated dimensions.
- It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimensions and square footage errors once construction has begun.
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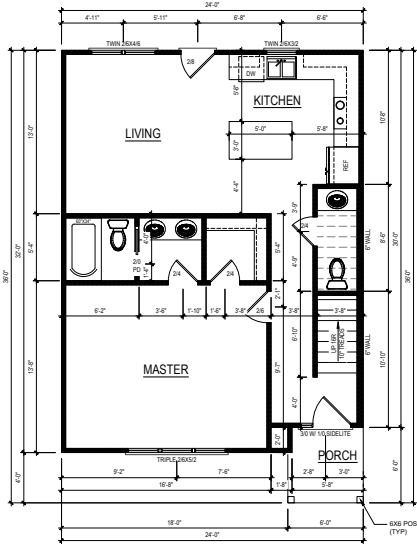


**FOUNDATION PLAN - ALL ELEV**  
1/4" = 1'-0"

NOTE: SEE STRUCTURAL PLANS FOR ENGINEERING INFORMATION



**ROOF PLAN - ALL ELEV**  
1/4" = 1'-0"



**FIRST FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

HEATED SQUARE FOOTAGE	
First Floor	757
Second Floor	699
<b>TOTAL HEATED</b>	<b>1456</b>
UNHEATED SQUARE FOOTAGE	
Front Porch	35
<b>TOTAL UNHEATED</b>	<b>35</b>
<b>TOTAL SQ FT</b>	<b>1491</b>

NOTE: SEE ELEVATIONS FOR WINDOW HDR HGT'S

NOTE: ALL DOORS ARE 6'-0" TALL UNO

NOTE: ALL EXTERIOR WALLS ARE NOMINAL 4" UNO

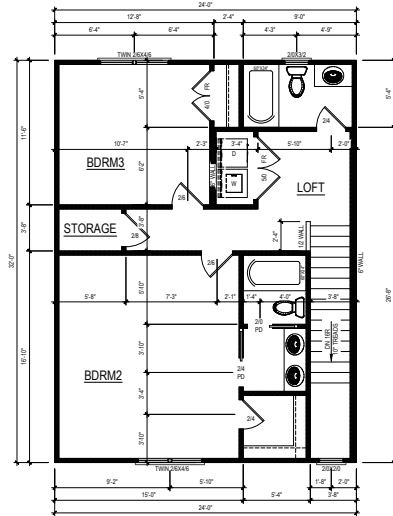
NOTE: ALL INTERIOR WALLS ARE NOMINAL 4" UNO

NOTE: ALL DIMENSIONS ARE FRAME TO FRAME

NOTE: BEST WINDOW SILL HEIGHT CLEARANCE ABOVE TUBS AND COUNTERTOPS TO ALLOW FOR TUB AND/OR BACKLASH

NOTE: ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ FT FOR GRADE FLOOR WINDOWS AND 5.7 SQ FT FOR UPPER STORY WINDOWS. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". MAXIMUM SILL HEIGHT - 44" A.F.F.

NOTE: CONTRACTOR TO LOCATE WATER HEATER, A/C UNIT(S), AND ATTIC ACCESS ON SITE



**SECOND FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

NOTE: ALL DOORS ARE 6'-0" TALL UNO

NOTE: ALL EXTERIOR WALLS ARE NOMINAL 4" UNO

NOTE: ALL INTERIOR WALLS ARE NOMINAL 4" UNO

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# 5 UNITS



**FRONT ELEVATION A**  
1/4" = 1'-0"

**FRONT ELEVATION B**  
1/4" = 1'-0"

**FRONT ELEVATION A**  
1/4" = 1'-0"

**FRONT ELEVATION B**  
1/4" = 1'-0"

**FRONT ELEVATION A**  
1/4" = 1'-0"



**RIGHT ELEVATION A**  
1/4" = 1'-0"

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PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
PROJECT NUMBER:  
NW  
SUBJECT:  
DRB  
SCALE:  
1/4" = 1'-0"



ARCHITECT:  
dbrbiomedesign.com



DESIGNER:  
GARDNER  
TOWNHOMES



DRB DESIGN  
919.631.5979  
dbrbiomedesign.com  
250 Shipwash Dr Suite 105 Garner, NC 27529



CONTRACTOR:  
William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
willg Gardner22@gmail.com  
(919) 264-5427



ELEVATIONS



# 5 UNITS



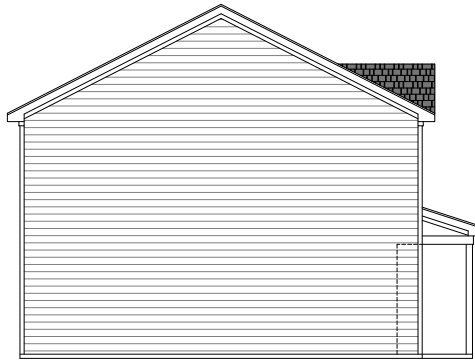
**REAR ELEVATION A**  
1/4" = 1'-0"

**REAR ELEVATION B**  
1/4" = 1'-0"

**REAR ELEVATION A**  
1/4" = 1'-0"

**REAR ELEVATION B**  
1/4" = 1'-0"

**REAR ELEVATION A**  
1/4" = 1'-0"



**LEFT ELEVATION A**  
1/4" = 1'-0"

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PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
PROJECT NUMBER:  
NW  
DRAWN BY:  
DRB  
SCALE:  
1/4" = 1'-0"



ARCHITECT:  
dbrbomedesign.com



ARCHITECT:  
GARDNER  
TOWNHOMES



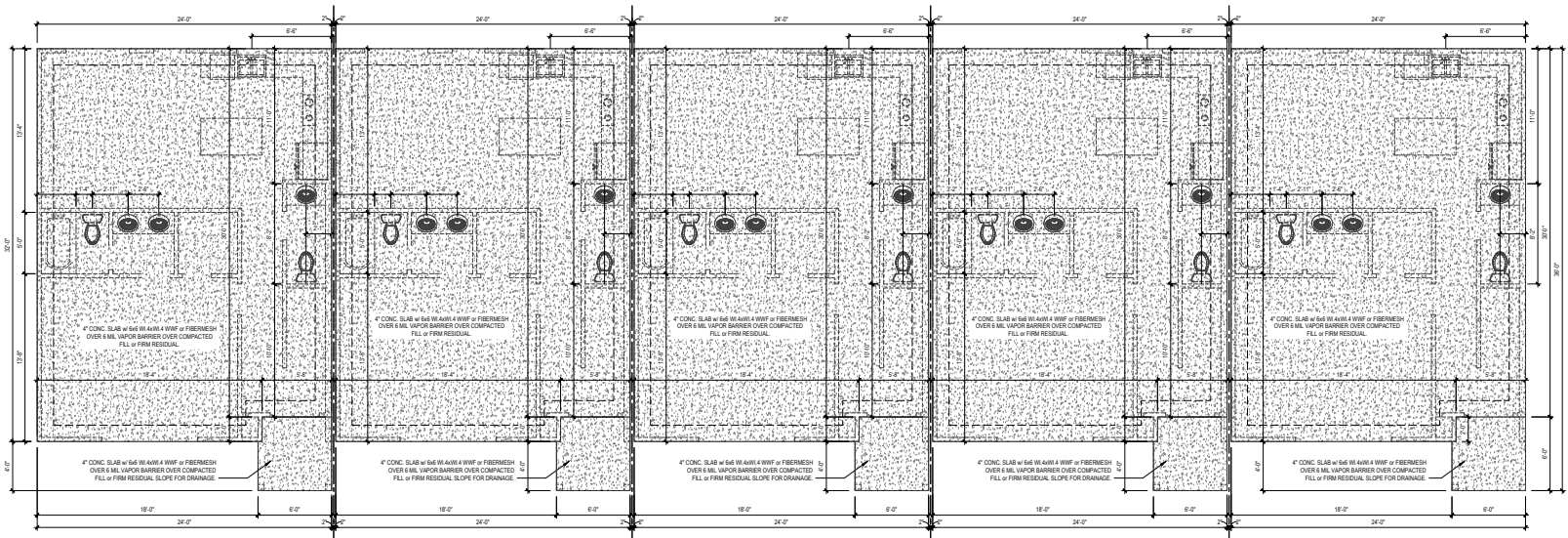
ARCHITECT:  
dbrblesign@drbomedesign.com 919.691.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



ARCHITECT:  
William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427



ARCHITECT:  
ELEVATIONS



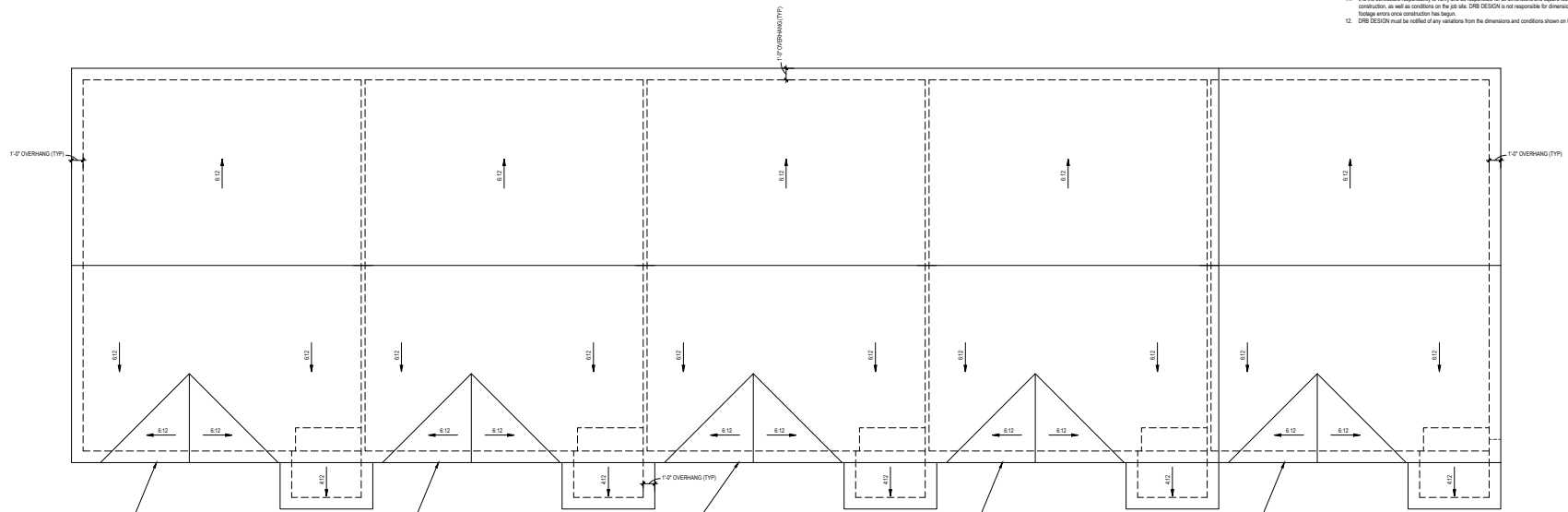
**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"



**ROOF PLAN - ELEV A**  
1/4" = 1'-0"

**ROOF PLAN - ELEV B**  
1/4" = 1'-0"

**ROOF PLAN - ELEV A**  
1/4" = 1'-0"

**ROOF PLAN - ELEV B**  
1/4" = 1'-0"

**ROOF PLAN - ELEV A**  
1/4" = 1'-0"

- DRB DESIGN assumes no liability for any home constructed from these plans.
- All construction shall conform to the latest requirements of North Carolina State 2018 residential building code, in addition to local codes and regulations.
- Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
- Release of these plans requires further cooperation among the owner, higher contractor, and DRB DESIGN.
- Design and construction are complete and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
- Contingencies is implied and every contingency cannot be anticipated.
- Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
- A failure to cooperate by a simple notice to DRB DESIGN shall release the designer from any and all responsibilities for all consequences.
- Changes made to these plans without the consent of the designer are unauthorized and shall release DRB DESIGN of responsibility for any and all consequences arising out of such changes.
- Written dimensions on these plans always have precedence over scaled dimensions.
- It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors unless construction has begun.
- DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
DRAWN BY:  
NW  
CHECKED BY:  
DRB  
SCALE:  
1/4" = 1'-0"

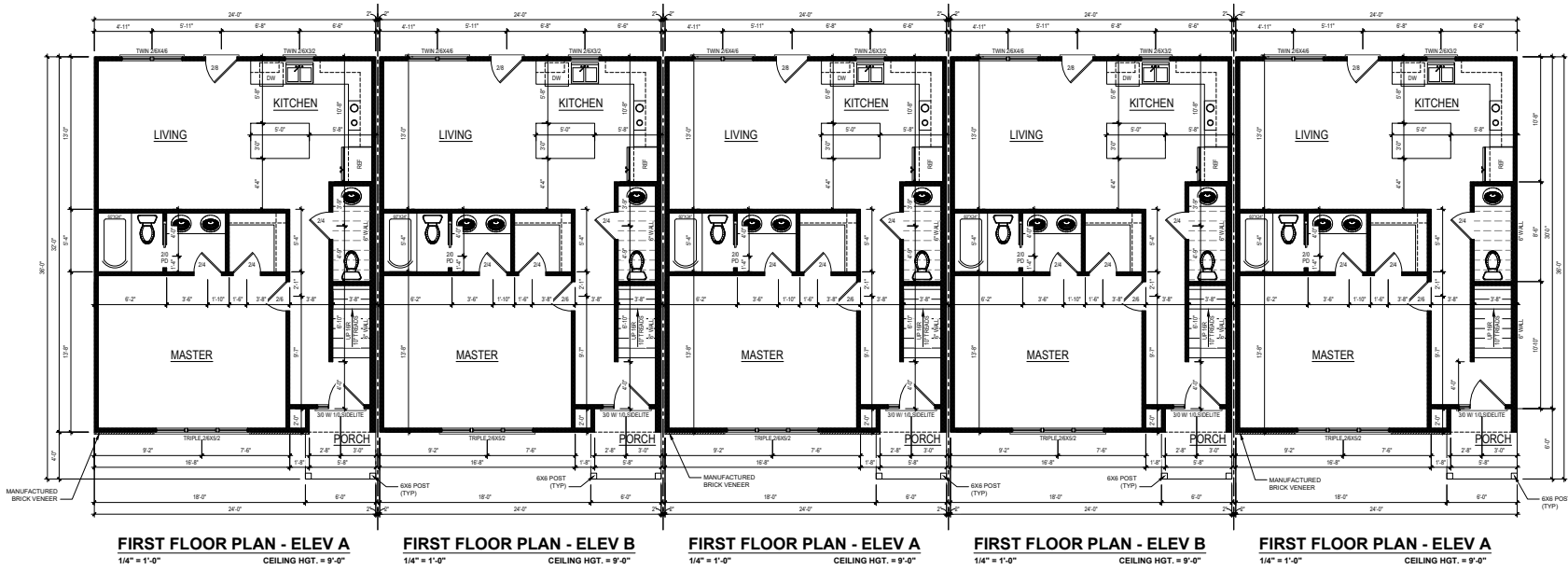


GARDNER  
TOWNHOMES

drbdesign@drbomedesign.com 919.691.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427



