



Administrative Approval Action

Case File / Name: SUB-0025-2021
DSL - Edenton Court Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located at the northeast corner of E Edenton Street and N Tarboro Street, with common street addresses of 12, 14, 18 and 20 N Tarboro Street.

REQUEST: Conventional subdivision of approximately 1 acre zoned RX-3 to create 23 townhouse lots and 1 open lot for a total of 24 lots.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 15, 2021 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Demonstrate compliance with UDO Section 7.4 (Lighting).

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A public infrastructure surety for 7 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
4. A fee-in-lieu for 1' width sidewalk (205 LF) along Tarboro Street shall be paid to the City of Raleigh (UDO 8.1.10).
5. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Public Utilities

6. Infrastructure Construction Plans (SPR submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plans, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Boyer Street and 2 street trees along N Tarboro Street.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right of way street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: January 19, 2025
Record at least ½ of the land area approved.

5-Year Sunset Date: January 19, 2027
Record entire subdivision.

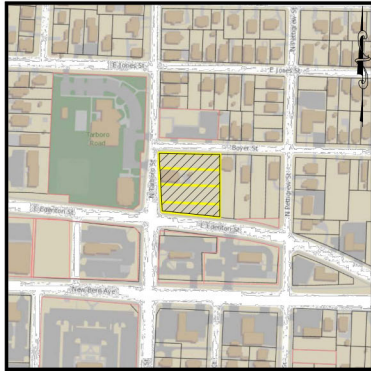
I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor Date: 09/22/2021
Development Services Dir/Designee
Staff Coordinator: Kasey Evans

EDENTON COURT PRELIMINARY SUBDIVISION LEVEL 2 SUB-0025-2021

12, 14, 18, & 20 N. TARBORO ST.
RALEIGH, NC 27610

APRIL 19, 2021
JULY 21, 2021
AUGUST 17, 2021
LAST REVISED: SEPT 15, 2021



VICINITY MAP
NOT TO SCALE

Preliminary Subdivision Application
Planning and Development

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check all applicable boxes (Yes and No) and attach the plan sheet(s) as indicated. Please email all documents and your completed application to: info@jaeco.com.

DEVELOPMENT TYPE (UDO Section 2.1.2):
☐ Conventional Subdivision ☐ Compact Development ☐ Conservation Development ☐ Cottage Court

NOTE: Subdivisions may require City Council approval if a Minor Park Overlay or Historic Overlay District is present.

SCOPE-0147-2020
12, 14, & 20 N. Tarboro St.
Revised Date: 9/15/2021

What is your project type?
☐ Single family ☐ Apartment ☐ Townhouse ☐ Non-residential ☐ Other

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION:
 NOTE: Please attach purchase agreement when submitting this form.
 Company Name: Dayong Gan
 Address: 503 Annandale Dr. Cary, NC 27511
 Phone: (919) 828-4428
 Email: info@jaeco.com

APPLICANT INFORMATION:
 Name: Sumared, Inc.
 Address: 11257 SF (0.2584 AC)
 Phone: (919) 828-4428
 Email: info@jaeco.com

SOLID WASTE INSPECTIONS STATEMENT
 SOLID WASTE TO BE COLLECTED IN
 ROLL-OUT CONTAINERS ROLLED
 CURBSIDE FOR CITY PROVIDED PICKUP
 ON DESIGNATED DAYS AT A DESIGNATED
 TIME.

HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD83

ALL CONSTRUCTION SHALL BE IN
 ACCORDANCE WITH CITY OF RALEIGH
 STANDARDS AND SPECIFICATIONS.

SHEET INDEX

SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
C-1	EXISTING CONDITIONS & DEMOLITION PLAN
C-2	SUBDIVISION PLAN
C-3	SITE PLAN
C-4	GRADING & STORMWATER MANAGEMENT PLAN
C-5	UTILITY PLAN
C-6	LANDSCAPE PLAN

