

Case File / Name: SUB-0019-2024 DSLC - Haddonstone

LOCATION:This 8.50 acre site zoned R-6 is located on the east end of Haddonstone
Subdivision (SUB-0068-2019) which is on the east side of Garner Road at 3115
Garner Road. Phase 4 is located at the intersections of Kirklake Road, Unadila
Lane, and Ricochet Drive of Haddonstone Subdivision.REQUEST:This is development of Phase 4 of Haddonstone Subdivision (SUB-0068-2019). This
is a subdivision to create 26 residential townhome lots and three community lots to
be owned by a homeowner's association.DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 9, 2024 by Kylie Hyman.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- 1. Some street right of way shown as "existing" on this townhome subdivision actually is being approved with subdivision SUB-0068-2019 (sunset extension approved on 8/28/24). Recordation of the earlier subdivision SUB-0068-2019 is required prior to SPR approval of this phase 4 (SUB-0019-2024).
- 2. Please number and label all HOA/community lots outside of the 26 residential lots on the proposed subdivision sheet for platting purposes and clarity.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).



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- 5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ <u>**RECORDED MAP(S)**</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. Provide documentation indicating a Property Owner's Association has been established for the subject development.
- 2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

- 5. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
- 6. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
- 7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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8. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
- 4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

- 6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 11 street trees along Kirkland Road, 11 street trees along Kirkland Road, 23 street trees along Ricochet Drive.
- 7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:



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General

- 1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
- 2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

- 3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: October 9, 2027 Record at least $\frac{1}{2}$ of the land area approved.

5-Year Sunset Date: October 9, 2029 Record entire subdivision.

I hereby certify this administrative decision.

Keegan McDonald

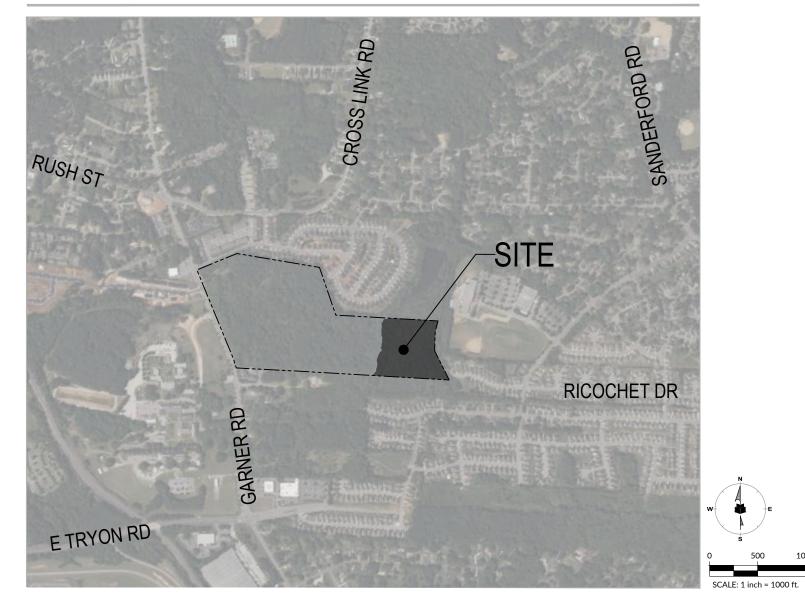
Signed:

Development Services Dir/Designee

Date: 10/09/2024

Staff Coordinator: Michael Walters

VICINITY MAP



SITE DATA TABLE

SUB-0019-2024 1712039650, 1712038097 STANLEY MARTIN HOMES 4020 WESTCHASE BLVD., BLDG 1, STE. 470 RALEIGH, NC 27607

ő

500

3115 & 3215 GARNER ROAD, RALEIGH, NC 27610

DB 017835 PG 01917 R-6 N/A NONE

46.68 AC (ENTIRE SUBDIVISION) 8.50 AC (APPROX. PHASE 4 AREA ONLY) ± 3.05 AC. WALNUT CREEK (NEUSE RIVER)

OPEN LOT SINGLE FAMILY TOWNHOME, OPEN LOT 317 (ENTIRE SUBDIVISION) 0 (PHASE 4 ONLY) 343 (ENTIRE SUBDIVISION)

26 (PHASE 4 ONLY) 0.15 TH/AC (ENTIRE SUBDIVISION) 3.06 TH/AC (PHASE 4 ONLY)

> 10' 10' 10' 20'

4' OR 20' MIN 20'

10'

NO MAXIMUM **52 TOTAL SPACES** 2 PER UNIT (1 GARAGE, 1 DRIVEWAY)

NONE NONE

10% (REFER TO SHEET C2.0 FOR CALCULATION) 12.8% (REFER TO SHEET C2.10 FOR LOCATIONS)





LANDSCAPE ARCHITECT Nicole Steele, PLA WithersRavenel 137 S Wilmington Street. Suite 200 Raleigh, NC 27601 919-270-4320 nsteele@withersravenel.com

CONTACT LIST:

ENGINEER Amber Mason, PE WithersRavenel Raleigh, NC 27601 919-238-0311

ZONING ZONING CONDITION OVERLAY DISTRICT **GROSS SITE AREA** LIMITS OF DISTURBANCE WATERSHED

CITY OF RALEIGH PROJECT NO.

PARCEL PIN NO.

SITE ADDRESS

DEED BOOK AND PAGE

OWNER

EXISTING USE PROPOSED USE TOTAL LOTS (EXISTING)

TOTAL LOTS (PROPOSED)

RESIDENTIAL DENSITY

BUILDING SETBACKS:

PRIMARY STREET SIDE STREET SIDE LOT LINE **REAR LOT LINE** ALLEY

PARKING SETBACKS: PRIMARY STREET SIDE STREET

SIDE LOT LINE REAR LOT LINE ALLEY

BUILDING INFORMATION: PROPOSED NUMBER OF BUILDINGS EXISTING BUILDING SF TO REMAIN

PROPOSED NUMBER OF UNITS

PROPOSED NUMBER OF STORIES PARKING:

REQUIRED PARKING

PROVIDED PARKING

BIKE PARKING:

BIKE PARKING REQUIRED (SHORT TERM) BIKE PARKING REQUIRED (LONG TERM)

OUTDOOR AMENITY AREA (TOWNHOME ONLY): MINIMUM AMENITY AREA REQUIRED PROPOSED AMENITY AREA

137 S Wilmington Street, Suite 200 amason@withersravenel.com

CLIENT/DEVELOPER Brian Ketchum Stanley Martin Homes 4020 Westchase Blvd, Bldg 1 Suite 470 Raleigh, NC 27607 919-977-8760 ketchumb@stanleymartin.com

26 TOTAL UNITS (8) 20'x40' TOWNHOMES (18) 16'x40' TOWNHOMES 2

PRELIMINARY SUBDIVISION PLAN | SUB-0019-2024 **HADDONSTONE PHASE 4** 3115 GARNER RD | RALEIGH, NORTH CAROLINA | CITY OF RALEIGH

1ST SUBMITTAL: APRIL 5, 2024 2ND SUBMITTAL: JUNE 14, 2024 3RD SUBMITTAL: AUGUST 9, 2024 4TH SUBMITTAL: SEPTEMBER 9, 2024

Preliminary Subdivision Application

Site Review

subdivision plans to SiteReview@raleighnc.gov

Conventional Subdivision

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary

> **DEVELOPMENT OPTIONS** (UDO Chapter 2) Compact Development

Raleigh

Conservation Development

DEVELOPN	IENT TYPE + SITE D	ATE TA	\BLE	– ZON	ING INFORMATION
Gross site acreage: 46.68 acre	S				
Zoning districts (if more than one	e, provide acreage of e	each):			
R-6					
Overlay district(s):	Inside City Limits?	√ Y	es	No	Historic District/Landmark: N/A
Conditional Use District (CUD) Case # Z-	Board of Adjustme BOA-	nt Case	e#		Design Alternate Case # DA-
	STORMWAT	ER INF	ORM	ATION	
mperious Area on Parcel(s): Existing (sf)_0Propose	d total (sf) ^{2,590}			is Area sf <u>) ^{40,320}</u>	for Compliance (includes right-of-way): Proposed total (sf) ^{71,500}
	NUMBER OF L	OTS A		ENSIT	Y
# of Detached House Lots:	# of Attached H	ouse Lo	ots:		# of Townhouse Lots:26
# of Tiny House Lots:	# of Open Lots:			Other Lo d Use,	ots (Apartment, General, Civic):
Total # of Lots: 26	Total # Dwelling Units	: 26			
t of bedroom units (if known): 1b	r 2br	_ 3br		/	4br
Proposed density for each zoning	g district (UDO 1.5.2.F): 3.06	DWE	ELLIN	G UNITS / AC
	APPLICANT S				
by the landowner, a lessee or agent of the landowner. An ea as is authorized by the easem Acting as an authorized agent this development approval and	person holding an opt sement holder may al ent. requires written perm d/or permit application	ion or o so appl ission f . Writte	contra ly for from then n per	ict to pu develop he prop missior	development approvals may be made urchase or lease land, or an authorized oment approval for such development perty owner for the purposes of making n from the property owner to act as an
or one of the persons authoriz the application. The undersign application are correct and the	the undersigned appl ed by state law (N.C.0 led also acknowledge undersigned underst	icant ac 3.S. 16 s that th ands th	cknow 0D-40 ne info nat de	vledges)3(a)) te ormatio velopm	that they are either the property owner o make this application, as specified in
described in this application w	ill be maintained in all	respec	cts in a	accorda	oplication and that the proposed projec ance with the plans and specifications ons of the City of Raleigh Unified
application is placed on hold a	t the request of the ap o comments or provid	oplicant e additi	for a ional i	period informa	G.S. 143-755(b1), if this permit of six consecutive months or more, or ation requested by the City for a period

Cottage Court	F	Flag lot		Frequent Trans	sit Development Optior
NOTE: Subdivisions may require City	Council approval in	f located in a His	storic O	verlay District.	
GENERAL INFORMATION					
Scoping/sketch plan case number(s):					
Development name (subject to approve	al): Haddonstone	e			
Property Address(es): 3115 Garner Rd, 3215 Garner Rd					
Recorded Deed PIN(s): 1712038097, 1712039650					
Building type(s): Detached H	louse 🗌 Atta	ached House	🖌 Τον	wnhouse	Apartment
General Building Mixed Use	Building Civi	c Building	Op	en Lot	Tiny House
CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION					
Current Property Owner(s) Names: Stanely Martin Homes LLC					

Email: ketche	mBK@stanleymartin.com		
e 1100, Restor	n VA 20190		
	Title: Director of Land		
em			
nt or contract, le	ease or easement when submitting this form.		
Phone #: 919-238-0311 Email: amason@			
Company: WithersRavenel Address: 137 S Wilmington St Suite 200 Raleigh NC 27606			
ract purchaser	Owner's authorized agent Easement holder		
See "who can a	apply" in instructions):		
Phone #: 919-977-8760 Email: ketchemBK@stanleymartin.com			
e 1100, Restor	NA 20190		
	Title:		
	See "who can a ract purchaser Address: 137 Email: amasc at or contract, le em		

required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application. Signature: amber Mason Date: 04/05/2023 Printed Name: Amber Mason Date: Signature: Printed Name:





137 S Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com

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SOLID WASTE INSPECTION STATEMENT

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY THE CITY OF RALEIGH FOR ALL UNITS.
- 2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SER FORTH IN THE SOLID WASTE MANUAL. 3. REFUSE CONTAINERS TO BE STORED IN EACH UNIT'S GARAGE AND ARE TO BE ROLLED OUT TO THE NEAREST PUBLIC CURB & GUTTER ON COLLECTION DAY.
- 4. CARTS THAT ARE NOT STORED WITHIN THE GARAGE BEFORE AND AFTER SCHEDULED COLLECTION MAY BE ISSUED A NOTICE OF VIOLATION BY THE HOA FOR THE FIRST OFFENSE AND A \$100 ADMINISTRATION FEE FOR SUBSEQUENT VIOLATIONS WITHIN A TWELVE MONTH PERIOD.

FIRE DEPARTMENT NOTES

- 1. THERE ARE NO SPRINKLING SYSTEMS PROPOSED WITH THIS PLAN.
- 2. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 LF (NFPA 507.5.1) 3. FIRE HYDRANT SHALL BE LOCATED WITHIN 400 LF AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- 4. ALL PROPOSED PUBLIC FIRE HYDRANTS WILL BE ACCORDANCE TO CITY OF RALEIGH STANDARD DETAIL W-5. DETAIL WILL BE PROVIDED IN CONCURRENT REVIEW PLANS.
- 5. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3. 6. FIRE DEPARTMENT VEHICLE LANES MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING 90,000 LBS. AT A MINIMUM AND SHALL BE SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES (NCFC 503.2.3).



DEVELOPER:



PRELIMINARY SUBDIVISION PLAN HADDONSTONE SUBDIVISION PHASE 4 WR PROJECT NO.02180729 04/05/2024

STANLEY MARTIN HOMES 4020 WESTCHASE BLVD., BLDG 1, STE, 470 RALEIGH, NC 27607 PHONE #: 919-977-8760 ATTENTION: BRIAN KETCHUM

|--|

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.

