



# Administrative Approval Action

Case File / Name: SUB-0017-2024  
DSLC - 804 CUMBERLAND ST

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is located at 804 Cumberland Street, identified as PIN 1713-24-2904 and is zoned R-10. The site faces Cumberland Street and is north of Paige Street and south of Hightower St. Upchurch St terminates across the street from the subject property.

**REQUEST:** The application proposes a two lot conventional subdivision. The subdivision meets the site standards for the R10 zoning district. Each lot will be 45 feet in width and approximately 160 feet in depth. An existing house on the site is to be demolished.

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** FIL-0473-2024: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 4, 2024 by Copernica Properties LLC.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

### General

1. A demolition permit shall be obtained and the permit number listed on the final recorded map.

### Engineering

2. A fee-in-lieu for a 6' sidewalk on Cumberland Street is paid to the City of Raleigh (UDO 8.1.10).



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3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Stormwater

5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
6. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

## Urban Forestry

7. A public infrastructure surety for (2) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.



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- If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

## Urban Forestry

- A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes (2) street trees along Cumberland St.

## *The following are required prior to issuance of building occupancy permit:*

### General

- Final inspection of all right-of-way street trees by Urban Forestry Staff.

### Stormwater

- As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: December 18, 2027**  
Record at least 1/2 of the land area approved.

**5-Year Sunset Date: December 18, 2029**  
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Keegan McDonald Date: 12/18/2024  
Development Services Dir/Designee

Staff Coordinator: Jeff Caines

# 804 CUMBERLAND STREET

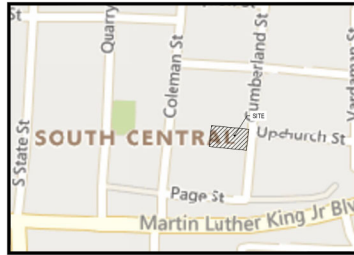
## PRELIMINARY SUBDIVISION

SUBMITTAL 1 SUB-0017-2024: 03.28.24

SUBMITTAL 2 SUB-0017-2024: 08.14.24

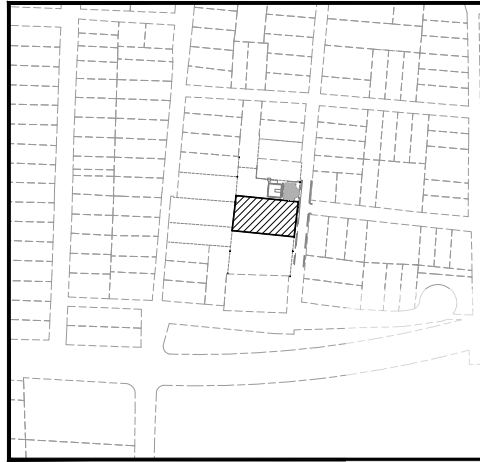
**SUBMITTAL 3 SUB-0017-2024: 10.04.24**

804 CUMBERLAND STREET  
RALEIGH, NC 27610  
WAKE COUNTY



VICINITY MAP  
SCALE: NTS

SITE DATA	
OWNER	COPERNICA PROPERTIES LLC
SITE ADDRESS	804 CUMBERLAND STREET RALEIGH, NC 27610
PN	1713.24.204
OVERLAY	FREQUENT TRANSIT AREA
EXISTING USE	DETACHED SINGLE FAMILY DWELLING
ZONING	R-10
WATERSHED	WALNUT CREEK
RIVER BASIN	NEUSE
FEMA MAP	MAP#920171300K DATE 7/19/2022
GROSS TRACT AREA	0.33 AC (14,355 SF)
ROW DEDICATION	0.026 AC (892 SF)
NET TRACT AREA	0.31 AC (13,463 SF)
<b>DEVELOPMENT TYPE - PRELIMINARY SUBDIVISION (CONVENTIONAL)</b>	
PROPOSED USE	DETACHED SINGLE FAMILY DWELLINGS
DENSITY	6 UNITS / AC
UNITS PROVIDED	1 UNIT/LOT
<b>LOT 1 - 0.16 AC (7194 SF)</b>	
MIN. LOT AREA	4,000 SF
PROPOSED LOT AREA	6,715 SF
MIN. LOT WIDTH	45'
PROPOSED LOT WIDTH	45'
LOT DEPTH	152'
<b>LOT 2 - 0.16 AC (7168 SF)</b>	
MIN. LOT AREA	4,000 SF
PROPOSED LOT AREA	6,748 SF
MIN. LOT WIDTH	45'
PROPOSED LOT WIDTH	45'
LOT DEPTH	152'
<b>BUILDING SETBACKS - SINGLE UNIT LIVING</b>	
PRIMARY STREET	10'
SIDE STREET	10'
SIDE LOT LINE	5'
REAR LOT LINE	20'
<b>LOT 1 - 0.16 AC (7194 SF) IMPERVIOUS</b>	
IMPERVIOUS MAX. ALLOWED	4,365 SF (66%)
SIDEWALK (FL)	(270 SF)
ROW DEDICATION	(0 SF)
IMPERVIOUS ALLOWED	4,095 SF (61%)
ROW DEDICATION	472 SF
<b>LOT 2 - 0.16 AC (7168 SF) IMPERVIOUS</b>	
IMPERVIOUS MAX. ALLOWED	4,388 SF (65%)
SIDEWALK (FL)	(270 SF)
ROW DEDICATION	(0 SF)
IMPERVIOUS ALLOWED	4,118 SF (61%)
ROW DEDICATION	420 SF