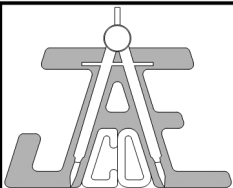
ABBREVIATIONS

APPLICABLE TO ENTIRE PLAN SET

AC	ACRE
APPROX	APPROXIMATE
AVG	AVERAGE
B-B	BACK TO BACK
BM	BOOK OF MAPS
CB	CATCH BASIN
CP	CAST IRON PIPE
CL	CENTERLINE
CO	CURBOUT
CONC	CONCRETE
COR	CITY OF RALEIGH
CP	COMPUTED POINT
DB	DEED BOOK
DI	DROP INLET
DP	DUSTY IRON PIPE
DTL	DETAIL
DIW	DRIVEWAY
ECM	EX CONC MONUMENT
EP	EX IRON PIPE
ELC	EL ELECTRIC
ELEV	ELEVATION
EMAG	EX MAG NAIL
EPG	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FD	FIRE DEPARTMENT CONNECTION
FI	FIRE HYDRANT
FHT	FIRE HYDRANT TEE
GIS	GEOGRAPHIC INFORMATION SYSTEM
GM	GAUGE METER
GP	GRAVELLED PIPE
GW	GW ANCHOR
HS	HOT BOX
HDPE	HIGH DENSITY POLYETHYLENE
IPS	IRON PIPE SET
LF	LINEAR FEET
LOC	LOCATION
MAGS	MAG NAIL SET
MH	MANHOLE
MIN	MINIMUM
MUP	MIXED USE PATH
NF	NOT FORMERLY
NCDDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
PG	PAGE
PP	POWER POLE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONC PIPE
ROW	RIGHT-OF-WAY
R/W	RIGHT-OF-WAY
R/S	RALEIGH STREET DESIGN MANUAL
SF	SQUARE FEET
SP	SPACE
SS	SANITARY SEWER
STD	STANDARD
SW	SIDEWALK
SWM	STORMWATER MANAGEMENT
TSD	TO BE DETERMINED
TBR	TO BE REMOVED
TBL	TO BE RELOCATED
TF	ELECTRIC TRANSFORMER
TP	TELEPHONE REDESTAL
TP	TYPICAL
TS&V	TAP SLEEVE AND VALVE
UD	UNIFIED DEVELOPMENT ORDINANCE
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WLE	WATER LINE ESST
WM	WATER METER
YI	YARD INLET

SITE DATA

OWNER:	SUMARED, INC
SITE ADDRESS:	20 N. TARBORO ST., RALEIGH, NC 27610
WAKE COUNTY PIN#:	171305291462
REFERENCES:	DB 17370, PG 2022
AREA:	11,648 SF (0.2674 AC)
OWNER:	DAYONG GAN
SITE ADDRESS:	18 N. TARBORO ST., RALEIGH, NC 27610
WAKE COUNTY PIN#:	171305291361
REFERENCES:	DB 15332, PG 2465
AREA:	12,433 SF (0.2854 AC)
OWNER:	SUMARED, INC
SITE ADDRESS:	14 N. TARBORO ST., RALEIGH, NC 27610
WAKE COUNTY PIN#:	171305291361
REFERENCES:	DB 15332, PG 2465
AREA:	11,257 SF (0.2584 AC)
OWNER:	SUMARED, INC
SITE ADDRESS:	12 N. TARBORO ST., RALEIGH, NC 27610
WAKE COUNTY PIN#:	171305291276
REFERENCES:	DB 15332, PG 2465
AREA:	6,885 SF (0.1584 AC)
ZONING:	RX-3
EXISTING AREA (SUM OF TRACTS 1-4):	42,236 SF (0.97 AC)
AREA TO BE DEDICATED:	- 1,298 SF (0.03 AC)
PROPOSED TOTAL ACRES:	40.938 SF (0.94 AC)
EXISTING USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	MULTI-UNIT LIVING
REQUIRED AMENITY AREA:	100% ± 0.10' 40,938 = 4,094 SF
AMENITY AREA PROVIDED:	5,179 SF
PARKING:	REQUIRED: 46 SPACES PROPOSED: 25 GARAGE, 16 SURFACE (INC. 1 VAN ADA), 7 TANDEM (DW), 48 TOTAL
MULTI-UNIT LIVING:	2 SP / 3-BR UNIT
REQUIRED BICYCLE PARKING:	SHORT-TERM: 1 SP / 20 UNITS MINIMUM 4 LONG-TERM: NONE 4 SPACES
MULTI-UNIT LIVING:	PROPOSED BICYCLE PARKING: MAXIMUM PROVIDED BUILDING HEIGHT: 50' 50' MAX
ACCESSORY STRUCTURE:	25' N/A
IMPERVIOUS:	ON SITE: 2,377 SF (0.05 AC) WITHIN EFFECTIVE AREA: 4,613 SF (0.11 AC) ON SITE: 30,092 SF (0.69 AC) WITHIN EFFECTIVE AREA: 34,697 SF (0.80 AC)
PRINCIPAL BUILDING SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 0' OR 6' REAR LOT LINE: 20' ALLEY: 4' OR 20'
PARKING SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 0' OR 3' REAR LOT LINE: 3' ALLEY: 4'
PROJECT IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER UDO 8.3.2.2.b	
PROJECT IS EXEMPT FROM CROSS AREA REQUIREMENTS PER UDO 8.3.5.D.5.a	



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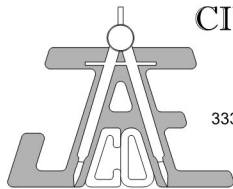
Call before you dig.