- 2. WORK ON THIS PROJECT SHALL CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE NCDOT ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, MUNICIPAL STANDARDS AND SPECIFICATIONS, ANY GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN, UNLESS OTHERWISE NOTED IN THESE PLANS.
- 3 ANY DISCREPANCIES INCONSISTENCIES OR AMRIGUITIES FOUND BETWEEN THE DRAWINGS SPECIFICATIONS AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND APPROVAL BY OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH MUNICIPAL. COUNTY AND STATE REGULATIONS, AND O.S.H.A. STANDARDS, CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- 5. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL CALL "811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS, INCLUDING BUT NOT LIMITED TO SIGNS, ROADWAYS, PATHS, STRUCTURES, ELECTRICAL. COMMUNICATION, AND OTHER DRY UTILITIES, WET UTILITIES (SEWER, WATER, STORM SEWER), NATURAL VEGETATION, AND OTHER EXISTING PROPERTY ITEMS, DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING ITEMS DAMAGED DURING CONSTRUCTION
- 7. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY IRONS, MONUMENTS AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR
- 8. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THESE PLANS, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND/OR AS FURTHER DIRECTED BY THE MUNICIPALITY AND/OR NCDOT. 9. CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN SUITABLE BARRIERS, FENCES, SIGNS, FLAGMEN, WATCHMEN, AND OTHER ADEQUATE
- PROTECTION AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC AND THOSE ENGAGED IN THE CONSTRUCTION WORK. ALL SAFETY MEASURES SHALL RE MAINTAINED AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK. CONSTRUCTION SIGNING SHALL BE CLEARLY LEGIBLE. PROMINENTLY DISPLAYED, AND IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", UNLESS OTHERWISE NOTED ON THE
- 10. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC AND SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON TRAFFIC CONTROL PLANS.
- 11. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE AND IF APPLICABLE AT AN APPROVED DISPOSAL FACILITY.
- 12. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- 13. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE **USACOE & NCEDNR-DWO**
- 14. DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S. ARMY CORPS OF ENGINEERS AND NCDENR-DWQ.
- 15. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS, ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.
- 16. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.
- 17. TESTING OF MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LAB AND THE PAYMENT OF EACH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENT OF THE NCDOT AND MUNICIPAL SPECIFICATIONS.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY 2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED
- TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION. 3. DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS
- 4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER
- 5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR
- 6. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION. 7. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER
- 8. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES. 9. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- 10. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
- 11 INFORMATION CONCERNING UNDERGROUND LITH ITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

STORM DRAINAGE NOTES:

- 1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER. 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
- 3. ALL RCP STORM SEWER SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED.
- 4 THE LOCATIONS OF STORM SEWER STRUCTURES SHOWN ON THESE PLANS ARE APPROXIMATE. WHERE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
- 5. UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED."
- 6. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS. UNLESS APPROVED BY THE CITY OF RALEIGH.
- 7. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. 8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON
- 9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. 10. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.

GRADING NOTES:

- 1. REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. 2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADFOLIATE
- SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS. THE CONTRACTOR SHALL USE INTERIM DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES, ROADWAYS, AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFERS AND WETLANDS.
- 3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS. 4. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD. ROOTS. ROCKS. BOULDERS. OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE. REFER TO FINAL
- GEOTECHNICAL REPORT FOR ANY SPECIAL FILL MATERIAL REQUIRED FOR THIS PROJECT. IF ANY. 5. MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL MEET THE REQUIREMENTS OF THE FINAL GEOTECHNICAL REPORT
- RECOMMENDATIONS, AND SHALL AT A MINIMUM BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST AS SET OUT IN ASTM STANDARD D-1557. 6. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT THE RESULTS OF THE PROCTOR TEST
- TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A CERTIFIED MATERIALS TESTING LABORATORY AND CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REPRESENTING THE LABORATORY
- . RETAINING SYSTEMS PROVIDING A CUMULATIVE VERTICAL RELIEF GREATER THAN FIVE FEET IN HEIGHT WITHIN A HORIZONTAL DISTANCE OF 50 FEET OR LESS, INCLUDING RETAINING WALLS OR MECHANICALLY STABILIZED EARTH WALLS SHALL BE DESIGNED AND CONSTRUCTED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED PROFESSIONAL ENGINEER AND COMPLY IN ALL ASPECTS WITH THE NC BUILDING CODE SECTION 1610. RETAINING SYSTEMS MEETING THESE CRITERIA WILL REQUIRE A SEPARATE BUILDING PERMIT PRIOR TO THE START OF WORK.
- 8. ALL DEMOLITION DEBRIS AND OTHER EXCESS MATERIAL SHALL BE HAULED OFF-SITE.
- 9. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION
- 10. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- 11. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS. 12. CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE
- 13. ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT ADA REQUIREMENTS. THE RUNNING SLOPE OF WALKING SURFACES CANNOT BE STEEPER THAN 1:20 AND CROSS SLOPE OF WALKING SURFACES CANNOT BE STEEPER THAN 1:48, WHICH INCLUDES CROSSWALKS.

- ENGINEER AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES THE TOWN MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.
- 15. MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE. THE PRESENT PHASE THE CONSTRUCTION DRAWINGS
- USACOE & NCEDNR-DWQ.
- 17. DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S. ARMY CORPS OF ENGINEERS AND NCDENR-DWO.

- THE EXISTING HEIGHTS AND SHAPES. ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO FARTHWORK.
- 22. ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- 23. FILL SHALL BE PLACED AND COMPACTED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- SEALED WITH JOINT SEALANT.
- 26. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT. FENCING SHALL NOT BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO
- **EROSION & SEDIMENT CONTROL NOTES:** MEASURES.
- 3. IF STORM CROSS DRAINAGE CAN NOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE SHALL BE USED TO CROSS WET WEATHER
- CHANNELS.
- 5. ALL STORM DRAINAGE PIPE SHALL BE PROTECTED DURING CONSTRUCTION.
- POSITIVE DRAINAGE.
- DIVERSION DITCHES DISCHARGE INTO A SKIMMER BASIN.
- 8. SEDIMENT BASINS SHALL BE KEEP OUT OF WETLAND AREAS.
- DISTURBANCE. TOPSOIL SHALL BE WASTED OFFSITE OR IN FILL AREAS AS SHOWN.
- STABILIZED. 11. FOREBAY WILL NOT BE REQUIRED WHILE SCM IS ACTING AS AN EROSION CONTROL DEVICE.
- 12. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION
- 13. A GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF CONSTRUCTION ACCESS.
- 14. ALL CATCH BASIN HOODS SHALL BE STAMPED "DRAINS TO RIVER" WITH 3/4" HIGH LETTERING.
- SHALL REMAIN IN PLACE UNTIL ALL ADJACENT DISTURBED AREAS HAVE BEEN COMPLETED AND STABILIZED.

GENERAL LANDSCAPE NOTES

- SPECIFICATIONS IF APPLICABLE.
- LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
- MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- ACCEPTANCE.
- MOISTURE IN ROOTS.
- APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
- SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE
- PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- AND ALLOWED TO DISSIPATE PRIOR TO INSTALLATION OF ANY PLANT MATERIAL
- SPECIFIC GRADING INFORMATION.
- INSTALLATION OF MULCH
- LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- 15. MIXED GROUNDCOVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN GROUPS OF 3-7 AND LOCATED AS REQUIRED TO
- AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED ONLY TO THE NECESSARY
- FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
- AND SIZE TO MEET PLAN SPECIFICATIONS.
- UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- 20. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- OR WALL.

TREE PROTECTION NOTES:

- THE END OF THE PROJECT.
- DEBRIS; TRENCHING; OR DISPOSAL OF ANY LIQUIDS.

SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. MASS GRADING AND CLEARING SHALL NOT EXCEED 20 ACRES PER PHASE INCLUDING GRADING NECESSARY FOR INFRASTRUCTURE, EXCEPT WHERE THE TECHNICAL REVIEW COMMITTEE APPROVES AN INCREASE SUBJECT TO REVIEW OF AN EROSION CONTROL PLAN SUBMITTED WITH

16. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE

18. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS, FTC.) ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.

19. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND WIRE UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES. 20. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO

21. BEFORE ANY EARTHWORK IS DONE. THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS

24. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5'. ALL JOINTS SHALL BE

25. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND

REQUIRED ADJACENT TO AREAS WITHOUT WOODED VEGETATION, FENCING SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE

1. CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL

2. CONTRACTOR SHALL CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENT CONTROL MEASURES. CONTRACTOR SHALL INSTALL SILT FENCE, SEDIMENT BASINS, DIVERSION DITCHES, AND THEN BEGIN GRADING ROADWAYS.

4. CONTRACTOR SHALL ENSURE GRADING OPERATION IS CONDUCTED IN A MANNER THAT DOES NOT ALLOW ANY SEDIMENT INTO CREEKS.

6. CONTRACTOR SHALL PROVIDE RIP RAP LINED TAIL DITCHES AT THE STORM DRAINAGE PIPE DISCHARGE POINTS AS REQUIRED TO ENSURE

7. TO AVOID SLOPE EROSION, CONTRACTOR SHALL INSTALL TEMPORARY SLOPE DRAINS PER DETAIL AT LOCATIONS WHERE TEMPORARY

9. PERMANENT GROUND COVER SHALL BE ESTABLISHED PER NPDES LATEST REQUIREMENTS. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 SHALL BE PROVIDED GROUND COVER WITHIN 7 CALENDAR DAYS FROM THE LAST DISTURBANCE, ALL OTHER DISTURBED AREAS SHALL BE PROVIDED GROUND COVER WITHIN 14 CALENDAR DAYS FROM THE LAST

10. TEMPORARY DIVERSIONS ARE TO REMAIN IN PLACE UNTIL THE STORM DRAINAGE SYSTEM IS IN PLACE AND THE UPSTREAM AREA IS

PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE

15. THE CONTRACTOR SHALL MARK THE LIMITS OF THE BUFFER WITH ORANGE TREE PROTECTION FENCE WITH APPROPRIATE SIGNAGE. TREE PROTECTION FENCE SHALL BE INSTALLED ALONG THE OUTER ZONE OF ANY STREAM BUFFERS IF THERE IS ANY CONSTRUCTION WITHIN 50 FEET OF THE EDGE OF THE BUFFER. THIS MUST BE DONE PRIOR TO STARTING ANY CLEARING, AND MUST BE DONE TO OBTAIN A CERTIFICATE OF COMPLIANCE. IF THE DEVELOPER HAS RECEIVED APPROVAL TO WORK IN THE FIRST 20 FEET OF THE BUFFER. THEN THE LAST 30 FEET BOUNDARY SHALL BE MARKED IN THE AREA ADJACENT TO THIS WORK. OTHERWISE THE ENTIRE 50 FEET SHALL BE MARKED. THIS MARKING

1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO EMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAP ARCHITECT AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST-FREE

2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND

3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN. INCLUDING BUT NOT LIMITED TO LANDSCAPING. GRADING. BUILDING ELEVATIONS.

4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT

5. ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL

6. PLANTING SHALL FOLLOW NCDOT STANDARD SPECIFICATIONS AS OUTLINED IN SECTION 1670. PLANTING SEASON IS OCTOBER 15 - MARCH 15. UNI ESS OTHERWISE NOTED OR APPROVED BY NCDOT ENGINEER, ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN

7 THE CONTRACTOR SHALL VERIEVALL PLANT OLIANTITIES SHOWN ON PLANS AND CLARIEVANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR

8. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO

9. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL

10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

11. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR

12. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR

13. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. NO PINE STRAW IS PERMITTED. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY

14. FINISH OFF 2-4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT

PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE DIRECTED. 16. ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST.

BRANCHES IN ORDER TO SATISFY SIGHT AND CLEARANCE REOUIREMENTS WHILE MAINTAINING THE INTEGRITY OF THE TREES. 17. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING,

18. ANY PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON, QUANTITY

19. UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED UTILITY LOCATIONS. THE CONTRACTOR MUST LOCATE AND VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON THE PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER AND THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER AND THE

21. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE,

22. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF RALEIGH'S TREE MANUAL.

1. ALL TREES THAT ARE TO REMAIN. WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK. MUST BE PROTECTED WITH 6' TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT

2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR

3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.

- 4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
- 5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES
- 6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
- 7. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

UTILITIES NOTES: 1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

- 2. ALL NECESSARY INSPECTIONS. CERTIFICATIONS. OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE. 3. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS
- SHOWN. [DG NOTE- DO WE EXPAND THIS TO INCLUDE ALL UTILITIES, OR JUST THE STORM SEWER?] 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK. THERE WILL BE NO ADDITIONAL OR SEPARATE PAY ITEM FOR THIS WORK UNLESS SPECIFICALLY CALLED OUT IN THE BID FORM. ANY
- RELOCATION OF EXISTING UTILITIES MUST BE COORDINATED WITH THE AFFECTED UTILITY COMPAN 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND FEES FOR THE ABANDONMENT OF WELLS AND SEPTIC SYSTEMS.
- 6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NCDEQ WELL AND SEPTIC SYSTEM STANDARDS. AN ABANDONMENT PERMIT SHALL BE OBTAINED FROM THE COUNTY ENVIRONMENTAL HEALTH DIVISION PRIOR TO COMMENCING ABANDONMENT WORK.
- 7. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ANY HYDRANT, FDC OR OTHER FIRE DEPARTMENT EQUIPMENT
- 8. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- 9. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- 10. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S). 11. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 12. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- 13. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
- 14. ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION 15. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE 2012 NCFPC. SECTION 507.3. THIS IS THE AVAILABLE FIRE FLOW FROM THE HYDRANT AND THE MINIMUM REQUIRED FIRE FLOW CALCULATION FROM 2012 NCFPC APPENDIX B OR OTHER APPROVED METHOD.
- 16. PLANS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- 17. CONTRACTOR SHALL REPLACE WITH NEW ALL DRIVEWAY PIPES AND OTHER DRAINAGE PIPES/CULVERTS THAT ARE DISTURBED WHILE INSTALLING THE UTILITIES. ALL PIPE/CULVERTS SHALL MEET THE REQUIREMENTS OF NCDOT.
- 18. ALL ROADWAY DITCHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER AND CONFORM TO NCDOT REQUIREMENTS. ALL DITCHES SHALL BE LINED WITH EROSION CONTROL MATTING UNLESS OTHERWISE NOTED.
- 19. ALL EXCAVATED MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE DURING UTILITY INSTALLATION. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SEDIMENT AND EROSION CONTROL MEASURES TO CONTROL RUN-OFF. ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF LEGALLY.

