

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es):				
Recorded Deed PIN(s):				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
--	--

Current Property Owner(s) Names:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names:	
Company:	Title:
Address:	
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage:			
Zoning districts (if more than one, provide acreage of each):			
Overlay district(s):	Inside City Limits?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
---	--

NUMBER OF LOTS AND DENSITY

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F):		

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

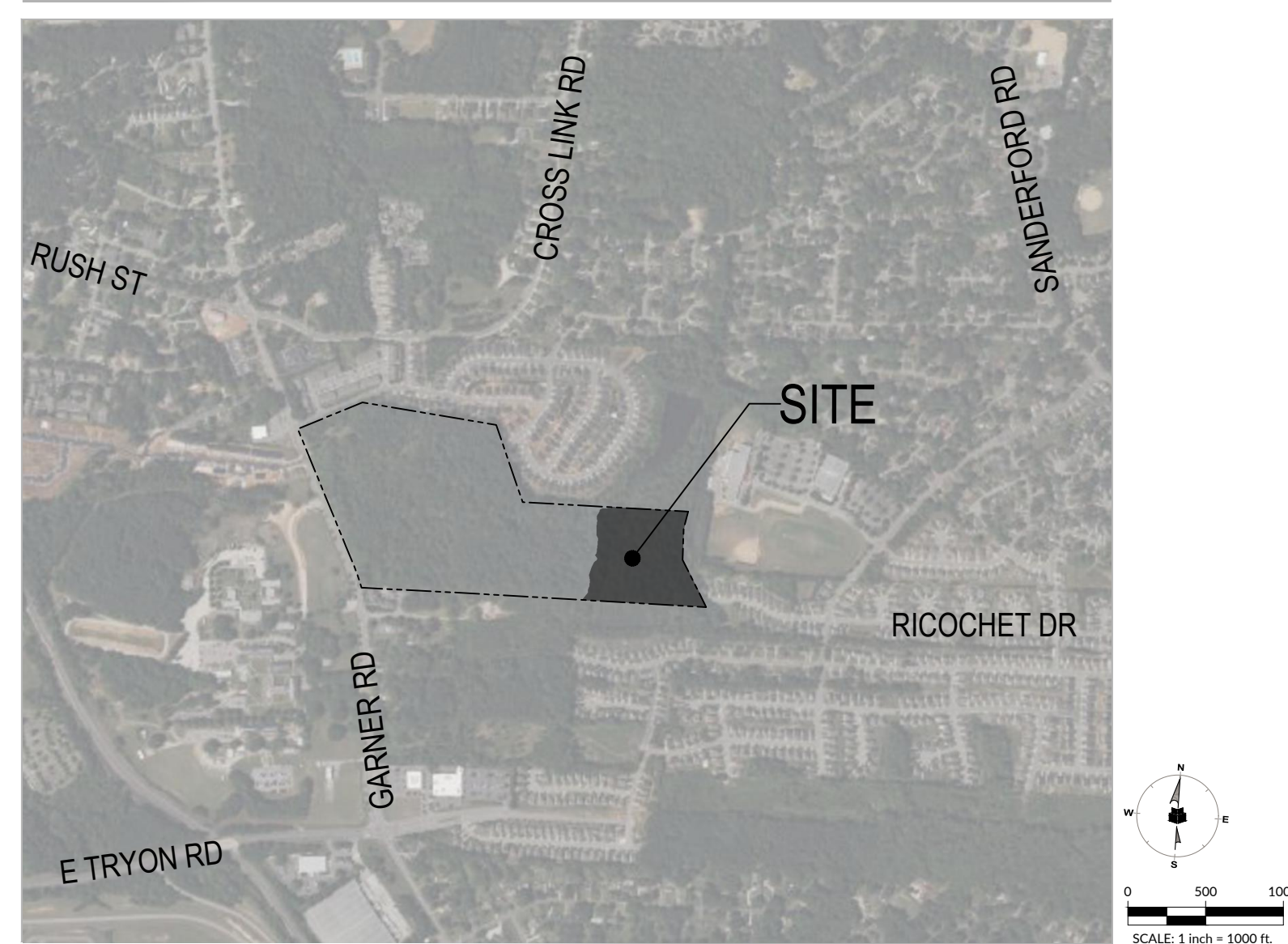
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Amber Mason</i>	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

VICINITY MAP



SITE DATA TABLE

CITY OF RALEIGH PROJECT NO.	SUB-XXXX-XXXX
PARCEL PIN NO.	1712039650
OWNER	STANLEY MARTIN HOMES 4020 WESTCHASE BLVD., BLDG 1, STE. 470 RALEIGH, NC 27607
SITE ADDRESS	3115 GARNER ROAD, RALEIGH, NC 27610
DEED BOOK AND PAGE	DB 017835 PG 01917
ZONING	R-6
ZONING CONDITION	N/A
OVERLAY DISTRICT	NONE
GROSS SITE AREA	46.68 AC (ENTIRE SUBDIVISION) 8.50 AC (APPROX. PHASE 4 AREA ONLY)
LIMITS OF DISTURBANCE	± 3.05 AC.
WATERSHED	WALNUT CREEK (NEUSE RIVER)
EXISTING USE	OPEN LOT
PROPOSED USE	SINGLE FAMILY TOWNHOME, OPEN LOT
TOTAL LOTS (EXISTING)	317 (ENTIRE SUBDIVISION) 0 (PHASE 4 ONLY)
TOTAL LOTS (PROPOSED)	343 (ENTIRE SUBDIVISION) 26 (PHASE 4 ONLY)
RESIDENTIAL DENSITY	0.15 TH/AC (ENTIRE SUBDIVISION) 3.06 TH/AC (PHASE 4 ONLY)
BUILDING SETBACKS:	
PRIMARY STREET	10'
SIDE STREET	10'
SIDE LOT LINE	10'
REAR LOT LINE	20'
ALLEY	4' OR 20' MIN
PARKING SETBACKS:	
PRIMARY STREET	20'
SIDE STREET	10'
SIDE LOT LINE	0'
REAR LOT LINE	3'
ALLEY	4'
BUILDING INFORMATION:	
PROPOSED NUMBER OF BUILDINGS	4
EXISTING BUILDING SF TO REMAIN	0
PROPOSED NUMBER OF UNITS	26 TOTAL UNITS (8) 20'x40' TOWNHOMES (18) 16'x40' TOWNHOMES
PROPOSED NUMBER OF STORIES	2
PARKING:	
REQUIRED PARKING	NO MAXIMUM
PROVIDED PARKING	58 TOTAL SPACES 2 PER UNIT (1 GARAGE, 1 DRIVEWAY) & 6 SURFACE SPACES
BIKE PARKING:	
BIKE PARKING REQUIRED (SHORT TERM)	NONE
BIKE PARKING REQUIRED (LONG TERM)	NONE
OUTDOOR AMENITY AREA (TOWNHOME ONLY):	
MINIMUM AMENITY AREA REQUIRED	10% (REFER TO SHEET C2.0 FOR CALCULATION)
PROPOSED AMENITY AREA	12.8% (REFER TO SHEET C2.10 FOR LOCATIONS)

CONTACT LIST:

<p>ENGINEER Amber Mason, PE WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-238-0311 amazon@withersravenel.com</p>	<p>LANDSCAPE ARCHITECT Nicole Steele, PLA WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-270-4520 nsteeler@withersravenel.com</p>	<p>CLIENT/DEVELOPER Brian Ketchum Stanley Martin Homes 4020 Westchase Blvd, Bldg 1 Suite 470 Raleigh, NC 27607 919-977-8760 ketchumb@stanleymartin.com</p>
--	--	--



PREPARED BY:



137 S Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com



STANLEY M
4020 WESTCHASE BLVD., BLDG 1
RALEIGH, NC 27607
PHONE #: 919-977-8760
ATTENTION: BRIAN KETCHUM

PRELIMINARY SUBDIVISION PLAN

HADDONSTONE PHASE 4

3115 GARNER RD | RALEIGH, NORTH CAROLINA | CITY OF RALEIGH

1ST SUBMITTAL: APRIL 5, 2024

Preliminary Subdivision Application

Site Review
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Scoping/sketch plan case number(s):
Development name (subject to approval): Haddonstone
Property Address(es): 3115 Garner Rd, 3215 Garner Rd

Recorded Deed PIN(s): 1712038097, 1712039650

<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Tiny House			

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names: Stanley Martin Homes LLC

Company: Stanley Martin Homes LLC Title:

Address: 11710 Plaza Amercia Dr Suite 1100, Reston VA 20190

Phone #: 919-977-8760 Email: ketchemBK@stanleymartin.com

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: WithersRavenel Address: 137 S Wilmington St Suite 200 Raleigh NC 27606

Phone #: 919-238-0311 Email: amason@withersravenel.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names: Brian Ketchem

Company: Stanley Martin Homes LLC Title: Director of Land

Address: 11710 Plaza Amercia Dr Suite 1100, Reston VA 20190

Phone #: 919-977-8760 Email: ketchemBK@stanleymartin.com

Revision 03.01.24

4 raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE - ZONING INFORMATION

Gross site acreage: 46.68 acres

Zoning districts (if more than one, provide acreage of each):

R-6

Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-

STORMWATER INFORMATION

Imperious Area on Parcel(s):

Existing (sf) 0 Proposed total (sf) 2,590

Impervious Area for Compliance (includes right-of-way):

Existing (sf) 45,320 Proposed total (sf) 71,500

NUMBER OF LOTS AND DENSITY

of Detached House Lots: # of Attached House Lots: # of Townhouse Lots: 26

of Tiny House Lots: # of Open Lots: # of Other Lots (Apartment, General, Mixed Use, Civic):

Total # of Lots: 26 Total # Dwelling Units: 26

of bedroom units (if known): 1br 2br 3br 4br

Proposed density for each zoning district (UDO 1.5.2.F): 3.06 DWELLING UNITS / AC

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Amber Mason Date: 04/05/2024

Printed Name: Amber Mason

Signature: Date:

Printed Name:

SC

- SOLID WASTE SERV
- THE DEVELOPER W
- REFUSE CONTAINE
- GUTTER ON COLLE
- CARTS THAT ARE N
- VIOLATION FOR T
- MONTH PERIOD.

- THERE ARE NO SPR
- THE APPARATUS R
- FIRE HYDRANT SH
- ALL PROPOSED PL
- PROVIDED IN CON
- FIRE FLOW ANALY
- FIRE DEPARTMENT
- A MINIMUM AND S

K:\1\14-0720\180729201-garner road ths-ph 4\CD\working set\Site plan\CD\CD COVER.dwg - Friday, April 5, 2024, 4:48:30 PM - STJ/AMR, ABUNY

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.
2. WORK ON THIS PROJECT SHALL CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE NCDOT ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, MUNICIPAL STANDARDS AND SPECIFICATIONS, ANY GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS.
3. ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.

STORM DRAINAGE NOTES:

- 1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
3. ALL RCP STORM SEWER SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED.

GRADING NOTES:

- 1. REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION.
2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
4. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS, OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL.

- 14. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES THE TOWN MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.
15. MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED.
16. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACE & NCEENR-DWQ.

EROSION & SEDIMENT CONTROL NOTES:

- 1. CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL MEASURES.
2. CONTRACTOR SHALL CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENT CONTROL MEASURES. CONTRACTOR SHALL INSTALL SILT FENCE, SEDIMENT BASINS, AND OTHER DEVICES AS SHOWN ON THESE PLANS.
3. IF STORM CROSS DRAINAGE CAN NOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE SHALL BE USED TO CROSS WET WEATHER CHANNELS.

GENERAL LANDSCAPE NOTES:

- 1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER.
2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.

- 3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST.

UTILITIES NOTES:

- 1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE.
3. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS SHOWN. (DO NOT: DO WE EXPAND THIS TO INCLUDE ALL UTILITIES, OR JUST THE STORM SEWER?)

ABBREVIATIONS

Table with 4 columns: Symbol, Abbreviation, Description, and Unit/Value. Includes entries like 'AASHTO' for American Association of State Highway and Transportation Officials, 'AWWA' for American Water Works Association, and 'NCE' for North East.

EXISTING CONDITIONS LEGEND

Table with 2 columns: Symbol and Description. Lists existing conditions such as Adjoiner, Boundary, Building, Buffer, Concrete, Curb Line, Easement, Edge of Pavement, Fence, Fiber Optic Line, Flood Way, Flood Line, Foremain, Gravel, Overhead Electric, Pavement Striping, Right of Way, Sanitary Sewer Pipe, Stream, Tree Line, Top of Bank, Underground Electric, Water Main, Wetland, Blow Off, Catch Basin, Clean Out, Control Point, Drop Inlet, Fiber Optic Box, Fire Hydrant, Flared End Section, Gully Wire, Light Pole, Power Pole, Sewer Manhole, Storm Drainage Manhole, TV Pedestal, Underground Telephone Box, Tree, Water Meter, Water Valve, Building.

PROPOSED GRADING LEGEND

Table with 2 columns: Symbol and Description. Lists proposed grading features like Existing Major Contour, Existing Minor Contour, Proposed Major Contour, Proposed Minor Contour.

PROPOSED STORM DRAINAGE LEGEND

Table with 2 columns: Symbol and Description. Lists proposed storm drainage features like Storm Pipe, Trench Drain, Catch Basin (CB), Flared End Section (FES), Head Wall (HW), Junction Box (JB), Rip Rap Dissipater, Yard Inlet (VI)/Drop Inlet (DI).

PROPOSED UTILITIES LEGEND

Table with 2 columns: Symbol and Description. Lists proposed utility features like Fire Line, Sanitary Sewer Pipe, Water Main, Backflow Preventer, Blow Off, Fire Department Connection (FDC), Fire Hydrant Assembly, Sewer Cleanout, Sewer Manhole, Sewer Meter, Water Valve.

EROSION CONTROL LEGEND

Table with 2 columns: Symbol and Description. Lists erosion control features like Baffle, Limits of Disturbance, Construction Stage Line, Silt Fence, Silt/Tree Protection Fence, Storm Diversion Ditch, Tree Protection Fence, Temporary Construction Entrance, Check Dam, Temporary Concrete Washout, Inlet Protection, Rock Inlet Protection, Silt Fence Outlet.

SITE PLAN LEGEND

Table with 2 columns: Symbol and Description. Lists site plan features like Boundary, Buffer, Center Line, Curb & Gutter, Easement, Limit of Disturbance, Lot Line, Phase Line, Right of Way, Setback, Building.

DEMOLITION LEGEND

Table with 2 columns: Symbol and Description. Lists demolition features like Access Easement (Public), Access Easement (Private), City of Raleigh Utility Easement, City of Raleigh Sanitary Sewer Easement, Drainage and Headwall Maintenance and Access Easement, Fence to be Removed, Storm Pipe to be Removed, Wetlands to be Impacted, Tree to be Removed, Temporary Construction Easement, Sanitary Sewer Easement (Public), Sanitary Sewer Easement (Private), Sight Distance Easement (Public), Sight Distance Easement (Private), Utility/Drainage Easement (Public), Utility/Drainage Easement (Private), SCM Maintenance and Access Easement, Utility Easement (Public), Utility Easement (Private), Variable Width Drainage Easement (Public), Variable Width Drainage Easement (Private).

WithersRavenel logo and contact information: 137 S Wilmington Street, Suite 200 | Raleigh, NC 27601. License #: F-1479 | t: 919-469-3340 | www.withersravenel.com

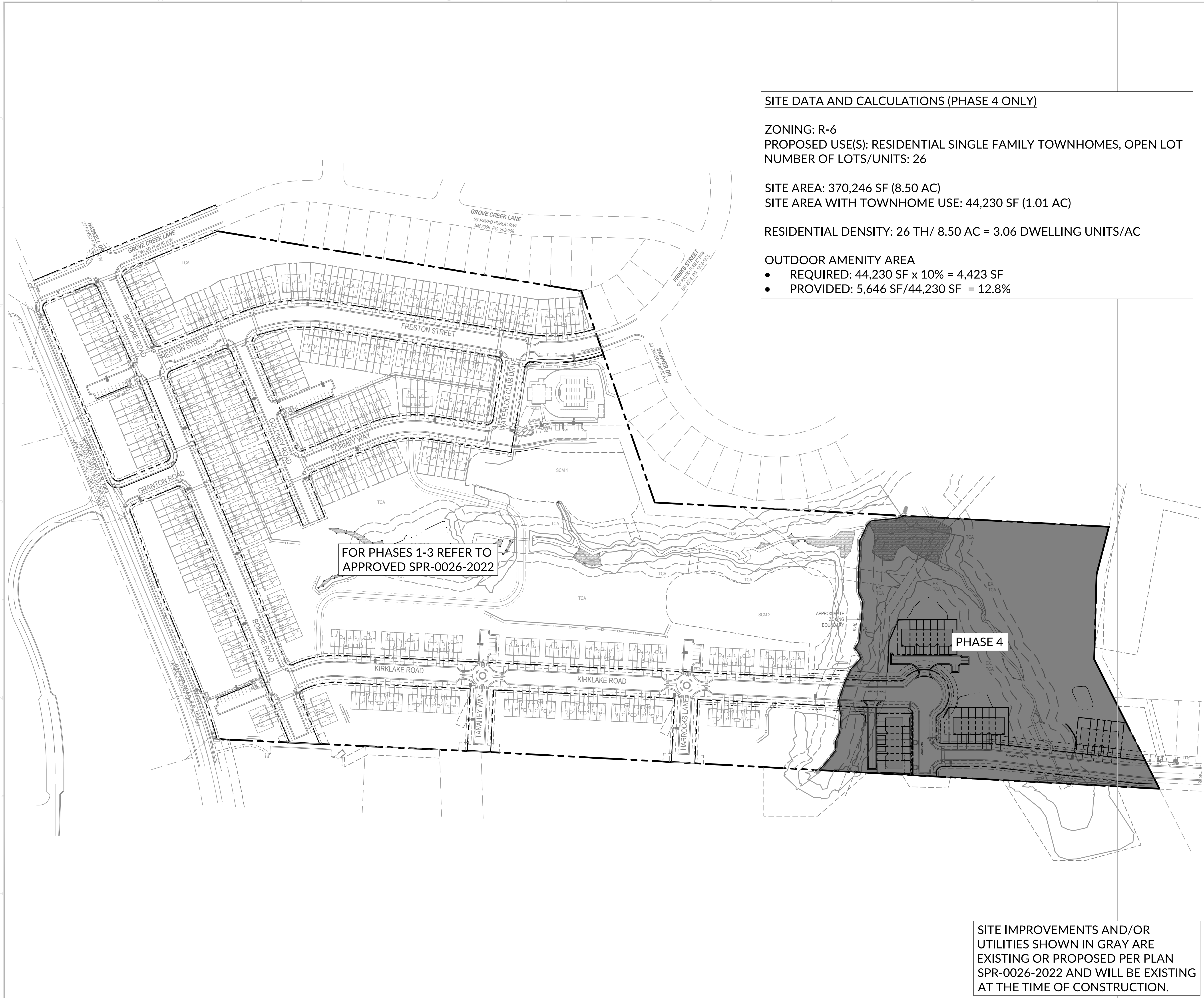


STANLEY MARTIN HOMES
4620 WESTVIEW HOLLOW DRIVE
RALEIGH, NC 27607

Haddonstone Subdivision Phase 4 logo and preliminary subdivision plan information.

3115 GARNER RD | RALEIGH, NORTH CAROLINA | WAKE COUNTY
Initial Plan Date: 04/05/2024
Revisions:
WR JOB NUMBER: 02180729
DRN: WR DGN: WR CKD: WR

GENERAL NOTES
C0.01



SITE DATA AND CALCULATIONS (PHASE 4 ONLY)

ZONING: R-6
 PROPOSED USE(S): RESIDENTIAL SINGLE FAMILY TOWNHOMES, OPEN LOT
 NUMBER OF LOTS/UNITS: 26

SITE AREA: 370,246 SF (8.50 AC)
 SITE AREA WITH TOWNHOME USE: 44,230 SF (1.01 AC)

RESIDENTIAL DENSITY: 26 TH/ 8.50 AC = 3.06 DWELLING UNITS/AC

OUTDOOR AMENITY AREA

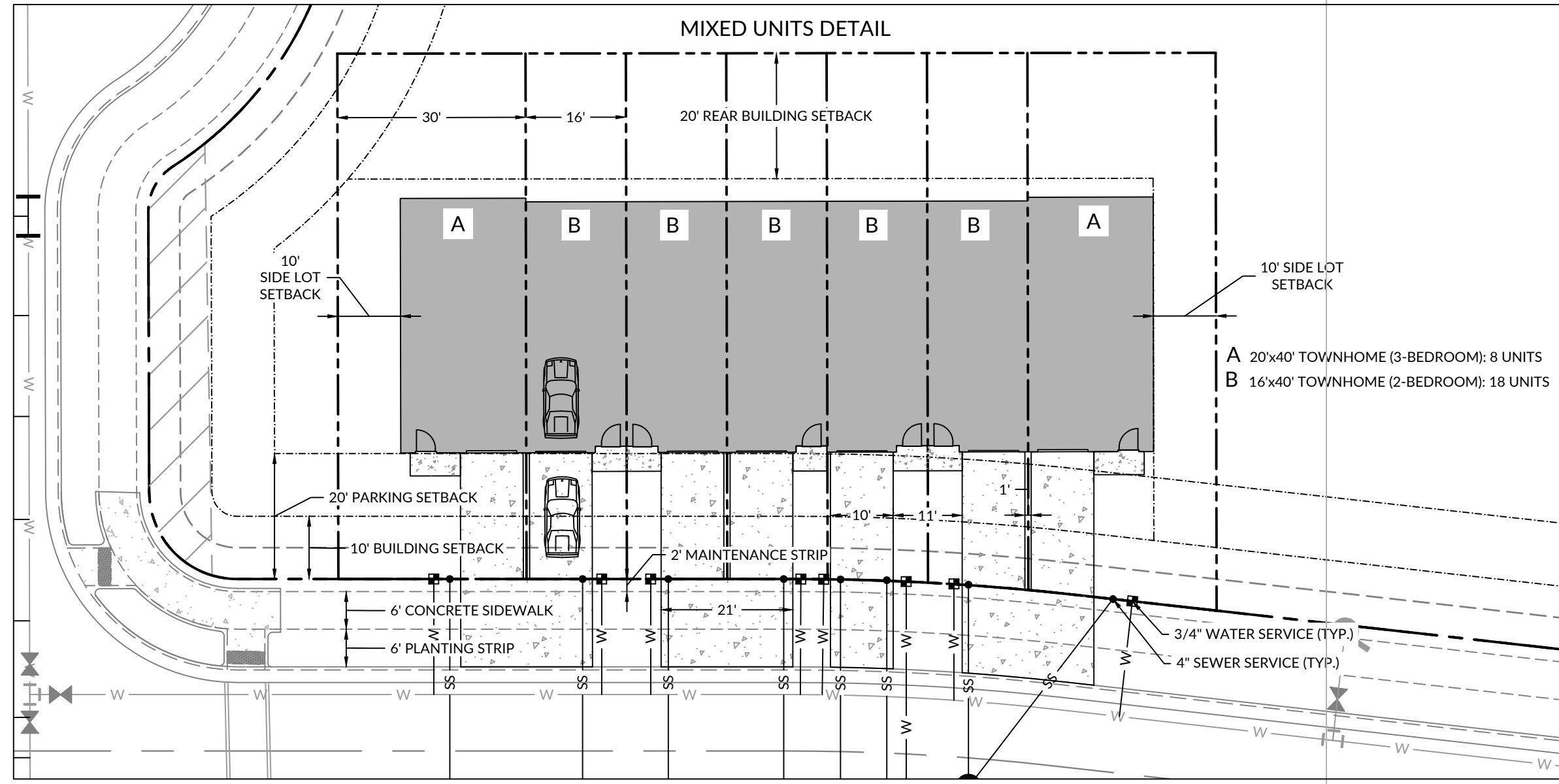
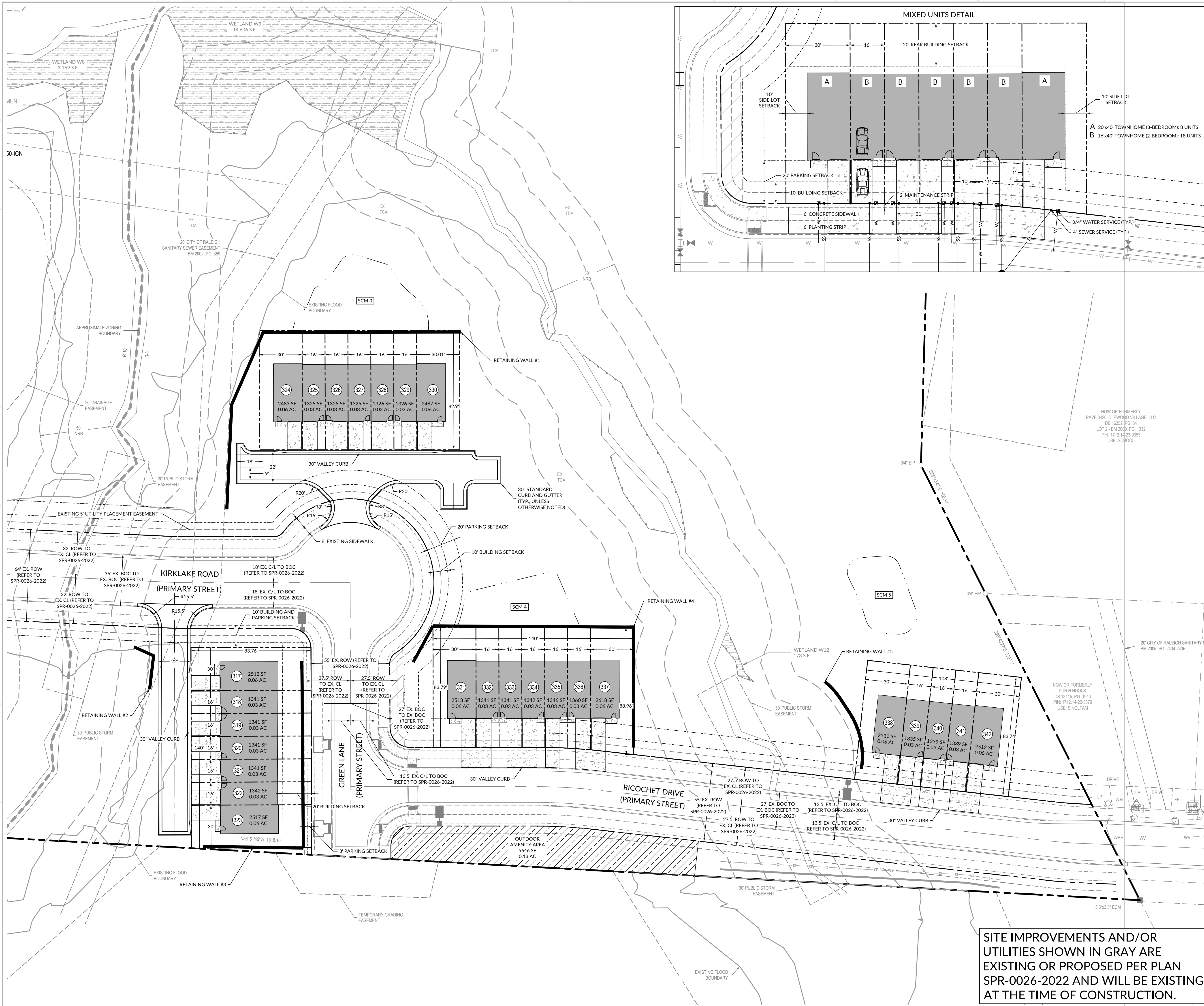
- REQUIRED: 44,230 SF x 10% = 4,423 SF
- PROVIDED: 5,646 SF/44,230 SF = 12.8%