**PROJECT PLAN**

SCALE: 1" = 10'

**OWNER:**

COPERNICA PROPERTIES LLC  
319 SEAWELL AVE  
RALEIGH, NC 27601  
P: 919.398.3927

**DEVELOPER:**

COPERNICA PROPERTIES LLC  
STUART CULLINAN  
319 SEAWELL AVE  
RALEIGH, NC 27601  
P: 919.398.3927

**ENGINEER:**

BATEMAN CIVIL SURVEY COMPANY  
DOUGLAS COOPER, P.E.  
234 RELIANCE AVE.  
APEX, NC 27539  
P: 919.538.1080

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C200	COVER
C201	EXISTING CONDITIONS PLAN
C202	SITE AND UTILITY PLAN
C203	UTILITY DETAILS
L200	LANDSCAPE PLAN

**NOTES:**

- BOUNDARY AND TOPOGRAPHIC SURVEY WAS PROVIDED BY BATEMAN CIVIL SURVEY COMPANY. CONTRACTOR TO CONFIRM ALL INFORMATION BEFORE CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
- ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH THE CITY OF RALEIGH ZONING AND DETACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEERS FOR ADJUSTMENT.
- LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
- CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
- CALL NORTH CAROLINA ONE CALL CENTER @ 800-454-6229 BEFORE TRENCHING.
- SITE SHALL BE FENCED AND BEHIND TRENCH TO BE SURROUND OF CONSTRUCTION.
- THE SITE IS EXEMPT FROM BLOCK PERMIT REQUIREMENTS DUE TO SITE AREA IN UDD SEC 632.2(A).
- FUTURE DWELLINGS MAY BE SUBJECT TO ALL REQUIREMENTS OF UDD 52.2.

**TRAFFIC CONTROL & PEDESTRIAN (CPED) NOTES:**

- PROR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LAKE OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH THE RIGHT-OF-WAY SERVICE, PLEASE DIRECT ANY QUESTIONS TO RIGHTWAYSERVICES@RALPHS.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND ACCESS ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH CPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PROR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND SECURE ALL PERMITS ARE ISSUED.
- ALL TOPEL PLANS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD)
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROAG)
  - AMERICAN QUALITIES ACTUAL REQUIREMENTS
  - RALEIGH STREET DESIGN MANUAL (SDM)
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPATIBLE WITH THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROAG), THE ADA STANDARDS FOR ACCESSIBILITY DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.
- RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT THE TIME OF SITE PERMITTING REVIEW. IF SUBMITTER DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT REVIEW. WHEN SIDEWALKS ARE THE SIDEWALK DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARDS DETAILS AND REGULATIONS APPROVED IN RALEIGH STREET DESIGN MANUAL, ARTICLE 6 AND SECTION 6.1.

**SOLID WASTE COMPLIANCE STATEMENT:**

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.

**PROJECT DETAILS:**

- IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAN PRIOR TO BUILDING PERMITS.
- ALL DRIVEWAY ACCESS SHALL BE FROM CUMBERLAND STREET.
- ALL DRIVEWAYS SHALL BE A FEE-RECOVERED (FL) WITH AREAS NOTED BY THE SITE DATA TABLE.
- DEVELOPMENT MAY BE SUBJECT TO RESIDENTIAL ALL STANDARDS UDD 52.2.2(A) IF A COMPARATIVE SAMPLE CAN BE OBTAINED. THESE STANDARDS WILL NEED TO BE MET AT BUILDING PERMIT REVIEW.
- PER SECTION 52.2.2(A) SUBJECT TO 1/2" OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

**Preliminary Subdivision Application**

Planning and Development Customer Service Center | One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2800

**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.6). Please check the appropriate fields and include the plan sheeted document. Please email all documents and your preliminary subdivision plans to [submit@raleighnc.gov](mailto:submit@raleighnc.gov).

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag Lot	<input type="checkbox"/> Frequent Transit Development Overlay
NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.		
GENERAL INFORMATION		
Sighting/blank plan case number(s) N/A		
Development name (subject to approval): 804 Cumberland Street		
Property Address(es): 804 Cumberland St, Raleigh, NC 27610		
Recorded Deed PIN#: 17132404		
Building type(s): <input checked="" type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Apartment
<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner/Name: Stuart Cullinan	[ ] Title Official
Company: Copernica Properties LLC	[ ] Title Official
Phone #: 919-398-3927	Email: <a href="mailto:stuart@copernicalp.com">stuart@copernicalp.com</a>
Applicant Name (if different from owner): See "who can apply" in instructions/Stuart Cullinan	
Relationship to owner: [ ] Lessee or contract purchaser	<input checked="" type="checkbox"/> Owner's authorized agent
Company: Bateman Civil Survey	Address: 2524 Reliance Ave Apex NC 27539
Phone #: 919-571-1880	Email: <a href="mailto:engineering@batemancivilsurvey.com">engineering@batemancivilsurvey.com</a>

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

DEVELOPER CERTIFIED NAMES	
Company: Copernica Properties LLC	[ ] Title Official
Address: 319 Seawell Ave, Raleigh NC 27601	[ ] Title Official
Phone #: 919-398-3927	Email: <a href="mailto:stuart@copernicalp.com">stuart@copernicalp.com</a>