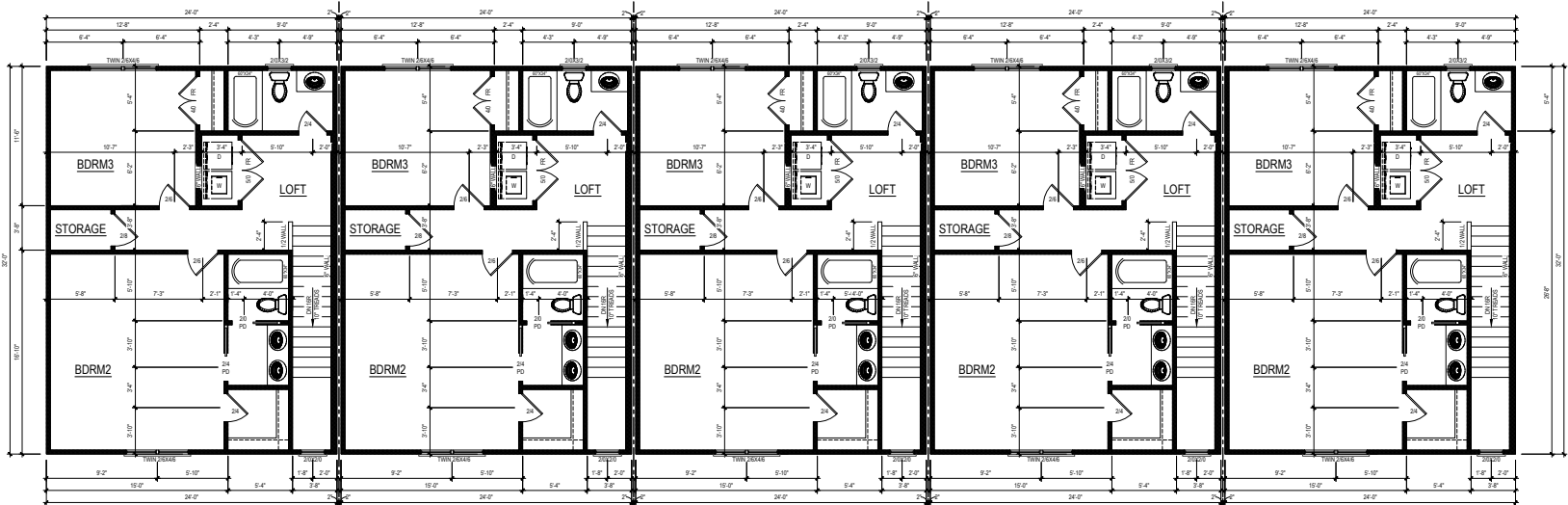
**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 9'-0"



**SECOND FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

1. DRB DESIGN assumes no liability for any home construction from this plan.
2. All construction shall conform to the latest requirements of North Carolina State 2018 residential building code, in addition to all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further coordination among the owner, fabricator, contractor, and DRB DESIGN.
5. Design of construction are complete and, although the designer performed his service with due care and objective perfection is not a guarantee.
6. Construction of material and any contingencies cannot be anticipated.
7. Any ambiguity or discrepancy discovered by the user of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN immediately may result in misinterpretation and increase construction costs. A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibility for all construction.
8. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
9. Written dimensions on these plans always have precedence over scaled dimensions.
10. It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors unless construction has begun.
11. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

PROJECT:  
DRB2301-0073  
DATE:  
03/21/2024  
LOCATION:  
MANASSAS, VA  
NW  
CORNER  
DRB  
SCALE:  
1/4" = 1'-0"

dbiomedesign.com

GARDNER  
TOWNHOMES

drbdesign@drbomedesign.com 919.631.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
whg Gardner22@gmail.com  
(919) 264-5427

FLOOR PLANS

# 4 UNITS

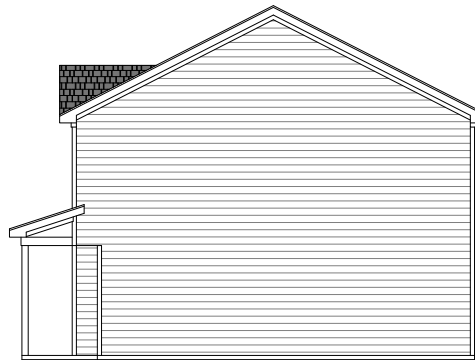


**FRONT ELEVATION B**  
1/4" = 1'-0"

**FRONT ELEVATION A**  
1/4" = 1'-0"

**FRONT ELEVATION B**  
1/4" = 1'-0"

**FRONT ELEVATION A**  
1/4" = 1'-0"



**RIGHT ELEVATION A**  
1/4" = 1'-0"

1. DRB DESIGN assumes no liability for any home constructed from this plan.
2. All construction shall conform to the latest requirements of North Carolina State 2018 residential building code, as address to all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN.
5. Change and construction are complex and, although the designer performs his services with due care and diligence, perfection is not a guarantee.
6. Communication is imperative and every contingency cannot be anticipated.
7. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN constitutes misrepresentation and increases construction costs.
8. A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibilities for consequences.
9. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
10. Written dimensions on these plans always have precedence over scaled dimensions.
11. It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors since construction has begun.
12. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
PROJECT:  
NW  
SHEET:  
DRB  
SCALE:  
1/4" = 1'-0"



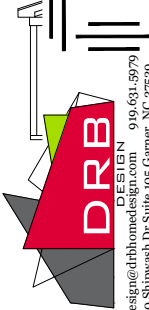
ARCHITECT:  
dbrbiomedesign.com



ARCHITECT:  
GARDNER  
TOWNHOMES



ARCHITECT:  
dbrbiomedesign.com 919.631.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



ARCHITECT:  
William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427

ARCHITECT:  
William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427



ARCHITECT:  
ELEVATIONS

# 4 UNITS

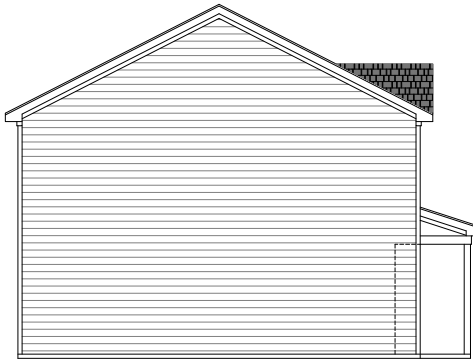


**REAR ELEVATION A**  
1/4" = 1'-0"

**REAR ELEVATION B**  
1/4" = 1'-0"

**REAR ELEVATION A**  
1/4" = 1'-0"

**REAR ELEVATION B**  
1/4" = 1'-0"



**LEFT ELEVATION B**  
1/4" = 1'-0"

1. DRB DESIGN assumes no liability for any home constructed from this plan.
2. All construction shall conform to the latest requirements of "North Carolina State 2018 residential building code", as amended by all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN.
5. Change and construction are complex and, although the designer performs his services with due care and diligence, perfection is not a guarantee.
6. Communication is imperative and every contingency cannot be anticipated.
7. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN constitutes misrepresentation and increases construction costs.
8. A failure to cooperate by a single notice to DRB DESIGN shall relieve the designer from any and all responsibilities for consequences.
9. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
10. Interior dimensions on these plans always have precedence over scaled dimensions.
11. It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors since construction has begun.
12. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
PROJECT NO:  
NW  
DRAWN BY:  
DRB  
SCALE:  
1/4" = 1'-0"

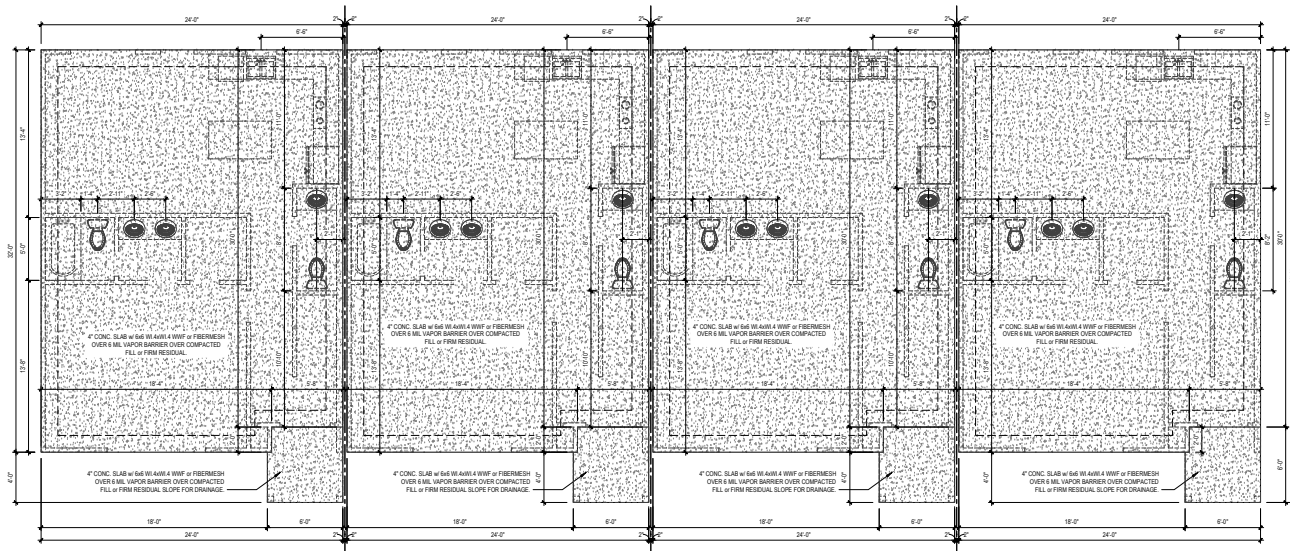
ARCHITECT:  
dbiomedesign.com

DESIGNER:  
GARDNER  
TOWNHOMES

CONTACT:  
drbdesign@drbomedesign.com 919.691.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529

CONTACT:  
William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427

SECTION:  
ELEVATIONS

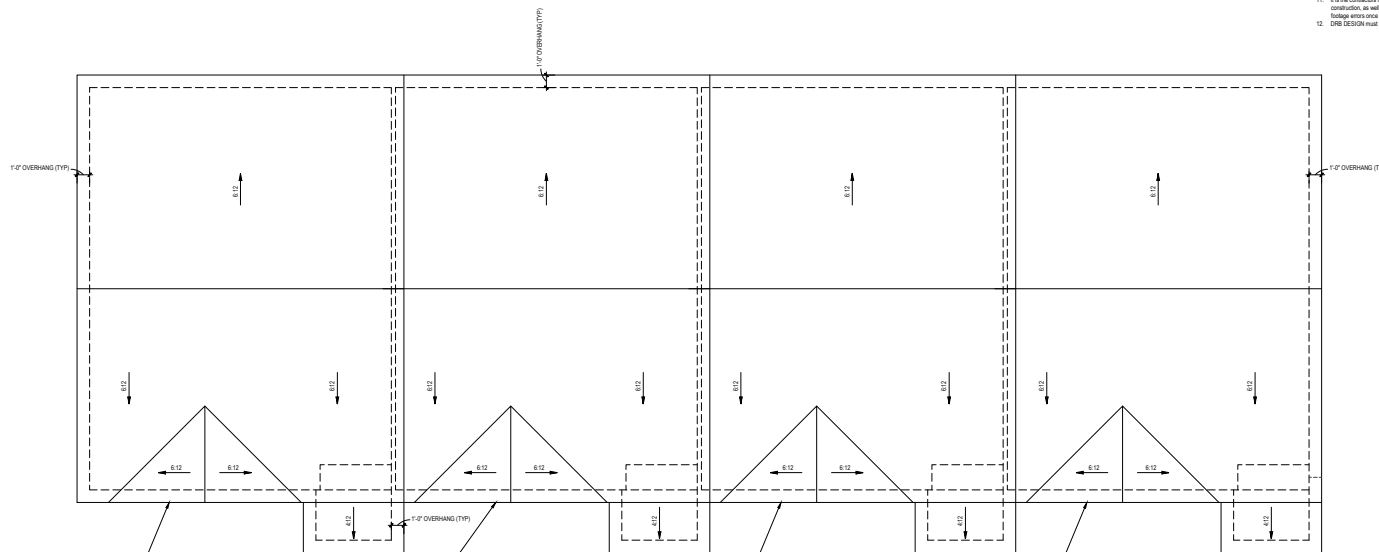


**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"



SEE ROOF PLAN ON SHEETS 3 & 4 FOR SIZE AND LOCATION OF GABLE

**ROOF PLAN - ELEV B**  
1/4" = 1'-0"

SEE ROOF PLAN ON SHEETS 3 & 4 FOR SIZE AND LOCATION OF GABLE

**ROOF PLAN - ELEV A**  
1/4" = 1'-0"

SEE ROOF PLAN ON SHEETS 3 & 4 FOR SIZE AND LOCATION OF GABLE

**ROOF PLAN - ELEV B**  
1/4" = 1'-0"

SEE ROOF PLAN ON SHEETS 3 & 4 FOR SIZE AND LOCATION OF GABLE

**ROOF PLAN - ELEV A**  
1/4" = 1'-0"

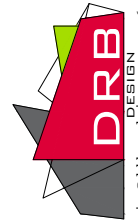
- DRB DESIGN assumes no liability for any home constructed from this plan.
- All construction shall conform to the latest requirements of North Carolina State 2018 residential building code, in addition to all local codes and regulations.
- Should these plans require structural calculations, for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
- Release of these plans requires further cooperation among the owner, fabricator, contractor, and DRB DESIGN. Design and construction are complex and although the designer performs his services with due care and diligence, perfection is not a guarantee.
- Contingencies is implied and every contingency cannot be anticipated.
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- Change made to these plans without the consent of the designer are unauthorized and shall release DRB DESIGN of responsibility for any and all consequences arising out of such changes.
- Within dimensions on these plans always have precedence over scaled dimensions.
- It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors unless construction has begun.
- DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.



