



# Administrative Approval Action

Case File / Name: SUB-0017-2022  
DSLCLake View at North Ridge Subdivision

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is generally located at the southeast corner of Grist Mill Road and Rock Dam Court, with a street address of 1400 Rock Dam Court.

**REQUEST:** Conventional subdivision of approximately 0.76 acres zoned R-4 to create 2 detached house lots.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 4, 2022 by ALISON A POCKAT, ASLA.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Stormwater**

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **General**

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

### **Engineering**



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2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A fee-in-lieu for sidewalk and curb and gutter is paid to the City of Raleigh (UDO 8.1.10).
4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Urban Forestry

5. A public infrastructure surety for three street trees, two along Grist Mill Road and one along Rock Dam Court, shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

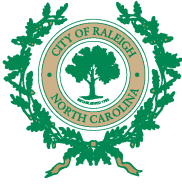
## Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along Grist Mill Road and 1 street tree along Rock Dam Court.

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: September 30, 2025**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: September 30, 2027**



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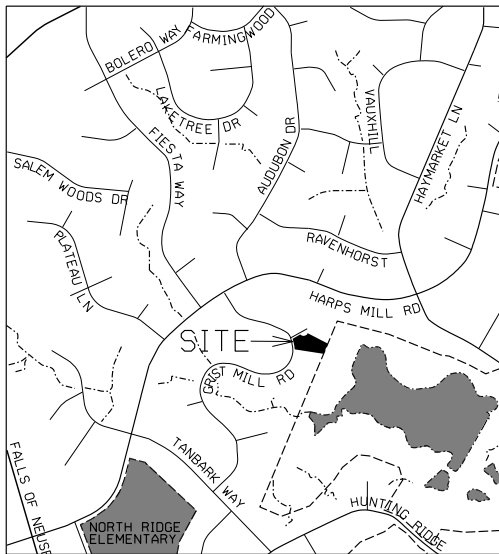
Case File / Name: SUB-0017-2022  
DSLC - Lake View at North Ridge Subdivision

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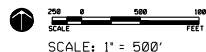
**Record entire subdivision.**

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 06/03/2022  
Development Services Dir/Designee  
Staff Coordinator: **Kasey Evans**



VICINITY MAP



LIST OF DRAWINGS		
SEQ. NO.	DWG. NO.	TITLE
1	CO-0	COVER SHEET
2	EC-1	EXISTING CONDITIONS PLAN
3	SP-1	PROPOSED SUBDIVISION
4	SP-2	UTILITY PLAN
5	D-1	UTILITY DETAILS

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH &/OR NCDDT STANDARDS AND SPECIFICATIONS.  
SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.  
A TREE IMPACT FEE IS REQUIRED WHEN PLOT PLANS ARE SUBMITTED FOR BUILDING PERMIT IN ORDER TO PLANT TREES IN THE PUBLIC RIGHT OF WAY.

# LAKE VIEW AT NORTH RIDGE SUBDIVISION

1400 ROCK DAM CT.  
RALEIGH, NORTH CAROLINA

OWNER:  
RALEIGH CUSTOM HOMES  
6736 FALLS OF NEUSE RD., SUITE 300  
RALEIGH, NC 27615  
OFFICE PHONE - 919 395-1529  
CONTACT: TIM THOMPSON

## SITE DATA

ADDRESS: 1400 ROCK DAM CT., RALEIGH  
PIN #: 1717372523 GROSS ACREAGE: 33,200 SF, 0.762 AC  
ZONING: R-4  
BOOK OF MAPS 1970, PAGE 216  
DB - 18857, PG - 2238  
LAND CLASS: LOW DENSITY RESIDENTIAL -  
LESS THAN 10 UNITS PER AC - HOMESITE  
WATERSHED: LOWER NEUSE RIVER WATERSHED  
NEUSE RIVER BASIN

