

Case File / Name: SUB-0027-2022 DSLC - DR Horton Townhomes @ Forestville Road

LOCATION: This site is located on the east side of Interstate I-540, south of Buffalo Road at a portion of 5136, 5228, 5237, 5305 Needham Road; 5226, 5228, 5232 & 5264 Forestville Road.
 REQUEST: Development of a 42.59 acre site comprised of multiple parcels on both sides of Needham Road zoned R-10 CU with SHOD 1. Currently there are existing single-family detached dwellings which will be demolished. The development is for 324 lots total: 315 residential multi-unit townhomes and 9 HOA Common Lots in a three phase subdivision plan. The proposed development includes .74 acres/32,159.39 sf and 8.40 acres/365,740.47 sf of internal street right-of-way dedications, leaving a net area of 33.45 acres/1,457,320.54 sf.

Z-36-21 Buffaloe/Needham and Forestville Roads: Adopted 10/1/21 and Effective 11/16/22 - Rezoning to R-10 CU (conditions offered).

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 12, 2023 by BGE.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- 1. Civil plans set sheets are revised and do not show nor reference pending development features, such as proposed new right-of-ways and building footprints, for the northern tract (PIN #1746-21-6945) of this site.
- 2. A subdivision lot area index table is provided for all residential lots and HOA Common Areas, listing the acreages & sf amounts for all lots.
- 3. Amenity area calculations for Phase 1 (provided area) are revised on the coversheet & sheet C2-6 site data table.



- 4. Sheet C2-6, the overall net site area listed on the site data table is recalculated and revised.
- Required total outdoor amenity (acreage/sf) area calculations, for 10% of the net area per UDO Sec.2.2.3, are revised for the total development & phases as shown on the data information table (sheet C2-6) and coversheet.
- The overall gross site area sf/acreage is revised to match the area of each phase proposed on the site information data table as shown on the coversheet and sheet C2-6. Gross acreages in Phases 1-3 do not equate to the overall sum of the site.

Engineering

- 7. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services Development Engineering prior to concurrent review approval.
- 8. That the existing right-of-way for Blue Run Lane is abandoned and a resolution number shown on all plats..

Public Utilities

9. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

- 10. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 11. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 12. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

- 13. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 14. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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| Ø | Engineering |
|---|---|
| Ø | Slope Easement Deed of Easement Required |
| Ø | Stormwater Maintenance Covenant Required |

| Ø | Right of Way Deed of Easement Required |
|---|--|
| Ø | Utility Placement Deed of Easement Required |

☑ <u>**RECORDED MAP(S)**</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
- 2. A demolition permit shall be issued for existing structures on site and this building permit number shown on all maps for recording.
- 3. Provide documentation indicating a Property Owner's Association has been established for the subject development.

Engineering

- 4. A pedestrian and bicycle deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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- 6. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 7. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.
- 8. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 9. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 10. A fee-in-lieu for curb and gutter not installed with the alternate cross section is paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

- 11. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
- 12. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
- 13. A Water and/or Sewer Assessment fee shall be paid to the Assessment Specialist in the City of Raleigh Engineering Services Department.

Stormwater

14. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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- 15. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
- 16. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 17. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 18. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

- A public infrastructure surety for 413 street trees (NCDOT: 123, COR: 290) shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 20. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 3.44 acres of tree conservation area.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-36-21

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
- 4. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.



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Urban Forestry

- 5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes the planting of 413 street trees on 12 streets.
- 6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 22, 2026 Record at least $\frac{1}{2}$ of the land area approved.

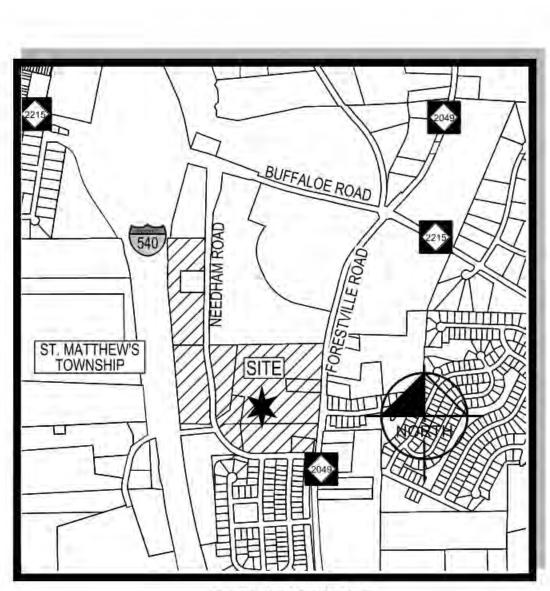
5-Year Sunset Date: February 22, 2028 Record entire subdivision.

I hereby certify this administrative decision.

Steall Signed:

Date: 02/22/2023

Development Services Dif/Designee Staff Coordinator: Jermont Purifoy



SCALE: 1" = 1,000

GENERAL NOTES

| ţ, | ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE. | | NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT. |
|-----|--|-----|---|
| 2 | THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. | 15. | WC ACCESS CURB RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS |
| 3. | IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON | 16. | ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS. |
| | THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT. | 17. | ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL. |
| 4. | FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION. | 18. | ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES, PEDESTRIAN EXISTING ROUTES AND |
| 5. | ALL SURVEY INFORMATION PROVIDED BY BASS, NIXON AND KENNEDY INC., RALEIGH, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH, 2021, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN JUNE, 2021. | | ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). |
| 6. | ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS. | 19. | IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE. |
| 1. | ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS. | 20. | PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A |
| 8. | WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART, OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. | | PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.998.2409 TO SET UP THE MEETING. |
| 9. | UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM. | 21. | THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC. |
| 10. | ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY. | 22. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) |
| 11. | CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES. | 23. | ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. |
| 12. | HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO | 24. | PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN |
| 10 | PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS. | | PLACE. |
| 13. | PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS. | 25. | RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME |
| 14 | ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. | | OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT. WHEN DESIGNING THE SITE, THE DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN RALEIGH STREET DESIGN MANUAL ARTICLE 9.5 AND SECTION 4.6.1. |

ZONING CONDITIONS PER Z-36-21 (ADOPTED 11/16/2022)

0, 5136 (PORTION), 5228, 5237, 5305 NEEDHAM ROAD, LOCATED ON ITS EAST, WEST, AND NORTH SIDES; AND 0, 5226, 5228, 5232, 5264 FORESTVILLE ROAD, LOCATED ON ITS WEST SIDE; SOUTH OF BUFFALOE ROAD; BEING WAKE COUNTY PINS 1746109464, 1746204575, 1746208342, 1746208993, 1746302204, 1746302826, 1746303233, 1746204366, 1746201971, AND 1746026062 (PORTION). APPROXIMATELY 44.7 ACRES REZONED TO RESIDENTIAL-10-CONDITIONAL USE WITH SPECIAL HIGHWAY OVERLAY DISTRICT-1 (R-10-CU W/ SHOD-1).

CONDITIONS DATED: OCTOBER 1, 2021

1. PROHIBITED USES. THE FOLLOWING PRINCIPAL USES, IF OTHERWISE ALLOWED IN THE R-10 DISTRICT, SHALL BE PROHIBITED USES ON THE PROPERTY; BOARDINGHOUSE, OUTDOOR SPORTS OR ENTERTAINMENT FACILITY, BED AND BREAKFAST, HOSPITALITY HOUSE. RESPONSE: SUB-0027-2022 IS IN COMPLIANCE WITH THE PROHIBITED USES. THE PROPOSED USE FOR THE SUBDIVISION IS RESIDENTIAL TOWNHOMES.

- THERE SHALL BE NO MORE THAN 315 RESIDENTIAL DWELLING UNITS ON THE PROPERTY.
- RESPONSE: THE PROPOSED UNIT COUNT FOR SUB-0027-2022 IS 315.
- 3. THE APARTMENT BUILDING TYPE SHALL BE PROHIBITED.
- RESPONSE: THE PROPOSED USE FOR SUB-0027-2022 IS RESIDENTIAL TOWNHOMES, APARTMENT BUILDINGS ARE NOT PROPOSED FOR THE SUBDIVISION.
- NO INDIVIDUAL TOWNHOUSE BUILDING SHALL CONTAIN MORE THAN SEVEN (7) DWELLING UNITS
- RESPONSE: SUB-0027-2022 IS IN COMPLIANCE SINCE NONE OF THE PROPOSED TOWNHOME BUILDINGS EXCEED SEVEN (7) DWELLING.

| | SOLID WASTE INSPECTION STATEMENT |
|----|---|
| + | SOLID WASTE SERVICES ARE TO BE PROVIDED BY CITY OF RALEIGH FOR ALL UNITS. |
| 2. | DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL. |
| 3. | CARTS THAT ARE NOT STORED WITHIN THE GARAGE BEFORE AND AFTER SCHEDULED COLLECTION MAY BE ISSUED A NOTICE OF VIOLATION FOR THE FIRST OFFENSE AND A \$100 ADMINISTRATION FEE FOR SUBSEQUENT VIOLATIONS WITHIN A TWELVE MONTH PERIOD. |
| 4. | ROLL OUT CARTS TO BE LOCATED ON DRIVEWAY APRON WHEN POSITIONED FOR THE COLLECTION. |
| | FIRE COMPLIANCE STATEMENT |
| | |

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 FEET (NFPA 13R); NO SPRINKLING SYSTEM PROPOSED. FIRE HYDRANT SHALL BE LOCATED WITHIN 300 FEET OF ONE ANOTHER; AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.
- 4. ALL PROPOSED PUBLIC FIRE HYDRANTS WILL BE IN ACCORDANCE TO CITY OF RALEIGH STANDARD DETAIL W-5. DETAIL WILL BE PROVIDED IN SPR REVIEW PLANS.

PRELIMINARY SUBDIVISION PLANS **FORESTVILLE ROAD TOWNHOMES** 0, 5136 (PORTION), 5228, 5237, 5305 NEEDHAM ROAD 0, 5226, 5228, 5232, 5264 FORESTVILLE ROAD

ST MATTHEW'S TOWNSHIP, WAKE COUNTY, NC

| | a center - chie cichange Fiere, auna | 400 (Raleigh, NC 27601 919-995-2590 | Raleigh |
|--|--------------------------------------|---|---------------------|
| NSTRUCTIONS: This form is used ppropriate review type and include ubdivision plans to <u>SiteReview(Ora</u> | the plan checklist document. F | | |
| | DEVELOPMENT TYPE (UD | O Section 2.1.2) | |
| X Conventional Subdivision | Compact Development | Conservation Development | Cottage Court |
| NOTE. Subdivisions may require C | ity Council approval if in a Met | tro Park Overlay or Historic Overlay | District |
| | GENERAL INFORM | ATION | |
| Scoping/sketch plan case number(| s): | | |
| Development name (subject to app | | | |
| Property Address(es): 0, 5136, 52 | | | |
| 17463028 | family Townhouse | | |
| | | | |
| | NT PROPERTY OWNER/DEV | ELOPER INFORMATION | |
| Company: DR Horton | Owner/Developer N | lame and Title: Jonathan Cooper - Er | ntitlements Manager |
| Address: 2000 Aerial Center Parkwa | y, Suite 110, Morrisville, NC 275 | 60 | |
| Phone #: 336-339-0576 | Email: jcooper1@drl | horton.com | |
| | APPLICANT INFOR | MATION | |
| Company: BGE, INC. | Contact Name and | Title: Javier D. Jaramillo, PE, Project | Manager |
| satubach: Heat Are: | | | |
| and the second s | Address: 5440 Wade | Park Boulevard. Suite 102, Raleigh, | NC 27607 |

| | (Applicable t | o all developments) |
|--|--|--|
| | ZONING | INFORMATION |
| Gross site acreage: 42.69 | | |
| Zoning districts (if more than one | e, provide acreage of | each): Residential-10-Co |
| Overlay district: SHOD-1 | | Inside City limits? |
| Conditional Use District (CUD) | | Board of Adjustment (B |
| | STORMWAT | ER INFORMATION |
| Existing Impervious Surface: Acres: 0.71 Squ | are Feet: 30 928 | Proposed Impervious Acres: 16.45 |
| Neuse River Buffer Yes | V No | Wetlands V |
| Alluvial soils: Flood study: FEMA Map Panel #: | NUMBER OF | LOTS AND DENSITY |
| | NOWBER OF | LOIS AND DENSIT |
| Total di officialitati an Intel | District | A 102 10 11 10 10 |
| Total # of townhouse lots: | Detached | Attached 315 |
| Total # of single-family lots: N/A Proposed density for each zoning | g district (UDO 1.5.2. | F): PHASE 1: 4,262 SF PER |
| Total # of single-family lots: N/A | g district (UDO 1.5.2.) HOME PHASE 3: | F): PHASE 1: 4,262 SF PER |
| Total # of single-family lots: N/A Proposed density for each zoning PHASE 2: 4,287 SF PER TOWN Total # of open space and/or con | g district (UDO 1.5.2. HOME _ PHASE 3: nmon area lots: ¹ | F): PHASE 1: 4,262 SF PER |
| Total # of single-family lots: N/A Proposed density for each zoning PHASE 2: 4,287 SF PER TOWN Total # of open space and/or con Total # of requested lots: 324 The undersigned indicates that the described in this application will be herewith, and in accordance with t | g district (UDO 1.5.2. NHOME _ PHASE 3: nimon area lots: ¹⁴ SIGNAT e property owner(s) is a maintained in all resp the provisions and reg | F): PHASE 1: 4,262 SF PEF 5,387 SF PER TOWNHOM URE BLOCK aware of this application and pects in accordance with the pulations of the City of Raleigh |
| Total # of single-family lots: N/A Proposed density for each zoning PHASE 2: 4,287 SF PER TOWN Total # of open space and/or con Total # of requested lots: 324 The undersigned indicates that the described in this application will be | g district (UDO 1.5.2.) HOME _ PHASE 3: nmon area lots: ¹⁴ SIGNAT e property owner(s) is e maintained in all resp the provisions and reg winments, resubmit plans | F): PHASE 1: 4,262 SF PEF 5,387 SF PER TOWNHOM URE BLOCK aware of this application and sects in accordance with the p ulations of the City of Raleigh Il serve as the agent regarding and applicable documentable |
| Total # of single-family lots: N/A Proposed density for each zoning PHASE 2: 4,287 SF PER TOWN Total # of open space and/or con Total # of requested lots: 324 The undersigned indicates that the described in this application will be herewith, and in accordance with the it,laver D. larentile, PE and respond to administrative corr | g district (UDO 1.5.2. HOME _ PHASE 3: mmon area lots: ¹ SIGNAT e property owner(s) is a maintained in all resp the provisions and reg mments, resubmit plans garding this application I affirm that this project acknowledge that this | F): PHASE 1: 4,262 SF PEF 5,387 SF PER TOWNHOM URE BLOCK aware of this application and pects in accordance with the pulations of the City of Raleigh Il serve as the agent regarding and applicable documentation. |
| Total # of single-family lots: N/A Proposed density for each zoning PHASE 2: 4,287 SF PER TOWN Total # of open space and/or con Total # of requested lots: 324 The undersigned indicates that the described in this application will be herewith, and in accordance with the result, and in accordance with the in | g district (UDO 1.5.2. HOME _ PHASE 3: mmon area lots: ¹ SIGNAT e property owner(s) is a maintained in all resp the provisions and reg mments, resubmit plans garding this application I affirm that this project acknowledge that this | F): PHASE 1: 4,262 SF PEF 5,387 SF PER TOWNHOM URE BLOCK aware of this application and pects in accordance with the pulations of the City of Raleigh Il serve as the agent regarding and applicable documentation. |
| Total # of single-family lots: N/A Proposed density for each zoning PHASE 2: 4,287 SF PER TOWN Total # of open space and/or com Total # of requested lots: 324 The undersigned indicates that the described in this application will be herewith, and in accordance with t i,laver D. laranilo; PE and respond to administrative com owner(s) in any public meeting reg l/we have read, acknowledge, and the proposed development use. I a which states applications will expir Signature: | g district (UDO 1.5.2. HOME _ PHASE 3: mmon area lots: ¹ SIGNAT e property owner(s) is a maintained in all resp the provisions and reg mments, resubmit plans garding this application I affirm that this project acknowledge that this | F): PHASE 1: 4,262 SF PEF 5,387 SF PER TOWNHOM URE BLOCK aware of this application and pects in accordance with the pulations of the City of Raleigh Il serve as the agent regarding and applicable documentation. |
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DEVELOPMENT TYPE + SITE DATE TABL

| Page | 1 | of | 2 | |
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| | | | | |

REVISION 02.19.21

| XISTING ADDRESSES: VINS (S): VONING(S): VORTAL VISTRICT: XISTING USE: XISTING USE: XISTING IMPERVIOUS AREA: VROPOSED USE: VROPOSED BEDROOMS PER UNIT: VVERALL SITE GROSS ACREAGE - BASED ON BOUNDARY SURVEY [TOTAL]: (DADWAY FRONTAGE (RIGHT OF WAY DEDICATION): DVERALL SITE GROSS ACREAGE - BASED ON BOUNDARY SURVEY [TOTAL]: (DADWAY FRONTAGE (RIGHT OF WAY DEDICATION): DVERALL SITE OF SUBDIVISION: HOA LOT: TOWNHOMES: TOTAL LOT: TOTAL LOT: TOTAL LOT: TOTAL LOT: TOTAL SITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS (%): VRASE 1 VRASE 1 | 0.5136 0.5226, 1745-10 1745-20 R-10-CU SPECIAL UNDEVI 0.71 TOWN-3 42.59 0.74 8.40 33.45 9 315 324 16.45 38.62 | (FORTION), 5228, 5232, 9464, 1746 -8342, 1746 -8342, 1746 J WI TH SHOL J WI TH SHOL L HIGH WAY (ELOPED/ SIN AC | OVERLAY DISTRICT-1 (SHOD IGLE FAMILY RESIDENTIAL 30,927.60 1,855,220.40 32,159.39 365,740,47 1,457,618.64 | IATTHEWS TO €-20+4575, 1 6-30-2826, 1 | 0WNSHIP, M 746-11-9586 | IC. | | |
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| PROPOSED USE: PROPOSED BEDROOMS PER UNIT: PREALL SITE VERALL SITE GROSS ACREAGE - BASED ON BOUNDARY SURVEY (TOTAL): ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): DISITE FUBLIC ROADS (RIGHT OF WAY DEDICATION): VERALL SITE NET ACREAGE: PROPOSED LOTS FOR SUBDIVISION: HOA LOT: TOW NHOMES: TOTAL LOTS: PROPOSED ONSITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS (%): PRACE 1 - GROSS ACREAGE: | TOWIN 3 42,59 0,74 8,40 33,45 9 315 324 16,45 38,62 15,02 | AC AC AC AC AC | 1,855,220.40 32,159.39 365,740,47 1,457,618.64 | SF SF SF | | | | |
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| IVERALL SITE DVERALL SITE GROSS ACREAGE - BASED ON BOUNDARY SURVEY (TOTAL): ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): DNSITE PUBLIC ROADS (RIGHT OF WAY DEDICATION): DVERALL SITE NET ACREAGE: PROPOSED LOTS FOR SUBDIVISION: HOA LOT: TOWNHOMESI: TOTAL LOTS: PROPOSED ON SITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS (%): PHASE 1 - GROSS ACREAGE: | 0.74 8.40 33.45 9 315 324 16.45 38.62 15.02 | AC AC AC | 32,199.39 365,740,47 1,457,618.64 | 5F 5F | | | | |
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| INTERPORTAGE (RIGHT OF WAY DEDICATION): DNSITE FUBLIC ROADS (RIGHT OF WAY DEDICATION): DVERALL SITE NET ACREAGE: ROPOSED LOTS FOR SUBDIVISION: HOA LOT: TOWNHOMESI: TOTAL LOTS: PROPOSED ONSITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS (%): PASE 1 - GROSS ACREAGE: | 0.74 8.40 33.45 9 315 324 16.45 38.62 15.02 | AC AC AC | 32,199.39 365,740,47 1,457,618.64 | 5F 5F | | | | |
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| TOW NHOMES: TOTAL LOTS: PROPOSED ONSITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS (%): PASE 1 PHASE 1 - GROSS ACREAGE: | 315 324 16.45 38.62 15.02 | | State state and | | | | | |
| TOTAL LOTS: PHOPOSED ONSITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS (%): PHASE 1 PHASE 1 - GROSS ACREAGE: | 324 16.45 38.62 15.02 | | 745 FAF 24 | | | | | |
| HOPOSED ONSITE IMPERVIOUS AREA: PROPOSED ON SITE IMPERVIOUS (%): PASE 1 PHASE 1 - GROSS ACREAGE: | 16.45 38.62 15.02 | | 2947 Par 214 | | | | | |
| ROPOSED ON SITE IMPERVIOUS (%): MASE 1 MASE 1 - GROSS ACREAGE: | 38.62 15.02 | | 24 P 8 AP 200 | | | | | |
| MASE 1 MASE 1 - GROSS ACREAGE: | 15.02 | No. | 716,546.61 | SF | | | | |
| HASE 1 - GROSS ACREAGE: | | | | _ | _ | _ | | |
| | | | | | | | | |
| | - | ĄC | 697,951.40 | SF | | | | |
| EXISTING RIGHT OF WAY (FORESTVILLE ROAD AND NEEDHAM ROAD): | 3.32 | AC. | 57,566.05 | SF | | | | |
| ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): | 0.60 | AC | 26,151.07 | SF | | | | |
| HASE 1 - ONSITE PUBLIC ROADS (RIGHT OF WAY DEDICATION): | 3.44 | AC | 149,687.49 | SF | | | | |
| HASE 1 - SHE NET ACREAGE: | 10.66 | AC | 464, 546. /9 | 56 | | | | |
| HASE 1 - PROPOSED ONSITE IMPERVIOUS AREA: | 6.22 | AC | 270,881.50 | SF | | | | |
| HASE 1 - PROPOSED ON SITE IMPERVIOUS (%): | 42.30 | - 1% | | - | | | | |
| HASE 1 - PROPOSED LOTS FOR SUBDIVISION: | - | | | | | | | |
| HOA LOT: | 4 | | | | | | | |
| TOWNHOMES: | 109 | | | | | | | |
| TOTAL LOTS: | 113 | | | | | | | |
| TOTAL LOSS | | | Required | | | | Provided | |
| HASE 1 - DENSITY (NE (SITE AREA / NUMBER OF JOWNHOME UNITS): | 0.07 | AC | 3,000.00 | SF | 0.10 | AC | 4,261.90 | SF. |
| HASE 1- DUIDDOR AMENITY AREA; (10% MIN.) | 1.07 | AC | 46,453.00 | SF | 1.12 | AC | 48,882.00 | SF |
| HASE 1- OG IDOOR AMERITY AREA; (10% MIR.) | 11/11 | ALL. | 40,455.00 | 21 | 1.14 | AL | N0,002.00 | ~ |
| HASE 2- GROSS ACREAGE: | 14.68 | AC | 639.263.82 | SF. | | | | |
| EXISTING RIGHT OF WAY (NEEDHAM ROAD): | 1,60 | AC | 69,536.09 | SF | | | | |
| ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): | 0.10 | AC | 4,364.79 | SF | | | | |
| HASE 2 - ONSITE PUBLIC ROADS (RIGHT OF WAY DEDICATION): | 2.55 | AC | 110,960.69 | SF. | | | | |
| HASE 2 - SITE NET ACREAGE: | 10.43 | AC | 454,402.25 | SF | | | | |
| HASE 2 - PROPOSED ONSITE IMPERVIOUS AREA: | 5,09 | AC | 221,846.14 | SF | | | | |
| PHASE 2 - PROPOSED ON SITE IMPERVIOUS (%): | 38.94 | - ñ | | | | | | |
| HASE 2 - PROPOSED LOTS FOR SUBDIVISION: | - | | | | | | | |
| HOA LOT: TOWNHOMES: | 3 | | | | | | | |
| TOTAL LOTS: | 105 | | | | | | | |
| 101AL 0015: | 103 | _ | Required | | | | Provided | |
| HARE & DEMERSION INFERIOR ADDA I AND ADDE OF TOTAL MUSEAR MAILTEN. | 0.07 | 100 | | ç: | 0.10 | 10 | and the local division in the local division | 4 |
| HASE 2 - DENSITY (NET SITE AREA / NUMBER OF TOWNHOME UNITS): | | AC | 3,000,00 | | 0.10 | AC | 4,285,81 | |
| HASE 2- OUTDOOR AMENITY AREA: (10% MIN.) | 1.04 | AC. | 45,454,00 | SF | 1,05 | AC | 45/625.00 | 5 |
| HASEB | 1 | | and the second second | _ | | | | |
| HASE 3 - GROSS ACREAGE | 15.5P | AC | 578,763:52 | SF | | _ | | |
| EXISTING RIGHT OF WAY (NEEDHAM ROAD): | 0,77 | AC | 33,358.10 | SF | | | | |
| ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): | 0,04 | AC | 1,643.53 | SF | | | | |
| PHASE 3 - ONSITE PUBLIC ROADS (RIGHT OF WAY DEDICATION): | 2.41 | AC | 105,092.29 | 5¢ | | | | |
| HASE 3 - SITE NET ACREAGE: | 12.36 | AC | 538,669.60 | SF | | | | |
| HASE 3 - PROPOSED ONSITE IMPERVIOUS AREA: | 5.14 | AC | 223,818.97 | SP | | | | |
| HASE 3 - PROPOSED ON SITE IMPERVIOUS (%): | 34.68 | 36 | | | | | | |
| HASE 3 - PROPOSED LOTS FOR SUBDIVISION: | | | | | | | | |
| HOA LOT: | 2 | | | | | | | |
| TOWNHOMES: | 100 | | | | | | | |
| TOTAL LOTS: | 102 | | | | | | | _ |
| | | | Required | | | | Provident | |
| HASE 3 - DENSITY (NET SITE AREA / NUMBER OF TOWNHOME UNITS): | 0,07 | AC | 3,000.00 | SF | 0.12 | AC. | 5,386,70 | SE |
| HASE 3- DENSITY (NET STEAREA / NOMBER OF TOWNHOME UNITS); HASE 3- OUTDOOR AMENITY AREA; (10% MIN.) | 1,24 | AC | 58,851.00 | 55 | 2.14 | AC. | 93,399,00 | 55 |

| - | | RESTVILLE ROAD TOWNHOMES REQUIRED | PROVIDED |
|-----|--|---|------------------------------|
| inc | | The set of | PROVIDED |
| | SECTION 2.2.3: ATTACHED TOWNHOUSE - CONVENTIONAL DEVEL | LOPMENT OPTION | |
| 4 | SITE DIVENSIONS | | |
| 41 | NET SITE AREA/UNIT (MIN): NET SITE AREA EXCLUDING R/W DIVIDED BY # OF TOWNHOUSE UNITS | 3,000 SF | 4,624 SF (OVERALL) |
| 12 | WIDTH (MIN) | 45 ET | 88 FT |
| | ALC: MILLS INC. | 10% (3.34 AC/33.45 AC) | And the second second second |
| 43 | OUTDOOR AMENITY AREA (MIN) | (145,664.6 SF/1,457,618.6 SF) | 4.31 AC 187,906.00 SF |
| 8 | LOT DIMENSIONS | | |
| B1 | AREA (MIN) | N/A SF | N/A SF |
| 82 | WIDTH (MIN) | 16 FT | 22 FT |
| ¢. | BUILDING/STRUCTURE SETBACKS | | |
| C1 | FROM PRIMARY STREET (MIN) | 10 FT | 10 FT |
| 62 | FROM SIDE STREET (MIN) | 10 FT | 21 FT |
| 3 | FROM SIDE SITE BOUNDARY LINE (MIN) | 6.FT | 22 FT |
| C4 | FROM REAR SITE BOUNDARY UNE (MIN) | 20 FT | 20 FT |
| 05 | FROM ALLEY (MIN) | 4 or 20 FT | N/A FT |
| C6 | INTERNAL BUILDING SEPARATION | 10 FT | 10 FT |
| D | PARKING SETBACKS | | |
| D1 | FROM PRIMARY STREET (MIN) | 20 FT | 20 FT |
| 72 | FROM SIDE STREET (MIN) | 10 FT | N/A FT |
| EG | FROM SIDE LOT LINE (MIN) | 0 FT | N/A FT |
| D4 | FROM REAR LOT LINE (MIN) | 3 FT | N/A FT |
| D5 | FROM ALLEY, GARAGE ONLY (MIN) | 4 FT | N/A FT |
| D6 | RESIDENTIAL INFILL RULES MAY APPLY (SEE SEC. 2.2.7) | YES | N/A |
| E | HEIGHT | | |
| E1 | PRINCIPAL BUILDING (MAX) | 45 FT | N/A |
| E2 | ACCESSORY STRUCTURES (MAX) | 25 FT | N/A |
| F | VEHICLE PARKING (TC 11-21 & UDO SECTION 7.1.2.C) | | |
| F1 | MULTI-UNIT LIVING: TOWNHOMES (MIN) | NO WAXIMUM | 530 |
| G | BICYCLE PARKING (TC-11-71 & UDO SECTION 7 1.2.C) | | |
| 61 | SHORT TERM PARKING | NO MAXIMUM | NONE |
| G2 | LONG TERM PARKING | NO MAXIMUM | NONE |
| | SECTION 9.1.3 TREE CONSERVATION REQUIRED | | |
| | | 33.46 x 10% = 3.35 AC | 3.48 AC (10.4%) |
| _ | | AUX 4100 A | and grant decrets (A |

NET AREA X 10%

| | CONSULTANT INFORMATION | |
|---|--|---|
| DEVELOPER: | ENGINEER: | SURVEYOR: |
| DR HORTON 2000 AERIAL CENTER PARKWAY STE 110 MORRISVILLE, NC 27560 (336) 339-0576 CONTACT: JONATHAN COOPER | BGE, INC 5440 WADE PARK BOULEVARD STE 102 RALEIGH, NC 27607 (919) 276-0111 CONTACT: JAVIER D. JARAMILLO, PE | BOHLER ENGINEERING 4130 PARKLAKE AVENUE STE 130 RALEIGH, NC 27612 (919) 578-9000 CONTACT: THOMAS E. TEABO, PLS |

| ditional Use with SHOD-1 |
|--|
| es 🖌 No |
| A) Case # A- |
| |
| Surface: 715.647 Square Feet: 715.647 |
| HS NO |
| |
| |
| |
| |
| TOWNHOME |
| |
| |
| |
| nat the proposed project |
| ans and specifications submitte Inified Development Ordinance |
| this application, and will racely |
| n, and will represent the propert |
| requirements applicable with |
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| Date: 03/24/2022 |
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raleighne-gov

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SUB-NO:

SUB-0027-2022

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GENERAL NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

NO WORK WITHIN NCDOT OR CITY OF RALEIGH RIGHT OF WAY SHALL TAKE PLACE WITHOUT ALL PERMITS.

EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC, AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THE CIVIL PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION. CONTRACTOR SHALL REPAIR ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THE EXISTING OR BETTER CONDITION.

SITE BOUNDARY, TOPOGRAPHY, TREE, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY BY BOHLER ENGINEERING COMPLETED JULY 9, 2020. ALL INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE NORTH CAROLINA DEPT. OF TRANSPORTATION NCDOT AS APPLICABLE.

THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.

APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING AND DRAINAGE PLAN WITHOUT AUTHORIZATION IS SUBJECT TO A FINE. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND THE CITY OF RALEIGH.

CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE CITY OF RALEIGH.

ALL STANDARD NUMBERS REFER TO THE NCDOT STANDARD DETAILS AND SPECIFICATIONS AND THE LATEST EDITION OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE.

THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.

THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN A UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL POST ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS ON BUILDING.

IN ROLLING OR HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.

CONTACT APPROPRIATE UTILITY COMPANIES TO RELOCATE ANY EXISTING UTILITY AND/OR LIGHT POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR

ZONING CONDITIONS

CASE NUMBER Z-36-21 ORDINANCE (2021) 309 ZC 831

PROHIBITED USES - THE FOLLOWING PRINCIPAL USES, IF OTHERWISE ALLOWED IN THE R-10 DISTRICT SHALL BE PROHIBITED USES ON THE PROPERTY: BOARDINGHOUSE, OUTDOOR SPORTS OR ENTERTAINMENT FACILITY, BED AND BREAKFAST, HOSPITALITY HOUSE.

THERE SHALL BE NO MORE THAN 315 RESIDENTIAL DWELLING UNITS ON THE PROPERTY.

THE APARTMENT BUILDING TYPE SHALL BE PROHIBITED.

NO INDIVIDUAL TOWNHOUSE BUILDING SHALL CONTAIN MORE THAN SEVEN (7) DWELLING UNITS.

CITY OF RALEIGH STANDARD NOTES

COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.

ALL ROAD IMPROVEMENTS AT FORESTVILLE ROAD ARE TO BE COORDINATED WITH THE CITY OF RALEIGH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.

APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.

SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE CITY INSPECTOR.

CURB AND GUTTER SHOWN ON THESE PLANS ALONG FORESTVILLE ROAD AND NEEDHAM ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATE STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF RALEIGH.

SEALED SHOP DRAWINGS BY A PROFESSIONAL ENGINEER FOR RETAINING WALL (BY OTHERS) MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

"AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF RALEIGH IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT ORDINANCE SUBDIVISION ORDINANCE.

CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT RALEIGH DEPARTMENT OF TRANSPORTATION

NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE RALEIGH DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.

SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRE REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.

ANY WORK WITHIN THE R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY NCDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH NCDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-620 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.

RIGHT OF WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-620.

CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-620.

DEVELOPER TO CONTACT NCDOT DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND NCDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

EROSION CONTROL NOTES

TOTAL AREA DISTURBED = $\pm XX.XX AC$

LIMITS OF GRADING SHOWN ON THE PLAN ARE MAXIMUM LIMITS FOR EROSION CONTROL PURPOSES ONLY. SURVEYOR TO DETERMINE ACTUAL LIMIT.

PRIOR TO CLEARING AND EARTHWORK ACTIVITIES THE CONTRACTOR SHALL HAVE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH INSPECTOR; INSTALL EROSION CONTROL DEVICES SPECIFIED AND AS INDICATED ON THE DRAWINGS, AND THEN OBTAIN AN APPROVED GRADING PERMIT. DURING EACH PHASE OF SITE CONSTRUCTION THE CONTRACTOR SHALL ADJUST, RELOCATE AND/OR REINSTALL AS APPLICABLE ALL EROSION CONTROL DEVICES AND SEDIMENT DISCHARGE FROM THE SITE.

ALL "STD." NUMBERS REFER TO THE CITY OF RALEIGH GUIDELINES FOR LAND DISTURBING ACTIVITIES AND THE NCDOT STANDARD DETAILS AND SPECIFICATIONS.

ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.

ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.

GRADING MORE THAN 12,000 SF WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.

ALL AREAS MUST BE SEEDED AND MULCHED WITHIN 14 CALENDAR DAYS. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.

ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.

SLOPES SHALL BE GRADED NO STEEPER THAN 3:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING (APPENDIX B - CHAPTER 21)

DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.

DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, HIS REPRESENTATIVE, OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.

EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973, THE LOCAL JURISDICTIONAL AGENCY, THE APPROVED EROSION CONTROL PERMIT, AND THESE PLANS AND SPECIFICATIONS.

SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. ALL DISTURBED AREAS SHALL BE NONEROSIVE AND SHALL BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT AND ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE. SLOPES SHALL BE STABILIZED WITHIN 14 CALENDAR DAYS.

THE SEDIMENT TRAPS AND DIVERSION DITCHES SHALL BE CLEANED OUT WHEN THE STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL SHALL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.

ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5 INCH RAINFALL EVENT, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. NEEDED REPAIRS SHALL BE MADE IMMEDIATELY. SUBMIT WRITTEN REPORT WITH EACH INSPECTION TO THE OWNER.

SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCING WHEN IT BECOMES 6-INCHES DEEP AT THE FENCE. THE FENCING WILL BE REPAIRED AS NECESSARY TO MAINTAIN SUFFICIENT BARRIER.

ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO THE PLANS AND SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

ALL DRAINAGE SWALES MUST BE GRASSED AND RIP-RAP MUST BE REPLACED AS REQUIRED TO CONTROL EROSION. RIP-RAP WILL CONSIST OF 50 TO 125 POUND STONES PLACED AT ALL HEADWALLS, AND WHERE NOTED ON CONSTRUCTION DRAWINGS. (SEE DETAIL SHEET FOR OUTFALL PIPE SIZE CHART)

ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS DIRECTED BY THE CITY INSPECTOR.

- WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE: A. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY BUILDING OR OTHER
- EXCAVATION SPOIL DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE DRAINAGE AREA SHOWN HEREON IN A EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.
- B. THE CONTRACTOR HEREBY AGREES TO STOP ALL WORK AND RESTORE THESE

IMMEDIATELY UPON NOTIFICATION BY THE CITY INSPECTOR AND/OR THE OWNER.

FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.

ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.

THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.

INSTALL SILT FENCE ALONG THE DOWNSTREAM SIDE OF ALL PROPOSED CUT AND FILL CONSTRUCTION AND AS INDICATED ON PLANS.

SILT FENCE SHALL BE MAINTAINED AROUND THE PERIMETER OF ALL EARTHWORK AREAS TO PREVENT SEDIMENT TRANSPORT ONTO ADJACENT PROPERTIES OR OFFSITE ROADWAYS, AS APPLICABLE.

A TEMPORARY DIVERSION SWALE MAY BE USED IN LIEU OF SILT FENCE WHERE RUNOFF CAN BE DIRECTED TO A TEMPORARY SEDIMENT TRAP.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM REQUIRED MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES TO ENSURE THEIR FUNCTION AT ALL TIMES.

CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.

WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.

WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.

CONTRACTOR TO PROTECT THE EXISTING EXPOSED SANITARY SEWER MANHOLES AT ALL TIMES DURING THE CONSTRUCTION.

PERFORM A FINAL DEMUCKING OF ALL SEDIMENT CONTROL DEVICES AND RESTABILIZATION OF ANY DISTURBED AREAS BEFORE DEMOBILIZATION.

DEMOLITION NOTES:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH
- STANDARDS AND SPECIFICATIONS. 2. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL 3. EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- 4. NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY 8. WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC
- WORKS DEPARTMENT ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, 9 HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH
- THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). 10. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION,
- REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- 11. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- 12. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- 14. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 15. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 16. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- 17. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

UTILITY NOTES

THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 (NC811) AT 811 OR (800)632-4949 TO COORDINATE FOR THE IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.

SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.

CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND RESPECTIVE UTILITY COMPANY REPRESENTATIVE.

THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE UTILITY PROVIDER FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE

ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE GIVEN A 48 HOUR NOTICE TO THE UTILITY COMPANY AND THE OWNER.

CONTRACTOR SHALL SAW CUT, REMOVE, AND REPLACE ASPHALT PAVEMENT AS NECESSARY TO INSTALL UNDERGROUND ELECTRIC, TELEPHONE, SEWER, WATER, AND COMMUNICATION CONDUITS.

ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE PER DUKE ENERGY STANDARDS.

ALL UTILITIES ARE TO BE UNDERGROUND.

GRADING NOTES

THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE GEOTECHNICAL ENGINEERS SPECIFICATIONS AND IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION REPORT PREPARED BY COMPANY NAME ON MONTH, DAY YEAR. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.

THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR APPROPRIATE SLOPE STABILIZATION ON ALL SLOPES STEEPER THAN 3:1.

THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS

ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES, UNLESS OTHERWISE NOTED.

ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.

CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.

LIMITS OF CLEARING SHOWN ON GRADING AND DRAINAGE PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.

THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.

THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING AND MOISTURE CONDITIONING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.

GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS. OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS. MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE LIP FOR CATCH BASINS.

ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT FRINGE BOUNDARY LINE OR FLOODWAY DISTRICT ENCROACHMENT BOUNDARY LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF RALEIGH.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONAL RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR NCDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- TRAFFIC CONTROL ON ALL NCDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT. THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. 10. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- 11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO NCDOT STANDARDS. IN THE EVENT THAT THI CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NO IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER

PLANS. THE AREAS SHALL THEN BE SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.

13. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.

- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER. THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE.
- 16. SEED, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 17. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 18. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

SEEDBED PREPARATION NOTES

GRADE SLOPES AND FILLS - THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE WHICH CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED SHALL, WITHIN 14 WORKING DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

GROUND COVER - WHENEVER LAND DISTURBING ACTIVITY IS UNDERTAKEN ON A TRACT COMPRISING MORE THAN ONE (1) ACRE, IF MORE THAN ONE CONTIGUOUS ACRE IS UNCOVERED, A GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE PLANTED OR OTHERWISE PROVIDED WITHIN 15 WORKING DAYS ON THAT PORTION OF THE TRACT UPON WHICH FURTHER ACTIVE CONSTRUCTION IS NOT BEING UNDERTAKEN.

SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLAN.

LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTION SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH ESTABLISHMENT AND MAINTENANCE OF VEGETATION. SURFACE FOR FINAL SEEDBED PREPARATION, AT FINISH GRADES SHOWN, SHALL BE REASONABLY SMOOTH AND UNIFORM.

IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME ACCORDING TO SEEDING SPECIFICATIONS.

IF SOIL TEST IS TAKEN, PROVIDE LIME AND FERTILIZER ACCORDING TO SOIL TEST REPORT.

LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.