Signature: [Signature] Date: 07/15/2024

Signature: [Signature] Date: 07/15/2024

Signature: [Signature] Date: 07/15/2024

Signature: [Signature] Date: 07/15/2024



DEVELOPMENT TYPE • SITE DATA TABLE - ZONING INFORMATION															
Gross site acreage: 0.33	Zoning district of more than one, provide acreage of each:	N/A													
City district(s): FTA	County City/Limit: [ ] Yes	Historic District/Landmark: [ ] No	Historic District/Landmark: [ ] No												
Conditional Use District (CUD): [ ]	Board of Adjustment Case # [ ]	Adopted Name Case # [ ]	Adopted Name Case # [ ]												
Case # & N/A	Case # & N/A	Case # & N/A	Case # & N/A												
Impervious Area on Parcel(s): Existing (sf): 211		Impervious Area for Compliance (includes rights-of-way): Existing (sf): 211 Proposed total (sf): 2,721													
<table border="1"> <thead> <tr> <th colspan="2">NUMBER OF LOTS AND DENSITY</th> </tr> </thead> <tbody> <tr> <td># of Detached House Lots: 2</td> <td># of Attached House Lots: 0</td> </tr> <tr> <td># of Tiny House Lots: 0</td> <td># of Other Lots (Apartment, General, Mixed Use, Civic, E): 0</td> </tr> <tr> <td>Total # of Lots: 2</td> <td>Total # of Dwelling Units: 2</td> </tr> <tr> <td># of Impervious Units (if known): 1</td> <td># of Impervious Units (if known): 1</td> </tr> <tr> <td>Proposed density for each zoning district (UDO 15.2.7.6 units/acre):</td> <td></td> </tr> </tbody> </table>				NUMBER OF LOTS AND DENSITY		# of Detached House Lots: 2	# of Attached House Lots: 0	# of Tiny House Lots: 0	# of Other Lots (Apartment, General, Mixed Use, Civic, E): 0	Total # of Lots: 2	Total # of Dwelling Units: 2	# of Impervious Units (if known): 1	# of Impervious Units (if known): 1	Proposed density for each zoning district (UDO 15.2.7.6 units/acre):	
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**APPLICANT SIGNATURE BLOCK**  
Pursuant to state law (N.C. Gen. Stat. § 160C-403(a)), applications for development approvals may be made by the architect, a licensee or certain holding an estate or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

As the authorized agent requires written permission from the property owner for the purposes of making the development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized to state (N.C.G.S. § 160C-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and documents filed in this application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160C-403(b).

The undersigned declares that the property owner is aware of this application and that the proposed project described in this application will be maintained in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. § 143-755(1)), if this permit application is placed on hold or the requirement of the application is pending for an unreasonable number of months, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of 60 consecutive months or more, then the application number is discontinued, and a new application is required to proceed and the development regulations in effect at the time permitted is presumed to still apply to the new application.

Signature: [Signature] Date: 07/15/2024

Signature: [Signature] Date: 07/15/2024

Signature: [Signature] Date: 07/15/2024



**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.571.1880 Fax: 919.571.1881  
NCBELS FIRM NO. C-2378

REV#	DATE	DESCRIPTION
1	08.14.24	Per Raleigh Comments 07.05.24
2	10.02.24	Per Raleigh Comments 10.04.24

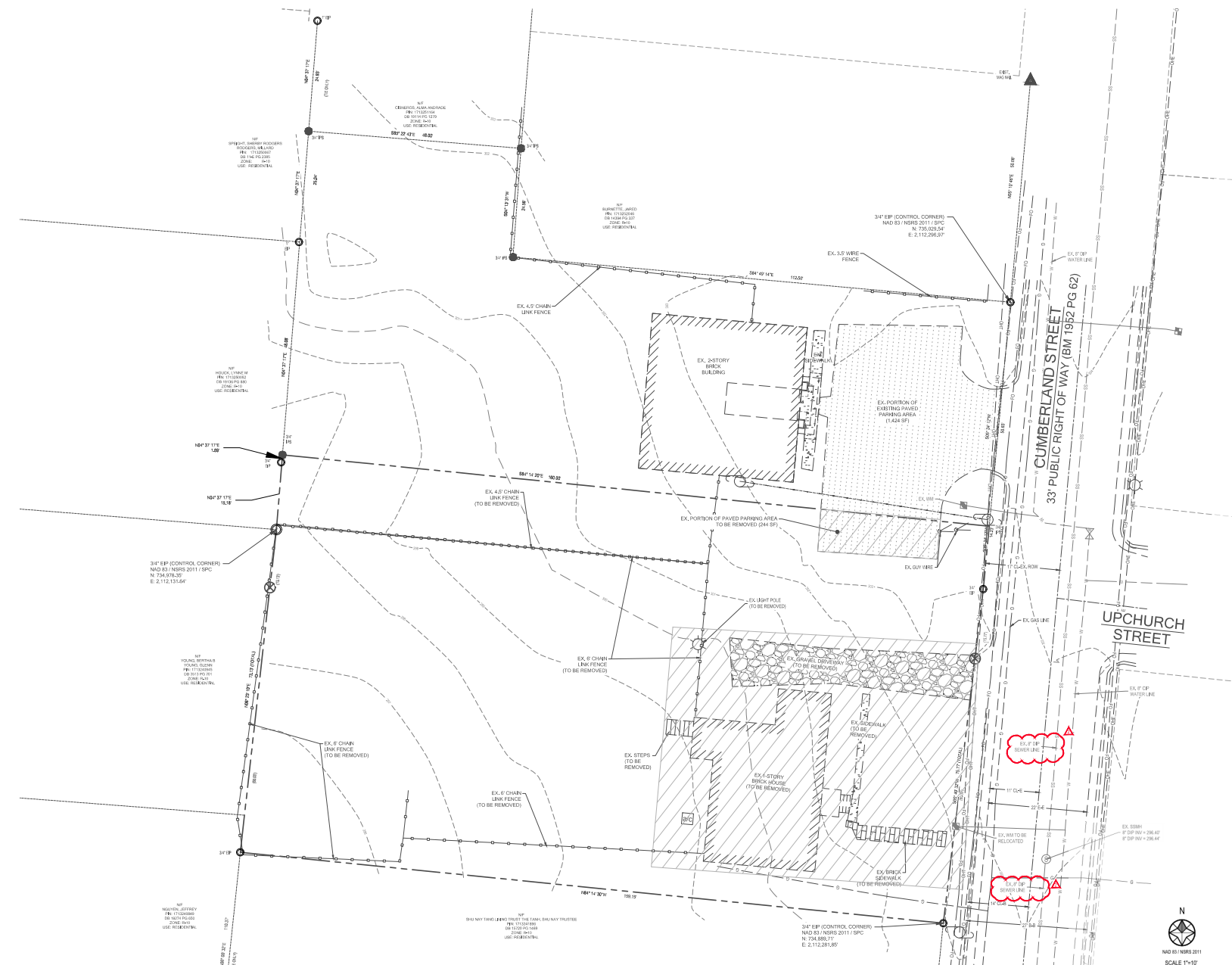
Date:	03.28.24
Project #:	P230191
SHEET	0000