LEGEND

1	PER CITY COMMENTS	07/23/21
2	PER CITY COMMENTS	08/17/21
3	PER CITY COMMENTS	08/19/21

COVER SHEET
 JACO # 109-01
 DRAWING SCALE: N/A
 DRAWN BY: TT
 CHECKED BY: JRC
 DATE ISSUED: 04/19/2021

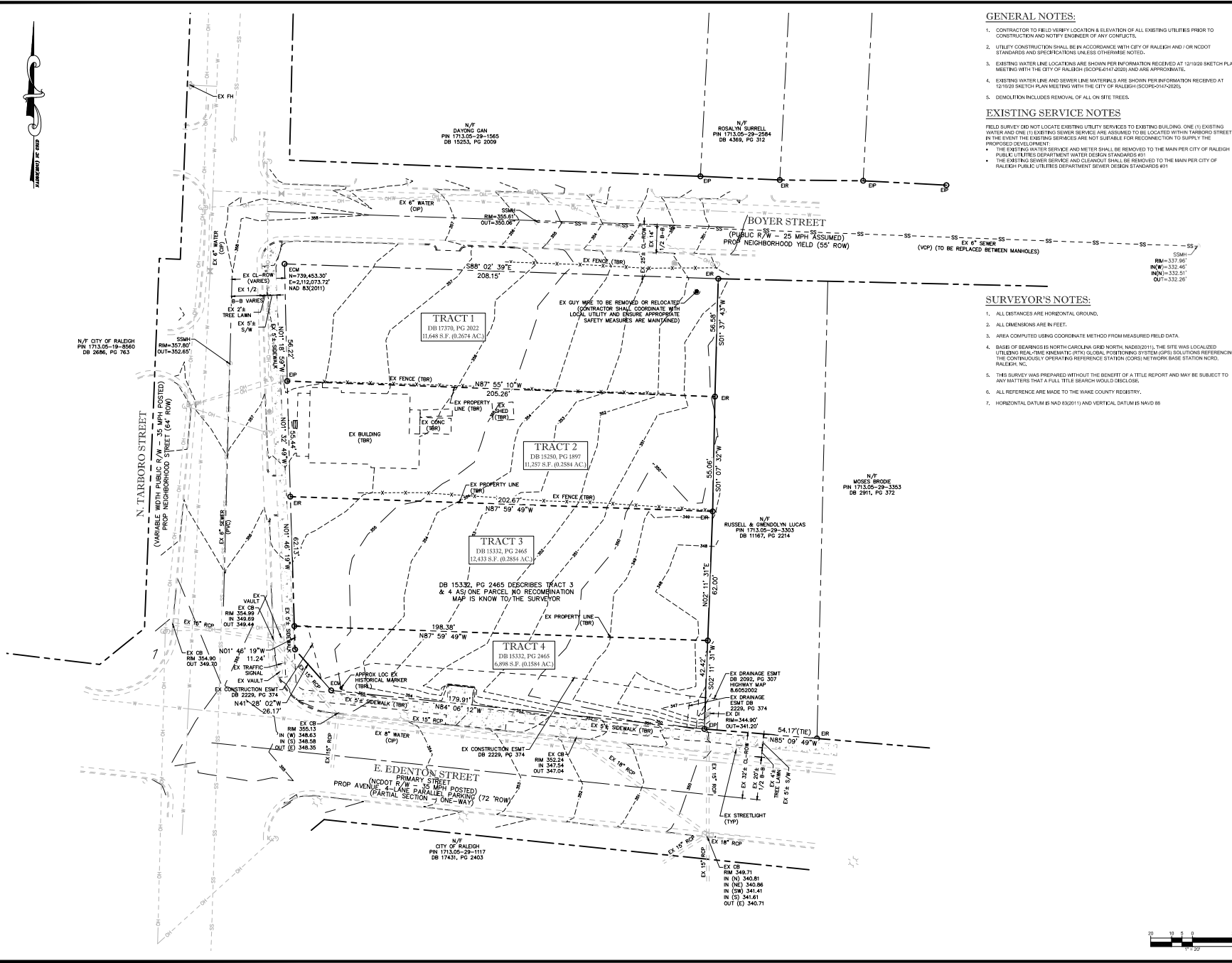
ARCHITECT:
 LEI HUANG
 Phone: (919) 924-7032
 E-mail: yutianj@hotmail.com