GARDNER  
TOWNHOMES



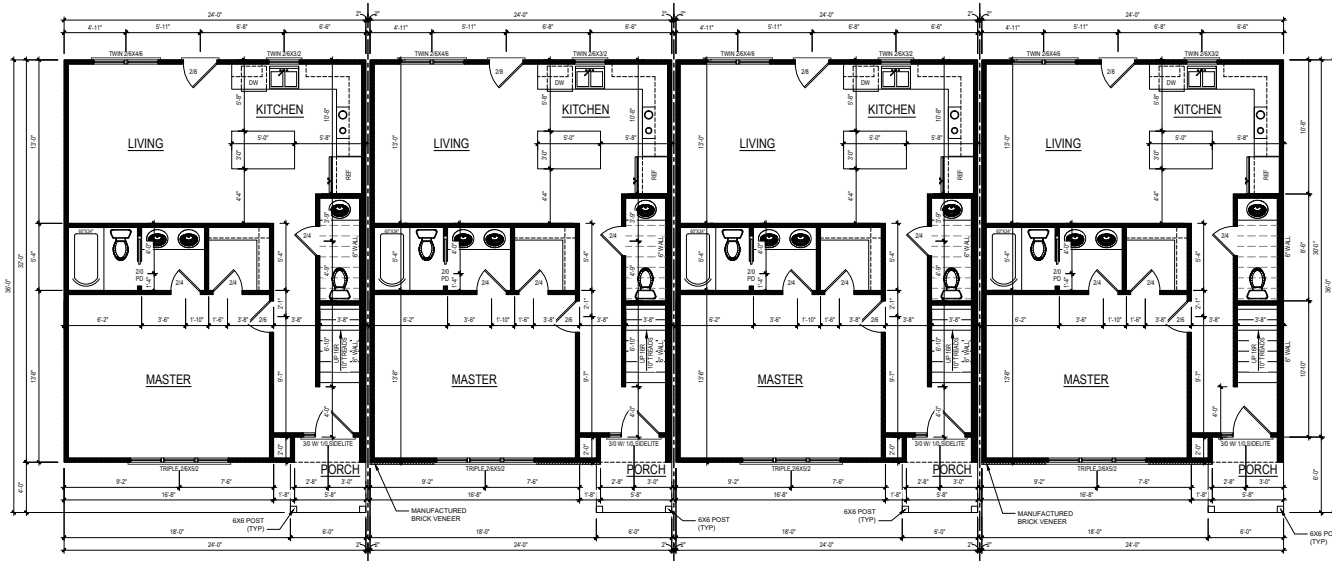
drbdesign@drbomedesign.com 919.691.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427



FOUND/ROOF

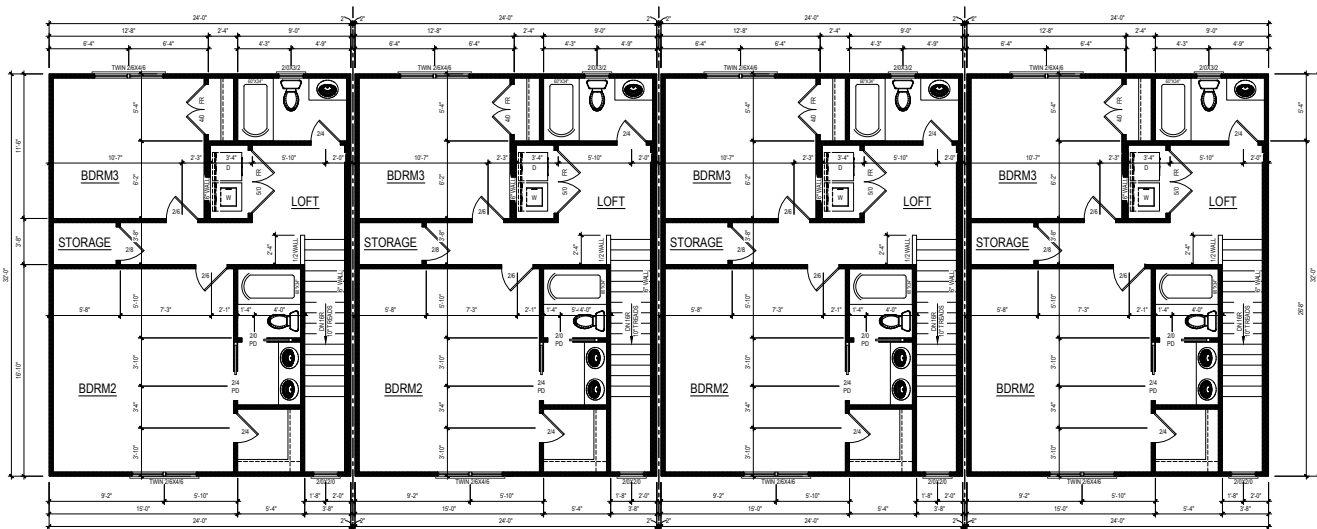


**FIRST FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 9'-0"



**SECOND FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV B**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV A**  
1/4" = 1'-0" CEILING HGT. = 8'-0"

- DRB DESIGN assumes no liability for any home constructed from these plans.
- All construction shall conform to the latest requirements of North Carolina State 2018 residential building code.
- In addition to local codes and regulations.
- Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
- Release of these plans requires further cooperation among the owner, holder, contractor, and DRB DESIGN.
- Changes and alterations are complete and, although the designer performed his services with due care and objective perfection is not a guarantee.
- Construction is required and any contingencies cannot be anticipated.
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PROJECT:  
DRB2301-0073  
DATE:  
03/12/2024  
PROJECT NAME:  
NEW  
GARDNER  
DRB  
SCALE:  
1/4" = 1'-0"

www.drbdesign.com  
drbdesign.com

GARDNER  
TOWNHOMES

drbdesign@drbdesign.com 919.631.5979  
250 Shipwash Dr Suite 105 Garner, NC 27529



William Gardner  
2028 New Bern Ave.  
Raleigh, NC 27610  
wlgardner22@gmail.com  
(919) 264-5427

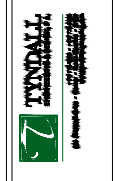
FLOOR PLANS







Engineered steel and fabric construction systems are used in this project. The design of these systems is in accordance with the design of steel structures in accordance with the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, 2016. The design of the steel framing is in accordance with the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, 2016. The design of the steel framing is in accordance with the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, 2016. The design of the steel framing is in accordance with the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, 2016.



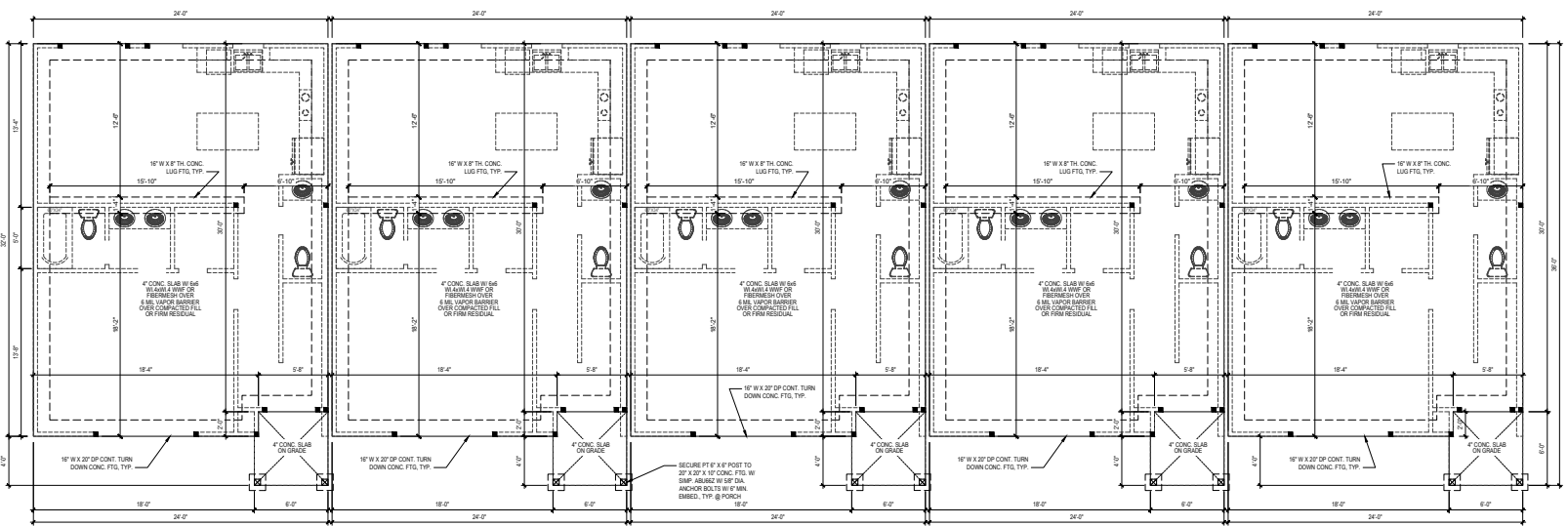
WILLIAM GARDNER  
GARDNER TOWNHOMES

5 UNIT  
FOUNDATION PLAN

Project: DRB2301-0073  
Date: 3/13/2024  
Author: HJS  
Checked: PAT  
Scale: SEE PLAN

REVISIONS	
No.	Remarks

Sheet Number  
**S2.1**  
2 of 7



**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

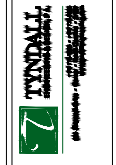
**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

- STRUCTURAL NOTES:**
- 1) ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE. IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
  - 2) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. TYPICAL ENGINEERING DESIGN IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
  - 3) ALL LUMBER SHALL BE SYP #2 (LKD) ALL LVL LUMBER TO BE 1" TP WISE (ACTUAL) EACH SINGLE MEMBER AND P+1 800 PLS L+1 100 PLS (OR GREATER) (SEE LEVEL MICROCAM) ALL LVL LUMBER IS TO BE 1.5E (P+ = 235 PSI) (OR GREATER) ALL PSL LUMBER IS TO BE 1E (P+ = 240 PSI) (OR GREATER) ALL LVL BEARING EXTERIOR WINDOW HEADERS ARE TO BE (2) 2x10 w/ (1) 2x4 JACK STUD (A/C) AND KING STUDS PER TABLE 802.3 AND TOGETHER w/ (2) 2x10 WALL @ P.C. PROVIDED THAT THE TOP OF THE WINDOW HEADERS IS 5" P. MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 7'-0". OTHERWISE REFER TO TABLE 802.10 AND 802.10.1.
  - 4) ALL INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (A/C) REFER TO TABLE 802.10 AND 802.10 FOR JACK STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (W/O).
  - 5) REFER TO 2018 NC BUILDING CODE SECTION 802 FOR CONSTRUCTION OF ALL WALLS OVER 10' IN HEIGHT.
  - 6) ALL STRUCTURAL STEEL SHALL BE ASTM AND GRADE 50 (P+ 80 KSI MIN. LKD).
  - 7) ALL EXTERIOR LUMBER TO BE #2 SYP P.F.
  - 8) ALL CONCRETE IS 3,000 PSI MIN.
  - 9) PRESUMPTIVE BEARING CAPACITY = 2000 P.S.F.
  - 10) 1/2" ANCHOR BOLTS SPACED AT MINIMUM OF 6" O.C. AND NOT MORE THAN 12" FROM THE CORNER. THERE SHALL BE A MINIMUM OF (2) BOLTS PER BAY SECTION. ANCHOR BOLTS SHALL BE SPACED AT 24" O.C. FOR BRISSETTS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
  - 11) PSL COLLARS DESIGNED WITH MAX. HEIGHT OF 3'-0" (MAX).
  - 12) PROVIDE A MINIMUM OF 500# SPLIFT & LATERAL CONNECTION AT TOP AND BOTTOM OF PORCH COLLARS (SEE LK1).
  - 13) PROVIDE CONTINUOUS SHEATHING PER SECTION 802.10.3 OF THE 2018 B.C.C.
  - 14) MAXIMUM MASONRY PIER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION.
  - 15) UPLIFT LOADS GREATER THAN 500# SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
  - 16) METAL HANGERS SHALL BE SIMPSON OR APPROVED EQUAL.

**DESIGN LOADS**

	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION
FLOOR (RESIDENTIAL)	20	10	L/360
FLOOR (GARAGE)	20	10	L/360
DECK (RESIDENTIAL)	20	10	L/360
DECK (GARAGE)	20	10	L/360
EXTERNAL BALCONY	20	10	L/360
ROOF	20	10	L/360
ROOF (TRUSS)	20	10	L/360
WIND LOAD	BASED ON 120 MPH (EXPOSURE B)		
SEISMIC	BASED ON SEISMIC ZONES A & B & C		

Equipment and materials shall conform to the requirements of the International Building Code (IBC) and the International Residential Code (IRC) as applicable. The manufacturer's instructions shall be followed for all materials and equipment. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for ensuring that all materials and equipment are properly installed and maintained. The contractor shall be responsible for ensuring that all work is completed in accordance with the plans and specifications. The contractor shall be responsible for ensuring that all work is completed in a timely and efficient manner. The contractor shall be responsible for ensuring that all work is completed in a safe and sound manner. The contractor shall be responsible for ensuring that all work is completed in a professional and courteous manner. The contractor shall be responsible for ensuring that all work is completed in a clean and organized manner. The contractor shall be responsible for ensuring that all work is completed in a safe and sound manner. The contractor shall be responsible for ensuring that all work is completed in a professional and courteous manner. The contractor shall be responsible for ensuring that all work is completed in a clean and organized manner.