@AAASHTOAAASHTOAABCAABSAACIAAIAANSIAARVAASTMAAWWABBBFEBBFFEBBFFVBBOABBOCBBCC&CCATVCCATVCCATVCCCACCCACCCACCATVCCCACCOCCOCCOCCONCCCOCDIA/ØDDIPEEAEELECEELECEELECFFFDCFFFEMAF	AND AT AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS AGGREGATE BASE COURSE ACRYLONITRILE BUTADIENE STYRENE AMERICAN CONCRETE INSTITUTE AREA INLET AMERICAN NATIONAL STANDARDS INSTITUTE AIR RELEASE VALVE AMERICAN SOCIETY FOR TESTING AND MATERIALS AMERICAN WATER WORKS ASSOCIATION BACK TO BACK BASE FLOOD ELEVATION BASEMENT FINISHED FLOOR ELEVATION BACK FLOW PREVENTER BUTTERFLY VALVE BOTTOM FACE OF WALL BENCHMARK BLOW OFF ASSEMBLY BOTTOM OF BANK BACK OF CURB BUILDING RESTRICTION LINE CURB & GUTTER COMMON AREA COARSE AGGREGATE BASE COURSE COASTAL AREA MANAGEMENT ACT CABLE TELEVISION CATCH BASIN CENTER TO CENTER CUBIC FOOT (FEET) CUBIC FOOT (FEET) CUBIC FOOT (FEET) CUBIC FOOT METAL PIPE CONCRETE MASONRY UNIT CLEAN OUT CONCRETE CORRUGATED PLASTIC PIPE COURC YARD DROP INLET DIAMETER DUCTILE IRON PIPE	MWSE N NE NIC NO./# NTS NW OC OD OH OHE OS PA PCF PE PG PGCL PH PS PSI PVC R R/W RCBC RCP RGRCP RJ RT S SC SCH SDR SE SF SPC SSTL STA SW SY T	MAXIMUM WATER SURFACE ELEVATION NORTH NORTH EAST NOT IN CONTRACT NUMBER NOT TO SCALE NORTH WEST ON CENTER OVERHEAD UTILITY OVERHEAD UTILITY OVERHEAD ELECTRICAL LINE OPEN SPACE PLANTING AREA POUNDS PER CUBIC FOOT POLYETHYLENE PROPOSED GRADE PROPOSED GRADE CENTERLINE PHASE PUMP STATION POUNDS PER SQUARE INCH POLYVINYL CHLORIDE PIPE RADIUS RIGHT OF WAY REINFORCED CONCRETE BOX CULVERT REINFORCED CONCRETE PIPE ROLLED EROSION CONTROL PRODUCT RING-GASKETED REINFORCED CONCRETE PIPE RESTRAINED JOINT RIGHT SOUTH STANDARD CURB SCHEDULE STORMWATER CONTROL MEASURE STANDARD DIMENSION RATIO SOUTH EAST SQUARE FEET SPILL CURB STAINLESS STEEL STATION
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E E E E E E E E E E E E E E E E E E E		TCA	TREE CONSERVATION AREA
EA E EG E EGCL E EL E ELEC E EOP E EX E F-F F FDC F FEMA F	EAST	TDD	TEMPORARY DIVERSION DITCH
EGCL E EL E ELEC E EOP E EX E F-F F FDC F FEMA F	EACH	TFW	TOP FACE OF WALL
EL E ELEC E EOP E EX E F-F F FDC F FEMA F	EXISTING GRADE	ТОВ	TOP OF BANK
ELEC E EOP E EX E F-F F FDC F FEMA F	EXISTING GRADE CENTERLINE	TOC	TOP OF CURB
EOP E EX E F-F F FDC F FEMA F	ELEVATION	TOE	TOE OF SLOPE
EX E F-F F FDC F FEMA F	ELECTRICAL	TRM	TURF REINFORCEMENT MAT
F-F F. FDC F FEMA F	EDGE OF PAVEMENT	TYP	TYPICAL
FDC F FEMA F	EXISTING	UG	UNDERGROUND
FEMA F	FACE TO FACE	UP	UTILITY POLE
	FIRE DEPARTMENT CONNECTION	USGS	UNITED STATES GEOLOGICAL SURVEY
	FEDERAL EMERGENCY MANAGEMENT AGENCY	VERT	VERTICAL
		W	WEST
	FINISHED FLOOR ELEVATION	W/	
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	FUTURE OR FINISHED GRADE CENTERLINE	WWF	WOVEN WIRE FABRIC
	FIRE HYDRANT ASSEMBLY	WWM	WELDED WIRE MESH
	FLOW LINE	YI	YARD INLET
	FORCE MAIN		
	FACE OF CURB	EASEMEN	ITS:
	FOOT/ FEET		
	GAUGE	AE	ACCESS EASEMENT (PUBLIC)
	GALVANIZED	PAE	ACCESS EASEMENT (PRIVATE)
	GARAGE FINISHED FLOOR ELEVATION	CORUE	CITY OF RALEIGH UTILITY EASEMENT
	GRADED PAD ELEVATION		CITY OF RALEIGH SANITARY SEWER EASEMEN
	GALLONS PER MINUTE	DHMAE	DRAINAGE AND HEADWALL MAINTENANCE AN
	GATE VALVE		ACCESS EASEMENT
		DE	DRAINAGE EASEMENT (PUBLIC)
		PDE	DRAINAGE EASEMENT (PRIVATE)
	HIGH DENSITY POLYETHYLENE PIPE	GE	GREENWAY EASEMENT (PUBLIC)
	HORIZONTAL	PGE	GREENWAY EASEMENT (PRIVATE)
	HIGH POINT HIGH PERFORMANCE POLYPROPYLENE PIPE	MUPE	MULTI-USE PATH EASEMENT (PUBLIC)
	HIGH PERFORMANCE POLYPROPYLENE PIPE HEADWALL	PMUPE	MULTI-USE PATH EASEMENT (PRIVATE)
	INCH	PSMAE	PUMP STATION MAINTENANCE & ACCESS
	INVERT	TOP	
	JUNCTION BOX	TCE	TEMPORARY CONSTRUCTION EASEMENT
	LATITUDE	SSE	SANITARY SEWER EASEMENT (PUBLIC)
	LINEAR FEET	PSSE	SANITARY SEWER EASEMENT (PRIVATE)
	LINEAR FEET	SDTE	SIGHT DISTANCE EASEMENT (PUBLIC)
	LONGITUDE	STE	STREET TREE EASEMENT (PUBLIC)
	LOW POINT	UDE	UTILITY/DRAINAGE EASEMENT (PUBLIC)
	LEFT	PUDE	UTILITY/DRAINAGE EASEMENT (PRIVATE)
	MAXIMUM		SCM MAINTENANCE AND ACCESS EASEMENT
		UE	UTILITY EASEMENT (PUBLIC)
	MANUFACIURER	PUE	UTILITY EASEMENT (PRIVATE)
	MANUFACTURER MILLION GALLONS PER DAY	VWDE	VARIABLE WIDTH DRAINAGE EASEMENT (PUBI VARIABLE WIDTH DRAINAGE EASEMENT (PRIV
MIN M		PVWDE	

EXISTING C	CONDITIONS LEGEND	PROPOS	ED GRADING LEGEND		
(MBOL	DESCRIPTION	SYMBOL	DESCRIPTION	<u> </u>	
	ADJOINER	100	EXISTING MAJOR CONTOUR		
	BOUNDARY		EXISTING MINOR CONTOUR		
	BUILDING		PROPOSED MAJOR CONTOUR	27601 Straven	
	BUFFER		PROPOSED MINOR CONTOUR	ther C	
	CONCRETE			Raleigh,	
	CURB LINE	PROPOSED S	TORM DRAINAGE LEGEND	- Ral	
	EASEMENT	SYMBOL	DESCRIPTION	340 T	
	EDGE OF PAVEMENT		STORM PIPE	buite 69.3	
XXXX	FENCE		TRENCH DRAIN		
FO	FIBER OPTIC LINE		CATCH BASIN (CB)	t: Str	
	FLOOD WAY		FLARED END SECTION (FES)	1479	
	FLOOD LINE				
- — FM — —	FORCEMAIN		HEAD WALL (HW)	137 s Wilh License #:	
	GRAVEL			Licen	
— OHE —	OVERHEAD ELECTRIC				
	PAVEMENT STRIPING		YARD INLET (YI)/DROP INLET (DI)		
	RIGHT OF WAY				1. F
ss	SANITARY SEWER PIPE	PROPOS	ED UTILITIES LEGEND		
		SYMBOL	DESCRIPTION		
· · ·	STREAM	FL	FIRE LINE		
YYYYYY.	TREELINE	SS	SANITARY SEWER PIPE		
	TOP OF BANK	——— W ———	WATER MAIN		
— UGE — —	UNDERGROUND ELECTRIC		BACKFLOW PREVENTER		
UGL	WATER MAIN	0	BLOW OFF	8	
me		*	FIRE DEPARTMENT CONNECTION (FDC)		
B0.	WETLAND	†	FIRE HYDRANT ASSEMBLY		
BO	BLOW OFF	Î ●	SEWER CLEANOUT		
			SEWER MANHOLE		
•			WATER METER		
	CONTROL POINT	M	WATER VALVE		
	DROP INLET				
FO	FIBER OPTIC BOX	EDOSIO	N CONTROL LEGEND		
<i>V</i>	FIRE HYDRANT				
	FLARED END SECTION	SYMBOL	DESCRIPTION		
\leftarrow	GUY WIRE	——————————————————————————————————————	BAFFLE		
¢	LIGHT POLE	LOD LOD LOD		suB-0019-2024 ONE	
C)	POWER POLE				
S	SEWER MANHOLE	SF	SILT FENCE		
\bigcirc	STORM DRAINAGE MANHOLE	SF/TP	SILT/ TREE PROTECTION FENCE		
\bigtriangleup	TV PEDESTAL	>TD	TEMPORARY DIVERSION DITCH	DIVISION PLAN DONST DIVISI HASE	
THH	UNDERGROUND TELEPHONE BOX	TP	TREE PROTECTION FENCE		
\odot	TREE		TEMPORARY CONSTRUCTION ENTRANCE		
××	WATER METER	ĊĊĊĊĊĊĊĊĊ			
\bowtie	WATER VALVE		CHECK DAM	PRELIMINARY SUB HADI SUB P	
			TEMPORARY CONCRETE WASHOUT		
	TE PLAN LEGEND	\diamond	INLET PROTECTION	PREL	
/BOL		\square	ROCK INLET PROTECTION	-	
	DESCRIPTION BOUNDARY	011110	SILT FENCE OUTLET		
	BUFFER				
	CENTER LINE				

CURB & GUTTER — — — — — — — EASEMENT ----- LOD ------ LIMIT OF DISTURBANCE ----- LOT LINE PHASE LINE RIGHT OF WAY ----- SETBACK

DEMOLITION LEGEND

DESCRIPTION

BUILDING

SYMBOL
++ X
///////////////////////////////////////
D)

XXX AREAS TO BE REMOVED FENCE TO BE REMOVED

STORM PIPE TO BE REMOVED WETLANDS TO BE IMPACTED TREE TO BE REMOVED

INITIAL PLAN DATE: 04/05/2024 **REVISIONS:** 1 - 06/14/2024 WR PER COR COMMENTS 2 - 08/09/2024 WR PER COR COMMENTS 3-09/09/2024 WR PER COR COMMENTS

FOR CONSTRUCTION

WR JOB NUMBER 0218072 DRN: WR DGN: WR CKD: WR

GENERAL NOTES







	HADDONSTONE PHASE 4 (ZONING I		E
UDO S	ECTION 2.2.3 - APARTMENT D		JIREMENTS
A. SITE DIME		<u> </u>	
	Requirement	Min./Max. Allowed	Requirement Met?
A1	Net site area/unit (min)	4,500 SF	MET
A2	Width (min)	50'	MET
A3	Outdoor Amenity Area (min)	10%	MET
B. LOT DIMEN	ISIONS	ļ	1
	Requirement	Min./Max. Allowed	Requirement Met?
B1	Area (min.)	N/A	MET
B2	Width (min)	16'	MET
C. BUILDING/	STRUCTURE SETBACKS	I	
	Requirement	Min./Max. Allowed	Requirement Met?
C1	From primary street (min)	10'	MET
C2	From side street (min)	10'	N/A
C3	From side lot line (min)	10'	MET
C4	From rear lot line (min)	20'	MET
C5	From alley	4' or 20' min	MET
D. PARKING S	SETBACKS	-	•
	Requirement	Min./Max. Allowed	Requirement Met?
D1	From primary street (min)	20'	MET
D2	From side street (min)	10'	N/A
D3	From side/rear lot line (min)	0'	MET
D4	From rear lot line (min)	3'	MET
D5	From alley, garage only (min)	4'	MET
E. HEIGHT			
	Requirement	Min./Max. Allowed	Requirement Met?
E1	Area (min.)	45'/3 stories	MET
	UDO SECTION 6.1 - A	LLOWED USES	•
A. ALLOWED	USES IN ZONING R-6		
	Requirement	Use	Requirement Met
A1	Single-unit living	Permitted Use	MET
	UDO SECTION 7.1 - PARKI	NG REQUIREMENTS	S
A. RESIDENTI	AL PARKING REQUIREMENT		
	Requirement	Max. Allowed	Requirement Met
A1	Single-unit living	No maximum	MET