CIVIL ENGINEER:
 JAECO
 Consulting Engineers
 NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
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 Fax: (919) 828-4711
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OWNER:
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 503 ANNANDALE DR.
 CARY, NC 27511

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GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/20 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE#17-2020) AND ARE APPROXIMATE.
4. EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/20 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE#17-2020).
5. DEMOLITION INCLUDES REMOVAL OF ALL ON SITE TREES.

EXISTING SERVICE NOTES:

FIELD SURVEY DID NOT LOCATE EXISTING UTILITY SERVICES TO EXISTING BUILDINGS. ONE (1) EXISTING WATER AND ONE (1) EXISTING SEWER SERVICE ARE ASSUMED TO BE LOCATED WITHIN TARBORO STREET. IN THE EVENT THE EXISTING SERVICES ARE NOT SUITABLE FOR RECONNECTION TO SUPPLY THE PROPOSED DEVELOPMENT:

- THE EXISTING WATER SERVICE AND WATER SHALL BE REMOVED TO THE MAIN PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT WATER DESIGN STANDARDS #31
- THE EXISTING SEWER SERVICE AND CLEANSUIT SHALL BE REMOVED TO THE MAIN PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT SEWER DESIGN STANDARDS #31

SURVEYOR'S NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASE OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NC00, RALEIGH, NC.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
6. ALL REFERENCE ARE MADE TO THE NAD83 COUNTY REGISTRY.
7. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88

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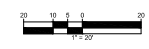
LEGEND

EX PROPERTY LINE	---
EX ROW LINE	---
EX CENTERLINE	---
EX MAJOR CONTOUR	---
EX MINOR CONTOUR	---
EX FENCE	-X-X-
EX WATER LINE	---
EX SEWER LINE	---
EX OVERHEAD LINE	-OH-

EXISTING CONDITIONS & DEMOLITION PLAN

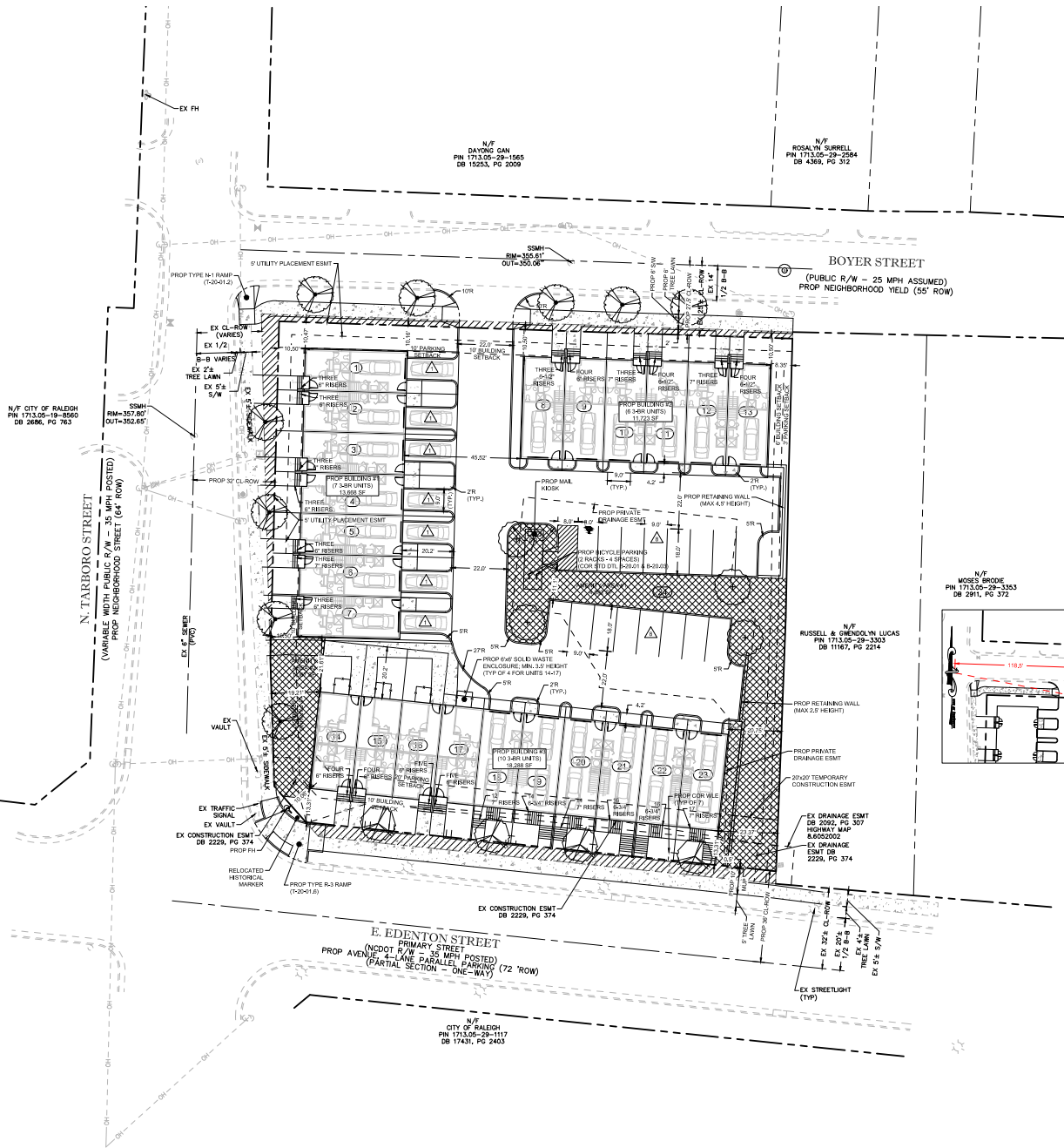
Number	Description	Date
1	PER CITY COMMENTS	07/23/21
2	PER CITY COMMENTS	08/17/21
3	PER CITY COMMENTS	08/15/21