FOR PHASES 1-3 REFER TO APPROVED SPR-0026-2022

PHASE 4

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

N:\13110\180729\180729_01\garter\road\dwg\plan\0204\SUBDIVISION SITE PLAN.dwg, Plot on: April 15, 2024 4:49:28 PM, LASTLDR

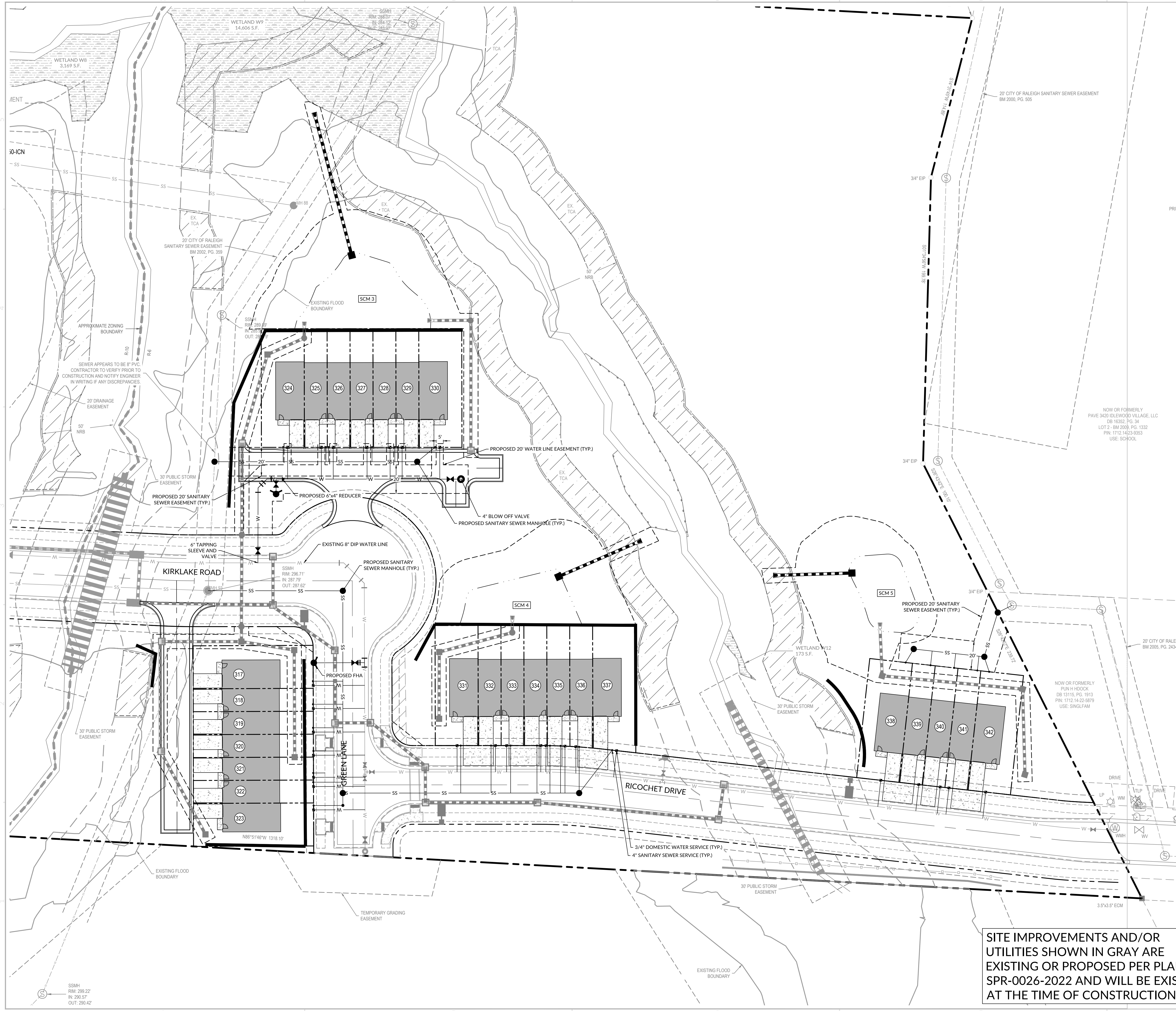


SITE PLAN LEGEND

SYMBOL	DESCRIPTION
---	BOUNDARY
---	BUFFER
---	CENTER LINE
---	CURB & GUTTER
---	EASEMENT
---	LIMIT OF DISTURBANCE
---	LOT LINE
---	PHASE LINE
---	RIGHT OF WAY
---	SETBACK
---	BUILDING
---	OUTDOOR AMENITY AREA

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

N:\181107201\02180729\3115 Garner Road\WR\3115 Garner Road\3115 Garner Road.dwg, April 5, 2024, 4:05:56 PM - AST/CLK



PROPOSED UTILITIES LEGEND

SYMBOL	DESCRIPTION
— FL —	FIRE LINE
— SS —	SANITARY SEWER PIPE
— W —	WATER MAIN
— B —	BACKFLOW PREVENTER
— BO —	BLOW OFF
— FDC —	FIRE DEPARTMENT CONNECTION (FDC)
— FH —	FIRE HYDRANT ASSEMBLY
— SC —	SEWER CLEANOUT
— SM —	SEWER MANHOLE
— WM —	WATER METER
— WV —	WATER VALVE

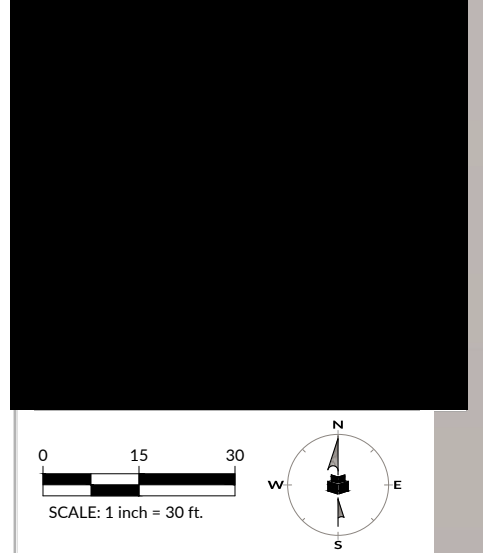
- CORPUS APPENDIX D NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS POSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-409).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE
 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LIC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A LIC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION
 - NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



HADDONSTONE SUBDIVISION PHASE 4

PRELIMINARY SUBDIVISION PLAN
 3115 GARNER RD | RALEIGH, NORTH CAROLINA | WAKE COUNTY



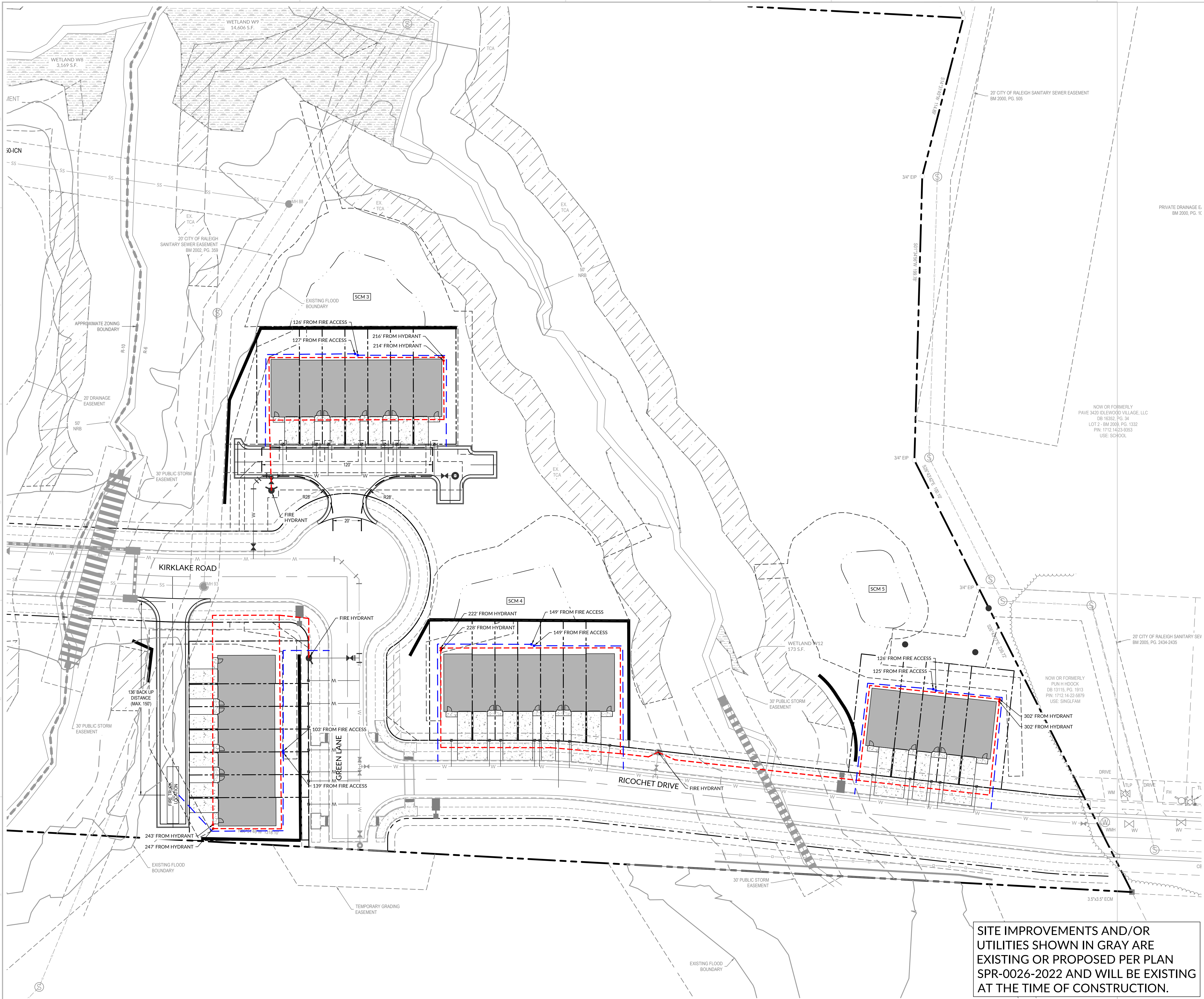
INITIAL PLAN DATE: 04/05/2024
 REVISIONS:

WR JOB NUMBER: 02180729
 DRN: WR DGN: WR CKD: WR

UTILITY PLAN

C3.00

N:\181107201\02180729\02180729.dwg: g:\p\road\dwg\pk\1420\dwg\utility\plan\hadd\c3.00\utility\plan\hadd\c3.00.dwg: Friday, April 5, 2024 4:50:22 PM - DST:ARH



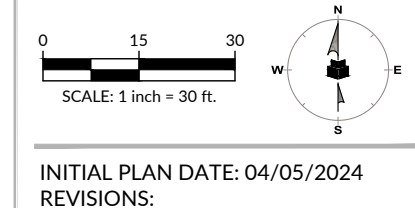
- FIRE ACCESS PLAN NOTES**
1. HEAVY DUTY PAVEMENT SHALL BE INSTALLED ALONG ENTIRETY OF FIRE ACCESS ROUTE
 2. HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE RESURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, PER NCFC 503.2.3.

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

WithersRavenel
 137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
 License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

STANLEY MARTIN HOMES
 4020 WESTCHASE BLVD., BLDG. 1, STE. 470
 RALEIGH, NC 27607

PRELIMINARY SUBDIVISION PLAN
HADDONSTONE SUBDIVISION
PHASE 4
 3115 GARNER RD | RALEIGH, NORTH CAROLINA | WAKE COUNTY



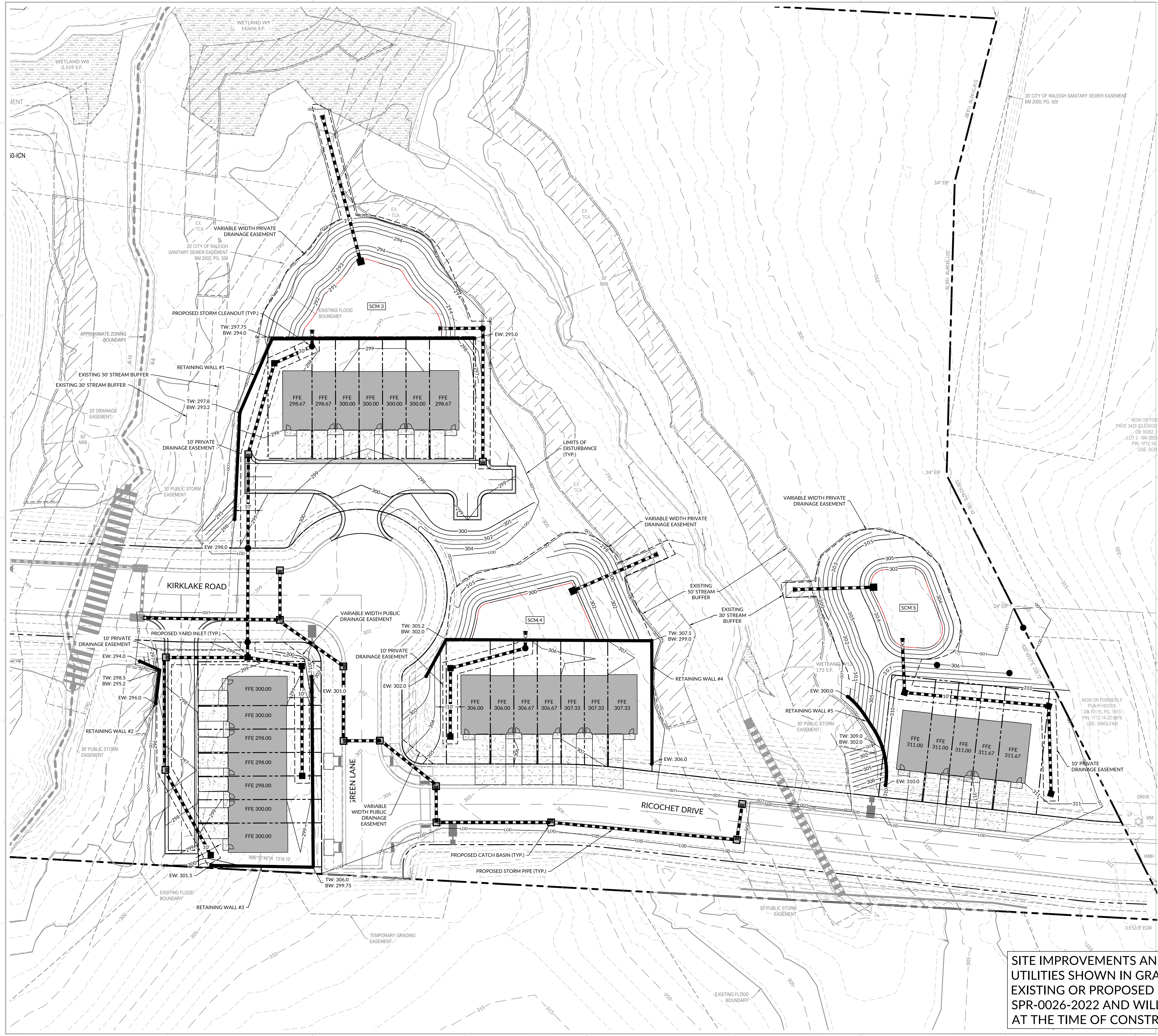
INITIAL PLAN DATE: 04/05/2024
 REVISIONS:

WR JOB NUMBER: 02180729
 DRN: WR DGN: WR CKD: WR

FIRE ACCESS PLAN

C3.10

N:\18\180729\18072901\garner_road\dwg\pk_180729_fire_access_plan.dwg | User: Avelis | Date: 4/5/2024 10:11:41 AM | LINGLAND



PROPOSED GRADING LEGEND

SYMBOL	DESCRIPTION
— 100 —	EXISTING MAJOR CONTOUR
— 100 —	EXISTING MINOR CONTOUR
— 100 —	PROPOSED MAJOR CONTOUR
— 100 —	PROPOSED MINOR CONTOUR
— — —	EXISTING STORM PIPE
— — —	PROPOSED STORM PIPE

- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
 3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES ON LYNN OR LEEVILLE ROADS SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM - 9AM AND 4PM - 6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT.-TRANSPORTATION OPERATIONS DIVISION AT (919)996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT (919)857-4412 TO OBTAIN A STREET CUT PERMIT.
 5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
 7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS & STREET TO EXISTING CONDITION OR BETTER.
 8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 30 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NCDOT STANDARD DRAWINGS 1101.02 (SHEET 1), 1101.04 & 1101.11.

- STORM DRAINAGE NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
 2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
 3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
 4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
 5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49)
 6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
 7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM 776, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS 55-S-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
 8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
 9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30 - 48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
 10. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED.
 11. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT AT (919)989-3430 TO SCHEDULE CONSTRUCTION INSPECTIONS.
 12. STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
 13. ALL ROOF LEADERS ARE PROPOSED TO CONNECT TO THE DRAINAGE SYSTEM(S) SHOWN.

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

PRELIMINARY SUBDIVISION PLAN
HADDONSTONE SUBDIVISION
PHASE 4

3115 GARNER RD | RALEIGH, NORTH CAROLINA | WAKE COUNTY

137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

our people • your success

STANLEY MARTIN HOMES
RALEIGH, NC 27607

4000 WESTCHASE BLD. BLDG. 1, STE. 470

SCALE: 1 inch = 30 ft.

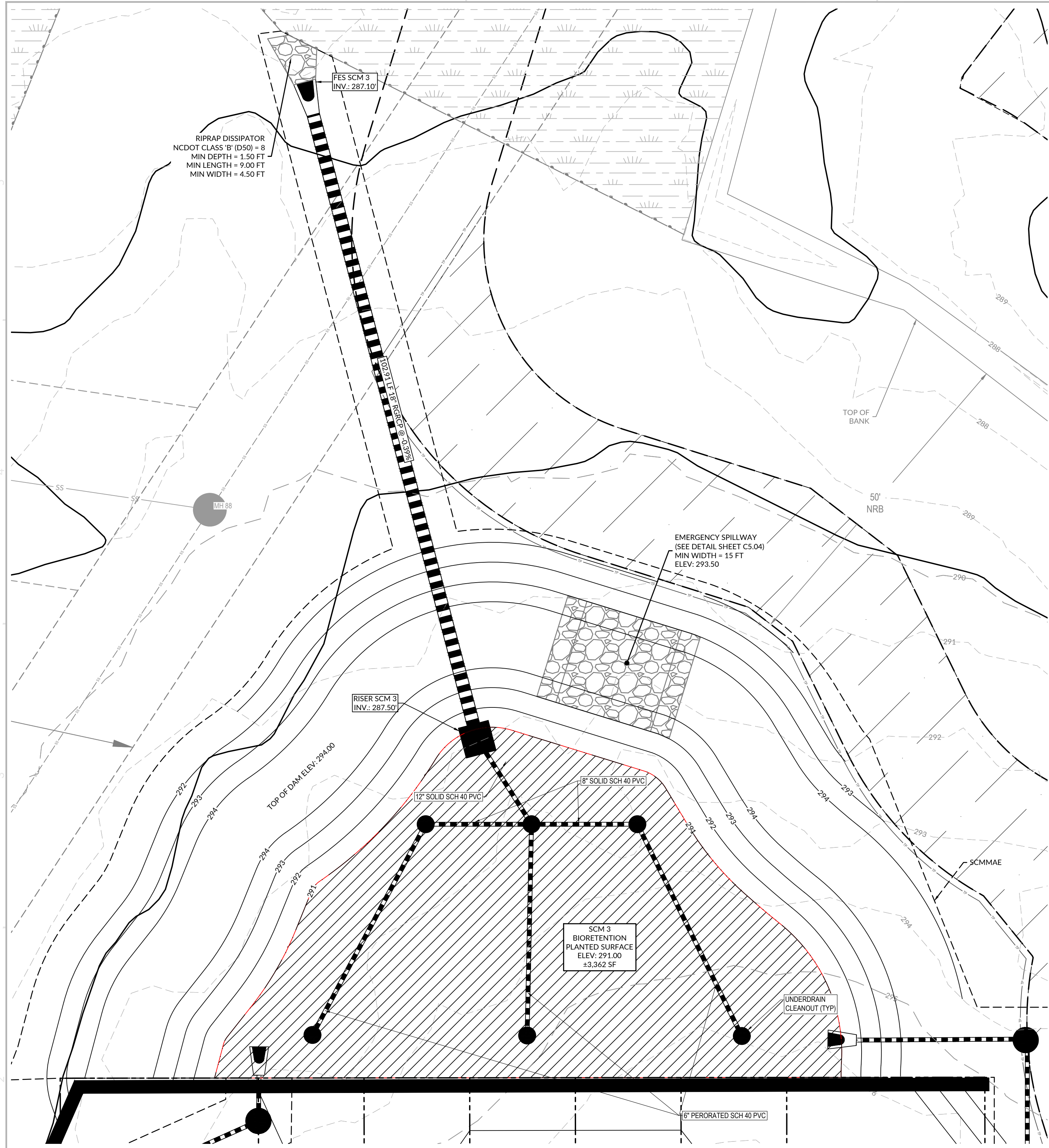
INITIAL PLAN DATE: 04/05/2024
REVISIONS:

WR JOB NUMBER: 02180729
DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

EST. 1983

C4.00



SCM 3 BIORETENTION AREA

STORMWATER CONTROL MEASURE (SCM) NOTES:

- PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE (I.E. - MINIMUM DESIGN CRITERIA), AND LOCAL STANDARDS AND SPECIFICATIONS HEREBY INCORPORATED BY REFERENCE.
- STORMWATER CONTROL MEASURES ON THE PROJECT MUST BE LOCATED ON COMMON OPEN SPACE, HAVE AN ACCESS AND MAINTENANCE EASEMENTS LOCATED AROUND THEM AND INCLUDE AN OPERATIONS AND MAINTENANCE MANUAL AND MAINTENANCE AGREEMENT.
- GEOTECHNICAL ENGINEER SHALL EVALUATE SOILS FOR SUITABILITY OF DAM CONSTRUCTION AND SLOPE STABILITY. PROFESSIONAL CERTIFICATION OF EMBANKMENT CONSTRUCTION IS REQUIRED FOR ALL SLOPE CERTIFICATION.
- DAM TO BE CONSTRUCTED PER THE FOLLOWING SPECIFICATIONS UNLESS SUPERSEDED BY GEOTECHNICAL ENGINEER'S RECOMMENDATIONS:
 - BORROW MATERIALS FOR USE AS EMBANKMENT FILL SHALL BE FREE OF ORGANICS, ROOTS AND OTHER WOODY VEGETATION OR ORGANIC DEBRIS. MATERIALS SHALL CONSIST OF SOILS WHICH CLASSIFY AS SC, SM, CL, CL-OH AND ML IN ACCORDANCE WITH THE UNITED CLASSIFICATION SYSTEM OR AS APPROVED BY THE GEOTECHNICAL ENGINEER WITH A MAXIMUM PARTICLE SIZE OF 3" IN MEAN DIAMETER.
 - FILL SHALL BE PLACED IN 8" (MAXIMUM) LOOSE LIFTS UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER. FILL SHALL BE BROUGHT UP BY BENCHING INTO THE EXISTING SLOPE. THE MAXIMUM HEIGHT OF 2FT SHALL BE USED FOR EACH BENCH LIFT TAKING CARE TO REMOVE ROOT STRUCTURES AS THE FILL PROCEEDS. SURFACE OF EACH LIFT SHALL BE SCARIFIED PRIOR TO PLACEMENT OF THE NEXT LIFT IN ORDER TO EFFECTIVELY TIE THE FILL LIFTS TOGETHER.
 - ALL COMPACTION SHALL BE TESTED BY THE SAND CONE METHOD (ASTM D-1556) OR NUCLEAR METHOD (ASTM D-6938) AT A RATE OF AT LEAST ONE TEST PER 5,000 SF PER ONE FOOT OF COMPACTED FILL THICKNESS IN GENERAL AREA FILLS AND ONE TEST PER 50 LINEAL FEET PER LIFT ALONG THE BARREL. THE MINIMUM COMPACTION SHOULD BE 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698) AT MOISTURE CONTENTS VARYING FROM 2 PERCENT BELOW TO 3 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO WITHIN 3FT OF THE FINAL GRADE.
- EMBANKMENT AND SIDE SLOPES OF THE BASIN SHALL BE STABILIZED PER SEEDING SCHEDULE ON EROSION CONTROL DETAILS SHEET OR SODDED.
- ALL PERMANENT STRUCTURES (I.E. WEIR WALLS, ETC.) ARE TO BE INSTALLED WITH THE INITIAL DAM CONSTRUCTION.
- CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN APPROVAL BY EROSION CONTROL INSPECTOR IN ORDER TO REMOVE EROSION CONTROL DEVICES.
- ONCE ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN REMOVED, THE SCM SHALL BE CONVERTED TO A PERMANENT SCM.
 - ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 - INTERIOR GRADING AND VEGETATED AREAS SHALL BE CONSTRUCTED PER THIS PLAN.
 - VEGETATED SHELF SHALL BE PLANTED PER PLANT SCHEDULE ON LANDSCAPE PLAN SHEET
 - FINAL CERTIFICATION OF THE SCM BY A PROFESSIONAL ENGINEER IS REQUIRED.