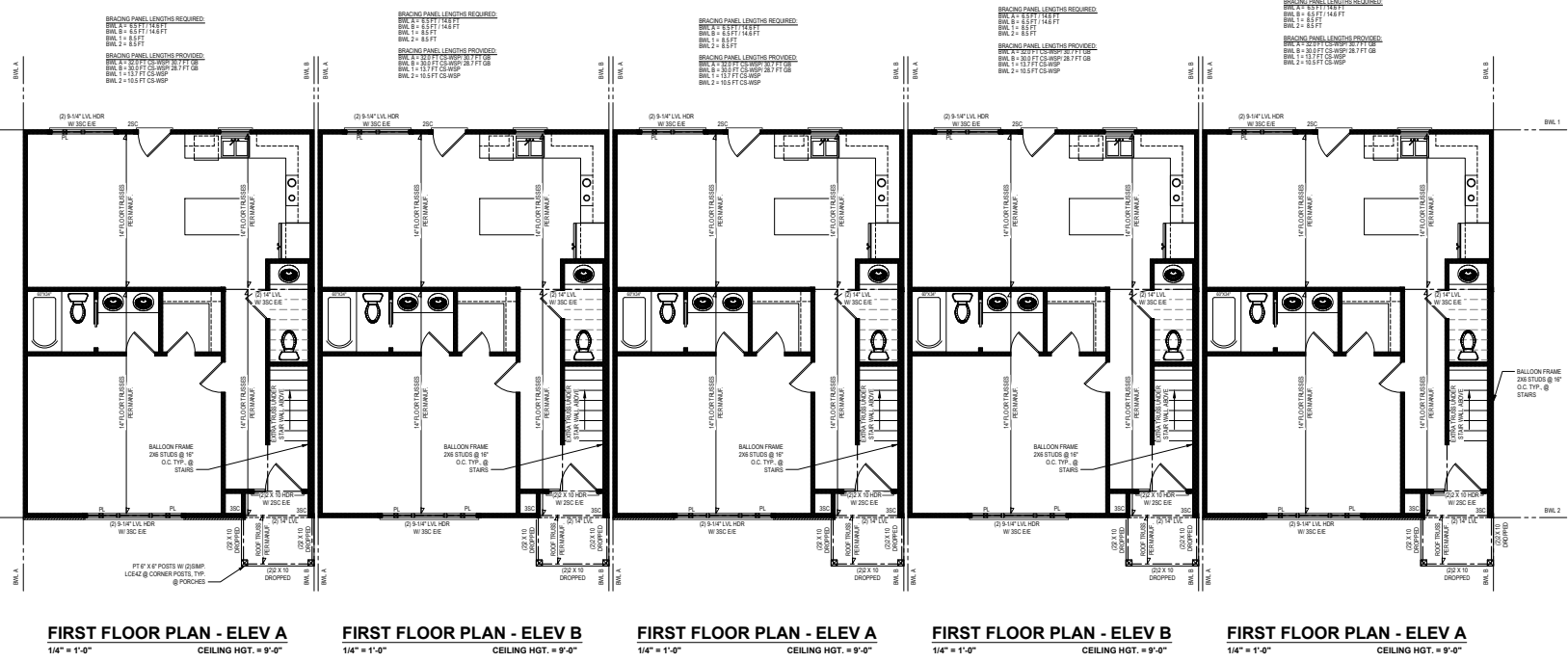
WILLIAM GARDNER  
GARDNER TOWNHOMES

5 UNIT  
1ST FLOOR FRAMING

Project: DR182301-0073  
Date: 3/13/2024  
Author: HIS  
Checker: C. Carter  
Title: SEE PLAN

REVISIONS		
No.	Date	Remarks

Sheet Number  
**S3.1**  
3 of 7



**DESIGN LOADS**

	LINE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
FLOOR (finished)	40	10	1/160
FLOOR (unfinished)	40	10	1/160
ATTC-W (finished)	20	10	1/160
ATTC-W (unfinished)	10	10	1/160
EXTERNAL BALCONY	40	10	1/160
ROOF	20	10	1/160
ROOF BELIEF	20	20	1/160

WIND LOAD: BASED ON 120 MPH (EXPOSURE B)  
SEISMIC: BASED ON SEISMIC ZONE 4, S & C

- STRUCTURAL NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE. IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. FINAL DIMENSIONS & SQUARE FOOTAGE SHALL BE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DIMENSIONAL AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
  - ALL LAMBERS SHALL BE 1" X 12" (ACTUAL) EACH SINGLE MEMBER AND 1" X 4" STUDS E.I. = 1.5M (OR GREATER).
  - ALL LVL LAMBER TO BE 1 1/2" WIDE (ACTUAL) SINGLE MEMBER AND 1" X 4" STUDS E.I. = 1.5M (OR GREATER).
  - ALL LVL LAMBER TO BE 1.5E (F+1/2) 2000 PSF (OR GREATER).
  - ALL LVL LAMBER TO BE 1.8E (F+2/4) 2400 PSF (OR GREATER).
  - ALL LOAD BEARING EXTERIOR WINDOW HEADERS ARE TO BE 2x10 W/ 1/2" DIA JACK STUD (UN.D.) AND KING STUDS PER TABLE RIBZ 7.6 AND TOGETHER W/ (2) 1x4s @ 6" O.C. PROVIDED THAT THE TOP OF THE WINDOW HEIGHT IS 6" MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 6" O.C. OTHERWISE REFER TO TABLE RIBZ 10.1 AND 10.2.
  - ALL INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (UN.D.) REFER TO TABLE RIBZ 11 AND 10.2 FOR JACK STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (UN.D.).
  - REFER TO 2018 IRC BUILDING CODE SECTION R602 FOR CONSTRUCTION OF ALL WALL OVER 10' W/ HEIGHT.
  - ALL STRUCTURAL STEEL SHALL BE ASTM A500 GRADE S10 1" X 1/2" (OR GREATER).
  - ALL EXTERIOR LAMBER TO BE #2 TYP PT.
  - ALL CONCRETE = 3000 PSI MIN.
  - PRESUMPTIVE BEARING CAPACITY = 2000 PSF.
  - 1/2" DIA ANCHOR BOLTS SPACED AT MAXIMUM OF 6'-0" O.C. AND NOT MORE THAN 12" FROM THE CORNER. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 12" O.C. FOR BASEMENTS AND ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
  - PSL COLLUMS DESIGNED WITH MAX HEIGHT OF 8'-0" (UN.D.).
  - PROVIDE A MINIMUM OF 500# (4" L) LATERAL CONNECTION AT TOP AND BOTTOM OF PORCH COLUMNS (UN.D.).
  - PROVIDE CONTINUOUS SHEATHING PER SECTION R602.10.3 OF THE 2018 IBC/IRC.
  - MAXIMUM MASONRY PIER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION.
  - UP/LT LOADS GREATER THAN 80# SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
  - METAL HANGERS SHALL BE SHOWN OR APPROVED EQUAL.

- STRUCTURAL SHEATHING NOTES**
- DESIGNED FOR SEISMIC ZONE 4-C AND WIND SPEEDS OF 120 MPH OR LESS.
  - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10.5 OF THE 2018 IBC/IRC.
  - BRACING REQUIREMENTS SHALL BE PER TABLE RIBZ 10.3 REFER TO SECTION R602.10.4 FOR LOAD PATH DETAILS INCLUDING CONNECTIONS & SUPPORT OF BRACED WALL PANELS.
  - REFERENCES FIGURE R602.10.4.3 OF THE 2018 IBC/IRC.
  - INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED IN ACCORDANCE WITH THE GB METHOD OR WSP METHOD AS PRESCRIBED IN SECTION R602.10.1.0.1.
  - 1" X 12" OSB/18 BOARD (GB) MINIMUM LENGTH OF 8'-0" (ISOLATED PANELS) OR 4'-0" (CONTIGUOUS SHEATHING). SECURE W/ 6x6 CORNER LAMBS (OR EQUAL) PER TABLE RIBZ 10.3 SPACED @ 7'-0" O.C. AT PANEL EDGES, INCLUDING TOP AND BOTTOM PANELS AT 6" O.C. AT INTERMEDIATE SUPPORTS.
  - 3/8" WOOD STRUCTURAL PANEL (WSP) SECURE W/ 6x6 COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
  - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WSP METHOD AS PRESCRIBED IN SECTION R602.10.1.0.1.
  - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 1/2". SHEATHING SHALL BE SECURED WITH MINIMUM 6x6 COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS.
  - MINIMUM BRACED WALL PANEL LENGTHS WITH CS-WSP METHOD SHALL BE AS FOLLOWS:
    - 3" ADJACENT TO OPENINGS NOT MORE THAN 12" FROM CORNER.
    - 3" ADJACENT TO OPENINGS GREATER THAN 12" FROM CORNER.
    - 6" AND LESS THAN 80% OF WALL HEIGHT.
    - 6" FOR OPENINGS GREATER THAN 80% OF WALL HEIGHT.
  - SHEATH INTERIOR & EXTERIOR.
  - FOR CS-WSP METHOD, A MINIMUM 2" BRACED WALL PANEL CORNER RETURN SHALL BE PROVIDED AT BOTH ENDS OF A BRACED WALL LINE IN ACCORDANCE WITH FIGURE R602.10.3.4 (UN.D.) IF A CORNER RETURN. EITHER A MIN. 4" BRACED WALL PANEL SHALL BE PROVIDED AT THE CORNER OR AN ALLOWABLE DEVICE WITH A MINIMUM UP/LT DESIGN VALUE OF 800# SHALL BE FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FRAMING BELOW.
  - MINIMUM 800# HOLD-DOWN DEVICE.

Engineered steel deck and bracing construction provided in accordance with provisions of the International Building Code (IBC) and the International Residential Code (IRC). The design of the bracing system is based on the design of the building structure as shown on the drawings. The bracing system is designed to resist the lateral forces and moments resulting from the wind and seismic loads. The bracing system is designed to provide the required lateral resistance and stiffness for the building. The bracing system is designed to provide the required lateral resistance and stiffness for the building. The bracing system is designed to provide the required lateral resistance and stiffness for the building.



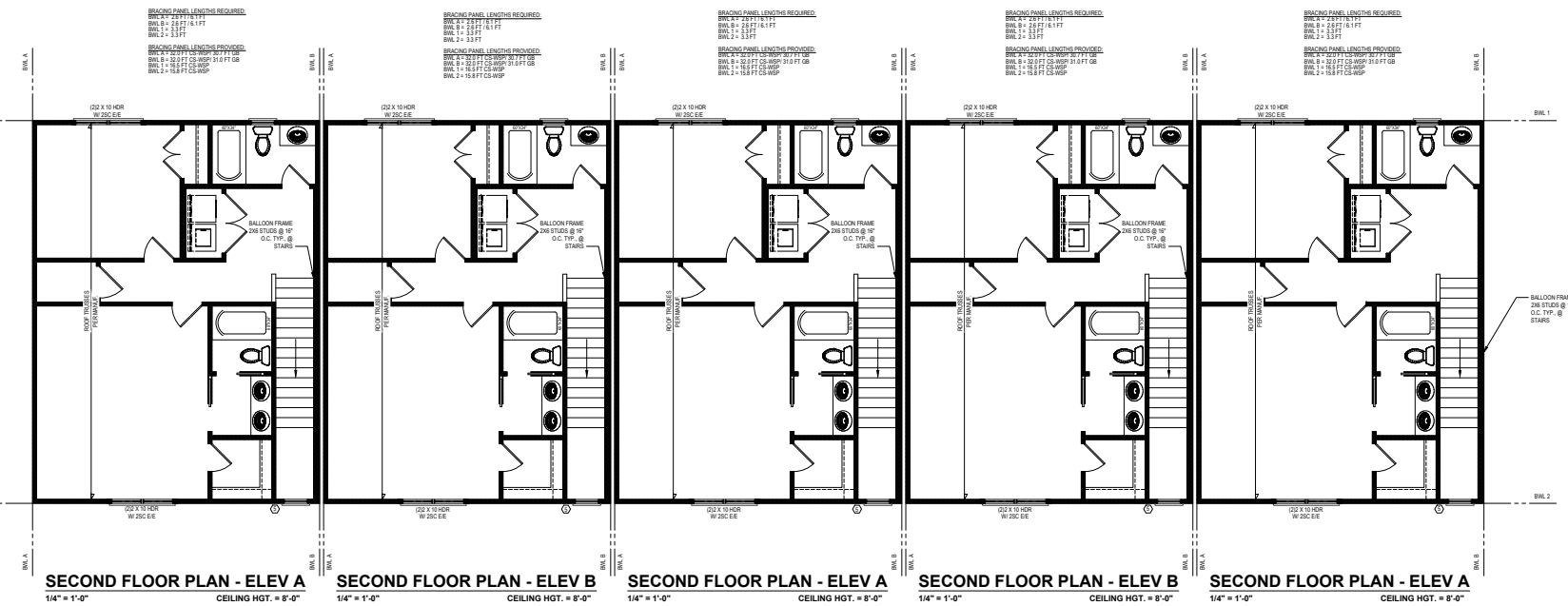
WILLIAM GARDNER  
GARDNER TOWNHOMES

5 UNIT  
2ND FLOOR CEILING

Project: DR182301-0073  
Date: 3/13/2024  
Author: HJS  
Check: PAT  
Title: SEE PLAN

REVISIONS		
No.	Date	Remarks

Sheet Number  
**S4.1**  
4 of 7



SECOND FLOOR PLAN - ELEV A 1/4" = 1'-0" CEILING HGT. = 8'-0"  
SECOND FLOOR PLAN - ELEV B 1/4" = 1'-0" CEILING HGT. = 8'-0"  
SECOND FLOOR PLAN - ELEV A 1/4" = 1'-0" CEILING HGT. = 8'-0"  
SECOND FLOOR PLAN - ELEV B 1/4" = 1'-0" CEILING HGT. = 8'-0"  
SECOND FLOOR PLAN - ELEV A 1/4" = 1'-0" CEILING HGT. = 8'-0"  
SECOND FLOOR PLAN - ELEV B 1/4" = 1'-0" CEILING HGT. = 8'-0"

**DESIGN LOADS**

	LINE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION
FLOOR (unfurnished)	40	10	1/160
FLOOR (furnished)	40	10	1/160
ATTC. (w/ storage)	20	10	1/160
ATTC. (unfurnished)	10	10	1/160
EXTERNAL BALCONY	40	10	1/160
ROOF	20	10	1/160
ROOF TRUSSES	20	20	1/160

WIND LOAD  
BASED ON 120 MPH (EXPOSURE B)  
SEISMIC  
BASED ON SEISMIC ZONE 4, S & C

- STRUCTURAL NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE CIVIL RESIDENTIAL BUILDING CODE IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. FINAL ENGINEERING DESIGN IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
  - ALL LAMBERS SHALL BE 1/2" (MIN) OR GREATER.  
ALL LAMBER TO BE 1 1/2" WIDE (ACTUAL) EACH SINGLE MEMBER AND 1 1/2" x 8" (MIN) E.T. (1 1/2" x 8" OR GREATER).  
(I.E. LEVEL MICRO LAM).
  - ALL LAMBER TO BE 1 1/2" (FR = 2,400 PSF) OR GREATER.  
ALL LAMBER TO BE 1 1/2" x 8" (MIN) OR GREATER.  
ALL LOAD BEARING EXTERIOR WINDOW HEADERS ARE TO BE (2) 2x10 (1) 2x4 JACK STUD (UN.D.) AND KING STUDS PER TABLE 7.5 AND TOGETHER WITH (2) 2x10 (MIN) 8" O.C. PROVIDED THAT THE TOP OF THE INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (UN.D.) REFER TO TABLE 7.5 (1) AND 7.5 (2) FOR JACK STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (UN.D.).
  - REFER TO 2018 NC BUILDING CODE SECTION 602 FOR CONSTRUCTION OF ALL WALLS OVER 10' IN HEIGHT.
  - ALL STRUCTURAL STEEL SHALL BE ASTM A500 GRADE 50 (1 1/2" x 8" MIN. LAM).
  - ALL EXTERIOR LAMBER TO BE #2 1/2" x 10' FT.
  - ALL CONCRETE (1) = 3,000 PSI MIN.
  - PRESUMPTIVE BEARING CAPACITY = 2,000 PSF.
  - 1/2" ANCHOR BOLTS SPACED AT MAXIMUM OF 8'-0" O.C. AND NOT MORE THAN 12" FROM THE CORNER. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 12" O.C. FOR BASEMENTS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
  - PSL COLLARS DESIGNED WITH MAX HEIGHT OF 8'-0" (UN.D.).
  - PROVIDE A MINIMUM OF 500 HP-FT LATERAL CONNECTION AT TOP AND BOTTOM OF PORCH COLUMNS (UN.D.).
  - PROVIDE CONTINUOUS SHEATHING PER SECTION 602.3 OF THE 2018 NCBC.
  - MINIMUM MASONRY PER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION.
  - UP/LT LOADS GREATER THAN 80# SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
  - METAL HANGERS SHALL BE SHOWN OR APPROVED EQUAL.

