

Administrative Approval Action

Case File / Name: SUB-0019-2024
DSLCL - Haddonstone

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 8.50 acre site zoned R-6 is located on the east end of Haddonstone Subdivision (SUB-0068-2019) which is on the east side of Garner Road at 3115 Garner Road. Phase 4 is located at the intersections of Kirklake Road, Unadila Lane, and Ricochet Drive of Haddonstone Subdivision.

REQUEST: This is development of Phase 4 of Haddonstone Subdivision (SUB-0068-2019). This is a subdivision to create 26 residential townhome lots and three community lots to be owned by a homeowner's association.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 9, 2024 by Kylie Hyman.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Some street right of way shown as "existing" on this townhome subdivision actually is being approved with subdivision SUB-0068-2019 (sunset extension approved on 8/28/24). Recordation of the earlier subdivision SUB-0068-2019 is required prior to SPR approval of this phase 4 (SUB-0019-2024).
2. Please number and label all HOA/community lots outside of the 26 residential lots on the proposed subdivision sheet for platting purposes and clarity.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).



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5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Provide documentation indicating a Property Owner's Association has been established for the subject development.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
6. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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8. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 11 street trees along Kirkland Road, 11 street trees along Kirkland Road, 23 street trees along Ricochet Drive.
7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

VICINITY MAP



SITE DATA TABLE

CITY OF RALEIGH PROJECT NO.	SUB-0019-2024
PARCEL PIN NO.	1712039650, 1712038097
OWNER	STANLEY MARTIN HOMES 4020 WESTCHASE BLVD., BLDG 1, STE. 470 RALEIGH, NC 27607
SITE ADDRESS	3115 & 3215 GARNER ROAD, RALEIGH, NC 27610
DEED BOOK AND PAGE	DB 017835 PG 01917
ZONING	R-6
ZONING CONDITION	N/A
OVERLAY DISTRICT	NONE
GROSS SITE AREA	46.68 AC (ENTIRE SUBDIVISION) 8.50 AC (APPROX. PHASE 4 AREA ONLY)
LIMITS OF DISTURBANCE	± 3.05 AC.
WATERSHED	WALNUT CREEK (NEUSE RIVER)
EXISTING USE	OPEN LOT
PROPOSED USE	SINGLE FAMILY TOWNHOME, OPEN LOT
TOTAL LOTS (EXISTING)	317 (ENTIRE SUBDIVISION) 0 (PHASE 4 ONLY)
TOTAL LOTS (PROPOSED)	343 (ENTIRE SUBDIVISION) 26 (PHASE 4 ONLY)
RESIDENTIAL DENSITY	0.15 TH/AC (ENTIRE SUBDIVISION) 3.06 TH/AC (PHASE 4 ONLY)
BUILDING SETBACKS:	
PRIMARY STREET	10'
SIDE STREET	10'
SIDE LOT LINE	10'
REAR LOT LINE	20'
ALLEY	4' OR 20' MIN
PARKING SETBACKS:	
PRIMARY STREET	20'
SIDE STREET	10'
SIDE LOT LINE	0'
REAR LOT LINE	3'
ALLEY	4'
BUILDING INFORMATION:	
PROPOSED NUMBER OF BUILDINGS	4
EXISTING BUILDING SF TO REMAIN	0
PROPOSED NUMBER OF UNITS	26 TOTAL UNITS (8) 20'x40' TOWNHOMES (18) 16'x40' TOWNHOMES
PROPOSED NUMBER OF STORIES	2
PARKING:	
REQUIRED PARKING	NO MAXIMUM
PROVIDED PARKING	52 TOTAL SPACES 2 PER UNIT (1 GARAGE, 1 DRIVEWAY)
BIKE PARKING:	
BIKE PARKING REQUIRED (SHORT TERM)	NONE
BIKE PARKING REQUIRED (LONG TERM)	NONE
OUTDOOR AMENITY AREA (TOWNHOME ONLY):	
MINIMUM AMENITY AREA REQUIRED	10% (REFER TO SHEET C2.0 FOR CALCULATION)
PROPOSED AMENITY AREA	12.8% (REFER TO SHEET C2.10 FOR LOCATIONS)

PRELIMINARY SUBDIVISION PLAN | SUB-0019-2024

HADDONSTONE PHASE 4

3115 GARNER RD | RALEIGH, NORTH CAROLINA | CITY OF RALEIGH

1ST SUBMITTAL: APRIL 5, 2024
2ND SUBMITTAL: JUNE 14, 2024
3RD SUBMITTAL: AUGUST 9, 2024
4TH SUBMITTAL: SEPTEMBER 9, 2024

INDEX OF SHEETS

Sheet Number	Sheet Title
C0.00	COVER
C0.01	GENERAL NOTES
C0.02	COMPLIANCE TABLES
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	OVERALL SUBDIVISION SITE PLAN
C2.10	SITE PLAN
C3.00	UTILITY PLAN
C3.10	FIRE ACCESS PLAN
C4.00	GRADING AND DRAINAGE PLAN
C5.01	SCM 3 PLAN AND PROFILE
C5.02	SCM 4 PLAN AND PROFILE
C5.03	SCM 5 PLAN AND PROFILE
C5.04	SCM DETAILS
L1.00	LANDSCAPE PLAN
L1.01	LANDSCAPE DETAILS
L2.00	TCA PLAN

Preliminary Subdivision Application

Site Review
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Scoping/sketch plan case number(s):
Development name (subject to approval): Haddonstone
Property Address(es): 3115 Garner Rd, 3215 Garner Rd

Recorded Deed PIN(s): 1712038097, 1712039650

Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
	<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot
	<input type="checkbox"/> Tiny House			

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names: Stanley Martin Homes LLC

Company: Stanley Martin Homes LLC Title:

Address: 11710 Plaza Amercia Dr Suite 1100, Reston VA 20190

Phone #: 919-977-8760 Email: ketchemBK@stanleymartin.com

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: WithersRavenel Address: 137 S Wilmington St Suite 200 Raleigh NC 27606

Phone #: 919-238-0311 Email: amason@withersravenel.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names: Brian Ketchum

Company: Stanley Martin Homes LLC Title: Director of Land

Address: 11710 Plaza Amercia Dr Suite 1100, Reston VA 20190

Phone #: 919-977-8760 Email: ketchemBK@stanleymartin.com

Revision 03.01.24

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE - ZONING INFORMATION

Gross site acreage: 46.68 acres

Zoning districts (if more than one, provide acreage of each):

R-6

Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-

STORMWATER INFORMATION

Imperious Area on Parcel(s):

Existing (sf) 0 Proposed total (sf) 2,590

Impervious Area for Compliance (includes right-of-way):

Existing (sf) 40,320 Proposed total (sf) 71,500

NUMBER OF LOTS AND DENSITY

of Detached House Lots: # of Attached House Lots: # of Townhouse Lots: 26

of Tiny House Lots: # of Open Lots: # of Other Lots (Apartment, General, Mixed Use, Civic):

Total # of Lots: 26 Total # Dwelling Units: 26

of bedroom units (if known): 1br 2br 3br 4br

Proposed density for each zoning district (UDO 1.5.2.F): 3.06 DWELLING UNITS / AC

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Amber Mason* Date: 04/05/2024

Printed Name: Amber Mason

Signature: Date:

Printed Name:

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY THE CITY OF RALEIGH FOR ALL UNITS.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- REFUSE CONTAINERS TO BE STORED IN EACH UNIT'S GARAGE AND ARE TO BE ROLLED OUT TO THE NEAREST PUBLIC CURB & GUTTER ON COLLECTION DAY.
- CARTS THAT ARE NOT STORED WITHIN THE GARAGE BEFORE AND AFTER SCHEDULED COLLECTION MAY BE ISSUED A NOTICE OF VIOLATION BY THE HOA FOR THE FIRST OFFENSE AND A \$100 ADMINISTRATION FEE FOR SUBSEQUENT VIOLATIONS WITHIN A TWELVE MONTH PERIOD.