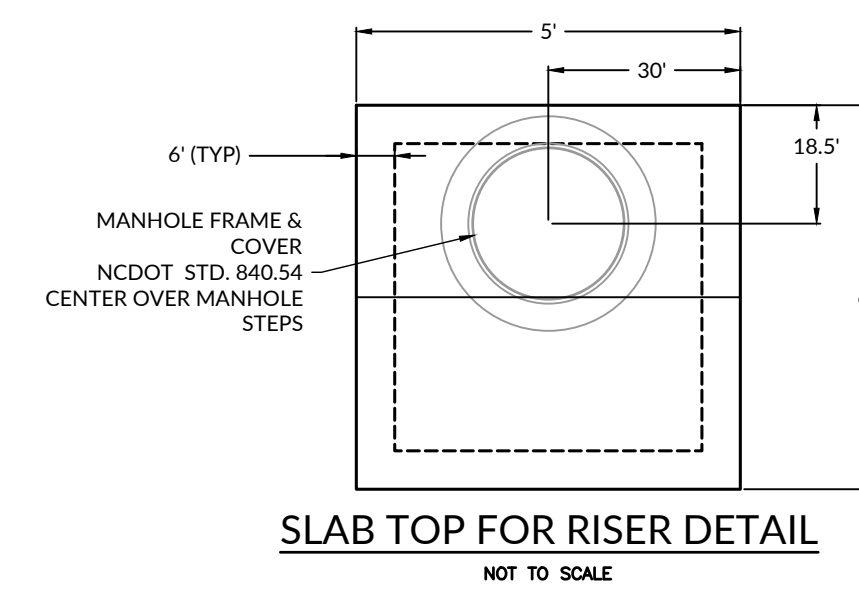
PRECAST CONCRETE MATERIALS NOTES:

- ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C913 (RECTANGULAR) OR C478 (ROUND).
- ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C76, CLASS III (UNLESS OTHERWISE NOTED).
 - O-RING JOINTS SHALL CONFORM TO ASTM C463 & ASTM C361.
 - NON O-RING JOINTS SHALL CONFORM TO ASTM C390.

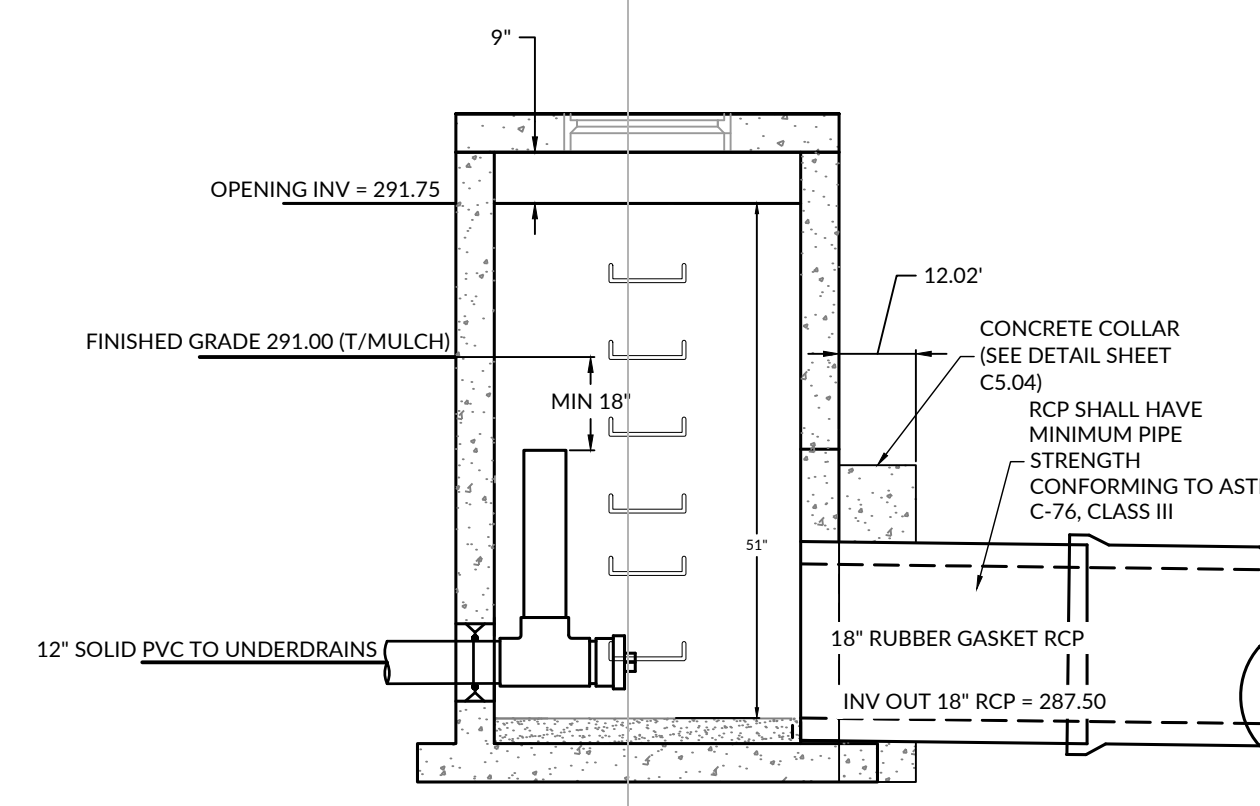
BIORETENTION AREA NOTES:

- NO MECHANICAL COMPACTION OR HEAVY EQUIPMENT SHALL BE USED DURING MEDIA OR LANDSCAPING INSTALLATION. ALL CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION.
- BOTTOM OF BIORETENTION AREA SHALL BE 2 FEET OR MORE FROM SEASONAL HIGH WATER TABLE. IF DURING CONSTRUCTION SEASONAL HIGH WATER TABLE IS FOUND TO BE WITHIN 2' OF BOTTOM OF BIORETENTION AREA, THEN ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR DESIGN MODIFICATIONS.
- THE SCM SHALL BE CONVERTED TO A BIORETENTION AREA ONLY AFTER THE SITE HAS BEEN STABILIZED.
- BIORETENTION AREA MEDIA SECTION TO COVER ENTIRE PLANTING SURFACE. **BIORETENTION AREA MEDIA TO BE COMPRISED OF THE FOLLOWING:**
 - 75% - 85% MEDIUM TO COARSE WASHED SAND (85% PREFERRED).
 - 8% - 10% FINES (CLAY & SILT) (8% PREFERRED).
 - 8% - 10% ORGANIC MATTER (7% PREFERRED).
 - PHOSPHORUS INDEX (P-INDEX) SHALL BE NO GREATER THAN 30.
 - THE MEDIA INFILTRATION RATE SHALL BE MINIMUM 2 IN/HR.
- THE CHOKING STONE LAYER MAY BE MODIFIED TO USE #78 STONE IN LIEU OF #8 OR #89 STONE. THE CHOKING STONE LAYER SHALL THEN BE COMPRISED OF 3" OF #78 STONE AND THE WASHED SAND LAYER SHALL THEN HAVE A MINIMUM THICKNESS OF 3".
- CONTRACTOR TO PROVIDE SOIL TEST DATA AND SAMPLES, FROM AN APPROVED TESTING LABORATORY, TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- NO FERTILIZER IS TO BE ADDED.
- BIORETENTION SHALL BE PLANTED PER LANDSCAPE PLAN ON SHEET L1.00.

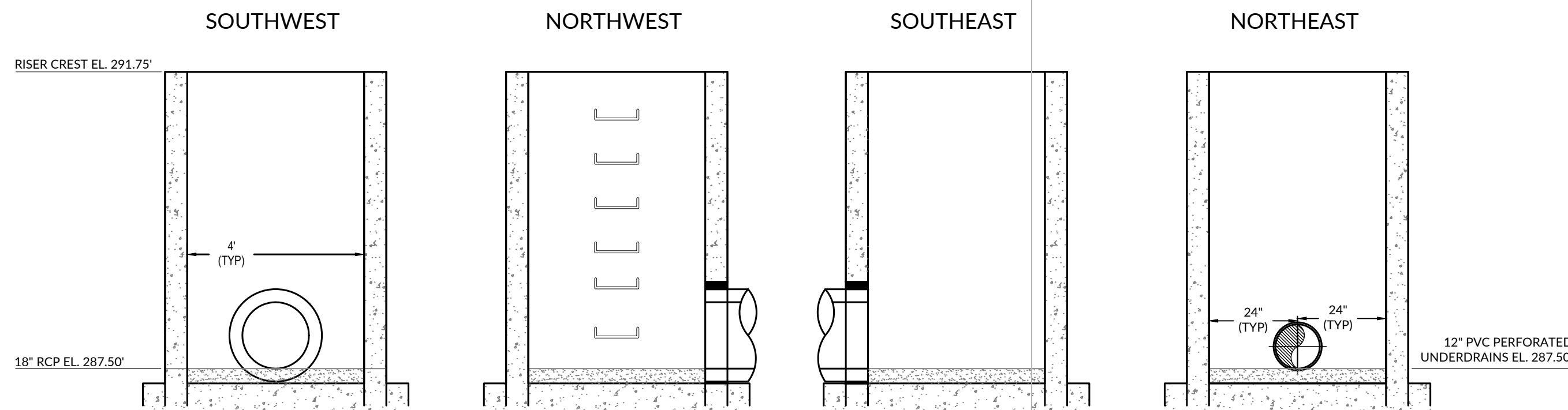
SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



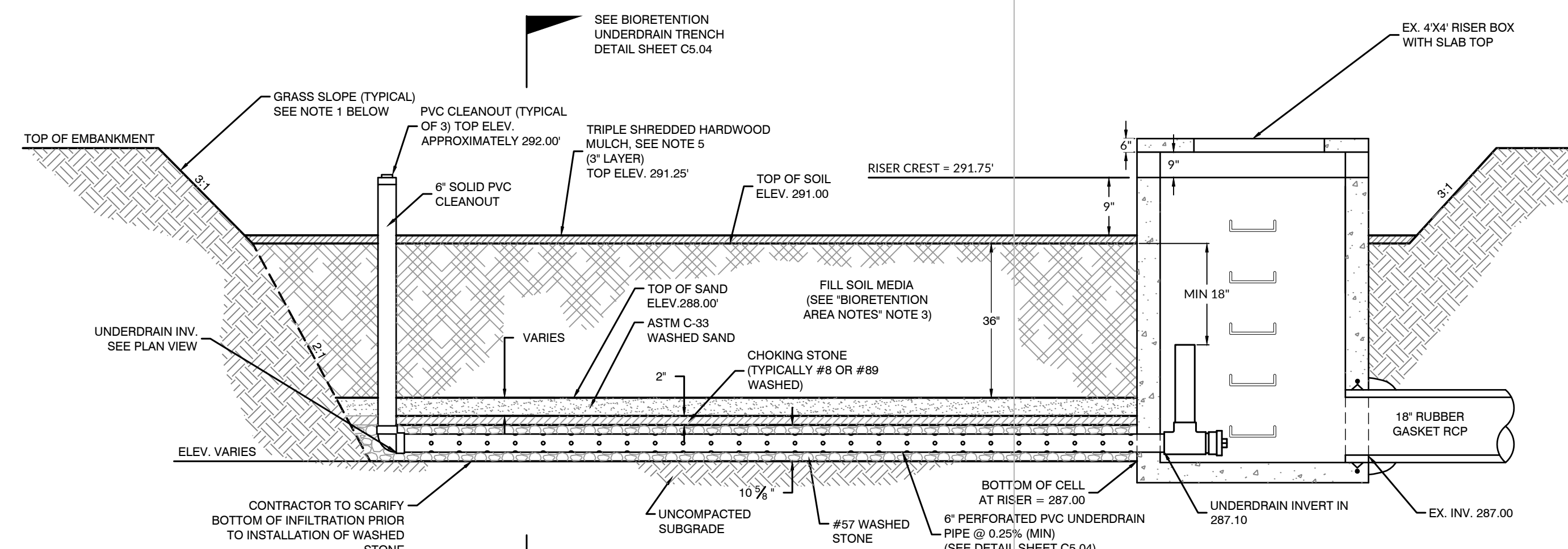
SLAB TOP FOR RISER DETAIL



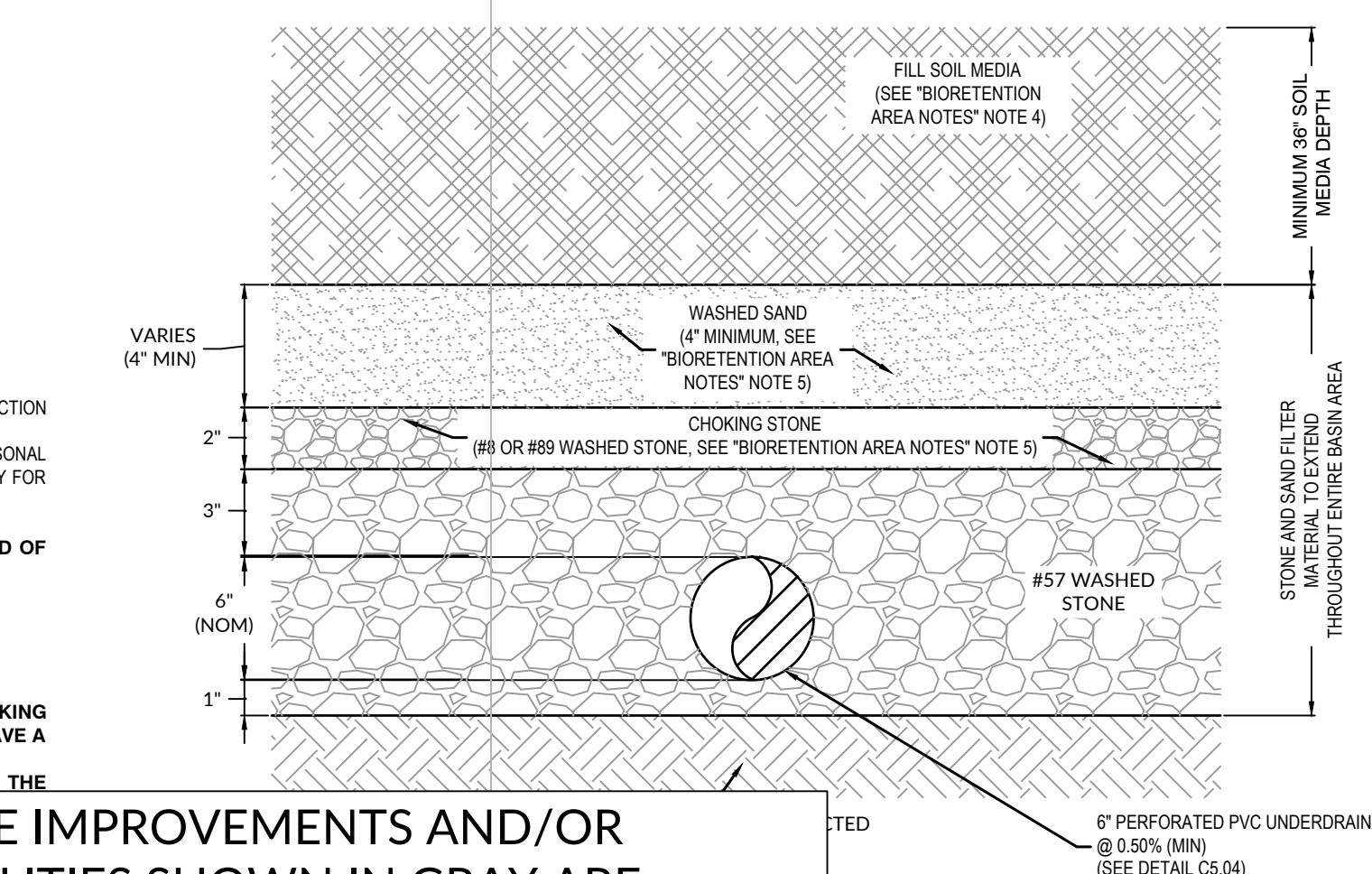
SCM 3 RISER DRAWDOWN DEVICE DETAIL

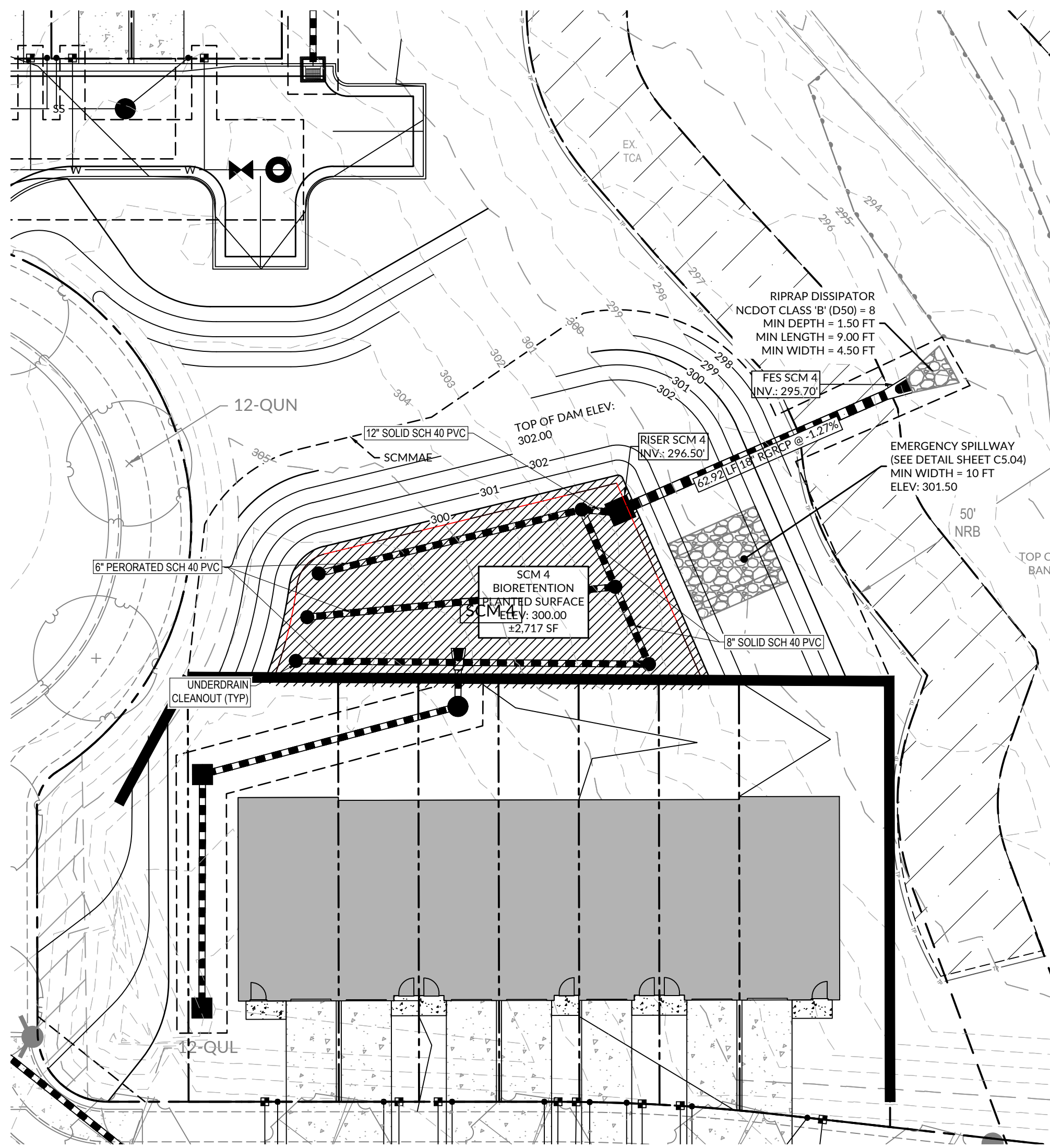


SCM 3 RISER WALL ELEVATIONS



BIORETENTION MEDIA SECTION





SCM 4 BIORETENTION AREA

STORMWATER CONTROL MEASURE (SCM) NOTES:

- PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE (I.E., MINIMUM DESIGN CRITERIA), AND LOCAL STANDARDS AND SPECIFICATIONS HEREBY INCORPORATED BY REFERENCE.
- STORMWATER CONTROL MEASURES ON THE PROJECT MUST BE LOCATED ON COMMON OPEN SPACE, HAVE AN ACCESS AND MAINTENANCE EASEMENTS LOCATED AROUND THEM AND INCLUDE AN OPERATIONS AND MAINTENANCE MANUAL AND MAINTENANCE AGREEMENT.
- GEOTECHNICAL ENGINEER SHALL EVALUATE SOILS FOR SUITABILITY OF DAM CONSTRUCTION AND SLOPE STABILITY. PROFESSIONAL CERTIFICATION OF EMBANKMENT CONSTRUCTION IS REQUIRED FOR AS-BUILT CERTIFICATION.
- DAM TO BE CONSTRUCTED PER THE FOLLOWING SPECIFICATIONS UNLESS SUPERSEDED BY GEOTECHNICAL ENGINEER'S RECOMMENDATIONS:
 - BORROW MATERIALS FOR USE AS EMBANKMENT FILL SHALL BE FREE OF ORGANICS, ROOTS AND OTHER WOODY VEGETATION OR ORGANIC DEBRIS. MATERIALS SHALL CONSIST OF SOILS WHICH CLASSIFY AS SC, SM, CL, CL-CH AND ML, IN ACCORDANCE WITH THE UNIFIED CLASSIFICATION SYSTEM OR AS APPROVED BY THE GEOTECHNICAL ENGINEER WITH A MAXIMUM PARTICLE SIZE OF 3" IN MEAN DIAMETER.
 - FILL SHALL BE PLACED IN 8" (MAXIMUM) LOOSE LIFTS UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER. FILL SHALL BE BROUGHT UP BY BENCHING INTO THE EXISTING SLOPE. THE MAXIMUM HEIGHT OF 2FT SHALL BE USED FOR EACH BENCH LIFT TAKING CARE TO REMOVE ROOT STRUCTURES AS THE FILL PROCEEDS. SURFACE OF EACH LIFT SHALL BE SCARIFIED PRIOR TO PLACEMENT OF THE NEXT LIFT IN ORDER TO EFFECTIVELY TIE THE FILL LIFTS TOGETHER.
 - ALL COMPACTION SHALL BE TESTED BY THE SAND CONE METHOD (ASTM D-1556) OR NUCLEAR METHOD (ASTM D-6938) AT A RATE OF AT LEAST ONE TEST PER 5,000 SF PER ONE FOOT OF COMPACTED FILL THICKNESS IN GENERAL AREA FILLS AND ONE TEST PER 50 LINEAL FEET PER LIFT ALONG THE BARREL. THE MINIMUM COMPACTION SHOULD BE 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698) AT MOISTURE CONTENTS VARYING FROM 2 PERCENT BELOW TO 3 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO WITHIN 3FT OF THE FINAL GRADE.
- EMBANKMENT AND SIDE SLOPES OF THE BASIN SHALL BE STABILIZED PER SEEDING SCHEDULE ON EROSION CONTROL DETAILS SHEET OR SOGDES.
- ALL PERMANENT STRUCTURES (I.E. WEIR WALLS, ETC) ARE TO BE INSTALLED WITH THE INITIAL DAM CONSTRUCTION.
- CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN APPROVAL BY EROSION CONTROL INSPECTOR IN ORDER TO REMOVE EROSION CONTROL DEVICES.
- ONCE ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN REMOVED, THE SCM SHALL BE CONVERTED TO A PERMANENT SCM.
 - ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 - INTERIOR GRADING AND VEGETATED AREAS SHALL BE CONSTRUCTED PER THIS PLAN.
 - VEGETATED SHELF SHALL BE PLANTED PER PLANT SCHEDULE ON LANDSCAPE PLAN SHEET
 - FINAL CERTIFICATION OF THE SCM BY A PROFESSIONAL ENGINEER IS REQUIRED.