**GENERAL NOTES:**

1. UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
2. ALL WASTE MATERIAL GENERATED FROM CLEANING AND DEMOLITION ACTIVITIES SHALL BE DEPOSED OF OFFSITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
3. REMOVE TOPSOIL APPROPRIATELY. GRADE, DRAINAGE, TEMPORARY STORMWATER SHALL BE LOCATED WITHIN THE CONSTRUCTION LIMITS.
4. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROTECT STRUTTING AND REMAIN INTACT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH PER SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS UNLESS NOT SHOWN ON THE DRAWING. TO BE REMOVED STREET INSTALLATIONS MAY INCLUDE OPEN CUTS OF PAVEMENTS UNLESS SPECIFIED OTHERWISE. TRINCH BY EXISTING WORK SHALL BE PROVIDED FOR PAVEMENT REPAIR DETAIL.
5. PROTECT ALL KNOWN UNDERGROUND UTILITIES INCLUDING ALL OF THE OWNERS FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY THE ENGINEER IMMEDIATELY.
6. THE CONTRACTOR SHALL EMPLOY A QUALIFIED UTILITY LOCATOR SERVICE TO LOCATE ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, GAS, CABLE AND FIBER OPTIC WITHIN THE LIMITS OF CONSTRUCTION.
7. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD REQUIRE THE MODIFICATION TO THE PROPOSED DESIGN.
8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
9. EXISTING MANHOLES, VAULTS, BOXES, WALLS, CLEANOUTS, UTILITY POLES, ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ACQUIRED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES AND ELEVATIONS INDICATED OR NOT TO BE MAINTAINED.
10. GENERAL CONTRACTOR TO COORDINATE ALL RESTRICTION ACCESS BARRIERS, LOCATIONS, LIMITS, ETC. WITH OWNER.
11. CONTRACTOR SHALL MAINTAIN ALL EXISTING SIDEWALK AND SHALL REPLACE OR REPAIR ANY BROKEN OR DAMAGED PORTIONS.
12. CONTRACTOR SHALL COMPLY WITH CITY OF WAKE COUNTY ACCESS STANDARDS AND SPECIFICATIONS.
13. ALL DEMOLITION TO BE PERFORMED UNDER PERMIT NUMBER DEM-24-002-00000.
14. THE SURVEY WAS COMPLETED BY BATEMAN CIVIL SURVEY COMPANY UNDER THE SUPERVISION OF F. REX COOPER, PLS ON FEBRUARY 2024. THIS SHALL NOT BE CONSIDERED A CONTROLLED SURVEY.

**LEGEND:**

	DEMOLITION
	DEMOLITION TREES
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING ELECTRIC POLE
	EXISTING FENCE
	EXISTING FIBER OPTIC LINE
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	EXISTING POND
	EXISTING PROPERTY CORNER
	EXISTING REPAIR BUFFER
	EXISTING REPAIR-AWAY
	EXISTING STREAM
	EXISTING STRUCTURES
	EXISTING TREELINE
	EXISTING TREES
	EXISTING WETLAND
	IRON PIPE SET



REV#	DATE	DESCRIPTION
1	08.14.24	Per Raleigh Comments 07.05.24
2	10.04.24	Per Raleigh Comments 10.02.24

**Bateman Civil Survey Company**  
 Engineers • Surveyors • Planners  
 2200 S. Hargett Street, Suite 200  
 Raleigh, NC 27601  
 Phone: 919.877.1000 Fax: 919.877.1001  
 NCELES FIRM No. C-2378