FIRE DEPARTMENT NOTES

- THERE ARE NO SPRINKLING SYSTEMS PROPOSED WITH THIS PLAN.
- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 LF (NFPA 507.5.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400 LF AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- ALL PROPOSED PUBLIC FIRE HYDRANTS WILL BE ACCORDANCE TO CITY OF RALEIGH STANDARD DETAIL W-5. DETAIL WILL BE PROVIDED IN CONCURRENT REVIEW PLANS.
- FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.
- FIRE DEPARTMENT VEHICLE LANES MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING 90,000 LBS. AT A MINIMUM AND SHALL BE SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES (NCFC 503.2.3).

CONTACT LIST:

ENGINEER Amber Mason, PE WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-238-0311 amason@withersravenel.com	LANDSCAPE ARCHITECT Nicole Steele, PLA WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-270-4520 nstele@withersravenel.com	CLIENT/DEVELOPER Brian Ketchum Stanley Martin Homes 4020 Westchase Blvd, Bldg 1 Suite 470 Raleigh, NC 27607 919-977-8760 ketchumb@stanleymartin.com
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137 S Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com



DEVELOPER:

STANLEY MARTIN HOMES
4020 WESTCHASE BLVD., BLDG 1, STE. 470
RALEIGH, NC 27607
PHONE #: 919-977-8760
ATTENTION: BRIAN KETCHUM



PRELIMINARY SUBDIVISION PLAN
HADDONSTONE SUBDIVISION PHASE 4
WR PROJECT NO.02180729
04/05/2024

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.
2. WORK ON THIS PROJECT SHALL CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE NCDOT ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, MUNICIPAL STANDARDS AND SPECIFICATIONS, ANY GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS.
3. ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AS SHOWN ON THESE PLANS.

STORM DRAINAGE NOTES:

- 1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
3. ALL RCP STORM SEWER SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED.

GRADING NOTES:

- 1. REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION.
2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
4. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BouldERS, OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL.

- 14. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES THE TOWN MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.
15. MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED.
16. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACE & NCEENR-DWQ.

EROSION & SEDIMENT CONTROL NOTES:

- 1. CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL MEASURES.
2. CONTRACTOR SHALL CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENT CONTROL MEASURES. CONTRACTOR SHALL INSTALL SILT FENCE, SEDIMENT BASINS, DIVERSION DITCHES, AND THEN BEGIN GRADING/ROADWAYS.
3. IF STORM CROSS DRAINAGE CAN NOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE SHALL BE USED TO CROSS WET WEATHER CHANNELS.

GENERAL LANDSCAPE NOTES:

- 1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER.
2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.

- 3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST.

UTILITIES NOTES:

- 1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE.
3. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS SHOWN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK.

ABBREVIATIONS

Table with 4 columns: Symbol, Abbreviation, Description, and Value/Unit. Includes entries for AND, AT, AASHTO, ABC, ABS, ACI, AREA INLET, ANSI, ARV, ASTM, AWWA, B-B, BFE, BFP, BFW, BM, BOA, BOB, BOC, BRL, C&G, CA, CAB, CAMA, CATV, CB, C-C, CFC, CFS, CL, CLR, CMP, CMU, CNJ, CONC, CPW, CY, DIA/D, DIP, E, EA, ECGL, EL, ELEC, EOP, EX, F-F, FDC, FEMA, FES, FFE, FFL, FGH, FHA, FM, FOC, FT, GA, GALV, GPF, GR, GPM, GV, HDD, HDPE, HPT, HPPH, HW, IN, INV, JAB, LAT, LEAF, LHM, LMD, LONG, LPT, LT, MAX, MFR, MOD, MH, MJ, MWSE, N, NE, NIC, N/A, NTS, NW, OC, ONS, OH, OHE, PA, PCF, PCE, PEG, PGCL, PH, PIS, PIV, R, RCBC, RCP, RCP, RGRCP, RJ, RT, S, SCH, SCF, SDR, SE, SF, SPC, SSTL, STA, SW, T, TBM, TCA, TDD, TFW, TOB, TOC, TOE, TRM, TYP, UG, UP, USSG, VERT, W, WSE, WWF, WWM, YARD, YIELD, YR, ZONE.

EXISTING CONDITIONS LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for ADJOINER, BOUNDARY, BUILDING, BUFFER, CONCRETE, CURB LINE, EASEMENT, EDGE OF PAVEMENT, FENCE, FIBER OPTIC LINE, FLOOD WAY, FLOOD LINE, FORCEMAIN, GRAVEL, OVERHEAD ELECTRIC, PAVEMENT STRIPING, RIGHT OF WAY, SANITARY SEWER PIPE, STREAM, TREE LINE, TOP OF BANK, UNDERGROUND ELECTRIC, WATER MAIN, WETLAND, BLOW OFF, CATCH BASIN, CLEAN OUT, CONTROL POINT, DROP INLET, FIBER OPTIC BOX, FIRE HYDRANT, FLARED END SECTION, GUY WIRE, LIGHT POLE, POWER POLE, SEWER MANHOLE, STORM DRAINAGE MANHOLE, TV PEDESTAL, UNDERGROUND TELEPHONE BOX, TREE, WATER METER, WATER VALVE.

SITE PLAN LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for BOUNDARY, BUFFER, CENTER LINE, CURB & GUTTER, EASEMENT, LIMIT OF DISTURBANCE, LOT LINE, PHASE LINE, RIGHT OF WAY, SETBACK, BUILDING.

DEMOLITION LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for XXX AREAS TO BE REMOVED, FENCE TO BE REMOVED, STORM PIPE TO BE REMOVED, WETLANDS TO BE IMPACTED, TREE TO BE REMOVED.

PROPOSED GRADING LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for EXISTING MAJOR CONTOUR, EXISTING MINOR CONTOUR, PROPOSED MAJOR CONTOUR, PROPOSED MINOR CONTOUR.

PROPOSED STORM DRAINAGE LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for STORM PIPE, TRENCH DRAIN, CATCH BASIN (CB), FLARED END SECTION (FES), HEAD WALL (HW), JUNCTION BOX (JB), RIP RAP DISSIPATOR, YARD INLET (VI)/DROP INLET (DI).

PROPOSED UTILITIES LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for FIRE LINE, SANITARY SEWER PIPE, WATER MAIN, BACKFLOW PREVENTER, BLOW OFF, FIRE DEPARTMENT CONNECTION (FDC), FIRE HYDRANT ASSEMBLY, SEWER CLEANOUT, SEWER MANHOLE, WATER METER, WATER VALVE.

EROSION CONTROL LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for BAFFLE, LIMITS OF DISTURBANCE, CONSTRUCTION STAGE LINE, SILT FENCE, SILT/ TREE PROTECTION FENCE, STORM DRAINAGE MANHOLE, TREE PROTECTION FENCE, TEMPORARY CONSTRUCTION ENTRANCE, CHECK DAM, TEMPORARY CONCRETE WASHOUT, INLET PROTECTION, ROCK INLET PROTECTION, SILT FENCE OUTLET.

Vertical banner on the right side of the page. Includes 'WithersRavenel' logo and contact information (137 S Wilmington Street, Suite 200 | Raleigh, NC 27601). Also includes 'HADDONSTONE SUBDIVISION PHASE 4' and 'PRELIMINARY' stamp. At the bottom, it says 'GENERAL NOTES' and 'C0.01'.