PRECAST CONCRETE MATERIALS NOTES:

- ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C913 (RECTANGULAR) OR C478 (ROUND).
- ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C76, CLASS III (UNLESS OTHERWISE NOTED).
 - O-RING JOINTS SHALL CONFORM TO ASTM C443 & ASTM C361.
 - NON O-RING JOINTS SHALL CONFORM TO ASTM C390.

BIORETENTION AREA NOTES:

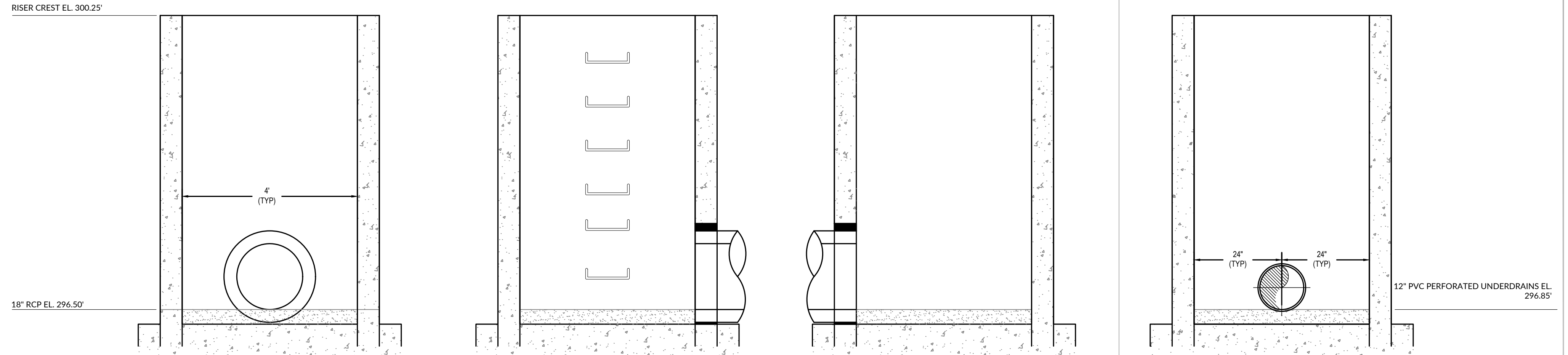
- NO MECHANICAL COMPACTION OR HEAVY EQUIPMENT SHALL BE USED DURING MEDIA OR LANDSCAPING INSTALLATION. ALL CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION.
- BOTTOM OF BIORETENTION AREA SHALL BE 2 FEET OR MORE FROM SEASONAL HIGH WATER TABLE. IF DURING CONSTRUCTION SEASONAL HIGH WATER TABLE IS FOUND TO BE WITHIN 2' OF BOTTOM OF BIORETENTION AREA, THEN ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR DESIGN MODIFICATIONS.
- THE SCM SHALL BE CONVERTED TO A BIORETENTION AREA ONLY AFTER THE SITE HAS BEEN STABILIZED.
- BIORETENTION AREA MEDIA SECTION TO COVER ENTIRE PLANTING SURFACE. **BIORETENTION AREA MEDIA TO BE COMPRISED OF THE FOLLOWING:**
 - 7% - 8% MEDIUM TO COARSE WASHED SAND (85% PREFERRED).
 - 8% - 10% FINES (CLAY & SILT) (8% PREFERRED).
 - 5% - 10% ORGANIC MATTER (7% PREFERRED)
 - PHOSPHORUS INDEX (P-INDEX) SHALL BE NO GREATER THAN 30.
 - THE MEDIA INFILTRATION RATE SHALL BE MINIMUM 2 IN/HR.
- THE CHOKING STONE LAYER MAY BE MODIFIED TO USE #78 STONE IN LIEU OF #8 OR #89 STONE. THE CHOKING STONE LAYER SHALL THEN BE COMPRISED OF 3" OF #78 STONE AND THE WASHED SAND LAYER SHALL THEN HAVE A MINIMUM THICKNESS OF 3".
- CONTRACTOR TO PROVIDE SOIL TEST DATA AND SAMPLES, FROM AN APPROVED TESTING LABORATORY, TO THE ENGINEER PRIOR TO CONSTRUCTION.
- NO FERTILIZER IS TO BE ADDED.
- BIORETENTION SHALL BE PLANTED PER LANDSCAPE PLAN ON SHEET L1.00.