JAECO # 108041
DRAWING SCALE: 1" = 20'
DRAWN BY: TT
CHECKED BY: JRC
DATE ISSUED: 04/19/2021



C-1





GENERAL NOTES:

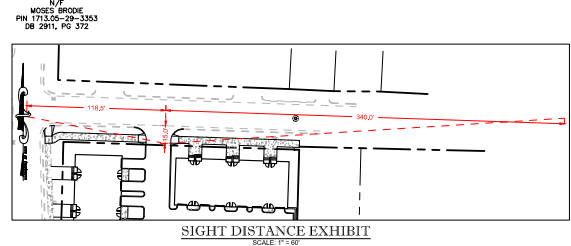
1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/2010 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE 0147-2010) AND ARE APPROXIMATE.
4. EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/2010 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE 0147-2010).
5. CONTRACTOR SHALL COORDINATE GUY WIRE RELOCATION/REMOVAL WITH LOCAL UTILITY.

CONSTRUCTION NOTES:

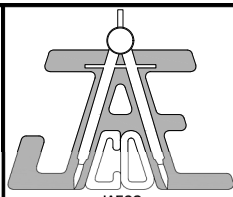
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD MOST CURRENT EDITION.
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 986-0000 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE RIGHT-OF-WAY CLOSURES ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO PERMIT@WATERCONSTRUCTIONRALEIGHNC.GOV.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE USUALLY IMPAIRED AND PEOPLE WITH MOBILITY CHALLENGES. REDUCED TRAVEL ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLY WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)).

TRANSPORTATION NOTES:

1. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
2. HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-20.01.2.
3. SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
4. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERRY, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION OR HIGHEST TRAVELED WAY IF NO CURBING EXIST. SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
5. ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-10.1.0, T-10.1.2, AND T-10.1.4 AS NOTED.
6. ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH RIGHT-OF-WAY REQUIREMENTS.
7. UNLESS OTHERWISE SHOWN, TURNOUT RACE TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 25'.