Vertical text on the far left edge of the page: 137 S WILMINGTON STREET, SUITE 200, RALEIGH, NC 27601

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HADDONSTONE PHASE 4 COMPLIANCE TABLE			
ZONING R-6			
UDO SECTION 2.2.3 - APARTMENT DIMENSIONAL REQUIREMENTS			
A. SITE DIMENSIONS			
	Requirement	Min./Max. Allowed	Requirement Met?
A1	Net site area/unit (min)	4,500 SF	MET
A2	Width (min)	50'	MET
A3	Outdoor Amenity Area (min)	10%	MET
B. LOT DIMENSIONS			
	Requirement	Min./Max. Allowed	Requirement Met?
B1	Area (min)	N/A	MET
B2	Width (min)	16'	MET
C. BUILDING/STRUCTURE SETBACKS			
	Requirement	Min./Max. Allowed	Requirement Met?
C1	From primary street (min)	10'	MET
C2	From side street (min)	10'	N/A
C3	From side lot line (min)	10'	MET
C4	From rear lot line (min)	20'	MET
C5	From alley	4' or 20' min	MET
D. PARKING SETBACKS			
	Requirement	Min./Max. Allowed	Requirement Met?
D1	From primary street (min)	20'	MET
D2	From side street (min)	10'	N/A
D3	From side/rear lot line (min)	0'	MET
D4	From rear lot line (min)	3'	MET
D5	From alley, garage only (min)	4'	MET
E. HEIGHT			
	Requirement	Min./Max. Allowed	Requirement Met?
E1	Area (min)	45/3 stories	MET
UDO SECTION 6.1 - ALLOWED USES			
	Requirement	Use	Requirement Met?
A1	Single-unit living	Permitted Use	MET
UDO SECTION 7.1 - PARKING REQUIREMENTS			
A. RESIDENTIAL PARKING REQUIREMENT			
	Requirement	Max. Allowed	Requirement Met?
A1	Single-unit living	No maximum	MET



PRELIMINARY SUBDIVISION PLAN - SUB-0019-2024

HADDONSTONE SUBDIVISION PHASE 4

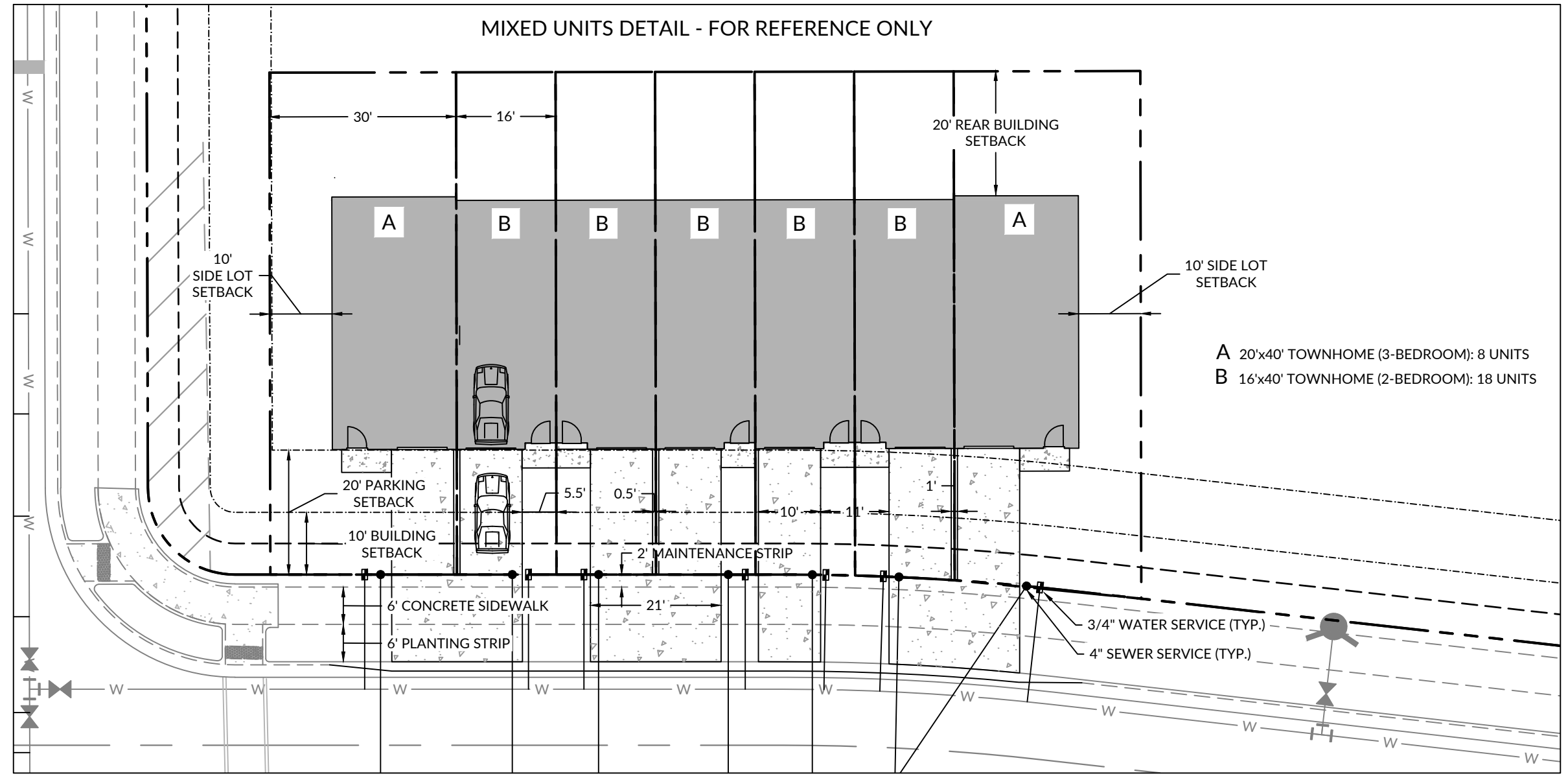
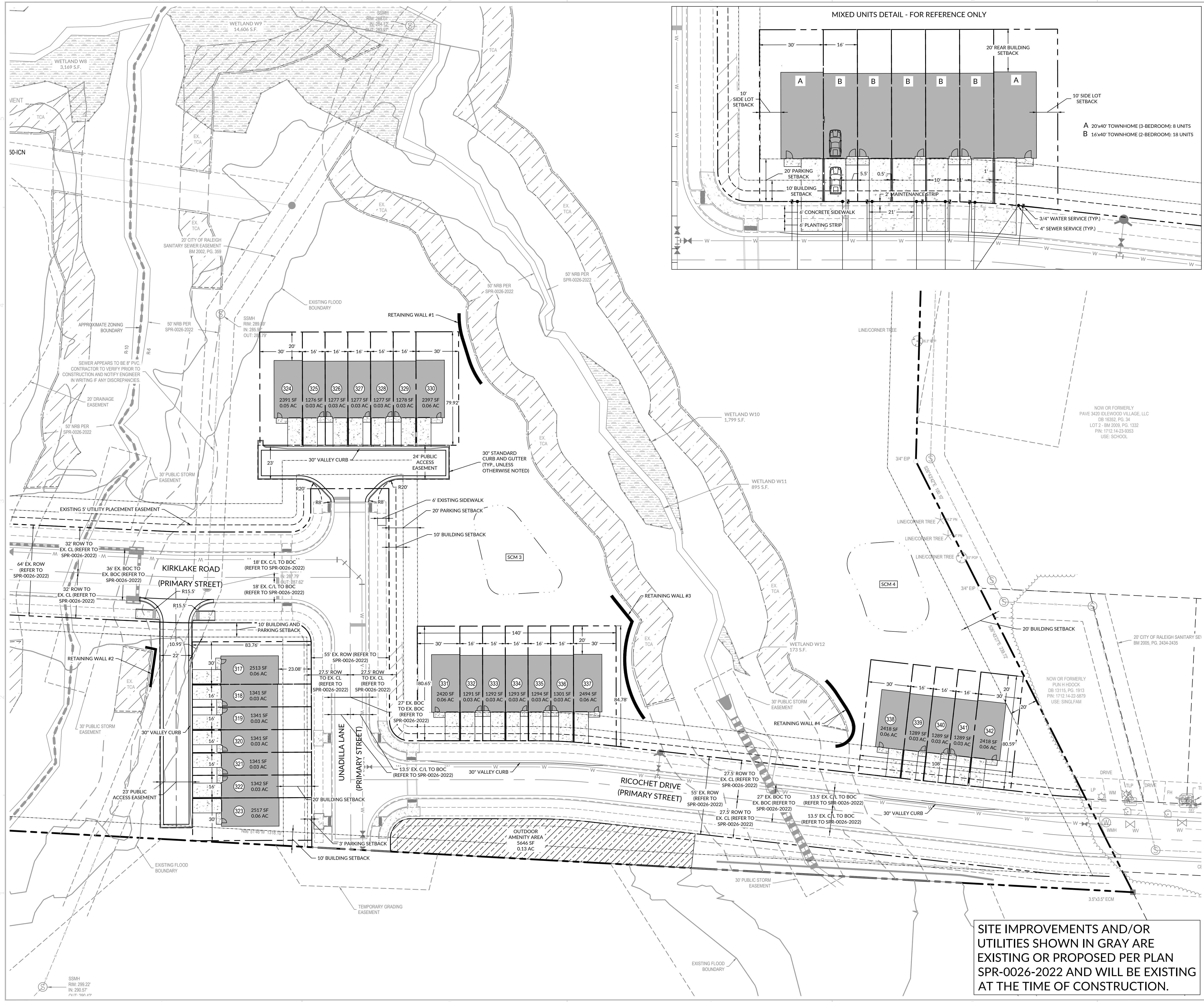
3115 GARNER RD | RALEIGH, NORTH CAROLINA | WAKE COUNTY