SOUTHWEST

NORTHWEST

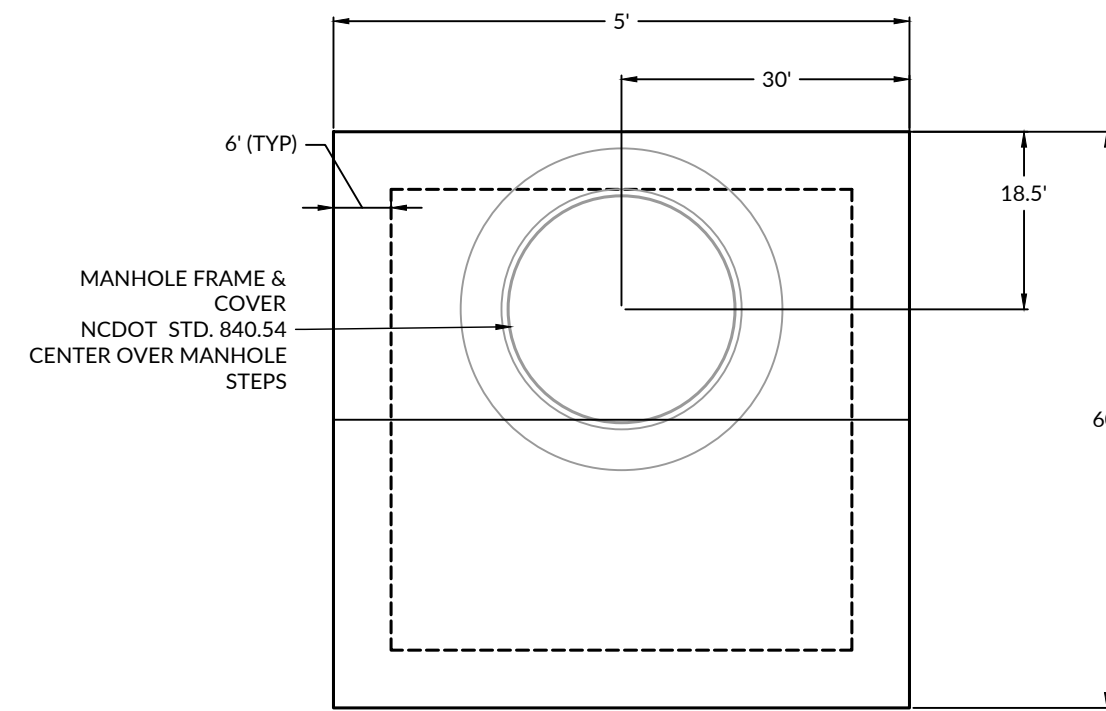
SOUTHEAST

NORTHEAST



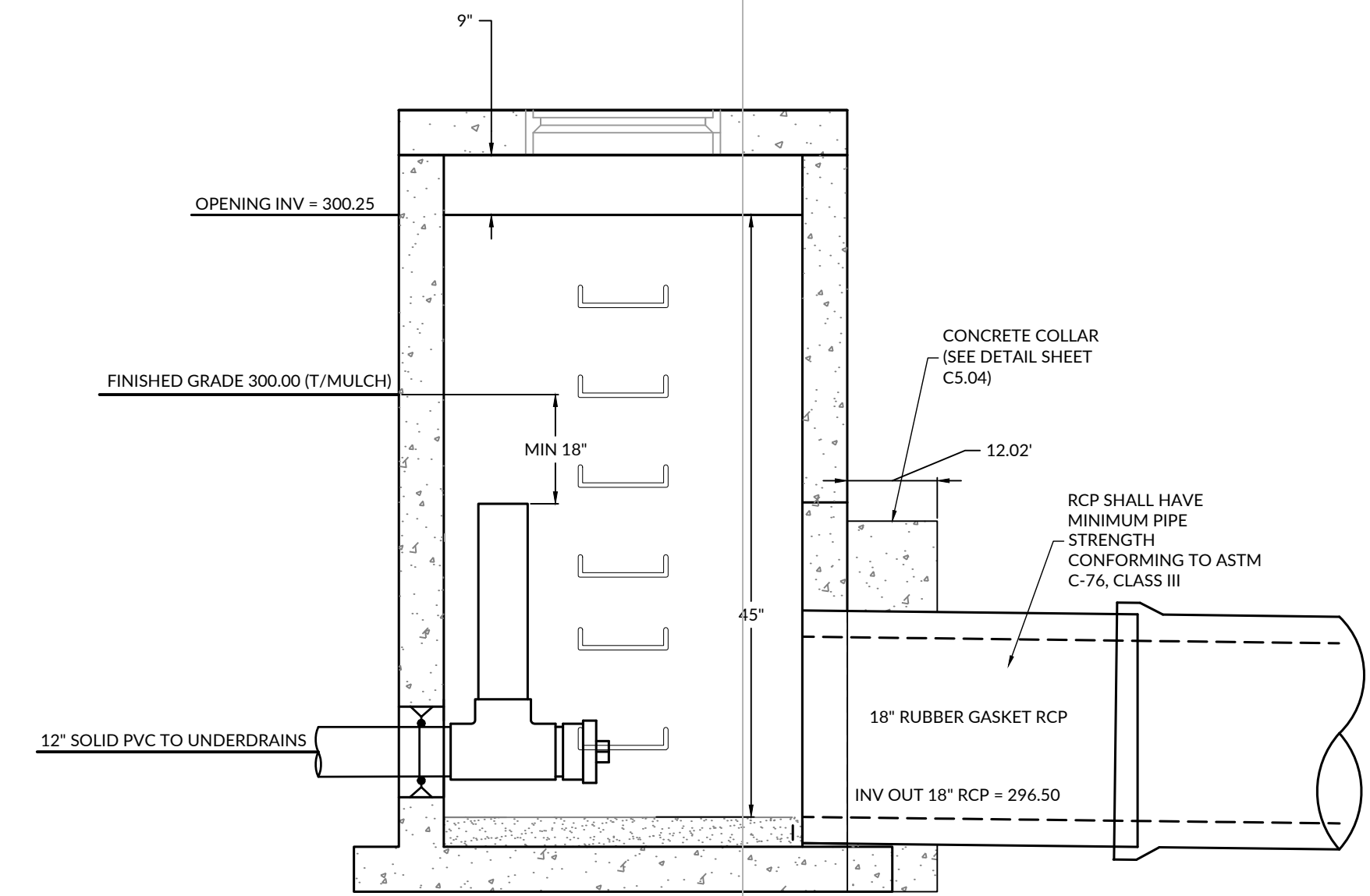
SCM 4 RISER WALL ELEVATIONS

NOT TO SCALE



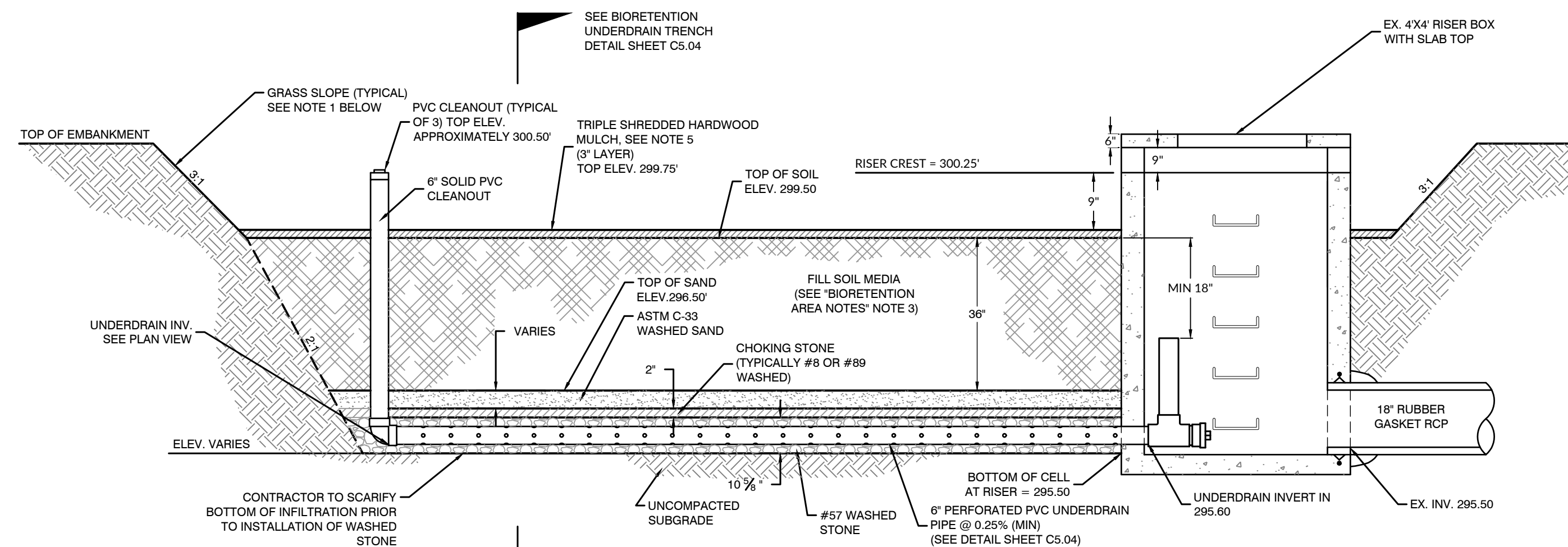
SLAB TOP FOR RISER DETAIL

NOT TO SCALE



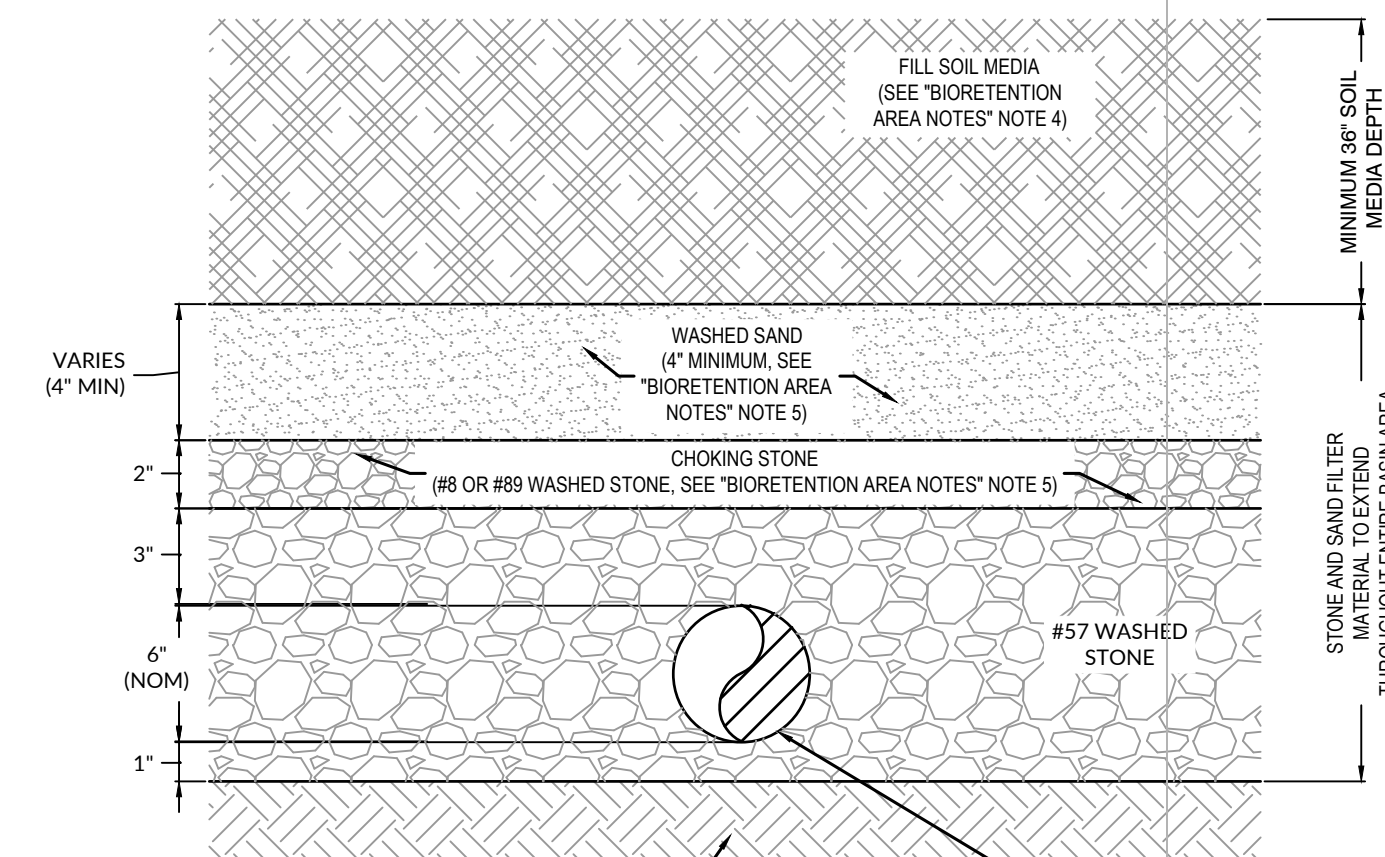
SCM 4 RISER DRAWDOWN DEVICE DETAIL

NOT TO SCALE



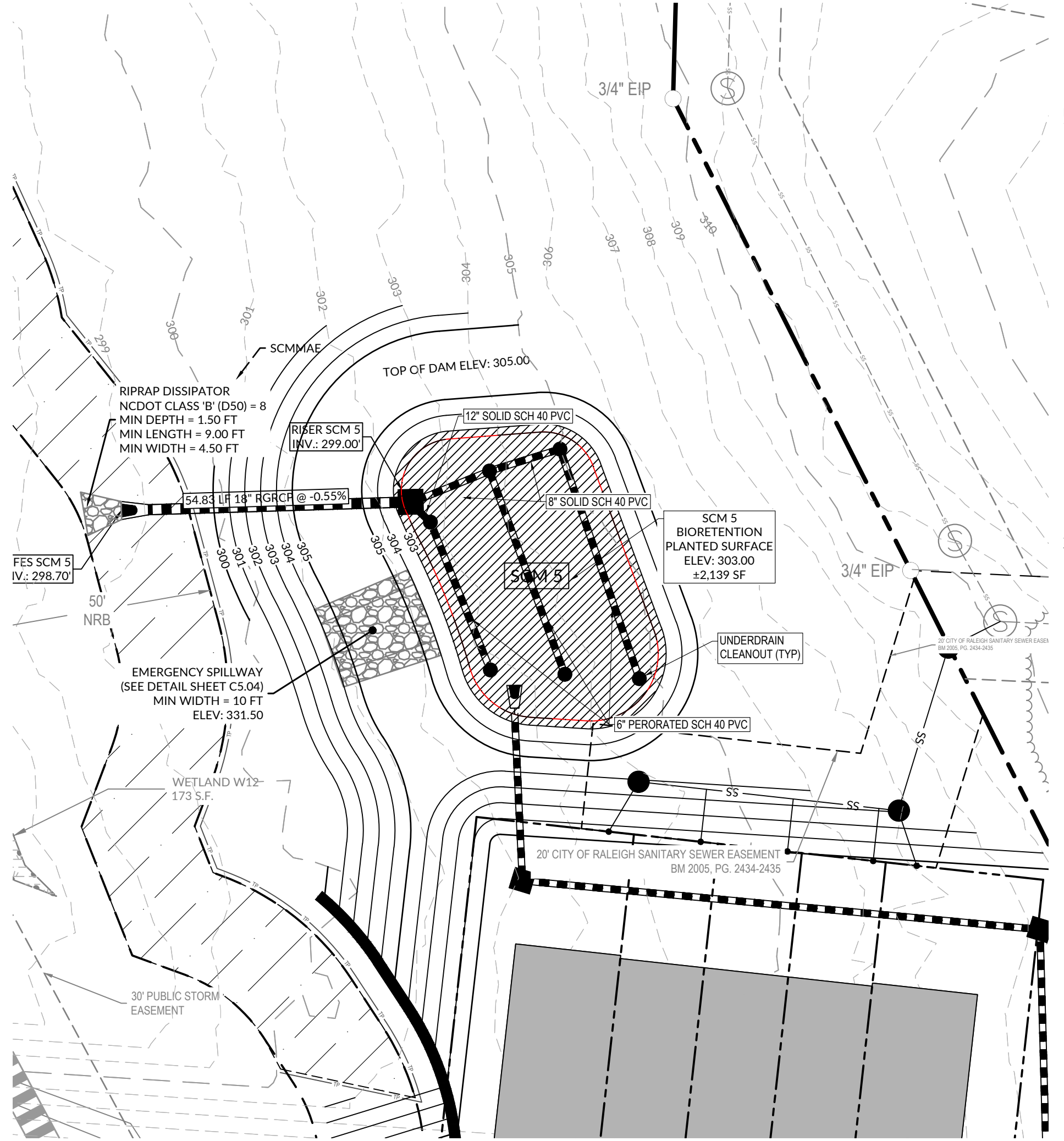
BIORETENTION MEDIA SECTION

NOT TO SCALE



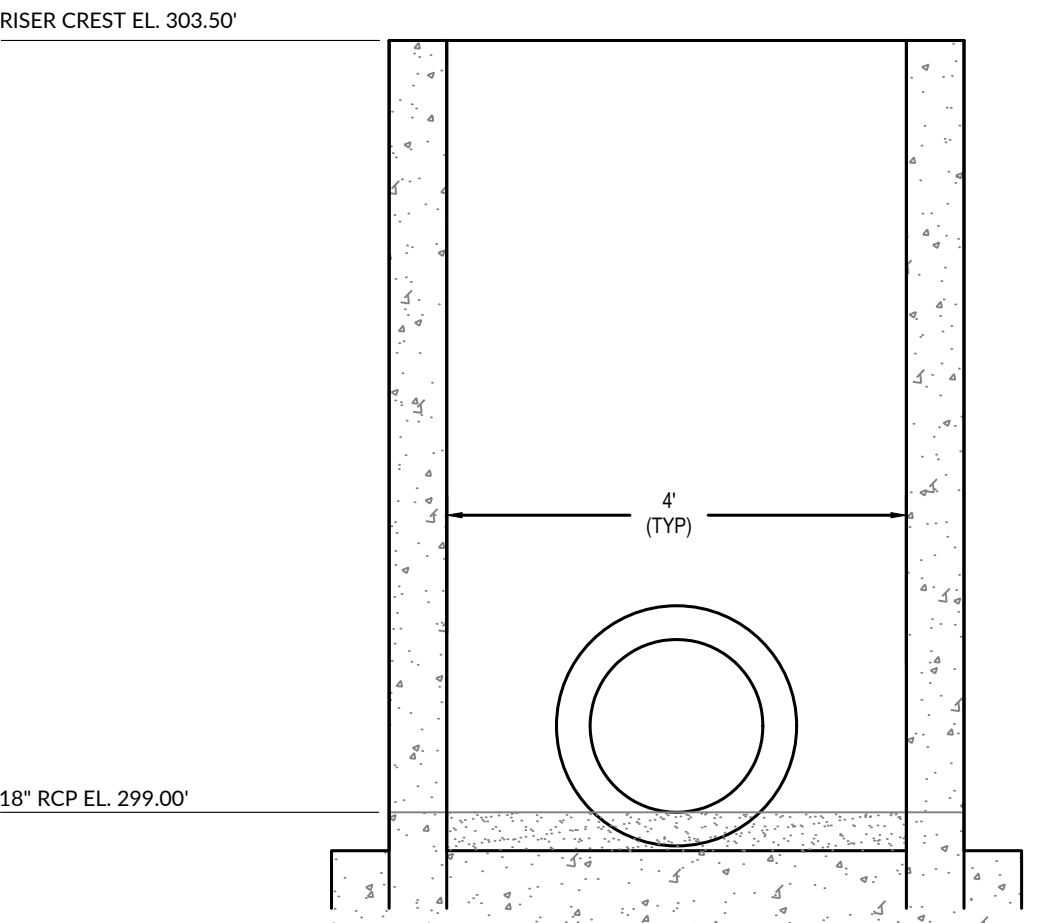
BIORET

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

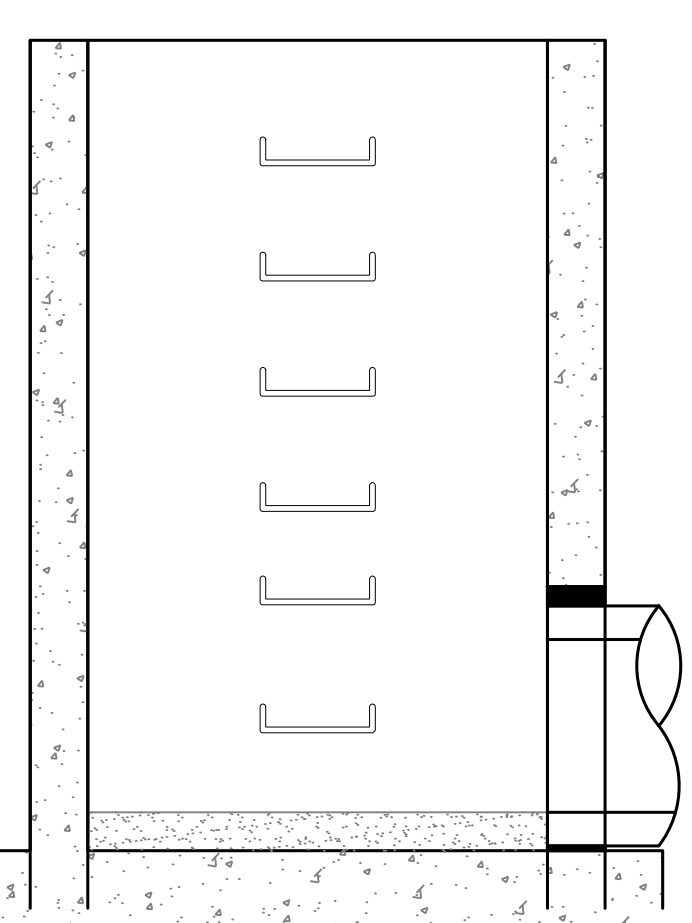


SCM 5 BIORETENTION AREA

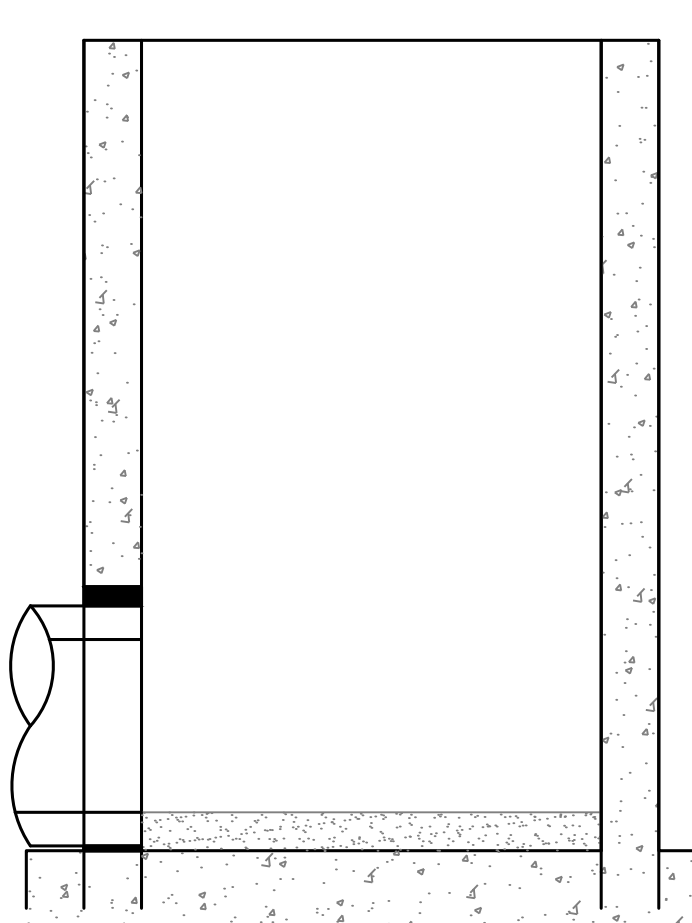
SOUTHWEST



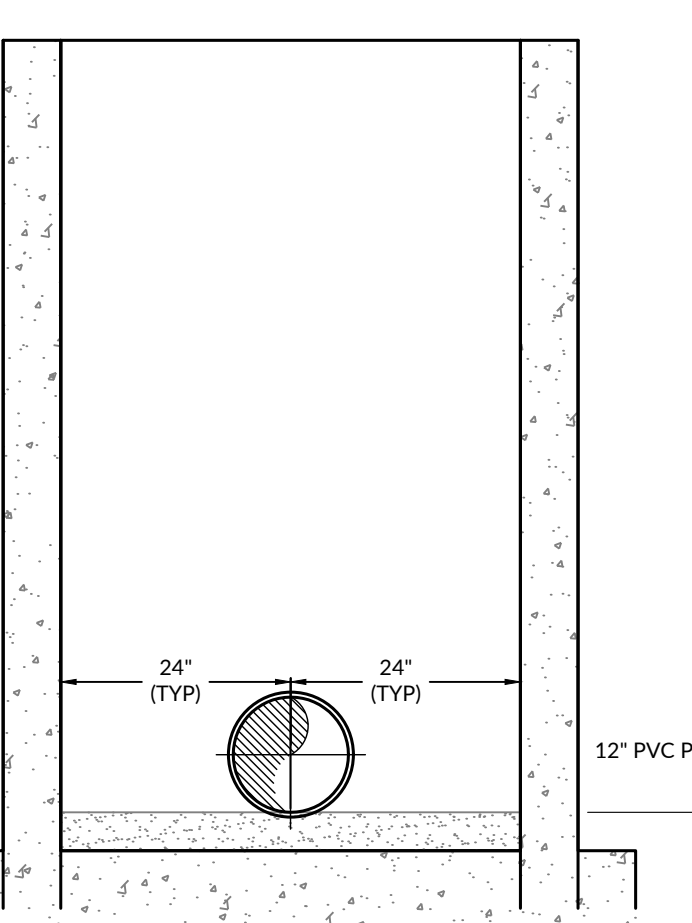
NORTHWEST



SOUTHEAST

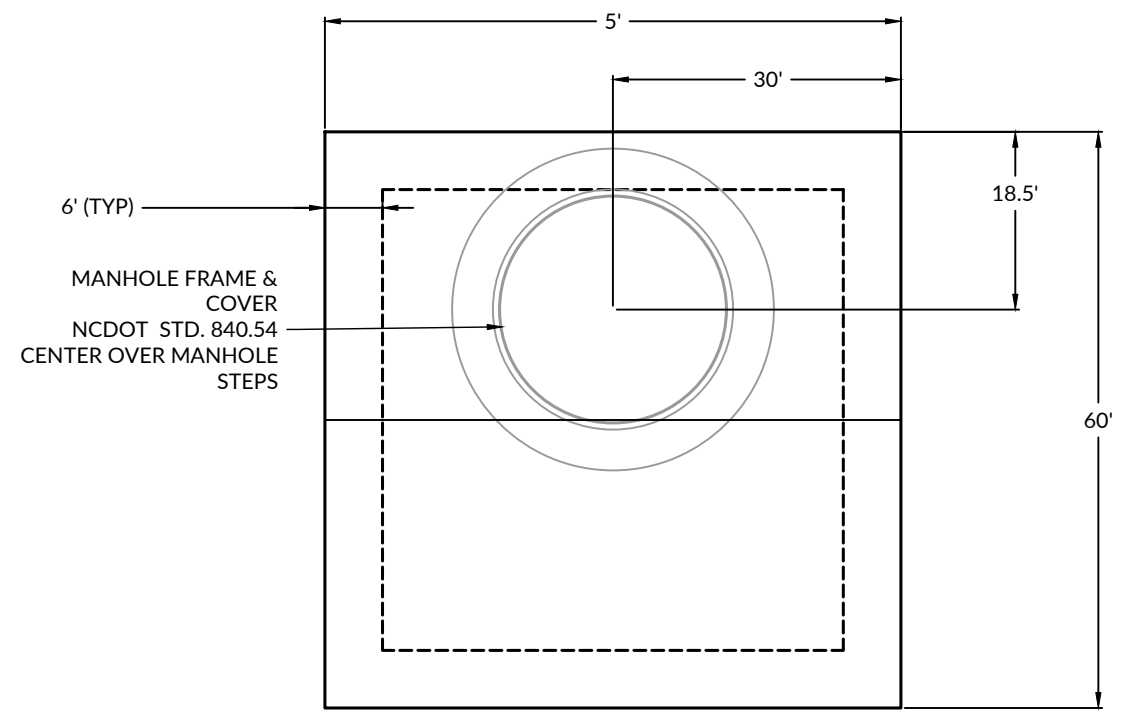


NORTHEAST



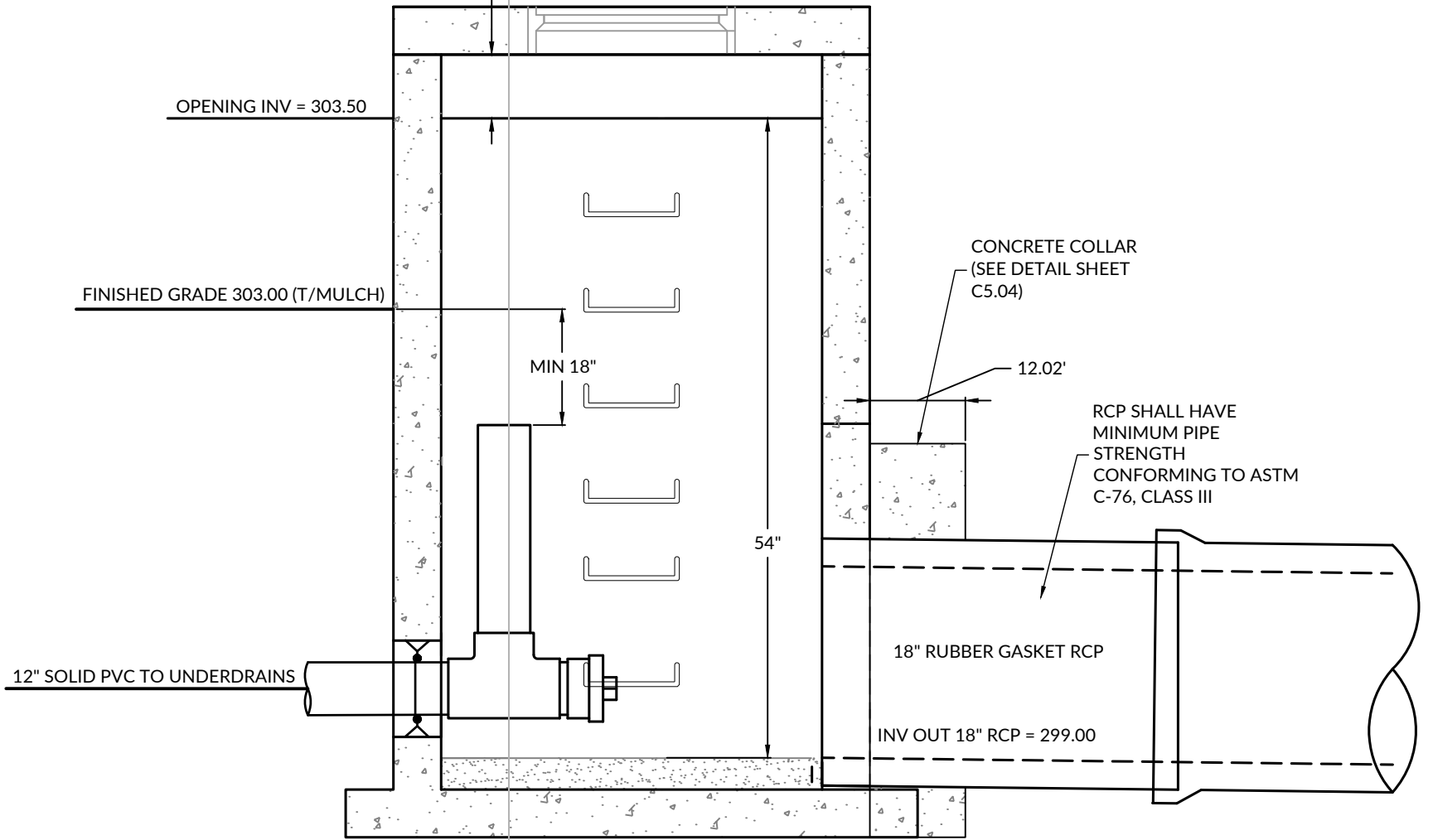
SCM 5 RISER WALL ELEVATIONS

NOT TO SCALE



SLAB TOP FOR RISER DETAIL

NOT TO SCALE



SCM 5 RISER DRAWDOWN DEVICE DETAIL

NOT TO SCALE

STORMWATER CONTROL MEASURE (SCM) NOTES:

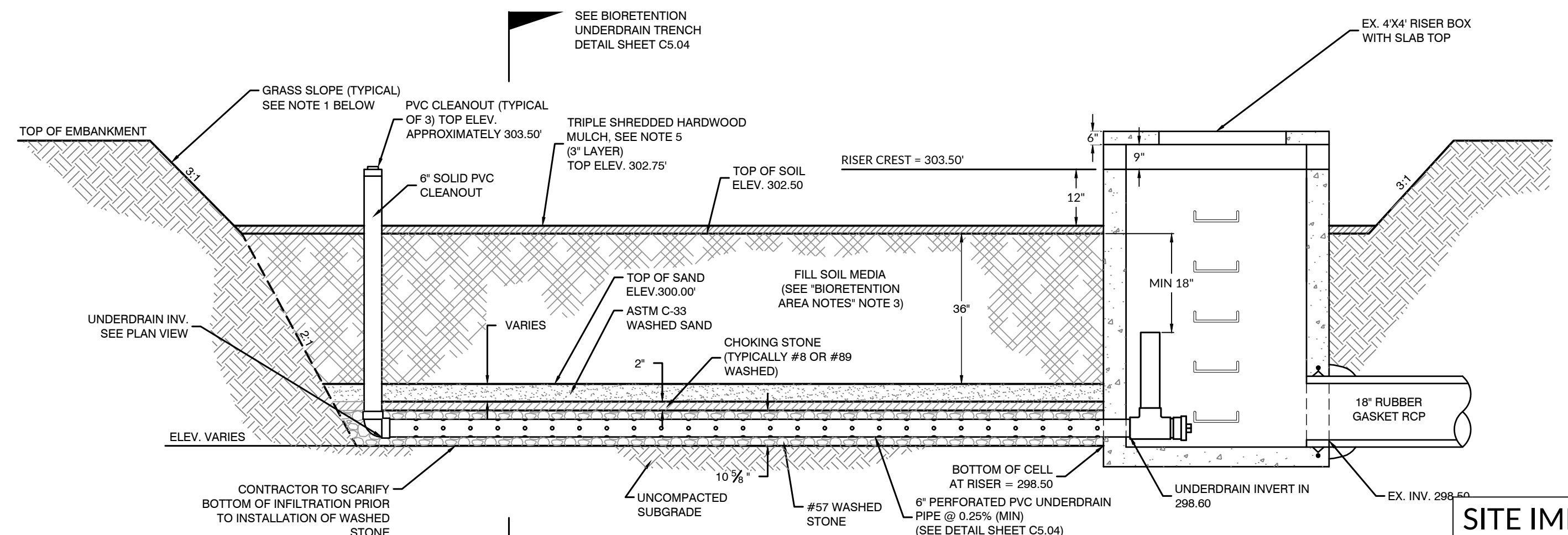
- PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE (I.E., MINIMUM DESIGN CRITERIA), AND LOCAL STANDARDS AND SPECIFICATIONS HEREBY INCORPORATED BY REFERENCE.
- STORMWATER CONTROL MEASURES ON THE PROJECT MUST BE LOCATED ON COMMON OPEN SPACE, HAVE AN ACCESS AND MAINTENANCE EASEMENTS LOCATED AROUND THEM AND INCLUDE AN OPERATIONS AND MAINTENANCE MANUAL AND MAINTENANCE AGREEMENT.
- GEOTECHNICAL ENGINEER SHALL EVALUATE SOILS FOR SUITABILITY OF DAM CONSTRUCTION AND SLOPE STABILITY. PROFESSIONAL CERTIFICATION OF EMBANKMENT CONSTRUCTION IS REQUIRED FOR AS-BUILT CERTIFICATION.
- DAM TO BE CONSTRUCTED PER THE FOLLOWING SPECIFICATIONS UNLESS SUPERSEDED BY GEOTECHNICAL ENGINEER'S RECOMMENDATIONS:
 - BORROW MATERIALS FOR USE AS EMBANKMENT FILL SHALL BE FREE OF ORGANICS, ROOTS AND OTHER WOODY VEGETATION OR ORGANIC DEBRIS. MATERIALS SHALL CONSIST OF SOILS WHICH CLASSIFY AS SC, SM, CL, CL-CH AND ML IN ACCORDANCE WITH THE UNIFIED CLASSIFICATION SYSTEM OR AS APPROVED BY THE GEOTECHNICAL ENGINEER WITH A MAXIMUM PARTICLE SIZE OF 3" IN MEAN DIAMETER.
 - FILL SHALL BE PLACED IN 8" (MAXIMUM) LOOSE LIFTS UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER. FILL SHALL BE BROUGHT UP BY BENCHING INTO THE EXISTING SLOPE. THE MAXIMUM HEIGHT OF 3FT SHALL BE USED FOR EACH BENCH LIFT TAKING CARE TO REMOVE ROOT STRUCTURES AS THE FILL PROCEEDS. SURFACE OF EACH LIFT SHALL BE SCARIFIED PRIOR TO PLACEMENT OF THE NEXT LIFT IN ORDER TO EFFECTIVELY TIE THE FILL LIFTS TOGETHER.
 - ALL COMPACTION SHALL BE TESTED BY THE SAND CONE METHOD (ASTM D-1556) OR NUCLEAR METHOD (ASTM D-6938) AT A RATE OF AT LEAST ONE TEST PER 5,000 SF PER ONE FOOT OF COMPACTED FILL THICKNESS IN GENERAL AREA FILLS AND ONE TEST PER LINEAL FEET PER LIFT ALONG THE BARREL. THE MINIMUM COMPACTION SHOULD BE 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698) AT MOISTURE CONTENTS VARYING FROM 2 PERCENT BELOW TO 3 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO WITHIN 3FT OF THE FINAL GRADE.
- EMBANKMENT AND SIDE SLOPES OF THE BASIN SHALL BE STABILIZED PER SEEDING SCHEDULE ON EROSION CONTROL DETAILS SHEET OR SOODED.
- ALL PERMANENT STRUCTURES (I.E. WEIR WALLS, ETC.) ARE TO BE INSTALLED WITH THE INITIAL DAM CONSTRUCTION.
- CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN APPROVAL BY EROSION CONTROL INSPECTOR IN ORDER TO REMOVE EROSION CONTROL DEVICES.
- ONCE ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN REMOVED, THE SCM SHALL BE CONVERTED TO A PERMANENT SCM.
 - ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 - INTERIOR GRADING AND VEGETATED AREAS SHALL BE CONSTRUCTED PER THIS PLAN.
 - VEGETATED SHELF SHALL BE PLANTED PER PLANT SCHEDULE ON LANDSCAPE PLAN SHEET
 - FINAL CERTIFICATION OF THE SCM BY A PROFESSIONAL ENGINEER IS REQUIRED.

PRECAST CONCRETE MATERIALS NOTES:

- ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C913 (RECTANGULAR) OR C478 (ROUND).
- ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C76, CLASS III (UNLESS OTHERWISE NOTED).
 - 2.1. G-RING JOINTS SHALL CONFORM TO ASTM C443 & ASTM C261.
 - 2.2. NON G-RING JOINTS SHALL CONFORM TO ASTM C990.

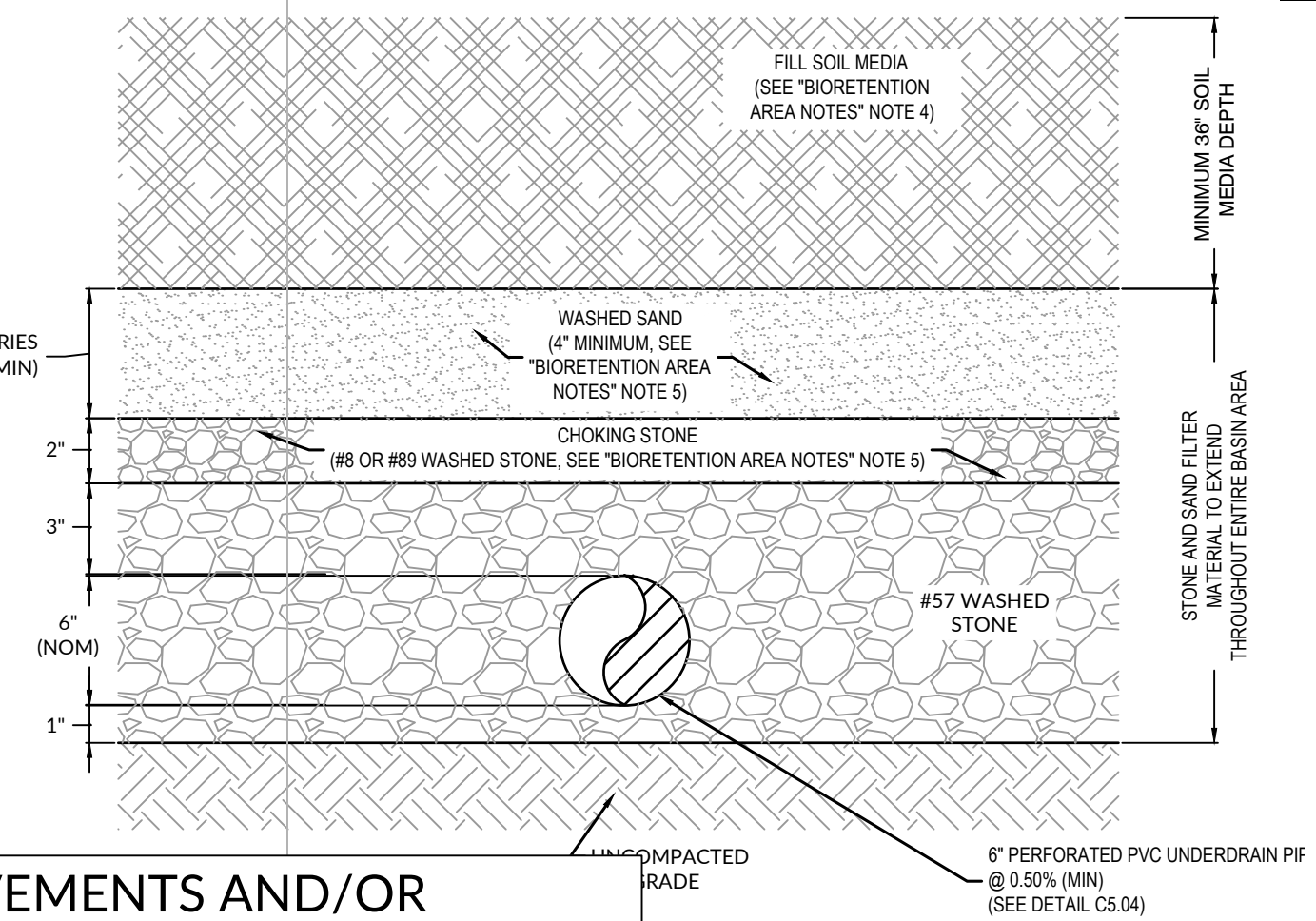
BIORETENTION AREA NOTES:

- NO MECHANICAL COMPACTION OR HEAVY EQUIPMENT SHALL BE USED DURING MEDIA OR LANDSCAPING INSTALLATION. ALL CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION.
- BOTTOM OF BIORETENTION AREA SHALL BE 2 FEET OR MORE FROM SEASONAL HIGH WATER TABLE. IF DURING CONSTRUCTION SEASONAL HIGH WATER TABLE IS FOUND TO BE WITHIN 2' OF BOTTOM OF BIORETENTION AREA, THEN ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR DESIGN MODIFICATIONS.
- THE SCM SHALL BE CONVERTED TO A BIORETENTION AREA ONLY AFTER THE SITE HAS BEEN STABILIZED.
- BIORETENTION AREA MEDIA SECTION TO COVER ENTIRE PLANTING SURFACE. BIORETENTION AREA MEDIA TO BE COMPRISED OF THE FOLLOWING:
 - 75% - 85% MEDIUM TO COARSE WASHED SAND (85% PREFERRED).
 - 8% - 10% FINES (CLAY & SILT) (8% PREFERRED).
 - 8% - 10% ORGANIC MATTER (7% PREFERRED).
 - PHOSPHORUS INDEX (P-INDEX) SHALL BE NO GREATER THAN 3.0.
 - THE MEDIA INFILTRATION RATE SHALL BE MINIMUM 2 IN/HR.
- THE CHOKING STONE LAYER MAY BE MODIFIED TO USE #78 STONE IN LIEU OF #8 OR #9 STONE. THE CHOKING STONE LAYER SHALL THEN BE COMPRISED OF 3" OF #78 STONE AND THE WASHED SAND LAYER SHALL THEN HAVE A MINIMUM THICKNESS OF 3".
- CONTRACTOR TO PROVIDE SOIL TEST DATA AND SAMPLES, FROM AN APPROVED TESTING LABORATORY, TO THE ENGINEER PRIOR TO CONSTRUCTION.
- NO FERTILIZER IS TO BE ADDED.
- BIORETENTION SHALL BE PLANTED PER LANDSCAPE PLAN ON SHEET L1.00.