PROPOSED USE - SINGLE FAMILY RESIDENTIAL

THE SITE IS A SUBDIVISION OF LOT NO. 18, BLOCK 19  
NORTH RIDGE ADDITIONS TO HAYMARKET VILLAGE, SECTION 3

TOTAL SURFACE AREA FOR LOT = 33,200 SF, 0.762 ACRES - GROSS  
EXISTING IMPERVIOUS SURFACE AREA FOR LOT = 4,800 SF  
PERCENT IMPERVIOUS (EXISTING COND.) FOR LOT 18 = 14%

PROPOSED USE - TWO RESIDENTIAL LOTS  
LOT 1 - 13,429.95 SF - 0.308 AC  
LOT 2 - 19,323.43 SF - 0.444 AC  
AREA TO BE DEDICATED TO RIGHT OF WAY - 446.62 SF = 0.01 AC  
NET ACREAGE - 32,753.38 SF - 0.752 AC  
DENSITY = 2.62 DU / ACRE

THE MAXIMUM ALLOWED IMPERVIOUS SURFACE AREA IS 38%  
LOT 1 MAXIMUM ALLOWED IMPERVIOUS SURFACE AREA = 4,305.4 SF  
LOT 2 MAXIMUM ALLOWED IMPERVIOUS SURFACE AREA = 7,342.9 SF

PROJECTED WASTEWATER FLOW = 960 GPD  
2 DWELLINGS X 4 BEDROOMS X 120 GRP

## Preliminary Subdivision Application Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): Lake View at North Ridge Subdivision			
Property Address(es): 1400 Rock Dam Ct., Raleigh, NC			
Recorded Deed PIN(s): 1717372523			
What is your project type?			
<input checked="" type="checkbox"/> Single family	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Other:	<input type="checkbox"/> Attached houses
<input type="checkbox"/> Apartment	<input type="checkbox"/> Non-residential		
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION			
NOTE: Please attach purchase agreement when submitting this form			
Company: Raleigh Custom Homes		Owner/Developer Name and Title: Timothy Thompson, Owner	
Address: 6736 Falls of Neuse Rd., Suite 300, Raleigh, NC 27615			
Phone #: 919 395-1529		Email: <a href="mailto:tim@raleighcustomhomes.net">tim@raleighcustomhomes.net</a>	
APPLICANT INFORMATION			
Company: Alison A. Pockat, ASLA		Contact Name and Title: Alison A Pockat	
		Address: 106 Steep Bank Dr., Cary, NC 27518	
Phone #: 919 363-4415		Email: <a href="mailto:aapockat@earthlink.net">aapockat@earthlink.net</a>	

Continue to page 2 >>

Page 1 of 2

REVISION 02.10.21  
raleighnc.gov

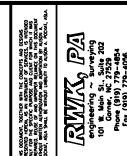
DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 33,200 SF - 0.762 AC	
Zoning districts (if more than one, provide acreage of each): R-4	
Overlay district: none	
Conditional Use District (CUD) Case # Z:	
Board of Adjustment (BOA) Case # A:	
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 4.11	Proposed Impervious Surface: Acres: 4.80
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following:	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: _____	Detached: _____
Total # of single-family lots: 2	Attached: _____
Proposed density for each zoning district (UDO 1.5.2.F): 2.62	
Total # of open space and/or common area lots: _____	
Total # of requested lots: 2	
SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, Alison Pockat, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <i>Alison Pockat</i>	Date: 3-1-2022
Printed Name: Timothy W. Thompson	Date: _____
Signature: _____	Date: _____
Printed Name: _____	Date: _____

Page 2 of 2

Please email your completed application to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

REVISION 02.10.21  
raleighnc.gov

Kasey Evans



ALISON A. POCKAT, ASLA  
LANDSCAPE ARCHITECT  
LAND PLANNER  
(919) 363-4415  
106 STEEPBANK DRIVE  
CARY, NC 27518

DESIGNED: AAP  
DRAWN:  
APPROVED:



LAKE VIEW @ NORTH RIDGE SUBD.  
1400 ROCK DAM CT., RALEIGH, NC  
RALEIGH CUSTOM HOMES  
6736 FALLS OF NEUSE RD., SUITE 300  
RALEIGH, NC 27615