WR JOB NUMBER 02180729
DRN: WR DGN: WR CKD: WR

COMPLIANCE TABLES

C0.02

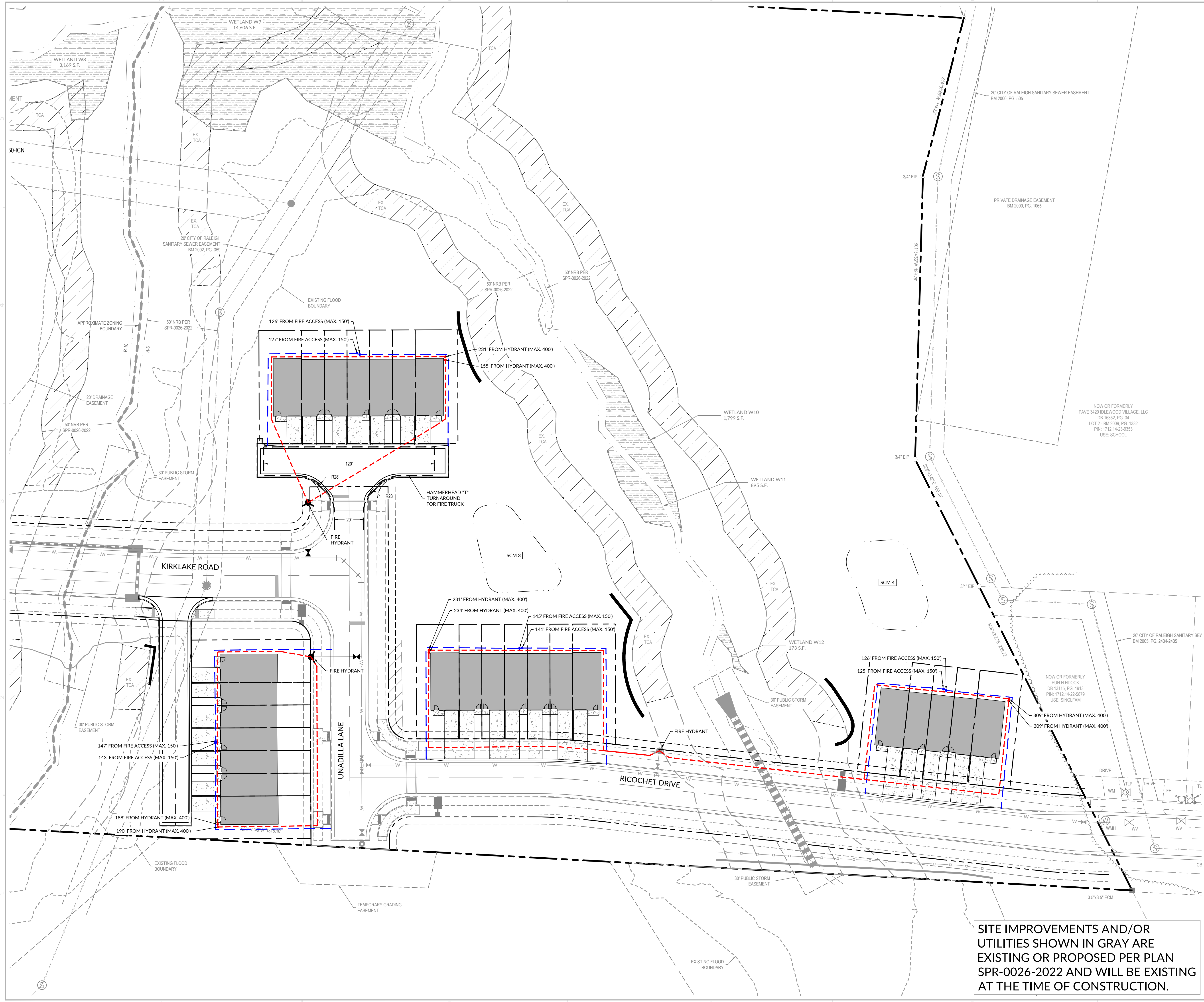


SITE PLAN LEGEND

SYMBOL	DESCRIPTION
---	BOUNDARY
---	BUFFER
---	CENTER LINE
---	CURB & GUTTER
---	EASEMENT
---	LIMIT OF DISTURBANCE
---	LOT LINE
---	PHASE LINE
---	RIGHT OF WAY
---	SETBACK
█	BUILDING
▨	OUTDOOR AMENITY AREA
▨	EXISTING TCA AREA

SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

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- FIRE ACCESS PLAN NOTES**
1. HEAVY DUTY PAVEMENT SHALL BE INSTALLED ALONG ENTIRETY OF FIRE ACCESS ROUTE
 2. HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 90,000 LBS AND SHALL BE RESURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, PER NCFC 503.2.3.
 3. NO SPRINKLER SYSTEM IS PROPOSED FOR TOWNHOME UNITS. ALL PORTIONS OF THE BUILDINGS SHALL BE WITHIN 150' OF THE APPARATUS ACCESS ROAD SURFACE PER NCFC 503.1.1.

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HADDONSTONE SUBDIVISION PHASE 4
 PRELIMINARY SUBDIVISION PLAN - SUB-0019-2024
 3115 GARNER RD | RALEIGH, NORTH CAROLINA | WAKE COUNTY

PRELIMINARY NOT APPROVED FOR CONSTRUCTION
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0 15 30
 SCALE: 1 inch = 30 ft.