SIGHT DISTANCE EXHIBIT
SCALE: 1" = 60'



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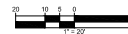
- PROP PROPERTY LINE
- PROP ESMT
- PROP SETBACK
- PROP CURB
- AREA TO BE DEDICATED (1,200 SF)
- ASSEMBLY AREA

SITE PLAN

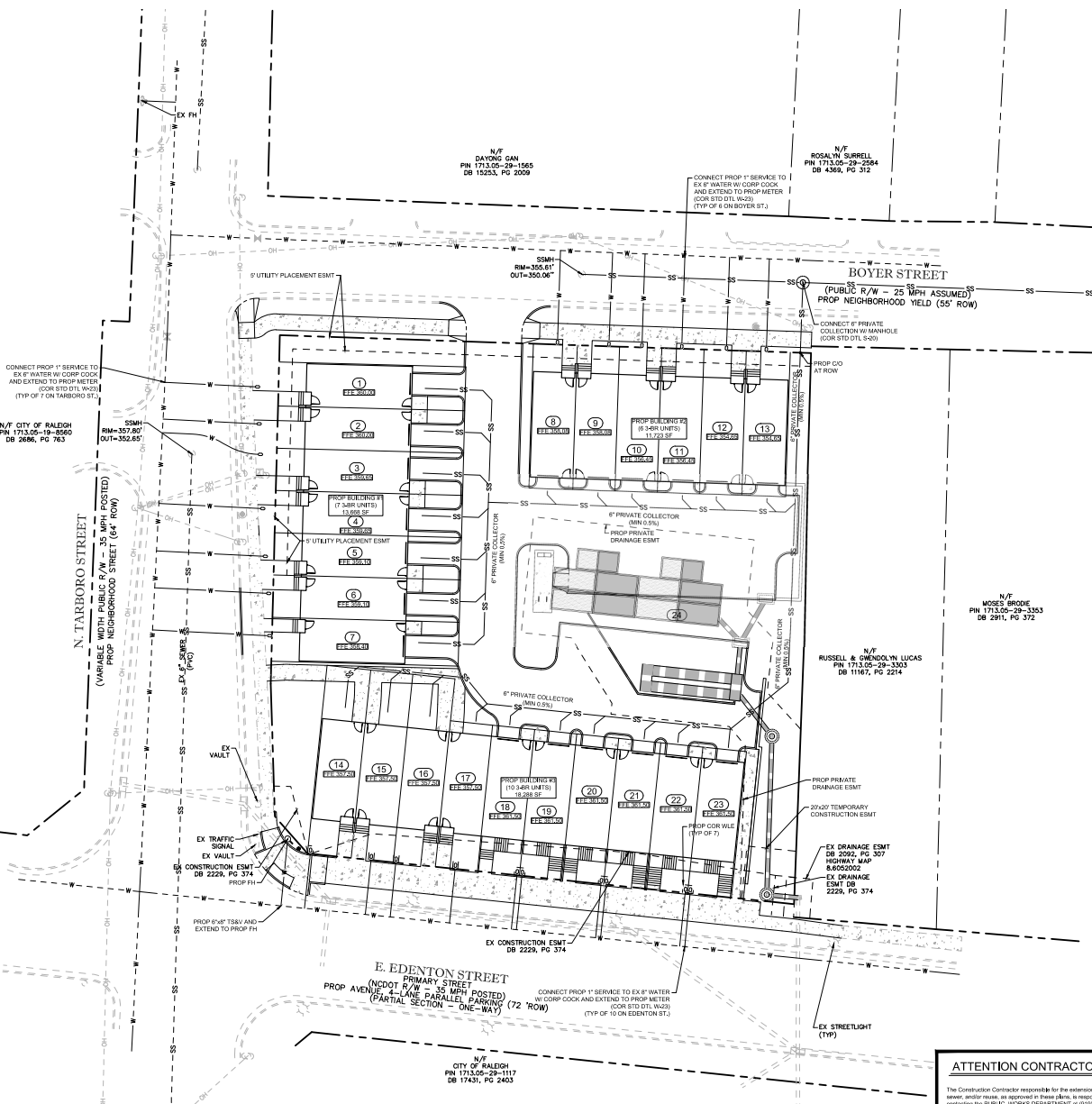
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JAECO # 10901
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
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SOLID WASTE INSPECTIONS STATEMENT
SOLID WASTE TO BE COLLECTED IN
ROLL-OUT CONTAINERS ROLLED
CURBSIDE FOR CITY PROVIDED PICKUP
ON DESIGNATED DAYS AT A DESIGNATED
TIME.



C-3



GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/2010 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0147-2010) AND ARE APPROXIMATE.
4. EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/2010 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0147-2010).
5. CONTRACTOR SHALL COORDINATE GUY WIRE RELOCATION/REMOVAL WITH LOCAL UTILITY.