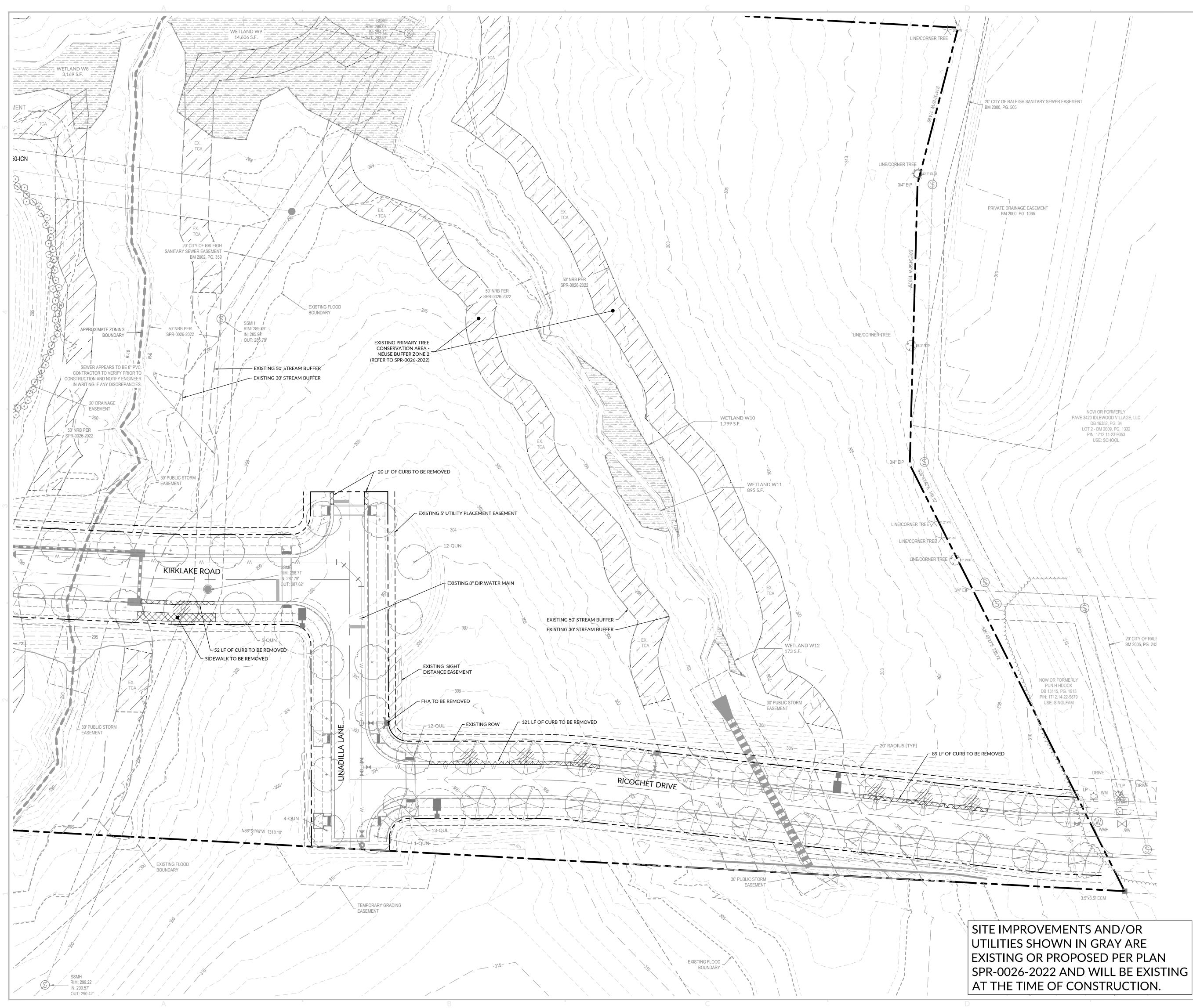


PRELIMINARY SUBDIVISION PLAN - SUB-0019-2024 HADDONSTONE SUBDIVISION PHASE 4	3115 GARNER RD RALEIGH, NORTH CAROLINA WAKE COUN'
	ED TION
INITIAL PLAN DATE: 04/05/ REVISIONS: 1 - 06/14/2024 WR PER COR COMMENTS 2 - 08/09/2024 WR PER COR COMMENTS 3 - 09/09/2024 WR PER COR COMMENTS	2024

REVISIONS: 1 - 06/14/2 PER COR C 2 - 08/09/2 PER COR C 3 - 09/09/2 PER COR C	024 WR COMMENTS 024 WR COMMENTS 024 WR COMMENTS	
WR JOB NU		02180729
DRN: WR	DGN: WR	CKD: WR

COMPLIANCE TABLES

C0.02



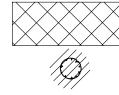
EXISTING CONDITIONS AND DEMOLITION NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH
- STANDARDS AND SPECIFICATIONS. 2. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS
- WITH THE OWNER PRIOR TO COMMENCING WORK. 3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR
- RESTORE TO ORIGINAL CONDITION AS OF START OF WORK. 4. NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE
- SITE OR PLACED IN APPROPRIATE CONTAINERS. 5. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- 6. SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
- 7. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- 8. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- 9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 10. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE
- 11. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- 12. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- 14. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTEDC A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 15. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE
- 16. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- 17. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

DEMOLITION LEGEND

DESCRIPTION

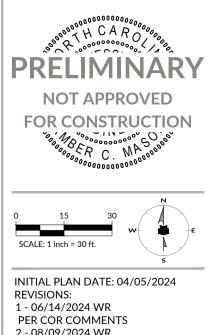
XXX AREAS TO BE REMOVED



SYMBOL

TREE TO BE REMOVED

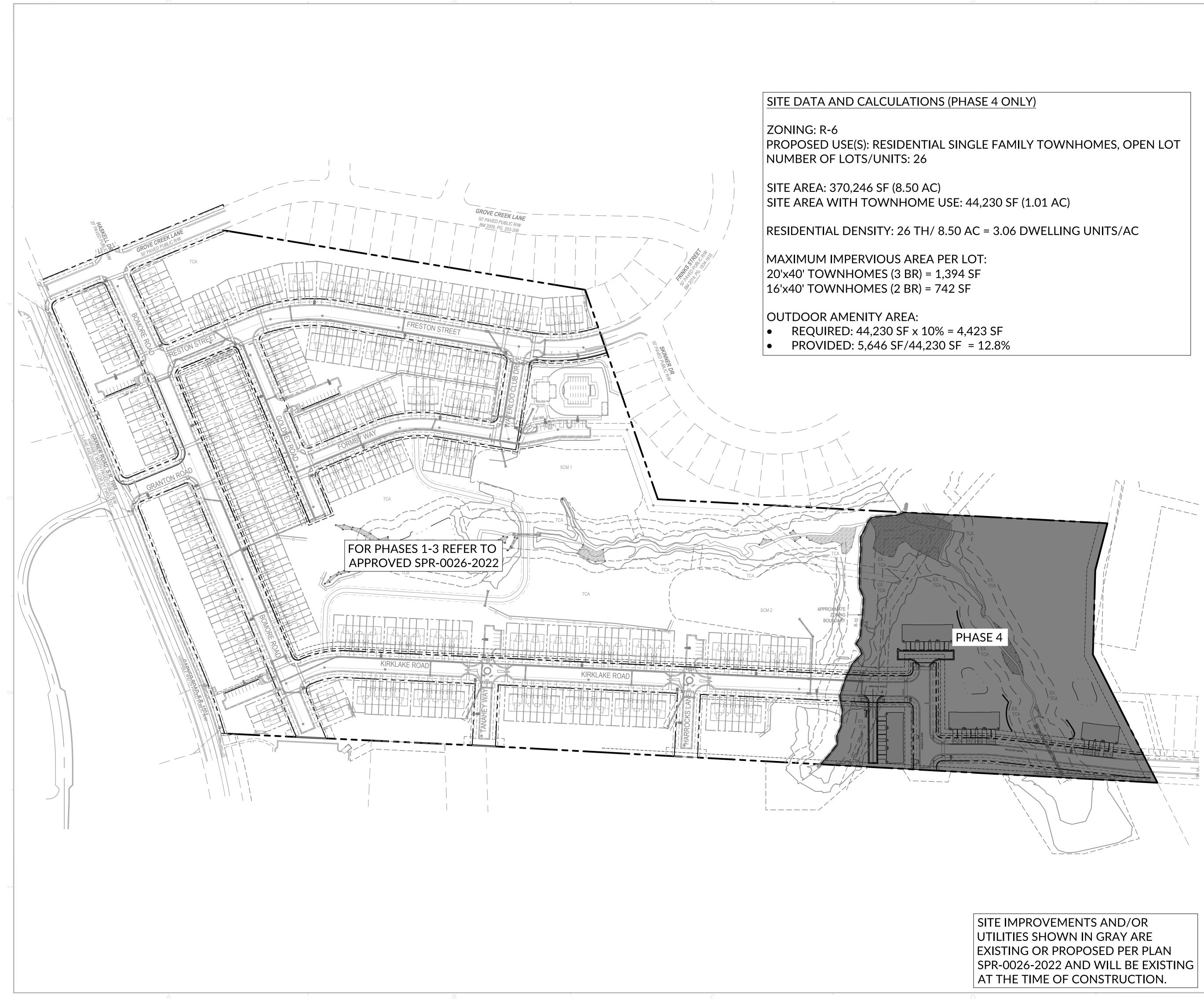




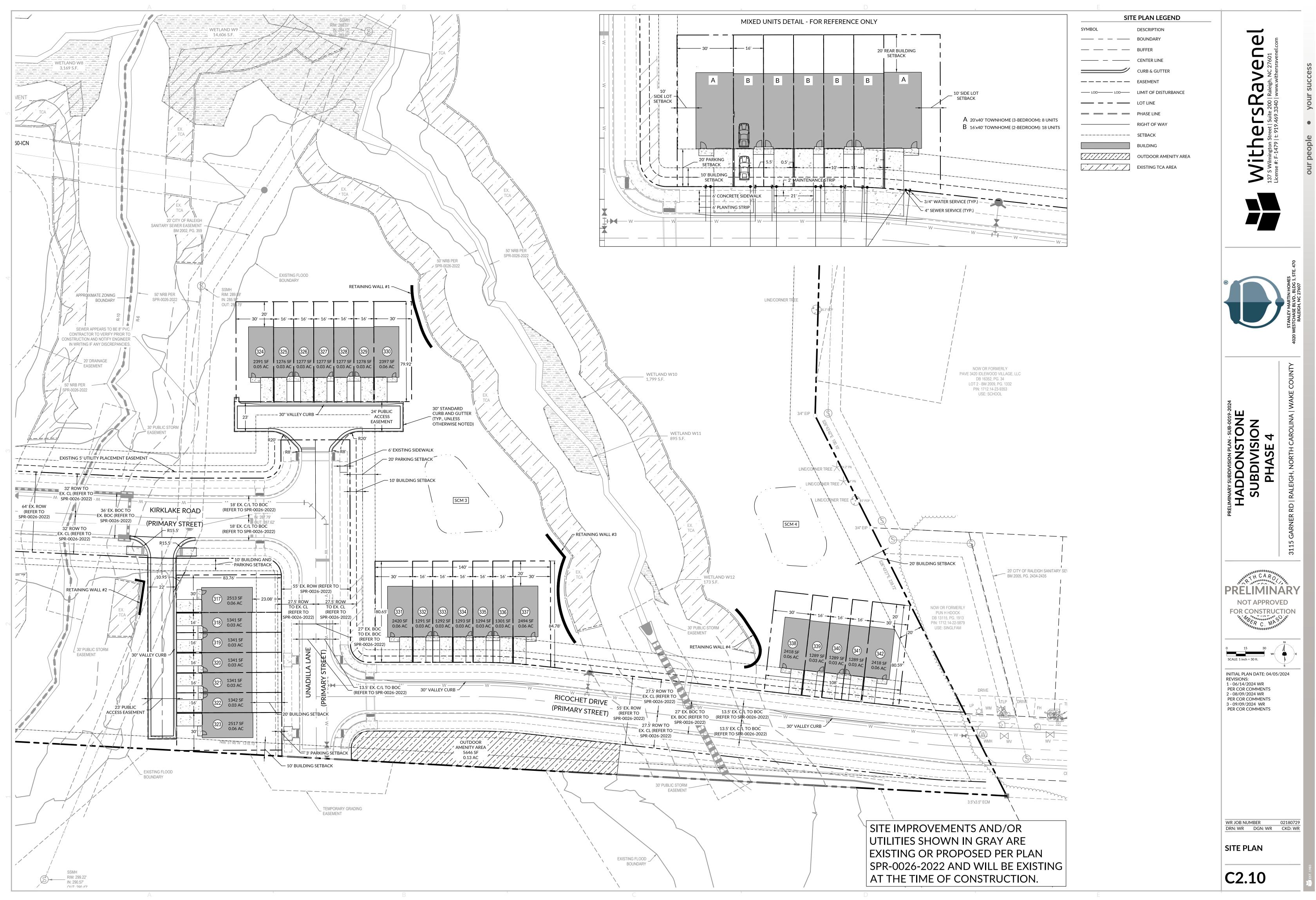
2 - 08/09/2024 WR PER COR COMMENTS 3-09/09/2024 WR PER COR COMMENTS