INITIAL PLAN DATE: 04/05/2024
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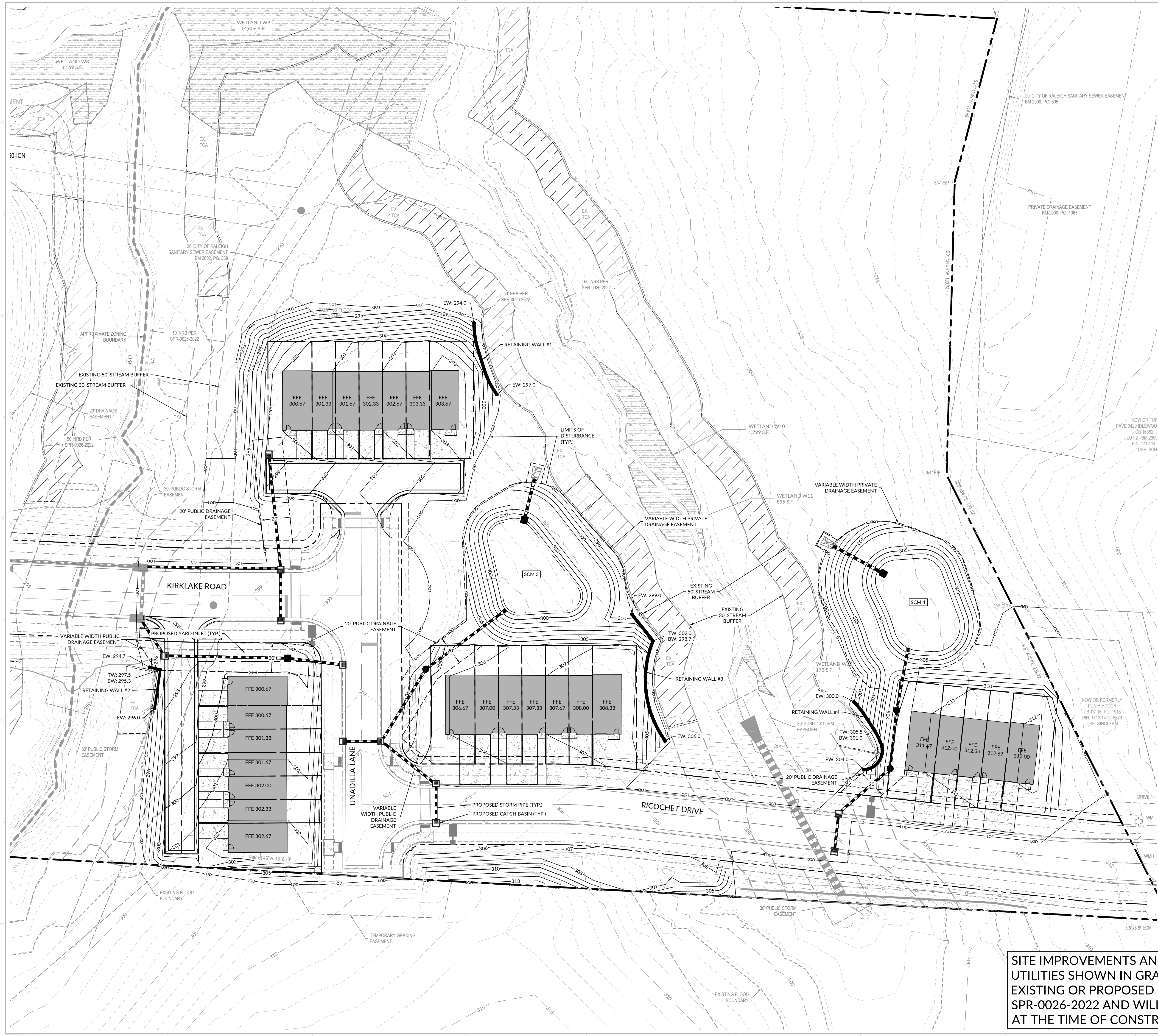
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FIRE ACCESS PLAN

C3.10

our people • your success

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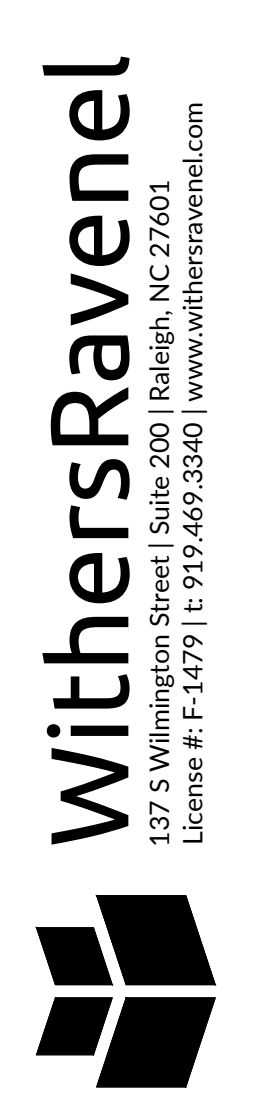
PROPOSED GRADING LEGEND

SYMBOL	DESCRIPTION
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING STORM PIPE
---	PROPOSED STORM PIPE


- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
 3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES ON LYNN OR LEESVILLE ROADS SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM - 9AM AND 4PM - 6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT. - TRANSPORTATION OPERATIONS DIVISION AT (919)996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT (919)857-4412 TO OBTAIN A STREET CUT PERMIT.
 5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
 7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS & STREET TO EXISTING CONDITION OR BETTER.
 8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 30 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NCDOT STANDARD DRAWINGS 1101.02 (SHEET 1), 1101.04 & 1101.11.

- STORM DRAINAGE NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
 2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
 3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
 4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
 5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49).
 6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
 7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS 55-S-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
 8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
 9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30 - 48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
 10. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED.
 11. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT AT (919)989-5430 TO SCHEDULE CONSTRUCTION INSPECTIONS.
 12. STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
 13. ALL ROOF LEADERS ARE PROPOSED TO CONNECT TO THE STORM DRAINAGE SYSTEM(S) SHOWN.

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HADDONSTONE SUBDIVISION PHASE 4

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SCALE: 1 inch = 30 ft.

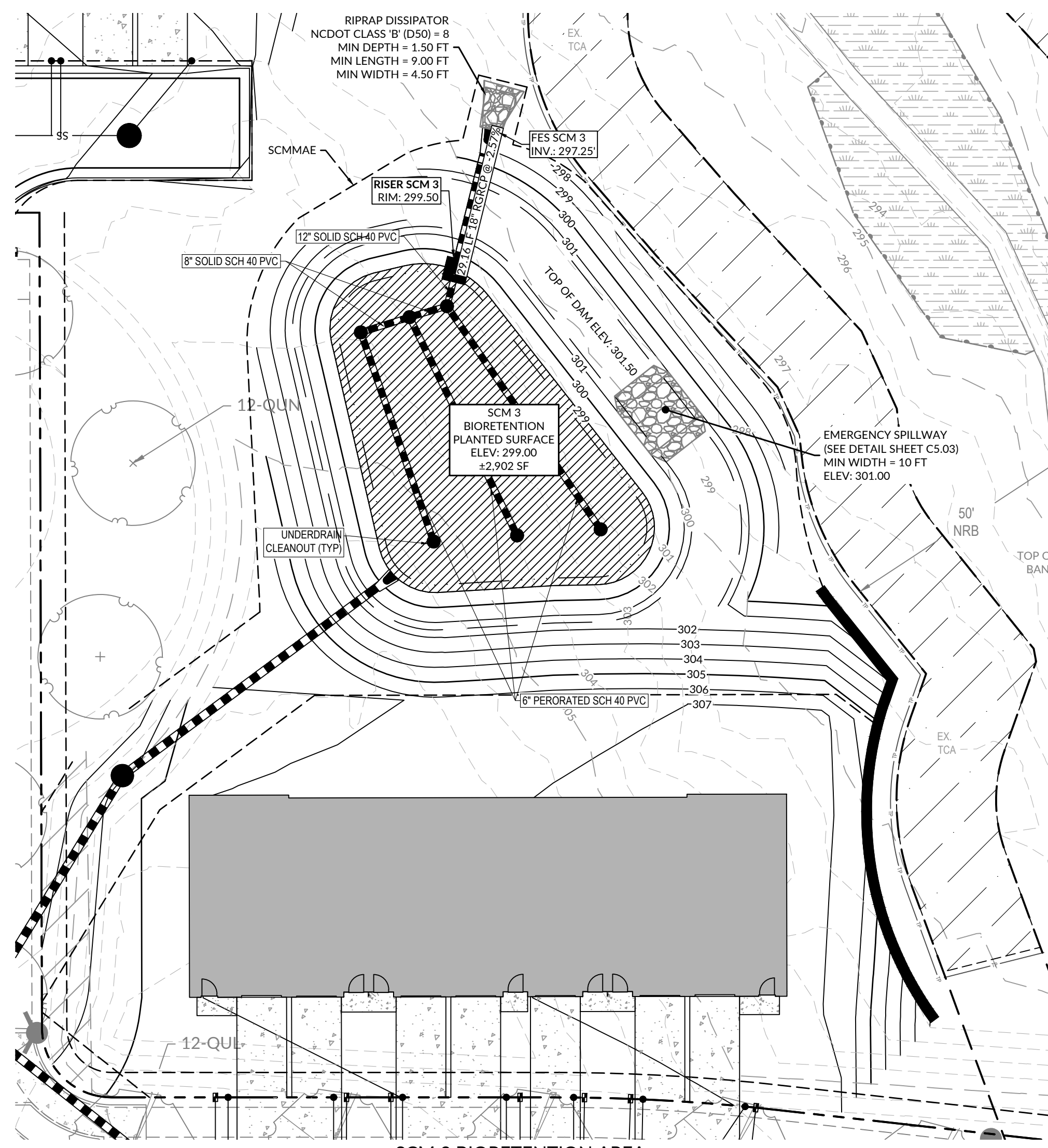
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3 - 09/03/2024 WR PER COR COMMENTS