- STRUCTURAL SHEATHING NOTES**
- DESIGNED FOR SEISMIC ZONE 4-C AND WIND SPEEDS OF 120 MPH OR LESS.
  - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION 602.10 OF THE 2018 NCBC.
  - BRACING REQUIREMENTS SHALL BE PER TABLE 602.10.3 REFER TO SECTION 602.10.4 FOR LOAD PATH DETAILS INCLUDING CONNECTIONS & SUPPORT OF BRACED WALL PANELS.
  - REFERENCE FIGURE 602.10.4.3 OF THE 2018 NCBC.
  - INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED IN ACCORDANCE WITH THE GB METHOD OR WSP METHOD AS PRESCRIBED IN SECTION 602.11.1 (UN.D.).
  - 1/2" OSB/AN BOARD (OR MINIMUM LENGTH OF 8'-0" (ISOLATED PANELS) OR 4'-0" (CONTINUOUS SHEATHING)).  
SECURE W/ 6x6 COLLAR PANELS (UN.D.) PER TABLE 602.10.3 SPACED @ 7' O.C. AT PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES AT 7' O.C. AT INTERMEDIATE SUPPORTS.
  - 3/8" WOOD STRUCTURAL PANEL (WSP) SECURE W/ 6x6 COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
  - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WSP METHOD AS PRESCRIBED IN SECTION 602.11.2 (UN.D.).
  - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS INCLUDING AREAS ABOVE AND BELOW OPENING AND GABLE END WALLS SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 1/2". SHEATHING SHALL BE SECURED WITH MINIMUM 6x COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS.
  - MINIMUM BRACED WALL PANEL LENGTHS WITH CS-WSP METHOD SHALL BE AS FOLLOWS:  
- 30' ADJACENT TO OPENINGS NOT MORE THAN 12" FROM THE CORNER.  
- 20' WALL HEIGHT.  
- 6'X, AND LESS THAN 8' IN WALL HEIGHT.  
- 48" FOR OPENINGS GREATER THAN 80% OF WALL HEIGHT.
  - SHEATH INTERIOR & EXTERIOR.
  - FOR CS-WSP METHOD, A MINIMUM 2" BRACED WALL PANEL CORNER RETURN SHALL BE PROVIDED AT BOTH ENDS OF A BRACED WALL LINE IN ACCORDANCE WITH FIGURE 602.10.3 (UN.D.). IN CASE OF A CORNER RETURN, EITHER A MIN. 4" BRACED WALL PANEL SHALL BE PROVIDED AT THE CORNER OR AN ALTERNATE DEVICE WITH A MINIMUM UP/LT DESIGN VALUE OF 800 SHALL BE FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FRAMING BELOW.
  - MINIMUM ROOF HOLD-DOWN DEVICE.



Equipment and materials shall conform to the latest requirements of the manufacturer. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.



WILLIAM GARDNER  
GARDNER TOWNHOMES

# 4 UNIT FOUNDATION PLAN

Project: DRB23-01-0073  
Date: 3/13/2024  
Drawn By: HJS  
Checked By: PAT  
Title: SEE PLAN

REVISIONS	
No.	Remarks

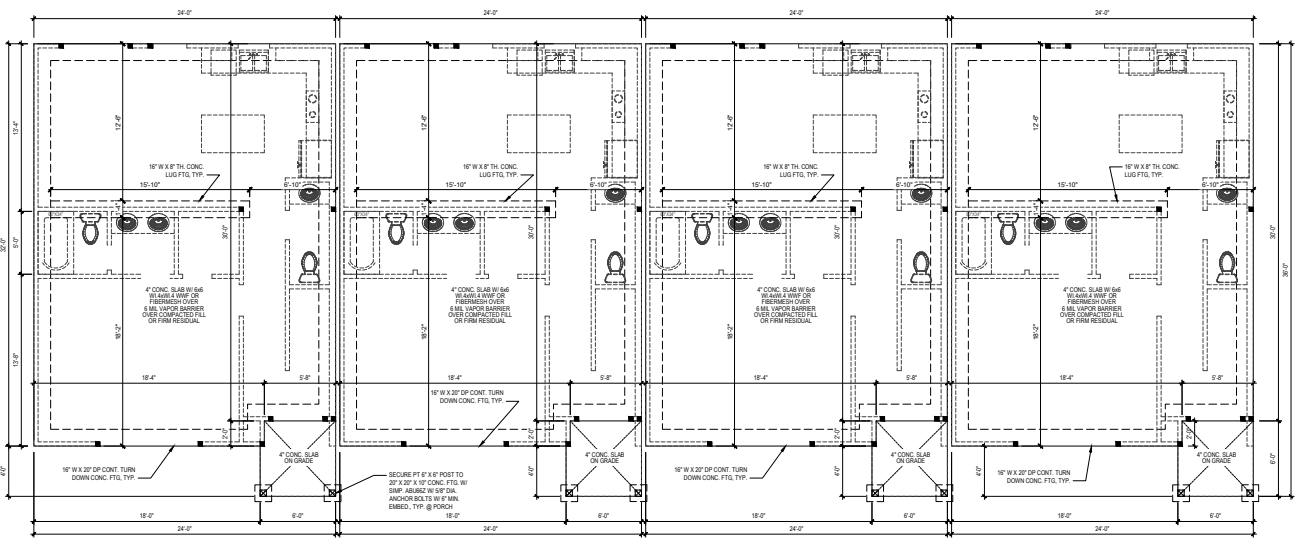
Sheet Number  
**S2.2**  
2 of 7

### DESIGN LOADS

FLOOR (ASSEMBLY)	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION	
			LL	TL
FLOOR (ASSEMBLY)	40	10	L/240	L/240
ATRIC (ASSEMBLY)	20	5	L/240	L/240
ATRIC (NO ASSEMBLY)	10	5	L/240	L/240
EXTERNAL BALCONY	40	10	L/240	L/240
ROOF	20	10	L/240	L/240
ROOF TRUSS	20	5	L/240	L/240
WINDLOAD	BASED ON 120 MPH (EXPOSURE B)			
SEISMIC	BASED ON SEISMIC ZONES A, B & C			

### STRUCTURAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. FINALE ENGINEERING & DESIGN, P.A. IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
- ALL LUMBER SHALL BE SYP #2 (UNCL). ALL LUMBER TO BE 1.5" WIDE ACTUAL (EACH SINGLE MEMBER AND P = 2600 PSI, E = 1.8M PSI (OR GREATER) SEE SCHEDULE M.
- ALL LUMBER IS TO BE 1.5E (F = 2000 PSI) (OR GREATER). ALL LUMBER TO BE 1.5E (F = 2.400 PSI) (OR GREATER). ALL LOAD BEARING EXTERIOR WINDOW HEADERS ARE TO BE (2) 2x10 w/ (1) 2x4 JACK STUD (UNCL) AND NAIL STUDS PER TABLE R10.1.2 AND TOGETHER w/ (2) 16x WALS @ 8" O.C. PROVIDED THAT THE TOP OF THE WINDOW HEIGHT IS 4" MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 4" OTHERWISE REFER TO TABLE R10.1.1 (I) AND R10.1.2 (I).
- ALL INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (UNCL) REFER TO TABLE R10.1.1 (I) AND R10.1.2 (I) FOR JACK STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (UNCL).
- REFER TO 2018 NB BUILDING CODE SECTION R10.1 FOR CONSTRUCTION OF ALL WALLS OVER 10' IN HEIGHT.
- ALL STRUCTURAL STEEL SHALL BE A36 (OR GREATER).
- F = 50 KSI MIN. (UNCL).
- ALL CONCRETE, S = 3000 PSI MIN.
- PRECASTER BEARING CAPACITY = 2000 PSF.
- 12"X12" ANCHOR BOLTS SPACED AT MAXIMUM OF 8' O.C. AND NOT MORE THAN 1/2 FROM THE END. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 2' O.C. FOR REBARMENTS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
- PIR COLUMN DESIGNED WITH MAX. HEIGHT OF 8' 0" (UNCL).
- PROVIDE A MINIMUM OF 50# UPLIFT & LATERAL CONNECTION AT TOP AND BOTTOM OF PIR COLUMN (UNCL).
- PROVIDE CONTINUOUS SHEATHING PER SECTION R10.3 OF THE 2018 NBC.
- MAXIMUM MASONRY PIER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION.
- UPLIFT LOADS GREATER THAN 50#P SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
- METAL HANDERS SHALL BE SIMPSON OR APPROVED EQUAL.



**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV B**  
1/4" = 1'-0"

**FOUNDATION PLAN - ELEV A**  
1/4" = 1'-0"

Engineered and built to include construction details and materials. All construction shall conform to the latest requirements of the International Building Code (IBC) and all applicable local codes and regulations. The Engineer shall be responsible for providing all necessary design information and for ensuring that the design complies with all applicable codes and regulations. The Engineer shall not be responsible for construction methods or materials used in the construction of the project. The Engineer shall not be responsible for any damage to the project or any other property caused by the construction of the project. The Engineer shall not be responsible for any safety issues or accidents caused by the construction of the project. The Engineer shall not be responsible for any environmental issues or impacts caused by the construction of the project. The Engineer shall not be responsible for any other issues or impacts caused by the construction of the project.



WILLIAM GARDNER  
GARDNER TOWNHOMES

4 UNIT  
1ST FLOOR FRAMING

Project: DRB2301-0073  
Date: 3/13/2024  
Author: HJS  
Checker: PAT  
Title: SEE PLAN

REVISIONS	
No.	Remarks

Sheet Number  
**S3.2**  
3 of 7

DESIGN LOADS

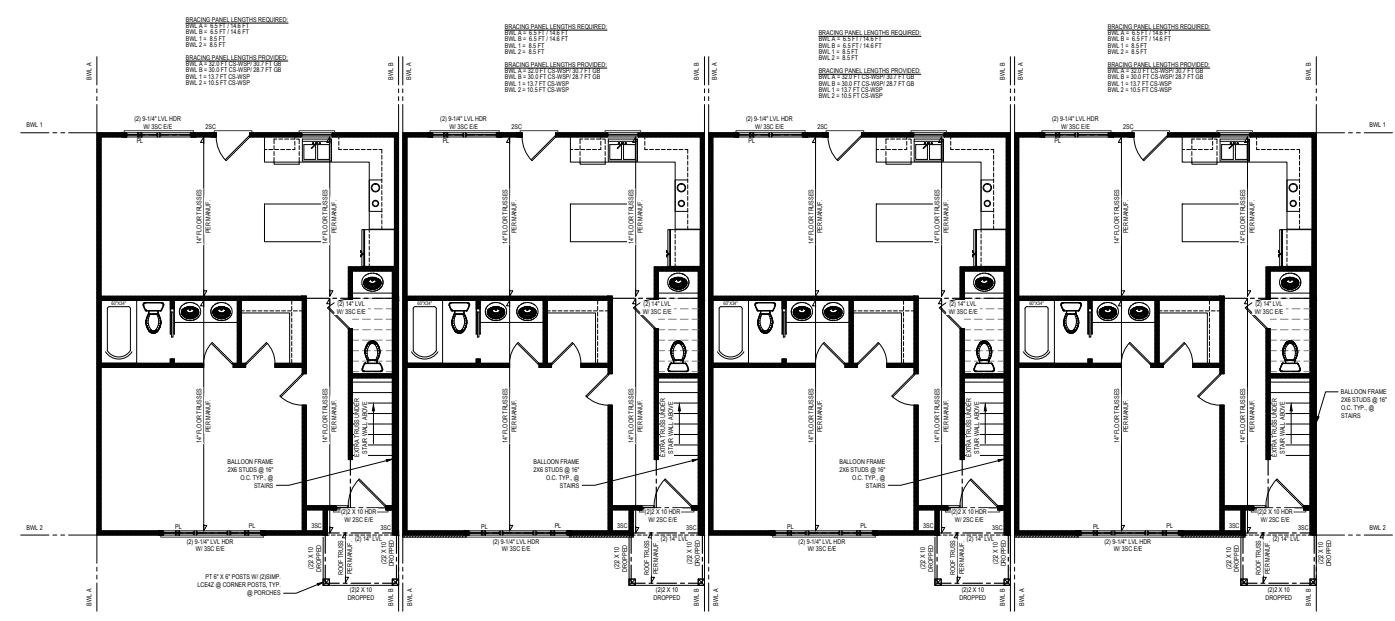
FLOOR / ROOF	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (L1, L2)
FLOOR (Residential)	20	10	L200, L200
FLOOR (Storage)	20	10	L200, L200
ATIC (Storage)	20	10	L200, L200
ATIC (Residential)	20	10	L200, L200
EXTERNAL BALCONY	40	10	L200, L200
ROOF	20	10	L200, L200
ROOF TRUSS	20	10	L200, L200
WIND LOAD	BASED ON 100 MPH EXPOSURE B		
SEISMIC	BASED ON SEISMIC ZONES A, B & C		

STRUCTURAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE. IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. TYPICAL ENGINEERING DESIGN IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
- ALL LUMBER SHALL BE TOP GRADE LUMBER.
- ALL LUMBER TO BE 1 7/8" WIDE (ACTUAL) EACH SINGLE MEMBER AND 3" x 3" (ACTUAL) E. L. TRIM (OR GREATER).
- I.E. LEVEL MICKLAM.
- ALL LUMBER TO BE 1.5E (F# + 232 PSF) (OR GREATER).
- ALL PL LUMBER IS TO BE 1"8" (F# + 240 PSF) (OR GREATER).
- ALL LOAD BEARING EXTERIOR WINDOW HEADERS ARE TO BE (2) 2x10 W/ (1) 2x4 JACK STUD (I.D.) AND KING STUDS PER TABLE 12.1 AND TOGETHER (2) 16x W/ 8" O.C. PROVIDE THAT THE TOP OF THE WINDOW HEIGHT IS 8" MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 8" O.C. OTHERWISE REFER TO TABLE 12.1 AND REFER TO TABLE 12.1 AND REFER TO TABLE 12.1 FOR ALL STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (I.D.).
- REFER TO 2018 NC BUILDING CODE SECTION 602 FOR CONSTRUCTION OF ALL WALLS EXCEPT 2" W/ 8" O.C. RESISTANCE.
- ALL EXTERIOR LUMBER TO BE W/ 8" O.C. P1 OR HS MIN. LUMBER.
- ALL EXTERIOR LUMBER TO BE W/ 8" O.C. P1 OR HS MIN. LUMBER.
- ALL CONCRETE, S = 3000 PSI MIN.
- PRECAST CONCRETE BEARING CAPACITY 3000 PSF.
- 1/2" ANCHOR BOLTS SPACED AT MAXIMUM OF 6" O.C. AND NOT MORE THAN 17" FROM THE CORNER. THESE SHALL BE 1/2" ANCHOR BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 9" O.C. FOR BASEMENTS. ANCHOR BOLTS SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
- FIL COLUMNS BEING USED SHALL BE HEIGHT OF 9' O.C.
- PROVIDE A MINIMUM OF 800# UPLIFT LATERAL CONNECTION AT TOP AND BOTTOM OF FIL COLUMN. (I.D.)
- PROVIDE CONTINUOUS SHEATHING PER SECTION 602.10.3 OF THE 2018 IBC.
- MAXIMUM MASONRY PIER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION. (I.D.)
- UPLIFT LOADS GREATER THAN 500# SHALL BE CONTINUOUSLY INCREASED TO THE TOP OF THE WALL.
- METAL HANGERS SHALL BE SAMPSON OR APPROVED EQUAL.