EXISTING SERVICE NOTES

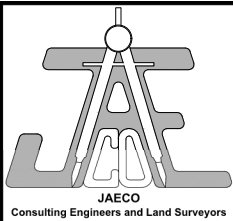
- FIELD SURVEY DID NOT LOCATE EXISTING UTILITY SERVICES TO EXISTING BUILDING. ONE (1) EXISTING WATER AND ONE (1) EXISTING SEWER SERVICE ARE ASSUMED TO BE LOCATED WITH TARBORO STREET. IN THE EVENT THE EXISTING SERVICES ARE NOT SUITABLE FOR RECONNECTION TO SUPPLY THE PROPOSED DEVELOPMENT.
- THE EXISTING WATER SERVICE AND METER SHALL BE REMOVED TO THE MAIN PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT WATER DESIGN STANDARDS 601.
- THE EXISTING SEWER SERVICE AND CLEANOUT SHALL BE REMOVED TO THE MAIN PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT SEWER DESIGN STANDARDS 601.

MAIN REPLACEMENT NOTE

PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK (12/14) SEWER DESIGN - PUBLIC SECTION 1A.12 "DOORHOUSE MANHOLES ON VOP ARE PROHIBITED; AS SUCH, REPLACEMENT OF EXISTING MAIN IS SHOWN ON THESE PLANS AT A TIME DURING SITE PERMIT REVIEW GRAVITY SEWER CONNECTION BECOMES FEASIBLE THE MAIN REPLACEMENT SHALL NOT BE REQUIRED.

STANDARD UTILITY NOTES (as applicable):

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
2. Utility separation requirements:
 - a. A distance of 18" shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, trench water shall be installed in the trench. If trench water is installed, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - b. When installing water & sewer lines, the water line shall be installed above the sewer line. If trench separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the direction of the water main shall be least 18" above the top of sewer. It shall be approved by the Public Utilities Department. All distances are measured from outside diameter to outside diameter.
 - c. Where it is impossible to obtain proper separation or engineering requires separation over a water main, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - d. 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - e. Minimum 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete caulk having 6" min. clearance (per CORPUD details W-4 & S-4).
3. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
4. Any necessary field revisions are subject to review & approval of an authorized plan administrator by the City of Raleigh Public Utilities Department prior to construction.
5. Developer shall provide 15 days advance notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
6. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
7. 3.0' minimum cover is required on all water mains & sewer forcemains, 4.0' minimum cover is required on all storm mains.
8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, top of main & removal of service from ROW or easement per CORPUD Handbook procedure.
9. Install 1/2" copper water services with meters located at ROW or within a 2' wide Utility Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
10. Install 4" PVC sewer services @ 1.2% minimum grade with discounts located at ROW or easement line & spaced every 75 linear feet maximum.
11. Pressure reducing valves are required on all water services exceeding 80 psi. Backwater valves are required on all sanitary sewer services having building drains lower than 12' above the nearest upstream manhole.
12. All environmental permits applicable to the project must be obtained from NCDD, USACE, RW FEA for any riparian buffer, wetland, and floodplain impacts (especially prior to construction).
13. NCDD / Flooded Environment Agreements are required for any utility work (including main extensions & service line relocations or called ROW) prior to construction.
14. Onsite Retention / Off Water Separator using calculations & installation specifications shall be approved by the CORPUD FGD Program Coordinator prior to issuance of a Building Permit. Contact Rachel Calkley at (919) 996-2334 or Rachel.calkley@raleighnc.gov for more information.
15. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanne Hanley at (919) 996-5623 or joanne.hanley@raleighnc.gov for more information.



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Edenton Court
12, 14, 18, & 20 N. Tarboro St.
Raleigh, NC 27610

Dayong Gan
503 Annandale Dr.
Cary, NC 27511



LEGEND		
PROF WATER LINE	---	---
PROF SEWER LINE	---	---
EX SEWER LINE	---	---
EX WATER LINE	---	---

UTILITY PLAN		
Revision	Description	Date
1	PER CITY COMMENTS	01/23/21
2	PER CITY COMMENTS	08/17/21
3	PER CITY COMMENTS	08/15/21

JAECO # 10901
DRAWING SCALE: AS SHOWN
DRAWN BY: JTC
CHECKED BY: JTC
DATE ISSUED: 04/19/2021

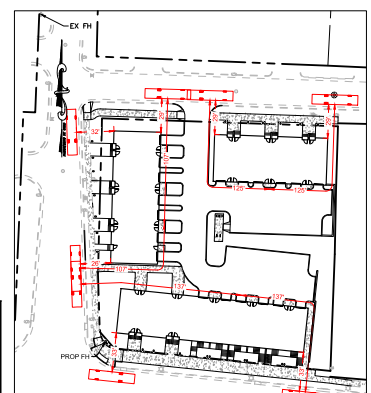
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ATTENTION CONTRACTORS:

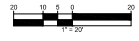
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for obtaining the PUBLIC WORKS DEPARTMENT or (919) 996-2600, and the PUBLIC UTILITIES DEPARTMENT at (919) 996-2600 or (919) 996-2600, prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of CITY OF RALEIGH STANDARDS will result in a 24-hour Downstream Plug from future work in the CRY OF RALEIGH.