WR JOB NUMBER: 02180729
DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

C4.00



SCM 3 BIORETENTION AREA

STORMWATER CONTROL MEASURE (SCM) NOTES:

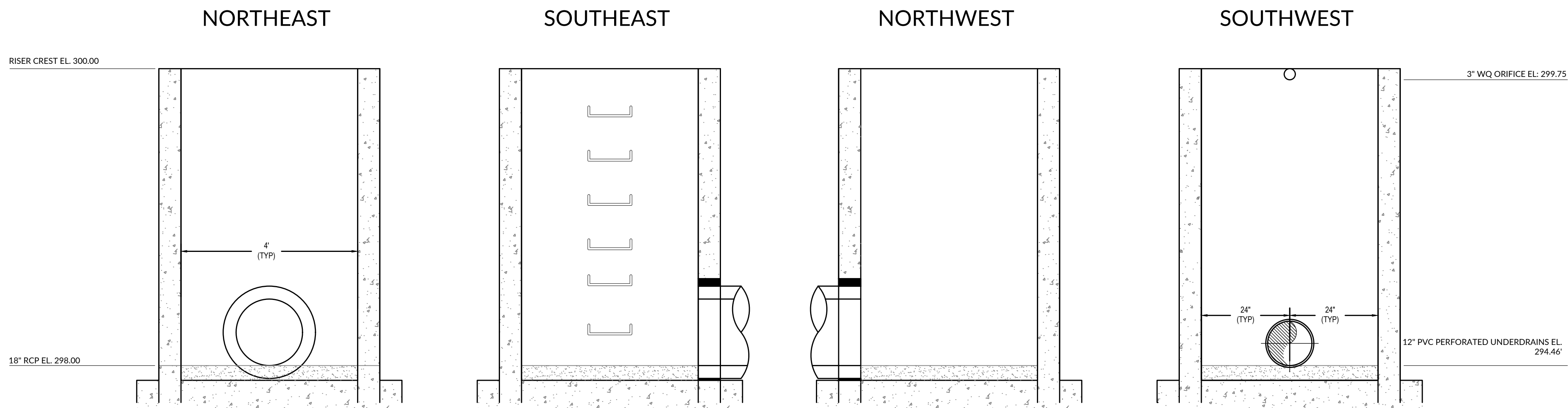
- PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE (I.E., MINIMUM DESIGN CRITERIA), AND LOCAL STANDARDS AND SPECIFICATIONS HEREBY INCORPORATED BY REFERENCE.
- STORMWATER CONTROL MEASURES ON THE PROJECT MUST BE LOCATED ON COMMON OPEN SPACE, HAVE AN ACCESS AND MAINTENANCE EASEMENTS LOCATED AROUND THEM AND INCLUDE AN OPERATIONS AND MAINTENANCE MANUAL AND MAINTENANCE AGREEMENT.
- GEOTECHNICAL ENGINEER SHALL EVALUATE SOILS FOR SUITABILITY OF DAM CONSTRUCTION AND SLOPE STABILITY. PROFESSIONAL CERTIFICATION OF EMBANKMENT CONSTRUCTION IS REQUIRED FOR AS-BUILT CERTIFICATION.
- DAM TO BE CONSTRUCTED PER THE FOLLOWING SPECIFICATIONS UNLESS SUPERSEDED BY GEOTECHNICAL ENGINEER'S RECOMMENDATIONS:
 - BORROW MATERIALS FOR USE AS EMBANKMENT FILL SHALL BE FREE OF ORGANICS, ROOTS AND OTHER WOODY VEGETATION OR ORGANIC DEBRIS. MATERIALS SHALL CONSIST OF SOILS WHICH CLASSIFY AS SC, SM, CL, CI, CH AND ML, IN ACCORDANCE WITH THE UNIFIED CLASSIFICATION SYSTEM OR AS APPROVED BY THE GEOTECHNICAL ENGINEER WITH A MAXIMUM PARTICLE SIZE OF 3" IN MEAN DIAMETER.
 - FILL SHALL BE PLACED IN 8" (MAXIMUM) LOOSE LIFTS UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER. FILL SHALL BE BROUGHT UP BY BENCHING INTO THE EXISTING SLOPE. THE MAXIMUM HEIGHT OF 2FT SHALL BE USED FOR EACH BENCH LIFT TAKING CARE TO REMOVE ROOT STRUCTURES AS THE FILL PROCEEDS. SURFACE OF EACH LIFT SHALL BE SCARIFIED PRIOR TO PLACEMENT OF THE NEXT LIFT IN ORDER TO EFFECTIVELY TIE THE LIFTS TOGETHER.
 - ALL COMPACTION SHALL BE TESTED BY THE SAND CONE METHOD (ASTM D-1556) OR NUCLEAR METHOD (ASTM D-6938) AT A RATE OF AT LEAST ONE TEST PER 5,000 SF PER ONE FOOT OF COMPACTED FILL THICKNESS IN GENERAL AREA FILLS AND ONE TEST PER 50 LINEAL FEET PER LIFT ALONG THE BARREL. THE MINIMUM COMPACTION SHOULD BE 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698) AT MOISTURE CONTENTS VARYING FROM 2 PERCENT BELOW TO 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO WITHIN 1/8" OF THE FINAL GRADE.
- EMBANKMENT AND SIDE SLOPES OF THE BASIN SHALL BE STABILIZED PER SEEDING SCHEDULE ON EROSION CONTROL DETAILS SHEET OR SOGDS.
- ALL PERMANENT STRUCTURES (I.E. WEIR WALLS, ETC) ARE TO BE INSTALLED WITH THE INITIAL DAM CONSTRUCTION.
- CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN APPROVAL BY EROSION CONTROL INSPECTOR IN ORDER TO REMOVE EROSION CONTROL DEVICES.
- ONCE ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN REMOVED, THE SCM SHALL BE CONVERTED TO A PERMANENT SCM.
 - ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 - INTERIOR GRADING AND VEGETATED AREAS SHALL BE CONSTRUCTED PER THIS PLAN.
 - VEGETATED SHELFS SHALL BE PLANTED PER PLANT SCHEDULE ON LANDSCAPE PLAN SHEET.
 - FINAL CERTIFICATION OF THE SCM BY A PROFESSIONAL ENGINEER IS REQUIRED.

PRECAST CONCRETE MATERIALS NOTES:

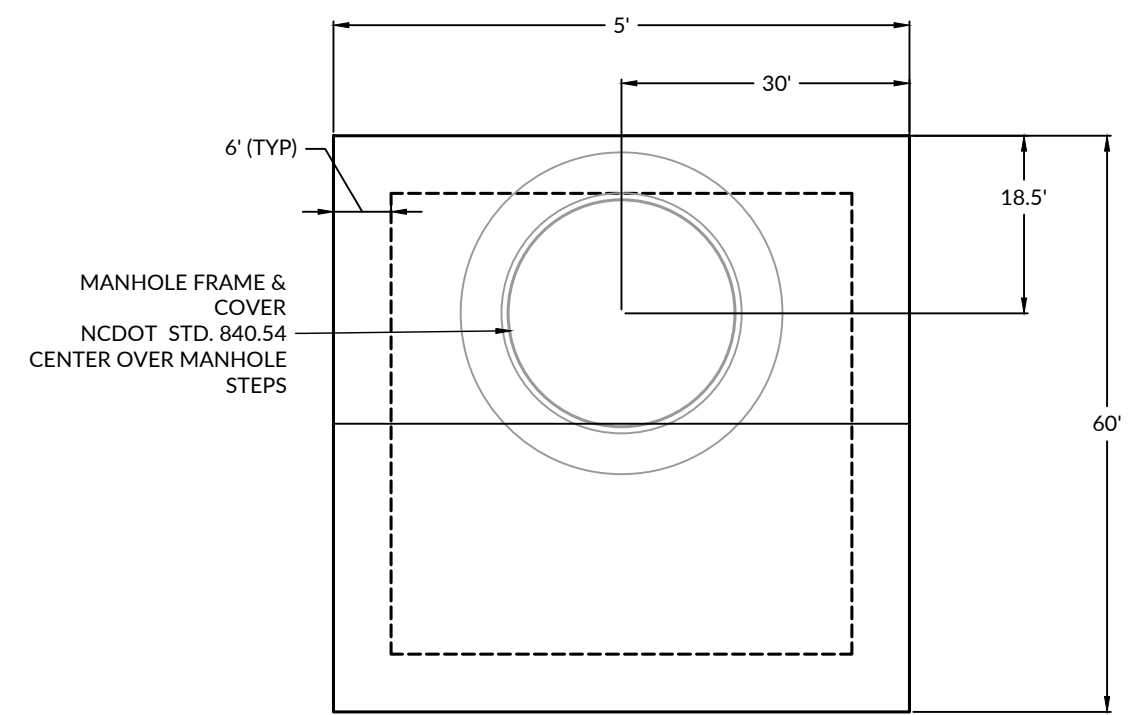
- ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C913 (RECTANGULAR) OR C478 (ROUND).
- ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C76, CLASS III (UNLESS OTHERWISE NOTED).
 - O-RING JOINTS SHALL CONFORM TO ASTM C433 & ASTM C361.
 - NON O-RING JOINTS SHALL CONFORM TO ASTM C590.

BIORETENTION AREA NOTES:

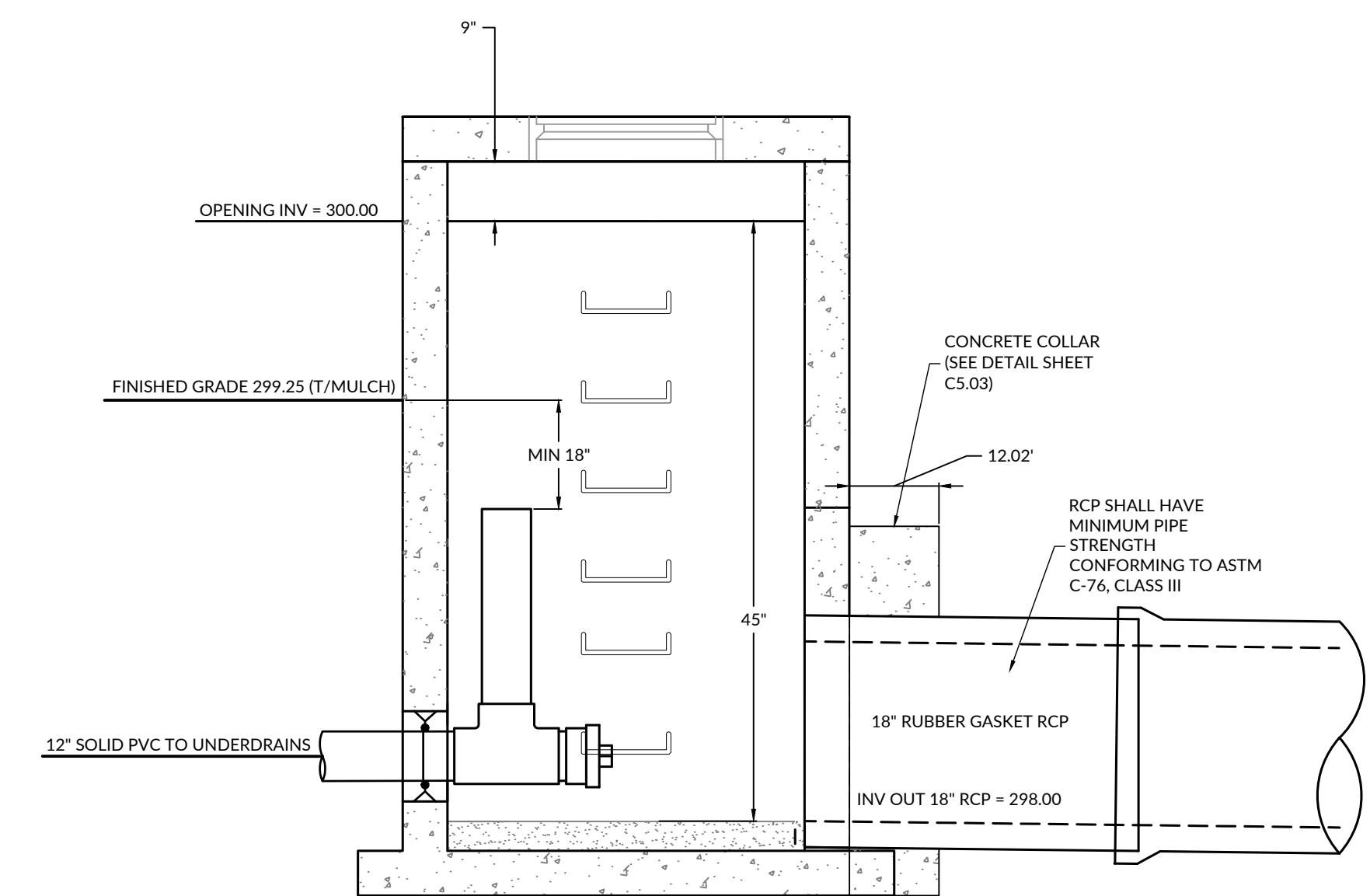
- NO MECHANICAL COMPACTION OR HEAVY EQUIPMENT SHALL BE USED DURING MEDIA OR LANDSCAPING INSTALLATION. ALL CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION.
- BOTTOM OF BIORETENTION AREA SHALL BE 2 FEET OR MORE FROM SEASONAL HIGH WATER TABLE. IF DURING CONSTRUCTION SEASONAL HIGH WATER TABLE IS FOUND TO BE WITHIN 2' OF BOTTOM OF BIORETENTION AREA, THEN ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR DESIGN MODIFICATIONS.
- THE SCM SHALL BE CONVERTED TO A BIORETENTION AREA ONLY AFTER THE SITE HAS BEEN STABILIZED.
- BIORETENTION AREA MEDIA SECTION TO COVER ENTIRE PLANTING SURFACE. **BIORETENTION AREA MEDIA TO BE COMPRISED OF THE FOLLOWING:**
 - 75% - 85% MEDIUM TO COARSE WASHED SAND (85% PREFERRED).
 - 8% - 10% FINES (CLAY & SILT) (8% PREFERRED).
 - 5% - 10% ORGANIC MATTER (7% PREFERRED)
 - PHOSPHORUS INDEX (P-INDEX) SHALL BE NO GREATER THAN 3.0.
 - THE MEDIA INFILTRATION RATE SHALL BE MINIMUM 2 IN/HR.
- THE CHOKING STONE LAYER MAY BE MODIFIED TO USE #78 STONE IN LIEU OF #8 OR #89 STONE. THE CHOKING STONE LAYER SHALL THEN BE COMPRISED OF 3" OF #78 STONE AND THE WASHED SAND LAYER SHALL THEN HAVE A MINIMUM THICKNESS OF 3".
- CONTRACTOR TO PROVIDE SOIL TEST DATA AND SAMPLES, FROM AN APPROVED TESTING LABORATORY, TO THE ENGINEER PRIOR TO CONSTRUCTION.
- NO FERTILIZER IS TO BE ADDED.
- BIORETENTION SHALL BE PLANTED PER LANDSCAPE PLAN ON SHEET L1.00.