STRUCTURAL SHEATHING NOTES

- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 100 MPH OR LESS.
- WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION 602.10.3 OF THE 2018 IBC.
- BRACING REQUIREMENTS SHALL BE PER TABLE 12.1. REFER TO SECTION 602.10.3 FOR ALL DETAILS INCLUDING CONNECTIONS & SUPPORT OF BRACED WALL PANELS.
- REFERENCE FIGURE REQD 10.4.3 OF THE 2018 IBC.
- INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED IN ACCORDANCE WITH THE 88 METHOD OR PRESCRIBED IN SECTION 602.10.1 (I.D.).
- 1 7/8" OYPHIN BOARD (20 MINIMUM LENGTH OF 8' IF ISOLATED PANELS OR 4' CONTINUOUS BRACING). SECURE W/ 60 COOLER NAILS (OR EQUAL PER TABLE 12.1.3) SPACED @ 7" O.C. AT PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES AT 7" O.C. AT INTERMEDIATE SUPPORTS.
- 8" WOOD STRUCTURAL PANEL (BWP) SECURE W/ 4# COMMON NAILS SPACED AT 7" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS WSP METHOD AS PRESCRIBED IN SECTION 602.10.3 (I.D.).
- ALL EXTERIOR SURFACES OF EXTERIOR WALLS INCLUDING AREAS ABOVE AND BELOW OPENINGS AND CORNER WALLS SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING TO A MINIMUM THICKNESS OF 1/2". SHEATHING SHALL BE SECURED WITH MINIMUM 6# COMMON NAILS SPACED AT 7" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS. MINIMUM BRACED WALL PANEL LENGTHS WITH CS WSP METHOD SHALL BE AS FOLLOWS:
  - 24' ADJACENT TO OPENINGS NOT MORE THAN 67% OF WALL HEIGHT
  - 30' ADJACENT TO OPENINGS GREATER THAN 67% BUT LESS THAN 80% OF WALL HEIGHT
  - 48' FOR OPENINGS GREATER THAN 80% OF WALL HEIGHT
- SHEATH INTERIOR & EXTERIOR.
- FOR CS WSP METHOD A MINIMUM OF BRACED WALL PANEL CORNER RETURN SHALL BE PROVIDED AT BOTH ENDS OF A BRACED WALL LINE IN ACCORDANCE WITH FIGURE REQD 10.3.8. IN CASE OF A CORNER RETURN, EITHER A MIN. 48" BRACED WALL PANEL SHALL BE PROVIDED AT THE CORNER OR HOLD-DOWN DEVICE WITH A MINIMUM UPLIFT DESIGN VALUE OF 800# SHALL BE FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FRAMING BELOW.
- MINIMUM 800# HOLD-DOWN DEVICE.



**FIRST FLOOR PLAN - ELEV B**  
1/4" = 1'-0"  
CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0"  
CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV B**  
1/4" = 1'-0"  
CEILING HGT. = 9'-0"

**FIRST FLOOR PLAN - ELEV A**  
1/4" = 1'-0"  
CEILING HGT. = 9'-0"

Engineered and built to include construction details for the project. The drawings are for informational purposes only and are not to be used for construction. The drawings are the property of the engineer and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the engineer.



WILLIAM GARDNER  
GARDNER TOWNHOMES

4 UNIT  
2ND FLOOR CEILING

Project: DRB2301-0073  
Date: 3/13/2024  
Drawing No: 1115  
Disc: Ceiling  
Author: PAT  
Title: SEE PLAN

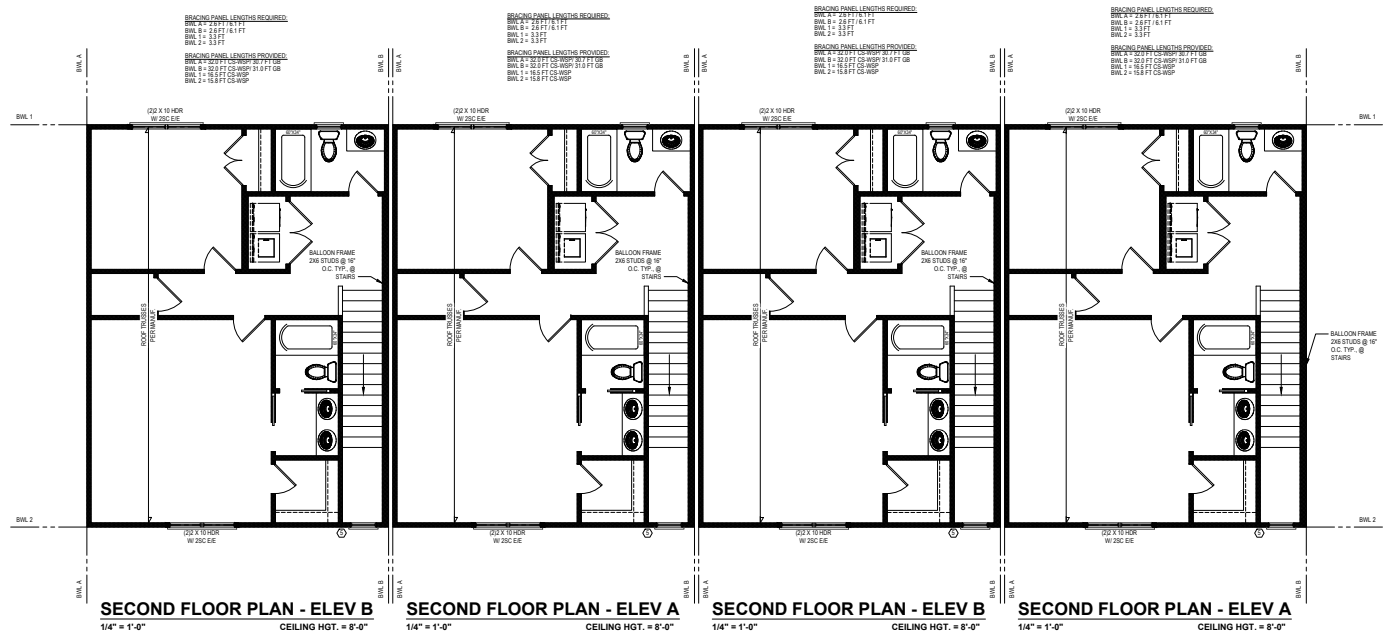
REVISIONS	
No.	Remarks

Sheet Number  
**S4.2**  
4 of 7

DESIGN LOADS		
LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION
FLOOR (GENERAL)	40	L/240
FLOOR (RESIDENTIAL)	40	L/240
ATRIC (GENERAL)	20	L/240
ATRIC (RESIDENTIAL)	20	L/240
EXTERNAL BALCONY	40	L/240
ROOF	20	L/240
ROOF TRUSS	20	L/240
WIND LOAD	BASED ON DESIGN ZONE A, B & C	
SEISMIC	BASED ON DESIGN ZONE A, B & C	

- STRUCTURAL NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
  - IF THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION, FINAL ENGINEERING DESIGN IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
  - ALL LAMBER SHALL BE DRY KILN DRIED.
  - ALL LVL LAMBER TO BE 1 7/8" WIDE ACTUAL (EACH SINGLE MEMBER AND 1/4" OVER 1/4" E + 1/4" OVER) OR GREATER.
  - ALL LVL LAMBER TO BE 1 5/8" (E + 2/32) OR GREATER.
  - ALL LVL LAMBER TO BE 1 1/2" (E + 1/16) OR GREATER.
  - ALL LOAD BEARING EXTERIOR BRICK/CONCRETE HEADERS ARE TO BE (2) 2x4 W/ (1) 2x4 JACK STUD (I.N.O.) AND KING STUDS PER TABLE R602.7.3 AND TOGETHER W/ (2) 2x4 W/ 6" O.C. PROVIDE TO THE TOP OF THE WINDOW HEIGHT IS 6' 0". MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 6' 0". OTHERWISE REFER TO TABLE R602.7.1 AND R602.7.2.
  - ALL INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (I.N.O.) REFER TO TABLE R602.7.1 AND R602.7.2 FOR JOIST STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (NOC).
  - REFER TO 2018 NC BUILDING CODE SECTION R602 FOR CONSTRUCTION OF ALL WALLS OVER 10' IN HEIGHT.
  - ALL STRUCTURAL STEEL SHALL BE ASTM A992 GRADE 50 5/8" X 8" DIM. I-BEAM.
  - ALL EXTERIOR LAMBER TO BE #2 SYP PFT.
  - ALL CONCRETE 4" X 8" PER PLAN.
  - PRESUMPTIVE BEARING CAPACITY = 2000 PSF.
  - 12" ANCHOR BOLTS SPACED AT MAXIMUM OF 6' 0" O.C. AND NOT MORE THAN 12" FROM THE CORNER. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 6" O.C. FOR BASEMENTS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
  - PILE COLUMN DESIGNED WITH MAX. HEIGHT OF 8' 0" (I.N.O.).
  - PROVIDE A MINIMUM 6" ROOF UPSET AT EXTERIOR CONNECTION AT TOP AND BOTTOM OF PORCH COLUMN (I.N.O.).
  - PROVIDE CONTINUOUS BREAKING PER PLAN DETAILS INCLUDING CONNECTION & SUPPORT OF BRACED WALL PANELS.
  - MAXIMUM MASONRY PER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION.
  - UPSET LOADS GREATER THAN 50 PSF SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
  - METAL HANGERS SHALL BE SHIPSON OR APPROVED EQUAL.

- STRUCTURAL SHEATHING NOTES**
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 120 MPH OR LESS.
  - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2018 NCBC.
  - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3. REFER TO SECTION R602.10.4 FOR LOAD PATH DETAILS INCLUDING CONNECTION & SUPPORT OF BRACED WALL PANELS.
  - REFERENCE FIGURE R602.10.4.3 OF THE 2018 NCBC.
  - INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED IN ACCORDANCE WITH THE CS WSP METHOD OR WSP METHOD AS PRESCRIBED IN SECTION R602.10.1 (I.N.O.).
  - 1/2" OSB/AN BOARD (SB) MINIMUM LENGTHS OF 8' 0" (ISOLATED PANELS) OR 4' 0" (CONTINUOUS SHEATHING). SECURE W/ 6" COCKER NAILS (OR EQUIV. PER TABLE F102.13) SPACED @ 7" O.C. AT PANEL EDGES INCLUDING TOP AND BOTTOM PLATES & 7" O.C. AT INTERMEDIATE SUPPORTS.
  - 3/8" WOOD STRUCTURAL PANEL (WSP) SECURE W/ 6" COMMON NAILS SPACED AT 7" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
  - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS WSP METHOD AS PRESCRIBED IN SECTION R602.10.1 (I.N.O.).
  - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6" COMMON NAILS SPACED AT 7" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS.
  - MINIMUM BRACED WALL PANEL LENGTHS WITH CS WSP METHOD SHALL BE AS FOLLOWS:  
 12" ADJACENT TO OPENINGS NOT MORE THAN 67% OF WALL HEIGHT  
 12" ADJACENT TO OPENINGS GREATER THAN 67% AND LESS THAN 80% OF WALL HEIGHT  
 14" FOR OPENINGS GREATER THAN 80% OF WALL HEIGHT
  - SEATH INTERIOR & EXTERIOR
  - FOR CS WSP METHOD, A MINIMUM OF BRACED WALL PANEL CORNER RETURN SHALL BE PROVIDED AT BOTH ENDS OF A BRACED WALL IN ACCORDANCE WITH FIGURE R602.10.3.4. IN LIEU OF A CORNER RETURN, EITHER A MIN. 4" BRACED WALL PANEL SHALL BE PROVIDED AT THE CORNER OR A HOLD-DOWN DEVICE WITH A MINIMUM UPSET DESIGN VALUE OF 800 SHALL BE INSTALLED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FRAMING BELOW.
  - MINIMUM 800# HOLD-DOWN DEVICE



**SECOND FLOOR PLAN - ELEV B**  
14' x 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV A**  
14' x 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV B**  
14' x 1'-0" CEILING HGT. = 8'-0"

**SECOND FLOOR PLAN - ELEV A**  
14' x 1'-0" CEILING HGT. = 8'-0"

PLANS: W:\ARCH\2023\DRB2301-0073\01-11-2024\DWG\DRB2301-0073\_S4.2.dwg  
 DATE: 3/13/2024 10:58 AM  
 USER: PAT

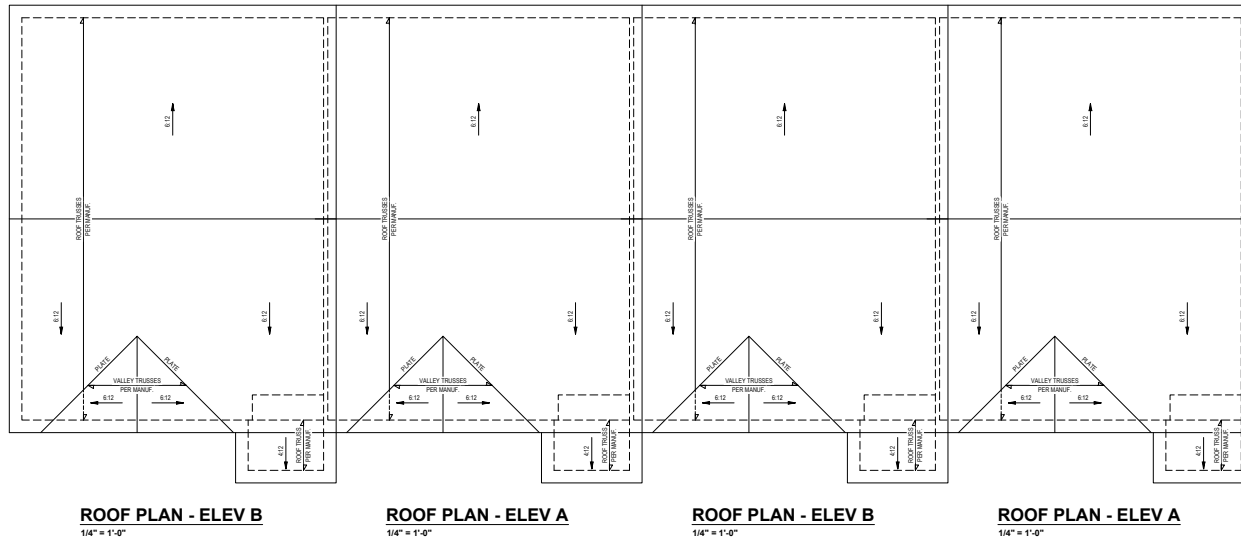


Equipment and materials shall include construction permit, materials, labor, and other items necessary for the completion of the project. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for obtaining all necessary permits and licenses.