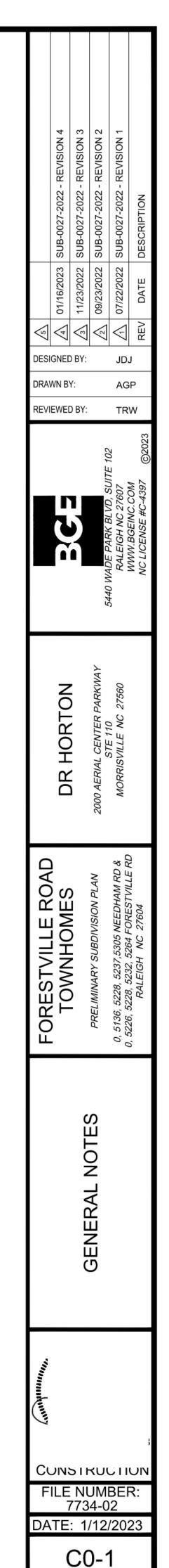
RETAINING WALL NOTES

- CONTRACTOR SHALL PROVIDE DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY A NC LICENSED STRUCTURAL ENGINEER, AND SHALL SUBMIT TO THE LOCAL AUTHORITY FOR APPROVAL PRIOR TO CONSTRUCTION.
- A NC LICENSED STRUCTURAL ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY, ENGINEER AND OWNER THAT RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERING DRAWINGS IN COMPLIANCE WITH INTERNATIONAL BUILDING CODE.
- PROPOSED RETAINING WALLS WILL REQUIRE BUILDING PERMIT APPROVAL BEFORE CONSTRUCTION CAN BEGIN.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.





| PARCEL TABLE | | | | |
|--------------|--------------|-----------|-----------|--|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) | |
| 1 | TOWNHOME LOT | 2,880.00 | 0.07 | |
| 2 | TOWNHOME LOT | 2,111.99 | 0.05 | |
| 3 | TOWNHOME LOT | 2,111.99 | 0.05 | |
| 4 | TOWNHOME LOT | 2,111.98 | 0.05 | |
| 5 | TOWNHOME LOT | 3,119.95 | 0.07 | |
| 6 | TOWNHOME LOT | 3,119.20 | 0.07 | |
| 7 | TOWNHOME LOT | 2,111.95 | 0.05 | |
| 8 | TOWNHOME LOT | 2,111.93 | 0.05 | |
| 9 | TOWNHOME LOT | 2,112.02 | 0.05 | |
| 10 | TOWNHOME LOT | 2,891.19 | 0.07 | |
| 11 | TOWNHOME LOT | 2,880.17 | 0.07 | |
| 12 | TOWNHOME LOT | 2,112.03 | 0.05 | |
| 13 | TOWNHOME LOT | 2,112.02 | 0.05 | |
| 14 | TOWNHOME LOT | 2,112.02 | 0.05 | |
| 15 | TOWNHOME LOT | 2,112.01 | 0.05 | |
| 16 | TOWNHOME LOT | 2,112.01 | 0.05 | |
| 17 | TOWNHOME LOT | 2,880.00 | 0.07 | |
| 18 | TOWNHOME LOT | 2,820.00 | 0.06 | |
| 19 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 20 | TOWNHOME LOT | 2,068.00 | 0.05 | |

| PARCEL TABLE | | | | |
|--------------|--------------|-----------|-----------|--|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) | |
| 21 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 22 | TOWNHOME LOT | 3,055.31 | 0.07 | |
| 23 | TOWNHOME LOT | 3,055.31 | 0.07 | |
| 24 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 25 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 26 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 27 | TOWNHOME LOT | 3,055.16 | 0.07 | |
| 28 | TOWNHOME LOT | 3,054.84 | 0.07 | |
| 29 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 30 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 31 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 32 | TOWNHOME LOT | 3,055.16 | 0.07 | |
| 33 | TOWNHOME LOT | 3,054.84 | 0.07 | |
| 34 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 35 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 36 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 37 | TOWNHOME LOT | 3,055.16 | 0.07 | |
| 38 | TOWNHOME LOT | 3,054.84 | 0.07 | |
| 39 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 40 | TOWNHOME LOT | 2,068.00 | 0.05 | |

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| PARCEL TABLE | | | | |
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| Parcel # | DESCRIPTION | Area (SF) | Area (AC) | |
| 61 | TOWNHOME LOT | 2,068.00 | 0.05 | |
| 62 | TOWNHOME LOT | 2,820.00 | 0.06 | |
| 63 | TOWNHOME LOT | 2,879.85 | 0.07 | |
| 64 | TOWNHOME LOT | 2,111.89 | 0.05 | |
| 65 | TOWNHOME LOT | 2,111.89 | 0.05 | |
| 66 | TOWNHOME LOT | 2,111.89 | 0.05 | |
| 67 | TOWNHOME LOT | 2,111.89 | 0.05 | |
| 68 | TOWNHOME LOT | 2,111.90 | 0.05 | |
| 69 | TOWNHOME LOT | 3,119.52 | 0.07 | |
| 70 | TOWNHOME LOT | 3,120.20 | 0.07 | |
| 71 | TOWNHOME LOT | 2,111.93 | 0.05 | |
| 72 | TOWNHOME LOT | 2,111.95 | 0.05 | |
| 73 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 74 | TOWNHOME LOT | 3,118.99 | 0.07 | |
| 75 | TOWNHOME LOT | 3,120.66 | 0.07 | |
| 76 | TOWNHOME LOT | 2,111.98 | 0.05 | |
| 77 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 78 | TOWNHOME LOT | 2,111.96 | 0.05 | |
| 79 | TOWNHOME LOT | 3,119.58 | 0.07 | |
| 80 | TOWNHOME LOT | 3,120.28 | 0.07 | |

| PARCEL TABLE | | | | |
|--------------|--------------|-----------|-----------|--|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) | |
| 81 | TOWNHOME LOT | 2,111.96 | 0.05 | |
| 82 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 83 | TOWNHOME LOT | 2,112.00 | 0.05 | |
| 84 | TOWNHOME LOT | 3,119.30 | 0.07 | |
| 85 | TOWNHOME LOT | 3,120.66 | 0.07 | |
| 86 | TOWNHOME LOT | 2,111.99 | 0.05 | |
| 87 | TOWNHOME LOT | 2,111.99 | 0.05 | |
| 88 | TOWNHOME LOT | 2,111.98 | 0.05 | |
| 89 | TOWNHOME LOT | 3,119.95 | 0.07 | |
| 90 | TOWNHOME LOT | 3,120.28 | 0.07 | |
| 91 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 92 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 93 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 94 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 95 | TOWNHOME LOT | 2,111.97 | 0.05 | |
| 96 | TOWNHOME LOT | 2,879.96 | 0.07 | |
| 97 | TOWNHOME LOT | 2,879.99 | 0.07 | |
| 98 | TOWNHOME LOT | 2,112.00 | 0.05 | |
| 99 | TOWNHOME LOT | 2,112.00 | 0.05 | |
| 100 | TOWNHOME LOT | 2,880.00 | 0.07 | |

PARCEL TABLE

TOWNHOME LOT 2,067.91

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DESCRIPTION Area (SF) Area (AC)

TOWNHOME LOT 2,067.87 0.05

TOWNHOME LOT 2,067.84 0.05

TOWNHOME LOT 3,054.58 0.07

TOWNHOME LOT 3,054.47

TOWNHOME LOT 2,067.64

TOWNHOME LOT 2,067.57

TOWNHOME LOT 2,067.51

TOWNHOME LOT 2,819.23

TOWNHOME LOT 2,824.44

TOWNHOME LOT 2,068.00

TOWNHOME LOT 2,068.00

TOWNHOME LOT 2,077.39

TOWNHOME LOT 2,136.30

TOWNHOME LOT 2,823.40

TOWNHOME LOT 2,068.01

TOWNHOME LOT 2,068.02

TOWNHOME LOT 2,068.03

TOWNHOME LOT 2,820.05

TOWNHOME LOT 3,100.69 0.07

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| | Parcel # |
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| PARCEL TABLE | | | |
|--------------|--------------|-----------|----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC |
| 121 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 122 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 123 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 124 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 125 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 126 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 127 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 128 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 129 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 130 | TOWNHOME LOT | 3,054.97 | 0.07 |
| 131 | TOWNHOME LOT | 2,067.94 | 0.05 |
| 132 | TOWNHOME LOT | 2,067.91 | 0.05 |
| 133 | TOWNHOME LOT | 2,067.88 | 0.05 |
| 134 | TOWNHOME LOT | 3,054.77 | 0.07 |
| 135 | TOWNHOME LOT | 3,054.77 | 0.07 |
| 136 | TOWNHOME LOT | 2,067.88 | 0.05 |
| 137 | TOWNHOME LOT | 2,067.91 | 0.05 |
| 138 | TOWNHOME LOT | 2,067.94 | 0.05 |
| 139 | TOWNHOME LOT | 2,819.97 | 0.06 |
| 140 | TOWNHOME LOT | 2,819.94 | 0.06 |

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| DESCRIPTION | Area (SF) | Area (AC) | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 3,055.16 | 0.07 | | |
| TOWNHOME LOT | 3,054.84 | 0.07 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 3,055.16 | 0.07 | | |
| TOWNHOME LOT | 3,054.88 | 0.07 | | |
| TOWNHOME LOT | 2,068.07 | 0.05 | | |
| TOWNHOME LOT | 2,068.11 | 0.05 | | |
| TOWNHOME LOT | 2,068.15 | 0.05 | | |
| TOWNHOME LOT | 3,055.44 | 0.07 | | |
| TOWNHOME LOT | 3,055.19 | 0.07 | | |
| TOWNHOME LOT | 2,068.14 | 0.05 | | |
| TOWNHOME LOT | 2,068.12 | 0.05 | | |
| TOWNHOME LOT | 2,068.07 | 0.05 | | |
| TOWNHOME LOT | 3,055.11 | 0.07 | | |
| TOWNHOME LOT | 3,055.14 | 0.07 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
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| PARCEL TABLE | | | | |
|--------------|-----------|-----------|--|--|
| DESCRIPTION | Area (SF) | Area (AC) | | |
| TOWNHOME LOT | 2,820.00 | 0.06 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 3,055.00 | 0.07 | | |
| TOWNHOME LOT | 3,055.00 | 0.07 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 3,064.66 | 0.07 | | |
| TOWNHOME LOT | 3,064.66 | 0.07 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 3,055.00 | 0.07 | | |
| TOWNHOME LOT | 3,055.00 | 0.07 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,068.00 | 0.05 | | |
| TOWNHOME LOT | 2,820.00 | 0.06 | | |

| PARCEL TA | \BLE | |
|--------------|-----------|-----------|
| DESCRIPTION | Area (SF) | Area (AC) |
| TOWNHOME LOT | 2,820.00 | 0.06 |
| TOWNHOME LOT | 2,068.01 | 0.05 |
| TOWNHOME LOT | 2,068.01 | 0.05 |
| TOWNHOME LOT | 2,068.01 | 0.05 |
| TOWNHOME LOT | 3,055.01 | 0.07 |
| TOWNHOME LOT | 3,055.05 | 0.07 |
| TOWNHOME LOT | 2,068.02 | 0.05 |
| TOWNHOME LOT | 2,068.02 | 0.05 |
| TOWNHOME LOT | 2,820.03 | 0.06 |
| TOWNHOME LOT | 2,895.38 | 0.07 |
| TOWNHOME LOT | 2,070.86 | 0.05 |
| TOWNHOME LOT | 2,867.88 | 0.07 |
| TOWNHOME LOT | 2,883.21 | 0.07 |
| TOWNHOME LOT | 2,070.39 | 0.05 |
| TOWNHOME LOT | 2,883.08 | 0.07 |
| TOWNHOME LOT | 2,981.89 | 0.07 |
| TOWNHOME LOT | 2,102.67 | 0.05 |
| TOWNHOME LOT | 2,099.19 | 0.05 |
| TOWNHOME LOT | 2,965.60 | 0.07 |
| TOWNHOME LOT | 2,827.02 | 0.06 |
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| | PARCEL TA | ABLE | |
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| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 181 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 182 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 183 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 184 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 185 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 186 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 187 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 188 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 189 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 190 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 191 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 192 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 193 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 194 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 195 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 196 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 197 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 198 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 199 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 200 | TOWNHOME LOT | 2,068.00 | 0.05 |

| | PARCEL T | ABLE | |
|----------|--------------|-----------|-----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 201 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 202 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 203 | TOWNHOME LOT | 3,055.00 | 0.07 |
| 204 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 205 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 206 | TOWNHOME LOT | 2,820.00 | 0.06 |
| 207 | TOWNHOME LOT | 4,778.45 | 0.11 |
| 208 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 209 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 210 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 211 | TOWNHOME LOT | 3,087.50 | 0.07 |
| 212 | TOWNHOME LOT | 3,087.49 | 0.07 |
| 213 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 214 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 215 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 216 | TOWNHOME LOT | 3,087.50 | 0.07 |
| 217 | TOWNHOME LOT | 3,087.50 | 0.07 |
| 218 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 219 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 220 | TOWNHOME LOT | 2,090.00 | 0.05 |

| | PARCEL TA | ABLE | |
|----------|--------------|-----------|-----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 241 | TOWNHOME LOT | 3,087.48 | 0.07 |
| 242 | TOWNHOME LOT | 3,087.48 | 0.07 |
| 243 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 244 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 245 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 246 | TOWNHOME LOT | 4,778.42 | 0.11 |
| 247 | TOWNHOME LOT | 4,803.30 | 0.11 |
| 248 | TOWNHOME LOT | 2,090.94 | 0.05 |
| 249 | TOWNHOME LOT | 2,088.99 | 0.05 |
| 250 | TOWNHOME LOT | 2,089.95 | 0.05 |
| 251 | TOWNHOME LOT | 3,087.43 | 0.07 |
| 252 | TOWNHOME LOT | 3,087.63 | 0.07 |
| 253 | TOWNHOME LOT | 2,089.81 | 0.05 |
| 254 | TOWNHOME LOT | 2,089.97 | 0.05 |
| 255 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 256 | TOWNHOME LOT | 3,087.45 | 0.07 |
| 257 | TOWNHOME LOT | 3,087.46 | 0.07 |
| 258 | TOWNHOME LOT | 2,090.01 | 0.05 |
| 259 | TOWNHOME LOT | 2,090.01 | 0.05 |
| 260 | TOWNHOME LOT | 2,090.01 | 0.05 |

| | PARCEL TA | BLE | |
|----------|--------------|-----------|-----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 261 | TOWNHOME LOT | 2,842.88 | 0.07 |
| 262 | TOWNHOME LOT | 2,850.11 | 0.07 |
| 263 | TOWNHOME LOT | 2,090.08 | 0.05 |
| 264 | TOWNHOME LOT | 2,090.08 | 0.05 |
| 265 | TOWNHOME LOT | 3,087.22 | 0.07 |
| 266 | TOWNHOME LOT | 3,088.49 | 0.07 |
| 267 | TOWNHOME LOT | 2,090.08 | 0.05 |
| 268 | TOWNHOME LOT | 2,090.07 | 0.05 |
| 269 | TOWNHOME LOT | 3,087.25 | 0.07 |
| 270 | TOWNHOME LOT | 3,087.55 | 0.07 |
| 271 | TOWNHOME LOT | 2,090.07 | 0.05 |
| 272 | TOWNHOME LOT | 2,090.08 | 0.05 |
| 273 | TOWNHOME LOT | 2,089.94 | 0.05 |
| 274 | TOWNHOME LOT | 3,087.83 | 0.07 |
| 275 | TOWNHOME LOT | 3,087.70 | 0.07 |
| 276 | TOWNHOME LOT | 2,090.07 | 0.05 |
| 277 | TOWNHOME LOT | 2,089.09 | 0.05 |
| 278 | TOWNHOME LOT | 2,091.01 | 0.05 |
| 279 | TOWNHOME LOT | 4,803.14 | 0.11 |
| 280 | TOWNHOME LOT | 2,880.29 | 0.07 |

| | PARCEL T | ABLE | |
|----------|--------------|------------|-----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 301 | TOWNHOME LOT | 2,068.01 | 0.05 |
| 302 | TOWNHOME LOT | 2,068.02 | 0.05 |
| 303 | TOWNHOME LOT | 3,055.04 | 0.07 |
| 304 | TOWNHOME LOT | 3,055.07 | 0.07 |
| 305 | TOWNHOME LOT | 2,068.05 | 0.05 |
| 306 | TOWNHOME LOT | 2,068.05 | 0.05 |
| 307 | TOWNHOME LOT | 2,068.06 | 0.05 |
| 308 | TOWNHOME LOT | 2,820.09 | 0.06 |
| 309 | TOWNHOME LOT | 2,880.04 | 0.07 |
| 310 | TOWNHOME LOT | 2,112.02 | 0.05 |
| 311 | TOWNHOME LOT | 2,112.02 | 0.05 |
| 312 | TOWNHOME LOT | 3,120.06 | 0.07 |
| 313 | TOWNHOME LOT | 3,120.04 | 0.07 |
| 314 | TOWNHOME LOT | 2,112.00 | 0.05 |
| 315 | TOWNHOME LOT | 2,880.01 | 0.07 |
| 316 | HOA LOT | 29,079.41 | 0.67 |
| 317 | HOA LOT | 130,697.92 | 3.00 |
| 318 | HOA LOT | 12,578.14 | 0.29 |
| 319 | HOA LOT | 8,177.79 | 0.19 |
| 320 | HOA LOT | 34,642.02 | 0.80 |

| | PARCEL | TABLE | |
|----------|-------------|------------|-----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 321 | HOA LOT | 75,181.91 | 1.73 |
| 322 | HOA LOT | 60,824.03 | 1.40 |
| 323 | HOA LOT | 46,156.71 | 1.06 |
| 324 | HOA LOT | 264,744.28 | 6.08 |

| | PARCEL TA | ABLE | |
|----------|--------------|-----------|-----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 221 | TOWNHOME LOT | 3,087.50 | 0.07 |
| 222 | TOWNHOME LOT | 3,087.50 | 0.07 |
| 223 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 224 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 225 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 226 | TOWNHOME LOT | 4,778.52 | 0.11 |
| 227 | TOWNHOME LOT | 4,778.75 | 0.11 |
| 228 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 229 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 230 | TOWNHOME LOT | 2,090.00 | 0.05 |
| 231 | TOWNHOME LOT | 3,087.50 | 0.07 |
| 232 | TOWNHOME LOT | 3,087.49 | 0.07 |
| 233 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 234 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 235 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 236 | TOWNHOME LOT | 3,087.49 | 0.07 |
| 237 | TOWNHOME LOT | 3,087.49 | 0.07 |
| 238 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 239 | TOWNHOME LOT | 2,089.99 | 0.05 |
| 240 | TOWNHOME LOT | 2,089.99 | 0.05 |

| | PARCEL TA | BLE | |
|----------|--------------|-----------|-----------|
| Parcel # | DESCRIPTION | Area (SF) | Area (AC) |
| 281 | TOWNHOME LOT | 2,111.99 | 0.05 |
| 282 | TOWNHOME LOT | 2,112.01 | 0.05 |
| 283 | TOWNHOME LOT | 2,112.00 | 0.05 |
| 284 | TOWNHOME LOT | 3,118.27 | 0.07 |
| 285 | TOWNHOME LOT | 3,118.31 | 0.07 |
| 286 | TOWNHOME LOT | 2,111.99 | 0.05 |
| 287 | TOWNHOME LOT | 2,111.98 | 0.05 |
| 288 | TOWNHOME LOT | 2,111.96 | 0.05 |
| 289 | TOWNHOME LOT | 3,119.79 | 0.07 |
| 290 | TOWNHOME LOT | 3,119.79 | 0.07 |
| 291 | TOWNHOME LOT | 2,111.96 | 0.05 |
| 292 | TOWNHOME LOT | 2,111.98 | 0.05 |
| 293 | TOWNHOME LOT | 3,120.09 | 0.07 |
| 294 | TOWNHOME LOT | 3,120.11 | 0.07 |
| 295 | TOWNHOME LOT | 2,112.01 | 0.05 |
| 296 | TOWNHOME LOT | 2,112.00 | 0.05 |
| 297 | TOWNHOME LOT | 2,880.00 | 0.07 |
| 298 | TOWNHOME LOT | 2,820.40 | 0.06 |
| 299 | TOWNHOME LOT | 2,068.00 | 0.05 |
| 300 | TOWNHOME LOT | 2,068.01 | 0.05 |

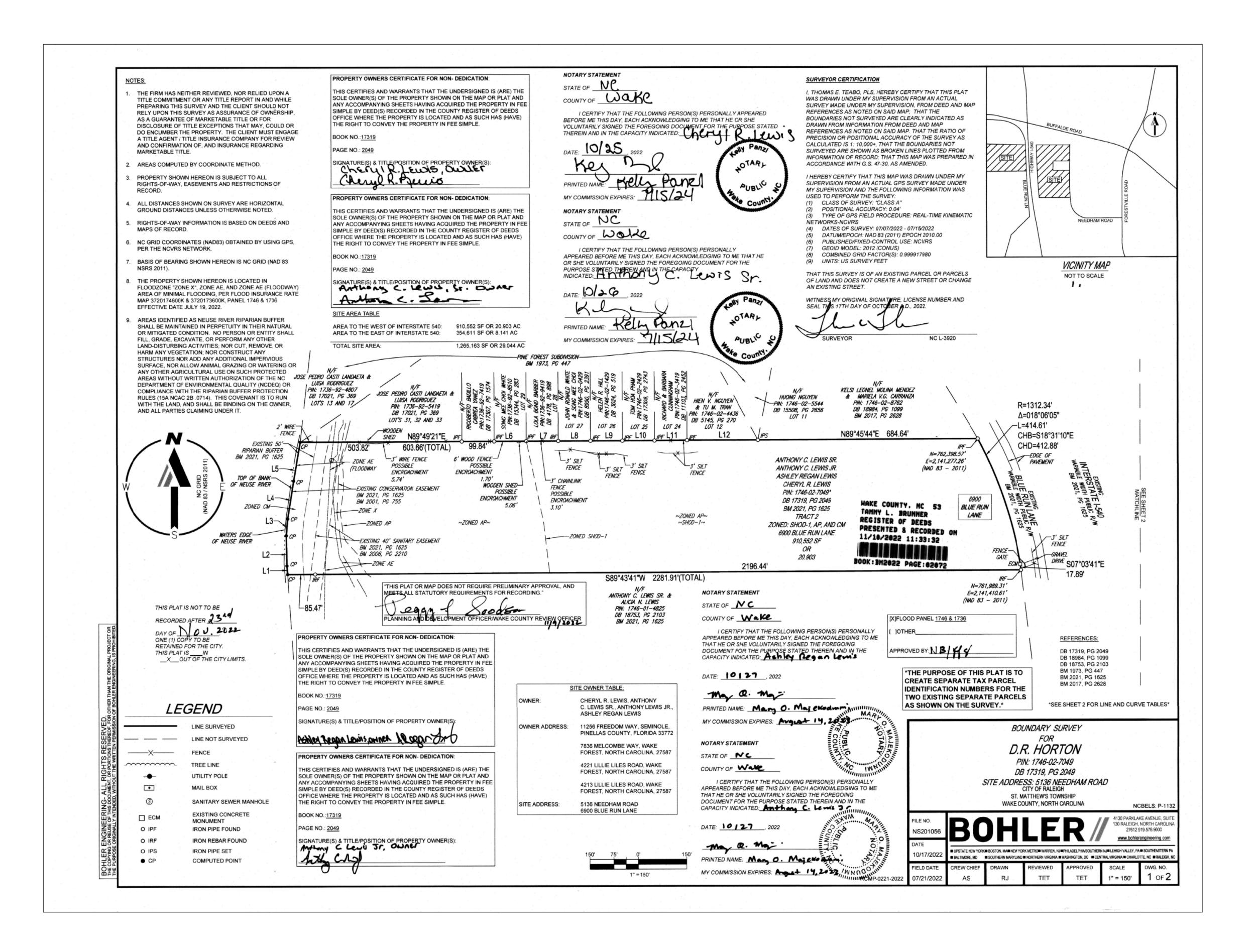
DESIGNED BY: JDJ DRAWN BY: AGP REVIEWED BY: TRW DR HORTON L CENTER I STE 110 VILLE NC Æ ~ FORESTVILLE ROAD TOWNHOMES ВЧ 2 M , 5228 5228, , 5136, 5226, t Ē *0*, 0, TABLES LOT .anumun CI FILE INUMBER: 7734-02 DATE: 1/12/2023 C0-2

ATTENTION CONTRACTORS

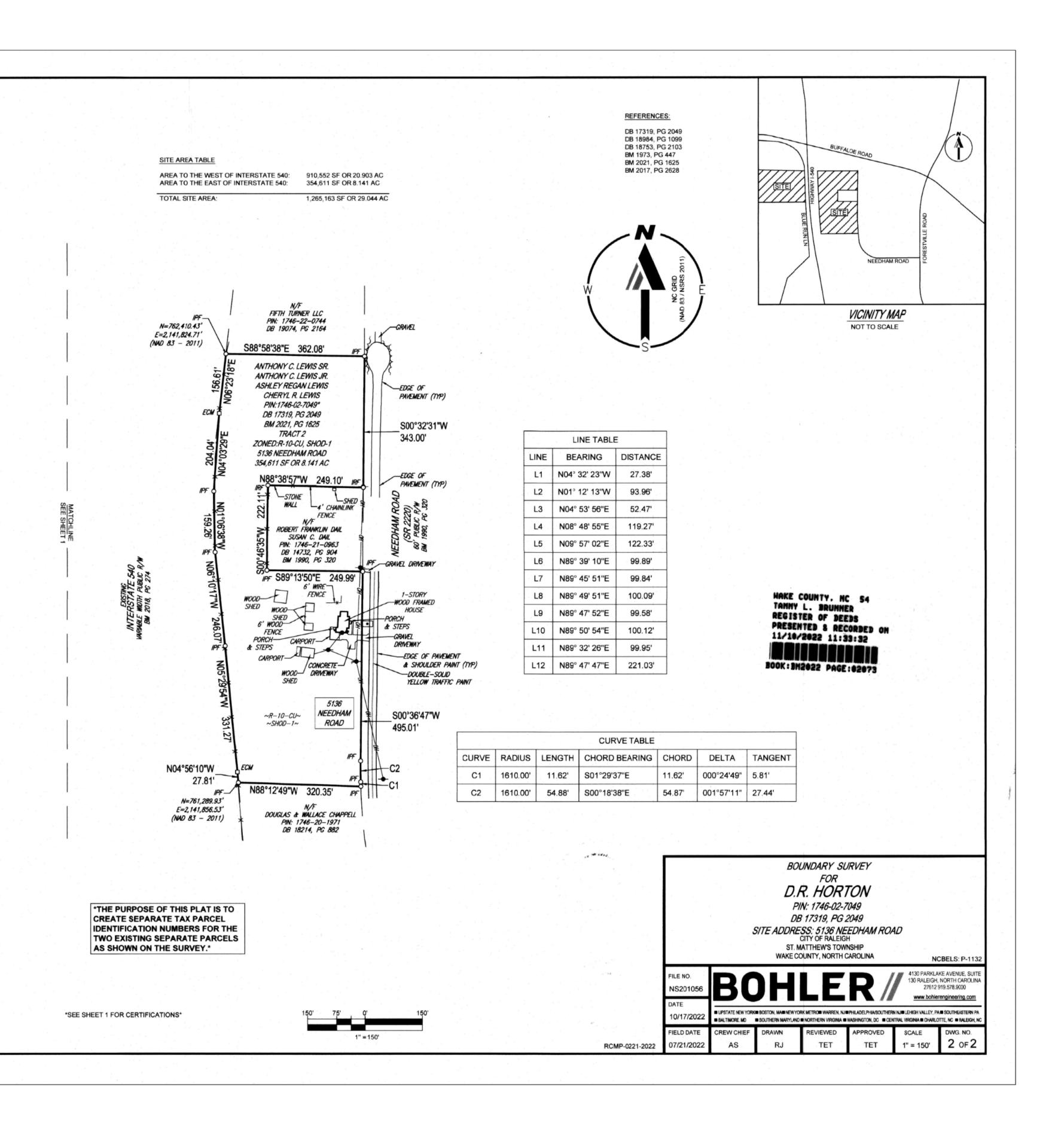
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

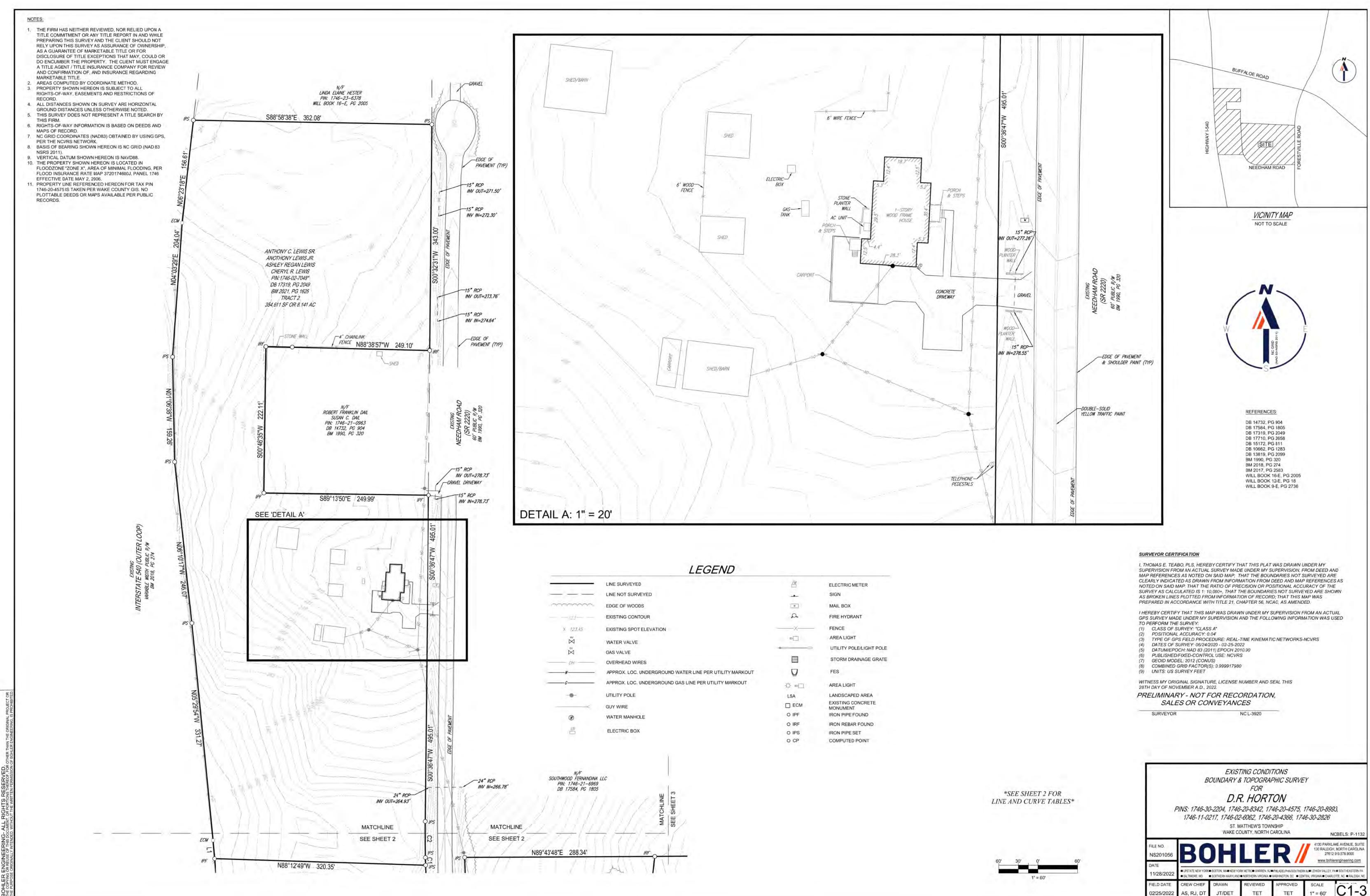
Failure to notify both *City Departments* in advance of beginning construction, will result in the issuance of *monetary fines*, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.



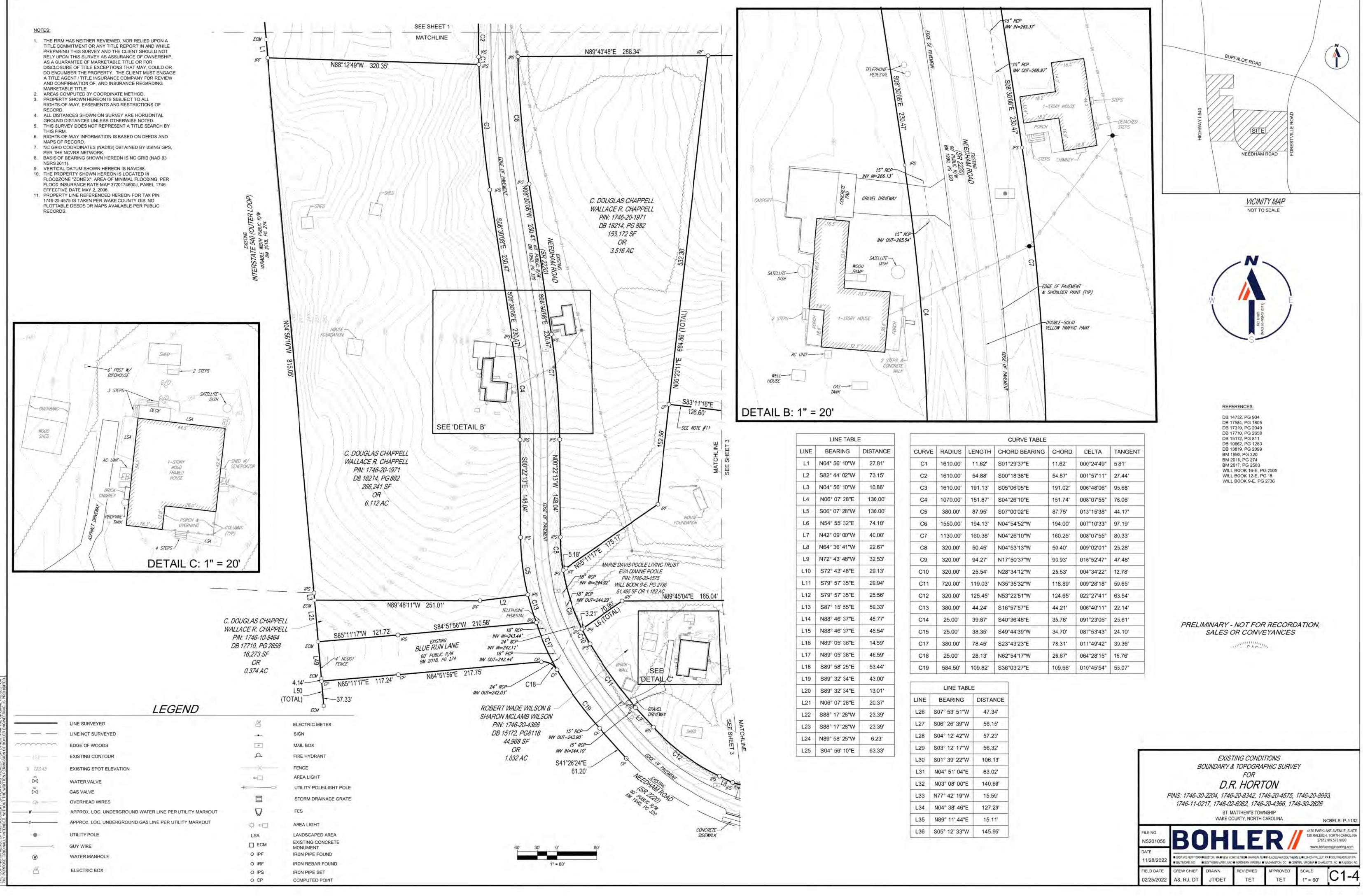


| STE OWNER TABLE: OWNER TABLE: OWNER TABLE: OWNER: OHERVLR. LEWIS, ANTHONY C. LEWIS SR. ANTHONY LEWIS, ARTHONY SITE ADDRESS: 11285 FREEDOM WAY, VARE FOREST, NORTH CAROLINA, 27597 4213 LILLIE LIES ROAD, WAKE FOREST, NORTH CAROLINA, 27597 SITE ADDRESS: 5138 MEEDMAN FOAD 6000 BLUE RUN LANE OUT ANTHONY LEWIS ON ANT | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR., ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7836 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4221 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5136 NEEDHAW ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR. ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7336 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4221 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 JILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5138 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR. ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7336 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4213 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5136 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR, ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7336 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4211 UILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 UILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5136 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR. ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7336 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4221 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5138 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR. ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7336 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4221 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 JILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5138 NEEDHAM ROAD 6800 BLUE RUN LANE | | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LEWIS, ANTHONY C. LEWIS SR., ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 3772 7836 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4213 LILLE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5138 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR. ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7336 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4213 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5138 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LÉWIS, ANTHONY C. LEWIS SR. ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7336 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4211 UILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 4213 UILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5136 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LEWIS, ANTHONY C. LEWIS SR., ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7836 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27597 4221 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27597 4213 LILLIE LILES ROAD, WAKE FOREST, NORTH CAROLINA, 27597 SITE ADDRESS: 5136 NEEDHAM ROAD 6900 BLUE RUN LANE | EFFECTIVE DATE JULY 19, 2022. SITE OWNER TABLE: OWNER: CHERYL R. LEWIS, ANTHONY C. LEWIS SR., ANTHONY LEWIS JR., ASHLEY REGAN LEWIS OWNER ADDRESS: 11256 FREEDOM WAY, SEMINOLE, PINELLAS COUNTY, FLORIDA 33772 7836 MELCOMBE WAY, WAKE FOREST, NORTH CAROLINA, 27587 4221 ULLIE ULES ROAD, WAKE FOREST, NORTH CAROLINA, 27587 SITE ADDRESS: 5136 NEEDHAM ROAD 6900 BLUE RUN LANE |
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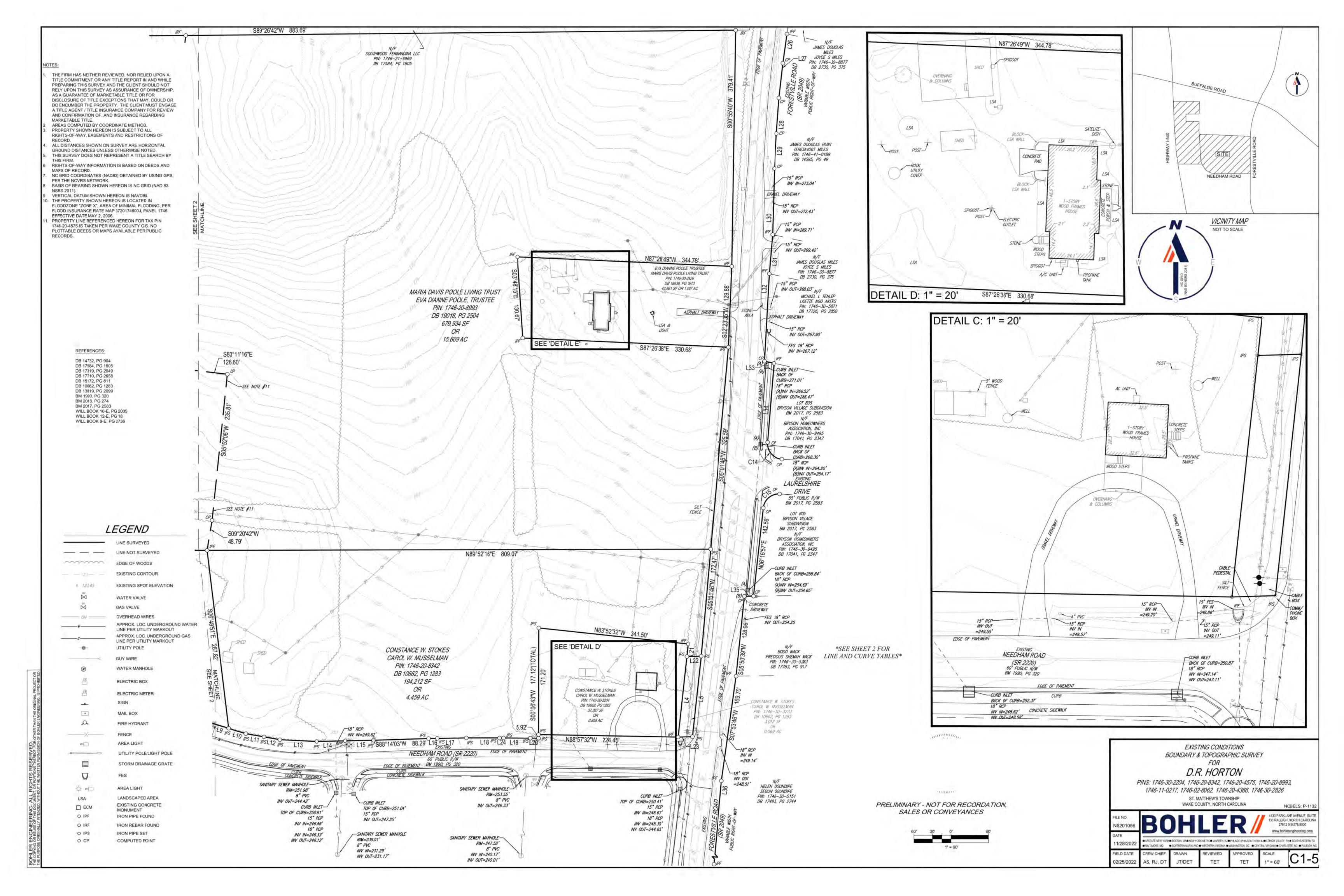




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| | | LINE SURVEYED | 28 | ELECTRIC METER |
| | | LINE NOT SURVEYED | - | SIGN |
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| | Xª 2 | GAS VALVE | + | UTILITY POLE/LIGHT POLE |
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| 66.78' | N/F SOUTHWOOD FERNANDINA PIN: 1746–21–6969 DB 17584, PG 1805 | | | |
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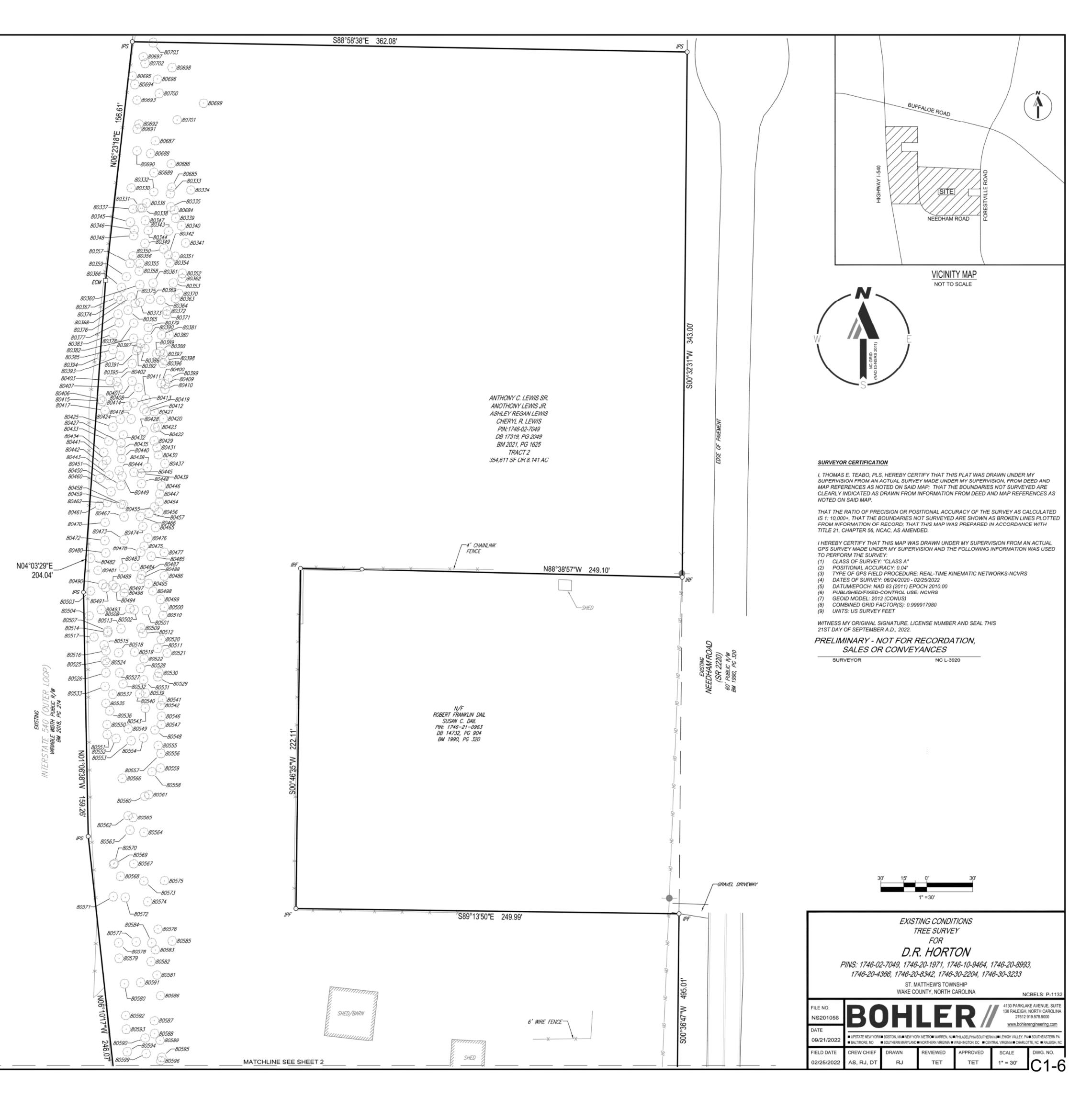