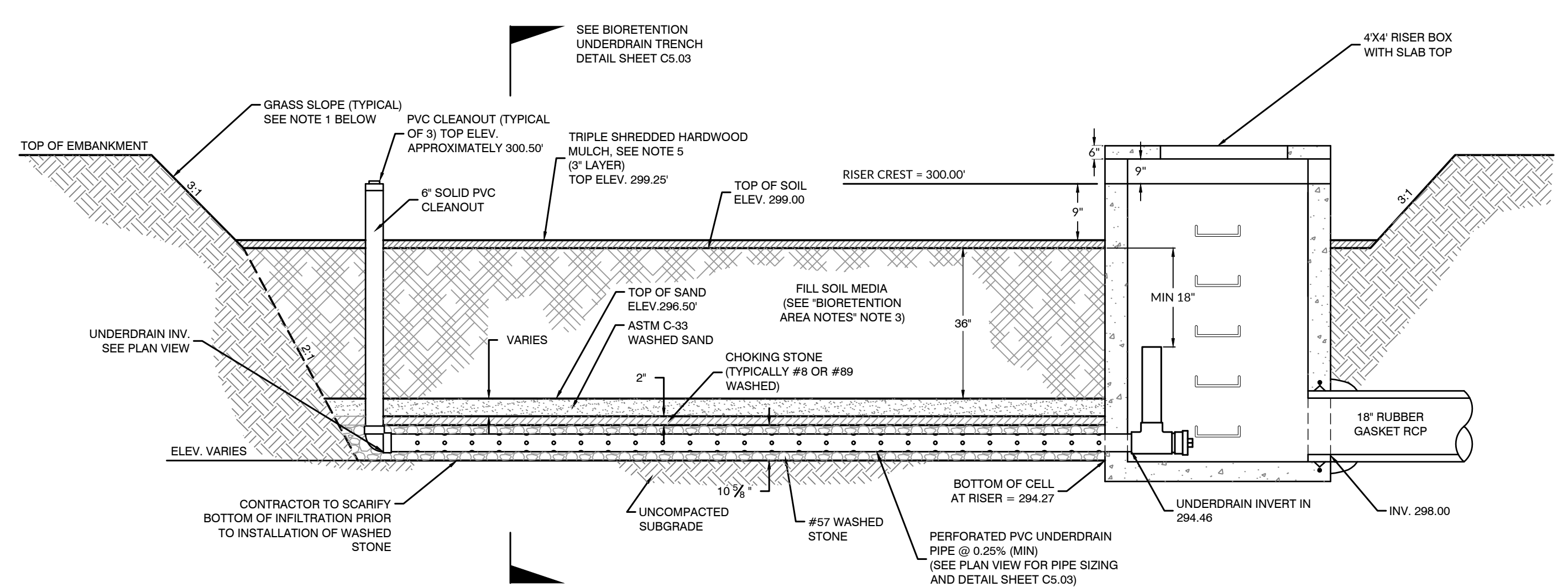
SCM 3 RISER WALL ELEVATIONS
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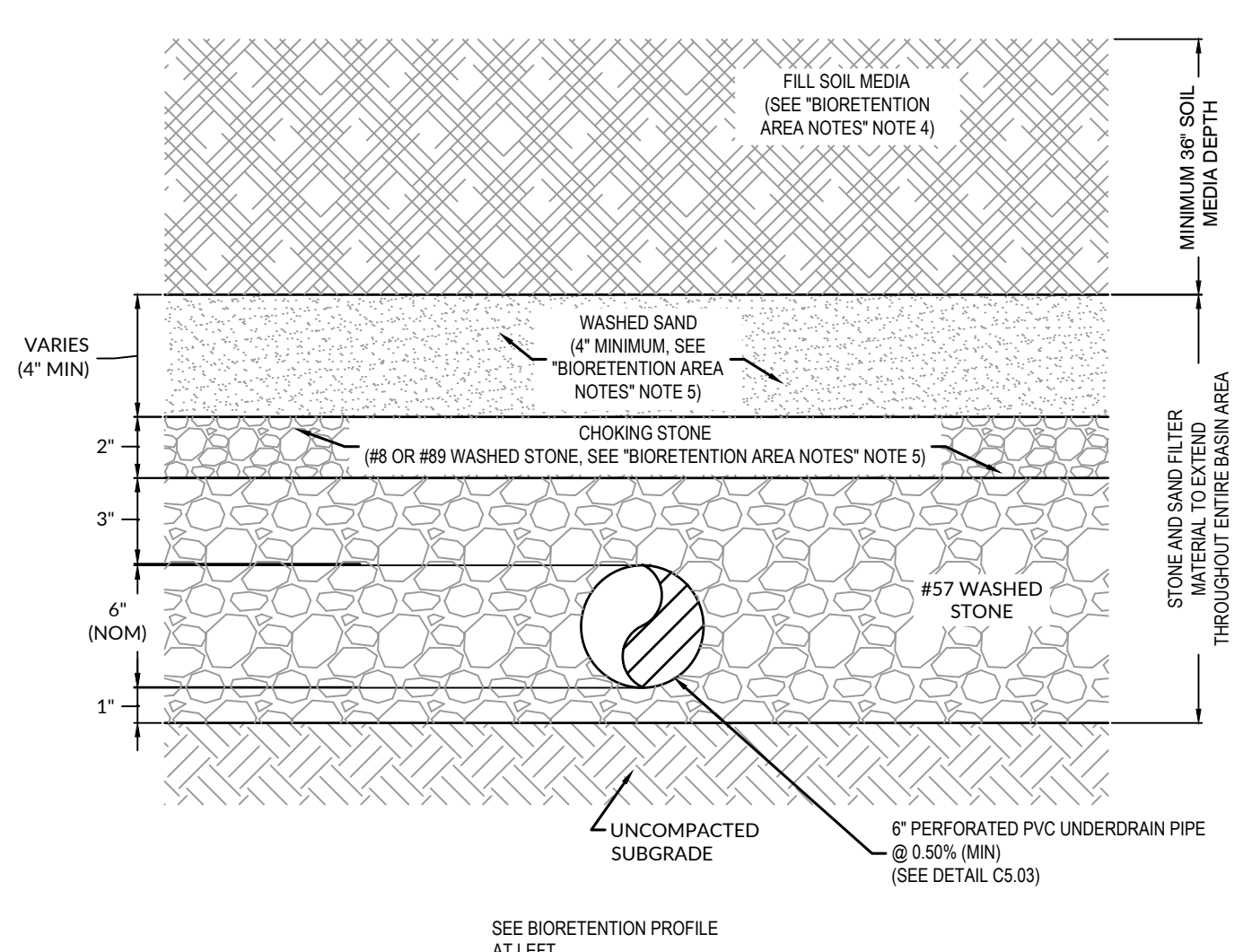
SLAB TOP FOR RISER DETAIL
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SCM 3 RISER DRAWDOWN DEVICE DETAIL
NOT TO SCALE



BIORETENTION MEDIA SECTION
NOT TO SCALE



BIORETENTION CROSS-SECTION
NOT TO SCALE

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LANDSCAPE LEGEND:	SYMBOL
10 UPPER STORY TREES	
ABU - ACER BUERGERIANUM	
JVI - JUNIPERUS VIRGINIANA	
MGR - MAGNOLIA GRANDIFLORA	
NSY - NYSSA SYLVATICA	
QLA - QUERCUS LAURIFOLIA	
QLY - QUERCUS LYRATA 'HIGHBEAM'	
QNU - QUERCUS NUTTALLII	
QPH - QUERCUS PHELLOS 'ASCENDOR'	
UAP - ULMUS AMERICANA 'PRINCETON'	
UPB - ULMUS PARVIFOLIA 'BOSQUE'	
ZSE - ZELKOVA SERRATA	
20 SHRUBS	
CHA - CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	
DPI - DISTYLLIUM MYRICOIDES 'BLUE CASCADE'	
ICB - ILEX CORNUTA 'BURFORDII NANA'	
ICN - ILEX CORNUTA 'NEEDLEPOINT'	
IGS - ILEX GLABRA 'SHAMROCK'	
LJA - LIGUSTRUM JAPONICUM 'EAST BAY'	
VAW - VIBURNUM AWABUKI 'CHINDO'	

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LANDSCAPE PLAN
L1.00

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