788 SQ. FT. OF ATTIC / 300 = 2.63 SQ. FT. INLETS/OUTLETS REQUIRED PER UNIT

1. CALCULATION BASED ON VENTILATORS USED AT LEAST 2" ABOVE THE CEILING VENTS WITH THE BALANCE OF VENTILATION PROVIDED BY GABLE ENDS.
2. CATHEDRAL CEILINGS SHALL HAVE A 1" MINIMUM CLEARANCE BETWEEN THE BOTTOM OF THE KEEL JOCK AND THE INSULATION.

NO SCALE



DATE: WILLIAM GARDNER  
 DRAWN BY: GARDNER TOWNHOMES

# 4 UNIT ROOF PLAN

Project: DRHS2301-0073  
 Date: 3/13/2024  
 Drawn By: HIS  
 Checked By: PAT  
 Title: SEE PLAN

REVISIONS		
No.	Date	Remarks

Sheet Number  
**S5.2**

**STRUCTURAL NOTES**

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE, IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- 2) DESIGN LOADS
 

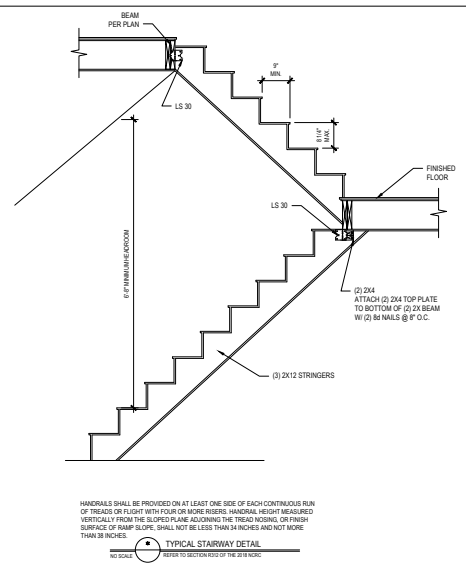
	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION
ALL FLOORS	20	10	L/360
ATTC (W/LS UNIFORM)	10	10	L/360
ATTC (W/LS POINT)	20	10	L/360
ATTC (W/LS UNIFORM)	10	5	L/360
EXTERNAL BALCONY	40	10	L/360
ROOF	20	10	L/360
ROOF TRUSS	20	20	L/360

WIND LOAD BASED ON 120 MPH (EXPOSURE B)  
SEISMIC ZONE 4 & S C

- 3) MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
- 4) CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF FIVE INCHES UNLESS NOTED OTHERWISE. (U.S.A.)
- 5) MAXIMUM DEPTH OF UNBALANCED FULL AGAINT FOUNDATION WALLS TO BE LESS THAN 4" WITHOUT USING SUFFICIENT WALL BRACING. REFER TO SECTION 904.2 FOR BRACING CODE FOR BRACKS/LIGHT FORM BASED ON WALL HEIGHT, WALL THICKNESS, SOIL TYPE, AND UNBALANCED BACKFILL HEIGHT.
- 6) ALL FRAMING LUMBERS SHALL BE OF P.F. #1 OR BETTER BASED ON U.S. LUMBER. ALL FRAMING LUMBER EXPOSED TO THE ELEMENTS SHALL BE TREATED MATERIAL. ALL LUMBER TO BE 1" WIDE NOMINAL DIMENSIONS UNLESS NOTED. 2" X 4'S SHALL BE 1.5" x 3.5" (U.S.A.) ALL L.S. LUMBER TO BE 3" WIDE NOMINAL EACH SINGLE MEMBER AND P-3 = 2400 PSI, E = 1.8M PSI (U.S.A.)
- 7) ALL LOAD BEARING EXTERIOR HEADERS SHALL BE AT LEAST 6" INCHES TO THE RIGHT (R) OF EACH STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS UNLESS SPECIFICALLY NOTED ON PLANS.
- 8) ALL STRUCTURAL STEEL W/ SHAPES (BEAMS) SHALL BE ASTM A992 GRADE 50. ALL STEEL ANGLES, PLATES, & CHANNELS SHALL BE ASTM A36. ALL STEEL PIPE SHALL BE ASTM A53 GRADE B.
- 9) STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3" 1/2" AND FULL FLANGE WIDTH. PROVIDE SOLE BEARING FROM BEAM SUPPORT TO FOUNDATION BEAM SHALL BE ATTACHED TO EACH SUPPORT WITH TWO (2) LAG SCREWS (2" x 4" CROWN LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDED THE JOISTS ARE TIE NAILED TO THE SOLE PLATES AND THE SOLE PLATE ARE NAILED OR BOLTED TO THE BEAM FLANGES @ 4" O.C.
- 10) PROVIDE ANCHOR BOLT PLACEMENT PER SECTION 404.1.6. 1/2" ANCHOR BOLTS SPACED AT 4" O.C. AND PLACED 1/2" FROM THE END OF EACH PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 12" O.C. FOR SUBMITTALS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. THERE SHALL BE A MINIMUM TWO ANCHOR BOLTS PER PLATE SECTION.
- 11) FOUNDATION DRAINAGE DAMP PROOFING OR WATERPROOFING PER SECTION 406 AND 408 OF NC BUILDING CODE.
- 12) WALL AND ROOF CLADDING VALUES:  
WALL CLADDING SHALL BE DESIGNED FOR 30 POUNDS PER SQUARE FOOT (BSFFT) OR GREATER POSITIVE AND NEGATIVE PRESSURE. ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE AS FOLLOWS:  
30 LB BSFFT FOR ROOF FLOORS 1 TO 10 TO 1/2"  
30 LB BSFFT FOR ROOF FLOORS 1 TO 10 TO 1/2"  
30 LB BSFFT FOR ROOF FLOORS 1 TO 10 TO 1/2"  
"MEAN ROOF HEIGHT 30' 0" OR LESS"
- 13) FOR ROOF SLOPES FROM 3/12 THROUGH 4/12, INSTALL TO INSTALL 2 LAYERS OF 15# FELT PAPER.
- 14) REFER TO SECTION 902.3 FOR FRAMING OF ALL WALLS OVER 10' 0" IN HEIGHT.
- 15) PROVIDE CONTIGUOUS SHEATHING PER SECTION 902.3.3 OF THE 2018 NBC.
- 16) UPLIFT LOADS GREATER THAN 50# SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
- 17) REFER TO TABLE N102.1 FOR PRESCRIPTIVE BUILDING ENVELOPE THERMAL COMPONENT CRITERIA.
- 18) PAI COLUMNS DESIGNED WITH MAXIMUM HEIGHT OF 10' 0" (U.S.A.)
- 19) PROVIDE A MINIMUM OF ONE UPLIFT LATERAL CONNECTION AT TOP AND BOTTOM OF PAIN COLUMNS. (U.S.A.)
- 20) MASONRY MANDATORY PER HEIGHT SHALL NOT EXCEED FOUR TIMES THE LEAST HORIZONTAL DIMENSION. (U.S.A.)
- 21) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE FROM TO CONSTRUCTION. TYPICAL ENGINEERING & DESIGN, P.A. IS NOT RESPONSIBLE FOR DIMENSION OR SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.

**DEFINITIONS FOR COMMON ABBREVIATIONS**

ALT	= ALTERNATE	MAX	= MAXIMUM
CANT	= CANTILEVER	MIN	= MINIMUM
CL	= CENTERLINE	NOM	= NOMINAL
CMU	= CONCRETE MASONRY UNIT	O.C.	= ON CENTER
COL	= COLUMN	PS	= POINT SUPPORT
CONC	= CONCRETE	REF	= REINFORCED
CONT	= CONTINUOUS	REIN	= REINFORCED
COLL	= COLLAR	REQ	= REQUIRED
DBL	= DOUBLE	RJ	= ROOF JOIST
DI	= DOUBLE JOIST	SC	= STUD COLUMN
DL	= DOUBLE LATERAL	SH	= SHOE
EA	= EACH	SP	= SPECIFIED
END	= EACH END	TR	= TRIM
FJ	= FLOOR JOIST	TR	= TRIPLE JOIST
FIN	= FINISH	TRT	= TRIMMED
FD	= FOOTING	TRP	= TYPICAL
FOOT	= FOOTING	UNL	= UNLESS NOTED OTHERWISE
HORIZ	= HORIZONTAL	W	= WELD LUGS
HV	= HEIGHT	WFF	= WELDED WIRE FABRIC
MANUF	= MANUFACTURER	XJ	= EXTRA JOIST



1) MAXIMUM HEIGHT OF ROCK POSTS AS FOLLOWS

POST SIZE	MAX POST HEIGHT*
4 x 4	8' 0"
6 x 6	20' 0"
8 x 8	OVER 20' 0"

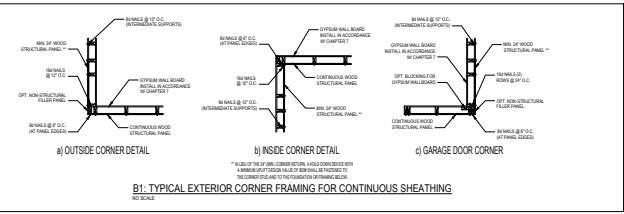
- \* THIS TABLE IS BASED ON NO 2 TREATED SOUTHERN PINE POSTS. MAXIMUM TROUSAR AREA IS BASED ON 10% TOTAL SQUARE FEET WHICH MAY BE LOCATED AT DIFFERENT LEVELS. FROM TOP OF FOOTING TO BOTTOM OF GRADE. FROM TOP OF POSTS OVER 20' SHALL BE DESIGNED AND BRACED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT.
- 2) DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY OF ONE OF THESE METHODS:
    - A. THE DECK FLOOR HEIGHT IS LESS THAN 4' AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4)
    - B. 4 x 4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL BE ATTACHED TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST AND THE BRACES SHALL BE ANCHORED BETWEEN 4" AND 8" FROM THE HORIZONTAL. KNEE BRACES SHALL BE BOLTED TO THE POST AND SIZES WITH ONE END NOT DIPPED GALVANIZED BOLT AT EACH END OF THE BRACE.
    - C. FOR PRECASTING DECKS WITH TIE SPACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN ACCORDANCE WITH THE FOLLOWING:
 

POST SIZE	MAX. TROUSAR AREA	MAX. POST HEIGHT	EMBEDMENT DEPTH	CONCRETE DIAMETER
4 x 4	48 SQ. FT.	4' 0"	3' 0"	1' 0"
6 x 6	100 SQ. FT.	8' 0"	3' 0"	1' 6"
  - 3) 2 x 4 DIAGONAL VERTICAL CROSS BRACING MAY BE PROVIDED IN TWO (2) PERPENDICULAR DIRECTIONS FOR PRECASTING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE 2 x 4 SHALL BE ATTACHED TO THE POSTS WITH ONE END NOT DIPPED GALVANIZED BOLT AT EACH END OF EACH BRACING MEMBER.
  - 4) FOR EMBEDMENT OF POSTS IN CONCRETE, REFER TO CHAPTER 6.

**REQUIRED FULL PANEL CONNECTIONS**

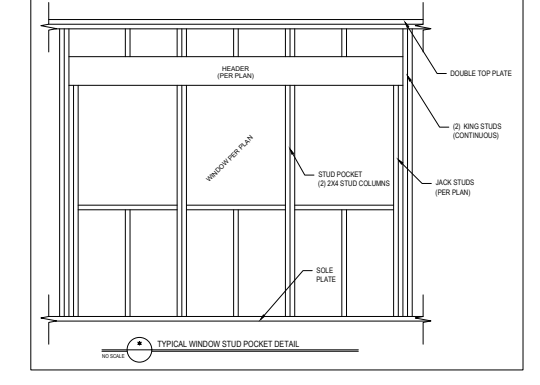
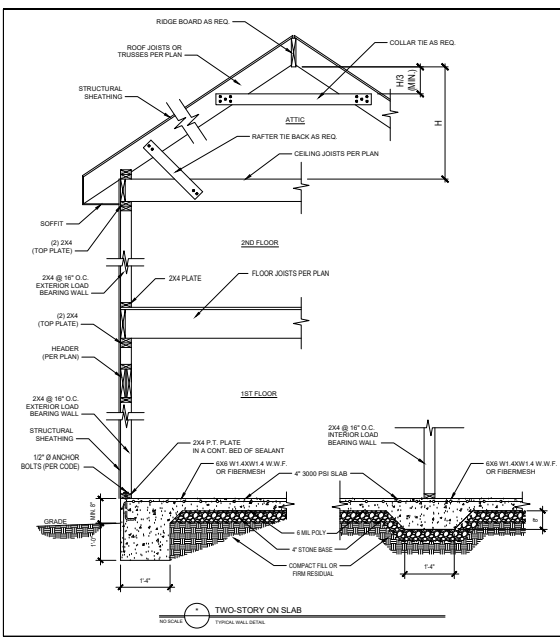
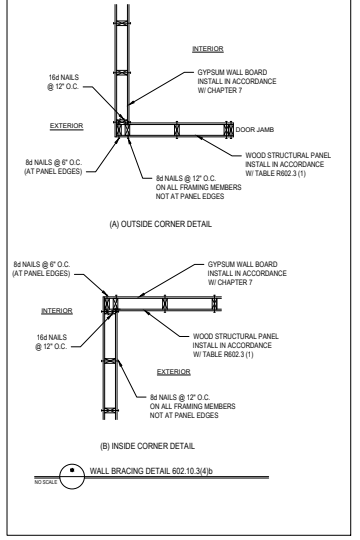
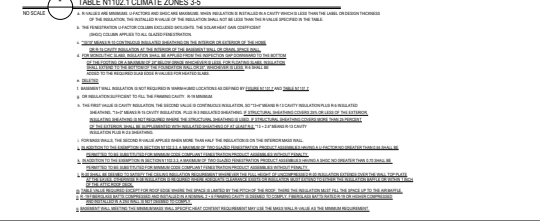
METHOD	MINIMUM WALL THICKNESS	REQUIRED CONNECTION	MINIMUM WALL THICKNESS	REQUIRED CONNECTION
CLASP	WOOD STRUCTURAL PANEL	3"	6" COMMON WALLS	6" COMMON WALLS
CR	GYPSUM BOARD	1/2"	6" COMMON WALLS	6" COMMON WALLS
DR	WOOD STRUCTURAL PANEL	3/8"	6" COMMON WALLS	6" COMMON WALLS

NO CONNECTION FOR THESE DETAILS  
**B3. BRACE WALL PANEL CONNECTIONS**  
NO SCALE



**TABLE N102.1 CLIMATE ZONES 3-5**

CLIMATE ZONES	FENESTRATION U-FACTOR	OPaque Fenestration U-FACTOR	GLAZED Fenestration SHGC	CEILING R-VALUE	FLOOR R-VALUE	WOOD FLOOR R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRAWL SPACE WALL R-VALUE
3	0.35	0.55	0.30	20 R-1.0	20 R-1.0	15 R-1.0	15 R-1.0	10	10	10	10
4	0.35	0.55	0.30	20 R-1.0	20 R-1.0	15 R-1.0	15 R-1.0	10	10	10	10
5	0.35	0.55	NR	20 R-1.0	20 R-1.0	15 R-1.0	15 R-1.0	10	10	10	10



Equipment shall not be located in areas where it will be exposed to the elements. All equipment shall be protected from weather. All equipment shall be protected from fire. All equipment shall be protected from theft. All equipment shall be protected from vandalism. All equipment shall be protected from graffiti. All equipment shall be protected from other forms of damage.