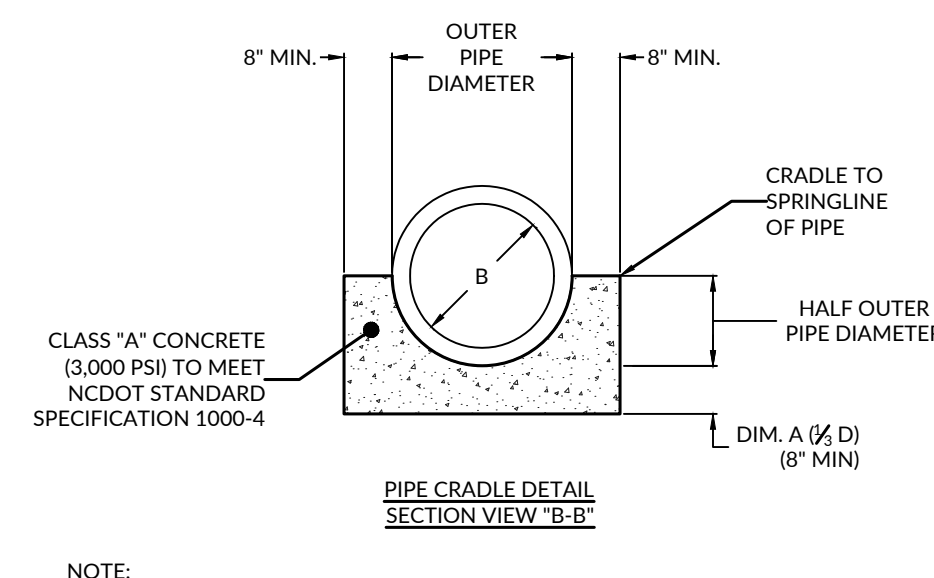
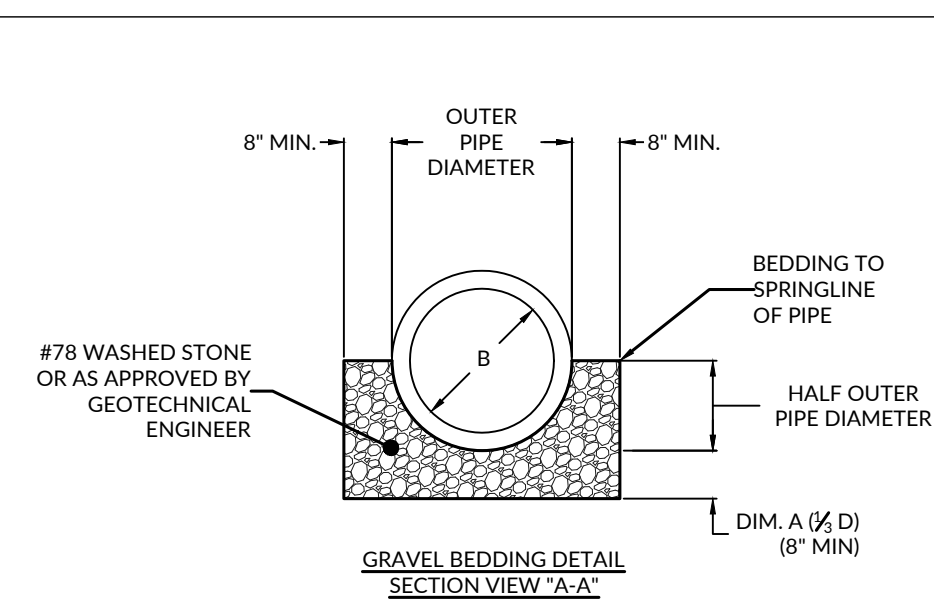
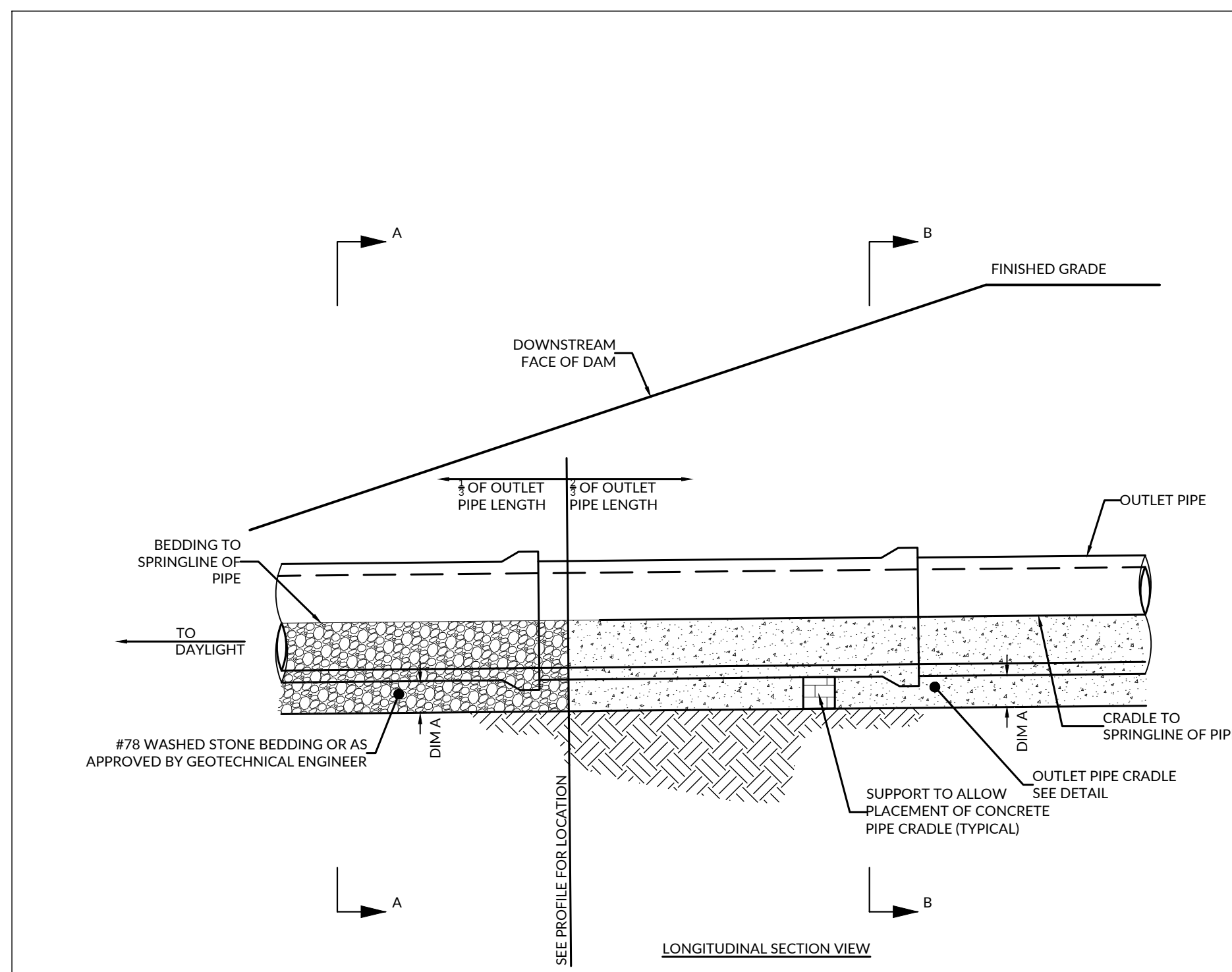


BIORETENTION MEDIA SECTION

NOT TO SCALE



SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

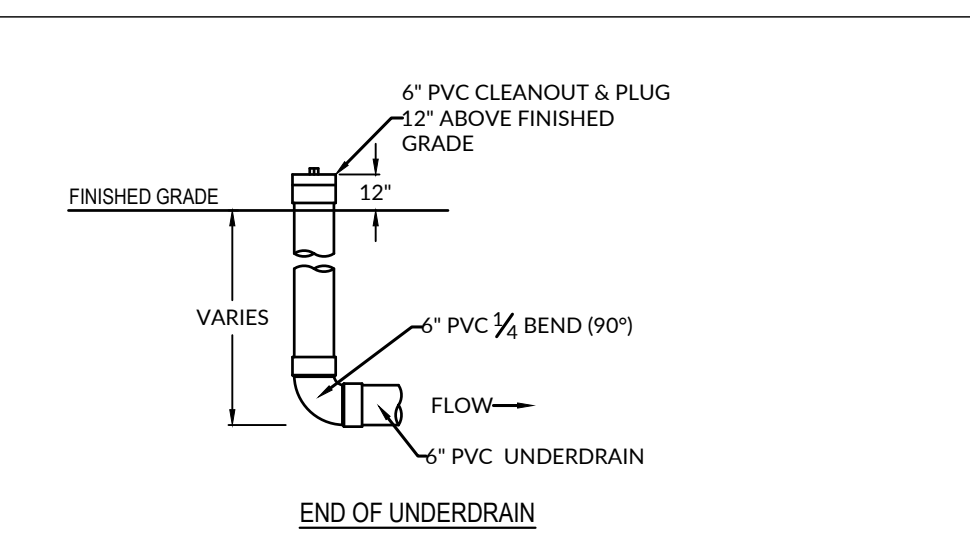


NOTE: IF PIPE IS INSTALLED IN EXCAVATED TRENCH, THEN SIDE WALLS MAY CONFORM TO TRENCH (TRENCH MAY BE USED AS CRADLE FORM)

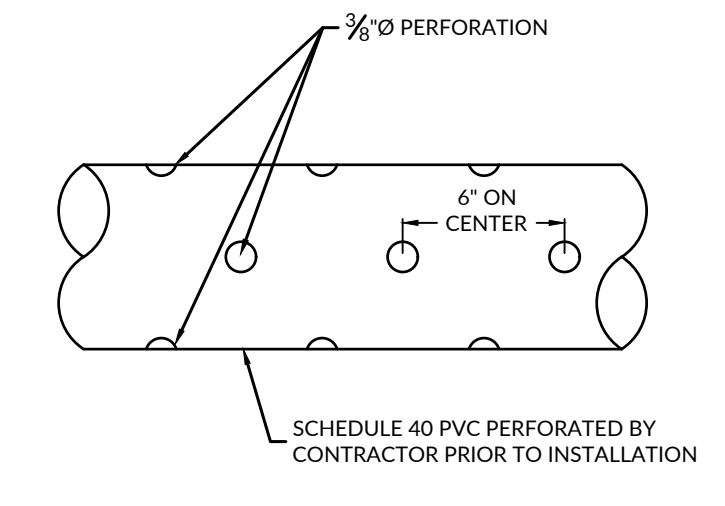
NOMINAL PIPE SIZE	DIM A* (1/2 D)	DIM B (PIPE ID)	DIM C (DIM A + 12")	SCM #
18	8	18	20	
24	8	24	20	
30	10	30	22	
36	12	36	24	
42	14	42	26	
48	16	48	28	

ALL DIMENSIONS IN INCHES
DIM A = 8" MINIMUM
18" MINIMUM PIPE DIAMETER

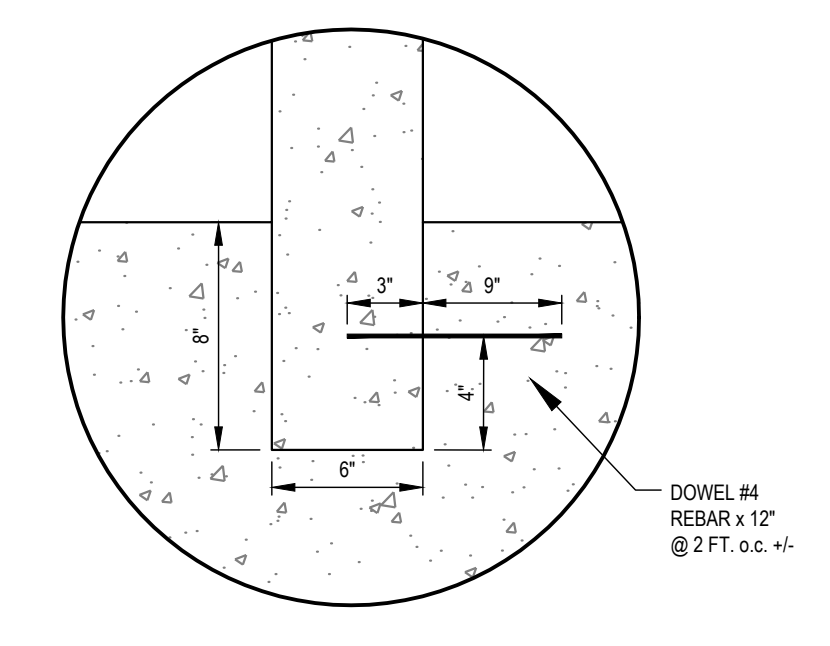
OUTLET PIPE, CONCRETE CRADLE, AND STONE BEDDING DETAIL
NOT TO SCALE



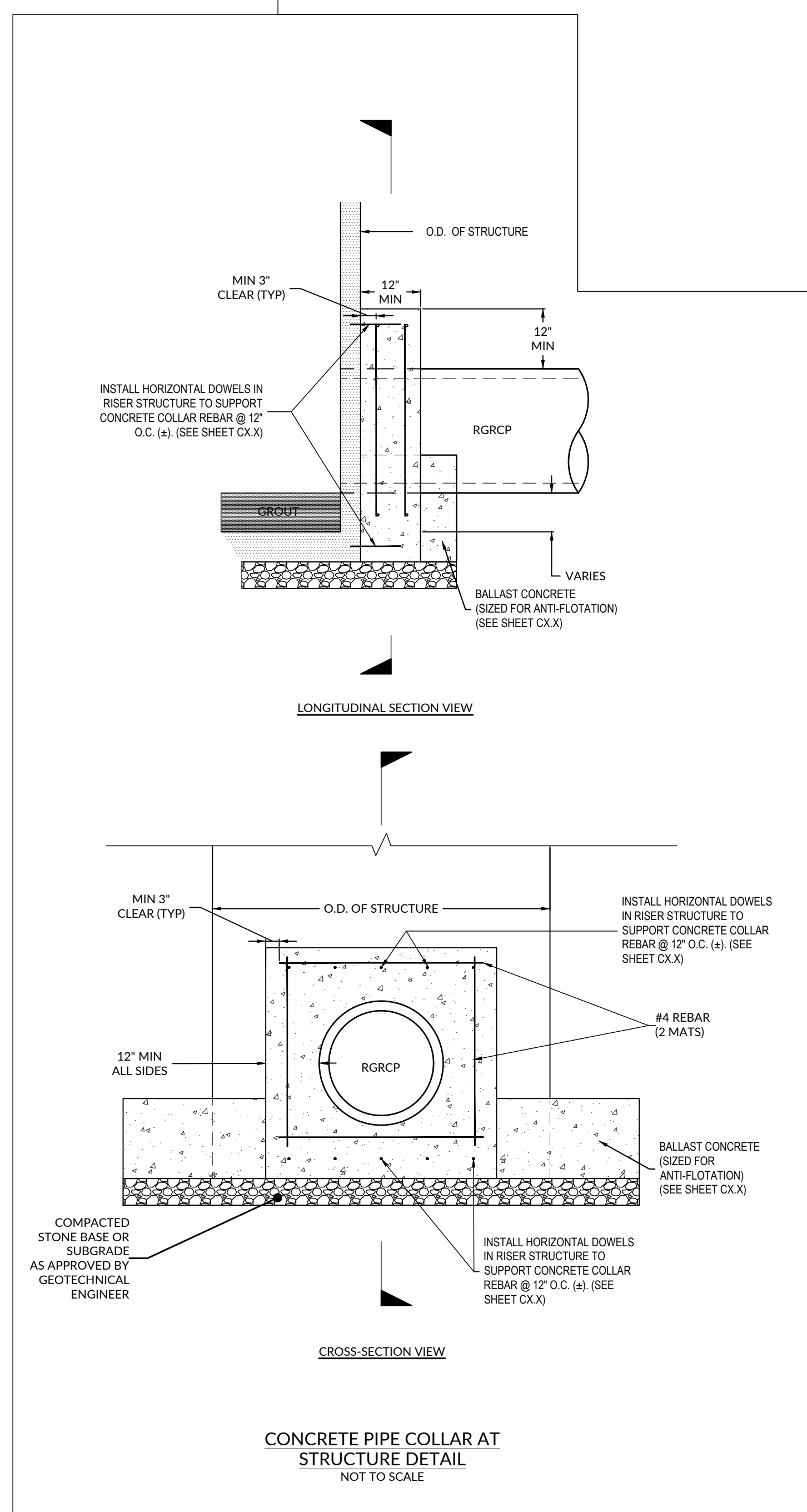
BIORETENTION UNDERDRAIN CLEANOUT
DETAIL
NOT TO SCALE



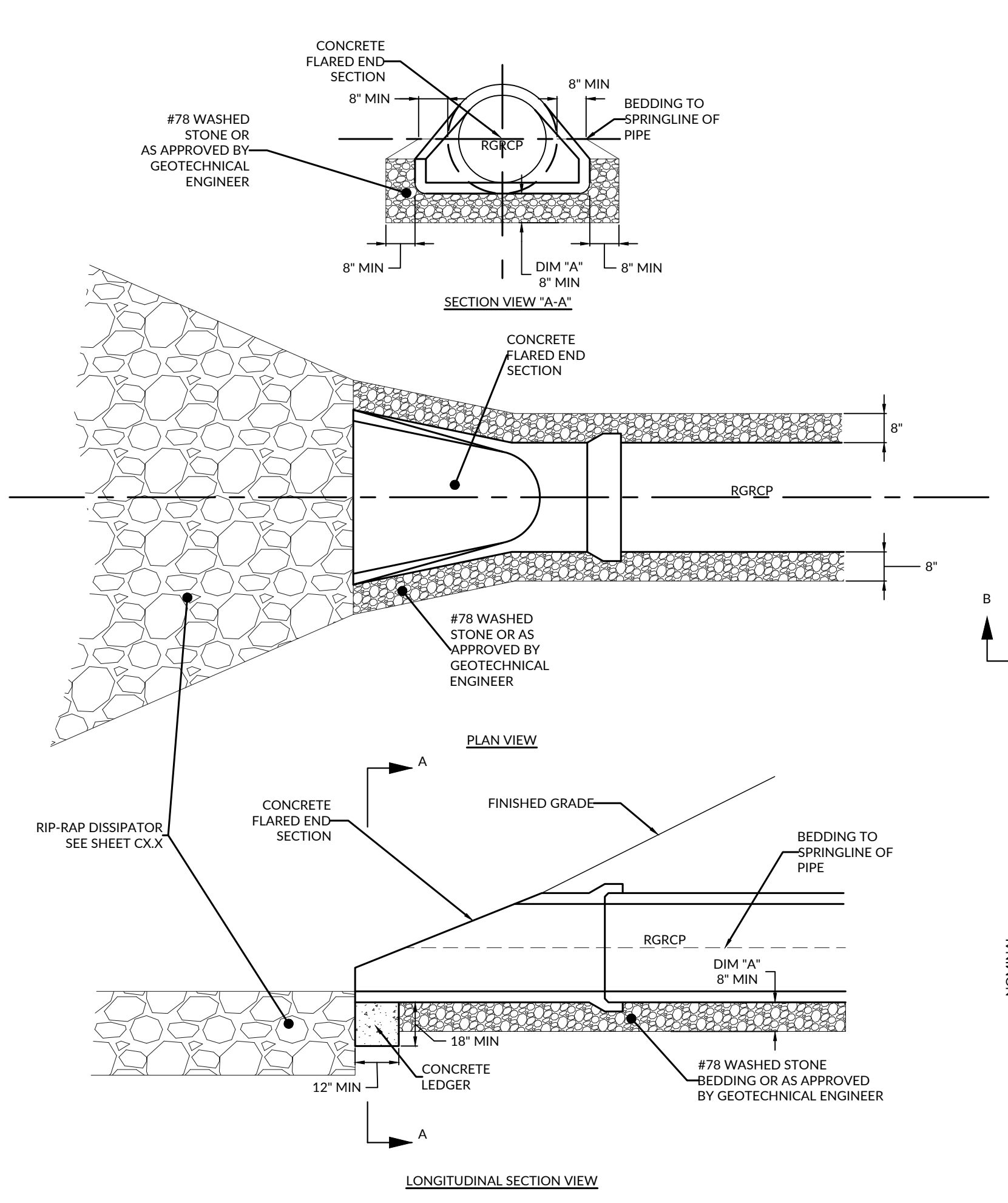
PERFORATED PVC UNDERDRAIN DETAIL
NOT TO SCALE



ANCHOR DETAIL (TYPICAL)
NOT TO SCALE



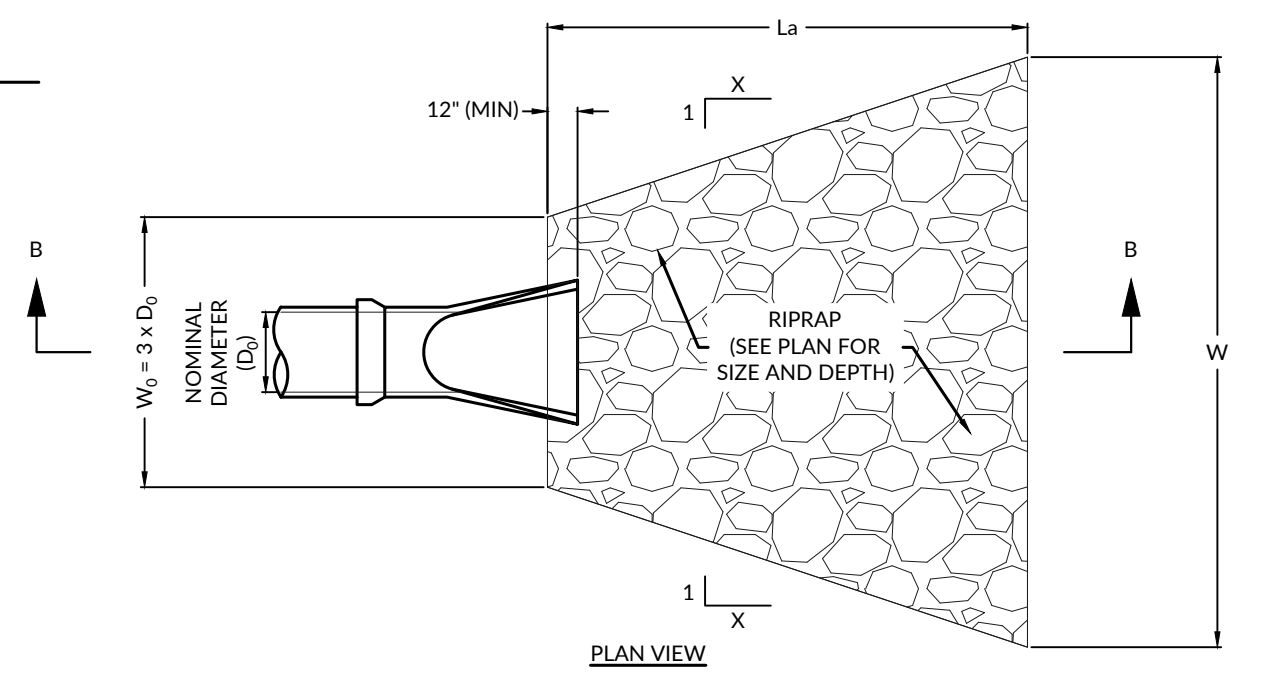
CONCRETE PIPE COLLAR AT
STRUCTURE DETAIL
NOT TO SCALE



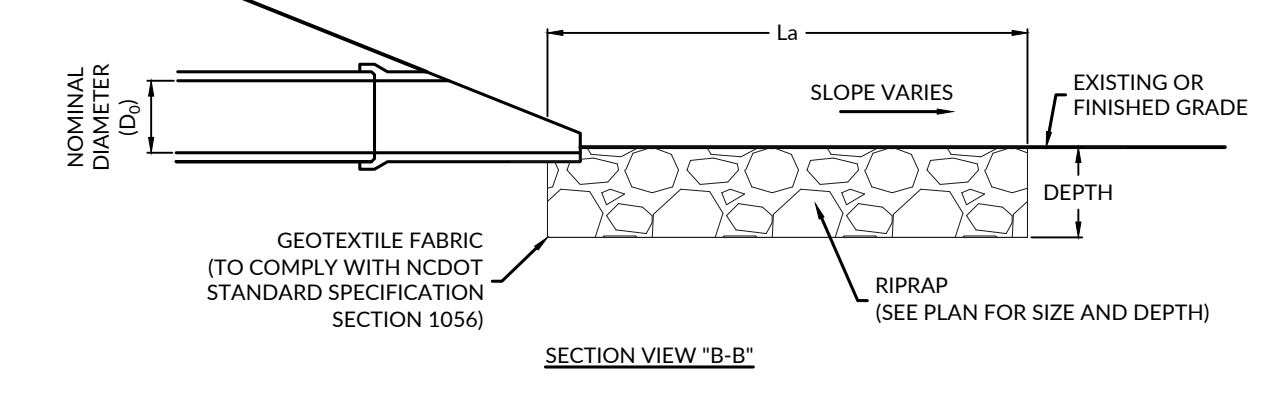
OUTLET DETAIL (FLARED END SECTION) & RIPRAP VELOCITY DISSIPATOR
(ADAPTED FROM HEC-14 & NYSDOT)
NOT TO SCALE