NO.	DATE	REVISIONS
1	15-4-22	RALEIGH COMMENTS: 4, 5, 23

SCALE: NTS  
DATE: FEB. 6, 2022

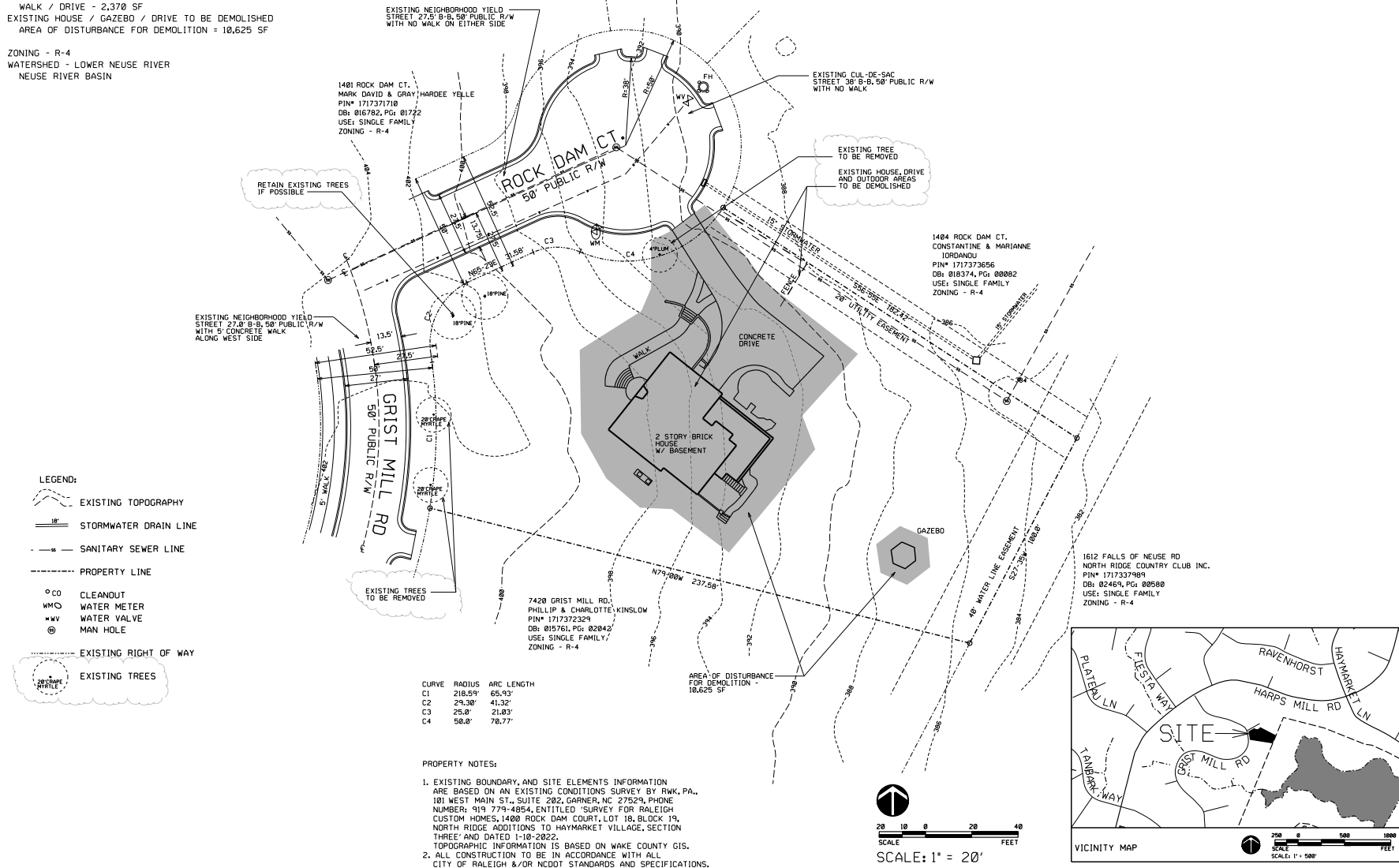
SHEET NO. 1  
COVER SHEET  
CO-1

SEQUENCE NO. 1 OF 5

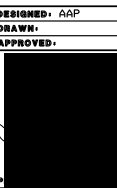
# SITE DATA:

PIN NUMBER - 1717372523  
 ADDRESS: 1400 ROCK DAM CT., RALEIGH  
 LOT 18, BLOCK 19, NORTH RIDGE  
 ADDITIONS TO HAYMARKET VILLAGE  
 BDM 1970, PAGE 216  
 DB 18857, PAGE 2238  
 TOTAL ACREAGE - 33,200 SF - 0.762 AC  
 EXISTING IMPERVIOUS AREA - 3,630 SF - 0.083 AC  
 HOUSE - 2,280 SF, GAZEBO - 150 SF,  
 WALK / DRIVE - 2,370 SF  
 EXISTING HOUSE / GAZEBO / DRIVE TO BE DEMOLISHED  
 AREA OF DISTURBANCE FOR DEMOLITION - 10,625 SF

ZONING - R-4  
 WATERSHED - LOWER NEUSE RIVER  
 NEUSE RIVER BASIN



DESIGNED: AAP  
 DRAWN:  
 APPROVED:



LAKE VIEW & NORTH RIDGE SUBD.  
 SUBDIVISION & PLANTING PLAN  
 1400 ROCK DAM CT., RALEIGH, NC  
 RALEIGH CUSTOM HOMES  
 6736 FALLS OF NEUSE RD., SUITE 300  
 RALEIGH, NC 27615

REVISIONS	DATE	BY	DESCRIPTION
1	15.4.22	RALEIGH COMMENTS	84-05-22

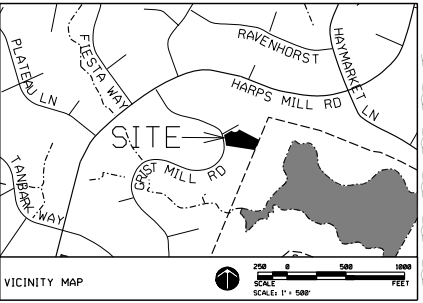
SCALE: NTS  
 DATE: FEB. 4, 2022

SHEET NO. 1

EXISTING CONDITIONS  
 EC-1

SEQUENCE NO. 2 OF 5

RALEIGH CASE NUMBER: SUB-0017-2022



# STREET TREE PLANTING

KEY COUNT PLANT NAME	O/C	SPACE	PLANTING SIZE
NS 1 NYSSA SYLVATICA, TUPELA	40'	3" CAL.	10' HT
ON 2 QUERCUS NUTTALLI, NUTTALL OAK	40'	3" CAL.	10' HT

NOTES:  
TREES ARE TO BE INSTALLED PER CHAPTER 2 OF THE CITY TREE MANUAL  
AND STANDARD DETAIL TPP-03. CALL THE URBAN FORESTRY INSPECTOR  
FOR ANY FIELD ADJUSTMENTS.  
ALL TREES ARE TO BE PLANTED AT SPECIFIED SIZE AND SINGLE STEM.

## IMPERVIOUS SURFACE AREA LIMITS:

LOT 1 -  
133 FRONTAGE FOR FUTURE WALK  
6' FUTURE WALK = 798 SF  
(13,429.95 X .38) - 798 = 4,305.4 SF  
MAXIMUM IMPERVIOUS ALLOWED FOR LOT 1 = 4,305.4 SF

LOT 2 -  
NO SIDEWALK REQUIRED  
(19,323.43 X .38) = 7,342.9 SF  
MAXIMUM IMPERVIOUS ALLOWED FOR LOT 2 = 7,342.9 SF

PRIMARY STREET FOR LOTS 1 AND 2 - ROCK DAM CT.