**WILLIAM GARDNER**  
GARDNER TOWN/NOTICES

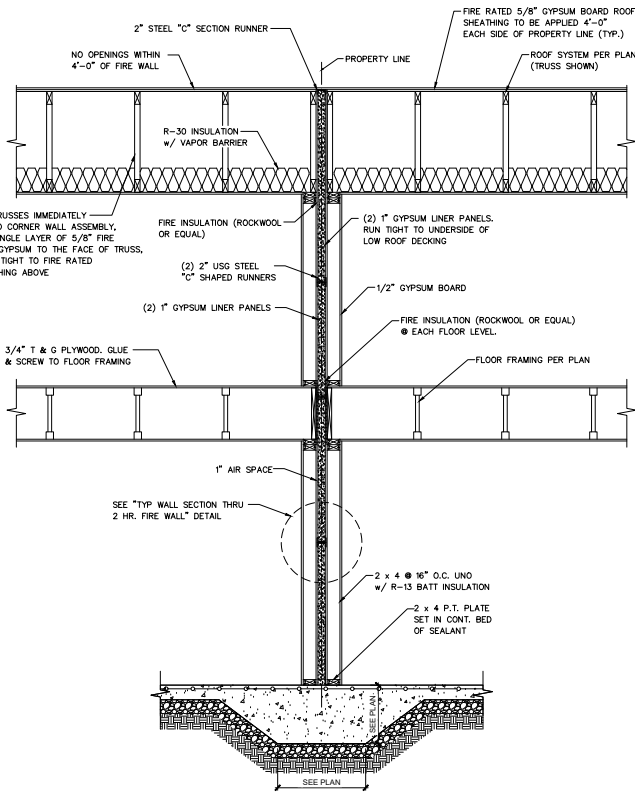
**STANDARD DETAILS**

Project: DRB2-301-0073  
Date: 3/13/2024  
Author: HHS  
Checked: PAT  
Title: SEE PLAN

**REVISIONS**

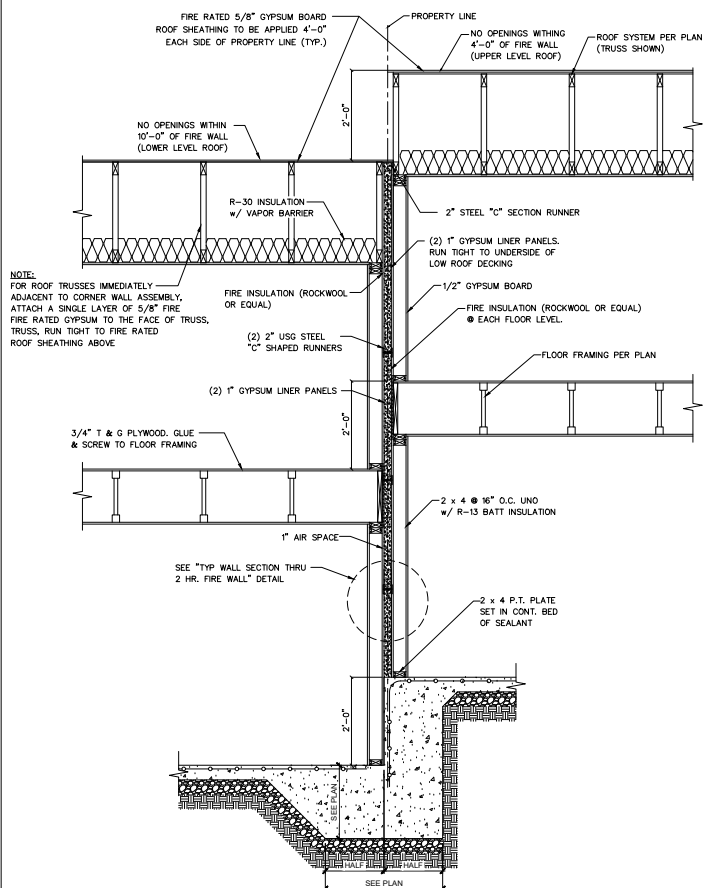
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Sheet Number: **D1**  
6 of 7



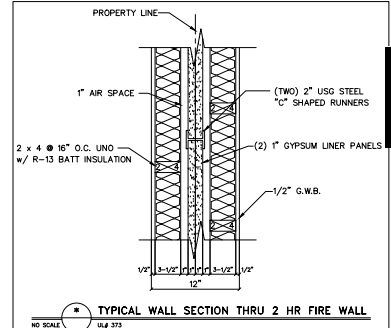
TYP WALL SECTION THRU 2 HR. FIRE WALL - FLAT UNIT PARTITION

NOTE: NO PENETRATIONS SHALL BE ALLOWED IN 2 HR. FIRE WALL.

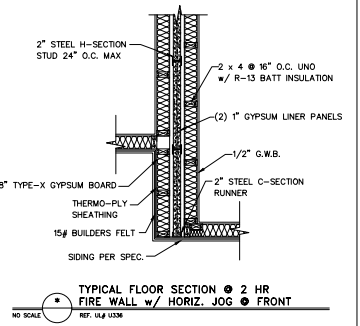


TYP WALL SECTION THRU 2 HR. FIRE WALL - STEPPED UNIT PARTITION

NOTE: NO PENETRATIONS SHALL BE ALLOWED IN 2 HR. FIRE WALL.



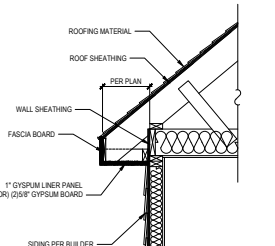
- SEPARATION WALL: (MAX HEIGHT = 44FT)
- FLOOR, INTERMEDIATE OR TOP ALL 2 3/4" WIDE CHANNEL SHAPED WITH 1" LONG LESS FORMED FROM NO. 25 MSG GALV. STEEL, SECURED WITH SUITABLE FASTENERS, SPACED AT 24" O.C.
  - METAL STUDS: STEEL MEMBERS FORMED FROM NO. 25 MSG GALV. STEEL WITH 1" SHAPED FLANGES SPACED AT 24" O.C. OVERALL DEPTH 2 1/8" AND FLANGE WIDTH 1 1/2"
  - GYPSON WALLBOARD: TWO LAYERS OF 1" THICK GYPSON WALLBOARD LINER PANELS, SUPPLIED IN NOM. 24" WIDTHS, VERTICAL EDGES OF PANELS FRICTION FITTED AND 1/4" SHAPED STUDS. (SEE CRISP-PACIFIC GYPSON, L.L.C. TYPE TSL, DQSL).
- PROTECTED WALL: (BEARING OR NON-BEARING)
- WOOD STUDS: FOR 2 HR BEARING OR NON-BEARING WALL RATING: NOM. 2 1/4" MAX SPACING 24" O.C. STUDS CROSS BRACED AT MID-HEIGHT WHERE NECESSARY FOR CLIP ATTACHMENT. MIN 3/4" SEPARATION BETWEEN WOOD FRAMING AND AREA SEPARATION WALL. FINISH RATING EVALUATED FOR WOOD STUDS ONLY.
  - GYPSON WALLBOARD: CLASSIFIED OR UNCLASSIFIED: MIN 1/2" THICK. 4" IF WIDE, APPLIED EITHER HORIZONTALLY OR VERTICALLY WALLBOARD ATTACHED TO WOOD STUDS WITH 1 1/4" LONG STEEL DRYWALL NAILS SPACED 12" O.C. VERTICAL JOINTS LOCATED OVER STUDS. (OPTIONAL JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. NAIL OR SCREW HEADS COVERED WITH JOINT COMPOUND.)
  - PLYWOOD SHEATHING OR OSB: AS AN ALTERNATE TO ITEM 5, NOM. 1/2" THICK OR GREATER PLYWOOD OR OSB APPLIED HORIZONTALLY OR VERTICALLY TO WOOD STUDS. VERTICAL JOINTS LOCATED OVER STUDS. HORIZONTAL JOINTS SHALL BE BUTTED TIGHT TO FORM A CLOSED JOINT. FASTENERS TO STUDS SECURED WITH MIN. 1" TYPE S CREW 3/8" LONG TO 1/4" STUDS WITH MIN. 1" TYPE S CREW 5/16" LONG TO WOOD FRAMING THROUGH WALLS PROVIDED IN CLIP. CLIPS SPACED A MAX OF 16" O.C. VERTICALLY BETWEEN WOOD FRAMING AND 1/4" STUDS FOR SEPARATION WALLS UP TO 22' HIGH. FOR SEPARATION WALLS UP TO 44' HIGH, CLIPS SPACED AS DESCRIBED ABOVE FOR THE UPPER 24' AND THE REMAINING WALL AREA BELOW REQUIRES CLIPS SPACED A MAX 9" O.C. VERTICALLY BETWEEN WOOD FRAMING AND 1/4" STUDS.
  - BATS AND BULKHEADS: PLACED IN STUD CAVITIES. ANY GLASS FIBER OR MINERAL WOOL INSULATION, MAX 3.0 PCF DENSITY, BEARING THE UL CLASSIFICATION MARKING AS TO SURFACE BURNING CHARACTERISTICS AND/OR FIRE RESISTANCE.
- UL #U373 DESIGN
- CONSULTANT NOT SEPARATION WALLS SHALL FOLLOW THE PROVISIONS SET FORTH IN THE 2018 RESIDENTIAL BUILDING CODE SECTION R602 AND R603.



TYPICAL FLOOR SECTION @ 2 HR FIRE WALL w/ HORIZ. JOG @ FRONT

NOTE: NO PENETRATIONS SHALL BE ALLOWED IN 2 HR. FIRE WALL.

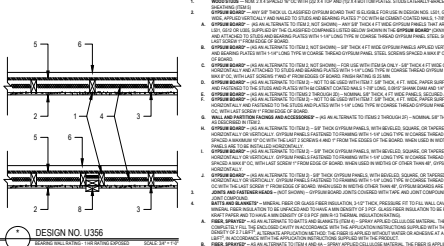
- SEPARATION WALL: (MAX HEIGHT = 66FT)
- FLOOR, INTERMEDIATE OR TOP ALL 2 3/4" WIDE CHANNEL SHAPED WITH 1" LONG LESS FORMED FROM NO. 25 MSG GALV. STEEL, SECURED WITH SUITABLE FASTENERS, SPACED AT 24" O.C.
  - METAL STUDS: STEEL MEMBERS FORMED FROM NO. 25 MSG GALV. STEEL WITH 1" SHAPED FLANGES SPACED AT 24" O.C. OVERALL DEPTH 2 1/8" AND FLANGE WIDTH 1 1/2"
  - GYPSON WALLBOARD: TWO LAYERS OF 1" THICK GYPSON WALLBOARD LINER PANELS, SUPPLIED IN NOM. 24" WIDTHS, VERTICAL EDGES OF PANELS FRICTION FITTED AND 1/4" SHAPED STUDS. (SEE CRISP-PACIFIC GYPSON, L.L.C. TYPE TSL, DQSL).
- PROTECTED WALL: (BEARING OR NON-BEARING)
- WOOD STUDS: NOM. 2 1/4" MAX SPACING 24" O.C. STUDS CROSS BRACED AT MID-HEIGHT WHERE NECESSARY FOR CLIP ATTACHMENT. MIN 3/4" SEPARATION BETWEEN WOOD FRAMING AND FIRE SEPARATION WALL. GYPSON WALLBOARD: CLASSIFIED OR UNCLASSIFIED: MIN 1/2" THICK. 4" IF WIDE, APPLIED EITHER HORIZONTALLY OR VERTICALLY WALLBOARD ATTACHED TO WOOD STUDS WITH 1 1/4" LONG STEEL DRYWALL NAILS SPACED 12" O.C. VERTICAL JOINTS LOCATED OVER STUDS. (OPTIONAL JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. NAIL HEADS COVERED WITH JOINT COMPOUND.)
  - ATTACHMENT CLIPS: ALUMINUM ANGLE, 3/8" THICK, 2" WIDE WITH 2" AND 3 1/4" HOLE. CLIPS SECURED WITH TYPE S SCREWS 3/8" LONG TO 1/4" STUDS WITH TYPE S SCREWS 1/4" LONG TO WOOD FRAMING THROUGH HOLES PROVIDED IN CLIP.
  - CLIP PLACEMENT FOR SEPARATION WALLS UP TO 22' HIGH: SPACE CLIPS AS DESCRIBED IN 1/4" FOR UPPER 24'. REMAINING WALL AREA BELOW REQUIRES CLIPS SPACED A MAX OF 9" O.C. VERTICALLY BETWEEN WOOD FRAMING AND 1/4" STUDS.
  - CALLING AND SEALANTS: A BEAD OF SEALANT APPLIED AROUND THE PARTITION PERIMETER, AND AT THE INTERFACE BETWEEN WOOD OR STEEL FRAMING AND GYPSON BOARD PANELS TO CREATE AN AIR BARRIER.
- UL #U336 DESIGN
- CONSULTANT NOT SEPARATION WALLS SHALL FOLLOW THE PROVISIONS SET FORTH IN THE 2018 RESIDENTIAL BUILDING CODE SECTION R602 AND R603.



DESIGN NO. U356

NOTE: VENT OPENINGS SHALL NOT BE LOCATED WITHIN 6" HORIZONTALLY OF ANY UNPROTECTED WALL OPENING LOCATED WITHIN 3" OF VERTICALLY BELOW SOFFIT.

1-HR FIRE RATED SOFFIT DETAIL



UL DESIGN NO. U356 NOTES

CONSULTANT NOT SEPARATION WALLS SHALL FOLLOW THE PROVISIONS SET FORTH IN THE 2018 RESIDENTIAL BUILDING CODE SECTION R602 AND R603.

WILLIAM GARDNER  
GARDNER TOWNSHIPS

FIREWALL DETAILS

DRB2301-0073

Date: 3/13/2024

Author: [Redacted]

Checker: [Redacted]

Pat: [Redacted]

Size: SEE PLAN

REVISIONS	
No.	Remarks

Sheet Number: D2

7 of 7