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| RING | DISTANCE |
| 3' 51"W | 47.34' |
| 6' 39"W | 56.15' |
| 2' 42"W | 57.23' |
| 2' 17"W | 56.32' |
| 9' 22"W | 106.13' |
| 51' 04"E | 63.02' |
| 8' 00"E | 140.68' |
| 2' 19"W | 15.59' |
| 8' 46"E | 127.29' |
| 1' 44"E | 15.11 |
| 2' 33"W | 145.95' |



| NOTES: | |
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| | R REVIEWED, NOR RELIED UPON A R ANY TITLE REPORT IN AND WHILE |
| PREPARING THIS SUR | VEY AND THE CLIENT SHOULD NOT VEY AS ASSURANCE OF OWNERSHIP. |
| AS A GUARANTEE OF I | MARKETABLE TITLE OR FOR |
| DO ENCUMBER THE PR | EXCEPTIONS THAT MAY, COULD OR ROPERTY. THE CLIENT MUST ENGAGE |
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| 3. PROPERTY SHOWN HE | EREON IS SUBJECT TO ALL EMENTS AND RESTRICTIONS OF |
| RECORD. | |
| GROUND DISTANCES | /N ON SURVEY ARE HORIZONTAL UNLESS OTHERWISE NOTED. |
| MAPS OF RECORD. | RMATION IS BASED ON DEEDS AND |
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| BASIS OF BEARING SH NSRS 2011). | IOWN HEREON IS NC GRID (NAD 83 |
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| | SHEET 3 FOR CUPVE TABLES* |
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| OH | OVERHEAD WIRES |
| -0- | UTILITY POLE |
| < | GUY WIRE |
| Ø | WATER MANHOLE |
| EM | ELECTRIC METER |
| | SIGN |
| | |
| • | MAIL BOX |
| 2 | FIRE HYDRANT |
| X | FENCE |
| = | AREA LIGHT |
| | UTILITY POLE/LIGHT POLE |
| | STORM DRAINAGE GRATE |
| | FES |
| , Y | |
| ☆ =□ | |
| LSA | LANDSCAPED AREA |
| | ELECTRIC BOX |
| CMF | CONCRETE MONUMENT FOUND |
| O IPF | |
| 0 IFF | IRON PIPE FOUND |
| O IRF | IRON PIPE FOUND |
| | |
| O IRF | IRON REBAR FOUND |
| O IRF O IPS | IRON REBAR FOUND IRON PIPE SET COMPUTED POINT APPROX. LOC. UNDERGROUND WATER |
| O IRF O IPS O CP | IRON REBAR FOUND IRON PIPE SET COMPUTED POINT |
| O IRF O IPS O CP | IRON REBAR FOUND IRON PIPE SET COMPUTED POINT APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT |

| Point # | Northing | Easting | Туре | Width(Inches) |
|---|--|---|--|----------------------------------|
| 90043 | 761324.306 | 2142284.464 | OAK | 5 |
| 90045 | 761330.795 | 2142292.539 | PINE | 6 |
| 90046 | 761332.018 | 2142305.318 | BIRCH | 12 |
| 90047 | 761357.463 | 2142300.071 | OAK | 6 |
| 90048 | 761375.041 | 2142295.582 | BIRCH | 9 |
| 90049 | 761377.448 | 2142307.476 | BIRCH | 9 |
| 90050 | 761374.975 | 2142319.567 | BIRCH | 6 |
| 90051 | 761372.057 | 2142320.976 | BIRCH | 4 |
| 90052 | 761371.837 | 2142322.795 | OAK | 4 |
| 90053 | 761359.353 | 2142322.735 | BIRCH | 8 |
| 90054 | 761357.981 | 2142319.467 | OAK | 10 |
| 90055 | 761345.178 | 2142321.35 | OAK | 10 |
| 90056 | 761347.887 | 2142318.645 | PINE | 6 |
| 90057 | 761332.444 | 2142322.749 | PINE | 14 |
| 90058 | 761309.045 | 2142309.479 | PINE | 9 |
| 90059 | 761312.962 | 2142312.599 | PINE | 5 |
| 90060 | 761344.378 | 2142312.485 | PINE | 8 |
| 90061 | 761352.132 | 2142339.552 | PINE | 10 |
| 90062 | 761363.42 | 2142352.523 | PINE | 13 |
| 90063 | 761367.192 | 2142343.177 | PINE | 12 |
| 90064 | 761369.723 | 2142334.74 | OAK | 9 |
| 90065 | 761377.722 | 2142342.512 | OAK | 9 |
| 90066 | 761377.215 | 2142331.799 | OAK | 4 |
| 90067 | 761392.376 | 2142336.544 | PINE | 5 |
| 90068 | 761385 | 2142342.968 | PINE | 5 |
| 90069 | 761378.992 | 2142345.326 | PINE | 10 |
| 90070 | 761374.006 | 2142336.578 | PINE | 6 |
| 90071 | 761356.978 | 2142345.253 | OAK | 12 |
| 90072 | 761276.236 | 2142347.593 | OAK | 3 |
| 90073 | 761289.344 | 2142332.687 | OAK | 4 |
| 90074 | 761291.206 | 2142335.656 | OAK | 6 |
| 90075 | 761284.078 | 2142334.831 | PINE | 9 |
| 90076 | 761278.897 | 2142324.988 | PINE | 7 |
| 90077 | 761274.393 | 2142333.646 | PINE | 9 |
| 90078 | 761261.615 | 2142330.936 | PINE | 17 |
| 90079 | 761259.451 | 2142324.984 | OAK | 9 |
| 90080 | 761256.358 | 2142325.932 | OAK | 7 |
| 90081 | 761258.559 | 2142321.355 | OAK | 3 |
| 90082 | 761257.952 | 2142320.846 | PINE | 5 |
| 90083 | 761255.645 | 2142320.663 | PINE | 7 |
| 90085 | 761249.419 | 2142322.162 | OAK | 16 |
| 90086 | 761243.635 | 2142311.175 | PINE | 4 |
| 90088 | 761253.51 | 2142303.75 | OAK | 3 |
| 90089 | 761254.549 | 2142299.39 | OAK | 4 |
| 90090 | 761241.861 | 2142300.981 | PINE | 5 |
| 90091 | 761268.154 | 2142297.17 | OAK | 12 |
| 90093 | 761280.832 | 2142292.77 | OAK | 5 |
| 90094 | 761276.074 | 2142304.14 | OAK | 3 |
| 90095 | 761285.139 | 2142309.796 | OAK | 4 |
| 90096 | 761281.717 | 2142302.063 | OAK | 8 |
| 90097 | 761264.649 | 2142288.36 | PINE | 4 |
| 90099 | 761244.934 | 2142283.749 | OAK | 4 |
| 90101 | 761239.019 | 2142296.392 | PINE | 10 |
| 90101 | 761235.441 | 2142298.392 | PINE | 5 |
| 90102 | 761232.629 | 2142290.518 | OAK | - 4 |
| 90103 | 761232.629 | 2142284.521 | OAK | 4 |
| 90104 | 761237.52 | 2142284.719 | ASH | 4 |
| 90105 | 761244.511 | 2142283.895 | HOLLY | 3 |
| 90106 | 761240.359 | 2142284.867 | CEDAR | 3 |
| 90107 | 761247.369 | 2142287.084 | HOLLY | 8 |
| 90108 | 761291.916 | 2142287.657 | OAK | 5 |
| 90109 | 761290.614 | 2142285.131 | | 11 |
| 90110 | 761281.708 | 2142287.019 | OAK PINE | 9 |
| 90111 | 761272.208 | 2142273.467 | OAK | 17 |
| | | 2142270.81 | | |
| 90113 | 761222.965 | | CEDAR | 12 |
| 90114 | 761225.951 | 2142522.989 | CEDAR | 9 |
| 90115 | 761240.024 | 2142521.938 | CEDAR | 9 |
| 90116 | 761248.539 | 2142523.209 | PINE | 5 |
| 90117 | 761257.794 | 2142518.787 | CEDAR | 7 |
| 90119 | 761260.847 | 2142526.237 | OAK | 9 |
| 00422 | 761267.092 | 2142527.937 | CEDAR | 13 |
| 90120 | | A446864 | PINE | 7 |
| 90121 | 761270.923 | 2142531.836 | OAK | 10 |
| 90121 90123 | 761275.919 | 2142536.598 | | |
| 90121 90123 90124 | 761275.919 761280.315 | 2142536.598 2142533.845 | PINE | 5 |
| 90121 90123 90124 90126 | 761275.919 761280.315 761289.753 | 2142536.598 2142533.845 2142548.567 | PINE | 5 4 |
| 90121 90123 90124 90126 90127 | 761275.919 761280.315 761289.753 761261.257 | 2142536.598 2142533.845 2142548.567 2142542.31 | PINE PINE OAK | 5 4 11 |
| 90121 90123 90124 90126 90127 90129 | 761275.919 761280.315 761289.753 761261.257 761239.913 | 2142536.598 2142533.845 2142548.567 2142542.31 2142534.989 | PINE PINE OAK OAK | 5 4 11 5 |
| 90121 90123 90124 90126 90127 90129 90130 | 761275.919 761280.315 761289.753 761261.257 761239.913 761239.872 | 2142536.598 2142533.845 2142548.567 2142542.31 2142534.989 2142536.822 | PINE PINE OAK OAK CEDAR | 5 4 11 5 3 |
| 90121 90123 90124 90126 90127 90129 | 761275.919 761280.315 761289.753 761261.257 761239.913 | 2142536.598 2142533.845 2142548.567 2142542.31 2142534.989 | PINE PINE OAK OAK | 5 4 11 5 3 4 |
| 90121 90123 90124 90126 90127 90129 90130 90131 90132 | 761275.919 761280.315 761289.753 761261.257 761239.913 761239.872 761239.021 761234.838 | 2142536.598 2142533.845 2142548.567 2142542.31 2142534.989 2142536.822 2142541.882 2142537.319 | PINE PINE OAK OAK CEDAR OAK PINE | 5 4 11 5 3 4 3 |
| 90121 90123 90124 90126 90127 90129 90130 90131 | 761275.919 761280.315 761289.753 761261.257 761239.913 761239.872 761239.021 | 2142536.598 2142533.845 2142548.567 2142542.31 2142534.989 2142536.822 2142541.882 | PINE PINE OAK OAK CEDAR OAK | 5 4 11 5 3 4 |





- 1. THE FIRM HAS NEITHER REVIEWED, NOR RELIED UPON A TITLE COMMITMENT OR ANY TITLE REPORT IN AND WHILE PREPARING THIS SURVEY AND THE CLIENT SHOULD NOT RELY UPON THIS SURVEY AS ASSURANCE OF OWNERSHIP, AS A GUARANTEE OF MARKETABLE TITLE OR FOR DISCLOSURE OF TITLE EXCEPTIONS THAT MAY, COULD OR DO ENCUMBER THE PROPERTY. THE CLIENT MUST ENGAGE A TITLE AGENT / TITLE INSURANCE COMPANY FOR REVIEW AND CONFIRMATION OF, AND INSURANCE REGARDING MARKETABLE TITLE.
- 2. AREAS COMPUTED BY COORDINATE METHOD. PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
- 4. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL
- GROUND DISTANCES UNLESS OTHERWISE NOTED. 5. RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND
- MAPS OF RECORD. 6. NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS.
- PER THE NCVRS NETWORK. 7. BASIS OF BEARING SHOWN HEREON IS NC GRID (NAD 83
- NSRS 2011). 8. THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720174600J, PANEL 1746 EFFECTIVE DATE MAY 2, 2006.

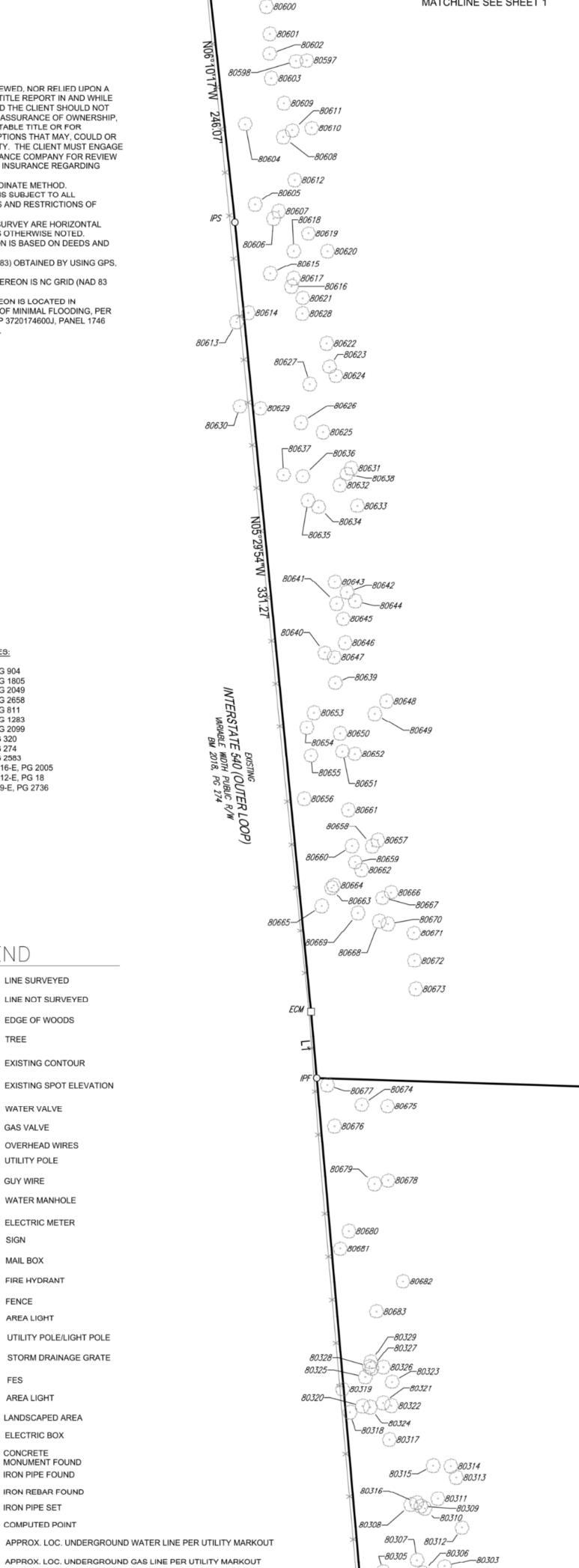
| DB | 14732, PG 904 |
|----|----------------|
| DB | 17584, PG 1805 |
| DB | 17319, PG 2049 |
| DB | 17710, PG 2658 |
| | |

REFERENCES:

DB 15172, PG 811 DB 10662, PG 1283 DB 13819, PG 2099 BM 1990, PG 320 BM 2018, PG 274 BM 2017, PG 2583 WILL BOOK 16-E, PG 2005 WILL BOOK 12-E, PG 18 WILL BOOK 9-E, PG 2736

| LEGEND | | |
|---------------------------|----------------------------|--|
| | LINE SURVEYED | |
| | LINE NOT SURVEYED | |
| ~~~~~~ | EDGE OF WOODS | |
| \odot | TREE | |
| — — 123— — | EXISTING CONTOUR | |
| X <i>123.45</i> | EXISTING SPOT ELEVATION | |
| $\mathbb{X}_{\mathbb{R}}$ | WATER VALVE | |
| \bowtie | GAS VALVE | |
| ОН | OVERHEAD WIRES | |
| | UTILITY POLE | |
| < | GUY WIRE | |
| (\mathfrak{W}) | WATER MANHOLE | |
| EM | ELECTRIC METER | |
| - | SIGN | |
| • | MAIL BOX | |
| A | FIRE HYDRANT | |
| X | FENCE | |
| | AREA LIGHT | |
| | UTILITY POLE/LIGHT POLE | |
| | STORM DRAINAGE GRATE | |
| ∇ | FES | |
| ☆ =□ | AREA LIGHT | |
| LSA | LANDSCAPED AREA | |
| EB | ELECTRIC BOX | |
| | CONCRETE MONUMENT FOUND | |
| O IPF | IRON PIPE FOUND | |
| O IRF | IRON REBAR FOUND | |
| O IPS | IRON PIPE SET | |
| O CP | COMPUTED POINT | |

_____G-



-80301

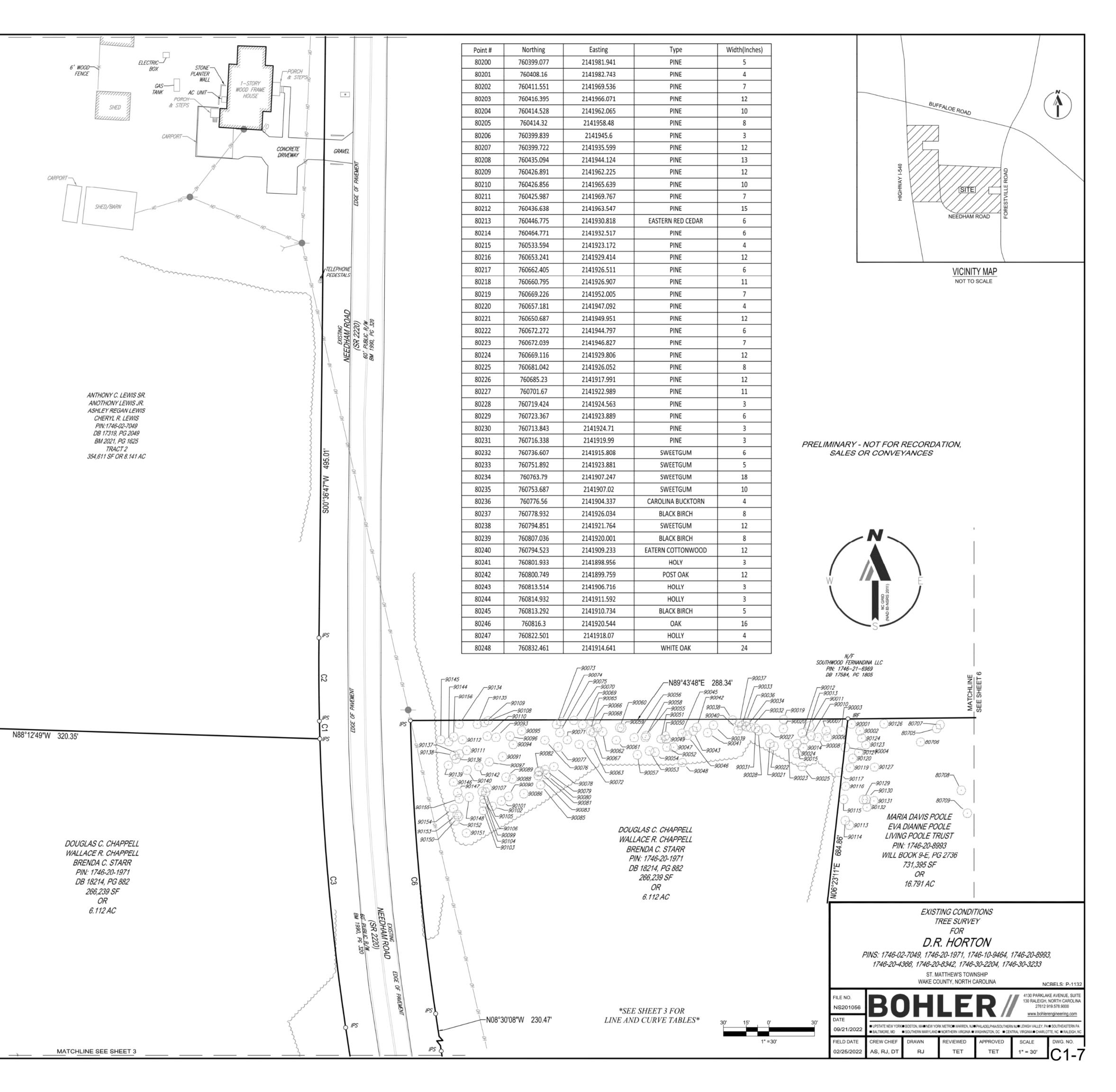
·)80304

-80298

80302

80300

80299+



NOTES:

- 1. THE FIRM HAS NEITHER REVIEWED, NOR RELIED UPON A TITLE COMMITMENT OR ANY TITLE REPORT IN AND WHILE PREPARING THIS SURVEY AND THE CLIENT SHOULD NOT RELY UPON THIS SURVEY AS ASSURANCE OF OWNERSHIP, AS A GUARANTEE OF MARKETABLE TITLE OR FOR DISCLOSURE OF TITLE EXCEPTIONS THAT MAY, COULD OR DO ENCUMBER THE PROPERTY. THE CLIENT MUST ENGAGE A TITLE AGENT / TITLE INSURANCE COMPANY FOR REVIEW AND CONFIRMATION OF, AND INSURANCE REGARDING MARKETABLE TITLE.
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- 8. THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720174600J, PANEL 1746 EFFECTIVE DATE MAY 2, 2006.

| Point # | Northing | Easting | Туре | Width(Inches) |
|---------|------------|-------------|-------|---------------|
| 90135 | 761289.484 | 2142280.507 | PINE | 3 |
| 90136 | 761266.792 | 2142266.46 | PINE | 5 |
| 90137 | 761269.824 | 2142268.691 | OAK | 20 |
| 90138 | 761269.06 | 2142265.207 | PINE | 3 |
| 90139 | 761262.528 | 2142261.372 | CEDAR | 5 |
| 90140 | 761259.19 | 2142273.725 | PINE | 4 |
| 90142 | 761261.584 | 2142281.461 | PINE | 3 |
| 90144 | 761277.864 | 2142261.602 | CEDAR | 3 |
| 90145 | 761279.232 | 2142256.387 | OAK | 3 |
| 90146 | 761251.323 | 2142264.82 | OAK | 5 |
| 90147 | 761244.412 | 2142267.506 | PINE | 3 |
| 90148 | 761241.41 | 2142275.106 | PINE | 4 |
| 90150 | 761228.607 | 2142268.153 | PINE | 5 |
| 90151 | 761217.766 | 2142273.319 | PINE | 5 |
| 90152 | 761225.781 | 2142265.743 | PINE | 9 |
| 90153 | 761229.84 | 2142267.181 | PINE | 5 |
| 90154 | 761234.006 | 2142264.784 | PINE | 5 |
| 90155 | 761240.385 | 2142268.559 | OAK | 3 |
| 90156 | 761281.212 | 2142264.875 | PINE | 3 |
| | | | | |

LEGEND

| | LINE SURVEYED | |
|------------------|---|--------------------|
| | LINE NOT SURVEYED | |
| | EDGE OF WOODS | |
| \odot | TREE | |
| — <i>123</i> — — | EXISTING CONTOUR | |
| X 123.45 | EXISTING SPOT ELEVATION | |
| \boxtimes | WATER VALVE | |
| ă, | GAS VALVE | |
| ОН | OVERHEAD WIRES | |
| | UTILITY POLE | |
| < | GUY WIRE | |
| (\mathscr{W}) | WATER MANHOLE | |
| EM | ELECTRIC METER | |
| - | SIGN | |
| ۰ | MAIL BOX | |
| 2 | FIRE HYDRANT | |
| X | FENCE | |
| | AREA LIGHT | |
| | UTILITY POLE/LIGHT POLE | |
| | STORM DRAINAGE GRATE | |
| D | FES | |
| ÷ = | AREA LIGHT | |
| LSA | LANDSCAPED AREA | |
| EB | ELECTRIC BOX | |
| CMF | CONCRETE MONUMENT FOUND IRON PIPE FOUND | |
| O IRF | IRON REBAR FOUND | |
| O IPS | IRON PIPE SET | |
| O CP | COMPUTED POINT | |
| W | APPROX. LOC. UNDERGROUND WA | ATER LINE PER UTIL |
| | | |



| Easting | Туре | Width(Inches) |
|-------------|-------------------|---------------|
| 2141905.308 | WHITE OAK | 18 |
| 2141904.048 | WHITE OAK | 20 |
| 2141904.799 | HOLLY | 3 |
| 2141913.035 | HOLLY | 4 |
| 2141898.909 | OPINE | 10 |
| 2141898.755 | BLACK BIRCH | 5 |
| 2141901.601 | WHITE OAK | 7 |
| 2141903.87 | BLACK BIRCH | 8 |
| 2141928.752 | WHITE OAK | 16 |
| 2141925.851 | HOLLY | 4 |
| 2141930.612 | BLACK BIRCH | 10 |
| 2141933.333 | WHITE OAK | 17 |
| 2141923.41 | SWEETGUM | 7 |
| 2141903.282 | HOLLY | 4 |
| 2141902.623 | DURAND OAK | 5 |
| 2141896.358 | BLACK BIRCH | 8 |
| 2141899.596 | WHITE OAK | 3 |
| 2141936.802 | WHITE OAK | 23 |
| 2141945.388 | BLACK BIRCH | 8 |
| 2141913.976 | HOLLY | 4 |
| 2141910.032 | WHITE OAK | 18 |
| 2141915.09 | WHITE OAK | 21 |
| 2141902.554 | WHITE OAK | 8 |
| 2141933.83 | WHITE OAK | 3 |
| 2141906.265 | BLACK BIRCH | 6 |
| 2141902.56 | BLACK BIRCH | 3 |
| 2141893.376 | WHITE OAK | 12 |
| 2141888.955 | WHITE OAK | 3 |
| 2141889.45 | EASTERN RED CEDAR | 3 |
| 2141900.247 | PINE | 12 |
| 2141902.273 | WHITE OAK | 4 |
| 2141899.456 | WHITE OAK | 13 |
| 2141897.095 | PINE | 6 |
| 2141888.676 | EASTERN RED CEDAR | 4 |
| 2141890.506 | TRP 14 | 14 |
| 2141896.883 | EASTERN RED CEDAR | 3 |
| 2141894.551 | WHITE OAK | 14 |
| 2141878.255 | PINE | 16 |
| 2141911.375 | PINE | 3 |
| | | |

| | LINE TABLE | Ξ |
|------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | N04° 56' 10"W | 27.81' |
| L2 | S82° 44' 02"W | 73.15' |
| L3 | N04° 56' 10"W | 10.86' |
| L4 | N06° 07' 28"E | 130.00' |
| L5 | S06° 07' 28"W | 130.00' |
| L7 | N42° 09' 00"W | 40.00' |
| L8 | N64° 36' 41"W | 22.67' |
| L9 | N72° 43' 48"W | 32.53' |
| L10 | S72° 43' 48"E | 29.13' |
| L11 | S79° 57' 35"E | 29.94' |
| L12 | S79° 57' 35"E | 25.56' |
| L13 | S87° 15' 55"E | 59.33' |
| L14 | N88° 46' 37"E | 45.77' |
| L15 | N88° 46' 37"E | 45.54' |
| L16 | N89° 05' 38"E | 14.59' |
| L17 | N89° 05' 38"E | 46.59' |
| L18 | S89° 58' 25"E | 53.44' |
| L19 | S89° 32' 34"E | 43.00' |

| | LINE TABLE | = |
|------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L20 | S89° 32' 34"E | 13.01' |
| L21 | N06° 07' 28"E | 20.37' |
| L22 | S88° 17' 28"W | 23.39' |
| L23 | S88° 17' 28"W | 23.39' |
| L24 | N89° 58' 25"W | 6.23' |
| L25 | S04° 56' 10"E | 63.33' |
| L26 | S07° 53' 51"W | 47.34' |
| L27 | S06° 26' 39"W | 56.15' |
| L28 | S04° 12' 42"W | 57.23' |
| L29 | S03° 12' 17"W | 56.32' |
| L30 | S01° 39' 22"W | 106.13' |
| L31 | N04° 51' 04"E | 63.02' |
| L32 | N03° 08' 00"E | 140.68' |
| L33 | N77° 42' 19"W | 15.59' |
| L34 | N04° 38' 46"E | 127.29' |
| L35 | N89° 11' 44"E | 15.11' |
| L36 | S05° 12' 33"W | 145.95' |

PRELIMINARY - NOT FOR RECORDATION, SALES OR CONVEYANCES

11.62' 000°24'49" 5.81'

54.87' 001°57'11" 27.44'

191.02' 006°48'06" 95.68'

151.74' 008°07'55" 76.06'

87.75' 013°15'38" 44.17'

194.00' 007°10'33" 97.19'

160.25' 008°07'55" 80.33'

50.40' 009°02'01" 25.28'

93.93' 016°52'47" 47.48'

25.53' 004°34'22" 12.78'

118.89' 009°28'18" 59.65'

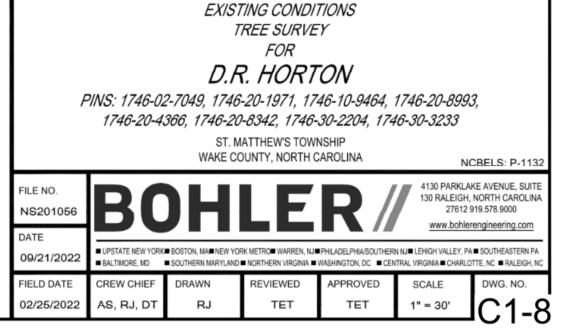
124.65' 022°27'41" 63.54'

44.21' 006°40'11" 22.14'

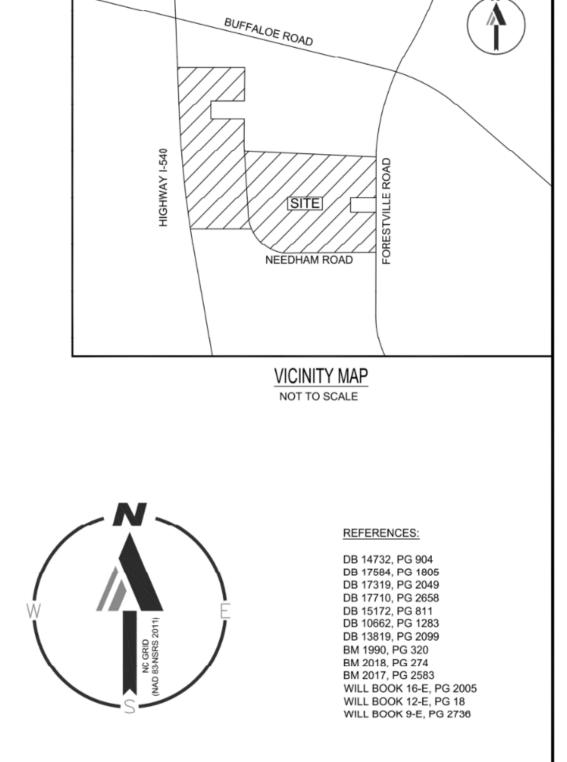
35.78' 091°23'05" 25.61'

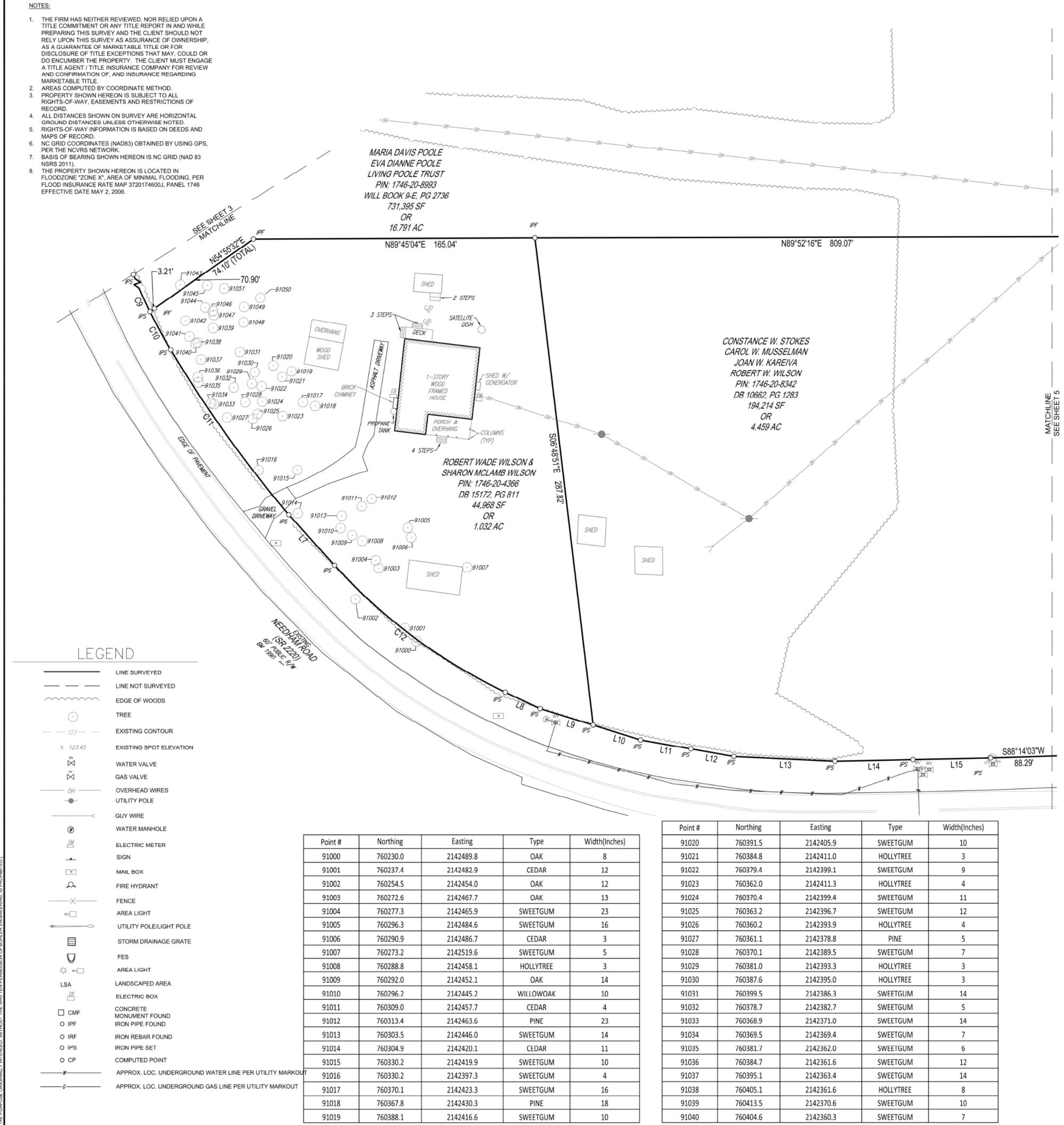
34.70' 087°53'43" 24.10'

CURVE TABLE



SEE SHEET 3 FOR LINE AND CURVE TABLES

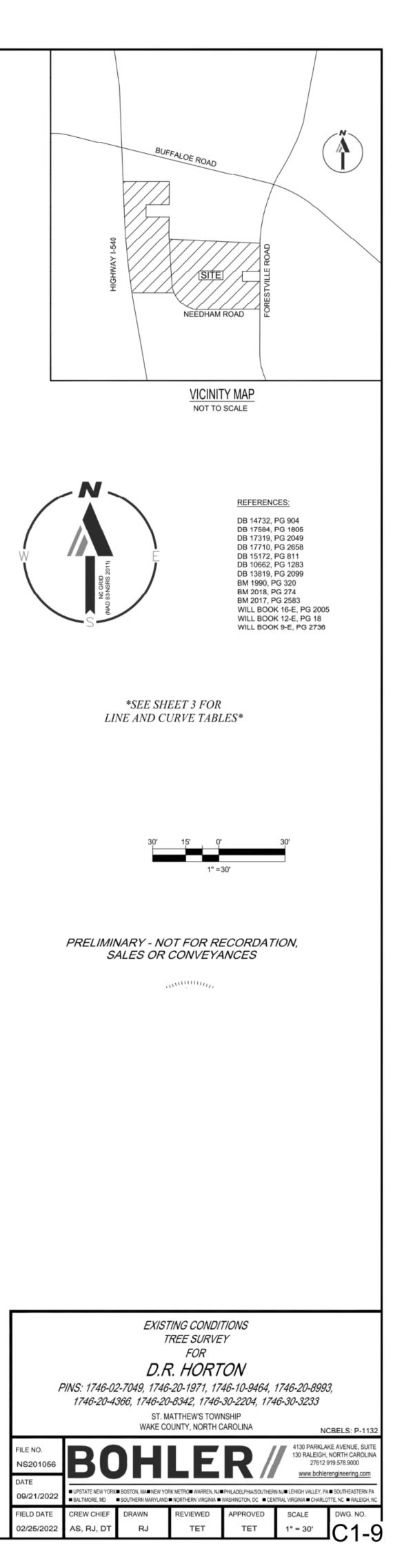


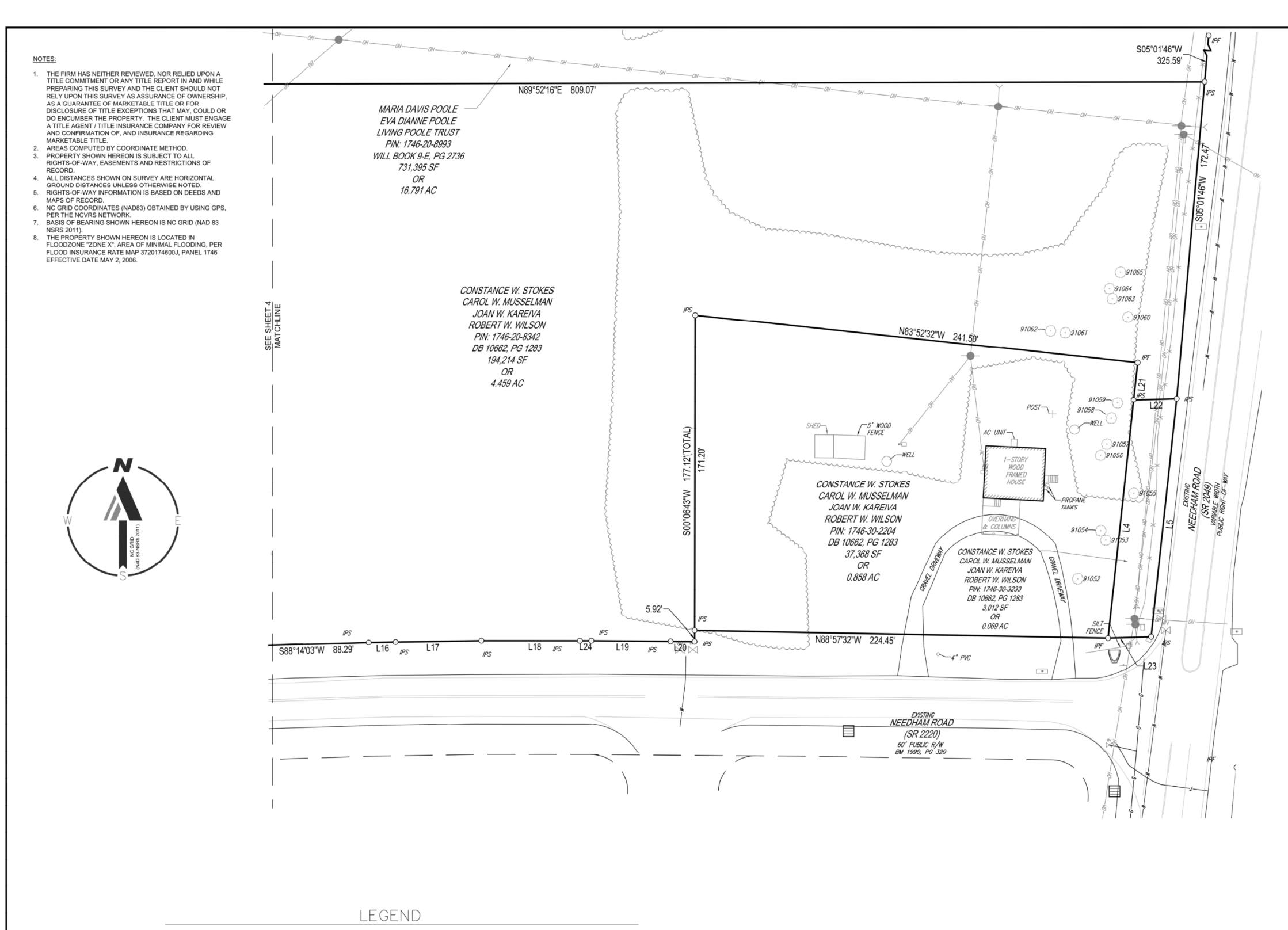


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| Point # | Northing | |
|---------|----------|---|
| 91041 | 760408.6 | |
| 91042 | 760417.8 | |
| 91043 | 760438.8 | |
| 91044 | 760425.6 | |
| 91045 | 760438.6 | |
| | | |
| 91046 | 760423.5 | |
| 91047 | 760421.1 | |
| 91048 | 760416.9 | |
| 91049 | 760425.9 | |
| 91050 | 760431.3 | |
| 91051 | 760436.8 | |
| 91052 | 760198.7 | |
| 91053 | 760219.6 | |
| 91054 | 760224.9 | |
| | | |
| 91055 | 760245.1 | |
| 91056 | 760265.7 | |
| 91057 | 760271.8 | |
| 91058 | 760285.9 | |
| 91059 | 760294.1 | |
| 91060 | 760340.7 | |
| 91061 | 760332.2 | |
| 91062 | 760333.2 | |
| 91063 | 760350.6 | |
| 91064 | 760356.2 | |
| 91064 | 760365.0 | _ |
| | | |
| 91066 | 761215.8 | |
| 91067 | 761216.7 | |
| 91068 | 761210.7 | |
| 91069 | 761229.9 | |
| 91070 | 761237.8 | |
| 91071 | 761228.9 | |
| 91072 | 761216.4 | |
| 91073 | 761199.0 | |
| 91074 | 761202.2 | |
| | | |
| 91075 | 761202.8 | |
| 91076 | 761204.3 | |
| 91077 | 761177.5 | |
| 91078 | 761172.4 | |
| 91079 | 761174.3 | |
| 91080 | 761181.4 | |
| 91081 | 761184.4 | |
| 91082 | 761167.1 | |
| 91083 | 761150.6 | |
| 91084 | 761147.0 | |
| 91085 | 761143.5 | _ |
| | | |
| 91086 | 761151.1 | |
| 91087 | 761172.7 | |
| 91088 | 761147.1 | |
| 91089 | 761139.1 | |
| 91090 | 761138.8 | |
| 91091 | 761139.7 | |
| 91092 | 761109.9 | |
| 91093 | 761128.5 | |
| 91094 | 761106.0 | |
| 91095 | 761100.6 | |
| 91095 | 761093.7 | _ |
| | | |
| 91097 | 761078.1 | |
| 91098 | 761075.4 | |
| 91099 | 761062.2 | |
| 91100 | 761052.2 | |
| 91101 | 761048.8 | |
| 91102 | 761073.0 | _ |
| 91103 | 761076.2 | |
| 91104 | 761061.0 | |
| 91105 | 761054.6 | |
| 91105 | 761060.3 | |
| 91106 | 761059.0 | |
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| 91108 | 761033.2 | |
| 91109 | 761032.5 | |
| 91110 | 761040.1 | |
| 91111 | 761048.8 | |
| 91112 | 761025.8 | |
| 91113 | 760997.8 | |
| 91114 | 760991.5 | _ |
| 91115 | 760990.0 | _ |
| 91116 | 761003.0 | |
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| 91117 | 761019.3 | |
| 91118 | 760987.0 | |
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| Easting | Туре | Width(Inches) |
|----------------------|----------------------|---------------|
| 142356.7 | SWEETGUM | 10 |
| 142354.2 | SWEETGUM | 15 |
| 142351.4 | SWEETGUM | 24 |
| 142366.0 | HOLLYTREE | 3 |
| 142367.1 | HOLLYTREE | 4 |
| 142370.4 142370.9 | SWEETGUM | 7 |
| 142388.5 | SWEETGUM | 12 |
| 142388.8 | SWEETGUM | 6 |
| 142398.2 | SWEETGUM | 12 |
| 142377.1 | HOLLYTREE | 8 |
| 143299.4 | CEDAR | 14 |
| 143314.7 | OAK | 17 |
| 143311.9 | OAK | 24 |
| 143329.8 | MAGNOLIA | 14 |
| 143311.8 | PINE | 18 |
| 143315.3 | OAK | 24 |
| 143317.7 | SWEETGUM | 20 |
| 143326.7 | PINE | 15 |
| 143292.7 | PINE | 4 |
| 143284.7 | PINE | 8 |
| 143318.3 | OAK | 20 |
| 143316.7 | PINE | 24 |
| 143322.7 | PINOAK | 25 |
| 143371.2 | PINOAK | 4 |
| 143383.3 | PINOAK | 8 |
| 143388.6 | PINOAK | 10 |
| 143343.0 | BIRCH | 3 |
| 143333.7 | OAK | 5 |
| 143329.3 | SWEETGUM | 6 |
| 143341.1 | OAK PINE | 8 |
| 143331.9 | SWEETGUM | 7 |
| 143347.7 | PINOAK | 5 |
| 143348.5 | PINOAK | 6 |
| 143344.3 | PINOAK | 6 |
| 143357.0 | PINOAK | 6 |
| 143357.2 | BIRCH | 4 |
| 143371.0 | PINOAK | 3 |
| 143384.7 | PINE | 14 |
| 143384.7 | PINE | 7 |
| 143375.8 | OAK | 7 |
| 143377.1 | PINE | 7 |
| 143376.5 | CEDAR | 7 |
| 143352.1 143334.8 | SWEETGUM | 6 |
| 143332.4 | PINOAK | 3 |
| 143331.5 | SWEETGUM | 4 |
| 143326.8 | PINOAK | 4 |
| 143322.7 | SWEETGUM | 5 |
| 143331.8 | PINOAK | 8 |
| 143354.4 | PINOAK | 7 |
| 143359.7 | SWEETGUM | 5 |
| 143346.3 | SWEETGUM | 5 |
| 143326.2 | SWEETGUM | 5 |
| 143329.3 | HOLLYTREE | 6 |
| 143315.2 | OAK | 7 |
| 143323.6 | SWEETGUM | 8 |
| 143317.4 143316.9 | SWEETGUM SWEETGUM | 6 |
| 143316.9 | SWEETGUM | 3 |
| 143333.7 | SWEETGUM | 7 |
| 143336.1 | OAK | 8 |
| 143349.0 | BIRCH | 4 |
| 143344.9 | BIRCH | 4 |
| 143353.5 | PINE | 3 |
| 143362.1 | PINE | 4 |
| 143353.2 | BIRCH | 6 |
| 143328.1 | SWEETGUM | 14 |
| 143315.4 | SWEETGUM | 7 |
| 143323.3 | SWEETGUM | 4 |
| 143313.5 | SWEETGUM | 8 |
| 143327.5 | OAK | 3 |
| 142250 1 | NILLA LU | |
| 143350.1 143350.9 | PINOAK SWEETGUM | 8 |