NOMINAL PIPE SIZE	DIM A* (1/2 D)	DIM B (PIPE ID)	DIM C (DIM A + 12")	SCM #
18	8	18	20	
24	8	24	20	
30	10	30	22	
36	12	36	24	
42	14	42	26	
48	16	48	28	

ALL DIMENSIONS IN INCHES
DIM A = 8" MINIMUM
18" MINIMUM PIPE DIAMETER

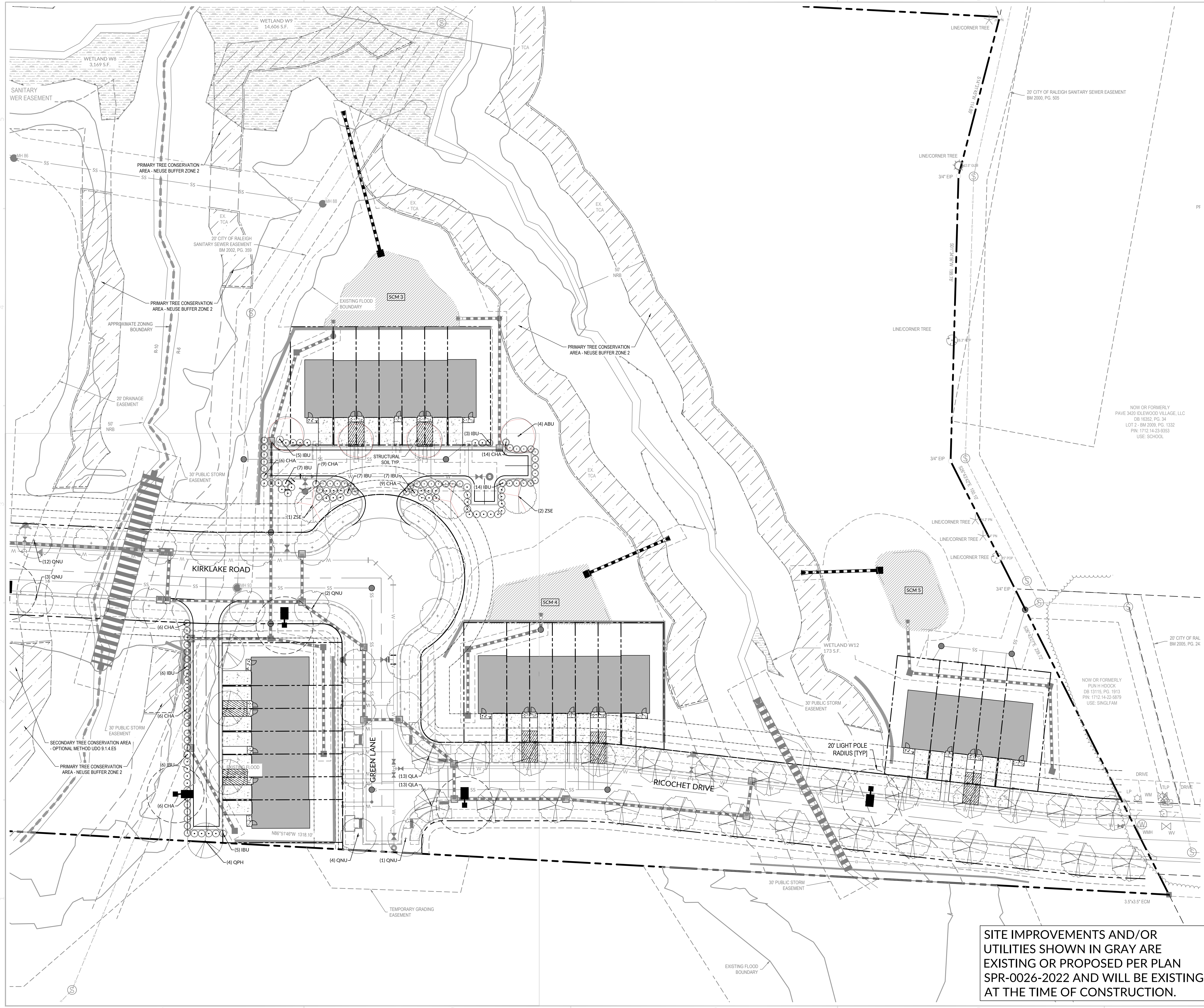


PLAN VIEW



SECTION VIEW 'B-B'

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



LANDSCAPE LEGEND:

SYMBOL	SYMBOL
10 UPPER STORY TREES	
ABU - ACER BUERGERIANUM	
JVI - JUNIPERUS VIRGINIANA	
MGR - MAGNOLIA GRANDIFLORA	
NSY - NYSSA SYLVATICA	
QLA - QUERCUS LAURIFOLIA	
QLY - QUERCUS LYRATA 'HIGHBEAM'	
QNU - QUERCUS NUTTALLII	
QPH - QUERCUS PHELLOS 'ASCENDOR'	
UAP - ULMUS AMERICANA 'PRINCETON'	
UPB - ULMUS PARVIFOLIA 'BOSQUE'	
ZSE - ZELKOVA SERRATA	
20 SHRUBS	
CHA - CEPHALOTAXUS HARRINTONIA 'DUKE GARDENS'	
DPI - DISTYLLIUM MYRICOIDES 'BLUE CASCADE'	
IBU - ILEX CORNUTA 'BURFORDII NANA'	
INE - ILEX CORNUTA 'NEEDLEPOINT'	
IGL - ILEX GLABRA 'SHAMROCK'	
LJA - LIGUSTRUM JAPONICUM 'EAST BAY'	
VAW - VIBURNUM AWABUKI 'CHINDO'	

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

PRELIMINARY SUBDIVISION PLAN
HADDONSTONE SUBDIVISION PHASE 4

3115 GARNER RD | RALEIGH, NORTH CAROLINA | WAKE COUNTY

STANLEY MARTIN HOMES
 RALEIGH, NC 27607

137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
 License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

our people • your success

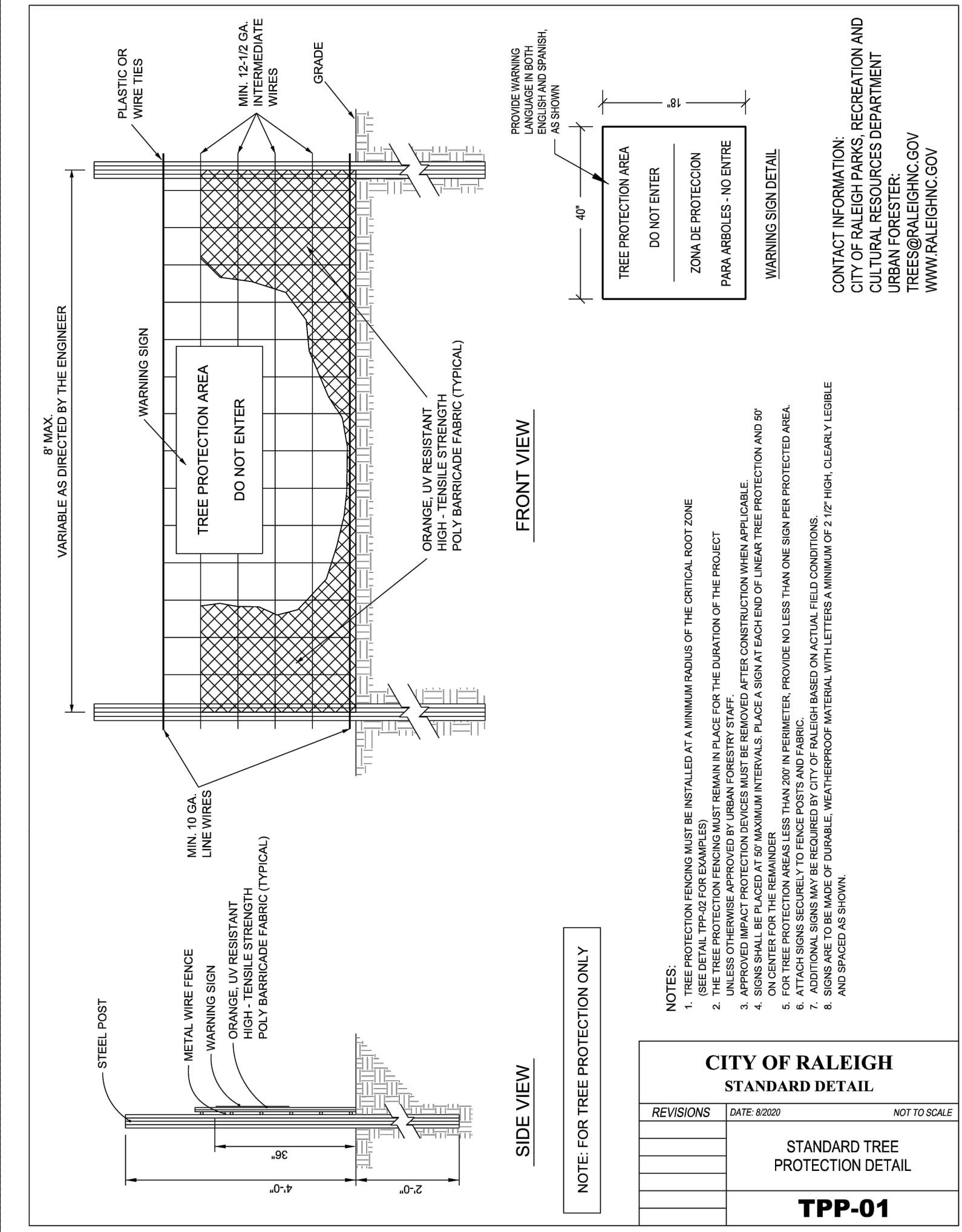
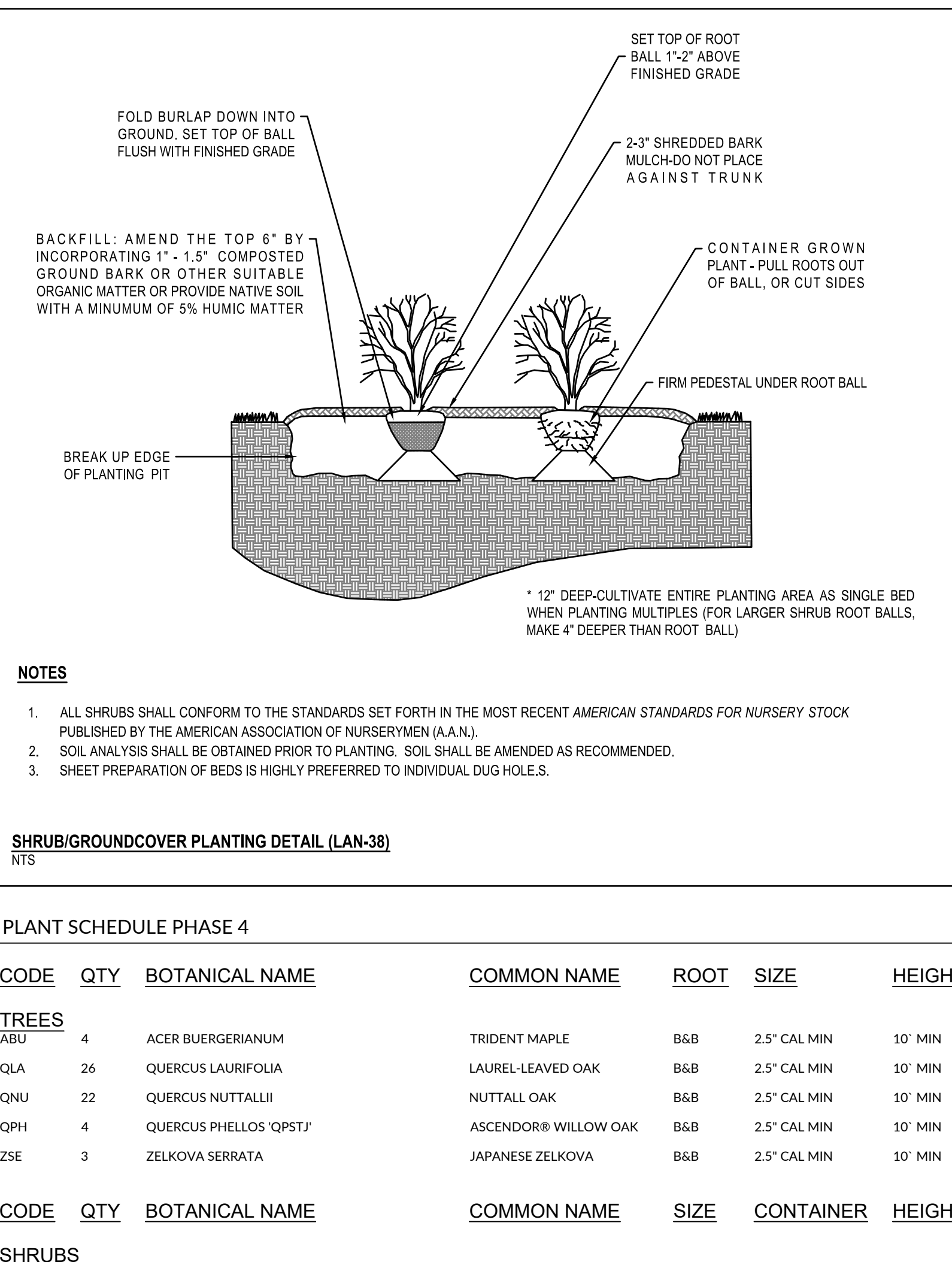
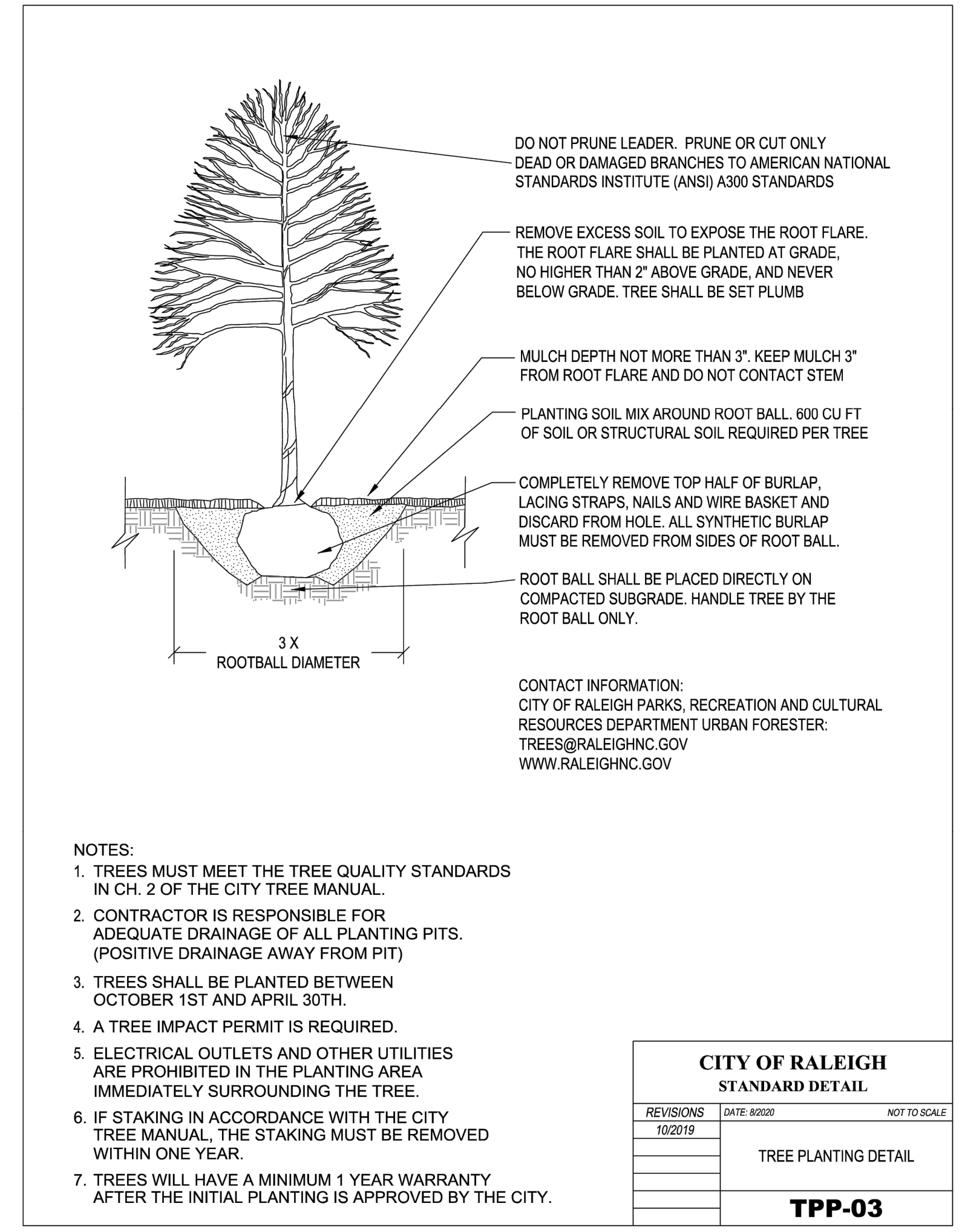
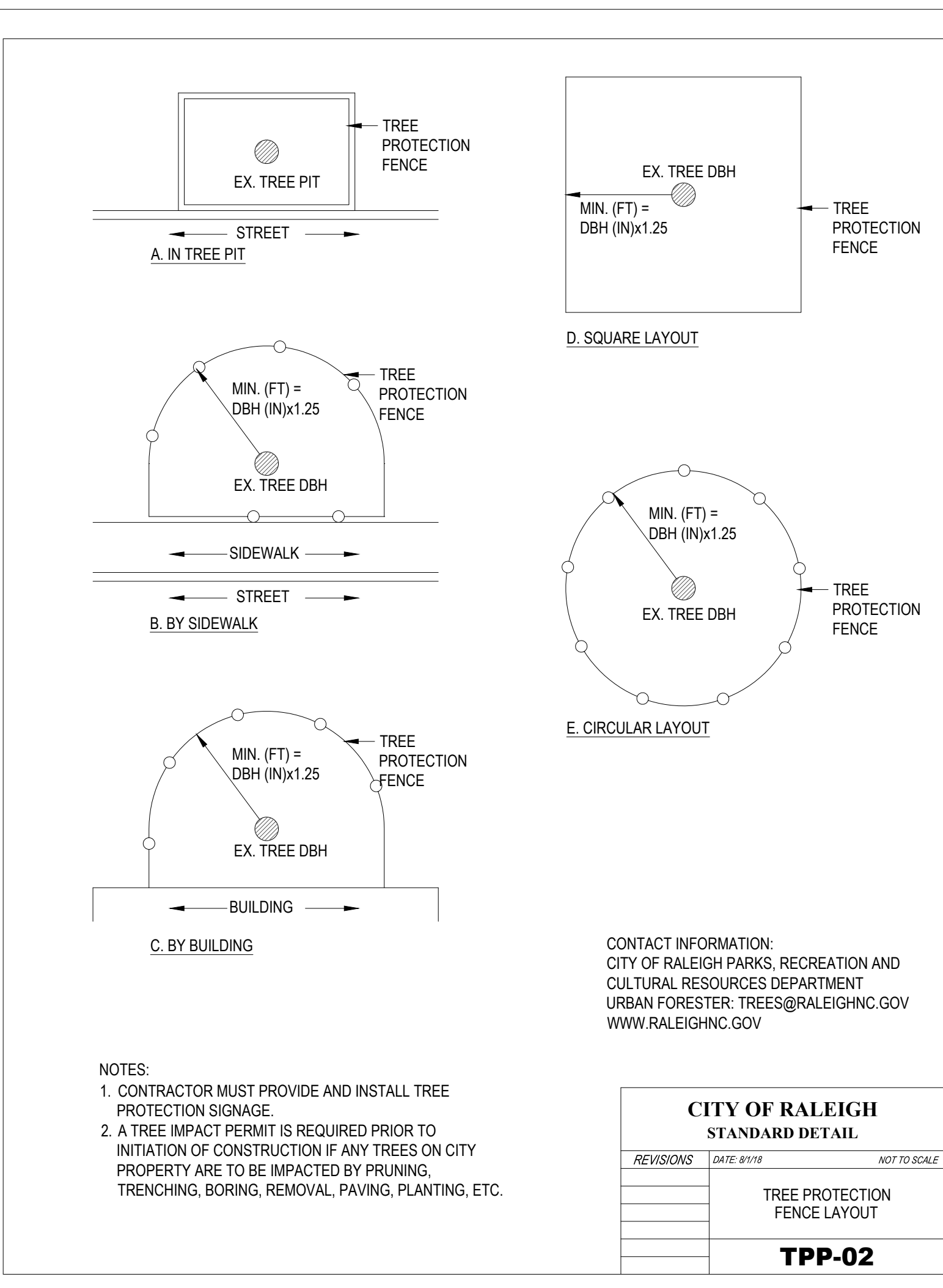
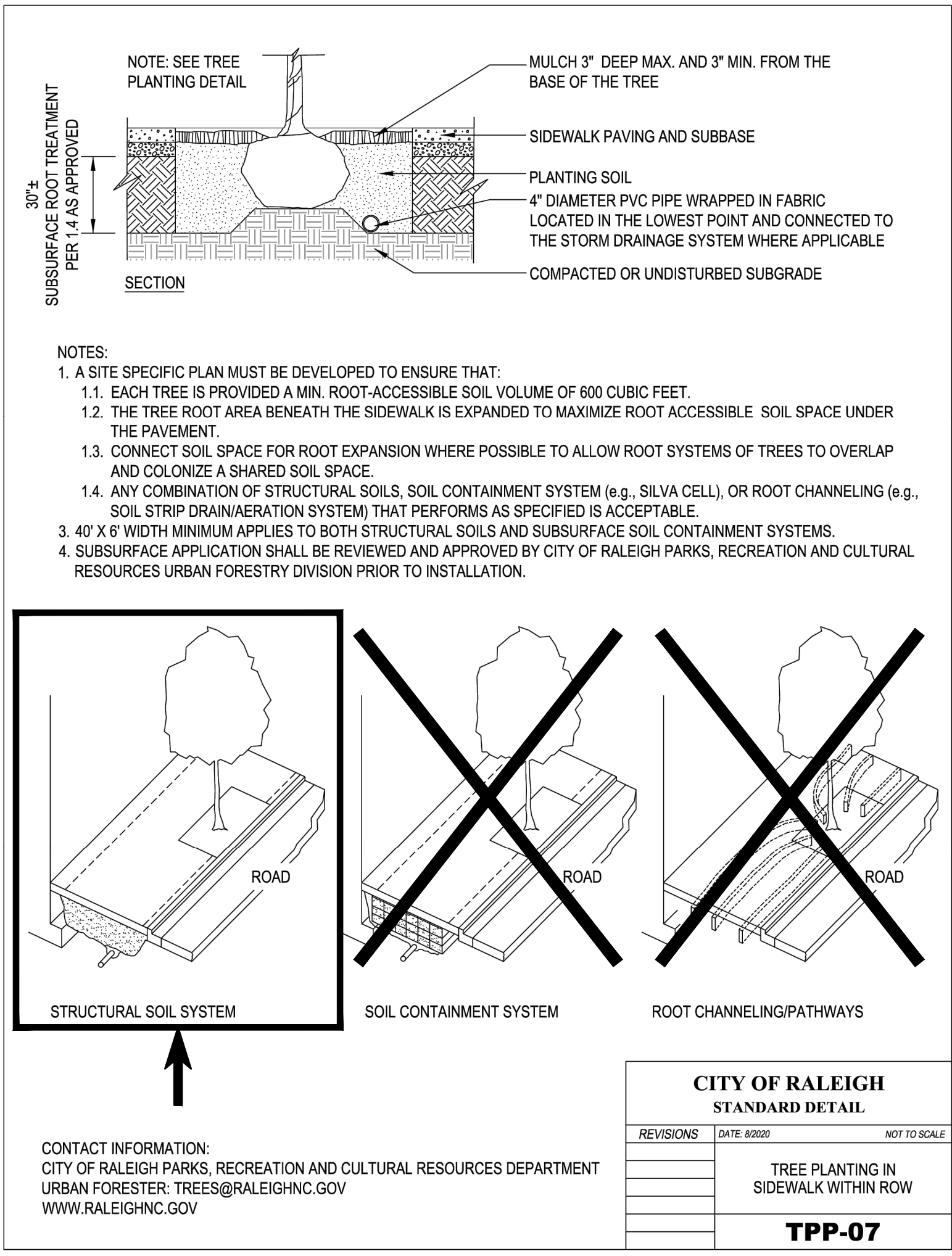
SCALE: 1 inch = 30 ft