**804 CUMBERLAND STREET  
 PRELIMINARY SUBDIVISION  
 SUB-0017-2024**  
 804 CUMBERLAND STREET  
 WAKE COUNTY, NC 27601

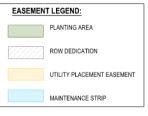
**EXISTING CONDITIONS PLAN**

Design by: PMS  
 Date: 03.28.24  
 Project #: P220161  
 SHEET  
 C100

LOT 1 - 0.16 AC (7194 SF) IMPERVIOUS	
IMPERVIOUS MAX. ALLOWED	4,365 SF (65%)
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ROW DEDICATION	472 SF

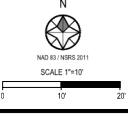
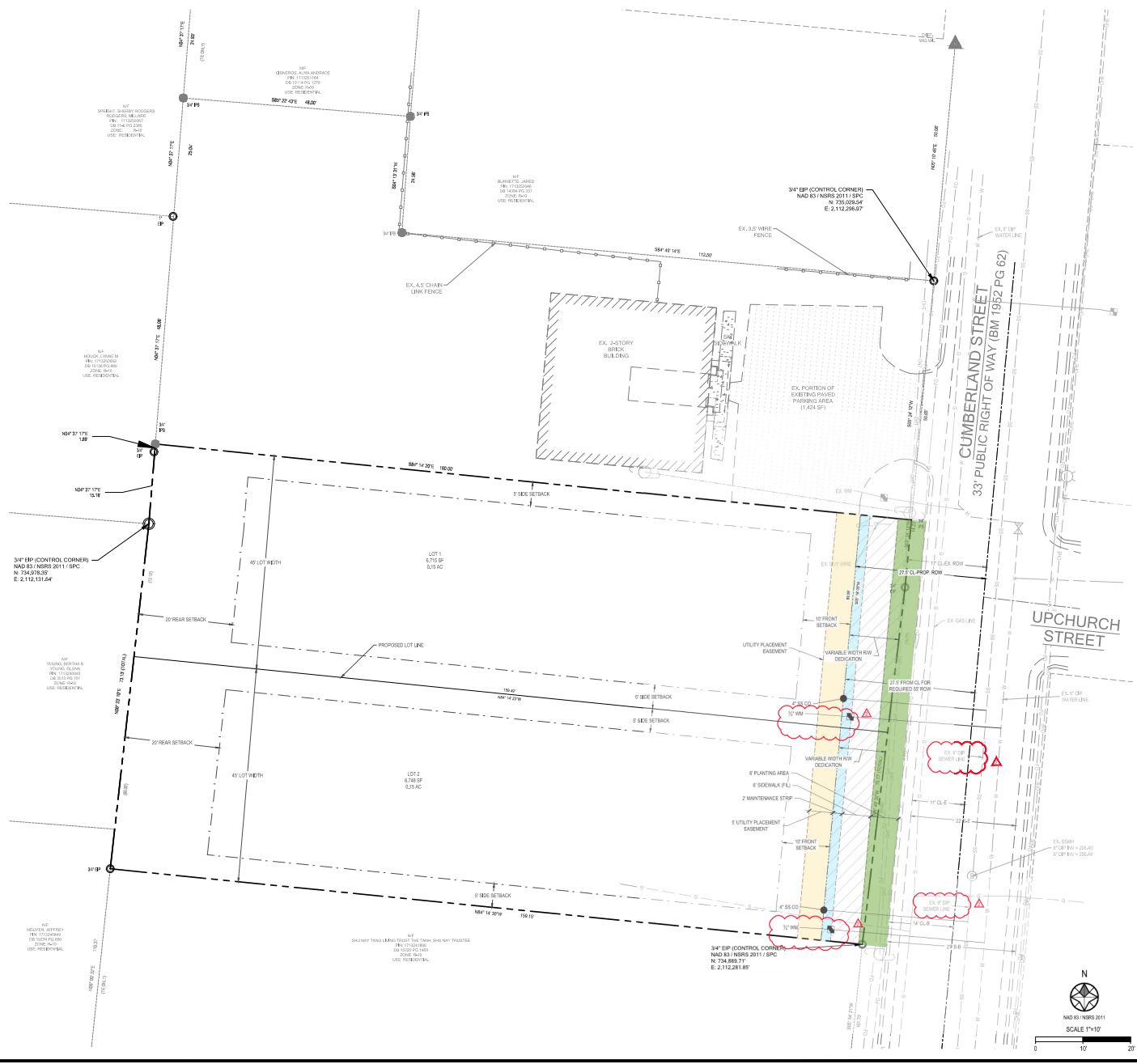
LOT 2 - 0.16 AC (7188 SF) IMPERVIOUS	
IMPERVIOUS MAX. ALLOWED	4,386 SF (65%)
SIDEWALK (F.L.)	(270 SF)
ROADWAY B.B.	(0 SF)
IMPERVIOUS ALLOWED	4,116 SF (61%)
ROW DEDICATION	420 SF



- GENERAL NOTES:**
- PER SECTION 12.2.2.3: SUBJECT TO 4.4 OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER RUNOFF AND SUBJECT TO FURTHER REVIEW UPON OCCURRENCE OF IMPROVED DRAINAGE.
  - CUMBERLAND STREET IS A NEIGHBORHOOD YIELD WITH THE FOLLOWING REQUIREMENTS. ALL DIMENSIONS ARE BASED OFF THE EXISTING CENTERLINE.
    - 2.1 50' ROW
    - 2.2 27' B.B.
    - 2.3 8' SIDEWALK (FEE-IN-PLACE)
    - 2.4 8' PLANTING AREA
    - 2.5 2.4' LIFE
    - 2.6 2' MS
  - CUMBERLAND STREET IS THE PRIMARY STREET FOR LOT 1 AND LOT 2.

- STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS. REFER TO THE CITY OF RALEIGH HANDBOOK, CURRENT EDITION.
  - UTILITY SEPARATION REQUIREMENTS:**
    - 1.1 SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF AN ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED THROUGH SANITARY SEWER PIPE, THE SEWER SHALL BE INSTALLED TO AVOIDING SUCH CONTACT. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20" FROM A PRIVATE WELL OR SEWAGE PUMP WELL.
    - 1.2 MINIMUM SEPARATION BETWEEN UTILITIES SHALL BE 18". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO LIMITED CONDITIONS, THE UTILITY ALLOWED THE WATER MAIN IN A SEPARATE TRENCH WITH THE SEPARATION OF THE WATER MAIN AT LEAST BE ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL UTILITIES ARE REQUIRED FROM OUTSIDE DIMITER TO OUTSIDE DIMITER.
    - 1.3 WHERE IT IS NOT POSSIBLE TO OBTAIN PROPER SEPARATION, SANITARY SEWERS SHALL CROSS OVER A WATERMAIN ON PIPE BRIDGES OR STEEL ENCASUREMENT EXTENDING 10' ON EACH SIDE OF CROSSING MUST BE PROVIDED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 1.4 SEPARATION OF 18" BETWEEN SANITARY SEWER & ANY OTHER UTILITY SHALL BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.5 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.6 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.7 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.8 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.9 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.10 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.11 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.12 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.13 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.14 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.15 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.16 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.17 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.18 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.19 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
    - 1.20 ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" VERTICAL SEPARATION REQUIRED THROUGHOUT THE ENTIRE LENGTH OF THE UTILITY.
  - CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL UTILITIES & SEWER SERVICE TO DATING SERVICES & SERVICES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 1/2" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 1/4" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN OR REMOVE EXISTING WATER SEWER SERVICES NOT SHOWN IN THE DEVELOPMENT OF A LIFT. UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THE INCLUDES ADEQUATE AT MAINS RESERVATION OF SPACE FROM ROW OR EASEMENT FOR CONSTRUCTION.
  - INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' UTILITY EASEMENT IMMEDIATELY ADJACENT TO THE ROW. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SET THE WATER SERVICE FOR BACK CONNECTION TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - INSTALL 1/2" COPPER SEWER SERVICES & ON MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE IS SPACED EVERY 75' LINEAR FEET MINIMUM.
  - PRESSURE RECORDING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEPT AT FIRE BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM AGENCY, USACE, USFWS FOR ANY WETLAND BUFFER, WETLAND OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - WOODY AND ROAD SIDEWALK AGREEMENTS ARE REQUIRED FOR ALL UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICES. 1405' MEAN HIGH OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GRADE RECORDING OR WATER SERVICE OR SEWER INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE ROW COORDINATOR PRIOR TO ISSUANCE OF A U.C. (BLOG PERMIT, CONTACT (919) 996-9016 OR FG@RALAIGH.GOV) FOR WOODY BUFFER/ROAD.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX D OF THE RULES GOVERNING PUBLIC UTILITIES SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHEN DEVICES ARE NOT INSTALLED, A LETTER OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE ROW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A U.C. (BLOG PERMIT, CONTACT (919) 996-9016 OR FG@RALAIGH.GOV) FOR MORE INFORMATION.
  - NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS BY THE CITY'S REPAIRMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECTS: DESIGN AND CONSTRUCTION OF THE PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

REV#	DATE	DESCRIPTION
1	08.14.24	Per Raleigh Comments 07.05.24
2	10.04.24	Per Raleigh Comments 10.02.24



**Bateman Civil Survey Company**  
 Engineers • Surveyors • Planners  
 2500 Capital Center Blvd., Suite 1000  
 Raleigh, NC 27604  
 Phone: 919.877.1000 Fax: 919.877.1001  
 NCELS# FIRM No. C-2378

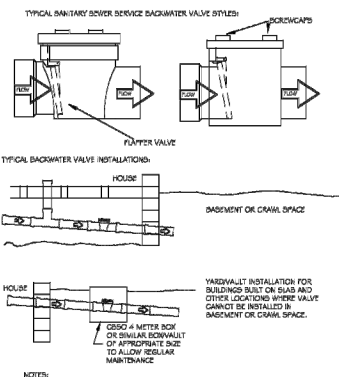


**804 CUMBERLAND STREET  
 PRELIMINARY SUBDIVISION  
 SUB-0017-2024**  
 804 CUMBERLAND STREET  
 RALEIGH, NC 27601  
 WAKE COUNTY

**SITE AND UTILITY PLAN**

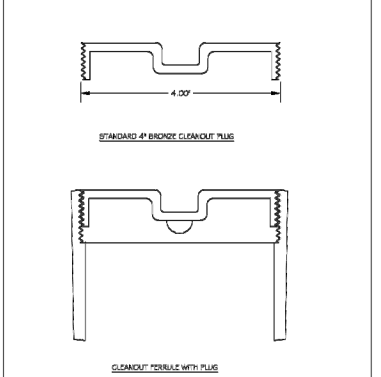
Design By: PMS  
 Date: 03.20.24  
 Project: P220161  
 SHEET  
 C200