## SITE NOTES:

1. THE TOTAL AREA FOR DEVELOPMENT OF THE TWO LOTS  
EQUALS 32,835.42 SF - 0.754 AC. PER SECTION 9.2.2.A.2.b.1  
SUBJECT TO 4.0 OF PART 10A OF THE RALEIGH UNIFIED  
DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT OF  
ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER  
REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE.
2. THE SITE IS 0.754 ACRES. UNDER SECTION 9.1.3 OF THE  
UDO NO TREE CONSERVATION PLAN WILL BE REQUIRED.
3. EXISTING HOUSE, WALK AND DRIVEWAY STRUCTURES ARE TO  
BE REMOVED. A DEMOLITION PERMIT IS REQUIRED PRIOR TO THE  
APPROVAL OF A RECORDED PLAT. DEMO PERMIT NUMBER SHALL BE  
SHOWN ON ALL MAPS FOR RECORDING.
4. ALL CONSTRUCTION IS TO BE IN ACCORDANCE  
WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS.
5. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF  
ALL UTILITY LINES NECESSARY TO PROVIDE SERVICE TO THESE SITES.
6. PER UDO AND THE RALEIGH STREET MANUAL, STREET TREES ARE  
REQUIRED TO BE PROVIDED ALONG THE STREET FRONTAGE. A  
SURETY BOND WILL BE REQUIRED FOR 2 TREES ALONG GRIST MILL RD.  
AND FOR 3 TREES ALONG ROCK DAM CT.
7. A FEE IN LIEU WILL BE REQUIRED FOR THE WALK ALONG GRIST  
MILL RD. AND ALONG ROCK DAM CT.  
TO BE PROVIDED FOR THE FRONTAGE ALONG BOTH STREETS.
8. A SURETY BOND IS REQUIRED FOR ALL PUBLIC INFRASTRUCTURE  
IMPROVEMENTS PRIOR TO MAP RECDATION. SEE RALEIGH STREET  
DESIGN MANUAL, SECTION 5.3.4. THE BOND LETTER OF CREDIT OR  
CERTIFIED CHECK IS REQUIRED FOR ALL INCOMPLETE PUBLIC  
IMPROVEMENTS BASED ON 125% OF ESTIMATED CONSTRUCTION  
COSTS PRIOR TO MAP RECDATION. SEE RSDM SECTION 5.6.
9. THE SUBDIVISION PLAN CREATES TWO LOTS.
10. INFILL SUBDIVISION RULES MAY APPLY TO THIS  
DEVELOPMENT AS PER UDO SEC. 2.2.7.
11. ANY EXISTING WATER OR SEWER COMPONENTS THAT ARE TO  
BE ABANDONED SHALL BE ABANDONED AS PER CORPUD STANDARDS -  
PUBLIC UTILITY HANDBOOK, PAGES 67 AND 125.

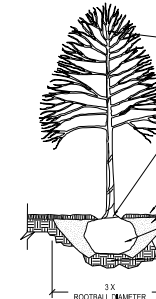
CURVE	RADIUS	ARC LENGTH
C1	218.5'	65.93'
C2	29.30'	41.32'
C3	25.0'	21.83'
C4	50.0'	70.77'

## PROPERTY NOTES:

1. EXISTING BOUNDARY, AND SITE ELEMENTS INFORMATION  
ARE BASED ON AN EXISTING CONDITIONS SURVEY BY RWK, PA.,  
101 WEST MAIN ST., SUITE 202, GARNER, NC 27529, PHONE  
NUMBER 919 779-4854, ENTITLED SURVEY FOR RALEIGH  
CUSTOM HOMES, 1400 ROCK DAM COURT, LOT 16, BLOCK 19,  
NORTH RIDGE ADDITIONS TO HAYMARKET VILLAGE, SECTION  
THREE AND DATED 1-10-2022.
2. TOPOGRAPHIC INFORMATION IS BASED ON WAKE COUNTY GIS.  
3. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL  
CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