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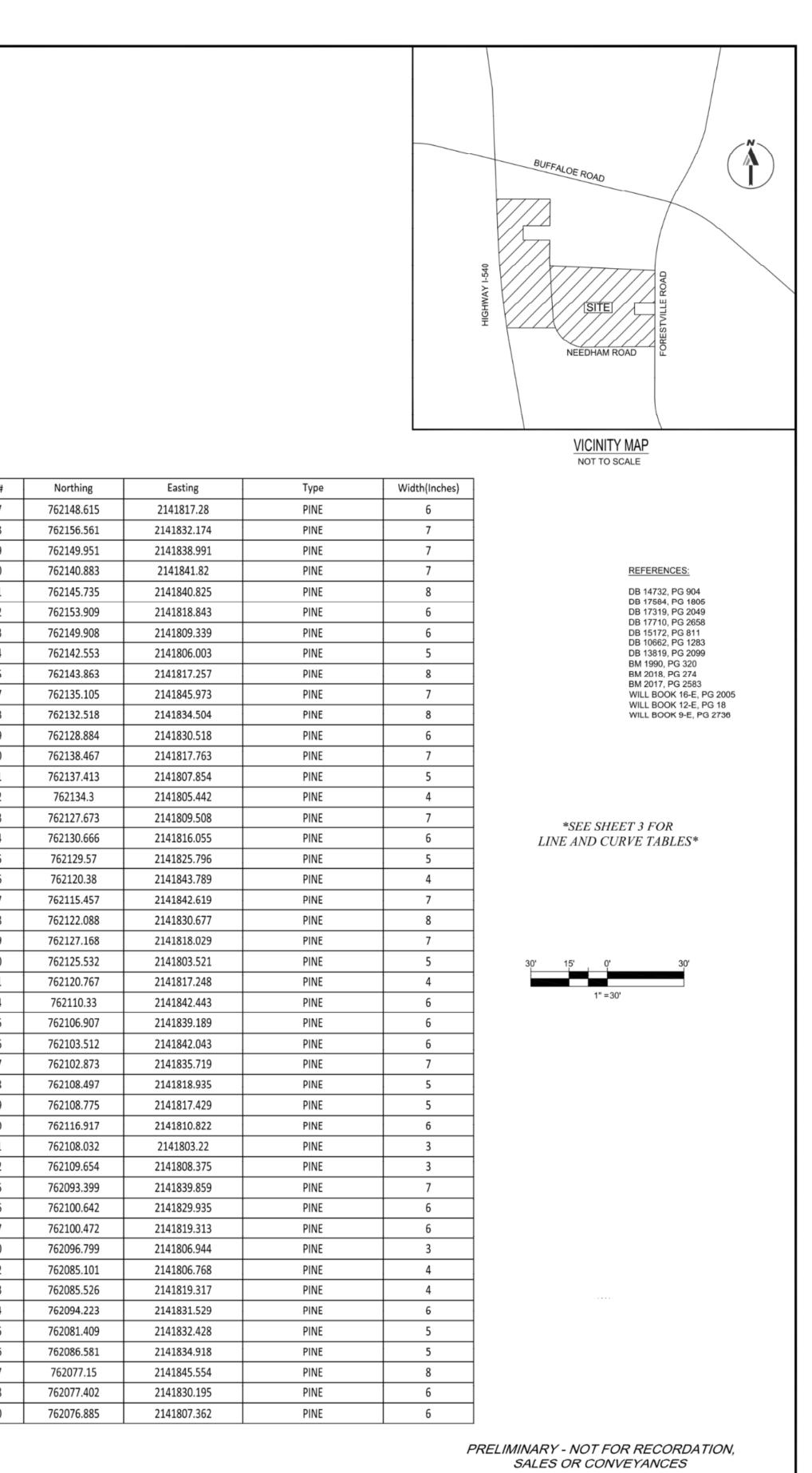
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| | LINE SURVEYED | EM | ELECTRIC METER |
|----------------|---|----------------|-------------------------------|
| | LINE NOT SURVEYED | - | SIGN |
| ~~~~~ | EDGE OF WOODS | | MAIL BOX |
| - 123 | EXISTING CONTOUR | 2 | FIRE HYDRANT |
| 123.45 | EXISTING SPOT ELEVATION | X | FENCE |
| \boxtimes | WATER VALVE | E= | AREA LIGHT |
| × S | GAS VALVE | | UTILITY POLE/LIGHT POLE |
| - OH | OVERHEAD WIRES | | STORM DRAINAGE GRATE |
| W | APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT | ∇ | FES |
| c | APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT | ÷Ç+ = □ | AREA LIGHT |
| -•- | UTILITY POLE | LSA | LANDSCAPED AREA |
| < | GUY WIRE | ECM | EXISTING CONCRETE MONUMENT |
| \mathfrak{W} | WATER MANHOLE | O IPF | IRON PIPE FOUND |
| - | | O IRF | IRON REBAR FOUND |
| EB | ELECTRIC BOX | O IPS | IRON PIPE SET |
| \odot | TREE | O CP | COMPUTED POINT |
| | | | |

| Point # | Northing | Easting | Туре | Width(Inches) |
|---------|----------|-----------|-----------|---------------|
| 91119 | 760986.2 | 2143358.0 | HOLLYTREE | 8 |
| 91120 | 760971.0 | 2143361.0 | PINOAK | 14 |
| 91121 | 760960.7 | 2143355.2 | PINE | 5 |
| 91122 | 760955.5 | 2143334.2 | OAK | 9 |
| 91123 | 760963.1 | 2143320.0 | HOLLYTREE | 4 |
| 91124 | 760953.2 | 2143296.3 | PINOAK | 24 |
| 91125 | 760946.4 | 2143311.7 | OAK | 26 |
| 91126 | 760938.0 | 2143335.9 | WILLOWOAK | 10 |
| 91127 | 760941.2 | 2143341.3 | OAK | 9 |



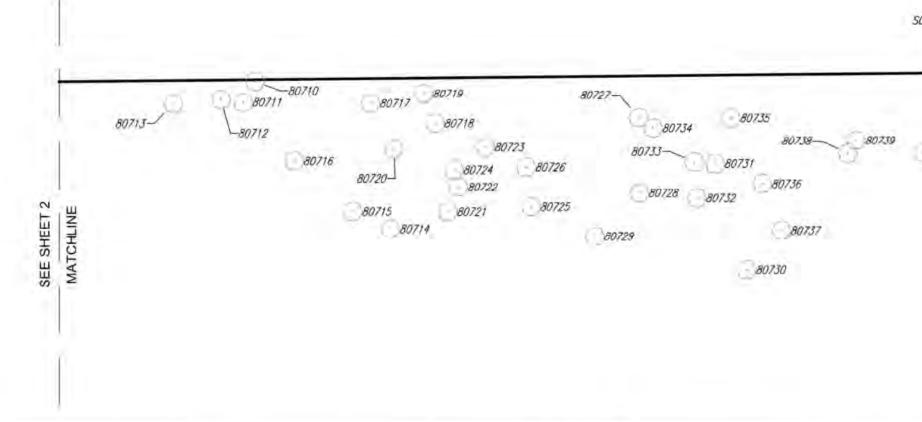
| | | EXIST | TING CONDIT | TIONS | | | | | | |
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| TREE SURVEY | | | | | | | | | | |
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| FILE NO. | | | | | | KE AVENUE, SUITE | | | | |
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| 09/21/2022 | | | K METRO■ WARREN, NJ NORTHERN VIRGINIA ■ | | | | | | | |
| FIELD DATE | CREW CHIEF | DRAWN | | | | DWG. NO. | | | | |
| | | | | | SCALE | | | | | |
| 02/25/2022 | AS, RJ, DT | RJ | TET | TET | 1" = 30' | (:1_1(| | | | |

NOTES: 1. THE FIRM HAS NEITHER REVIEWED, NOR RELIED UPON A TITLE COMMITMENT OR ANY TITLE REPORT IN AND WHILE

- PREPARING THIS SURVEY AND THE CLIENT SHOULD NOT RELY UPON THIS SURVEY AS ASSURANCE OF OWNERSHIP, AS A GUARANTEE OF MARKETABLE TITLE OR FOR DISCLOSURE OF TITLE EXCEPTIONS THAT MAY, COULD OR DO ENCUMBER THE PROPERTY, THE CLIENT MUST ENGAGE A TITLE AGENT / TITLE INSURANCE COMPANY FOR REVIEW AND CONFIRMATION OF, AND INSURANCE REGARDING MARKETABLE TITLE, 2 AREAS COMPUTED BY COORDINATE METHOD. 3 PROPERTY SHOWN HEREON IS SUBJECT TO ALL
- RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF
- RECORD,
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND
- MAPS OF RECORD.
- NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS. PER THE NCVRS NETWORK.
 BASIS OF BEARING SHOWN HEREON IS NC GRID (NAD 83)
- NSRS 2011). THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720174600J, PANEL 1746
- EFFECTIVE DATE MAY 2, 2006.

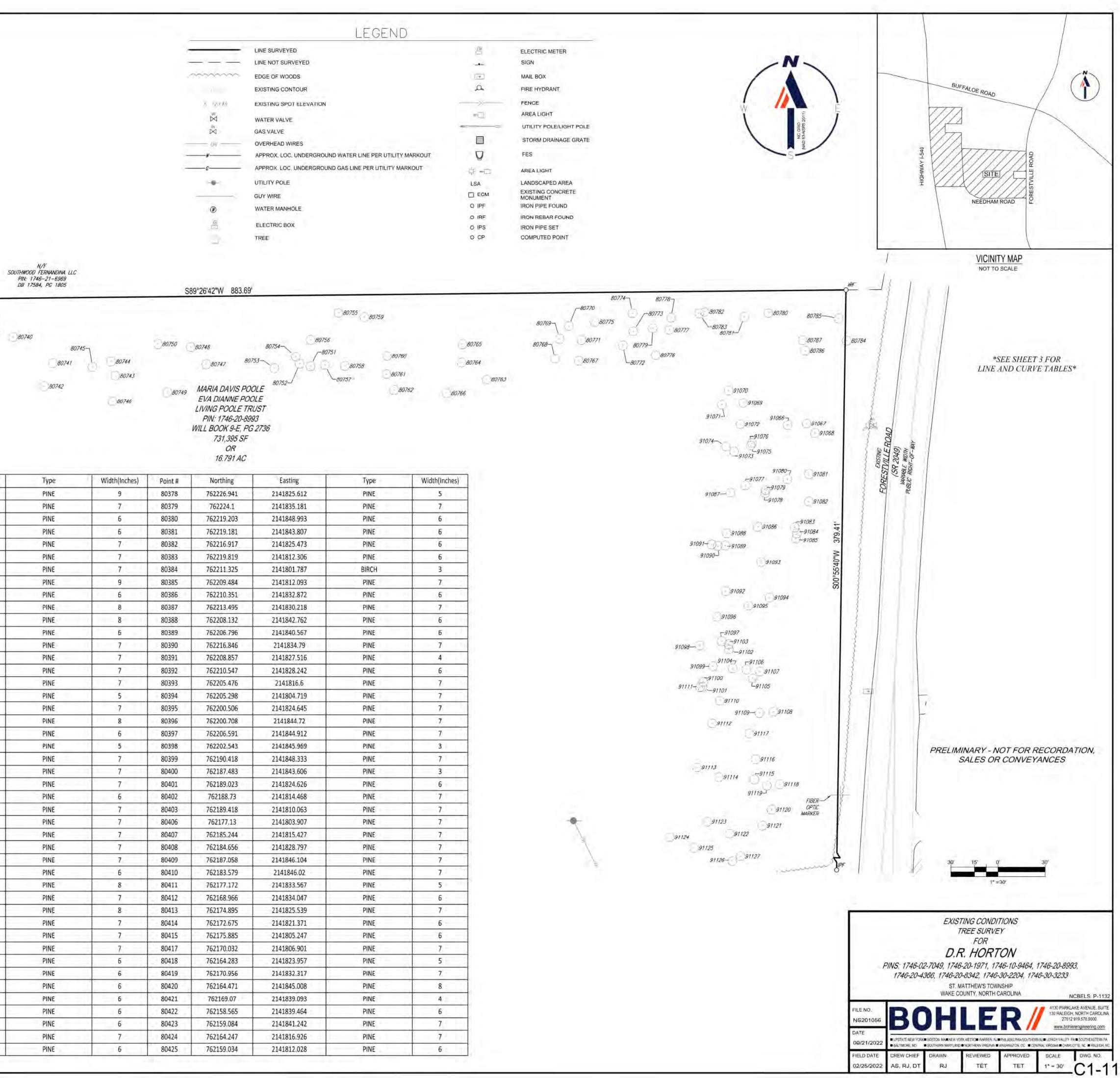
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- REFERENCES: DB 14732, PG 904
- DB 17584, PG 1805 DB 17319, PG 2049 DB 17710, PG 2658 DB 15172, PG 811 DB 10662, PG 1283 DB 13819, PG 2099 BM 1990, PG 320 BM 2018, PG 274 BM 2017, PG 2583
- WILL BOOK 16-E, PG 2005 WILL BOOK 12-E, PG 18 WILL BOOK 9-E, PG 2736



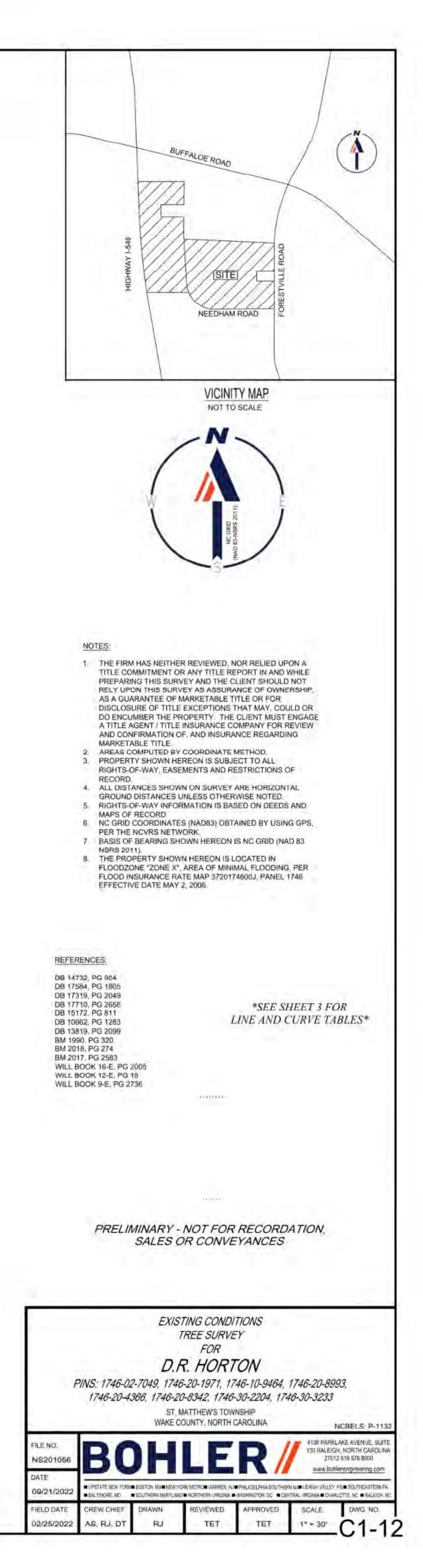
| Point # | Northing | Easting | Туре | Width(Inches) | Point # | Northing | Easting | Туре | Width(Inches) | Point # | Northing | Easting | Туре | Width(Inches |
|---------|------------|-------------|-------------|---------------|---------|------------|-------------|------|---------------|---------|------------|-------------|-------|--------------|
| 80288 | 761021.018 | 2141904.27 | PINE | 4 | 80333 | 762311.263 | 2141849.529 | PINE | 9 | 80378 | 762226.941 | 2141825.612 | PINE | 5 |
| 80289 | 760976.734 | 2141926.577 | WHITE OAK | 10 | 80334 | 762313.751 | 2141862.891 | PINE | 7 | 80379 | 762224.1 | 2141835.181 | PINE | 7 |
| 80290 | 761034.429 | 2141875.593 | DURAND OAK | 5 | 80335 | 762302.771 | 2141849.743 | PINE | 6 | 80380 | 762219.203 | 2141848.993 | PINE | 6 |
| 80291 | 761023.72 | 2141874.129 | DURAND OAK | 8 | 80336 | 762305.282 | 2141833.913 | PINE | 6 | 80381 | 762219.181 | 2141843.807 | PINE | 6 |
| 80292 | 761039.968 | 2141875.75 | WHITE OAK | 13 | 80337 | 762301.266 | 2141825.195 | PINE | 7 | 80382 | 762216.917 | 2141825.473 | PINE | 6 |
| 80293 | 761044.846 | 2141874.643 | WHITE OAK | 8 | 80338 | 762301.896 | 2141831.336 | PINE | 7 | 80383 | 762219.819 | 2141812.306 | PINE | 6 |
| 80294 | 761048.604 | 2141905.805 | PINE | 17 | 80339 | 762295.387 | 2141852.986 | PINE | 7 | 80384 | 762211.325 | 2141801.787 | BIRCH | 3 |
| 80295 | 761053.256 | 2141874.284 | WHITE OAK | 7 | 80340 | 762290.462 | 2141856.816 | PINE | 9 | 80385 | 762209.484 | 2141812.093 | PINE | 7 |
| 80296 | 761053.623 | 2141876.941 | WHITE OAK | 8 | 80341 | 762279.202 | 2141859.489 | PINE | 6 | 80386 | 762210.351 | 2141832.872 | PINE | 6 |
| 80297 | 761062.155 | 2141888.041 | WHITE OAK | 6 | 80342 | 762271.364 | 2141848.231 | PINE | 8 | 80387 | 762213.495 | 2141830,218 | PINE | 7 |
| 80298 | 761077.518 | 2141901.421 | WHITE OAK | 10 | 80343 | 762286.915 | 2141848.311 | PINE | 8 | 80388 | 762208.132 | 2141842.762 | PINE | 6 |
| 80299 | 761075.284 | 2141890,7 | BLACK BIRCH | 6 | 80344 | 762287.429 | 2141835.103 | PINE | 6 | 80389 | 762206.796 | 2141840.567 | PINE | б |
| 80300 | 761077.93 | 2141890.361 | WHITE OAK | 8 | 80345 | 762292.723 | 2141823.438 | PINE | 7 | 80390 | 762216.846 | 2141834.79 | PINE | 7 |
| 80301 | 761077.88 | 2141894.096 | WHITE OAK | 11 | 80346 | 762287.921 | 2141826.052 | PINE | 7 | 80391 | 762208.857 | 2141827.516 | PINE | 4 |
| 80302 | 761074.613 | 2141904.802 | PINE | 16 | 80347 | 762293.811 | 2141833.212 | PINE | 7 | 80392 | 762210.547 | 2141828.242 | PINE | 6 |
| 80303 | 761086.213 | 2141909.812 | WHITE OAK | 3 | 80348 | 762283.913 | 2141825.53 | PINE | 7 | 80393 | 762205.476 | 2141816.6 | PINE | 7 |
| 80304 | 761074.251 | 2141929.252 | WHITE OAK | 7 | 80349 | 762278.812 | 2141832,884 | PINE | 5 | 80394 | 762205.298 | 2141804.719 | PINE | 7 |
| 80305 | 761083.817 | 2141884.203 | WHITE OAK | 5 | 80350 | 762275.376 | 2141845.211 | PINE | 7 | 80395 | 762200.506 | 2141824.645 | PINE | 7 |
| 80306 | 761083.335 | 2141900.445 | BLACK BIRCH | 5 | 80351 | 762270.45 | 2141852.622 | PINE | 8 | 80396 | 762200.708 | 2141844.72 | PINE | 7 |
| 80307 | 761088.838 | 2141898.314 | PINE | 15 | 80352 | 762259,434 | 2141857.401 | PINE | 6 | 80397 | 762206.591 | 2141844.912 | PINE | 7 |
| 80308 | 761111.91 | 2141895.732 | BLACK BIRCH | 8 | 80353 | 762253.006 | 2141851.413 | PINE | 5 | 80398 | 762202.543 | 2141845.969 | PINE | 3 |
| 80309 | 761111.278 | 2141899.922 | BLACK BIRCH | 5 | 80354 | 762266.175 | 2141849.407 | PINE | 7 | 80399 | 762190.418 | 2141848.333 | PINE | 7 |
| 80310 | 761110.333 | 2141901.575 | BLACK BIRCH | 5 | 80355 | 762265.667 | 2141829.81 | PINE | 7 | 80400 | 762187.483 | 2141843.606 | PINE | 3 |
| 80311 | 761114.383 | 2141907.024 | WHITE OAK | 4 | 80355 | 762270.706 | 2141825.107 | PINE | 7 | 80401 | 762189.023 | 2141824.626 | PINE | 6 |
| 80312 | 761102.21 | 2141917.08 | WHITE OAK | 5 | 80357 | 762265.878 | 2141823.228 | PINE | 6 | 80402 | 762188.73 | 2141814.468 | PINE | 7 |
| 80313 | 761123.291 | 2141914.698 | BLACK BIRCH | 8 | 80358 | 762261.013 | 2141829.251 | PINE | 7 | 80402 | 762189.418 | 2141810.063 | PINE | 7 |
| 80313 | 761127.863 | 2141912.436 | WHITE OAK | 8 | 80359 | 762257.203 | 2141820.868 | PINE | 7 | 80405 | 762177.13 | 2141810.005 | PINE | 7 |
| 80314 | 761128.048 | 2141905.043 | WHITE OAK | 11 | 80355 | 762251.905 | 2141829.57 | PINE | 7 | 80400 | 762185.244 | 2141805.507 | PINE | 7 |
| 80315 | 761112.67 | 2141898.153 | WHITE OAK | 7 | 80361 | 762252.942 | 2141825.37 | PINE | 7 | 80407 | 762183.244 | 2141813.427 | PINE | 7 |
| | 761139.076 | 2141896.827 | WHITE OAK | 7 | 80362 | 762256.038 | | PINE | 7 | 80408 | 762187.058 | 2141846.104 | PINE | 7 |
| 80317 | | | | 8 | | | 2141857.163 | | 1 | | | | | 7 |
| 80318 | 761150,589 | 2141870.355 | PINE | 14 | 80363 | 762242.816 | 2141852.935 | PINE | 6 | 80410 | 762183.579 | 2141846.02 | PINE | / |
| 80319 | 761160.041 | 2141867.281 | PINE | 13 | 80364 | 762241.757 | 2141843.181 | PINE | 8 | 80411 | 762177.172 | 2141833.567 | PINE | 5 |
| 80320 | 761153.055 | 2141875.579 | WHITE OAK | 4 | 80365 | 762235.347 | 2141821.89 | PINE | / | 80412 | 762168.966 | 2141834.047 | PINE | 6 |
| 80321 | 761154.334 | 2141884.181 | WHITE OAK | 5 | 80366 | 762250.035 | 2141817.637 | PINE | 8 | 80413 | 762174.895 | 2141825.539 | PINE | 1 |
| 80322 | 761153.213 | 2141887.634 | PINE | 10 | 80367 | 762244.101 | 2141815.321 | PINE | 1 | 80414 | 762172.675 | 2141821.371 | PINE | 6 |
| 80323 | 761163.138 | 2141887.94 | WHITE OAK | / | 80368 | 762243.961 | 2141824.021 | PINE | / | 80415 | 762175.885 | 2141805.247 | PINE | 6 |
| 80324 | 761152,602 | 2141878.795 | WHITE OAK | 4 | 80369 | 762242.431 | 2141836.186 | PINE | 1 | 80417 | 762170.032 | 2141806.901 | PINE | 1 |
| 80325 | 761165.255 | 2141876.771 | PINE | 1 | 80370 | 762246.065 | 2141855.2 | PINE | 6 | 80418 | 762164.283 | 2141823.957 | PINE | 5 |
| 80326 | 761169.298 | 2141884,284 | PINE | 11 | 80371 | 762232.629 | 2141847.06 | PINE | 6 | 80419 | 762170.956 | 2141832.317 | PINE | 7 |
| 80327 | 761168.829 | 2141879,482 | PINE | 6 | 80372 | 762234.736 | 2141847.311 | PINE | 6 | 80420 | 762164.471 | 2141845.008 | PINE | 8 |
| 80328 | 761169.565 | 2141878.495 | PINE | 15 | 80373 | 762240.424 | 2141829.749 | PINE | 6 | 80421 | 762169.07 | 2141839.093 | PINE | 4 |
| 80329 | 761171.485 | 2141879.037 | WHITE OAK | 3 | 80374 | 762241.874 | 2141817.234 | PINE | 6 | 80422 | 762158.565 | 2141839.464 | PINE | 6 |
| 80330 | 762315.131 | 2141823.985 | PINE | 7 | 80375 | 762239,816 | 2141826.563 | PINE | 6 | 80423 | 762159.084 | 2141841.242 | PINE | 7 |
| 80331 | 762301.834 | 2141829.929 | PINE | 7 | 80376 | 762232.744 | 2141815.37 | PINE | 7 | 80424 | 762164.247 | 2141816.926 | PINE | 7 |
| 80332 | 762312.579 | 2141838.648 | PINE | 8 | 80377 | 762227.048 | 2141816.199 | PINE | 6 | 80425 | 762159.034 | 2141812.028 | PINE | 6 |

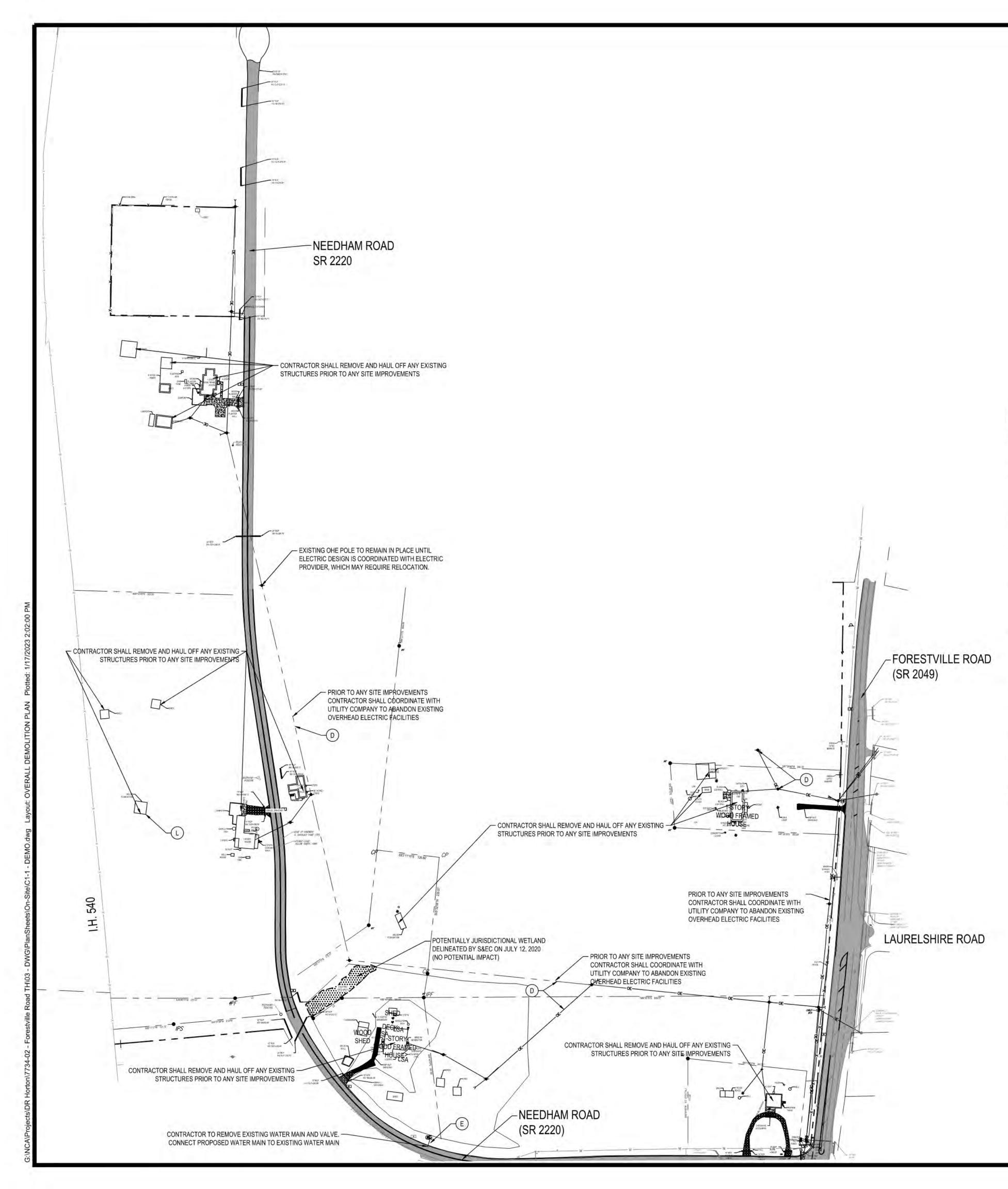
| _ | LINE SURVEYED | 19 | ELECTRIC METER |
|-------------|--|-------|-------------------------------|
| | LINE NOT SURVEYED | - | SIGN |
| m | EDGE OF WOODS | 174. | MAIL BOX |
| 0 | EXISTING CONTOUR | a | FIRE HYDRANT |
| 584.60 | EXISTING SPOT ELEVATION | | FENCE |
| \boxtimes | WATER VALVE | =1 | AREA LIGHT |
| × | GAS VALVE | | UTILITY POLE/LIGHT POLE |
| WY | OVERHEAD WIRES | | STORM DRAINAGE GRATE |
| W | APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT | Q | FES |
| ç | APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT | - C | AREA LIGHT |
| - Feb | UTILITY POLE | LSA | LANDSCAPED AREA |
| | GUY WIRE | ECM | EXISTING CONCRETE MONUMENT |
| Ø | WATER MANHOLE | O IPF | IRON PIPE FOUND |
| | La contra de la | OIRF | IRON REBAR FOUND |
| (E) | ELECTRIC BOX | O IPS | IRON PIPE SET |
| 2.1 | TREE | O CP | COMPUTED POINT |
| | | | |