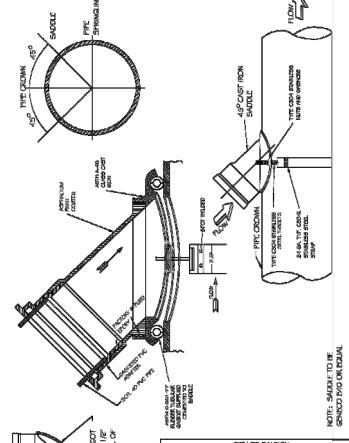
NOTES:  
 1. INSTALLATIONS OF GREATER THAN 4' IN DEPTH MAY REQUIRE MANHOLE.  
 2. VALVES MUST BE INSTALLED IN A LOCATION AS WHICH THEY CAN BE CLEANED AND SERVICED REGULARLY.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TYPICAL SANITARY SEWER SERVICE BACKWATER VALVE INSTALLATION					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
9-34	REV	8-5-19			

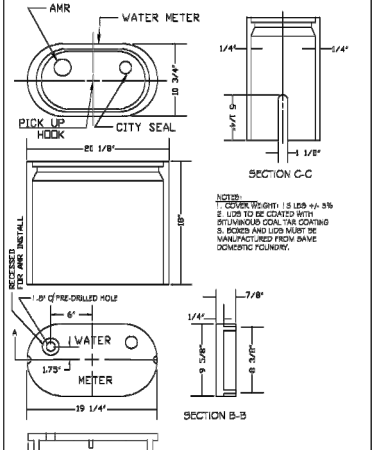


STYLES ACCEPTED:  
 INVERTED NUT  
 RAISED NUT

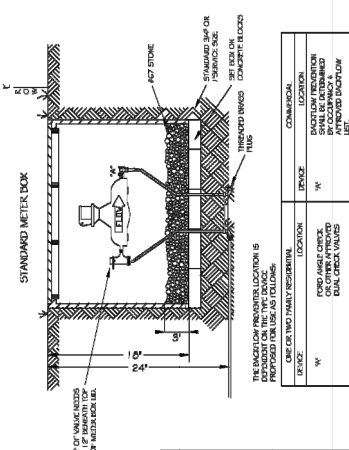
CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
4" CLEANOUT PLUG					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
9-34	D.W.C.	8-7-19	REV	8-30-19	



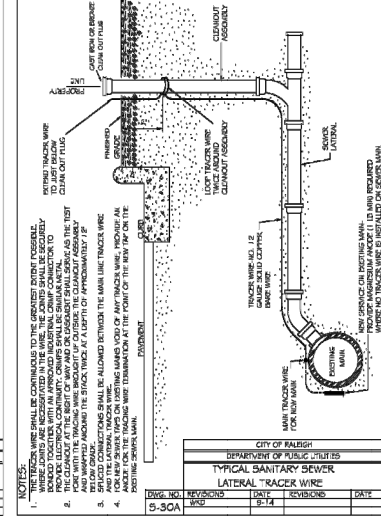
CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
LATERAL SADDLE INSTALLATION DETAIL FOR VCP AND DUCTILE IRON PIPE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
9-32	REV	8-1-19	REV	8-30-19	



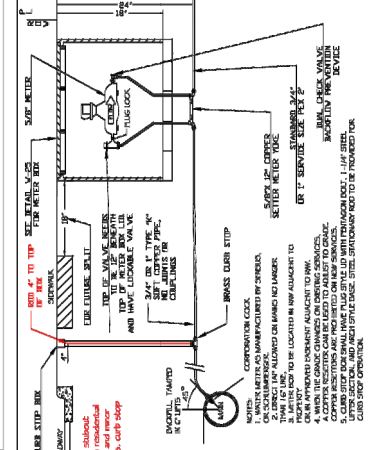
CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
WATER METER BOX DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-23	R.S.V.	8-20-12	J.P.S.	11-1-19	



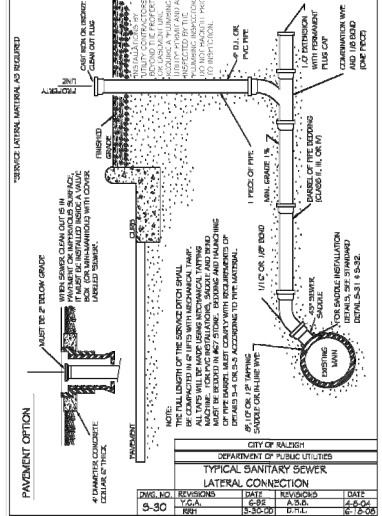
CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
ONE OR TWO FAMILY DWELLINGS BACKFLOW PREVENTION METER ASSEMBLY INSTALLATION					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-24	J.P.S.	2-7-04	J.P.S.	7-17-10	



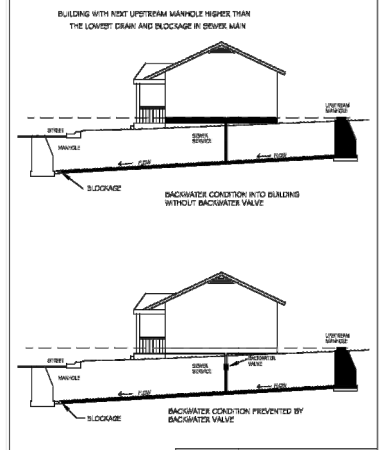
CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TYPICAL SANITARY SEWER LATERAL TRACER WIRE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
9-30A	REV	8-14-19			



CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD 3/4\"/>					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-25	J.H.	8-26-08	REV	7-16-10	



CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TYPICAL SANITARY SEWER LATERAL CONNECTION					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
9-30	REV	8-5-19	REV	8-26-19	



CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TYPICAL SEWER SERVICE REQUIRING BACKWATER VALVE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
9-48	REV	8-5-19			

REV#	DATE	DESCRIPTION
1	08.14.24	Per Raleigh Comments 07.05.24
2	10.04.24	Per Raleigh Comments 10.02.24

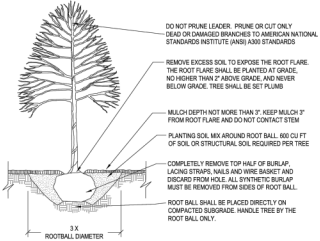
**Bateman Civil Survey Company**  
 Engineers • Surveyors • Planners  
 2523 Malvern Ave., Raleigh, NC 27605  
 Phone: 919.877.1800 Fax: 919.877.1801  
 NCBSL S.FRM No. C-2378

804 CUMBERLAND STREET  
 PRELIMINARY SUBDIVISION  
 SUB-0017-2024  
 100 CUMBERLAND STREET  
 RALEIGH, NC 27601  
 WAKE COUNTY

UTILITY DETAILS

Design: PAS  
 Date: 03.20.24  
 Project: P220161  
 SHEET  
 C201

PLANT TYPE	SYMBOL	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	NOTES	MATURE HEIGHT / CROWN SPREAD
CANOPY		2	EG	Nyssa sylvatica	Black Gum	B&B	3" CAL	10' MIN	MATCHED	50' / 40' MIN. CROWN



**CONTACT INFORMATION:**  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER  
TREES@RALEIGH.GOV  
WWW.RALEIGHNC.GOV

**STREETS TREES (STREET DESIGN MANUAL)**

**NEIGHBORHOOD (YIELD 3.3, 3.2)**

- MINIMUM PLANTING AREA: 6'
- TREE SPACING: 40' O.C. AVG.
- ROUND DOWN WITH 1'

**CUMBERLAND STREET (90' x 140' + 2.25' ± REQUIRED TREES)**  
2 TREES PROVIDED

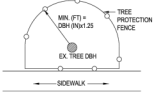
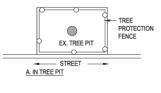
**GENERAL NOTES (CTM CH. 2 PG. 6)**

- ALL TREES MUST MEET TREE QUALITY REQUIREMENTS FROM WALKS CURBS AND UTILITIES.
- STREET TREES SHALL BE RETAILED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 5 OF THE CITY TREE MANUAL.

ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03

- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. POSITIVE DRAINAGE AWAY FROM PIT.
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE WARENT FEE IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

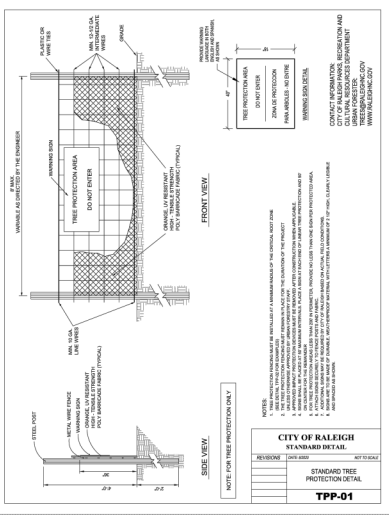
CITY OF RALEIGH STANDARD DETAIL		REVISED	DATE	BY	APP'D
REVISION	DATE	BY	APP'D		
1	10/03/21	MEH/STP	10/03/21		
TREE PLANTING DETAIL					
<b>TPP-03</b>					



- NOTES:**
- CONTRACTOR MUST PROVIDE AND INSTALL TREE PROTECTION STORAGE.
  - A TREE WARENT FEE IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRENCING, BORING, REMOVAL, PAVING, PLANTING, ETC.

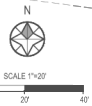
**CONTACT INFORMATION:**  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER  
TREES@RALEIGH.GOV  
WWW.RALEIGHNC.GOV

CITY OF RALEIGH STANDARD DETAIL		REVISED	DATE	BY	APP'D
REVISION	DATE	BY	APP'D		
1	10/03/21	MEH/STP	10/03/21		
TREE PROTECTION FENCE LAYOUT					
<b>TPP-02</b>					



**NOTE FOR TREE PROTECTION ONLY:**

CITY OF RALEIGH STANDARD DETAIL		REVISED	DATE	BY	APP'D
REVISION	DATE	BY	APP'D		
1	10/03/21	MEH/STP	10/03/21		
STANDARD TREE PROTECTION DETAIL					
<b>TPP-01</b>					



REV #	DATE	DESCRIPTION
1	08.14.24	Per Raleigh Comments 07.05.24
2	10.04.24	Per Raleigh Comments 10.02.24

**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2211 LEE STREET, SUITE 100, RALEIGH, NC 27609  
Phone: 919.877.1000 Fax: 919.877.1001  
NCELES FIRM No. C-2378



**804 CUMBERLAND STREET  
PRELIMINARY SUBDIVISION  
SUB-0017-2024**  
804 CUMBERLAND STREET  
RALEIGH, NC 27601  
WAYNE COUNTY

**LANDSCAPE PLAN**

Design By: PAS  
Date: 03.20.24  
Project #: P220161

**SHEET  
L100**