## SITE DATA:

PIN NUMBER - 1717372523  
ADDRESS: 1400 ROCK DAM CT., RALEIGH  
TOTAL GROSS ACREAGE - 33,200 SF - 0.762  
TOTAL NET ACREAGE - 32,753.38 SF - 0.752 AC  
AREA OF RIGHT OF WAY DEDICATION - 446,62 SF  
LOT 1 - 13,429.95 SF - 0.308 AC  
LOT 2 - 19,323.43 SF - 0.444 AC  
PROPOSED SITE DENSITY - 2.62 UNITS / ACRE  
EXISTING IMPERVIOUS AREA - 4,800 SF - 0.11 AC  
HOUSE - 2,200 SF, GAZEBO - 150 SF,  
DRIVE, WALK - 2,370 SF  
ZONING - R-4



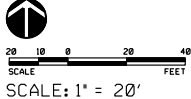
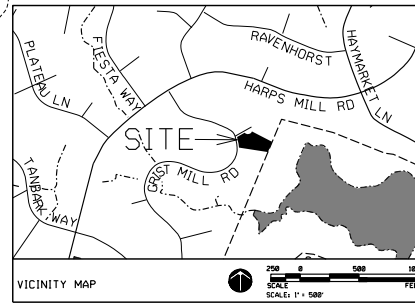
- DO NOT PRUNE LEADER, PRUNE OR CUT ONLY  
DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL  
STANDARDS INSTITUTE (ANSI) A300 STANDARDS
- REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE.  
THE ROOT FLARE SHALL BE PLANTED AT GRADE  
NO HIGHER THAN 2" ABOVE GRADE, AND NEVER  
BELOW GRADE. TREE SHALL BE SET PLUMB
- MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3"  
FROM ROOT FLARE AND DO NOT CONTACT STEM
- PLANTING SOIL MIX AROUND ROOT BALL, 600 CU FT  
OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE
- COMPLETELY REMOVE TOP HALF OF BURLAP  
LACING STRAPS, NAILS AND WIRE BASKET AND  
DISCARD FROM HOLE, ALL SYNTHETIC BURLAP  
MUST BE REMOVED FROM SIDES OF ROOT BALL.
- ROOT BALL SHALL BE PLACED DIRECTLY ON  
COMPACTED SUBGRADE, HANDLE TREE BY THE  
ROOT BALL ONLY.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL  
RESOURCES DEPARTMENT URBAN FORESTER  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS  
IN CH. 2 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR  
ADEQUATE DRAINAGE OF ALL PLANTING PITS,  
(POSITIVE DRAINAGE AWAY FROM PIT).
  3. TREES SHALL BE PLANTED BETWEEN  
OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL OUTLETS AND OTHER UTILITIES  
ARE PROHIBITED IN THE PLANTING AREA  
IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IS ACCORDANCE WITH THE CITY  
TREE MANUAL, THE STAKING MUST BE REMOVED  
WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY  
AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL	
REVISION	DATE
10/2019	10/2019
TREE PLANTING DETAIL	
TPP-03	

- LEGEND:
- EXISTING TOPOGRAPHY
  - STORMWATER DRAIN LINE
  - SANITARY SEWER LINE
  - PROPERTY LINE
  - C/O CLEANOUT
  - W/M WATER METER
  - W/V WATER VALVE
  - O/MH MAN HOLE
  - EXISTING RIGHT OF WAY
  - PROPOSED RIGHT OF WAY
  - 65' X 100' MIN. LOT DIMENSIONS



SCALE: 1" = 20'



ALISON A. POCKAT, ASLA  
LANDSCAPE ARCHITECT  
LAND PLANNER  
(919) 363-4415  
106 STEEPBANK DRIVE  
CARY, NC 27518

DESIGNED: AAP  
DRAWN:  
APPROVED:

LAKE VIEW & NORTH RIDGE SUBD.  
SUBDIVISION & PLANTING PLAN  
1400 ROCK DAM CT., RALEIGH, NC  
RALEIGH CUSTOM HOMES  
6736 FALLS OF NEUSE RD., SUITE 300  
RALEIGH, NC 27615

DATE	REVISION
11.15.22	1. RALEIGH COMMENTS 04.08.22

SCALE: NTS  
DATE: FEB. 4, 2022

SHEET NO. 1  
PROPOSED  
SUBDIVISION  
& PLANTING  
PLAN

SP-1  
SEQUENCE NO. 3 OF 5