| Point # | Northing | Easting | Type | Width(Inches) | Point # | Northing | Easting | Туре | Width(Inches) | Point # | Northing | Easting | Туре | Width(Inches) | Point # | Northing | Easting | Туре | Width(Inches) |
|----------------|-------------------------|---------------------------|-------|---------------|---------|---|---|------|---------------|---------|------------|-------------|--|---------------|---------|------------|--|-----------|---------------|
| 80481 | 762065.489 | 2141802.306 | PINE | 12 | 80573 | 761862.688 | 2141832.198 | PINE | width(inches) | 80657 | 761389.283 | 2141881.979 | PINE | width(inches) | 80741 | 761255.311 | 2142903.208 | WHITE OAK | 11 |
| 80482 | 762073.543 | 2141797.425 | PINE | 5 | 80574 | 761849.486 | 2141834.799 | PINE | 5 | 80658 | 761386.86 | 2141879.672 | PINE | 6 | 80742 | 761240.434 | 2142897.78 | WHITE OAK | 11 |
| 80482 | 762067.147 | 2141818.912 | PINE | 5 | 80575 | 761862.989 | 2141845.718 | PINE | 6 | 80659 | 761380.146 | 2141872.569 | PINE | 6 | 80742 | 761247.259 | 2142943.006 | WHITE OAK | 12 |
| 80484 | 762067.733 | 2141826.9 | PINE | 7 | 80576 | 761831.374 | 2141841.549 | PINE | 6 | 80660 | 761386.944 | 2141871.223 | PINE | 6 | 80744 | 761256.251 | 2142940.34 | RED OAK | 12 |
| 80485 | 762074.671 | 2141837.05 | PINE | 4 | 80577 | 761823.181 | 2141827.26 | PINE | 6 | 80661 | 761401.942 | 2141869.724 | PINE | 6 | 80745 | 761252.907 | 2142928.408 | WHITE OAK | 11 |
| 80486 | 762061.794 | 2141845.591 | PINE | 6 | 80578 | 761822.601 | 2141815.773 | PINE | 6 | 80662 | 761376.787 | 2141875.215 | PINE | 6 | 80746 | 761230.972 | 2142941.136 | WHITE OAK | 13 |
| 80487 | 762062.322 | 2141830.82 | PINE | 5 | 80579 | 761812.334 | 2141816.085 | PINE | 6 | 80663 | 761369.486 | 2141862.712 | PINE | 6 | 80747 | 761254.553 | 2143000.916 | WHITE OAK | 10 |
| 80488 | 762059.931 | 2141830.052 | PINE | 8 | 80580 | 761795.777 | 2141819.609 | PINE | 6 | 80664 | 761370.501 | 2141863.611 | PINE | 6 | 80748 | 761265.58 | 2142991.031 | WHITE OAK | 10 |
| 80489 | 762056.001 | 2141811.882 | PINE | 3 | 80581 | 761801.416 | 2141840.814 | PINE | 6 | 80665 | 761361.74 | 2141858.607 | PINE | 6 | 80749 | 761236.682 | 2142976.17 | WHITE OAK | 12 |
| 80490 | 762056.49 | 2141805.342 | PINE | 11 | 80582 | 761810.222 | 2141836.971 | PINE | 6 | 80666 | 761367.525 | 2141887.528 | PINE | 6 | 80750 | 761267.45 | 2142970.051 | WHITE OAK | 10 |
| 80491 | 762054.503 | 2141807.421 | PINE | 5 | 80583 | 761817.978 | 2141839.815 | PINE | 6 | 80667 | 761365,201 | 2141883,916 | PINE | 6 | 80751 | 761253.291 | 2143067.338 | WHITE OAK | 12 |
| 80493 | 762040.012 | 2141804.48 | PINE | 3 | 80584 | 761822.489 | 2141837.434 | PINE | 6 | 80668 | 761355.558 | 2141882.56 | PINE | 6 | 80752 | 761254.898 | 2143060.397 | RED OAK | 10 |
| 80494 | 762054.266 | 2141813.968 | PINE | 6 | 80585 | 761823.778 | 2141850.751 | PINE | 6 | 80669 | 761358.898 | 2141873.699 | PINE | 6 | 80753 | 761252.112 | 2143044.257 | WHITE OAK | 10 |
| 80495 | 762056.859 | 2141835.31 | PINE | 7 | 80586 | 761788.061 | 2141843.132 | PINE | б | 80670 | 761354,433 | 2141886,191 | PINE | 6 | 80754 | 761259.405 | 2143057.944 | RED OAK | 14 |
| 80496 | 762050.757 | 2141819.518 | PINE | 6 | 80587 | 761771.588 | 2141839.097 | PINE | 6 | 80671 | 761350.598 | 2141897.019 | PINE | 6 | 80755 | 761287.308 | 2143085.131 | RED OAK | 10 |
| 80497 | 762053.935 | 2141819.743 | PINE | 5 | 80588 | 761763.29 | 2141839.21 | PINE | 6 | 80672 | 761339.051 | 2141897.291 | PINE | 6 | 80756 | 761269.993 | 2143067.493 | WHITE OAK | 10 |
| 80498 | 762052.06 | 2141838.075 | PINE | 7 | 80589 | 761758.947 | 2141842.826 | PINE | 6 | 80673 | 761327.269 | 2141897,793 | HOLLY | 6 | 80757 | 761254.207 | 2143076.455 | WHITE OAK | 10 |
| 80500 | 762041.469 | 2141845.616 | PINE | 6 | 80590 | 761760.381 | 2141833.084 | PINE | 6 | 80674 | 761278.8 | 2141875.282 | WHITE OAK | 10 | 80758 | 761253.455 | 2143089.226 | WHITE OAK | 10 |
| 80501 | 762039.203 | 2141833.871 | PINE | 7 | 80591 | 761796.561 | 2141830.173 | PINE | 6 | 80675 | 761278.227 | 2141886.032 | WHITE OAK | 10 | 80759 | 761284.659 | 2143101.677 | WHITE OAK | 12 |
| 80502 | 762039.86 | 2141825.987 | PINE | 8 | 80592 | 761774.981 | 2141820.394 | PINE | 6 | 80676 | 761269.922 | 2141863.907 | WHITE OAK | 10 | 80760 | 761259.847 | 2143116.183 | WHITE OAK | 10 |
| 80503 | 762052.041 | 2141797.423 | PINE | 9 | 80593 | 761766.073 | 2141820.779 | PINE | 6 | 80677 | 761287.059 | 2141860.943 | PINE | 22 | 80761 | 761248.281 | 2143115.696 | WHITE OAK | 11 |
| 80504 | 762035.837 | 2141796.58 | PINE | 7 | 80594 | 761751.424 | 2141821.411 | PINE | 6 | 80678 | 761247.151 | 2141886.303 | PINE | 14 | 80762 | 761238.255 | 2143120.545 | WHITE OAK | 10 |
| 80507 | 762026.034 | 2141808.768 | PINE | 3 | 80595 | 761747.779 | 2141843.884 | PINE | 6 | 80679 | 761245.67 | 2141880.626 | PINE | 10 | 80763 | 761244.844 | 2143179.611 | WHITE OAK | 10 |
| 80508 | 762040.582 | 2141823.094 | PINE | 5 | 80596 | 761745.529 | 2141843.265 | PINE | 6 | 80680 | 761226.117 | 2141869.914 | PINE | 10 | 80764 | 761255.621 | 2143163.583 | WHITE OAK | 10 |
| 80509 | 762027.961 | 2141830.371 | PINE | 9 | 80597 | 761714.781 | 2141852.334 | PINE | 6 | 80681 | 761218.702 | 2141866.324 | PINE | 12 | 80765 | 761267.388 | 2143164.101 | WHITE OAK | 13 |
| 80510 | 762036.303 | 2141844.721 | PINE | 7 | 80598 | 761714.471 | 2141847.858 | PINE | 6 | 80682 | 761205.181 | 2141892.489 | PINE | 16 | 80766 | 761236.188 | 2143153.998 | PINE | 14 |
| 80511 | 762014.659 | 2141841.225 | PINE | 6 | 80599 | 761750.216 | 2141833.769 | PINE | 6 | 80683 | 761192.567 | 2141881.424 | PINE | 16 | 80767 | 761256.795 | 2143238.092 | PINE | 14 |
| 80512 | 762024.464 | 2141831.549 | PINE | 6 | 80600 | 761737.395 | 2141835.54 | PINE | б | 80684 | 762300.536 | 2141852.182 | PINE | 6 | 80768 | 761258.075 | 2143222.993 | PINE | 15 |
| 80513 | 762027.552 | 2141817.28 | PINE | 7 | 80601 | 761725.875 | 2141836.95 | PINE | 6 | 80685 | 762315.592 | 2141850.37 | PINE | 6 | 80769 | 761270.696 | 2143225.97 | PINE | 10 |
| 80514 | 762025.106 | 2141808.54 | PINE | 5 | 80602 | 761717.632 | 2141836.863 | PINE | 6 | 80686 | 762330.807 | 2141850.131 | PINE | 6 | 80770 | 761279.029 | 2143231.921 | PINE | 10 |
| 80515 | 762016.813 | 2141806.33 | PINE | 6 | 80603 | 761707.485 | 2141837.536 | PINE | 6 | 80687 | 762345.845 | 2141839.758 | PINE | 6 | 80771 | 761269.878 | 2143239.91 | PINE | 12 |
| 80516 | 762013.087 | 2141807.521 | PINE | 6 | 80604 | 761688.258 | 2141826.671 | PINE | 6 | 80688 | 762337.543 | 2141836.66 | PINE | 6 | 80772 | 761266.605 | 2143266.352 | PINE | 12 |
| 80517 | 762022.078 | 2141799.631 | PINE | 5 | 80605 | 761654.648 | 2141830.804 | PINE | 6 | 80689 | 762324.977 | 2141838.807 | PINE | 6 | 80773 | 761275.589 | 2143272.897 | PINE | 10 |
| 80518 | 762011.861 | 2141815.731 | PINE | 5 | 80606 | 761648.906 | 2141838.485 | PINE | 6 | 80690 | 762339.246 | 2141827.736 | PINE | 6 | 80774 | 761287.079 | 2143272.435 | PINE | 15 |
| 80519 | 762012.286 | 2141826.223 | PINE | 5 | 80607 | 761651.889 | 2141840,645 | PINE | 6 | 80691 | 762353.427 | 2141827.92 | PINE | 6 | 80775 | 761281.591 | 2143248.35 | PINE | 13 |
| 80520 | 762020.467 | 2141843.563 | PINE | 7 | 80609 | 761696.957 | 2141842.829 | PINE | 6 | 80692 | 762356.756 | 2141829.06 | PINE | 6 | 80776 | 761260.403 | 2143287.207 | PINE | 10 |
| 80521 | 762011.65 | 2141847.401 | PINE | 6 | 80610 | 761686.564 | 2141854.39 | PINE | б | 80693 | 762372.437 | 2141827.748 | PINE | 5 | 80777 | 761276.324 | 2143296.074 | PINE | 10 |
| 80522 | 762007.741 | 2141832.409 | PINE | 7 | 80611 | 761685.585 | 2141846.254 | PINE | 6 | 80694 | 762382.516 | 2141826.329 | PINE | 4 | 80778 | 761284.163 | 2143296.991 | PINE | 12 |
| 80524 | 762005.289 | 2141808.209 | PINE | 6 | 80612 | 761664.934 | 2141847.351 | PINE | 6 | 80695 | 762388.072 | 2141824.817 | PINE | 8 | 80779 | 761277.492 | 2143285.29 | PINE | 10 |
| 80525 | 762006.616 | 2141807.058 | PINE | 4 | 80613 | 761605.666 | 2141823.098 | PINE | 6 | 80696 | 762386.01 | 2141841.163 | PINE | 8 | 80780 | 761287.159 | 2143359.02 | PINE | 10 |
| 80526 | 761998.822 | 2141807.428 | PINE | 6 | 80614 | 761609.463 | 2141827.991 | PINE | 6 | 80697 | 762400.761 | 2141831.852 | PINE | 6 | 80781 | 761284.683 | 2143343.622 | PINE | 10 |
| 80527 | 761998.8 | 2141816.423 | PINE | 6 | 80615 | 761625.794 | 2141837.114 | PINE | 6 | 80698 | 762393.606 | 2141850.683 | PINE | 9 | 80782 | 761287.976 | 2143318.467 | PINE | 10 |
| 80528 | 762001.601 | 2141830.041 | PINE | 4 | 80616 | 761620.544 | 2141845.925 | PINE | 6 | 80699 | 762370.342 | 2141871.211 | PINE | 6 | 80783 | 761286.988 | 2143314.816 | PINE | 10 |
| 80529 | 761996.311 | 2141841.272 | PINE | 5 | 80617 | 761623.855 | 2141846.846 | PINE | 6 | 80700 | 762376.871 | 2141842.317 | PINE | 6 | 80784 | 761269.52 | 2143408.834 | PINE | 18 |
| 80530 | 761998.591 | 2141842.152 | PINE | 7 | 80618 | 761635.301 | 2141846.932 | PINE | 6 | 80701 | 762359.458 | 2141853.987 | WHITE OAK | 6 | 80785 | 761283.661 | 2143403.72 | PINE | 19 |
| 80531 | 761994.105 | 2141832.052 | PINE | 6 | 80619 | 761642.642 | 2141853.066 | PINE | 6 | 80702 | 762396.36 | 2141833.03 | BLACK BIRCH | 6 | 80786 | 761263.351 | 2143382.449 | PINE | 13 |
| 80532 | 761991.44 | 2141818.624 | PINE | 7 | 80620 | 761635.203 | 2141861.005 | PINE | 6 | 80703 | 762409.861 | 2141838.279 | PINE | 6 | 80787 | 761269.823 | 2143380.665 | OAK | 19 |
| 80533 | 761989.735 | 2141806.919 | PINE | 5 | 80621 | 761615.727 | 2141850.674 | PINE | б | 80705 | 761286.65 | 2142583.303 | WHITE OAK | 12 | 90000 | 761370.144 | 2142240.544 | OAK | 5 |
| 80535 | 761978.721 | 2141807.422 | PINE | 7 | 80622 | 761596.583 | 2141860.662 | PINE | б | 80706 | 761277.717 | 2142572.674 | PINE | 12 | 90001 | 761376.63 | 2142246.502 | OAK | 8 |
| 80536 | 761973.816 | 2141809.91 | PINE | 7 | 80623 | 761587.035 | 2141861.819 | PINE | 6 | 80707 | 761289.096 | 2142585.514 | WHITE OAK | 11 | 90002 | 761384.645 | 2142249.193 | HOLLY | 4 |
| 80537 | 761984.781 | 2141811.963 | PINE | 5 | 80624 | 761583.206 | 2141864.546 | PINE | 6 | 80708 | 761245.757 | 2142599.48 | WHITE OAK | 10 | 90003 | 761381.781 | 2142249.354 | OAK | 4 |
| 80539 | 761985.491 | 2141833.24 | PINE | 4 | 80625 | 761559.799 | 2141859.149 | PINE | 6 | 80709 | 761230.754 | 2142603.495 | PINE | 12 | 90004 | 761372.398 | 2142253.887 | OAK | 6 |
| 80540 | 761985.028 | 2141829.448 | PINE | 6 | 80626 | 761563.617 | 2141849.93 | PINE | 6 | 80711 | 761287.506 | 2142665,324 | PINE | 10 | 90006 | 761359.059 | 2142246.218 | ASH | 5 |
| 80541 | 761981.158 | 2141844.433 | PINE | 7 | 80627 | 761579.665 | 2141853.578 | PINE | 6 | 80712 | 761288.469 | 2142658.378 | PINE | 10 | 90007 | 761362.287 | 2142245.223 | OAK | б |
| 80542 | 761977.347 | 2141843.261 | PINE | 7 | 80628 | 761609.157 | 2141850.535 | PINE | 6 | 80713 | 761287.046 | 2142643.545 | PINE | 15 | 90008 | 761354.335 | 2142240.485 | OAK | 8 |
| 80543 | 761975.567 | 2141833.187 | PINE | 7 | 80629 | 761569.572 | 2141832.994 | PINE | 7 | 80714 | 761247.936 | 2142711.379 | RED OAK | 15 | 90010 | 761341,701 | 2142244.644 | OAK | .18 |
| 80546 | 761970.263 | 2141843.8 | PINE | 6 | 80630 | 761570.406 | 2141824.471 | PINE | 7 | 80715 | 761253.354 | 2142699.585 | WHITE OAK | 11 | 90011 | 761337.948 | 2142248.378 | OAK | 6 |
| 80547 | 761964.984 | 2141843.642 | PINE | 6 | 80631 | 761544.685 | 2141870.901 | PINE | 6 | 80716 | 761269.114 | 2142681.304 | PINE | 10 | 90012 | 761339.288 | 2142248.449 | OAK | 9 |
| 80548 | 761961.44 | 2141839.481 | PINE | 5 | 80632 | 761537,455 | 2141866.157 | PINE | 6 | 80717 | 761287,177 | 2142705.13 | WHITE OAK | 13 | 90013 | 761338.319 | 2142246.693 | OAK | 18 |
| 80549 | 761962.155 | 2141822.089 | PINE | 8 | 80633 | 761528.988 | 2141873.47 | PINE | 6 | 80718 | 761280.974 | 2142725.234 | RED OAK | 6 | 90014 | 761332.08 | 2142247.346 | OAK | 5 |
| 80550 | 761964.972 | 2141808.219 | PINE | 6 | 80634 | 761528.457 | 2141857.247 | PINE | 6 | 80719 | 761290,279 | 2142721.76 | WHITE OAK | 6 | 90015 | 761330.203 | 2142250.918 | HOLLY | 19 |
| 80551 | 761958.44 | 2141808.339 | PINE | 6 | 80635 | 761531.243 | 2141852.853 | PINE | 6 | 80720 | 761272.985 | 2142712.431 | WHITE OAK | 7 | 90017 | 761327.202 | 2142246.953 | OAK | 8 |
| 80552 | 761955.811 | 2141814.124 | PINE | 5 | 80636 | 761541.215 | 2141850.664 | PINE | 6 | 80721 | 761253.28 | 2142729.239 | RED OAK | 6 | 90019 | 761326.889 | 2142260.036 | OAK | 8 |
| 80553 | 761954.427 | 2141823.964 | PINE | 6 | 80637 | 761541.898 | 2141842.677 | PINE | 6 | 80722 | 761261.065 | 2142732.584 | WHITE OAK | 6 | 90020 | 761338.021 | 2142263.286 | OAK | 12 |
| 80554 | 761956.312 | 2141831.958 | PINE | 8 | 80638 | 761542.146 | 2141868.988 | PINE | 6 | 80723 | 761273.365 | 2142740.933 | WHITE OAK | 6 | 90021 | 761347.537 | 2142258.288 | OAK | 7 |
| 80555 | 761951.317 | 2141841.644 | PINE | 5 | 80639 | 761454.937 | 2141864.26 | PINE | 6 | 80724 | 761266.412 | 2142731.201 | WHITE OAK | 6 | 90022 | 761347.406 | 2142259.761 | OAK | 5 |
| 80556 | 761945.925 | 2141843.415 | PINE | 7 | 80640 | 761467.568 | 2141859.874 | PINE | 6 | 80725 | 761254.876 | 2142755.253 | WHITE OAK | 6 | 90023 | 761351.093 | 2142258.856 | HOLLY | 6 |
| 80557 | 761945.925 | 2141843.415 | PINE | 7 | 80641 | 761488.094 | 2141864.807 | PINE | 6 | 80726 | 761267.265 | 2142753.76 | WHITE OAK | 6 | 90024 | 761354.642 | 2142262.241 | OAK | 6 |
| 80558 | 761934.153 | 2141837.486 | PINE | 6 | 80642 | 761492.843 | 2141869.134 | PINE | 6 | 80727 | 761282.705 | 2142788.83 | WHITE OAK | 6 | 90025 | 761367.644 | 2142262.855 | OAK | 8 |
| 80559 | 761936.513 | 2141843.102 | PINE | 7 | 80643 | 761497.213 | 2141864.071 | PINE | 6 | 80728 | 761259.212 | 2142789.091 | WHITE BIRCH | 6 | 90027 | 761394.05 | 2142254.574 | BIRCH | 5 |
| 80560 | 761918.116 | 2141832.84 | PINE | 6 | 80644 | 761489.13 | 2141872.6 | PINE | 6 | 80729 | 761245.608 | 2142775.169 | BLACK BIRCH | 6 | 90028 | 761370.536 | 2142268.523 | OAK | 5 |
| 80562 | 761905.476 | 2141821.914 | PINE | 6 | 80645 | 761481.698 | 2141867.542 | PINE | 6 | 80730 | 761235.294 | 2142822.643 | BLACK BIRCH | 6 | 90031 | 761350.554 | 2142278.888 | OAK | 4 |
| 80563 | 761896.098 | 2141823.18 | PINE | 6 | 80647 | 761465.68 | 2141863.805 | PINE | 6 | 80731 | 761268,32 | 2142812.775 | WHITE OAK | 6 | 90032 | 761359.531 | 2142272,02 | OAK | 8 |
| 80564 | 761894.6 | 2141832.306 | PINE | 6 | 80648 | 761447.283 | 2141885.636 | PINE | 6 | 80732 | 761257.57 | 2142807 | WHITE OAK | 6 | 90033 | 761380.734 | 2142284.709 | OAK | 10 |
| 80565 | 761904.237 | 2141825.258 | PINE | 6 | 80649 | 761442.182 | 2141880.713 | PINE | 6 | 80733 | 761268,843 | 2142806.205 | WHITE OAK | 6 | 90034 | 761382.586 | 2142282.354 | BIRCH | 4 |
| 80566 | 761929.752 | 2141818.188 | PINE | 6 | 80650 | 761433,85 | 2141866.262 | PINE | 6 | 80734 | 761279.466 | 2142793.38 | WHITE OAK | 6 | 90036 | 761365.13 | 2142290.096 | OAK | 6 |
| 80567 | 761874.106 | 2141825.645 | PINE | 6 | 80651 | 761426.37 | 2141867.244 | PINE | 6 | 80735 | 761282.586 | 2142817.662 | RED OAK | 6 | 90037 | 761358.634 | 2142286.851 | BIRCH | 9 |
| 80568 | 761865.924 | 2141817.029 | PINE | 6 | 80652 | 761425.323 | 2141872.391 | PINE | 6 | 80736 | 761262.142 | 2142827.531 | WHITE OAK | 12 | 90038 | 761347.019 | 2142289.138 | BIRCH | 7 |
| | 761873.794 | 2141812.477 | PINE | 6 | 80653 | 761442.591 | 2141855.36 | PINE | 6 | 80737 | 761247.447 | 2142833.422 | WHITE OAK | 11 | 90039 | 761346.77 | 2142295.584 | BIRCH | 6 |
| 80569 | | 2444642 022 | PINE | 6 | 80654 | 761436.314 | 2141852.37 | PINE | 6 | 80738 | 761271.508 | 2142854,219 | WHITE OAK | 14 | 90040 | 761354.478 | 2142296.578 | PINE | 6 |
| 80569 80570 | 761874.378 | 2141813.023 | 1.004 | | | and the second se | the second se | | | | | | A REAL PROPERTY AND A REAL | | | | and the second sec | | |
| - Jora and - | 761874.378 761852.66 | 2141813.023 2141812.32 | PINE | 6 | 80655 | 761424.619 | 2141854.084 | PINE | 6 | 80739 | 761275.575 | 2142856,743 | WHITE OAK | 12 | 90041 | 761329.555 | 2142296.908 | OAK | 16 |

HLER ENGINEERING- ALL RIGHTS RESE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THE DISPOSE ODIFINALLY MITCHOLD, MITCHOLT THE WRITEN DE





DEMOLITION & SITE PREPARATION NOTES

- REMOVED OFF SITE AT NO ADDITIONAL COST.
- ADDITIONAL COST.
- REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
- REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.
- APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
- COMMENCEMENT OF CONSTRUCTION.
- SEDIMENT CONTROLS.

DEMOLITION KEYNOTE LEGEND

- (A) EXISTING CURB AND GUTTER TO BE REMOVED
- (B) EXISTING RETAINING WALL TO BE REMOVED
- (C) EXISTING STORM TO RE REMOVED
- D EXISTING LIGHTING / ELECTRIC TO BE REMOVED (CONTRACTOR TO COORDINATE WITH UTILITY COMPANY)
- EXISTING WATER TO BE REMOVED (CONTRACTOR TO COORDINATE WITH COUNTY / MUNICIPALITY)
- EXISTING SEWER TO BE REMOVED (CONTRACTOR TO COORDINATE WITH COUNTY / MUNICIPALITY)
- G EXISTING GAS TO BE REMOVED (CONTRACTOR TO COORDINATE WITH UTILITY COMPANY)
- (H) EXISTING TREES / SHRUBS TO BE REMOVED
- (I) EXISTING FENCE TO BE REMOVED
- (J) EXISTING STRUCTURE TO BE REMOVED
- (K) EXISTING PAVEMENT TO BE REMOVED
- L EXISTING CONCRETE TO BE REMOVED

 THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.

2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS

3. UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL (REM) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC, TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.

4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO

5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE

6. IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE

7. ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER

8. 'CLEAR AND GRUB VEGETATION' SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.

9. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO

10. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

11. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND

12. LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.

13. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.

| | | 01/16/2023 SUB-0027-2022 - REVISION 4 | 11/23/2022 SUB-0027-2022 - REVISION 3 | 09/23/2022 SUB-0027-2022 - REVISION 2 | 07/22/2022 SUB-0027-2022 - REVISION 1 | DESCRIPTION |
|----|------------------|---------------------------------------|---------------------------------------|---------------------------------------|---|---------------------------|
| | | /2023 SUB- | /2022 SUB- | /2022 SUB- | /2022 SUB- | |
| | 5 | 4 01/16 | 11/23 | 2 09/23 | A 07/22 | REV DATE |
| 1 | DESIG | | | - | JD | _ |
| | DRAW | - | | - | AG | |
| 1 | REVIE | WEL |) BY: | - | TR | 6 |
| | | 12. | 5 | | RALEIGH NC 27607 | NUT VICENSE #C-4397 @2023 |
| | | DR HORTON | | 2000 AERIAL CENTER PARKWAY | MORRISVILLE NC 27560 | |
| | FORESTVILLE ROAD | TOWNHOMES | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0 5226 5228 5232 5264 FORESTVILLE RD | RALEIGH NC 27604 |
| | | | | OVERALL DEMOLITION FLAN | | |
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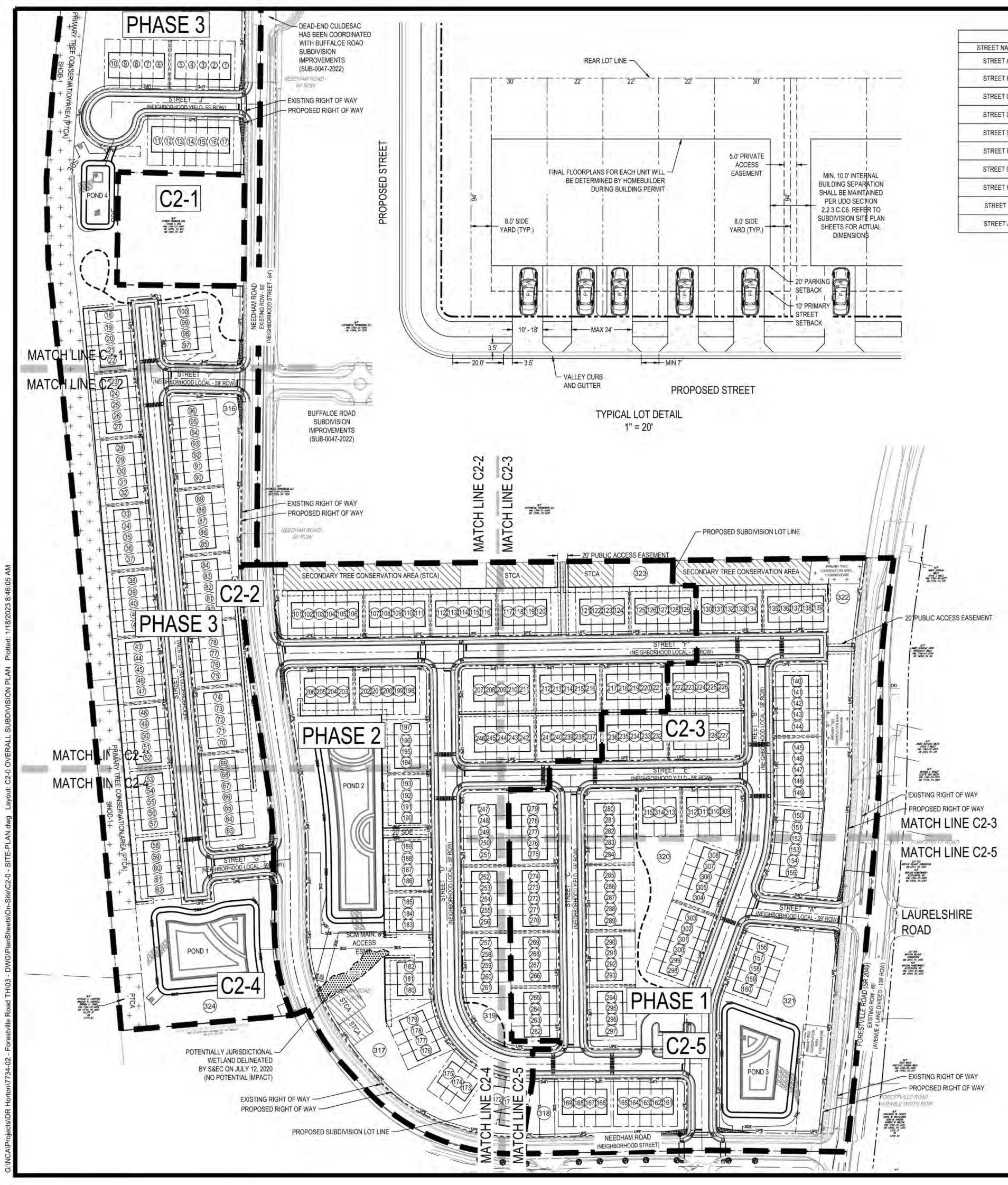
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| | STREET TA | BLE | |
|-------------|--------------------|-----------|-----|
| STREET NAME | TYPE | ROW WIDTH | BO |
| STREET A | NEIGHBORHOOD LOCAL | 59'-0" | |
| STREET B | NEIGHBORHOOD LOCAL | 59'-0" | |
| STREET C | NEIGHBORHOOD YIELD | 55'-0" | |
| STREET D | NEIGHBORHOOD LOCAL | 59'-0" | |
| STREET E | NEIGHBORHOOD YIELD | 55'-0" | 1.1 |
| STREET F | NEIGHBORHOOD LOCAL | 59'-0" | |
| STREET G | NEIGHBORHOOD LOCAL | 59'-0" | |
| STREET H | NEIGHBORHOOD YIELD | 55'-0" | |
| STREET (| NEIGHBORHOOD LOCAL | 59'-0" | |
| STREET J | NEIGHBORHOOD YIELD | 55'-0" | |

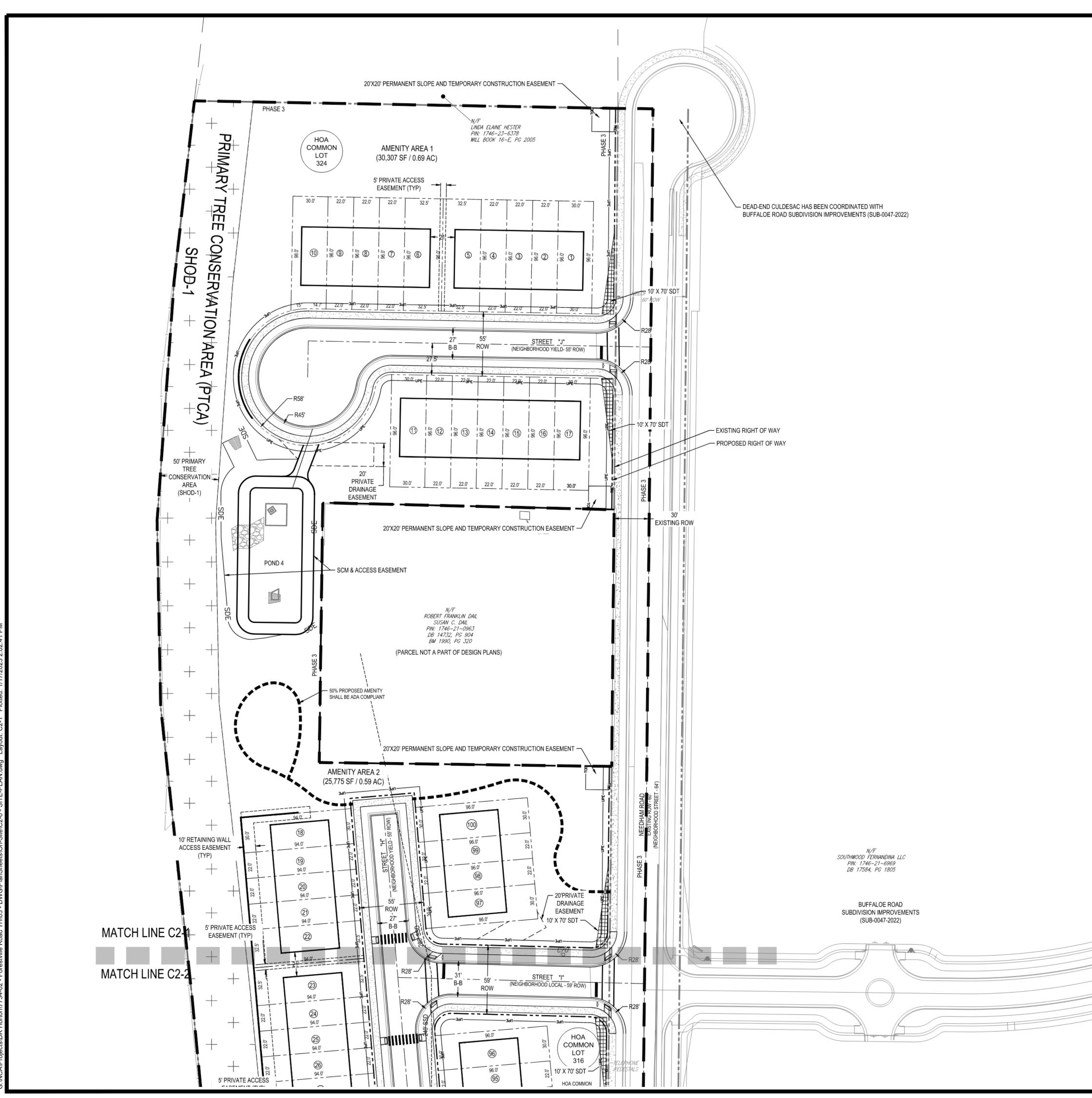
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SCALE: 1" = 100'

| | SITE LEGEND | 175 | | | | 1 |
|---------------|--|---------------|-------------|---------------------------------|--|---|
| OC-BOC WIDTH | WETLAND | | | | | |
| 31'-0" | PRIMARY TREE CONSERVATION AREA | | | | | |
| 31'-0" | SECONDARY TREE CONSERVATION AREA | 4 | | NN | - 7 | |
| 27'-0" | EXISTING RIGHT OF WAY PROPOSED RIGHT OF WAY | REVISION | REVISION | REVISION | REVISION | |
| 31'-0" | 5' UTILITY PLACEMENT EASEMENT | | 1.1 | 1 | 1 | |
| 27'-0" | PHASE LINE | SUB-0027-2022 | -2022 | SUB-0027-2022 | SUB-0027-2022 | TION |
| | ERAL NOTES: | 3-0027 | SUB-0027 | 3-0027 | 3-0027 | DESCRIPTION |
| | IS PRELIMINARY SUBDIVISION PLAN IS FOR TOWNHOUSES ONLY. | SUB | SUB | SUB | SUB | |
| | L CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NODOT STANDARDS AND ECIFICATIONS IF ASSOSIATED. | 01/16/2023 | 123/2022 | /2022 | 07/22/2022 | DATE |
| 3. TH | E CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL | 01/16 | 11/23 | 09/23/2022 | 07/22 | < C |
| 4. IF (BE | NE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR CORDING OF ANY PLAT FOR THIS DEVELOPMENT. | | ~ | $\overline{\mathbb{A}}$ | | DEV |
| | LD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION. | DRAWN B | | - | AGI | - |
| CO | L PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD NCRETE CURB AND GUTTER. AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER LESS OTHERWISE STATED ON PLANS. | REVIEWE | | | TR | - |
| 7. ALI | L DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS. | | | 2 | | |
| CU | THIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE RB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, LIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. | | | SUITE 102 | 7607 | 1000 |
| | LESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM. | 1 | IJ | 'UN TE | IC 276 | 24 |
| 11. CO DIS | L HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY. NTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY SCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD | | 2 | WADE PARK B | ALEIGH NU | |
| 12. HA | CATION OF UNDERGROUND UTILITIES. NDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY RECTION(S) AS PER ADA STANDARDS. | | 5 | 5440 WADE | RAL | Civ |
| | OVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS | | | 54 | | |
| | L RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE RMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT. | 1 | | | | 2 |
| PO | E MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE INT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM IRNER CLEARANCE. | z | | PARKWAY | 099 | |
| | CACCESS CURB RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT ANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS | STO |) | TER PAR | NC 27560 | |
| 17. ALI | L RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS | Ğ | 5 | CEN1 | ILLE | |
| TR FEI | L ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL ANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, NCE, OR WALL | DR HORTON | | 2000 AERIAL CENTER P STE 110 | MORRISV | |
| DIS | L SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY SABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE QUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS R ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). | | | 2000 | | |
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| 22. TH | E CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC. | щZ | Non on | NISIN | FORE | 2760 |
| | e contractor shall be responsible for all traffic control and shall adhere to the provisions of the TCD (MOST CURRENT EDITION) | ĘĘ | | SUBU | 5264 | UN F |
| 24. AN "Ri | Y TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE GHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO CHTOFWAYSERVICES@RALEIGHNC.GOV. | ESTVILLE R | | KELIMINAKI SUBUIVISION PLAN | 5228, 523, 5228, 5232. | RALFIGH |
| 25. PR | IOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE. | OR L | | LYE | , 5136, 5 | |
| | E BOUNDARY, TOPOGRAPHY, UTILITY, AND TREE SURVEY COMPLETED BY BOHLER ENGINEERING, SEALED BY THOMAS ABO, DATED JANUARY 25, 2022. | Щ | | | 0, 5, 0 | |
| | TLAND DELINEATION BY SOIL & ENVIRONMENTAL CONSULTANTS, POTENTIALLY JURISDICTIONAL WETLAND LINEATED BY S&EC ON JULY 2, 2022 (NO POTENTIAL IMPACTS) PA (S&EC) DATED 07/07/2020. | | | | | |
| | SIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECTED TO APPROVAL AT TIME OF PERMITTING | | SUBDIVISION | AN | | |
| | | | OVERALL S | PL | | |
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| 0 | construction, will result in the issuance of <i>monetary fines</i>, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. | | | | | |
| | Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of | FILE | NU | | | 2: |

Know what's below. Call before you dig. Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

DATE: 1/12/2023





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|---|---------|
| | WETLAND |

- Image: Image:
 - UPE-5' UTILITY PLACEMENT EASEMENT

PHASE LINE

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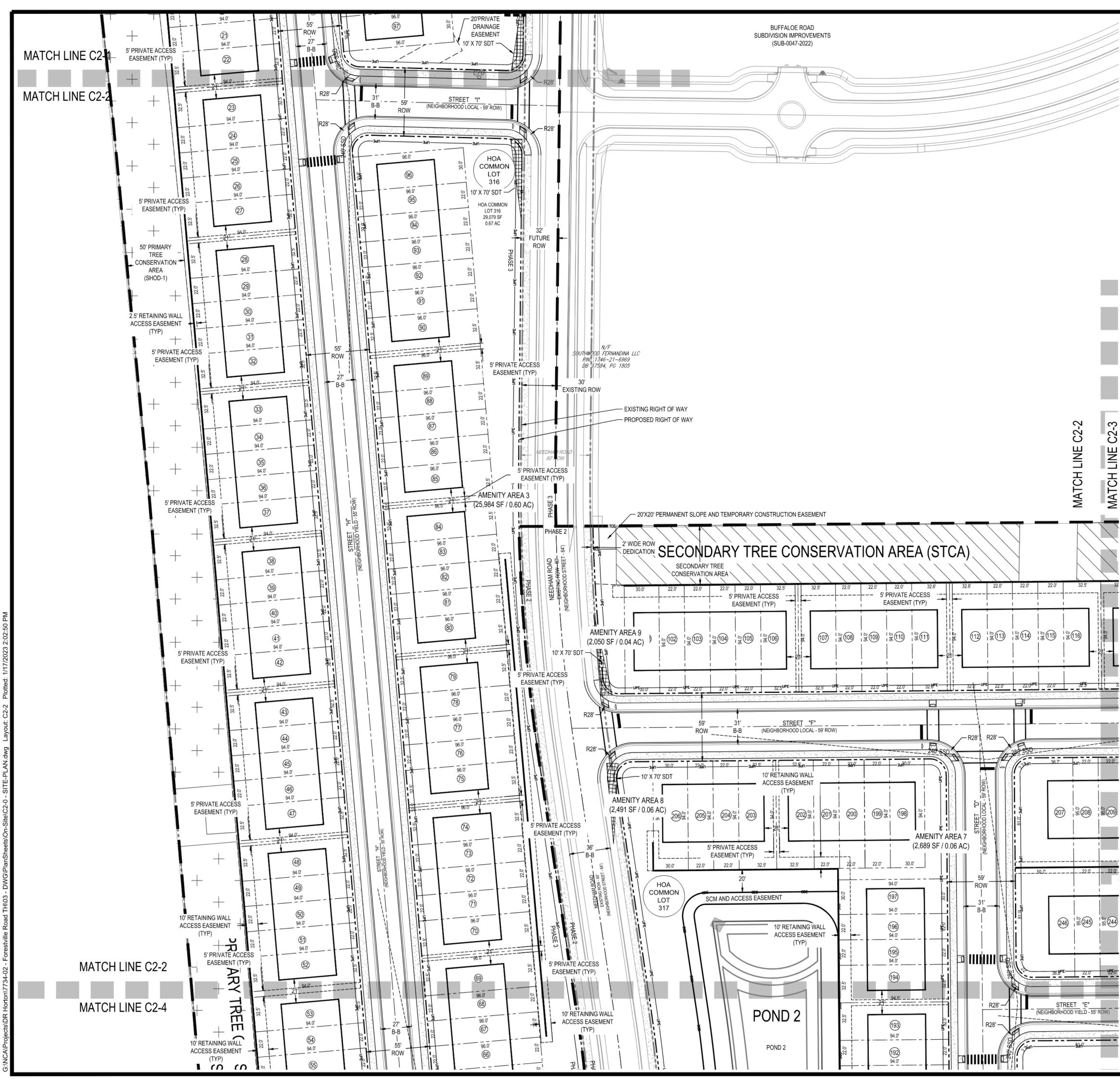
ATTENTION CONTRACTORS

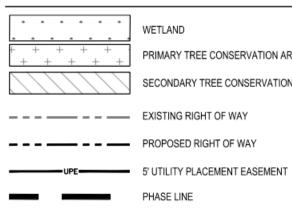
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| | 2 - REVISION 4 | 2 - REVISION 3 | 2 - REVISION 2 | 2 - REVISION 1 | | |
|------------------|---|---------------------------------------|---------------------------------------|---|--|--|
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| | 01/16/2023 | 11/23/2022 | 09/23/2022 | 07/22/2022 | DATE | |
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| | DRAWN BY: AGP REVIEWED BY: TRW <i>S440 WADE PARK BLVD, SUITE 102</i> <i>RALEIGH NC 27607</i> <i>WWW.BGEINC.COM</i> <i>NC LICENSE #C-4397</i> | | | | | |
| | DR HORTON | MORRISVILLE NC 27560 | | | | |
| FORESTVILLE ROAD | TOWNHOMES | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | 0, 3220, 3220, 3202, 3207, 0.0120 VILLE NO RALEIGH NC 27604 | |
| | FOR SUBDIVISION PLAN (1 OF 5) PRE 0, 5226, | | | | | |
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PRIMARY TREE CONSERVATION AREA SECONDARY TREE CONSERVATION AREA

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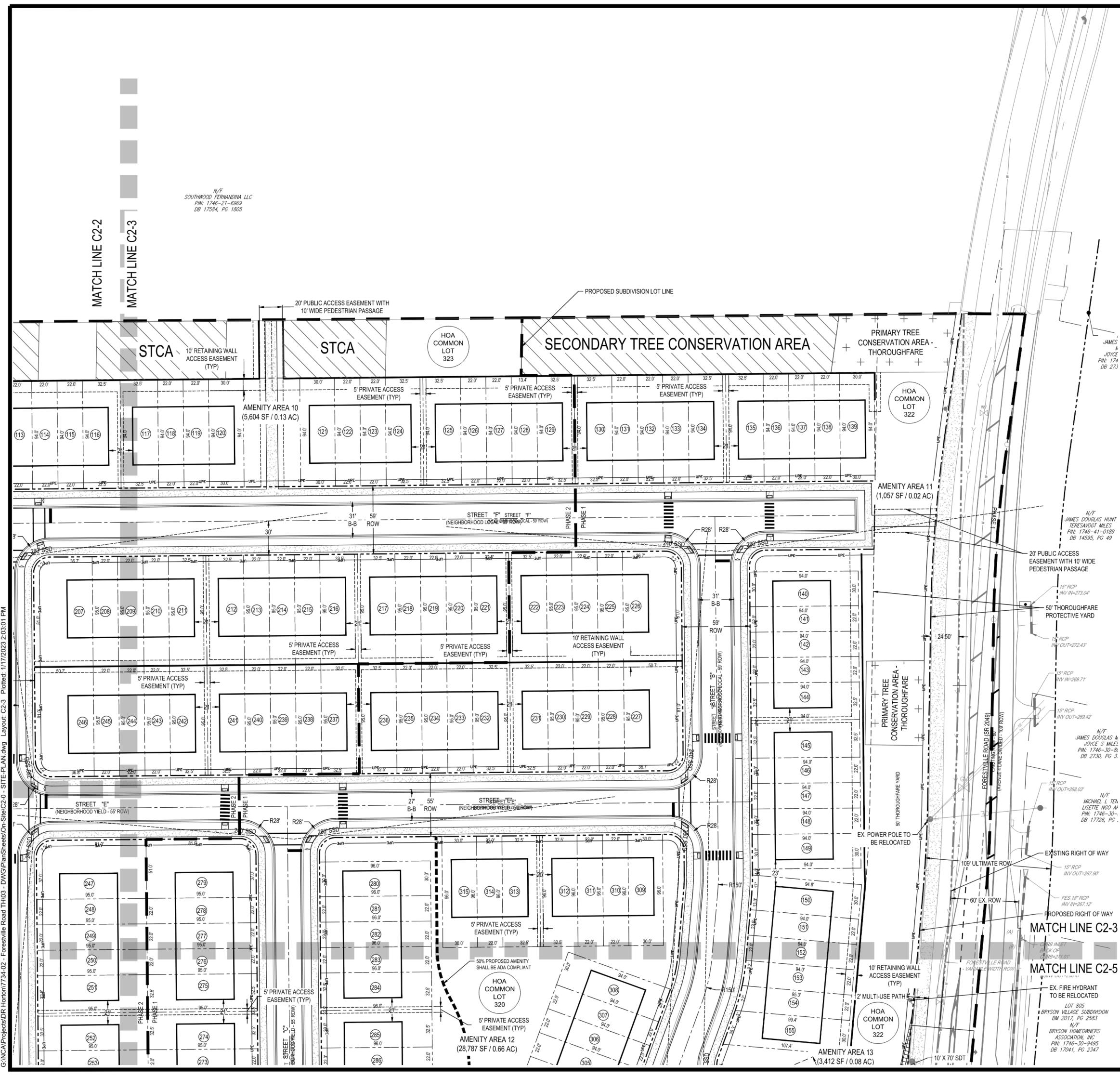
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| | 1/16/2023 | 1/23/2022 | 9/23/2022 | 7/22/2022 | DATE | |
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| | 5440 WADE PARK BLVD, SUITE 102 RALEIGH NC 27607 WWW.BGEINC.COM NC LICENSE #C-4397 | | | | | |
| | DR HORTON | | 2000 AERIAL CENTER PARKWAY STE 110 | MORRISVILLE NC 27560 | | |
| FORFSTVILLE ROAD | TOWNHOMES | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | 0, 2220, 2220, 2222, 2207 1 ONLO 1 VILLE NO RALEIGH NC 27604 | |
| FOF SUBDIVISION PLAN (2 OF 5) | | | | | | |
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DATE: 1/12/2023



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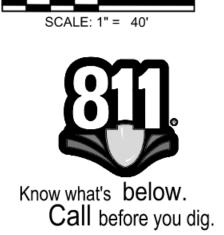
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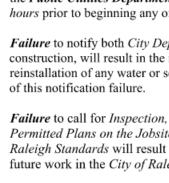
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| SUDL | PRELIMINARY SUBDIVISION PLAN | 2000 AERIAL CENTER PARKWAY STE 110 | 5440 IAVADE BADK BI VD SUITTE 402 | | 2 | 09/23/2022 | 09/23/2022 SUB-0027-2022 - REVISION 2 | |
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| | U, JZZU, JZZU, JZJZ, JZUT PONLO VILLE NU RALEIGH NC 27604 | | WWW.BGEINC.COM NC LICENSE #C-4397 ©2023 | | REV | DATE | DESCRIPTION | |