FIRE COVERAGE EXHIBIT
SCALE: 1" = 50'





N/C CITY OF RALEIGH
PIN 1713.05-29-1117
DB 2686, PG 763

N/TARBORO STREET
(VARIABLE WIDTH PUBLIC R/W - 35 MPH POSTED)
PROP NEIGHBORHOOD STREET (64' ROW)

N/T
DAYONG GAN
PIN 1713.05-29-1565
DB 15253, PG 2009

N/T
ROSALYN SURRELL
PIN 1713.05-29-2584
DB 4369, PG 312

BOYER STREET
(PUBLIC R/W - 25 MPH ASSUMED)
PROP NEIGHBORHOOD YIELD (55' ROW)

N/T
MOSES BRODIE
PIN 1713.05-29-3353
DB 2911, PG 312

N/T
RUSSELL & GWENDOLYN LUCAS
PIN 1713.05-29-3303
DB 11167, PG 2314

EX CONSTRUCTION ESMT
DB 2228, PG 374
PROP PH

EX DRAINAGE ESMT
DB 2092, PG 307
HIGHWAY 540
EX DRAINAGE
ESMT DB 2228, PG 374

E. EDENTON STREET
(NC DOT R/W - 35 MPH)
PROP AVENUE 4-LANE PARALLEL PARKING
(PARTIAL SECTION - ONE-WAY)

N/T
CITY OF RALEIGH
PIN 1713.05-29-1117
DB 17431, PG 2453

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/20 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE 0147-2020) AND ARE APPROXIMATE.
- EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT 12/10/20 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE 0147-2020).
- CONTRACTOR SHALL COORDINATE GUY WIRE RELOCATION/REMOVAL WITH LOCAL UTILITY.

STREET PLANTINGS

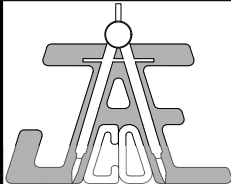
E. EDENTON STREET - PROP PARTIAL AVENUE 4-LANE PARALLEL PARKING	
RIGHT-OF-WAY FRONTAGE LENGTH	192.0'
STREET TREES REQUIRED (40' ON CENTER AVERAGE)	192.0/40 = 4.80
STREET TREES PROVIDED (OUTSIDE ROW, NC DOT)	4
N. TARBORO ST. - PROP NEIGHBORHOOD STREET	
RIGHT-OF-WAY FRONTAGE LENGTH	188.9'
STREET TREES REQUIRED (40' ON CENTER AVERAGE)	188.9/40 = 4.72
STREET TREES PROVIDED	4
BOYER ST. - PROP NEIGHBORHOOD YIELD	
RIGHT-OF-WAY FRONTAGE LENGTH	201.1'
STREET TREES REQUIRED (40' ON CENTER AVERAGE)	201.1/40 = 5.03
STREET TREES PROVIDED	5

PARKING LOT PLANTINGS

PARKING LOT AREA	
SHADE TREES REQUIRED (1 PER 2,000 SF OF PARKING AREA)	8,646 SF
SHADE TREES PROVIDED	8646/2000 = 4.32

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CALIPER	REMARKS
AC	4	ACER CAMPESTRE "EVELYN"	QUEEN ELIZABETH MAPLE	5/8"	3" MIN.	10' MIN. HEIGHT
OL	9	QUERCUS LYRATA	OVERCUP OAK	5/8"	3" MIN.	10' MIN. HEIGHT
UP	4	ULMUS PARVIFOLIA	CHINESE ELM	5/8"	3" MIN.	10' MIN. HEIGHT



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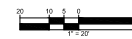
Call before you dig.

LEGEND

LANDSCAPE PLAN

Revision	Number	Description	Date
1	1	PER CITY COMMENTS	07/23/21
2	2	PER CITY COMMENTS	08/17/21
3	3	PER CITY COMMENTS	08/15/21

JAECO # 109041
DRAWING SCALE: 1" = 20'
DRAWN BY: TT
CHECKED BY: JRC
DATE ISSUED: 04/19/2021



C-6