WR JOB NUMBER02180729DRN: WRDGN: WRCKD: EXISTING CONDITIONS AND **DEMOLITION PLAN**

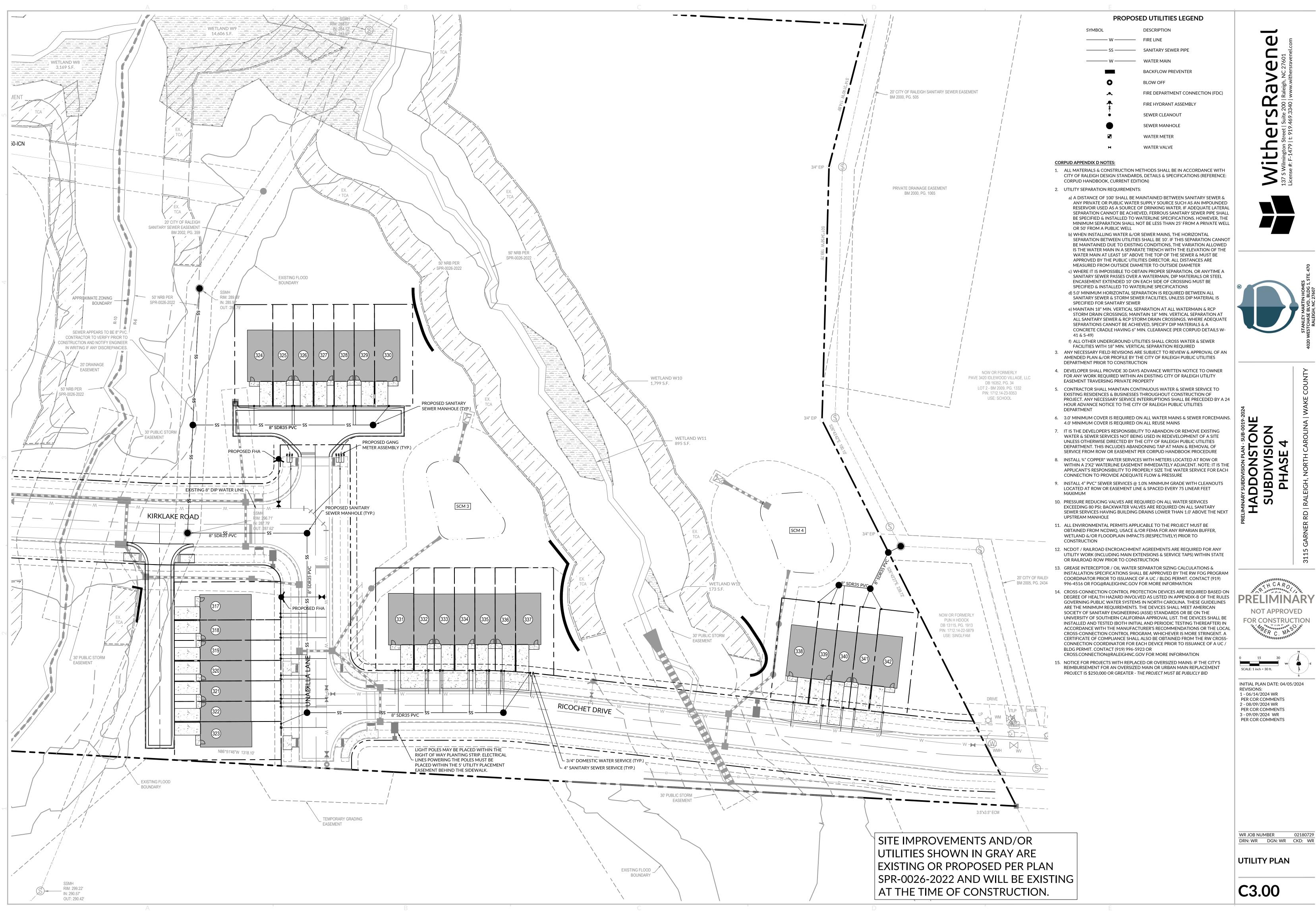
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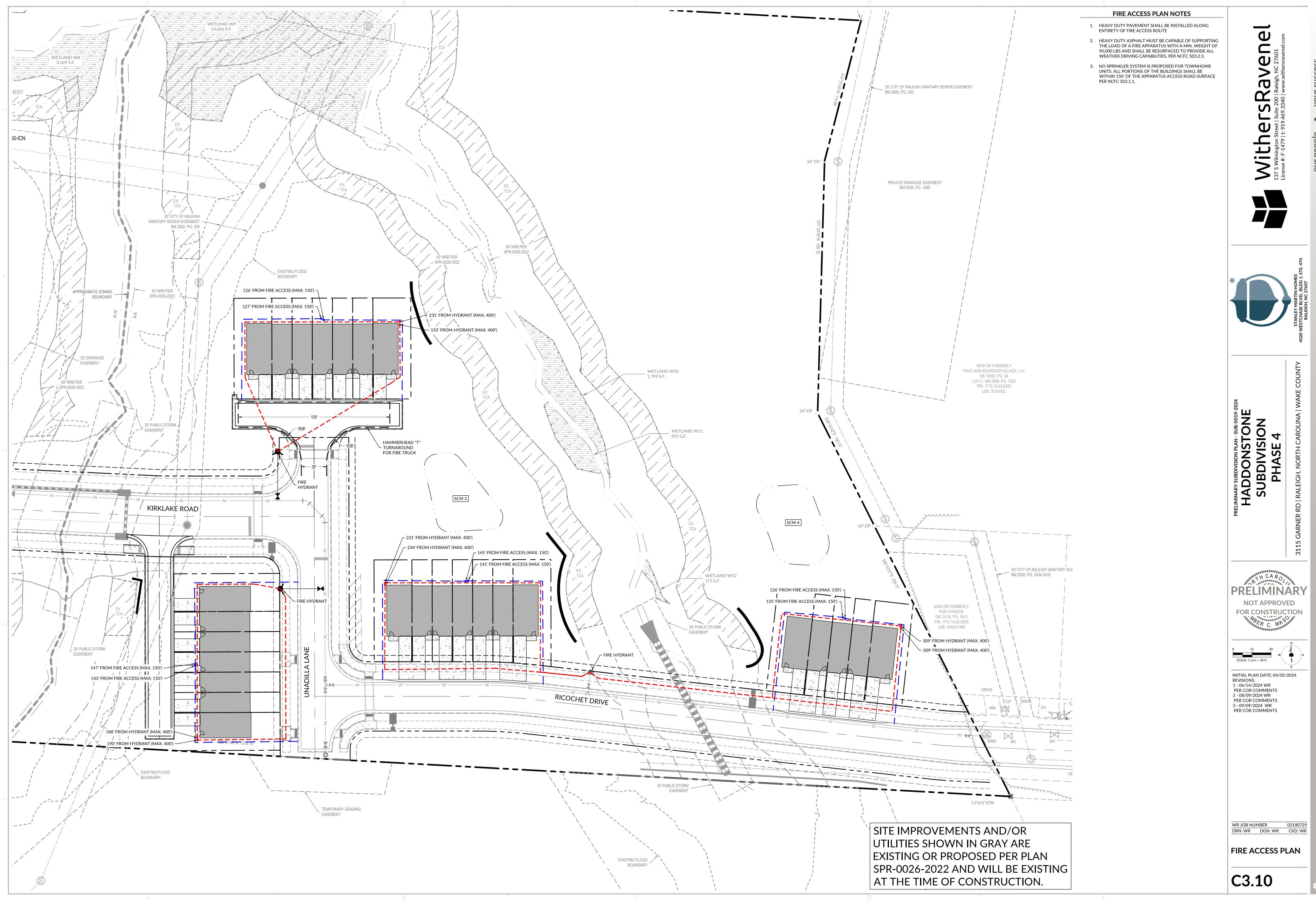


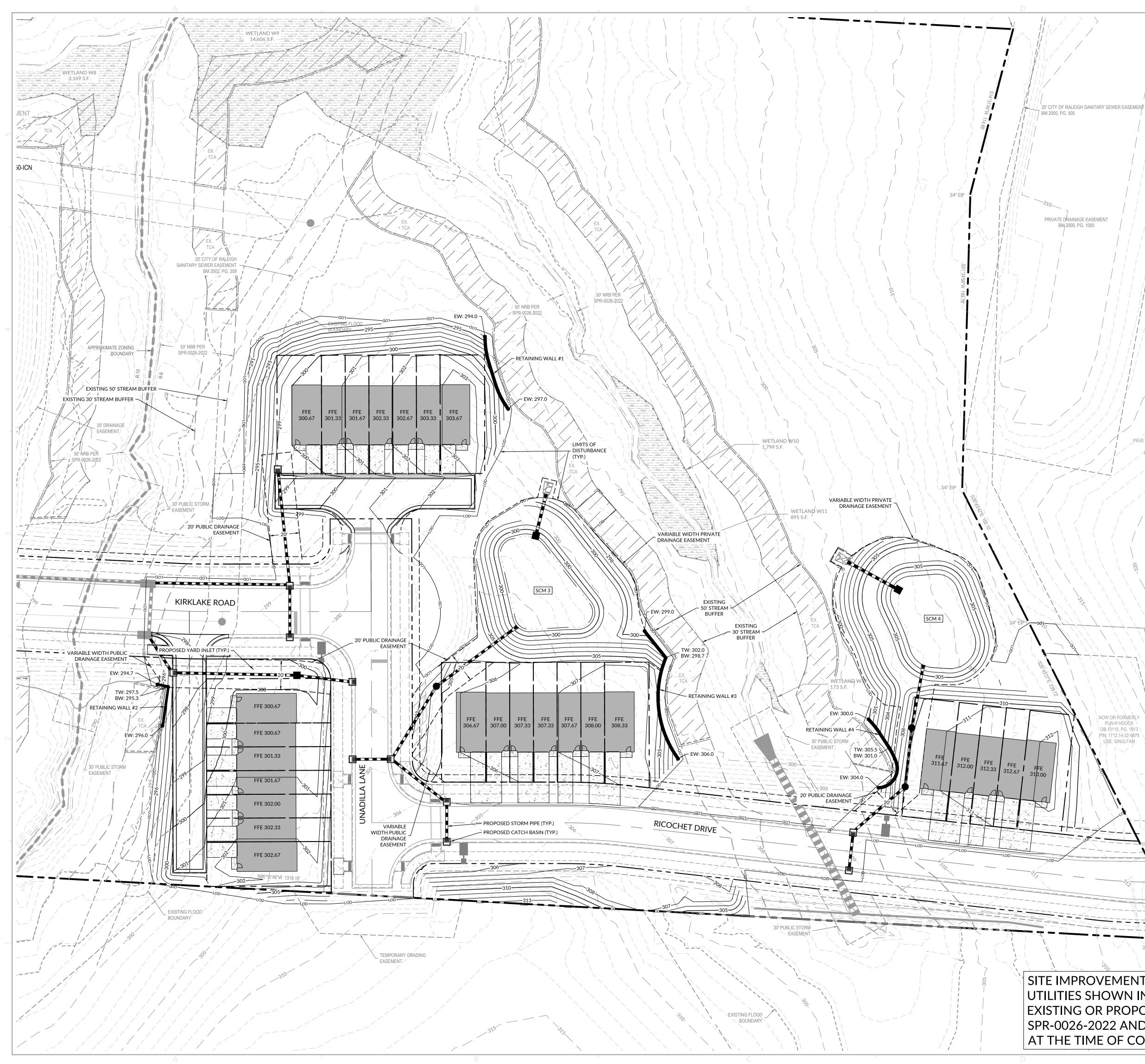


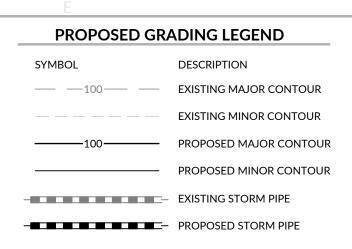


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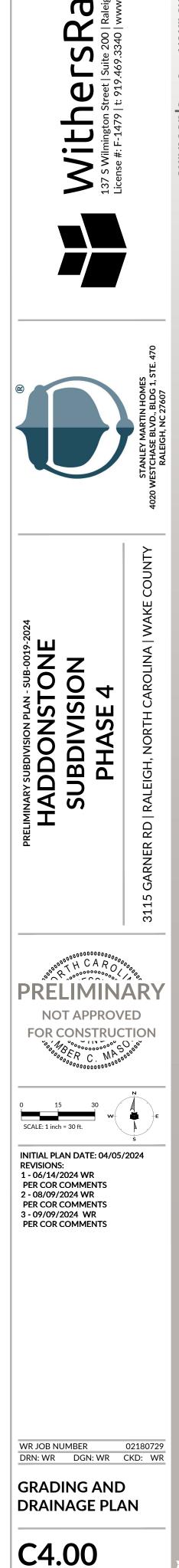


CONSTRUCTION NOTES:

- 1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
- 3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES ON LYNN OR LEESVILLE ROADS SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM - 9AM AND 4PM - 6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT.-TRANSPORTATION OPERATIONS DIVISION AT (919)996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT (919)857-4412 TO OBTAIN A STREET CUT PERMIT.
- 5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- 7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS & STREET TO EXISTING CONDITION OR BETTER.
- 8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NCDOT STANDARD DRAWINGS 1101.02 (SHEET 1), 1101.04 & 1101.11.

STORM DRAINAGE NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
- 2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
- 3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
- 4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
- 5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49)
- 6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
- 7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS SS-S-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
- 8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
- 9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30 - 48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
- 10. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED. 11. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH
- ENGINEERING DEPARTMENT AT (919)890-3430 TO SCHEDULE CONSTRUCTION INSPECTIONS. 12. STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE
- PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- 13. ALL ROOF LEADERS ARE PROPOSED TO CONNECT TO THE STORM DRAINAGE SYSTEM(S) SHOWN.