INITIAL PLAN DATE: 04/05/2024
 REVISIONS:

WR JOB NUMBER: 02180729
 DRN: WR DGN: WR CKD: WR

LANDSCAPE PLAN

L1.00



LANDSCAPE NOTES:

- THE PLANNING AND DEVELOPMENT OFFICER CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
- A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE PLANNING AND DEVELOPMENT OFFICER DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE APPLICANT SHALL MAKE THE FOLLOWING ARRANGEMENTS TO SECURE A TEMPORARY CERTIFICATE OF COMPLIANCE.
- PRODUCE A CONTRACT BINDING FOR 1 YEAR FROM THE DATE APPROVED BY THE CITY FOR THE COMPLETION OF THE LANDSCAPE WORK. SUCH CONTRACT SHALL SPECIFY THAT THE WORK SHALL BE COMPLETED BEFORE OR DURING THE YEAR IMMEDIATELY FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE CITY SHALL NOT BE A PARTY OR A THIRD PARTY BENEFICIARY TO THE CONTRACT.
- THE APPLICANT SHALL ALSO AGREE IN WRITING THAT THEY, THEIR SUCCESSORS OR ASSIGNS, SHALL PROVIDE THE REQUIRED PLANTING WITHIN THE 1 YEAR PERIOD. AS A CONDITION FOR OBTAINING A CERTIFICATE OF COMPLIANCE FOR THE PRINCIPAL USE SO LONG AS THE PRINCIPAL USE SHALL CONTINUE, THE APPLICANT SHALL ALSO AGREE THAT THE PRINCIPAL USE SHALL BE DISCONTINUED IF THE REQUIRED PLANTING IS NOT PROVIDED. VIOLATIONS OF THESE PROVISIONS SHALL CONSTITUTE AN UNAUTHORIZED ILLEGAL OCCUPANCY OF THE PRINCIPAL USE.
- LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AREAS OR THE APPROACH TO ANY STREET INTERSECTION.
- ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
- PLANT MATERIALS MUST BE HARDY TO ZONE 7 IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE'S PLANT HARDINESS ZONE MAP.
- PLANT MATERIALS MUST BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
- TREE HEIGHT IS MEASURED FROM THE TOP OF THE ROOT BALL TO THE TOP OF THE MAIN STEM.
- TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15' FROM ANY OTHER TREE AND MEASURED FROM TREE TRUNK TO TREE TRUNK.
- ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE LOCALLY ADAPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF 35' OR GREATER UNLESS SUBJECT TO AN OVERHEAD POWER LINE IN WHICH CASE THE MATURE HEIGHT MAY BE LESS.
- ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 3" AND BE AT LEAST 10' TALL AT TIME OF PLANTING.
- UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE A LOCALLY ADAPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF AT LEAST 15' AND EXPECTED MATURE CROWN SPREAD OF AT LEAST 15'.
- SINGLE-STEM UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 1 1/2" AND BE AT LEAST 6' TALL AT TIME OF PLANTING.
- IN A PROTECTIVE YARD, 50% OF REQUIRED TREES SHALL BE LOCALLY ADAPTED EVERGREEN SPECIES. TREES SHALL BE DISTRIBUTED SO THAT THERE ARE NO HORIZONTAL GAPS BETWEEN TREES GREATER THAN 30' MEASURED ALONG THE PROPERTY LINE.
- IN A PARKING AREA, ALL SHRUBS TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED.
- IN A PROTECTIVE YARD, ALL SHRUBS PLANTED TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE EVERGREEN AND BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED.
- SHRUBS PLANTED IN A TYPE C2 STREET PROTECTIVE YARD SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 5' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED.
- WHERE A PROTECTIVE YARD IS ALSO A TREE CONSERVATION AREA, SHRUBS MUST BE PLANTED ADJACENT TO AND OUTSIDE THE TREE CONSERVATION AREA.
- SHRUBS CANNOT BE PLANTED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- WHERE A PROTECTIVE YARD IS ALSO A TREE CONSERVATION AREA, SHRUBS MUST BE PLANTED ADJACENT TO AND OUTSIDE THE TREE CONSERVATION AREA.
- NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

CITY OF RALEIGH (STREET DESIGN MANUAL):

6.18.1. STREET TREE PLANTING IN AN URBAN SETTING

THE PARKS AND RECREATION DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW, INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BY THE CITY. TREE RELATED ACTIVITIES ARE CONDUCTED IN ADHERENCE TO CITY OF RALEIGH MUNICIPAL CODE TREES AND VEGETATION, PART 9 CHAPTER 1, AND THE CITY TREE MANUAL, WHERE THE TRANSPORTATION MANUAL DEVIATES FROM THE REFERENCED MATERIALS THE MUNICIPAL CODE PART 9 CHAPTER 8 SHALL TAKE PRECEDENCE.

A. DEVELOPMENT AND LANDSCAPE PLAN REQUIREMENTS

- THE URBAN FORESTER OR DESIGNER SHALL REVIEW ALL SITE PLANS WITH TREES IN THE RIGHT OF WAY AND ON CITY OWNED OR CONTROLLED PROPERTY. THIS APPLICATION PROCESS DESCRIBES THE REQUIREMENTS FOR PLAN REVIEW, PERMITTING, TREE PROTECTION, STANDARD SPECIFICATIONS, TREE QUALITY, INSTALLATION AND MAINTENANCE.
- WHERE DEVELOPMENT ABUTS A STREET CONTROLLED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION TREES MAY NOT BE REQUIRED OR WILL FALL UNDER THE LANDSCAPE REQUIREMENTS OF THE STATE. THE CITY IS STILL REQUIRED TO REVIEW AND APPROVE ALL PROPOSED TREES IN THE RIGHT OF WAY.

B. APPLICATION PROCESS

THIS IS THE APPLICATION PROCESS FOR ACTIVITIES IMPACTING CITY TREES. IMPACTS INCLUDE BUT ARE NOT LIMITED TO PLANTING, REMOVAL, PRUNING, TRENCHING, BORING, EXCAVATING, FILING, FERTILIZING, TREATING FOR DISEASE OR INSECTS, INSTALLING DECORATIONS AND PLANTING.

- SUBMIT TREE IMPACT PERMIT REQUEST TO THE URBAN FORESTER
- ADDITIONAL DOCUMENTATION REQUIRED A.
 - SITE AND/OR LANDSCAPE PLAN
 - IDENTIFY PROPERTY BOUNDARIES AND RIGHTS OF WAY
 - LABEL STREETS AND OTHER PLAN ELEMENTS
 - OVERHEAD UTILITIES AND LIGHTING PLAN
 - IDENTIFY TREES FOR DEMOLITION AND PRESERVATION
 - LABEL, STREETS AND OTHER PLAN ELEMENTS
 - DEPICT TREE PROTECTION ZONES AND FENCING DETAIL
 - TREE SPECIES INCLUDING BOTANICAL NAME, INSTALLATION SIZE AND COUNTS
 - URBAN TREE PIT DETAIL AND SUBSURFACE ROOT TREATMENT IF APPLICABLE WITH 600CUFT MINIMUM SOIL REQUIREMENT.
 - ADHERENCE TO TREE QUALITY SPECIFICATIONS AND DETAIL
 - ADHERENCE TO TREE PLANTING SPECIFICATIONS AND DETAIL
 - TREE PROTECTION PLAN (WAIVED IF NO TREES IMPACTED WITHIN CRITICAL ROOT ZONE ON SITE)

6.18.1. TREE INFRASTRUCTURE, INSTALLATION AND MAINTENANCE STANDARDS

A. TREES IN SIDEWALKS, PITS AND GRATES AND TREE LAWN

- A TREE MAINTENANCE FEE SHALL BE ASSESSED AT THE TIME OF PERMIT ISSUANCE FOR EACH STREET TREE INSTALLED. THIS SHALL BE INCLUDED IN THE FEE SCHEDULE.

TREE PIT

- NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE PIT OR GRATE (UTILITIES BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE).
- TREES SHALL BE CENTERED IN THE PIT.
- TREE PITS SHALL ACCOMMODATE A DEPTH OF 30 INCHES OF PLANTING SOIL.
- DRAINAGE SHALL BE PROVIDED.

TREE LAWN

- MINIMUM 6 FEET WIDE TREE LAWN.
- TREES CENTERED IN AREA.
- NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE LAWN (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE).
- 600 CUBIC FEET OF ENGINEERED STRUCTURAL SOIL WITH ORGANIC MATTER IN THE SURROUNDING 20 FOOT AREA WHERE THE TREE IS TO BE PLACED.
- IN CIRCUMSTANCES WHERE A 30 INCH DEPTH OR A 200 FOOT LIMIT OF STRUCTURAL SOIL IS UNACHIEVABLE REFER TO THE OPTIONS BELOW PROVIDED BY THE URBAN FORESTER.

B. REQUIRED SUBSURFACE ROOT EXPANSION

- HIGH QUALITY TOP SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL VOLUME REQUIREMENT.
- REQUIRED MINIMUM 600 CUBIC FEET.
- EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME. URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LED MATERIALS AND TECHNOLOGY.

SELECT ONE OR MORE OPTIONS BELOW

- STRUCTURAL SOIL PIT THAT EXTENDS BENEATH SURROUNDING PAVEMENT.
- SUBSURFACE SOIL CONTAINMENT STRUCTURE
- MINIMUM 6 PATHS FROM EACH TREE, 3 ON EACH SIDE 20' MINIMUM EXTENSION FOR EACH PATH. CONNECT TO ADJACENT PIT PATH.
- SUSPENDED PAVEMENT
- WHEN ROOT EXPANSION PATHS EXTEND UNDER SIDEWALKS, ENSURE MINIMUM DENSITY REQUIREMENTS ARE MET.

C. PLANTING STANDARDS

- ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
- AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300, AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036
- AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1226 TOWN CENTER STREET, NEW SUITE 500, WASHINGTON, D.C. 20005
- HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORUM, 1976, MACMILLAN PUBLISHING CO., NEW YORK

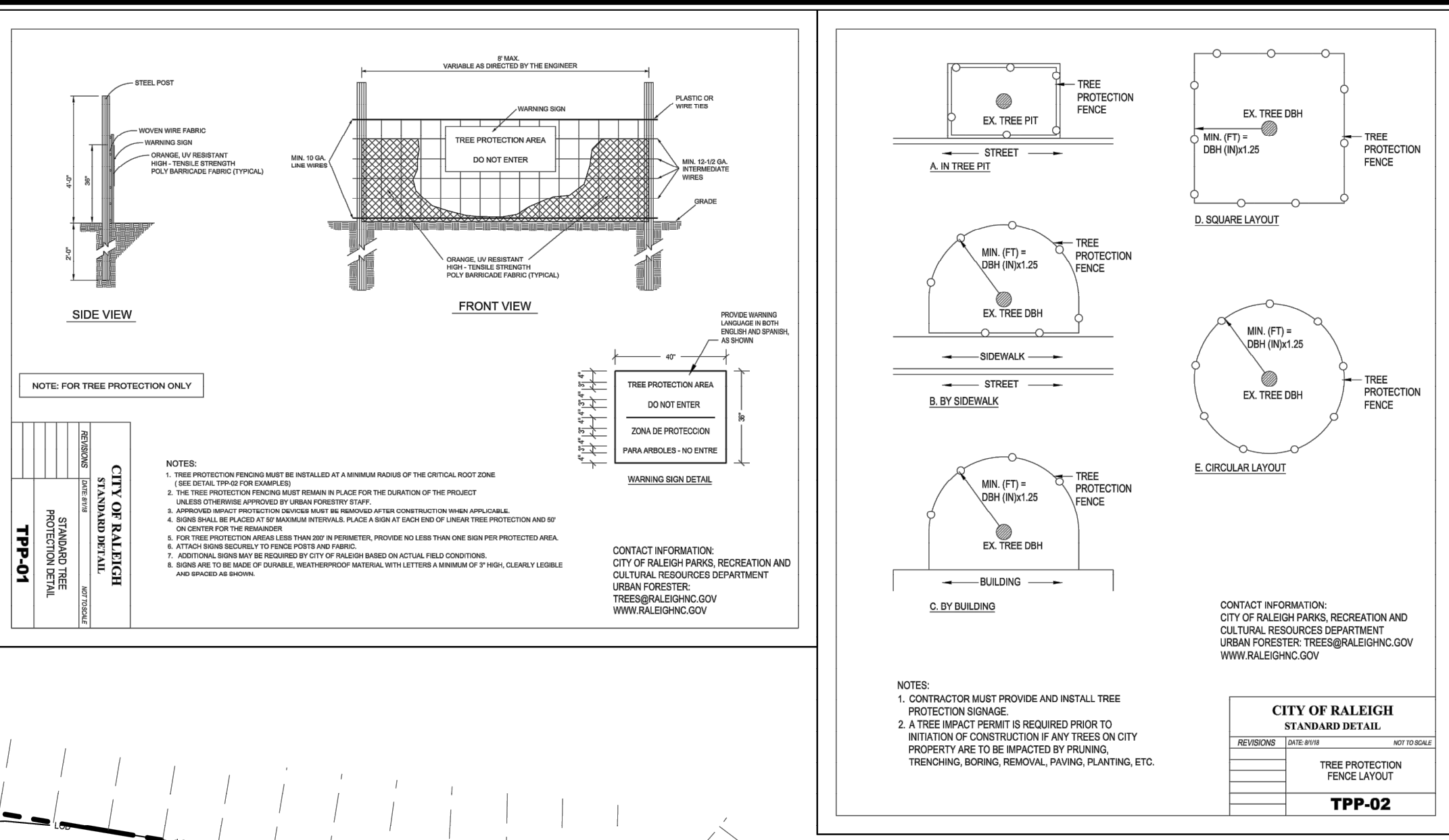
SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

THE PLAN ON THIS SHEET SHOWS THE EXTENTS OF EXISTING APPROVED TCA ON THE HADDONSTON SUBDIVISION, AS PROPOSED WITH SPR-0026-2022. THIS SHEET IS INCLUDED TO SHOW THE EXISTING TCA ON THE PHASE 4 SITE. THIS SHEET IS SHOWN FOR REFERENCE ONLY AND IS NOT TO SCALE. FOR ADDITIONAL INFORMATION, PLEASE REFER TO SPR-0026-2022.

DocuSign Envelope ID: B58DE299-08C7-4803-8588-59C4D4069360

TCA #2 - SECONDARY TREE CONSERVATION AREA			TCA #3 - SECONDARY TREE CONSERVATION AREA		
Plot 1	Type	Basal Area	Plot 3	Type	Basal Area
9	Pine	0.441774	11	Sweet Gum	0.60994
4	Ash	0.9086	7	Hard Wood	0.267246
28	Pine	4.275936	9	Maple	0.441774
13	Sweet Gum	0.267246	14	Sweet Gum	1.068984
16	Yellow Poplar	1.396224	10	Hard Wood	0.5454
14	Pine	1.068984	3	Ash	0.404986
7	Hard Wood	0.267246	9	Hard Wood	0.441774
			7	Hard Wood	0.267246
			22	Yellow Poplar	2.639736
Plot 1	Total	133	Plot 3	Total	66
Plot 2	Total	157	Plot 4	Total	59
Basal Area		145 SF/AC	Basal Area		63 SF/AC

TCA #4 - SECONDARY TREE CONSERVATION AREA			TCA #5 - SECONDARY TREE CONSERVATION AREA		
Plot 5	Type	Basal Area	Plot 6	Type	Basal Area
7	Maple	1.068984	13	Poplar	0.141804
14	Hard Wood	1.068984	30	Poplar	0.10908
9	Hackberry	0.441774	26	Loblolly Pine	0.283608
5	Dogwood	0.13635	28	Loblolly Pine	0.305434
4	American Holly	0.087264	24	Loblolly Pine	0.261792
4.5	American Holly	0.1104435	Plot 6	Total	115
14	White Oak	1.068984			
11	White Oak	0.659934	Plot 7	Type	Basal Area
8	White Oak	0.349256	30	Loblolly Pine	0.32724
7	Hard Wood	0.267246	14	Loblolly Pine	0.152712
10	Hard Wood	1.5454	4	Dak	0.048332
14	Hard Wood	1.068984	23	Loblolly Pine	0.22968
Plot 5	Total	67	Plot 7	Total	58
Basal Area		67 SF/AC	Basal Area		107 SF/AC



Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

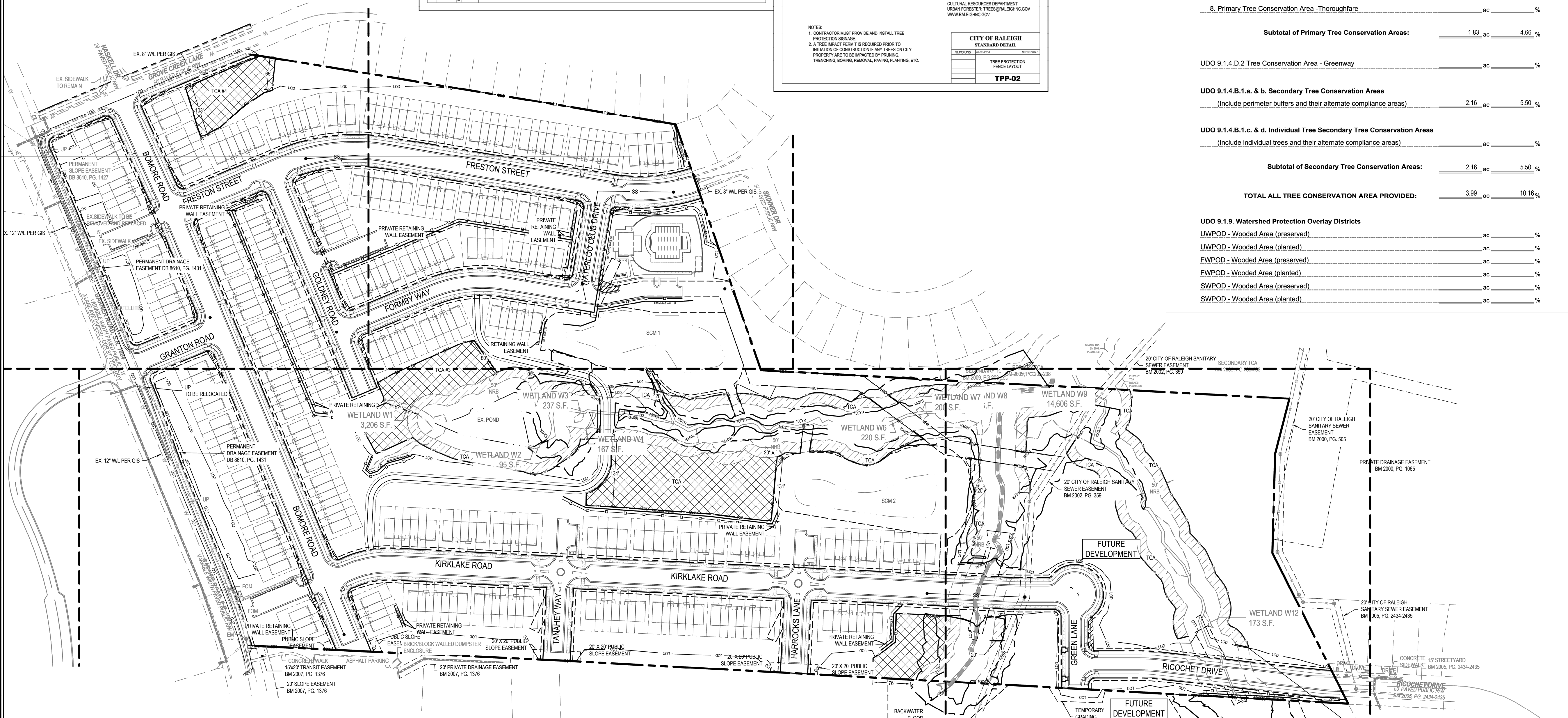
Project Name: HADDONSTONE SUBDIVISION

Gross Site Acres:	46.48	ac
Right-of-way to be dedicated with this project:	7.20	ac
Net Site Acres:	39.28	ac

	Number of Acres	Percent of Tract
1. Primary Tree Conservation Area - SHOD 1	0	%
1. Primary Tree Conservation Area - SHOD 2	0	%
2. Primary Tree Conservation Area - Parkway Frontage	0	%
3. Primary Tree Conservation Area - CM	0	%
4. Primary Tree Conservation Area - MPOD	0	%
5. Primary Tree Conservation Area - Champion Tree XX" dbh species	0	%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	1.83	4.66%
7. Primary Tree Conservation Area - 45% Slopes	0	%
8. Primary Tree Conservation Area - Thoroughfare	0	%
Subtotal of Primary Tree Conservation Areas:	1.83	4.66%
UDO 9.1.4.D.2 Tree Conservation Area - Greenway	0	%
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (include perimeter buffers and their alternate compliance areas)	2.16	5.50%
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (include individual trees and their alternate compliance areas)	0	%
Subtotal of Secondary Tree Conservation Areas:	2.16	5.50%
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	3.99	10.16%

UDO 9.1.9. Watershed Protection Overlay Districts

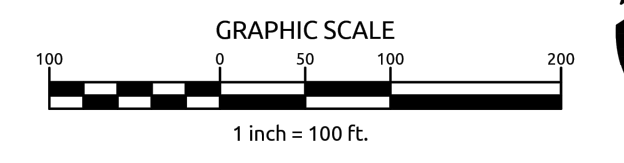
UWPOD - Wooded Area (preserved)	0	%
UWPOD - Wooded Area (planted)	0	%
FWPOD - Wooded Area (preserved)	0	%
FWPOD - Wooded Area (planted)	0	%
SWPOD - Wooded Area (preserved)	0	%
SWPOD - Wooded Area (planted)	0	%



LEGEND:

- PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2
- SECONDARY TREE CONSERVATION AREA - OPTIONAL METHOD UDO 9.1.4.E5
- TREE PROTECTION FENCING

- NOTES:**
- SECONDARY AREAS SHALL UTILIZE THE OPTIONAL METHOD DESCRIBED IN THE UDO 9.1.4.E.5. THESE AREAS SHALL MEET THE MINIMUM AREA OF 8,700 SQUARE FEET, DIMENSIONAL REQUIREMENTS EQUAL TO OR ABOVE 65 FEET IN ANY ONE DIRECTION, AND BASAL DENSITY OF 60 SQUARE FEET PER ACRE OR GREATER.
 - AN INVASIVE SPECIES REMOVAL AND MAINTENANCE PLAN MUST BE COMPLETED FOR ALL APPROVED TCA PLOTS BEFORE FINAL APPROVAL BY THE CITY OF RALEIGH URBAN FORESTER.
 - NO DISTURBANCE SHALL OCCUR IN ANY AREA DESIGNATED AS TCA.
 - WITHIN EACH 50-FOOT LINEAR INCREMENT OF ZONE 2 NEUSE RIVER RIPARIAN BUFFERS, MPOD NATURAL RESOURCE BUFFER YARDS OR GREENWAY TREE CONSERVATION AREAS THAT DO NOT CONTAIN TREES, A MINIMUM OF 2 SHADE TREES TO ENHANCE THE RIPARIAN BUFFER MUST BE PLANTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - PLANTED SHADE TREES MUST BE AT LEAST 10 GALLON CONTAINER SIZE AND FREE OF CIRCLING ROOTS AT TIME OF PLANTING.
 - REFER TO 3.0 LANDSCAPE PLAN LIST FOR PLANTED TREE QUANTITIES AND DETAILS. TRIM ALL SHRUB AND HERBACEOUS VEGETATION TO 6" HEIGHT OR LOWER IN ALL NRB ZONE 2 AREAS WITH PROPOSED TREE PLANTING.



CITY OF RALEIGH PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all applicable requirements for development and construction. The property owner, design consultants and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval will only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be relied upon if issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval: Jenae Harshbarger, City of Raleigh Review Officer

Job No.	02180729	Drawn By	WR
Date	3/31/2023	Designer	WR
Revisions			
Sheet No.	L1.0		

Site Permit Review Plans for HADDONSTONE SUBDIVISION
RALEIGH, NORTH CAROLINA