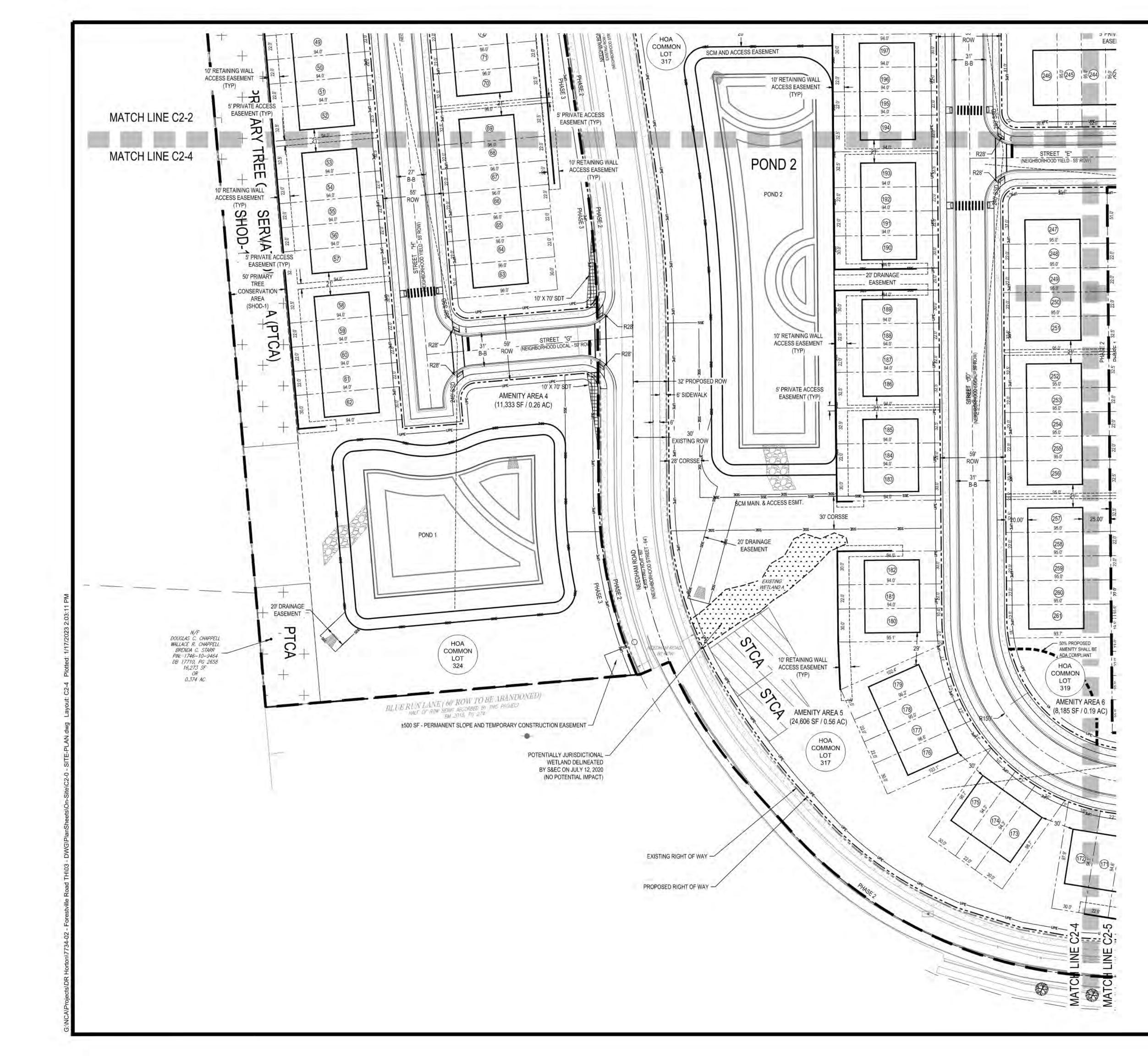
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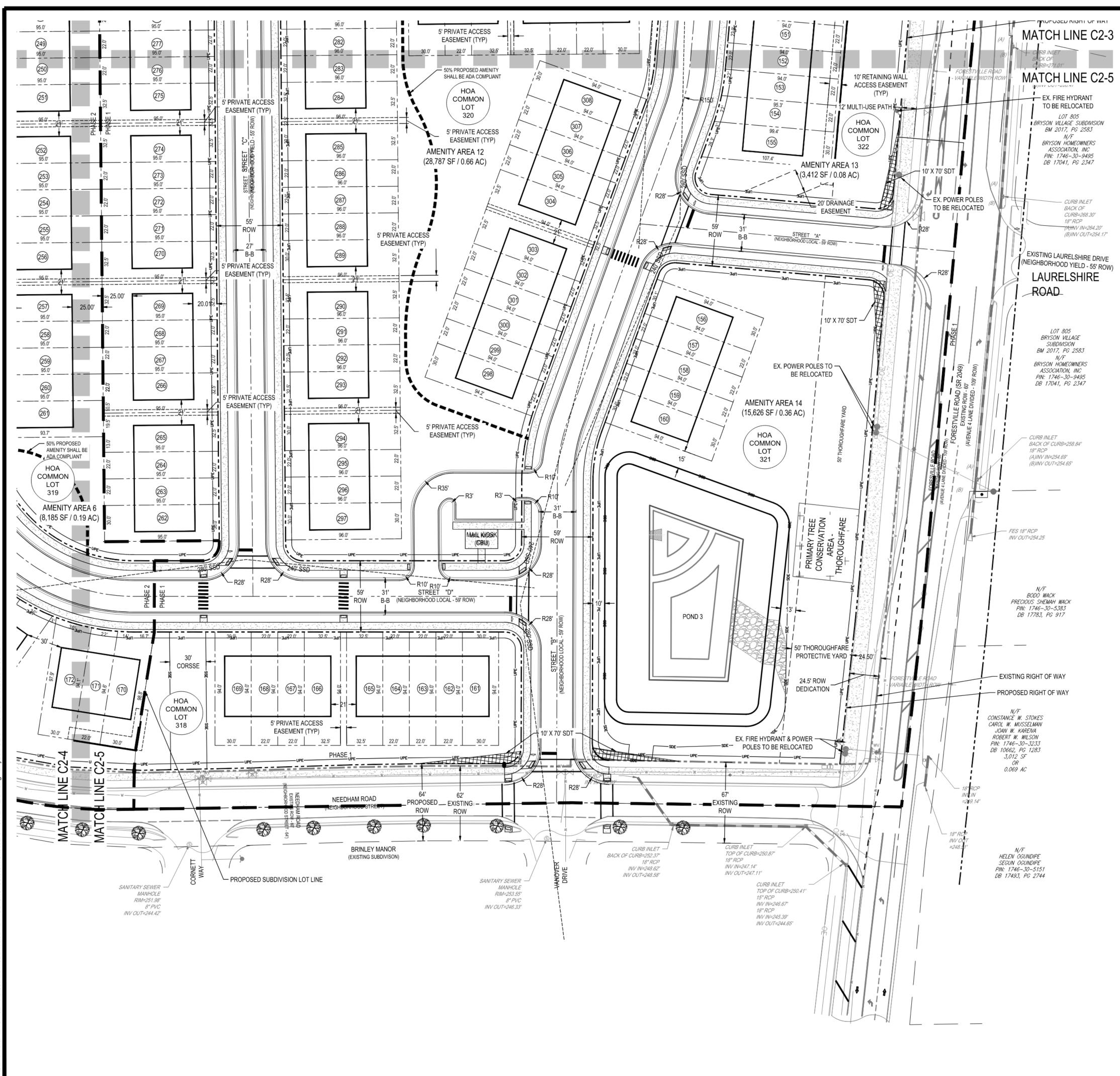
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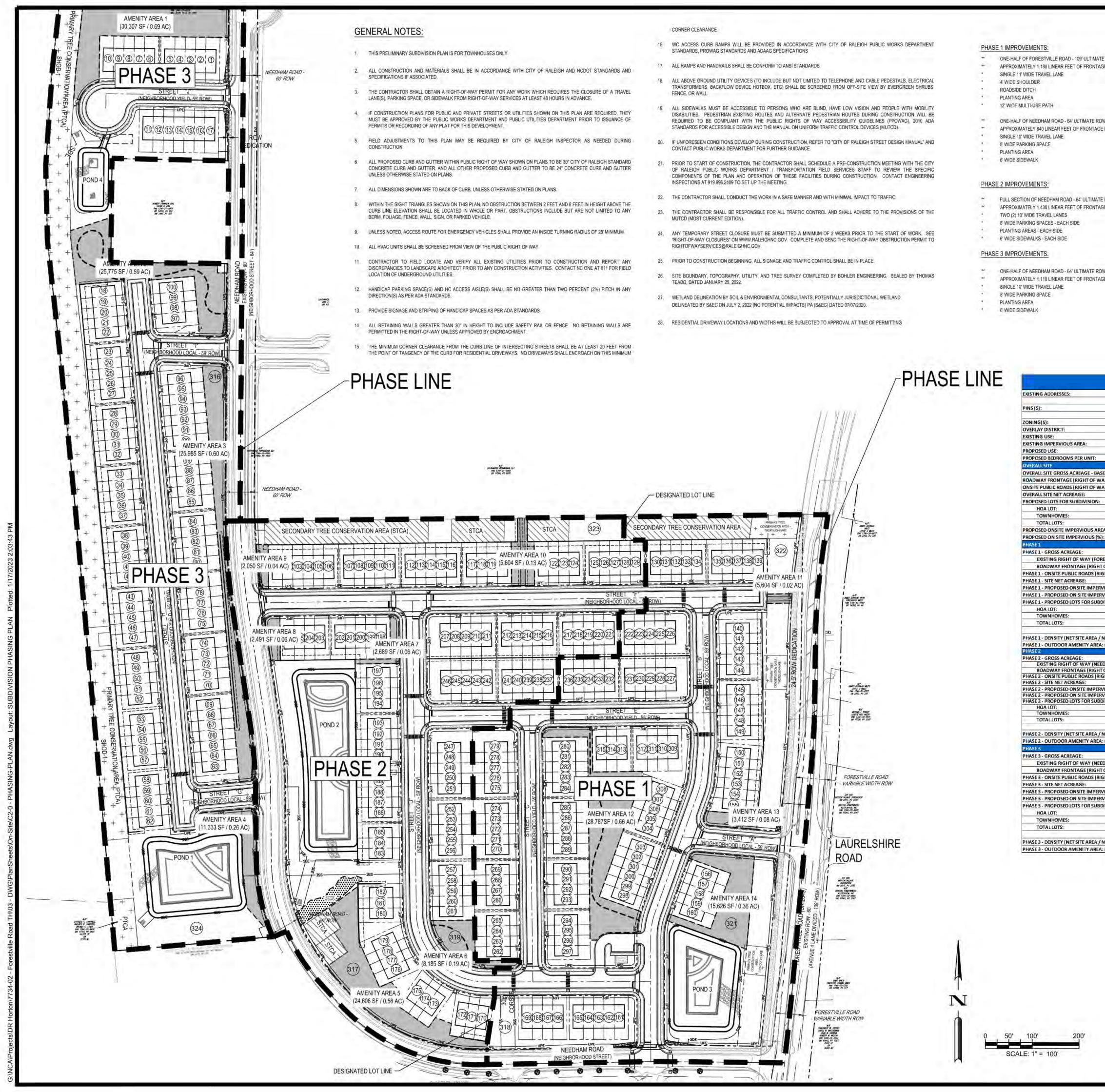
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| 4. | IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT. | DESI | - | | | JDJ | |
| 5. | FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION. | DRAV | WN B | <i>(</i> : | | AG | 2 |
| 6. | ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS. | REVI | EWE |) BY: | | TR۱ | |
| 7. | ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS. | | | | 102 | | ©2023 |
| 8. | WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. | | | | | 27607 | -4397 |
| 9. | UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM. | | h | 5 | KBIV | | SE #C |
| 10. 11. | ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY. | | | 1 | F PAR | HEIGH | LICENS |
| 12. | DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY | | • | | 5440 MADE PARK | RALEI | NCI |
| | DIRECTION(S) AS PER ADA STANDARDS. | | | | 24 | 5 | |
| 13. 14. | PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE | ⊢ | | | | | ┥ |
| | PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT. | | | | 17 | | |
| 15. | THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE. | | NC | | PARKWAY | 27560 | |
| 16. | WC ACCESS CURB RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS | | ЧЧ | | UTER 1 | E NC | |
| 17. | ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS | | C H | | L CEN | SVILLI | |
| 18. | ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL. | | DR HORTON | | 2000 AERIAL CENTER | MORRISVILLE | |
| 19. | ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). | | | | 20(| | |
| 20. | IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE. | AD | j | | ٩N | RD & LE RD | |
| 21. | PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING. | RO NO | | | ISION PL | NEEDHAM FORESTVIL | 27604 |
| 22. | THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC. | | |) | NIDBIN | 5305 N 5264 Fu | |
| 23. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION). | ∣≥ | Ż | | RY SI | , 5237,5 5232,5 | |
| 24. | ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. | DRESTVI | | - - | PRELIMINARY SUBDIVISION PLAN | 5228. 5228. | RA |
| 25. | PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE. | l C |) | | ď | 0, 5136, | |
| 26. | SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND TREE SURVEY COMPLETED BY BOHLER ENGINEERING, SEALED BY THOMAS TEABO, DATED JANUARY 25, 2022. | ⊢ | | | _ | 9 | - |
| 27. | WETLAND DELINEATION BY SOIL & ENVIRONMENTAL CONSULTANTS, POTENTIALLY JURISDICTIONAL WETLAND DELINEATED BY S&EC ON JULY 2, 2022 (NO POTENTIAL IMPACTS) PA (S&EC) DATED 07/07/2020. | | | OE E) | | | |
| 28. | RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECTED TO APPROVAL AT TIME OF PERMITTING | | | SUBDIVISION DI AN /5 | | | |
| | ATTENTION CONTRACTORS | | -11 | | 11111 | 11,,_ | |
| 20' SC/ | 40' 80' The <i>Construction Contractor</i> responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for <i>contacting the</i> Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least <i>twenty four</i> <i>hours</i> prior to beginning any of their construction. | (| | | | | |
| | Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. | L | | | | | 3 1 |
| | Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh. | | 1 | 73 | 4-0 | 3EF 2 /202 | _ |
| | | | (| 22 | 2-5 | 5 | |

SCALE: 1" = 40 Know what's below. Call before you dig.

ATTENTION CONTRACTORS



- APPROXIMATELY 640 LINEAR FEET OF FRONTAGE

APPROXIMATELY 1,430 LINEAR FEET OF FRONTAGE

| TE ROW AGE ROAD IMPROVEMENTS TO INCLUDE: | | F + + | WETLA | SITE LEGEND | TION AREA | - | | | | | |
|--|---|---|---|---|---|----------|--|-------------------|---|--|---------------------------------------|
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| AGE ROAD IMPROVEMENTS TO INCLUDE: | | | | | | | | | | 011E 102 | @2023 |
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| | SPECIAL HIGHWAY O UNDEVELOPED/ SING | VERLAY DISTRICT-1 (SHOD GLE FAMILY RESIDENTIAL 30,927.50 | 1) SF | | | | | | | | |
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| | 0.71 AC TOWNHOMES 3 | 50,22,705 | | | | | | 7 | KWAY | 20 | |
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| VAY DEDICATION): VAY DEDICATION): VAY DEDICATION): RESTVILLE ROAD AND NEEDHAM ROAD): TOF WAY DEDICATION): IGHT OF WAY DEDICATION): IGHT OF WAY DEDICATION): RVIOUS AREA: RVIOUS (%): DOIVISION: (NUMBER OF TOWNHOME UNITS): A: (10% MIN.) EEDHAM ROAD): IT OF WAY DEDICATION): RVIOUS AREA: RVIOUS AREA: RVIOUS (%): IGHT OF WAY DEDICATION): RVIOUS AREA: RVIOUS (%): IDIVISION: (NUMBER OF TOWNHOME UNITS): A: (10% MIN.) EEDHAM ROAD): IGHT OF WAY DEDICATION): RVIOUS AREA: RVIOUS (%): IGHT OF WAY DEDICATION): RVIOUS AREA: RVIOUS AREA: RVIOUS (%): | TOWNHOMES 3 42.59 AC 0.74 AC 8.40 AC 33.45 AC 9 315 324 16.45 AC 16.45 AC 38.62 % 16.02 AC 1.32 AC 0.60 AC 3.44 AC 10.66 AC 6.22 AC 10.66 AC 6.22 AC 10.66 AC 10.7 AC 10.66 AC 10.7 AC 113 | 1,855,220.40 32,159.39 365,740.47 1,457,618.64 716,546.61 716,546.61 697,951.40 57,566.05 26,151.07 149,687.49 464,546.79 270,881.50 8 8 8 8 8 8 8 8 9,536.09 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 538,669.50 | SF SF | 0.10. AC | 4,261.90 5 48,882.00 5 Provided 4,286.81 5 | SF SF | 1. | TOWNHOMES | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0 5226 5228 5232 5264 FORESTVILLE RD | RALEIGH NC 27604 |
| ASED ON BOUNDARY SURVEY (TOTAL): MAY DEDICATION): NAY DEDICATION): RAY DEDICATION): REA: REA: (*): CRESTVILLE ROAD AND NEEDHAM ROAD): (*T OF WAY DEDICATION): REA: (*): CRESTVILLE ROAD AND NEEDHAM ROAD): (*): (*): CORESTVILLE ROAD AND NEEDHAM ROAD): (*): | TOWNHOMES 3 42.59 AC 0.74 AC 8.40 AC 33.45 AC 9 315 324 16.45 AC 16.45 AC 38.62 % 16.45 AC 38.62 % 16.02 AC 1.32 AC 0.60 AC 3.44 AC 10.66 AC 6.22 AC 42.30 % 0.07 AC 10.66 AC 10.66 AC 10.66 AC 10.7 AC 109 113 113 109 113 109 12.55 AC 10.04 AC 3 105 109 3 109 109 109 109 109 109 109 109 1004 AC | 1,855,220.40 32,159.39 365,740.47 1,457,618.64 716,546.61 716,546.61 697,951.40 57,566.05 26,151.07 149,687.49 464,546.79 270,881.50 8 8 8 8 8 8 8 8 9,536.09 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.69 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 4,364.79 110,560.59 538,669.50 | SF SF | 0.10. AC | 4,261.90 5 48,882.00 9 48,882.00 9 48,882.00 9 48,882.00 9 48,882.00 9 9 9 9 45,625.00 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 | SF SF | 1. | TOWNHOMES | | 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0 5226 5228 5232 5264 FORESTVILLE RD | RALEIGH NC 27604 |

ATTENTION CONTRACTORS

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FILE NUMBER

7734-02

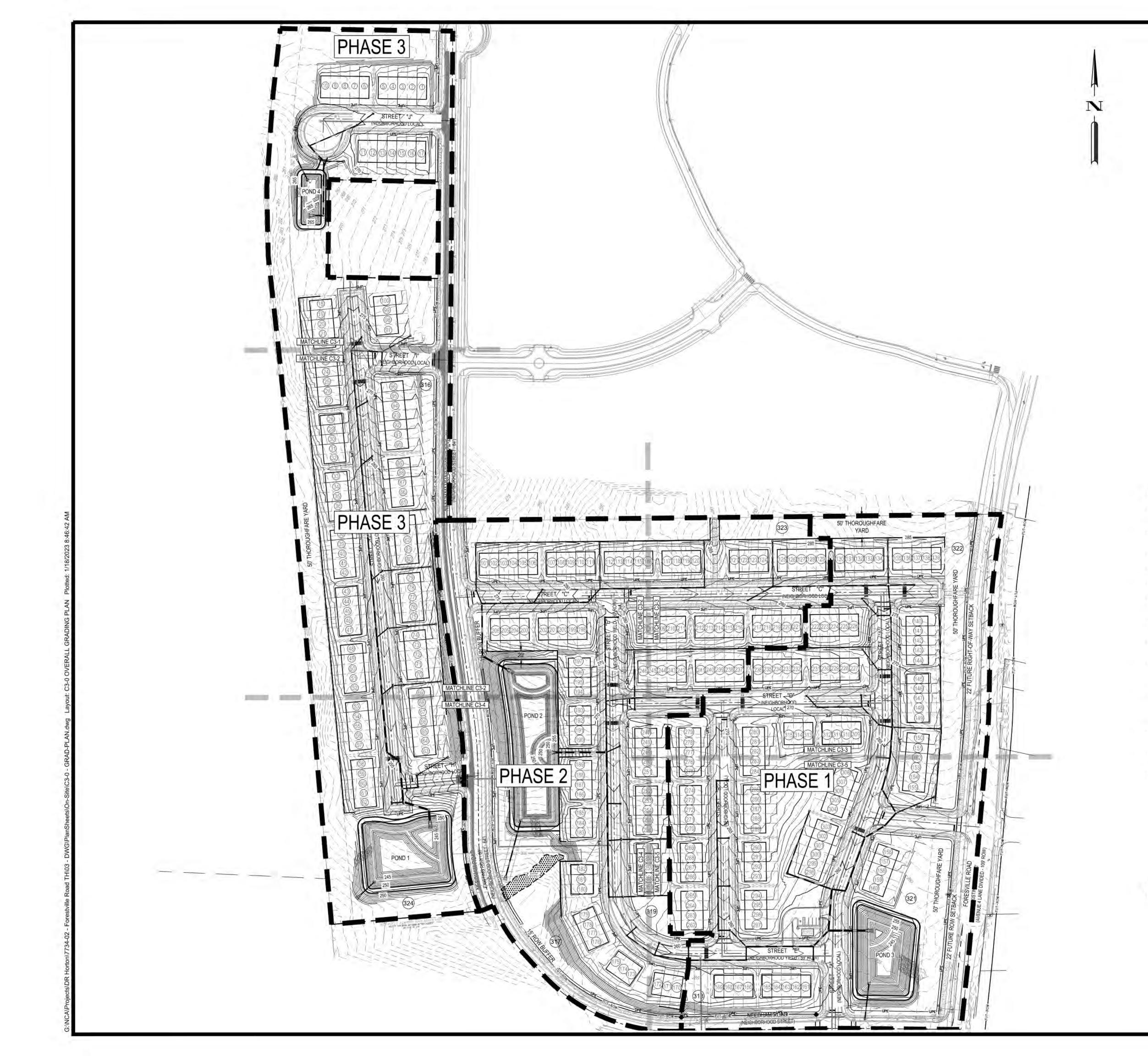
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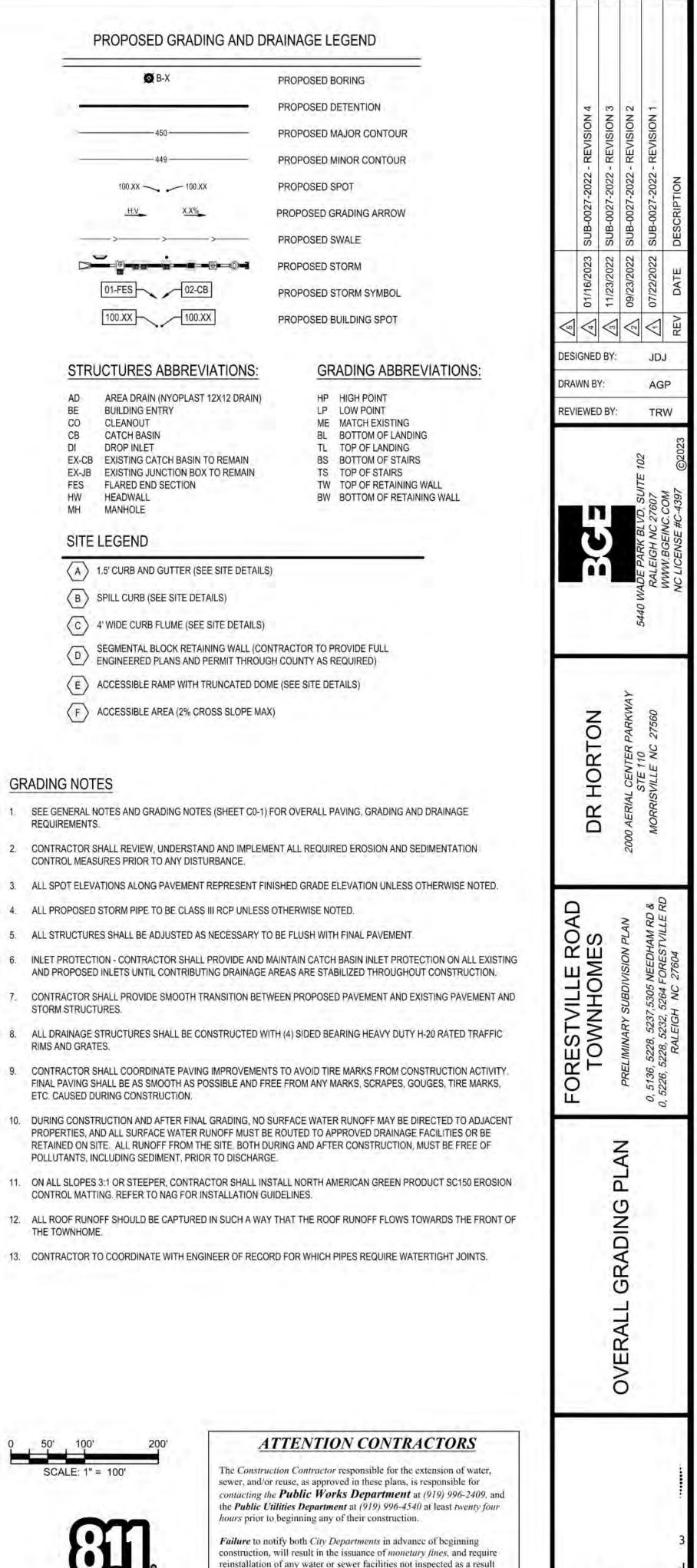
C2-6

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Fuilure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.







construction, will result in the issuance of *monetary fines*, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

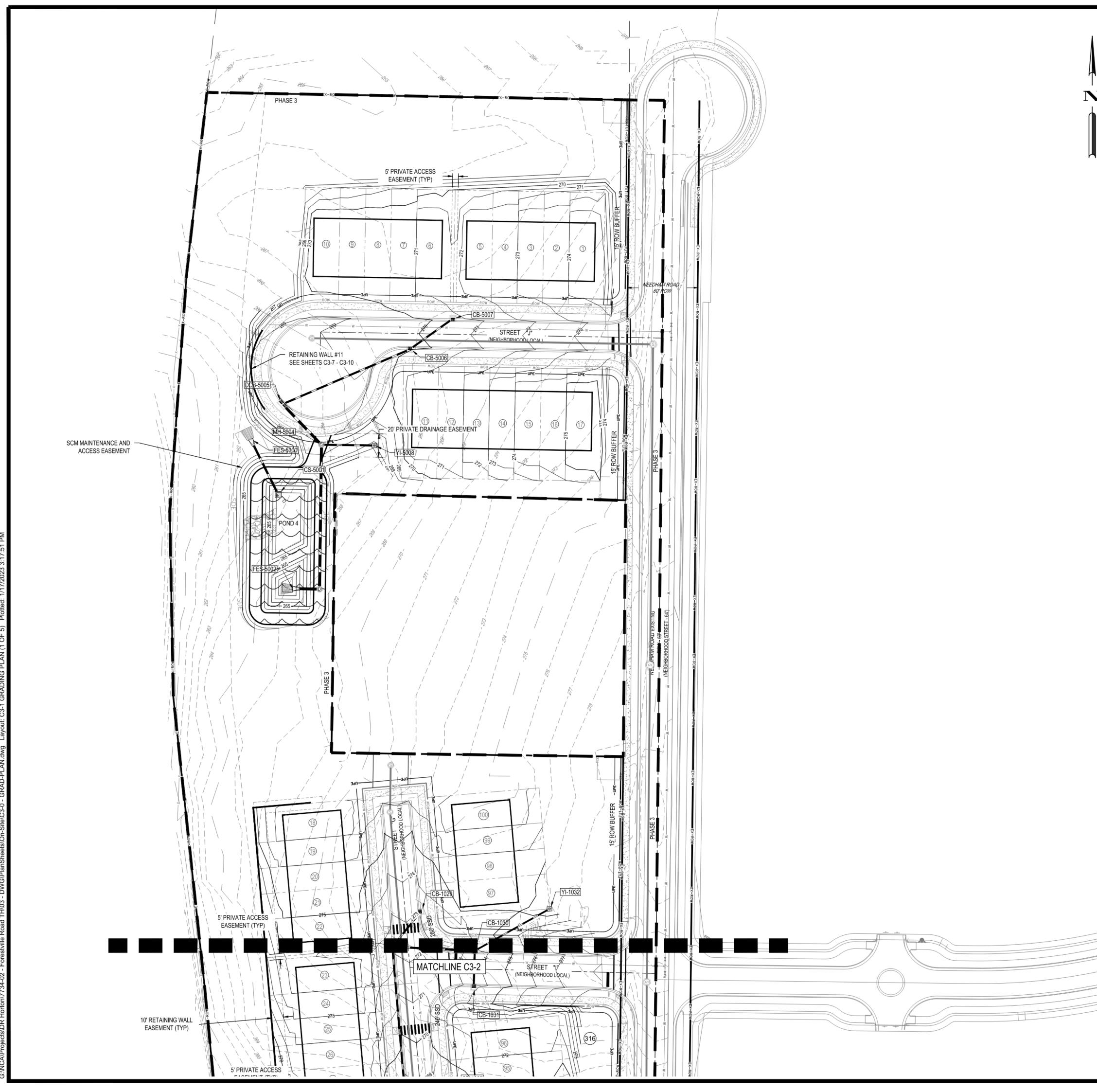
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

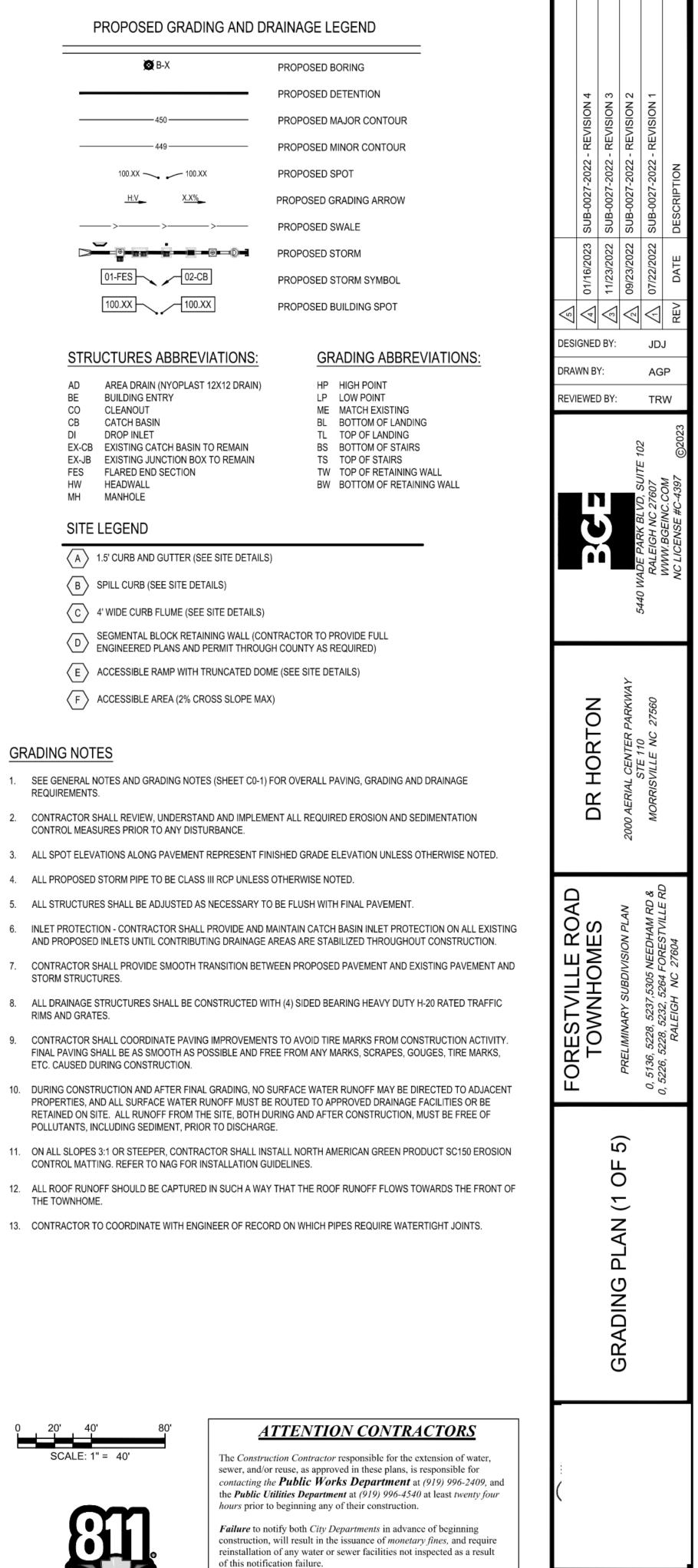
C3-0

FILE NUMBER:

DATE: 1/12/2023

7734-02





| Know what's | |
|-------------|---------------|
| Call be | fore you dig. |

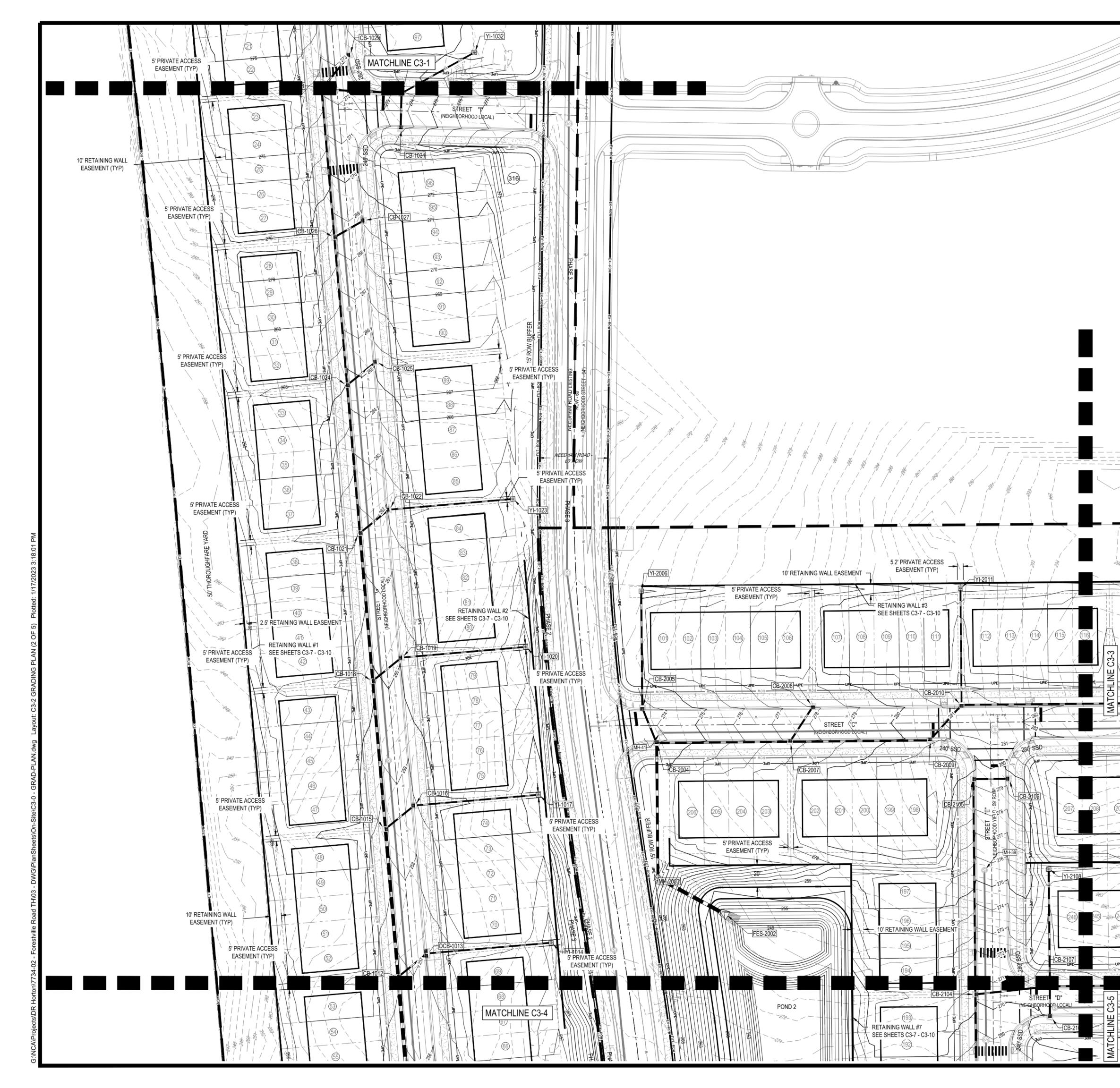
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

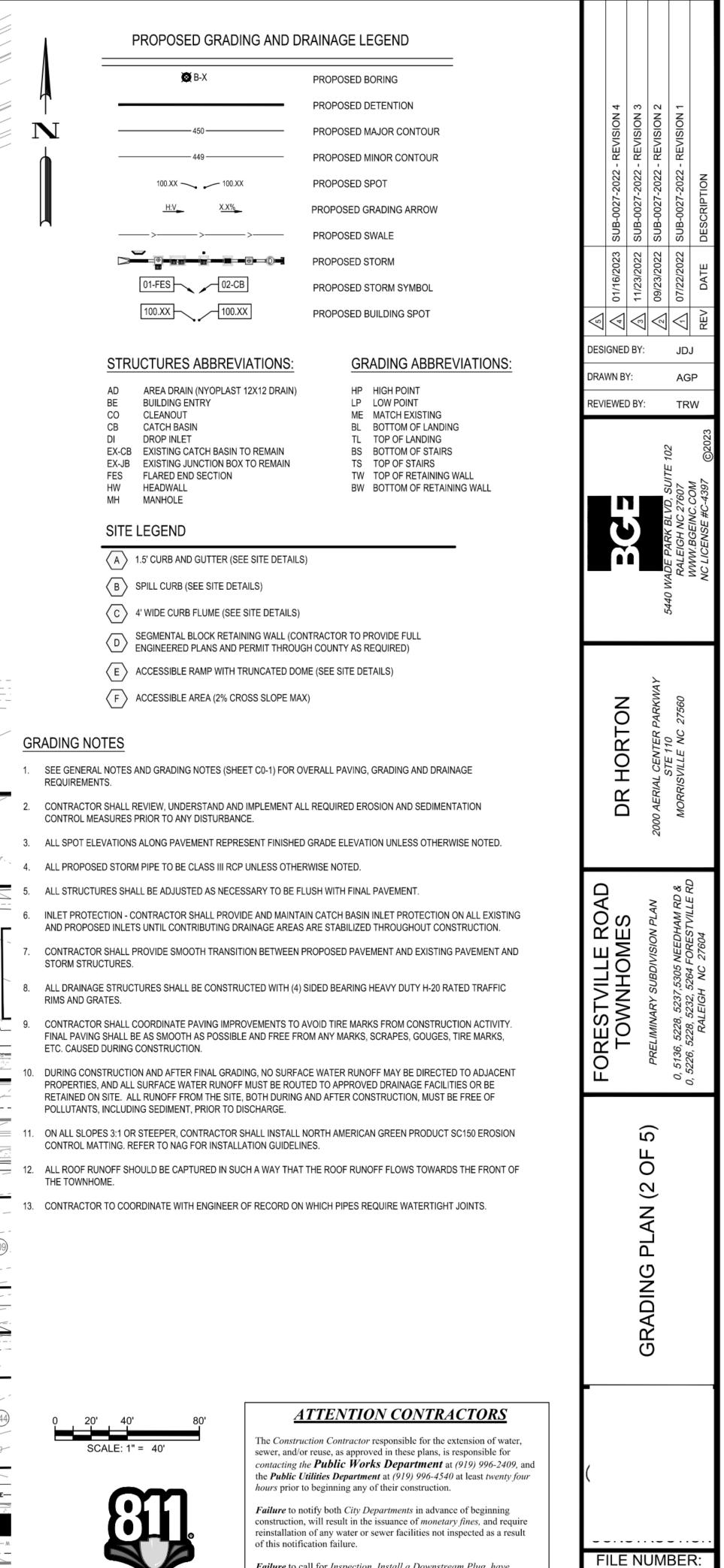
C3-1

DATE: 1/12/2023

FILE NUMBER:

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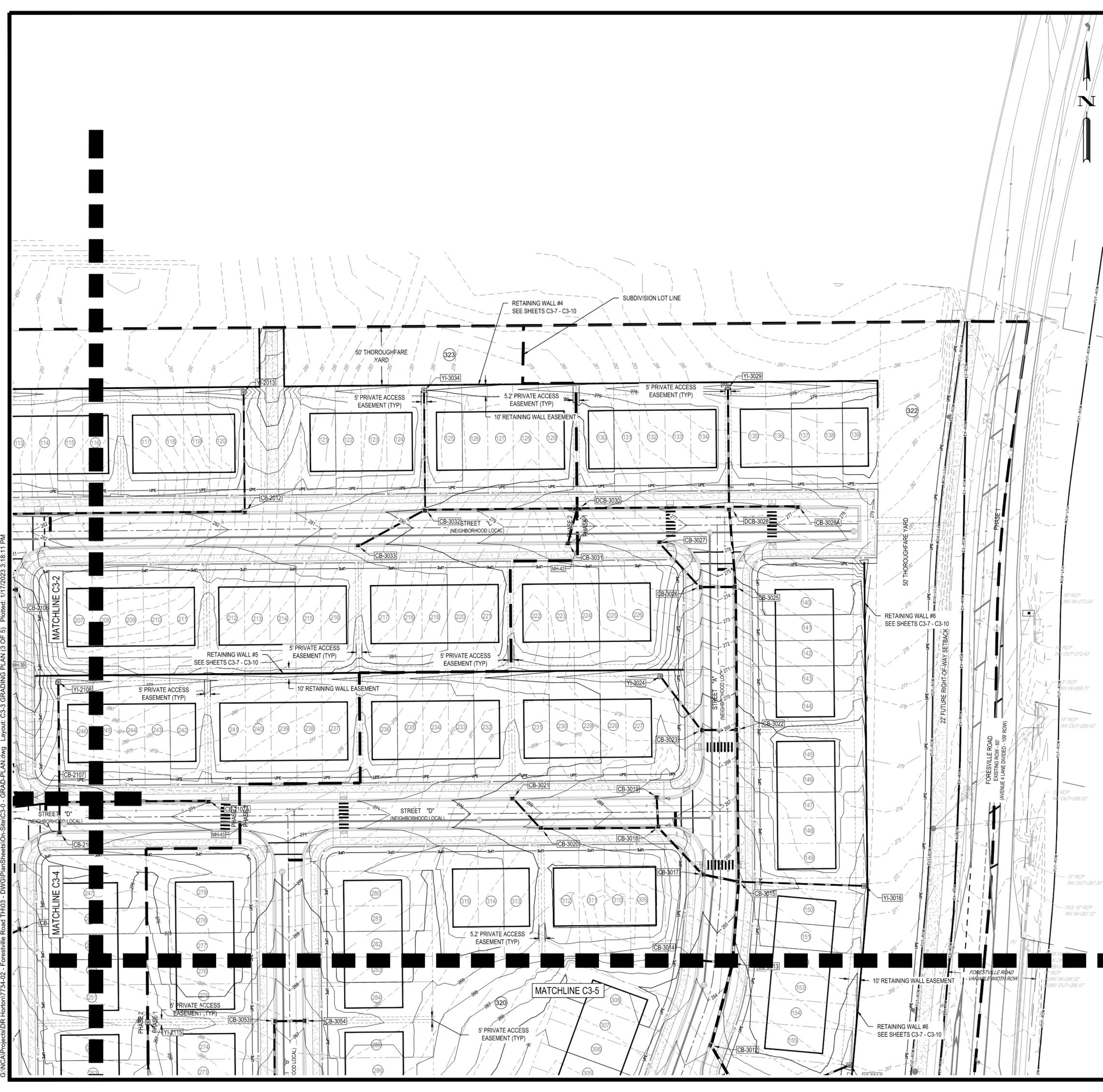


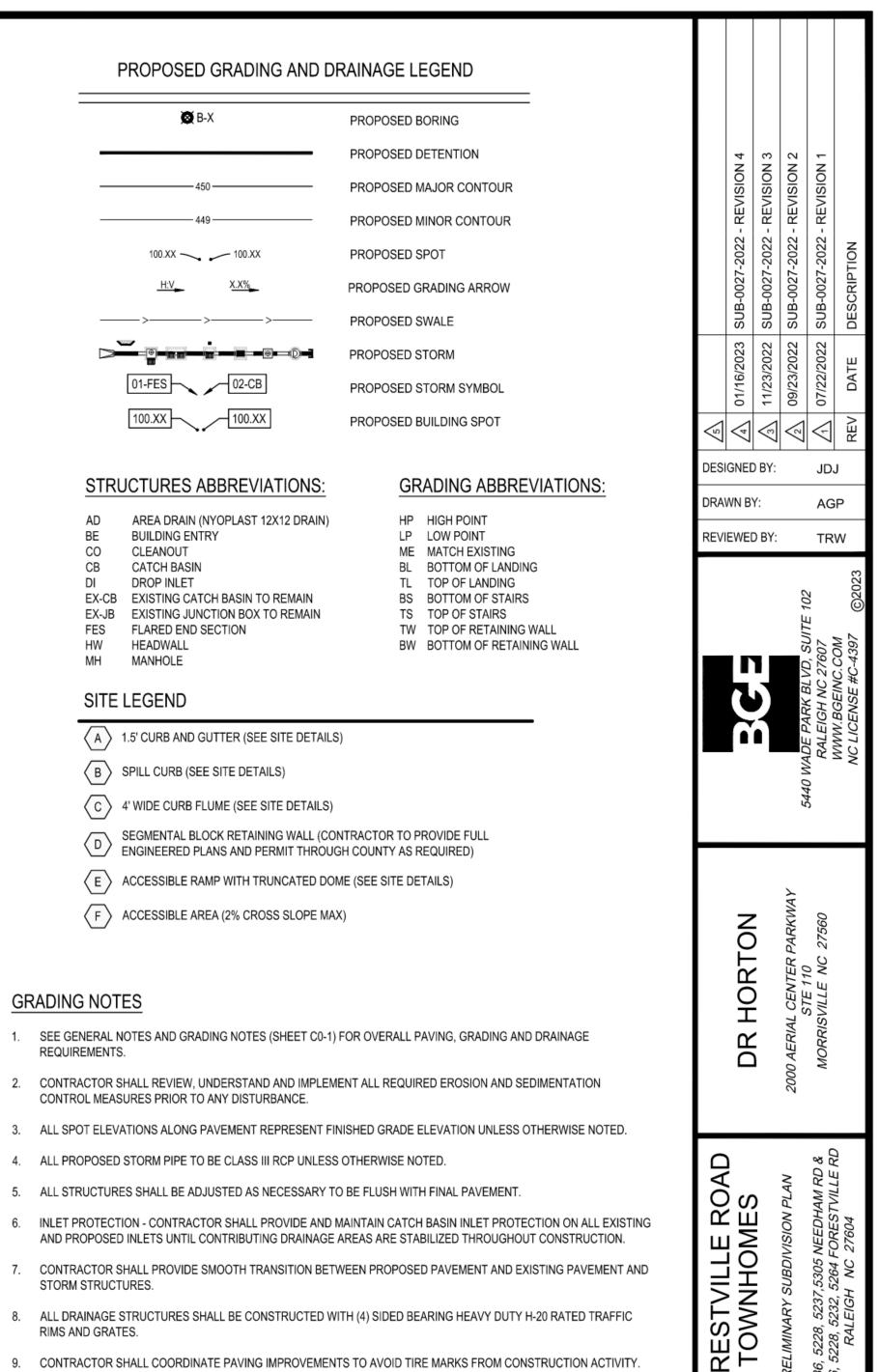
Failure to call for *Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite,* or any other *Violation of City of Raleigh Standards* will result in a *Fine and Possible Exclusion* from future work in the *City of Raleigh.*

7734-02

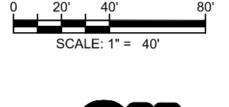
C3-2

DATE: 1/12/2023





- 6. INLET PROTECTION CONTRACTOR SHALL PROVIDE AND MAINTAIN CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED THROUGHOUT CONSTRUCTION.
- 7. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
- 8. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
- 9. CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION.
- 10. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- 11. ON ALL SLOPES 3:1 OR STEEPER, CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN PRODUCT SC150 EROSION CONTROL MATTING. REFER TO NAG FOR INSTALLATION GUIDELINES.
- 12. ALL ROOF RUNOFF SHOULD BE CAPTURED IN SUCH A WAY THAT THE ROOF RUNOFF FLOWS TOWARDS THE FRONT OF THE TOWNHOME.
- 13. CONTRACTOR TO COORDINATE WITH ENGINEER OF RECORD ON WHICH PIPES REQUIRE WATERTIGHT JOINTS.