NOW OR FORMERL PUNHTHDOCK DB-13115, PG. 1913 PIN: 1712.14-22-5879 USE: SINGLFAM 3.5"x3.5" ECM

NOW OR FOR

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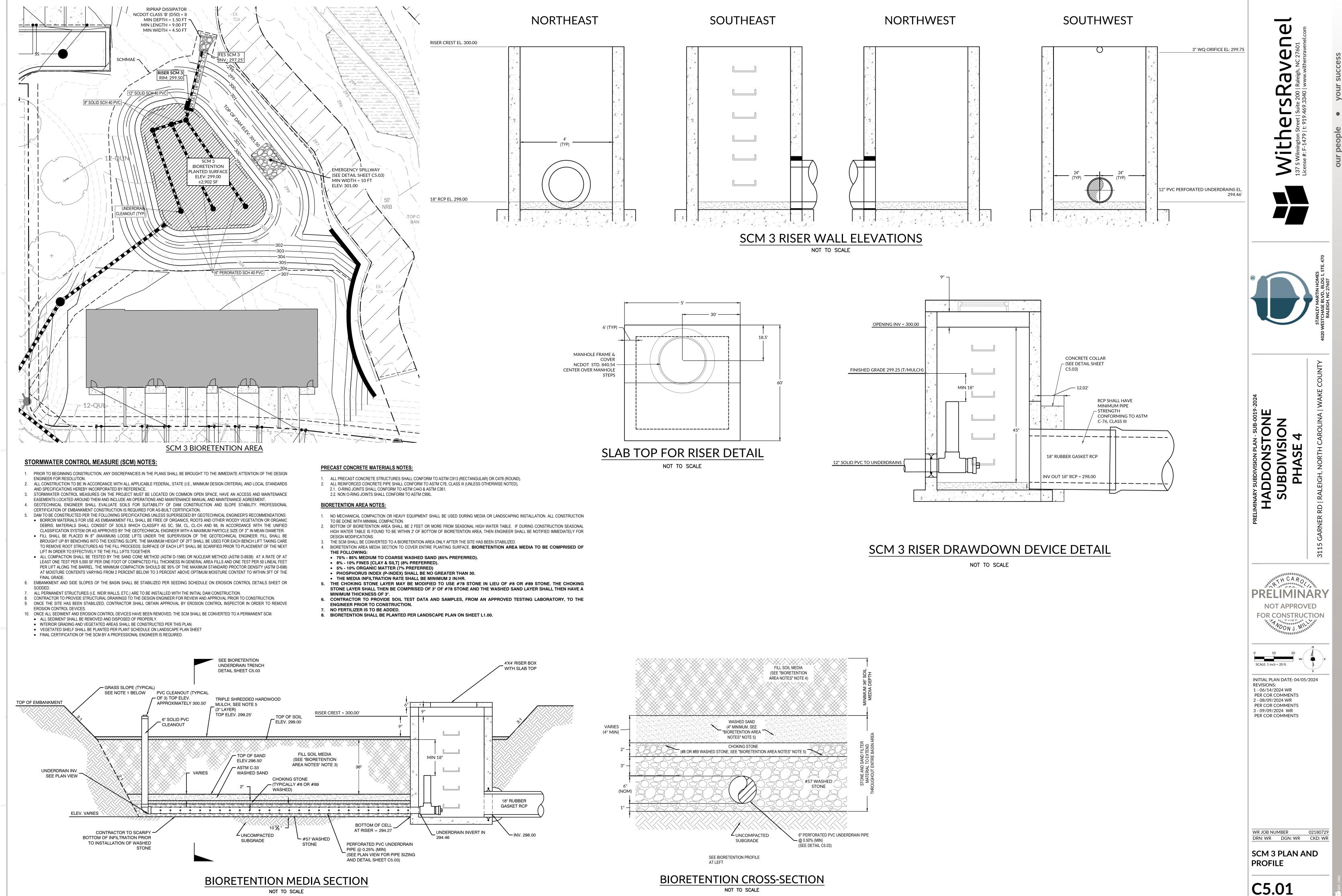
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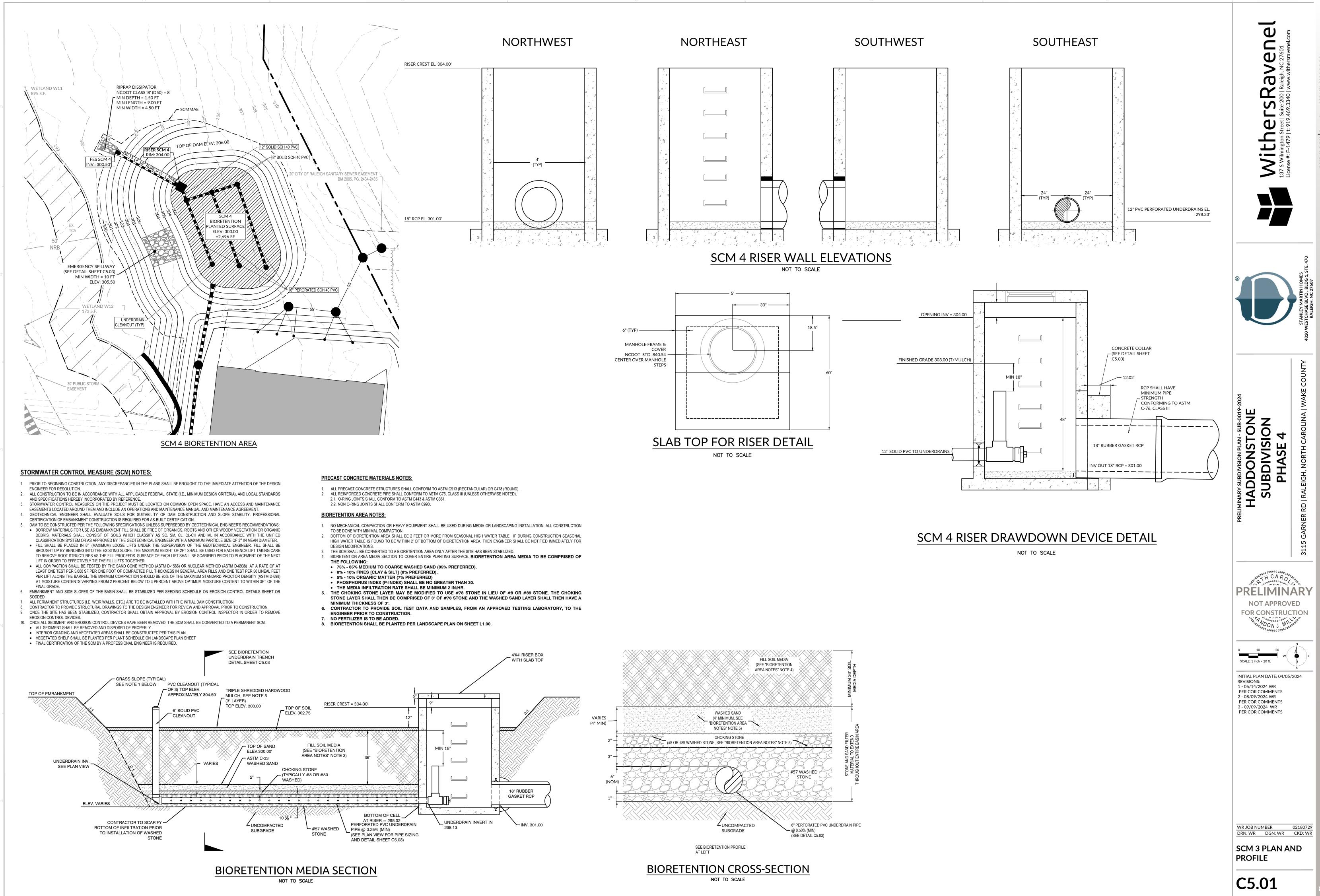
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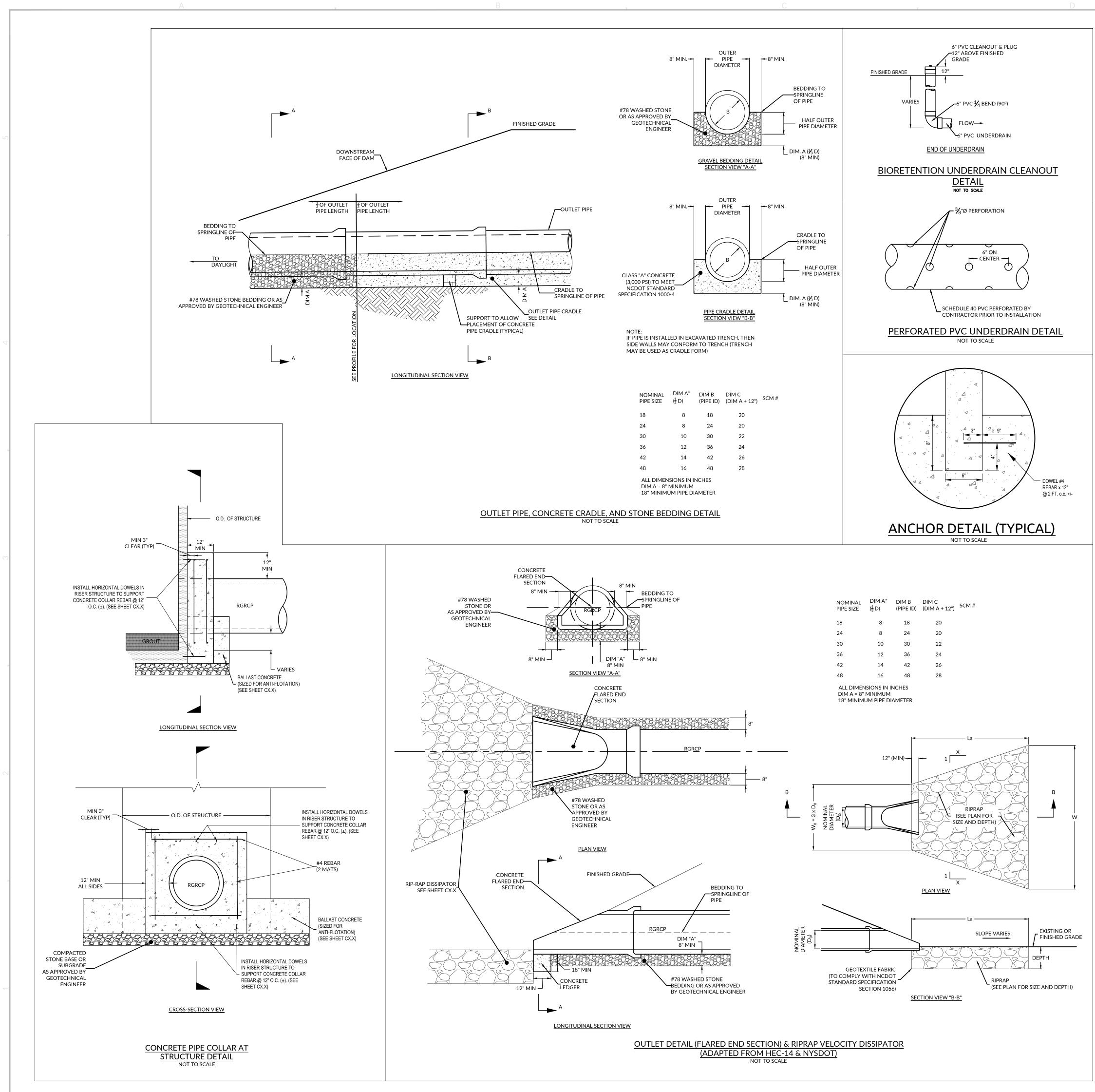
SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0026-2022 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

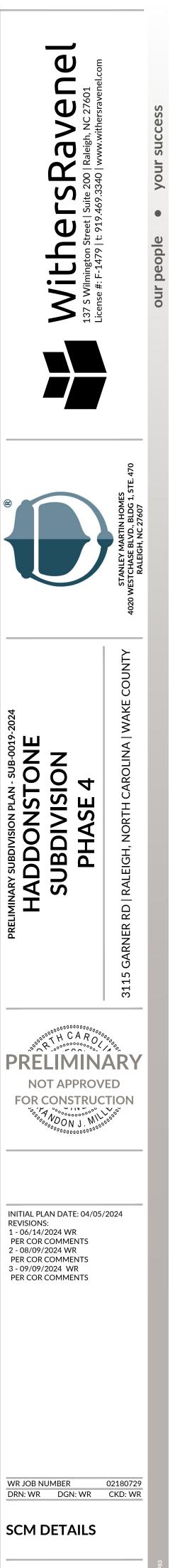


NOT TO SCALE

NOT TO SCALE







C5.03



UAP - ULMUS AMERICANA 'PRINCETON'	
UPB - ULMUS PARVIFOLIA 'BOSQUE'	C.
ZSE - ZELKOVA SERRATA	
.0 SHRUBS	
CHA - CEPHALOTAXUS HARRINTONIA 'DUKE GARDENS'	guvuute no ● ¹⁹ maant ^e
DPI - DISTYLLIUM MYRICOIDES 'BLUE CASCADE'	\odot
ICB - ILEX CORNUTA 'BURFORDII NANA'	\odot
ICN - ILEX CORNUTA 'NEEDLEPOINT'	
IGS - ILEX GLABRA 'SHAMROCK'	,
LJA - LIGUSTRUM JAPONICUM 'EAST BAY'	South States

VAW - VIBURNUM AWABUKI 'CHINDO'

LANDSCAPE LEGEND:

ABU - ACER BUERGERIANUM

JVI - JUNIPERUS VIRGINIANA

MGR - MAGNOLIA GRANDIFLORA

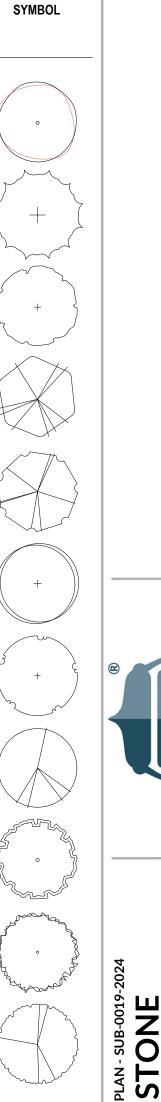
NSY - NYSSA SYLVATICA

QLA - QUERCUS LAURIFOLIA

QNU - QUERCUS NUTTALLII

QLY - QUERCUS LYRATA 'HIGHBEAM'

QPH - QUERCUS PHELLOS 'ASCENDOR'





N N N HADDON BUBDIVISION SUBDIVI PHAS S

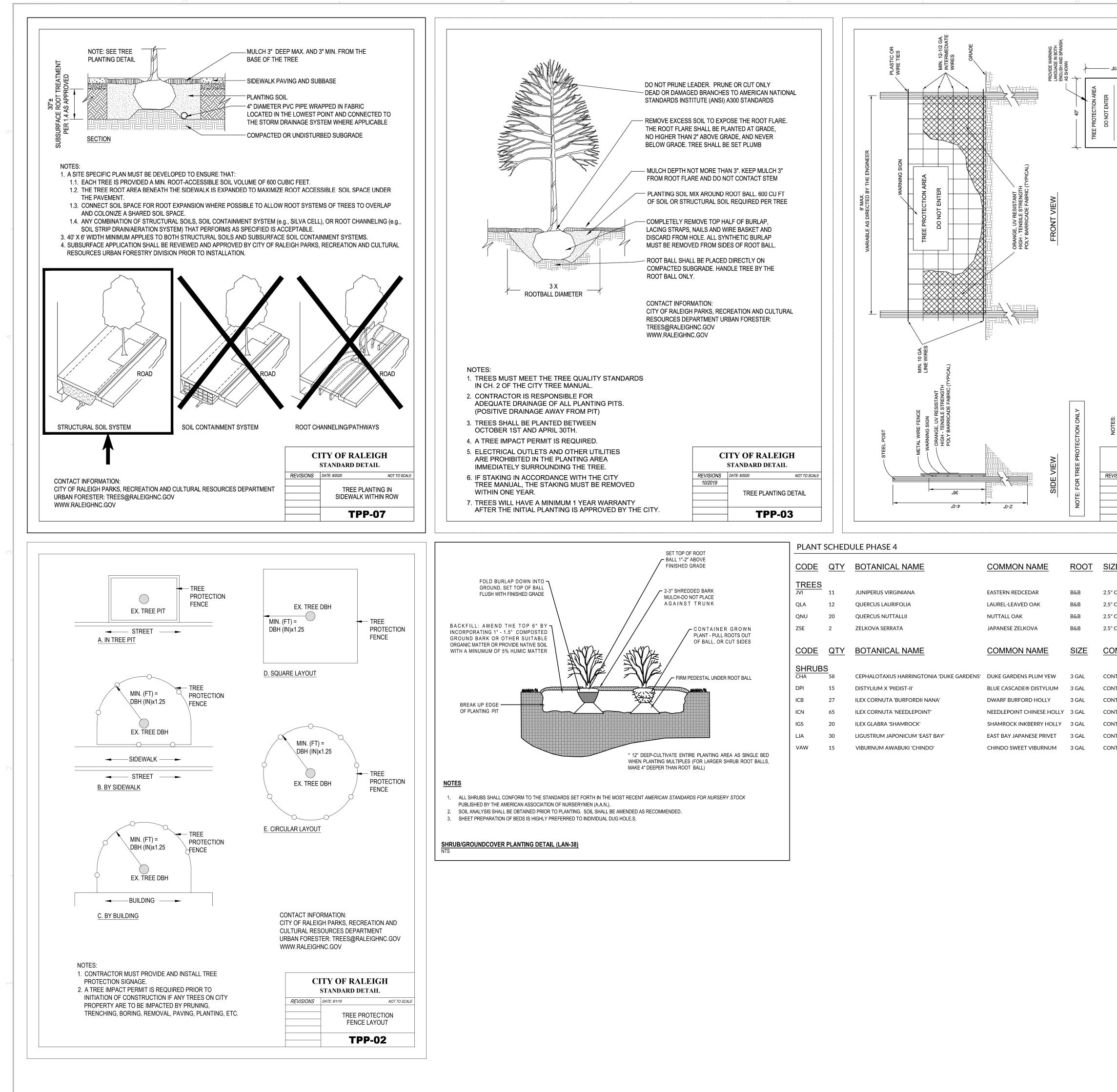
_ ປັ 3115 PRELIMINARY NOT APPROVED FOR CONSTRUCTION SCALE: 1 inch = 30 ft. INITIAL PLAN DATE: 04/05/2024 REVISIONS: 1 - 06/14/2024 WR PER COR COMMENTS 2 - 08/09/2024 WR PER COR COMMENTS 3 - 09/09/2024 WR PER COR COMMENTS

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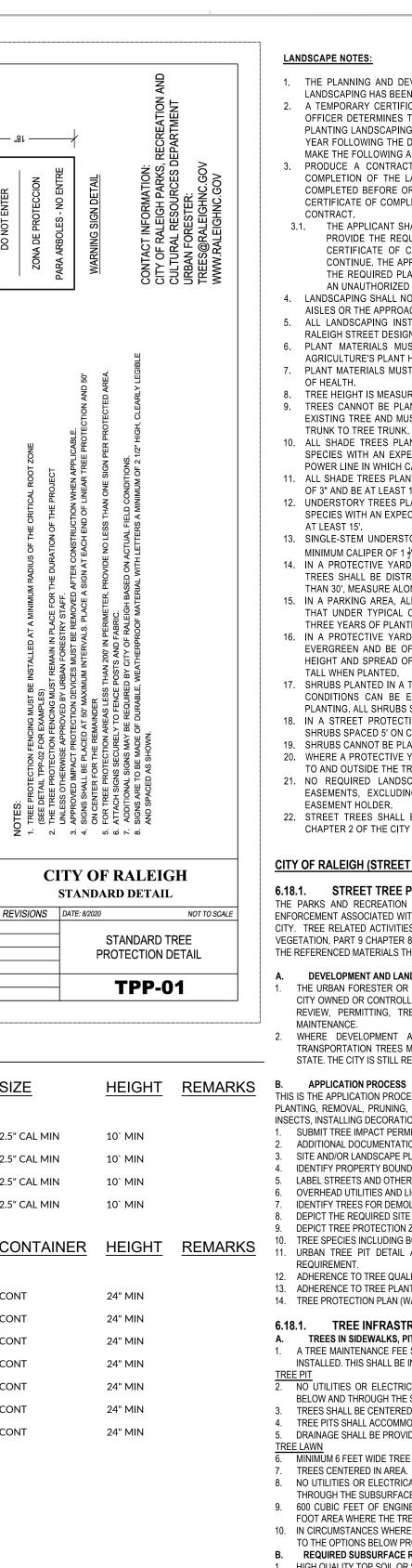
WR JOB NUMBER02180729DRN: WRDGN: WRCKD: WR

LANDSCAPE PLAN

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FLAINT	JCHED	OLE FRAJE 4			
CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
TREES					
IAL	11	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	B&B	2.5" CAL M
QLA	12	QUERCUS LAURIFOLIA	LAUREL-LEAVED OAK	B&B	2.5" CAL M
QNU	20	QUERCUS NUTTALLII	NUTTALL OAK	B&B	2.5" CAL M
ZSE	2	ZELKOVA SERRATA	JAPANESE ZELKOVA	B&B	2.5" CAL M
<u>CODE</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>	<u>CONTA</u>
SHRUB	S				
CHA	58	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEW	3 GAL	CONT
DPI	15	DISTYLIUM X 'PIIDIST-II'	BLUE CASCADE® DISTYLIUM	3 GAL	CONT
ICB	27	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	3 GAL	CONT
ICN	65	ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT CHINESE HOLLY	3 GAL	CONT
IGS	20	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	3 GAL	CONT
LJA	30	LIGUSTRUM JAPONICUM 'EAST BAY'	EAST BAY JAPANESE PRIVET	3 GAL	CONT
VAW	15	VIBURNUM AWABUKI 'CHINDO'	CHINDO SWEET VIBURNUM	3 GAL	CONT



LANDSCAPE NOTES:

- 1. THE PLANNING AND DEVELOPMENT OFFICER CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO. A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE PLANNING AND DEVELOPMENT OFFICER DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE APPLICANT SHALL MAKE THE FOLLOWING ARRANGEMENTS TO SECURE A TEMPORARY CERTIFICATE OF COMPLIANCE: PRODUCE A CONTRACT BINDING FOR 1 YEAR FROM THE DATE APPROVED BY THE CITY FOR THE COMPLETION OF THE LANDSCAPE WORK. SUCH CONTRACT SHALL SPECIFY THAT THE WORK SHALL BE COMPLETED BEFORE OR DURING THE YEAR IMMEDIATELY FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE CITY SHALL NOT BE A PARTY OR A THIRD PARTY BENEFICIARY TO THE CONTRACT 3.1. THE APPLICANT SHALL ALSO AGREE IN WRITING THAT THEY, THEIR SUCCESSORS OR ASSIGNS, SHALL
- PROVIDE THE REQUIRED PLANTING WITHIN THE 1 YEAR PERIOD, AS A CONDITION FOR OBTAINING A CERTIFICATE OF COMPLIANCE FOR THE PRINCIPAL USE SO LONG AS THE PRINCIPAL USE SHALL CONTINUE. THE APPLICANT SHALL ALSO AGREE THAT THE PRINCIPAL USE SHALL BE DISCONTINUED IF THE REQUIRED PLANTING IS NOT PROVIDED. VIOLATIONS OF THESE PROVISIONS SHALL CONSTITUTE AN UNAUTHORIZED ILLEGAL OCCUPANCY OF THE PRINCIPAL USE. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING
- AISLES OR THE APPROACH TO ANY STREET INTERSECTION. 5. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL. 6. PLANT MATERIALS MUST BE HARDY TO ZONE 7 IN ACCORDANCE WITH THE U.S. DEPARTMENT OF
- AGRICULTURE'S PLANT HARDINESS ZONE MAP. PLANT MATERIALS MUST BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH
- TREE HEIGHT IS MEASURE FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE MAIN STEM. TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15' FROM ANY OTHER TREE AND MEASURED FROM TREE TRUNK TO TREE TRUNK
- 10. ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE LOCALLY ADOPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF 35' OR GREATER UNLESS SUBJECT TO AN OVERHEAD POWER LINE IN WHICH CASE THE MATURE HEIGHT MAY BE LESS. 11. ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER
- OF 3" AND BE AT LEAST 10' TALL AT TIME OF PLANTING. 12. UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE A LOCALLY ADAPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF AT LEAST 15' AND EXPECTED MATURE CROWN SPREAD OF AT LEAST 15'. 13. SINGLE-STEM UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A
- MINIMUM CALIPER OF 1 $\frac{1}{2}$ " AND BE AT LEAST 6' TALL AT TIME OF PLANTING. 14. IN A PROTECTIVE YARD, 50% OF REQUIRED TREES SHALL BE LOCALLY ADAPTED EVERGREEN SPECIES. TREES SHALL BE DISTRIBUTED SO THAT THERE ARE NO HORIZONTAL GAPS BETWEEN TREES GREATER THAN 30', MEASURE ALONG THE PROPERTY LINE.
- 15. IN A PARKING AREA, ALL SHRUBS TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED. 16. IN A PROTECTIVE YARD, ALL SHRUBS PLANTED TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE EVERGREEN AND BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A
- HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED. 17. SHRUBS PLANTED IN A TYPE C2 STREET PROTECTIVE YARD SHALL BE OF A SPECIES THAT UNDER TYPICAL
- CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 5' WITHIN THREE YEARS OF PLANTING, ALL SHRUBS SHALL BE A MINIMUM OF 3' TALL WHEN PLANTED. 18. IN A STREET PROTECTIVE YARD, SHRUB PLANTING MUST FORM AT LEAST ONE CONTINUOUS ROW OF
- SHRUBS SPACED 5' ON CENTER ACROSS THE ENTIRE PROTECTIVE YARD EXCEPT FOR DRIVEWAYS. 19. SHRUBS CANNOT BE PLANTED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE. 20. WHERE A PROTECTIVE YARD IS ALSO A TREE CONSERVATION AREA, SHRUBS MUST BE PLANTED ADJACENT
- TO AND OUTSIDE THE TREE CONSERVATION AREA. 21. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE
- EASEMENT HOLDER. 22. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

CITY OF RALEIGH (STREET DESIGN MANUAL):



- ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BY THE CITY. TREE RELATED ACTIVITIES ARE CONDUCTED IN ADHERENCE TO CITY OF RALEIGH MUNICIPAL CODE TREES AND VEGETATION, PART 9 CHAPTER 8 AND THE CITY TREE MANUAL. WHERE THE TRANSPORTATION MANUAL DEVIATES FROM THE REFERENCED MATERIALS THE MUNICIPAL CODE PART 9 CHAPTER 8 SHALL TAKE PRECEDENCE.
- DEVELOPMENT AND LANDSCAPE PLAN REQUIREMENTS THE URBAN FORESTER OR DESIGNEE SHALL REVIEW ALL SITE PLANS WITH TREES IN THE RIGHT OF WAY AND ON
- CITY OWNED OR CONTROLLED PROPERTY. THIS APPLICATION PROCESS DESCRIBES THE REQUIREMENTS FOR PLAN REVIEW, PERMITTING, TREE PROTECTION, STANDARD SPECIFICATIONS, TREE QUALITY, INSTALLATION AND MAINTENANCE WHERE DEVELOPMENT ABUTS A STREET CONTROLLED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION TREES MAY NOT BE REQUIRED OR WILL FALL UNDER THE LANDSCAPE REQUIREMENTS OF THE

THIS IS THE APPLICATION PROCESS FOR ACTIVITIES IMPACTING CITY TREES. IMPACTS INCLUDE BUT ARE NOT LIMITED TO PLANTING, REMOVAL, PRUNING, TRENCHING, BORING, EXCAVATING, FILLING, FERTILIZING, TREATING FOR DISEASE O INSECTS, INSTALLING DECORATIONS AND PLANTING. SUBMIT TREE IMPACT PERMIT REQUEST TO THE URBAN FORESTER

STATE. THE CITY IS STILL REQUIRED TO REVIEW AND APPROVE ALL PROPOSED TREES IN THE RIGHT OF WAY.

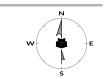
- ADDITIONAL DOCUMENTATION REQUIRED A. SITE AND/OR LANDSCAPE PLAN
- IDENTIFY PROPERTY BOUNDARIES AND RIGHTS OF WAY LABEL STREETS AND OTHER PLAN ELEMENTS
- OVERHEAD UTILITIES AND LIGHTING PLAN IDENTIFY TREES FOR DEMOLITION AND PRESERVATION
- DEPICT THE REQUIRED SITE DISTANCE TRIANGLES DEPICT TREE PROTECTION ZONES AND FENCING DETAIL
- 10. TREE SPECIES INCLUDING BOTANICAL NAME, INSTALLATION SIZE AND COUNTS . URBAN TREE PIT DETAIL AND SUBSURFACE ROOT TREATMENT IF APPLICABLE WITH 600CUFT MINIMUM SOIL REQUIREMENT.
- 2. ADHERENCE TO TREE QUALITY SPECIFICATIONS AND DETAIL 13. ADHERENCE TO TREE PLANTING SPECIFICATIONS AND DETAIL
- 14. TREE PROTECTION PLAN (WAIVED IF NO TREES IMPACTED WITHIN CRITICAL ROOT ZONE ON SITE)
- 6.18.1. TREE INFRASTRUCTURE, INSTALLATION AND MAINTENANCE STANDARDS
- A. TREES IN SIDEWALKS, PITS AND GRATES AND TREE LAWN A TREE MAINTENANCE FEE SHALL BE ASSESSED AT THE TIME OF PERMIT ISSUANCE FOR EACH STREET TREE TO BE
- INSTALLED. THIS SHALL BE INCLUDED IN THE FEE SCHEDULE NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE PIT OR GRATE (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)
- . TREES SHALL BE CENTERED IN THE PIT. 4. TREE PITS SHALL ACCOMMODATE A DEPTH OF 30 INCHES OF PLANTING SOIL
- 5. DRAINAGE SHALL BE PROVIDED TREE LAWN 6. MINIMUM 6 FEET WIDE TREE LAWN.
- 7 TREES CENTERED IN AREA 8. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE LAWN (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)
- 9. 600 CUBIC FEET OF ENGINEERED STRUCTURAL SOIL WITH ORGANIC MATTER IN THE SURROUNDING 200 SQUARE FOOT AREA WHERE THE TREE IS TO BE PLACED. 10. IN CIRCUMSTANCES WHERE A 30 INCH DEPTH OR A 200 FOOT LIMIT OF STRUCTURAL SOIL IS UNACHIEVABLE REFER
- TO THE OPTIONS BELOW PROVIDED BY THE URBAN FORESTER. B. REQUIRED SUBSURFACE ROOT EXPANSION
- HIGH QUALITY TOP SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL VOLUME REQUIREMENT. REQUIRE MINIMUM 600 CUBIC FEET. EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME: URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE
- INTRODUCTION OF LID MATERIALS AND TECHNOLOGY 4. SELECT ONE OR MORE OPTIONS BELOW
- 4.1. STRUCTURAL SOIL PIT THAT EXTENDS BENEATH SURROUNDING PAVEMENT. SUBSURFACE SOIL CONTAINMENT STRUCTURE
- MINIMUM 6 PATHS FROM EACH TREE, 3 ON EACH SIDE 20' MINIMUM EXTENSION FOR EACH PATH. CONNECT TO 4.3. ADJACENT PIT PATH 44 SUSPENDED PAVEMENT
- WHEN ROOT EXPANSION PATHS EXTEND UNDER SIDEWALKS, ENSURE MINIMUM DENSITY REQUIREMENTS ARE 4.5. PLANTING STANDARDS
- ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
- 2. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036 3. AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE
- ASSOCIATION, 1250 EYE STREET. NW, SUITE 500, WASHINGTON, D.C. 20005 4. HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM. 1976. MACMILLAN PUBLISHING CO., NEW YORK











INITIAL PLAN DATE: 04/05/2024 **REVISIONS:** 1 - 06/14/2024 WR PER COR COMMENTS 2 - 08/09/2024 WR PER COR COMMENTS 3-09/09/2024 WR PER COR COMMENTS

DRN: WR	DGN: WR	CKD: W

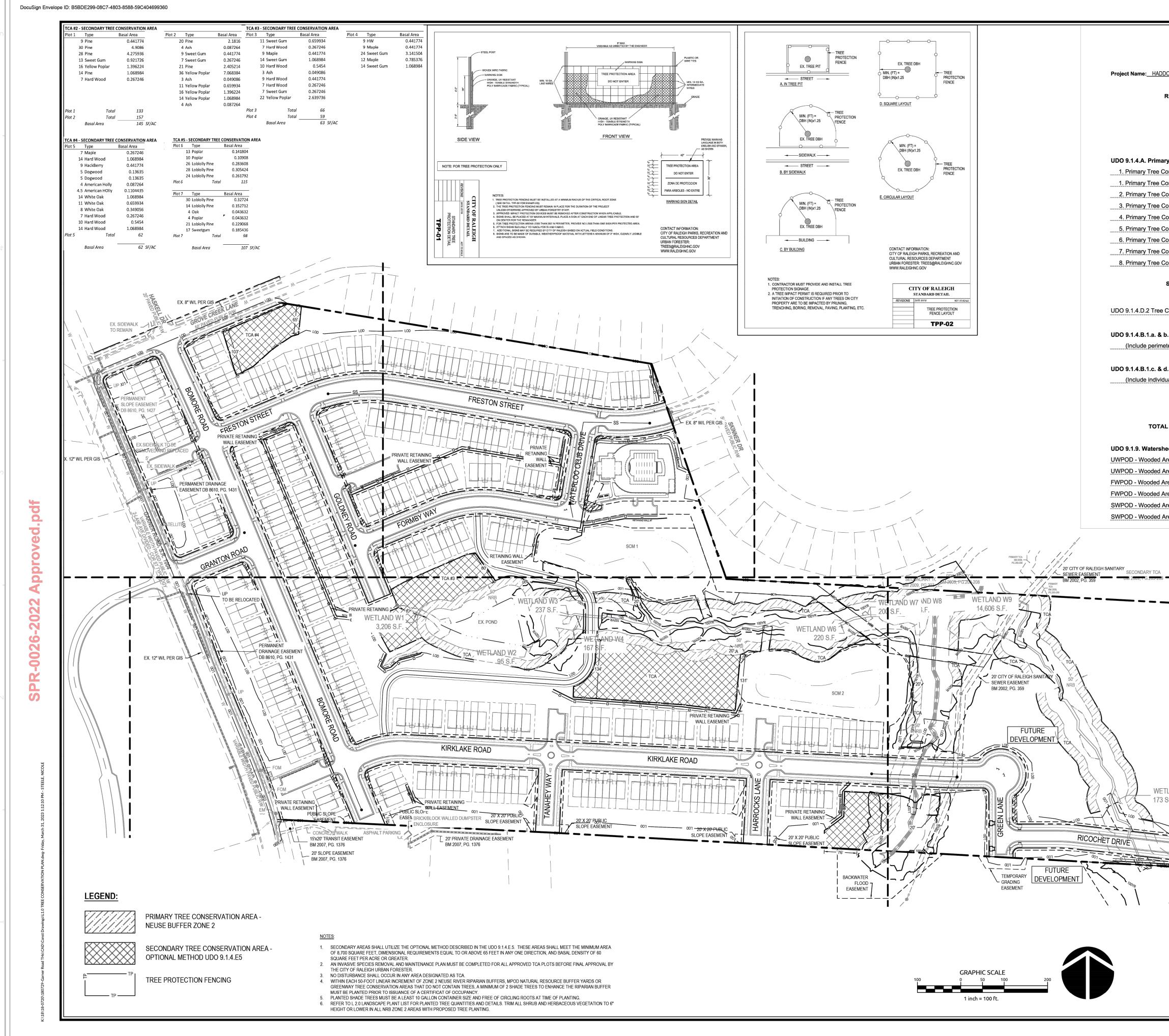
02180729

LANDSCAPE DETAILS

L1.01

WR JOB NUMBER

THE PLAN ON THIS SHEET SHOWS THE EXTENTS OF EXISTING APPROVED TCA ON THE HADDONSTON SUBDIVISION, AS PROPOSED WITH SPR-0026-2022. THIS SHEET IS INCLUDED TO SHOW THE EXISTING TCA ON THE PHASE 4 SITE. THIS SHEET IS SHOWN FOR REFERENCE ONLY AND IS NOT TO SCALE. FOR ADDITIONAL INFORMATION, PLEASE REFER TO SPR-0026-2022.



DRMATION, PLEASE				Zaven Raleigh, NC 27601 I www.withersravenel.co
Tree Conservation Plan Data Shee UDO Article 9.1 Tree Conservation (Include applicable information on the plan shot) DONSTONE SUBDIVISION Gross Site Acres: Right-of-way to be dedicated with this project: Net Site Acres:		Percent of Tract	Ders Ravenel Engineers Planners Munithersravenel.com	Withers R 137 S Wilmington Street Suite 200 License #: F-1479 t: 919.469.3340
Conservation Area - SHOD 1 Conservation Area - SHOD 2 Conservation Area - Parkway Frontage Conservation Area - CM Conservation Area - MPOD Conservation Area - Champion Tree XX" dbh species Conservation Area - Neuse Buffer Zone 2 Conservation Area - Neuse Buffer Zone 2 Conservation Area - 45% Slopes Conservation Area - Thoroughfare Subtotal of Primary Tree Conservation Areas:	ac ac ac ac ac ac ac ac ac ac ac ac ac a	% % 4.66% %	Tar S Wilmington Street Suite 200 Raleigh, NC www.withersra	r MARTIN HOMES FE BLVD., BLDG 1, STE. 470 IGH, NC 27607
Conservation Area - Greenway b. Secondary Tree Conservation Areas eter buffers and their alternate compliance areas)			Plans for NE N	4020 WESTCHASE BLVD. RALEIGH, NC
d. Individual Tree Secondary Tree Conservation Areas dual trees and their alternate compliance areas) Subtotal of Secondary Tree Conservation Areas: AL ALL TREE CONSERVATION AREA PROVIDED: ned Protection Overlay Districts Area (preserved) Area (planted) Area (planted) Area (planted) Area (planted) Area (planted)	ac <u>2.16</u> ac <u>3.99</u> ac <u>ac</u> ac ac ac ac ac	5.50 % 10.16 % % % % %	Site Permit Review Pla HADDONSTONE SUBDIVISION RALEIGH, NORTH CAROLINA	IMINARY SUBDIVISION PLAN - SUB-0019-2024 HADDONSTONE SUBDIVISION PHASE 4 RD RALEIGH, NORTH CAROLINA WAKE COUNTY
20' CITY OF RALEIGH SANITARY SEWER EASEMENT BM 2000, PG. 505 // / PRIVATE DRAINAGE EASEMENT BM 2000, PG. 1065			TREE CONSERVATION PLAN	BELIMINAR BRELIMINAR DATE DISCOMPANY DISCOMP
20' CITY OF RALEIGH 20' CITY OF RALEIGH SANTARY SEWER EASEMENT BM 005, PG. 2434-2435 S.F. LOD PRIME DRIVE	2005, PG. 2434-2435		Job No. 02180729 Drawn By WR Date 3/31/2023 Designer WR Image: State of the	INITIAL PLAN DATE: 04/05/2024 REVISIONS: 1 - 06/14/2024 WR PER COR COMMENTS 2 - 08/09/2024 WR PER COR COMMENTS 3 - 09/09/2024 WR PER COR COMMENTS
Plans for the proposed us codes. This limited revier represent total compliance The property owner, desi compliance with all applic below is not a permit, nor Federal Law. All constru Rules and Regulations. Electronic Approval: The only upon the signature of copy of the approved plat accordance with the plan edited once issued. Any approval.	w, and authorization for co se with all legal requiremenn ign consultants, and contra cable City, State and Feder r shall it be construed to per- liction must be in accordance his approval is being issued of a City of Raleigh Review ns. Any work authorized b is kept on file with the City, modification to this approval Development Approval:	CONSTRUCTION general compliance with applicable nstruction is not to be considered to ts for development and construction. ctors are each responsible for ral laws. This specific authorization rmit any violation of City, State or se with all Local, State and Federal d electronically. This approval is valid Officer below. The City will retain a y this approval must proceed in This electronic approval may not be al once issued will invalidate this		WR JOB NUMBER 02180729 DRN: WR DGN: WR CKD: WR TCA PLAN

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