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

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DATE: 1/12/2023 C3-3

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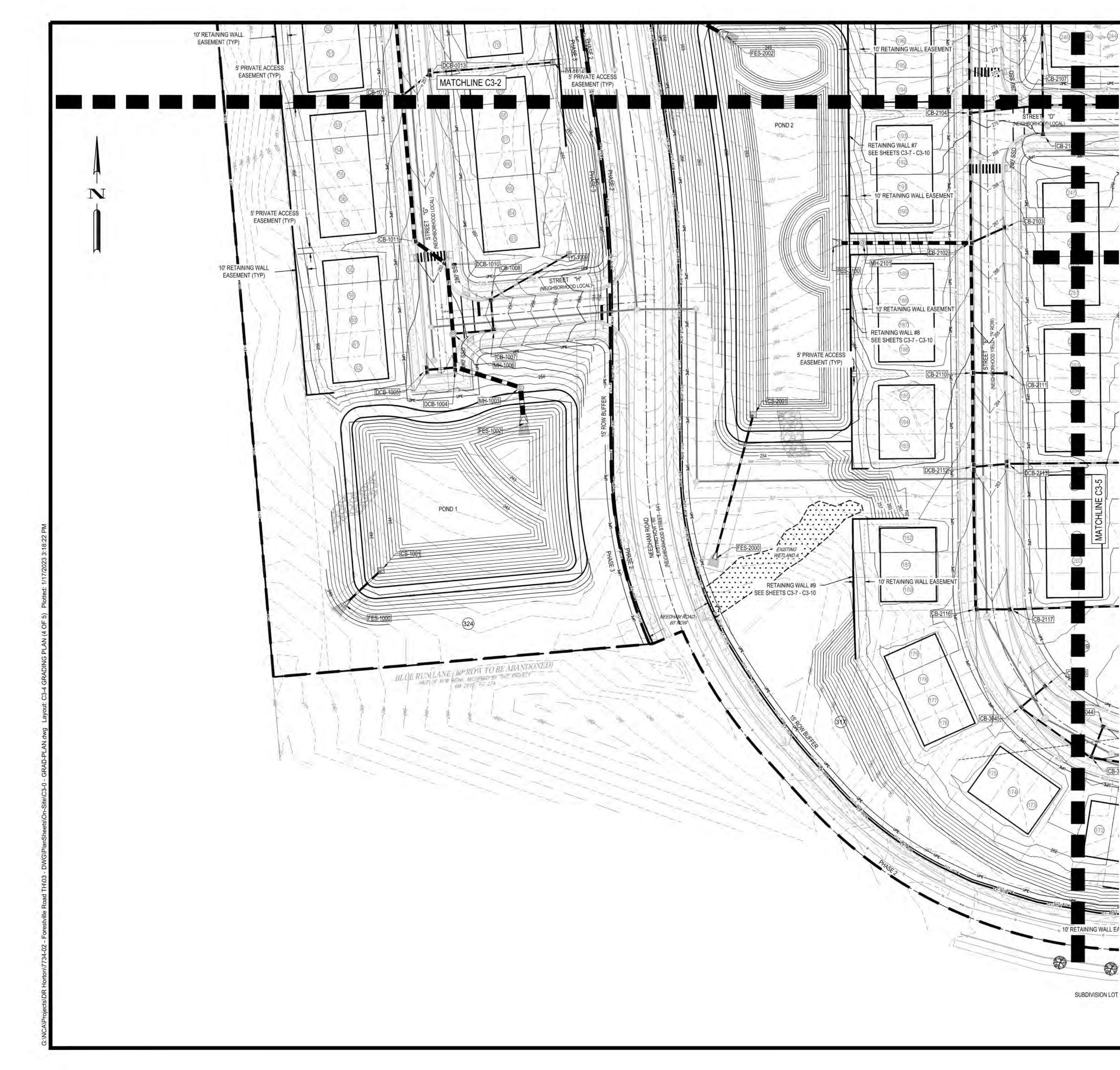
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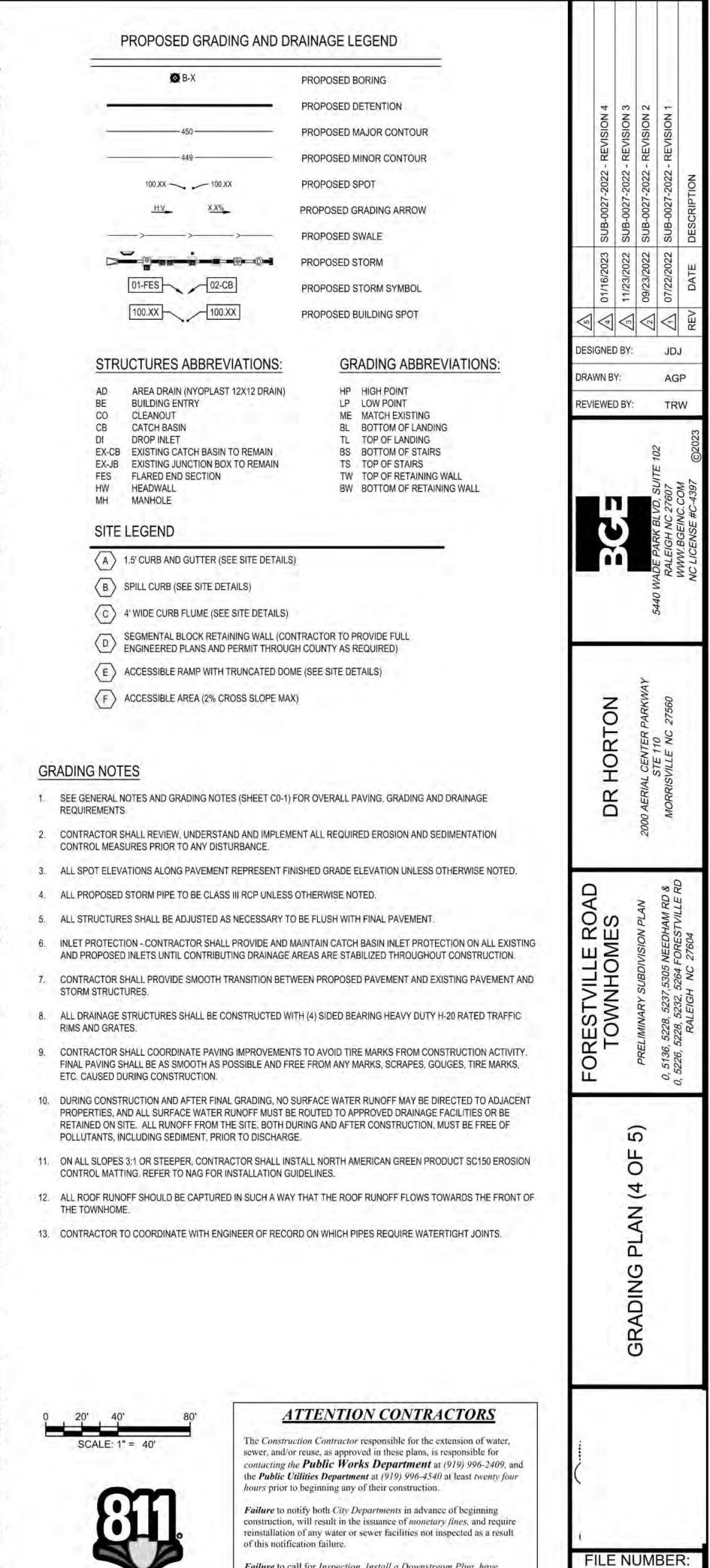
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GRADING



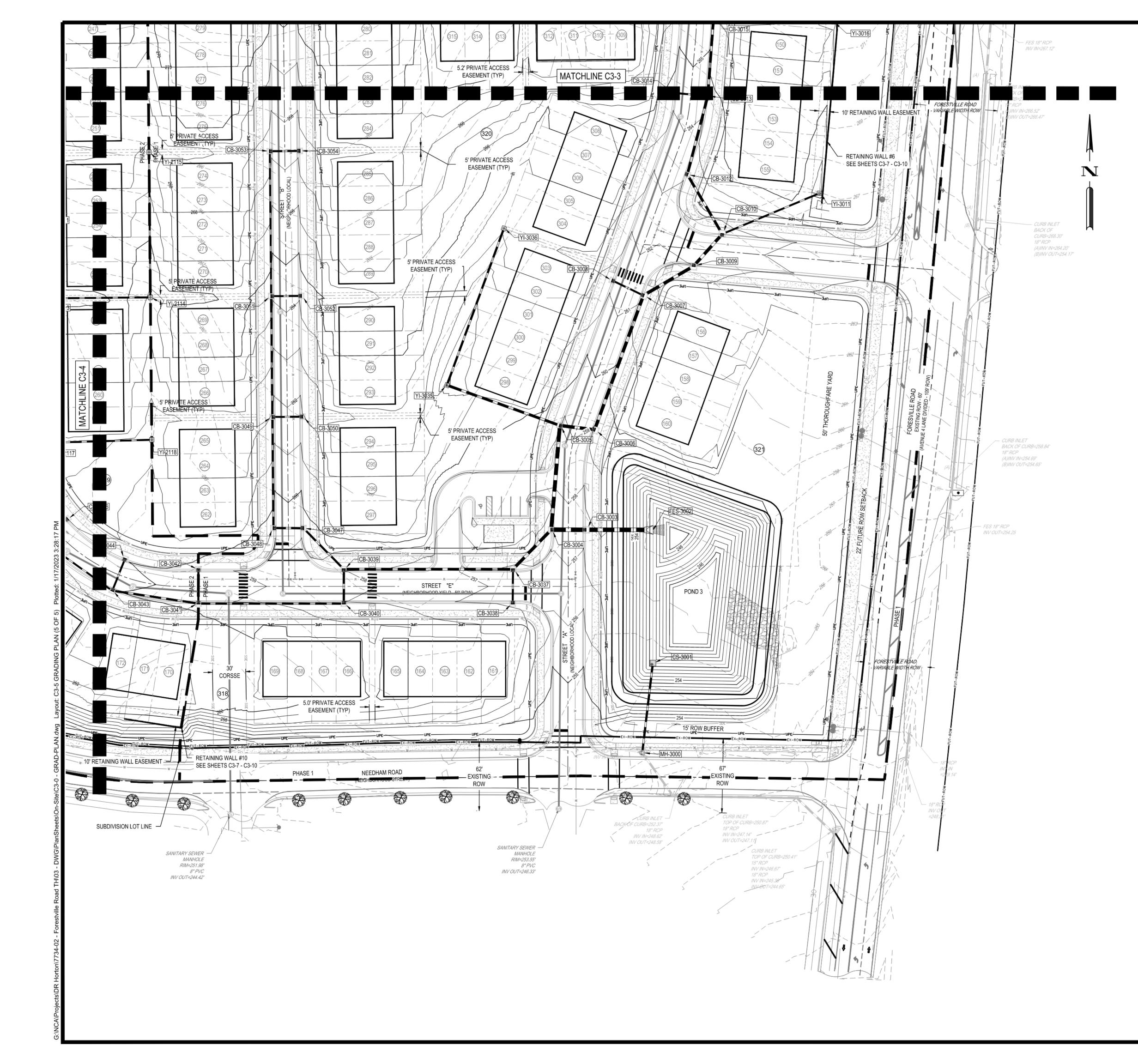


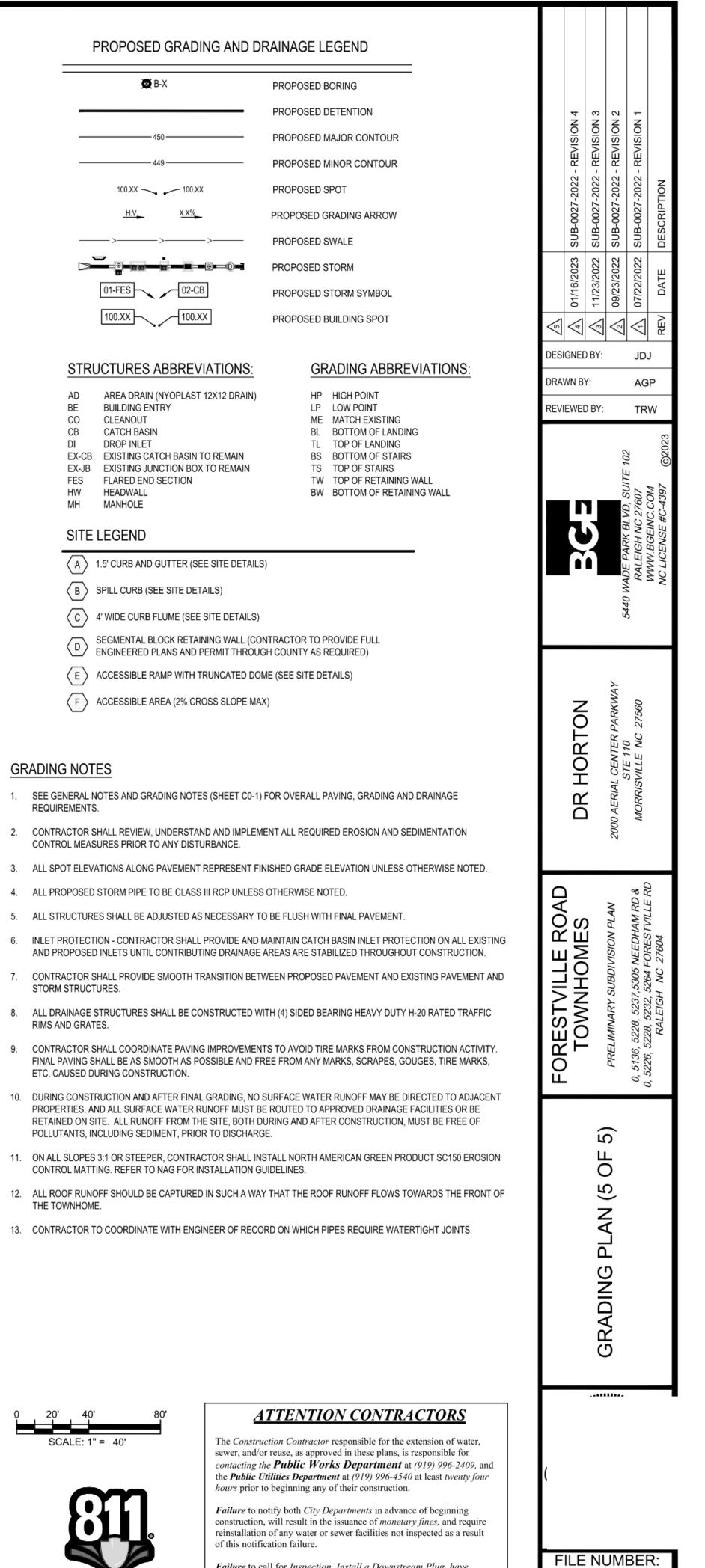
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

7734-02

DATE: 1/12/2023

C3-4





Failure to call for *Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite,* or any other *Violation of City of Raleigh Standards* will result in a *Fine and Possible Exclusion* from future work in the *City of Raleigh*.

Know what's below.

Call before you dig.

C3-5

7734-02

DATE: 1/12/2023

| | | | STRUC | CTURE DATA | TABLE | | | |
|-------------------|--------------|-----------------|---------------------------|-------------|------------------|----------------------------|-------------------|---------------------|
| STRUCTURE NAME | RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OUT TO NODE |
| CB-1007 | 256.00 | 15" | 248.26 (N) | 248.16 (W) | 15" | 36.49 | 0.49% | MH-1006 |
| CB-1008 | 256.00 | 12" | 250.59 (NE) | 248.56 (S) | 15" | 28.00 | 1.07% | CB-1007 |
| CB-1011 | 255.57 | 36" | 248.27 (N) | 248.17 (SE) | 36* | 35.40 | 0.50% | DCB-1010 |
| CB-1012 | 257.11 | 15" 30" | 249.03 (NE) 249.03 (N) | 248.93 (S) | 36" | 131.00 | 0.50% | CB-1011 |
| CB-1015 | 258.66 | 15" 24" | 250.00 (NE) 253.10 (N) | 249.68 (S) | 30" | 131.00 | 0.50% | CB-1012 |
| CB-1016 | 258.88 | 12" | 253.80 (E) | 250.65 (SW) | 15" | 32.69 | 2.00% | CB-1015 |
| CB-1018 | 260.21 | 15" 24" | 255.46 (NE) 254.65 (N) | 254.55 (S) | 24" | 131.00 | 1.11% | CB-1015 |
| CB-1019 | 260.43 | 12" | 255.73 (E) | 255.63 (SW) | 15" | 32.69 | 0.50% | CB-1018 |
| CB-1021 | 261.94 | 15" 18" | 256.65 (NE) 256.40 (N) | 256.30 (S) | 24" | 131.00 | 1.26% | CB-1018 |
| CB-1022 | 262.27 | 12" | 257.25 (E) | 257.00 (SW) | 15" | 32.69 | 1.07% | CB-1021 |
| CB-1024 | 264.95 | 15" 15" | 260.09 (NE) 259.65 (N) | 259.40 (S) | 18" | 131.00 | 2.29% | CB-1021 |
| CB-1025 | 265.48 | | | 260.25 (SW) | 15" | 32.69 | 0.50% | CB-1024 |
| CB-1026 | 268.75 | 15" 15" | 263.50 (NE) 263.50 (N) | 263.40 (S) | 15" | 131.00 | 2.86% | CB-1024 |
| CB-1027 | 269.11 | | | 263.75 (SW) | 15" | 29.80 | 0.84% | CB-1026 |
| CB-1028 | 272.54 | 15" 15" | 267.25 (NE) 267.25 (E) | 267.15 (S) | 15" | 131.00 | 2.79% | CB-1026 |
| CB-1029 | 273.35 | | | 268.10 (SW) | 15" | 38.90 | 2.19% | CB-1028 |
| CB-1030 | 273.80 | 15" 12" | 268.40 (S) 268.80 (NE) | 268.30 (W) | 15" | 70.66 | 1.49% | CB-1028 |
| CB-1031 | 273.80 | | | 268.55 (N) | 15" | 31.00 | 0.50% | CB-1030 |
| CS-1001 | 250.50 | | | 244.25 (SW) | 18" | 45.25 | 0.55% | FES-1000 |
| DCB-1004 | 254.20 | 36" 18" | 247.33 (N) 247.33 (W) | 247.23 (E) | 42" | 60.71 | 0.50% | MH-1003 |

| SCM #1 | STRUCTURE NETWORK |
|--------|-------------------|
| | |

| | | | STRUC | CTURE DATA | TABLE | | | |
|-------------------|--------------|-----------------|--------------------------|-------------|------------------|----------------------------|-------------------|---------------------|
| STRUCTURE NAME | RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OUT TO NODE |
| DCB-1005 | 254.20 | | | 247.60 (E) | 18" | 27.00 | 1.00% | DCB-1004 |
| DCB-1010 | 255.30 | 36" | 247.99 (NW) | 247.89 (S) | 36" | 62.67 | 0.50% | MH-1006 |
| DCB-1013 | 257.33 | 12" | 252.30 (E) | 250.76 (SW) | 15" | 32.69 | 5.30% | CB-1012 |
| FES-1000 | 246.21 | 18" | 244.00 (NE) | | | | | |
| FES-1002 | 251.33 | 48" | 246.50 (N) | | | | | |
| MH-1003 | 252.63 | 42" | 246.93 (W) | 246.83 (S) | 48" | 32.59 | 1.00% | FES-1002 |
| MH-1006 | 254.37 | 36" 15" | 247.58 (N) 247.98 (E) | 247.48 (S) | 36" | 30.27 | 0.50% | DCB-1004 |
| YI-1009 | 255.08 | | | 251.00 (SW) | 12" | 81.23 | 0.50% | CB-1008 |
| YI-1014 | 257.54 | | | 253.50 (W) | 12" | 109.99 | 1.09% | DCB-1013 |
| YI-1017 | 259.04 | | | 255.00 (W) | 12" | 109.99 | 1.09% | CB-1016 |
| YI-1020 | 260.62 | | | 256.60 (W) | 12" | 109.99 | 0.79% | CB-1019 |
| YI-1023 | 262.35 | | | 258.15 (W) | 12" | 110.00 | 0.82% | CB-1022 |
| YI-1032 | 274.19 | | | 270.00 (SW) | 12" | 73.53 | 1.63% | CB-1030 |

SCM #3 STRUCTURE NETWORK

| | | | STRUC | TURE DATA | TABLE | | | |
|-------------------|--------------|-------------------|--|-------------|------------------|----------------------------|-------------------|---------------------|
| STRUCTURE NAME | RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OUT TO NODE |
| CB-3003 | 257.67 | 42" | 250.21 (W) | 250.11 (E) | 42" | 60.99 | 1.00% | FES-3002 |
| CB-3004 | 257.67 | 36" 30" | 251.00 (N) 250.95 (SW) | 250.37 (E) | 42* | 31.01 | 0.50% | CB-3003 |
| CB-3005 | 259.22 | 30" 24" | 252.38 (E) 254.61 (W) | 252.28 (S) | 36* | 94.33 | 1.36% | CB-3004 |
| CB-3006 | 259.31 | 30" | 252.80 (N) | 252.70 (W) | 30" | 31.65 | 1.00% | CB-3005 |
| CB-3007 | 261.51 | 30" 15" | 255.00 (NE) 255.94 (NW) | 254.90 (S) | 30" | 128.94 | 1.63% | CB-3006 |
| CB-3008 | 261.56 | | | 256.25 (SE) | 15" | 31.16 | 1.00% | CB-3007 |
| CB-3009 | 262.40 | 30* | 255.71 (NE) | 255.61 (SW) | 30" | 52.51 | 1.16% | CB-3007 |
| CB-3010 | 262.65 | 15" 24" | 257.35 (NE) 256.60 (NW) | 256.10 (SW) | 30" | 38.72 | 1.00% | CB-3009 |
| CB-3012 | 263.47 | 24" | 257.40 (N) | 257.30 (SE) | 24" | 62.22 | 1.13% | CB-3010 |
| CB-3013 | 264.65 | 24" 15" | 258.60 (N) 259.04 (W) | 258.50 (S) | 24* | 73.36 | 1.50% | CB-3012 |
| CB-3014 | 264.65 | | | 259.35 (E) | 15" | 31.00 | 1.00% | CB-3013 |
| CB-3015 | 265.83 | 12" 18" 18" | 260.80 (E) 260.30 (N) 259.98 (W) | 259.80 (S) | 24* | 70.52 | 1.70% | CB-3013 |
| CB-3017 | 265.94 | 18" | 261.05 (NW) | 260.30 (E) | 18" | 31.69 | 1.00% | CB-3015 |
| CB-3018 | 267.47 | 15" 15" | 262.15 (W) 261.98 (N) | 262.13 (SE) | 18" | 55.62 | 1.94% | CB-3017 |
| CB-3019 | 267.49 | | | 262.25 (S) | 15" | 27.03 | 1.00% | CB-3018 |
| CB-3020 | 269.12 | 15" | 263.85 (NW) | 263.75 (E) | 15" | 101.16 | 1.58% | CB-3018 |
| CB-3021 | 269.52 | | | 264.25 (SE) | 15" | 36.30 | 1.10% | CB-3020 |
| CB-3022 | 269.15 | 18" 15" | 263.65 (N) 263.61 (W) | 262.16 (S) | 18" | 131.05 | 1.42% | CB-3015 |
| CB-3023 | 269.15 | 15" | 263.82 (NW) | 263.82 (E) | 15" | 31.00 | 0.68% | CB-3022 |
| CB-3025 | 274.63 | 18" 18" | 266.44 (N) 268.79 (W) | 266.09 (S) | 18" | 123.31 | 1.98% | CB-3022 |

| | | | STRUC | TURE DATA | TABLE | | | |
|-------------------|--------------|-----------------|---------------------------|-------------|------------------|----------------------------|-------------------|-------------------|
| STRUCTURE NAME | RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OU TO NOD |
| CB-3026 | 274.63 | 15" | 269.35 (NW) | 269.10 (E) | 18" | 31.00 | 1.00% | CB-302 |
| CB-3027 | 277.28 | | | 271.95 (SE) | 15" | 51.58 | 5.04% | CB-302 |
| CB-3028A | 277.34 | | | 271.65 (W) | 15" | 59.22 | 0.56% | DCB-302 |
| CB-3031 | 278.38 | | | 273.75 (N) | 15" | 32.10 | 2.49% | DCB-303 |
| CB-3032 | 279.94 | 15" 12" | 274.65 (SW) 274.90 (N) | 274.55 (E) | 15" | 131.00 | 1.07% | DCB-303 |
| CB-3033 | 280.68 | | | 275.35 (NE) | 15" | 65.93 | 1.06% | CB-303 |
| CB-3037 | 256.85 | 24" 15" | 251.30 (W) 251.50 (S) | 251.20 (NE) | 30" | 49.61 | 0.50% | CB-300 |
| CB-3038 | 256.85 | | | 252.05 (N) | 15" | 31.00 | 1.77% | CB-303 |
| CB-3039 | 258.38 | 18" 18" | 253.05 (S) 253.01 (NW) | 252.80 (E) | 24" | 152.60 | 0.98% | CB-303 |
| CB-3040 | 258.38 | 18" | 253.30 (W) | 253.20 (N) | 18" | 31.00 | 0.50% | CB-303 |
| CB-3041 | 259.69 | 18" 15" | 254.60 (W) 254.70 (N) | 254.50 (E) | 18" | 131.21 | 0.91% | CB-304 |
| CB-3042 | 259.69 | | | 254.85 (S) | 15" | 31.00 | 0.50% | CB-304 |
| CB-3043 | 260.42 | 15" 15" | 255.50 (N) 255.51 (NW) | 255.40 (E) | 18" | 78.47 | 1.02% | CB-304 |
| CB-3044 | 260.41 | | | 255.65 (S) | 15" | 31.00 | 0.50% | CB-304 |
| CB-3045 | 261.02 | 15" | 256.00 (NE) | 255.90 (SE) | 15" | 77.28 | 0.50% | CB-304 |
| CB-3046 | 260.99 | | | 256.15 (SW) | 15" | 30.00 | 0.50% | CB-304 |
| CB-3047 | 259.57 | 18" | 253.63 (W) | 253.53 (SE) | 18" | 51.97 | 1.00% | CB-303 |
| CB-3048 | 259.58 | 18" | 254.00 (N) | 253.90 (E) | 18" | 27.00 | 1.00% | CB-304 |
| CB-3049 | 261.92 | 15" 18" | 256.38 (E) 256.40 (N) | 256.28 (S) | 18" | 100.19 | 2.28% | CB-304 |
| CB-3050 | 261.92 | | | 256.65 (W) | 15" | 27.00 | 1.00% | CB-304 |

SCM #2 STRUCTURE NETWORK

| | | | STRUC | CTURE DATA | TABLE | | | | STRUCTURE DATA TABLE | | | | | | | | |
|-------------------|--------------|-------------------|--|-------------|------------------|----------------------------|-------------------|---------------------|----------------------|----------------|-----------------|--------------------------|-------------|------------------|----------------------------|-------------------|-------------------|
| STRUCTURE NAME | RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OUT TO NODE | STRUCTUR NAME | E RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OU TO NOD |
| CB-2004 | 274.06 | 15" 18" | 267.79 (N) 268.50 (E) | 267.04 (S) | 24" | 119.00 | 7.59% | MH-2003 | DCB-2112 | 263.41 | 15" 24" | 257.74 (E) 255.66 (S) | 255.56 (N) | 30" | 84.48 | 0.50% | CB-2110 |
| CB-2005 | 273.69 | 15" | 268.22 (N) | 268.12 (S) | 15" | 33.40 | 1.00% | CB-2004 | DCB-2113 | 263.44 | 15" | 258.15 (E) | 258.05 (W) | 15" | 31.10 | 1.00% | DCB-211 |
| CB-2007 | 277.55 | 18" 15" | 271.34 (E) 272.25 (NE) | 271.24 (W) | 18" | 117.61 | 2.33% | CB-2004 | FES-2000 | 248.75 | 18" | 246.00 (N) | | | | | |
| CB-2008 | 278.16 | | | 272.85 (SW) | 15" | 37.20 | 1.61% | CB-2007 | FES-2002 | 257.33 | 36" | 253.50 (NW) | | | | | |
| CB-2009 | 280.84 | 15" | 272.82 (NE) | 272.57 (W) | 18" | 123.28 | 1.00% | CB-2007 | FES-2100 | 257.33 | 36" | 253.50 (E) | | | | | |
| CB-2010 | 281.48 | 12" | 276.27 (N) | 273.24 (SW) | 15" | 42.04 | 1.00% | CB-2009 | MH-2003 | 272.17 | 24" | 258.01 (N) | 257.01 (SE) | 36" | 70.12 | 5.00% | FES-200 |
| CB-2010 | 201.40 | 15" | 273.34 (E) | . , | | 42.04 | 1.00% | CB-2009 | MH-2101 | 259.54 | 36" | 253.87 (E) | 253.77 (W) | 36" | 26.88 | 1.00% | FES-210 |
| CB-2012 | 281.91 | 12" | 275.97 (N) | 275.72 (W) | 15" | 237.60 | 1.00% | CB-2010 | YI-2006 | 273.57 | | | 269.25 (S) | 15" | 102.97 | 1.00% | CB-200 |
| CB-2102 | 266.78 | 18" 15" | 261.20 (N) 261.45 (NE) | 254.36 (W) | 36" | 97.12 | 0.50% | MH-2101 | YI-2011 | 281.37 | | | 277.30 (S) | 12" | 103.00 | 1.00% | CB-201 |
| | | 30" | 254.46 (S) | | | | | | YI-2013 | 281.05 | | | 277.00 (S) | 12" | 103.00 | 1.00% | CB-2012 |
| CB-2103 | 267.12 | | | 261.85 (SW) | 15" | 33.87 | 1.18% | CB-2102 | YI-2108 | 270.52 | | | 266.25 (S) | 15" | 103.50 | 1.16% | CB-210 |
| CB-2104 | 270.63 | 15" 15" | 265.35 (N) 264.02 (E) | 263.77 (S) | 18" | 116.50 | 2.21% | CB-2102 | YI-2114 | 263.82 | 15" | 259.55 (N) | 259.45 (W) | 15" | 109.00 | 1.19% | DCB-211 |
| CB-2105 | 279.64 | 15" | 274.04 (E) | 273.94 (S) | 15" | 190.00 | 4.52% | CB-2104 | YI-2115 | 266.81 | | | 262.55 (S) | 15" | 131.00 | 2.29% | YI-2114 |
| CB-2106 | 279.65 | | | 274.35 (W) | 15" | 30.99 | 1.00% | CB-2105 | YI-2118 | 261.33 | | | 257.20 (W) | 15" | 107.59 | 0.50% | CB-2117 |
| CB-2107 | 270.39 | 15" 15" 15" | 264.78 (E) 264.78 (S) 265.05 (N) | 264.68 (W) | 15" | 66.06 | 1.00% | CB-2104 | | | | | | | | | |
| CB-2107A | 271.35 | | | 266.05 (W) | 15" | 128.50 | 0.99% | CB-2107 | | | | | | | | | |
| CB-2109 | 270.39 | | | 265.05 (N) | 15" | 27.00 | 1.00% | CB-2107 | | | | | | | | | |
| CB-2110 | 264.51 | 30" 15" | 255.14 (S) 259.04 (E) | 255.04 (N) | 30" | 116.52 | 0.50% | CB-2102 | | | | | | | | | |
| CB-2111 | 264.62 | | | 259.35 (W) | 15" | 30.51 | 1.00% | CB-2110 | | | | | | | | | |
| CB-2116 | 262.03 | 15" | 256.40 (E) | 256.30 (N) | 24" | 127.81 | 0.50% | DCB-2112 | | | | | | | | | |
| CB-2117 | 261.96 | 15" | 256.66 (E) | 256.56 (W) | 15" | 31.30 | 0.50% | CB-2116 | | | | | | | | | |
| CS-2001 | 249.21 | | | 247.00 (S) | 18" | 134.23 | 0.75% | FES-2000 | | | | | | | | | |

| | | | STRU | CTURE DATA | A TABLE | | | |
|-------------------|--------------|-------------------|--|-------------|------------------|----------------------------|-------------------|---------------------|
| STRUCTURE NAME | RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OUT TO NODE |
| CB-3051 | 264.46 | 15" 15" | 258.88 (E) 259.15 (N) | 258.78 (S) | 18" | 109.01 | 2.18% | CB-3049 |
| CB-3052 | 264.46 | | | 259.15 (W) | 15" | 27.00 | 1.00% | CB-3051 |
| CB-3053 | 267.51 | 15" | 261.98 (E) | 261.88 (S) | 15" | 130.80 | 2.09% | CB-3051 |
| CB-3054 | 267.51 | | | 262.25 (W) | 15" | 27.00 | 1.00% | CB-3053 |
| CS-3001 | 256.00 | | | 249.50 (S) | 18" | 81.49 | 0.52% | MH-3000 |
| DCB-3028 | 276.84 | 15" 15" 15" | 271.32 (N) 271.54 (W) 271.32 (E) | 268.50 (S) | 18" | 69.17 | 2.98% | CB-3025 |
| DCB-3030 | 278.27 | 15" 15" | 272.95 (S) 273.15 (W) | 273.05 (E) | 15" | 130.95 | 1.15% | DCB-3028 |
| FES-3002 | 253.02 | 42" | 249.50 (W) | | | | | |
| MH-3000 | 251.11 | 18" | 249.08 (N) | | | | | |
| YI-3011 | 263.40 | | | 259.15 (SW) | 15" | 95.05 | 1.89% | CB-3010 |
| YI-3016 | 266.17 | | | 262.10 (W) | 12" | 108.27 | 1.20% | CB-3015 |
| YI-3024 | 267.55 | | | 264.20 (SE) | 15" | 58.28 | 0.65% | CB-3023 |
| YI-3029 | 276.64 | | | 272.35 (S) | 15" | 103.00 | 1.00% | DCB-3028 |
| YI-3034 | 280.03 | | | 276.00 (S) | 12" | 103.00 | 1.07% | CB-3032 |
| YI-3035 | 259.86 | 18" | 256.80 (N) | 253.65 (E) | 24" | 108.15 | -0.89% | CB-3005 |
| YI-3036 | 263.11 | | | 255.20 (S) | 18" | 150.50 | -1.06% | YI-3035 |



| | STRUCTURE DATA TABLE | | | | | | | | | | | |
|-------------------|----------------------|-----------------|---------------------------|-------------|------------------|----------------------------|-------------------|---------------------|--|--|--|--|
| STRUCTURE NAME | RIM ELEV. | PIPE IN SIZE | INV. IN | INV. OUT | PIPE OUT SIZE | PIPE OUT LENGTH (LF) | PIPE OUT SLOPE | PIPE OUT TO NODE | | | | |
| CB-5006 | 269.95 | 15" | 265.20 (NE) | 265.10 (SW) | 15" | 118.78 | 1.25% | DCB-5005 | | | | |
| CB-5007 | 270.77 | | | 266.00 (SW) | 15" | 45.38 | 1.76% | CB-5006 | | | | |
| CS-5001 | 265.50 | | | 262.50 (NW) | 18" | 52.75 | 0.95% | FES-5000 | | | | |
| DCB-5005 | 268.36 | 15" | 263.61 (NE) | 262.86 (SE) | 24" | 48.19 | 0.50% | MH-5004 | | | | |
| FES-5000 | 264.21 | 18" | 262.00 (SE) | | | | | | | | | |
| FES-5002 | 264.44 | 24" | 261.00 (E) | | | | | | | | | |
| MH-5003 | 267.00 | 24" | 261.33 (N) | 261.23 (W) | 24" | 23.00 | 1.00% | FES-5002 | | | | |
| MH-5004 | 268.51 | 24" 15" | 262.62 (NW) 263.06 (E) | 262.52 (S) | 24" | 123.64 | 0.96% | MH-5003 | | | | |
| YI-5008 | 267.19 | | | 264.26 (W) | 15" | 45.21 | 2.65% | MH-5004 | | | | |

SCM #4 STRUCTURE NETWORK

| | VISION 4 | VISION 3 | VISION 2 | VISION 1 | | | | | | | |
|------------------|--|---------------------------------------|---------------------------------------|---|--|--|--|--|--|--|--|
| | 01/16/2023 SUB-0027-2022 - REVISION 4 | 11/23/2022 SUB-0027-2022 - REVISION 3 | 09/23/2022 SUB-0027-2022 - REVISION 2 | 1 07/22/2022 SUB-0027-2022 - REVISION 1 | DESCRIPTION | | | | | | |
| | 01/16/2023 | 11/23/2022 | 09/23/2022 | 07/22/2022 | DATE | | | | | | |
| \searrow | 4 | $\overline{\mathbf{i}}$ | 2 | $\overline{\langle}$ | REV | | | | | | |
| DESI | GNEE | | | JD | J | | | | | | |
| | WN B` | | | AG | P | | | | | | |
| REVI | EWE |) BY: | | TR | | | | | | | |
| | 5440 WADE PARK BL VD, SUITE 102 RALEIGH NC 27607 WWW.BGEINC.COM NC LICENSE #C-4397 (©2023 | | | | | | | | | | |
| | DR HORTON | | 2000 AERIAL CENTER PARKWAY STE 110 | MORRISVILLE NC 27560 | | | | | | | |
| FORFSTVILLE ROAD | | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | 0, 3220, 3220, 3232, 3237 1 01231 VILLE ND RALEIGH NC 27604 | | | | | | |
| | | STORM DRAINAGE PIPE | AND STRUCTURE TABLES | | | | | | | | |
| ► F | 7 | | JMI 4-0 | 2 | २: | | | | | | |

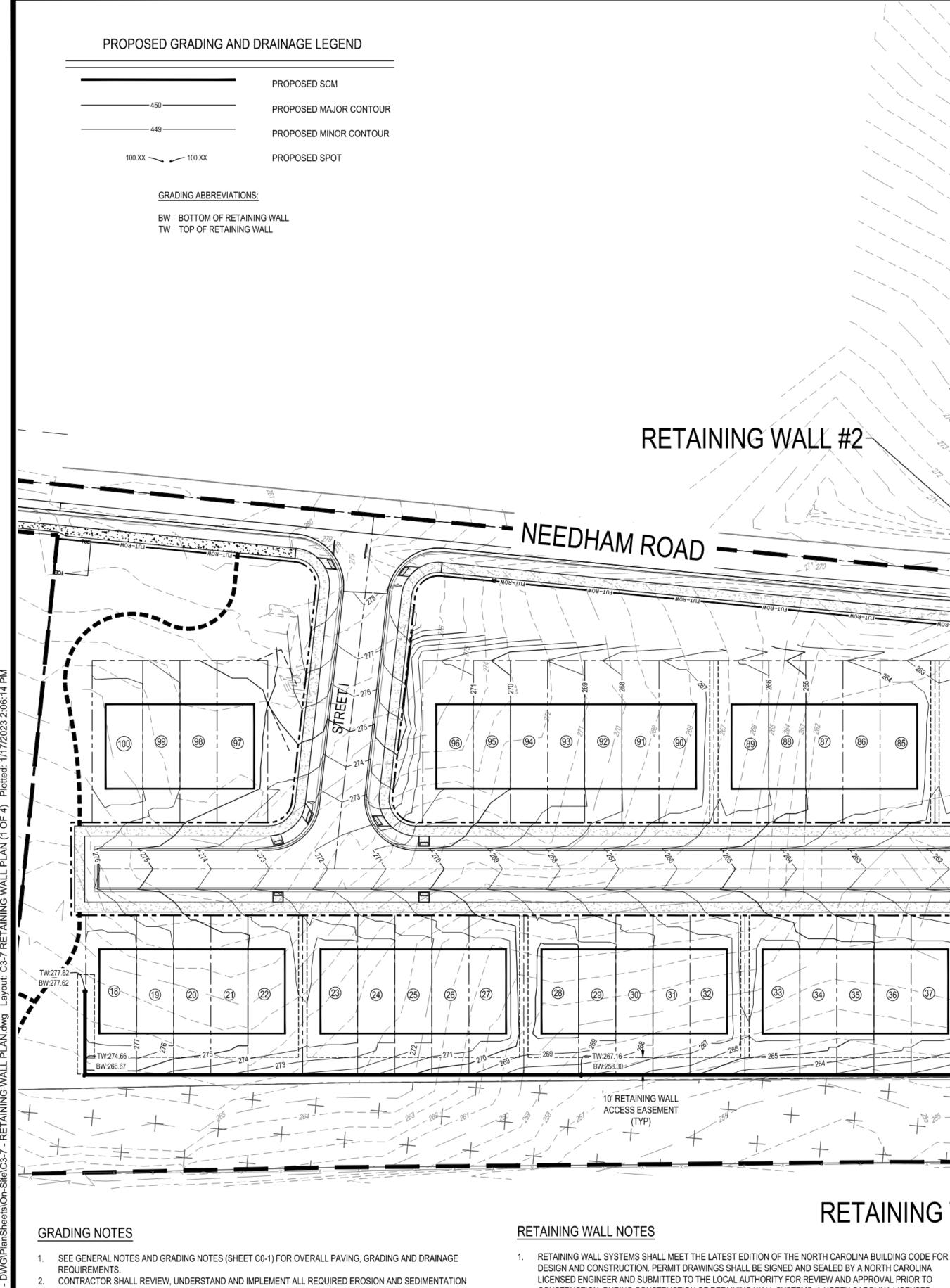
C3-6

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for *contacting the Public Works Department* at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both *City Departments* in advance of beginning construction, will result in the issuance of *monetary fines*, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.





- CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
- ALL SPOT ELEVATIONS ALONG PAVEMENT REPRESENT FINISHED GRADE ELEVATION UNLESS OTHERWISE
- NOTED. ALL PROPOSED STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.
- ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
- INLET PROTECTION CONTRACTOR SHALL PROVIDE AND MAINTAIN CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
- DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION,
- MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE. 10. ON ALL SLOPES 2.5:1 OR STEEPER, CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN PRODUCT SC150 EROSION CONTROL MATTING. REFER TO NAG FOR INSTALLATION GUIDELINES.
- 11. SPECIFIED RIM ELEVATIONS OF STORM STRUCTURES ARE MEASURED FROM TOP OF CURB.

CONSTRUCTION. DURING CONSTRUCTION OF RETAINING WALL SYSTEMS, A NORTH CAROLINA LICENSED NORTH CAROLINA BUILDING CODE.

EARTHWORK NOTES

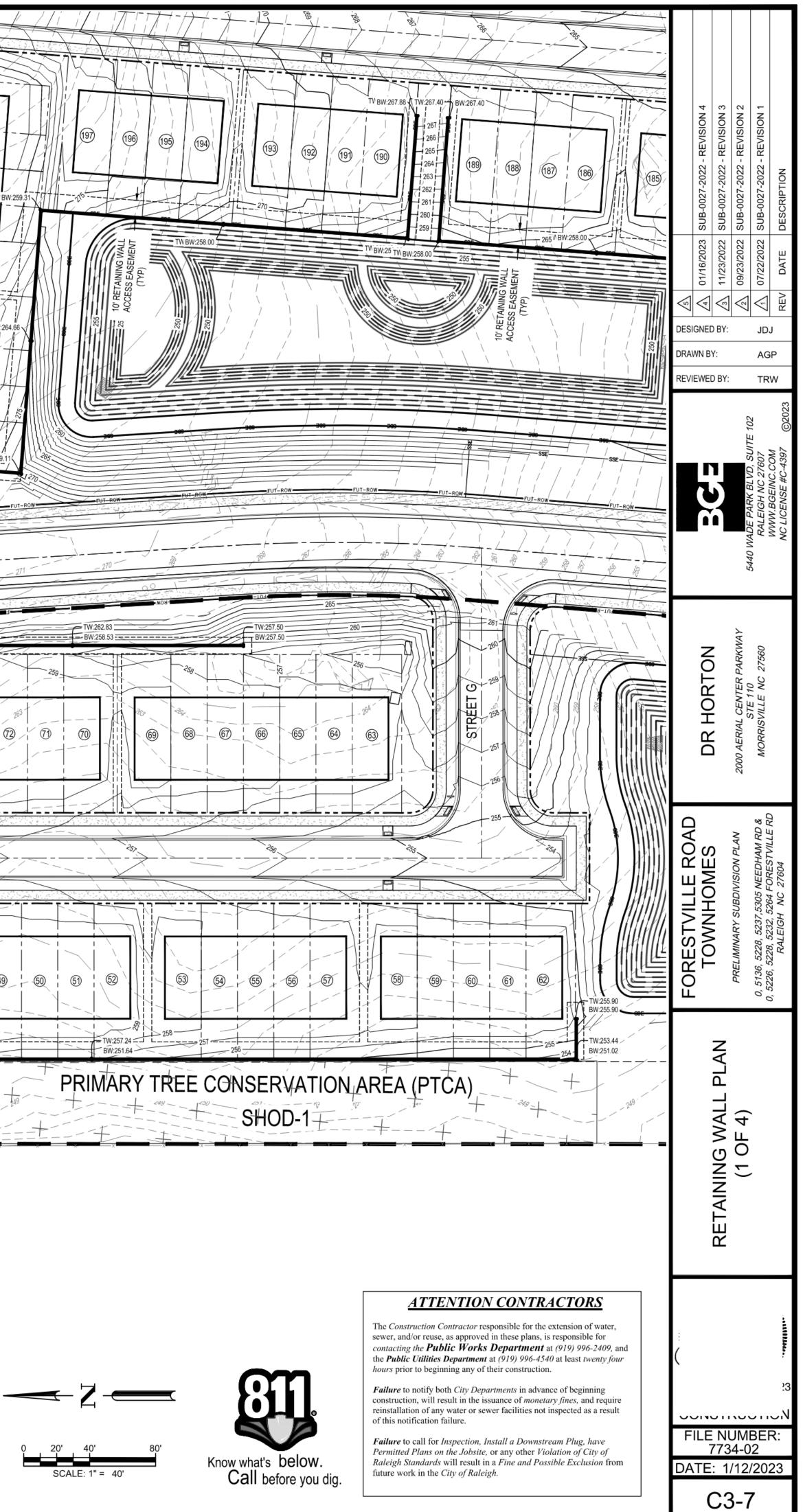
1. PRIOR TO ANY EARTHWORK RELATED ACTIVITIES, SUCH AS ROUGH LOT GRADING, WET POND EXCAVATION, AND WETLANDS AS IDENTIFIED ON THE GRADING PLANS.

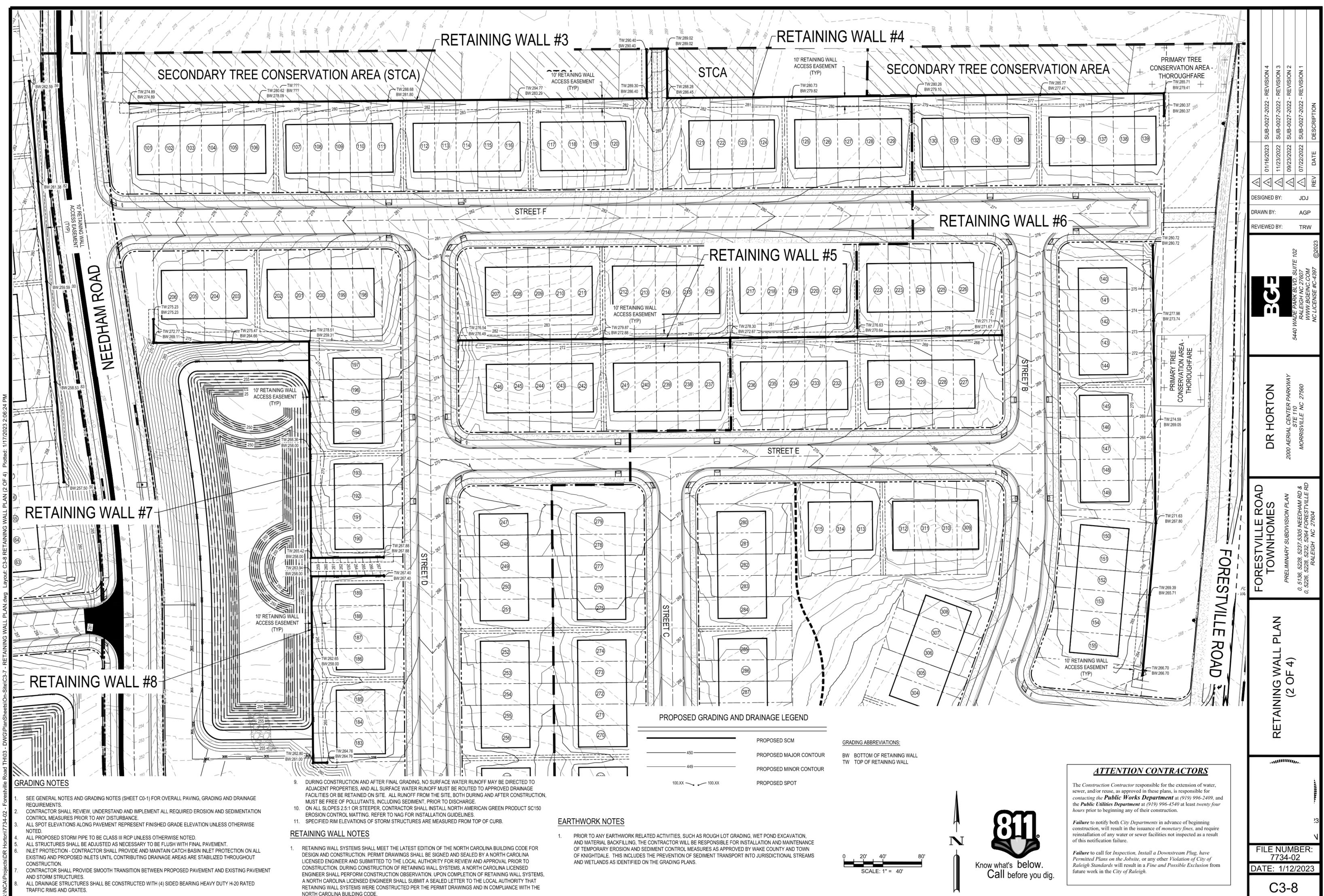
| NG WALL #2 | TV BW:271.80 TV BW:271.80 TV BW:271.80 TV BW:278.09 TV BW:274.09 TV BW:275.09 TV BW:275.09 TV BW:275.09 TV BW:275.09 TV BW:275.09 TV BW:275.09 TV BW:275.09 TV BW:275.09 TV | | 198 199 199 200 TV BW 259.31 201 202 203 TV BW 259.31 203 TV BW 264.66 204 205 206 TV BW 275.23 TM BW 269.11 205 206 TV BW 275.23 TM BW 269.11 207 208 TV BW 275.23 TM BW 269.11 207 208 TV BW 275.23 TM BW 269.11 208 TV BW 275.23 TM BW 269.11 209 TV BW 275.23 TM BW 269.11 200 TV BW 275.23 TW BW 275 |
|------------|--|-----|---|
| | BW:262.59 | 260 | 7.00 9.59 259 70 |
| | 38 39 40 41 42 43 W 260.39 262 261 | | |

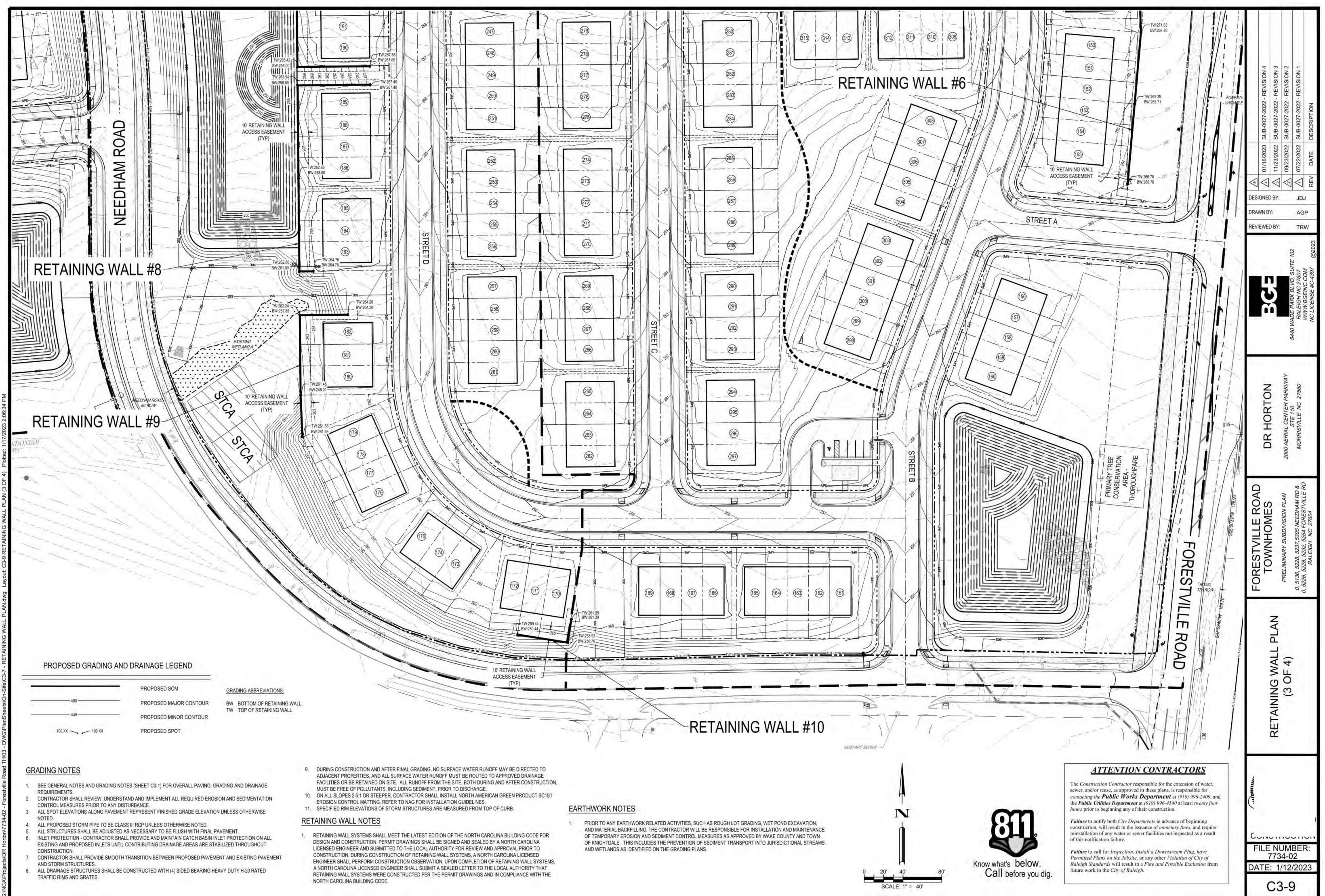
RETAINING WALL #1-'

ENGINEER SHALL PERFORM CONSTRUCTION OBSERVATION. UPON COMPLETION OF RETAINING WALL SYSTEMS, A NORTH CAROLINA LICENSED ENGINEER SHALL SUBMIT A SEALED LETTER TO THE LOCAL AUTHORITY THAT RETAINING WALL SYSTEMS WERE CONSTRUCTED PER THE PERMIT DRAWINGS AND IN COMPLIANCE WITH THE

AND MATERIAL BACKFILLING, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS APPROVED BY WAKE COUNTY AND TOWN OF KNIGHTDALE. THIS INCLUDES THE PREVENTION OF SEDIMENT TRANSPORT INTO JURISDICTIONAL STREAMS







| 450 449 100.XX100.XX | PROPOSED SCM PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR PROPOSED SPOT | |
|---|---|--------------|
| GRADING ABBREVIATIO BW BOTTOM OF RETA TW TOP OF RETAINING | INING WALL | |
| | | TOL FUT-ROW |
| | | |
| | | |
| | | PRIMARY TREE |
| | | RETAINING WA |

GRADING NOTES

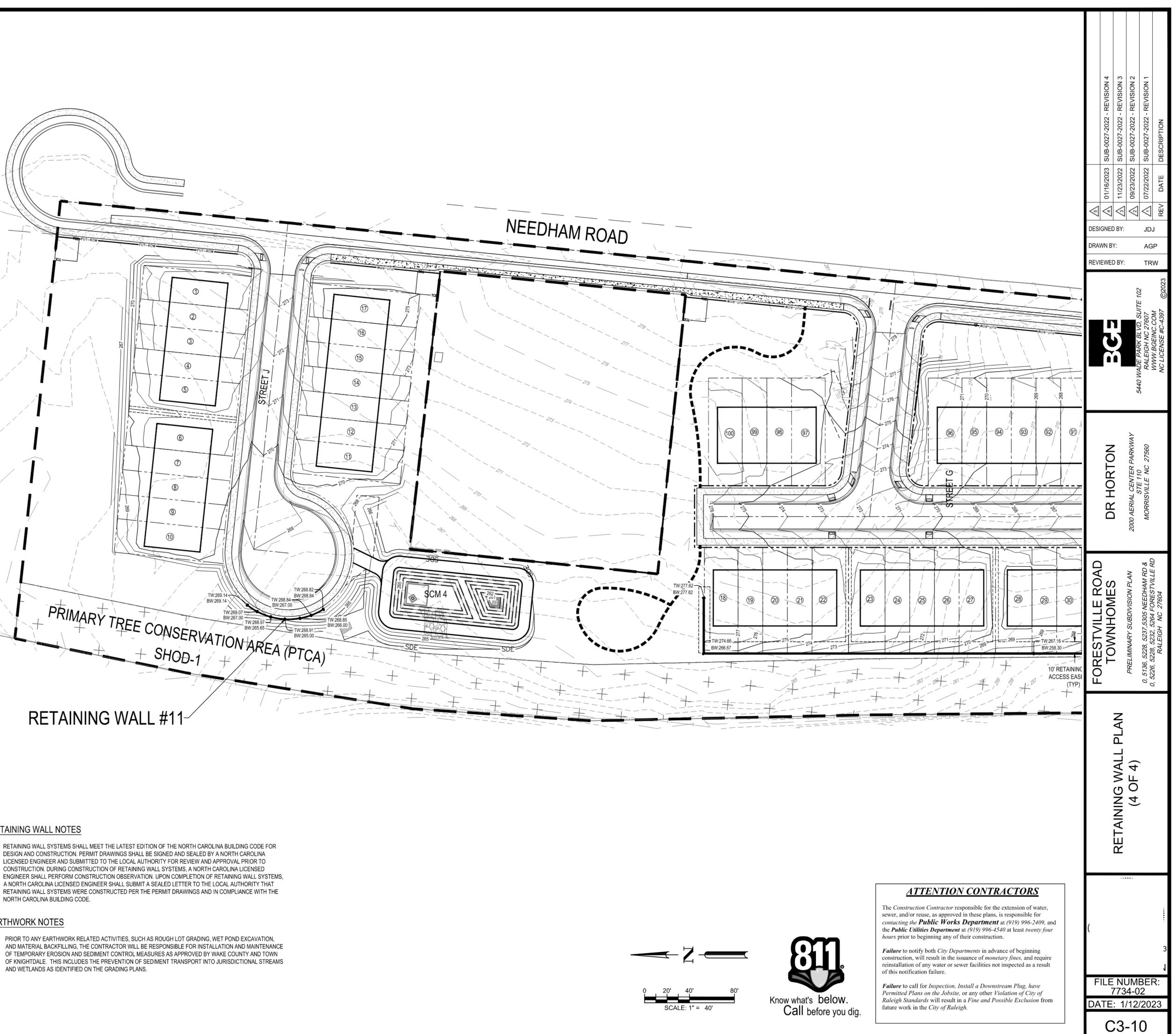
- SEE GENERAL NOTES AND GRADING NOTES (SHEET C0-1) FOR OVERALL PAVING, GRADING AND DRAINAGE
- REQUIREMENTS. CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION
- CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
- ALL SPOT ELEVATIONS ALONG PAVEMENT REPRESENT FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.
- ALL PROPOSED STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.
- ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT. INLET PROTECTION - CONTRACTOR SHALL PROVIDE AND MAINTAIN CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT
- AND STORM STRUCTURES. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED
- TRAFFIC RIMS AND GRATES. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO
- ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE. 10. ON ALL SLOPES 2.5:1 OR STEEPER, CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN PRODUCT SC150
- EROSION CONTROL MATTING. REFER TO NAG FOR INSTALLATION GUIDELINES.
- 11. SPECIFIED RIM ELEVATIONS OF STORM STRUCTURES ARE MEASURED FROM TOP OF CURB.

RETAINING WALL NOTES

DESIGN AND CONSTRUCTION. PERMIT DRAWINGS SHALL BE SIGNED AND SEALED BY A NORTH CAROLINA LICENSED ENGINEER AND SUBMITTED TO THE LOCAL AUTHORITY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. DURING CONSTRUCTION OF RETAINING WALL SYSTEMS, A NORTH CAROLINA LICENSED NORTH CAROLINA BUILDING CODE.

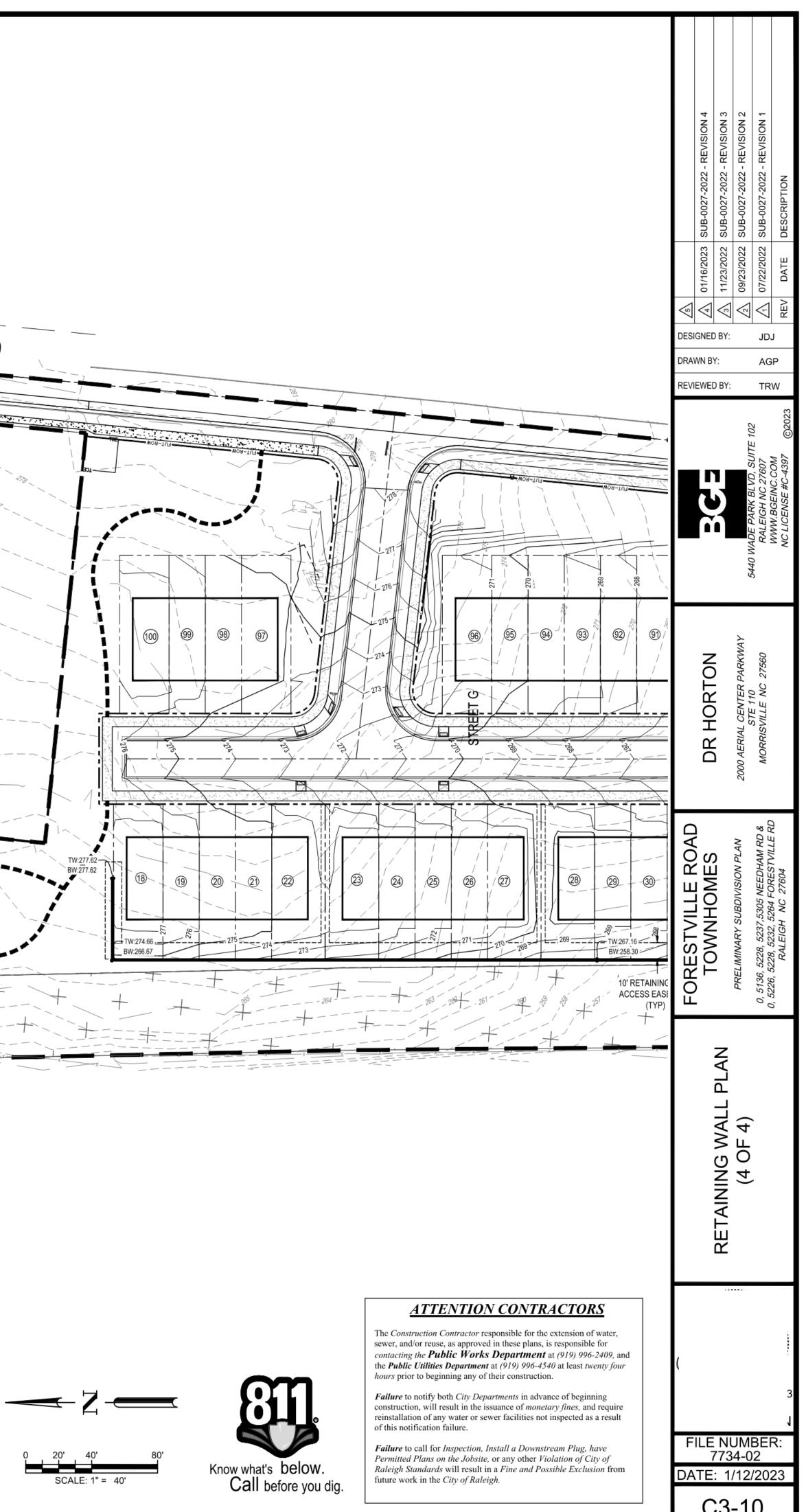
EARTHWORK NOTES

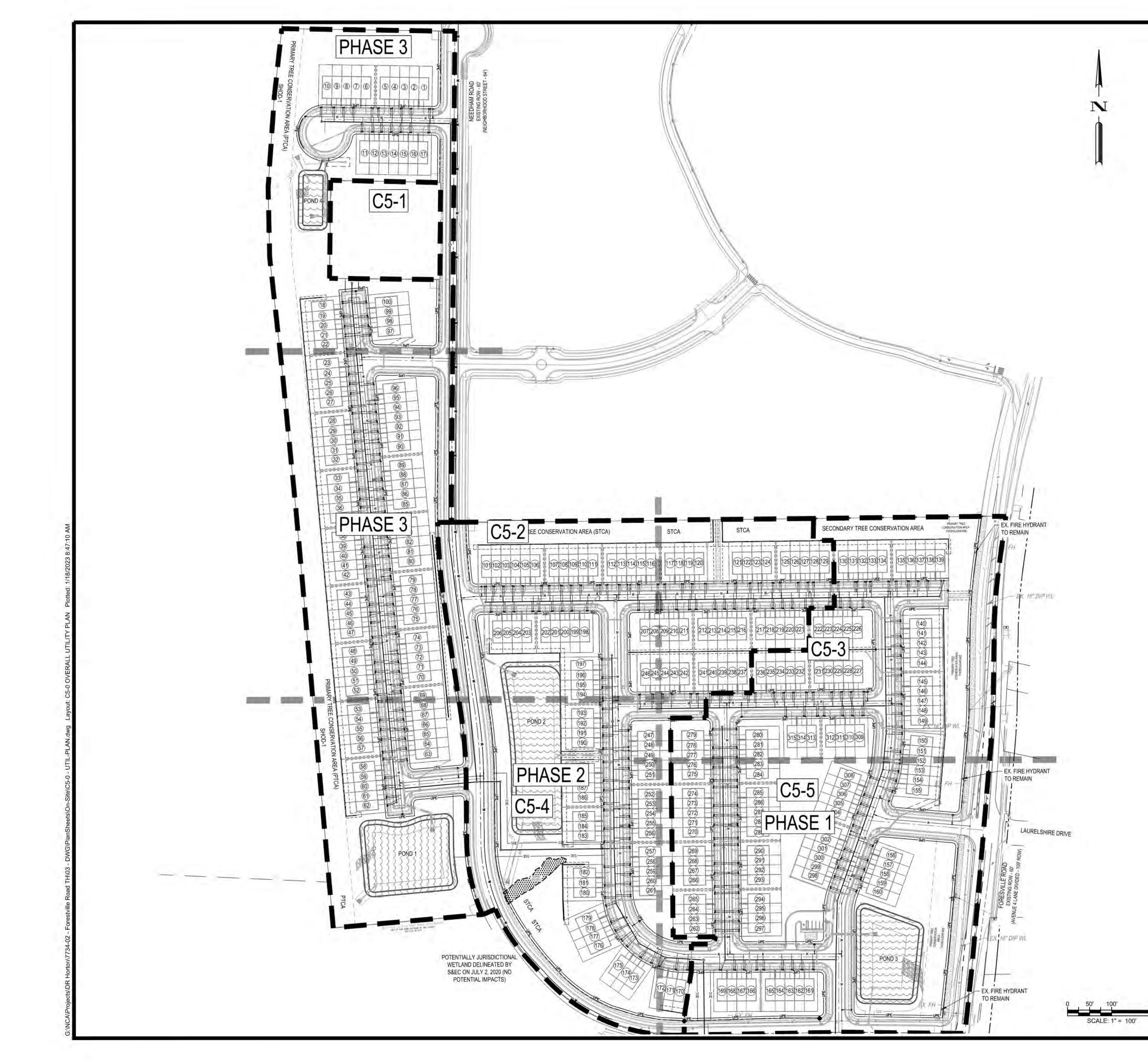
AND WETLANDS AS IDENTIFIED ON THE GRADING PLANS.

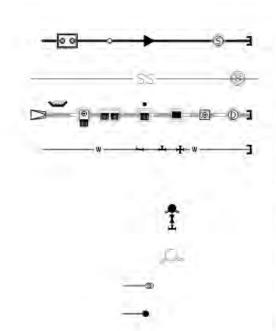


1. RETAINING WALL SYSTEMS SHALL MEET THE LATEST EDITION OF THE NORTH CAROLINA BUILDING CODE FOR ENGINEER SHALL PERFORM CONSTRUCTION OBSERVATION. UPON COMPLETION OF RETAINING WALL SYSTEMS, A NORTH CAROLINA LICENSED ENGINEER SHALL SUBMIT A SEALED LETTER TO THE LOCAL AUTHORITY THAT RETAINING WALL SYSTEMS WERE CONSTRUCTED PER THE PERMIT DRAWINGS AND IN COMPLIANCE WITH THE

1. PRIOR TO ANY EARTHWORK RELATED ACTIVITIES, SUCH AS ROUGH LOT GRADING, WET POND EXCAVATION,







EXISTING SANITARY SEWER MAIN

PROPOSED 8" SANITARY SEWER MAIN

PROPOSED STORM

PROPOSED 8" DIP WATER MAIN

EXISTING WATER MAIN

PROPOSED FIRE HYDRANT ASSEMBLY (FHA)

- EXISTING FIRE HYDRANT
- PROPOSED WATER LATERAL

PROPOSED SEWER LATERAL

WATER DISTRIBUTION NOTES

- 1. FIRE DEPARTMENT APPARATUS ACCESS SHALL MEET THE NORTH CAROLINA FIRE PREVENTION CODE
- (ADOPTED LATEST EDITION)
 ALL PROPOSED WATER MAINS SHOWN ON THESE PLANS SHALL BE 8" DUCTILE IRON PIPE (AWWA C-150) PER CITY OF RALEIGH STANDARDS UNLESS OTHERWISE NOTED.
 2 POTABLE WATER MAINS MAXIMUM ALLOWARDE JOINT DEELECTIONIS 5", MINIMUM PADIUS OF DEELECTION
- POTABLE WATER MAINS MAXIMUM ALLOWABLE JOINT DEFLECTIONIS 5". MINIMUM RADIUS OF DEFLECTION FOR 8" DUCTILE IRON PIPE IS 230 RAD# ARE PRODUCED BY A SUCCESSION OF NOMINAL LENGTH OF PIPE FULLY DEFLECTED.
- 8" DIP POTABLE WATER MAIN SHOWED HERE IN TO BE INSTALLED AT MINIMUM 3" DEPTH PER CITY OF RALEIGH STANDARDS.
- MAINTAIN 24' MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM FRAIN CROSSINGS WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A
- CONCRETE CRADLE HAVING 6" MINIMUM CLEARANCE (PER CORPUD DETAIL S-49) 6. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING CITY OF RALEIGH DETAILS W-7 THRU W-11 FOR STANDARD
- CONCRETE THRUST BLOCKING.
 FOR WATER PIPE INSTALLATION ON A CURVE, JOINTS SHALL BE ASSEMBLED FIRST IN A STRAIGHT LINE.
 AFTER JOINT ASSEMBLY, PIPE MAY BE DEFLECTED UP TO THE MAXIMUM DEFLECTION ANGLE PER THE 2016 AMERICAN PIPE MANUEL, 20TH EDITION.

RESIDENTIAL

a. FIRE HYDRANT SHALL BE SPACED NOT MORE THAT 600' ALONG NAMED ROADS. ALTERNATE SIDES ON DIVIDED ROADS.

- b. FIRE HYDRANTS SHALL BE AT EVERY NAMED STREET INTERSECTION.
- c. FIRE DEPARTMENT VEHICLE ACCESS SHALL BE WITHIN 90' HOSE LAY OF FDC.
- d. ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED BY FIRE DEPARTMENT.
- FIRE DEPARTMENT VEHICLE ACCESS
- ALL BUILDINGS AND FACILITIES SHALL REQUIRE FIRE DEPARTMENT VEHICLE ACCESS COMPLYING WITH NORTH CAROLINA FIRE PREVENTION CODE (NCFPC), CHAPTER 5, AND ALL COR GUIDES AND HANDBOOKS. SOME EXAMPLES ARE SHOWN IN APPENDIX D OF NCFPC.
- MINIMUM UNOBSTRUCTED STREET WIDTH OF 20 FEET (BACK TO BACK CURB) MUST BE MAINTAINED THE ENTIRE TRAVEL ROUTS OF THE FIRE TRUCK. ENTRANCES, GATED ENTRANCES ISLANDS, AND TRAFIC CIRCLES ARE OF SPECIAL CONCERN. SEE ALTERNATIVE ACCESS FOR ENTRIES WITH GUARD SHACKS (FP-29).
- 3. MINIMUM INSIDE TURNING RADIUS OF 28 FEET MUST BE MAINTAINED THROUGHOUT THE SITE PLAN FOR ANY ACCESS LANES THAT WOULD COMMONLY BE USED BY FIRE APPARATUS.
- FIRE DEPARTMENT ACCESS LANES MUST ALLOW FIRE APPARATUS TO DRIVE WITHIN 150 FEET OF ALL PORTIONS OF THE FIRST FLOOR. BUILDINGS THAT DO NOT COMPLY SHALL BE REQUIRED TO INSTALL FIRE SPRINKLERS (SEE TECHNICAL BULLETIN 12).

SITE PERMITTING APPROVAL

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #

SITE PERMITTING APPROVAL

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval

Raleigh Water Review Office

ATTENTION CONTRACTORS

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CONSTRUCTION

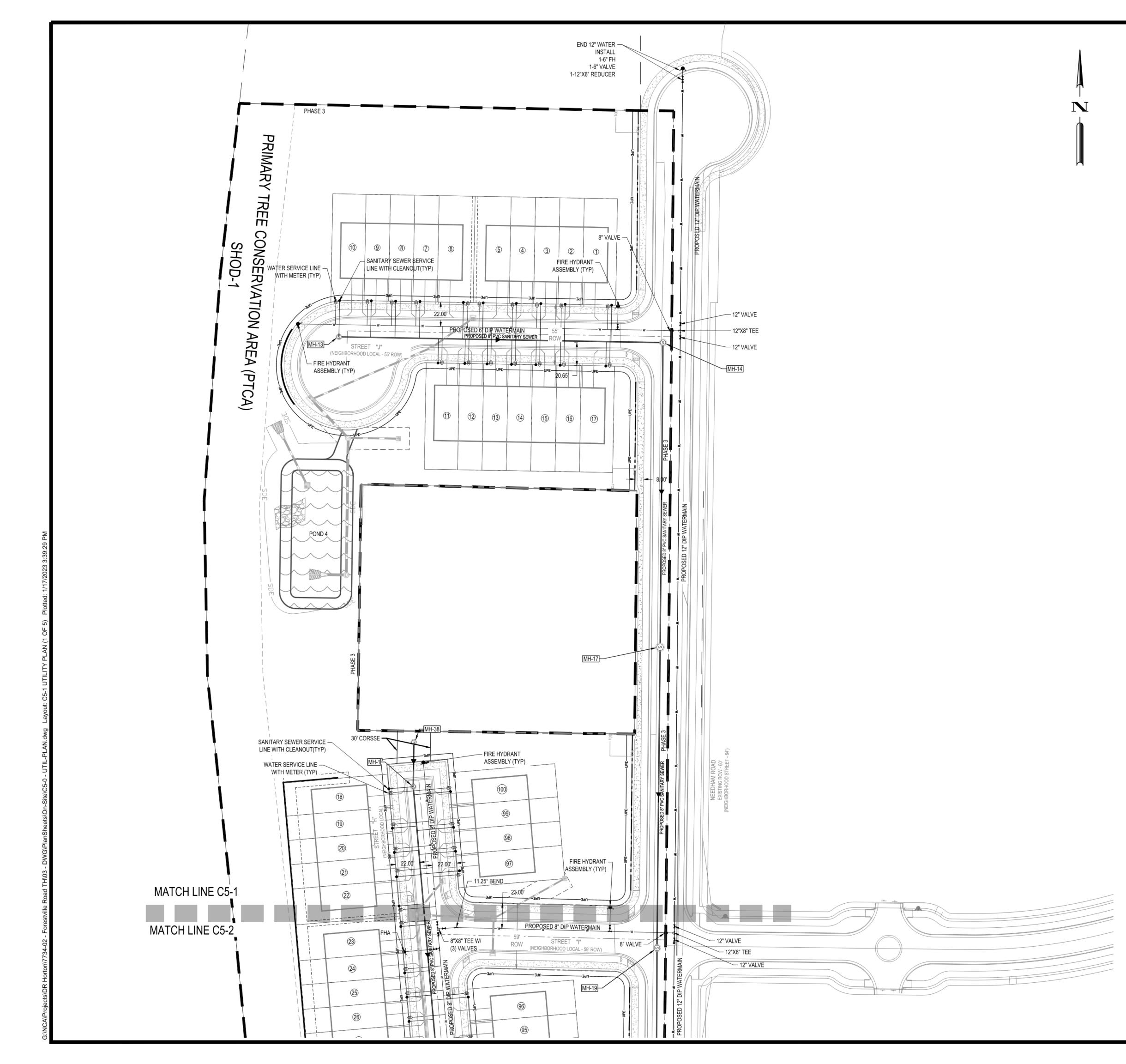
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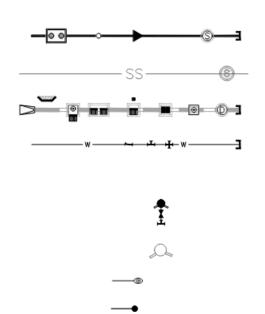
7734-02

DATE: 1/12/2023

C5-0







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- POTABLE WATER MAINS MAXIMUM ALLOWABLE JOINT DEFLECTIONIS 5". MINIMUM RADIUS OF DEFLECTION FOR 8" DUCTILE IRON PIPE IS 230 RAD# ARE PRODUCED BY A SUCCESSION OF NOMINAL LENGTH OF PIPE FULLY DEFLECTED.
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SITE PERMITTING APPROVAL

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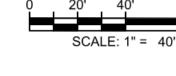
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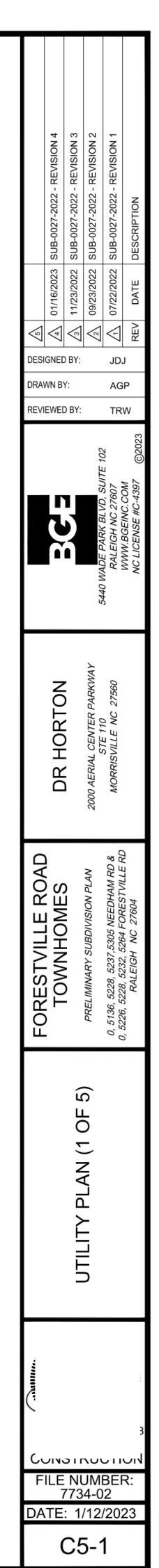


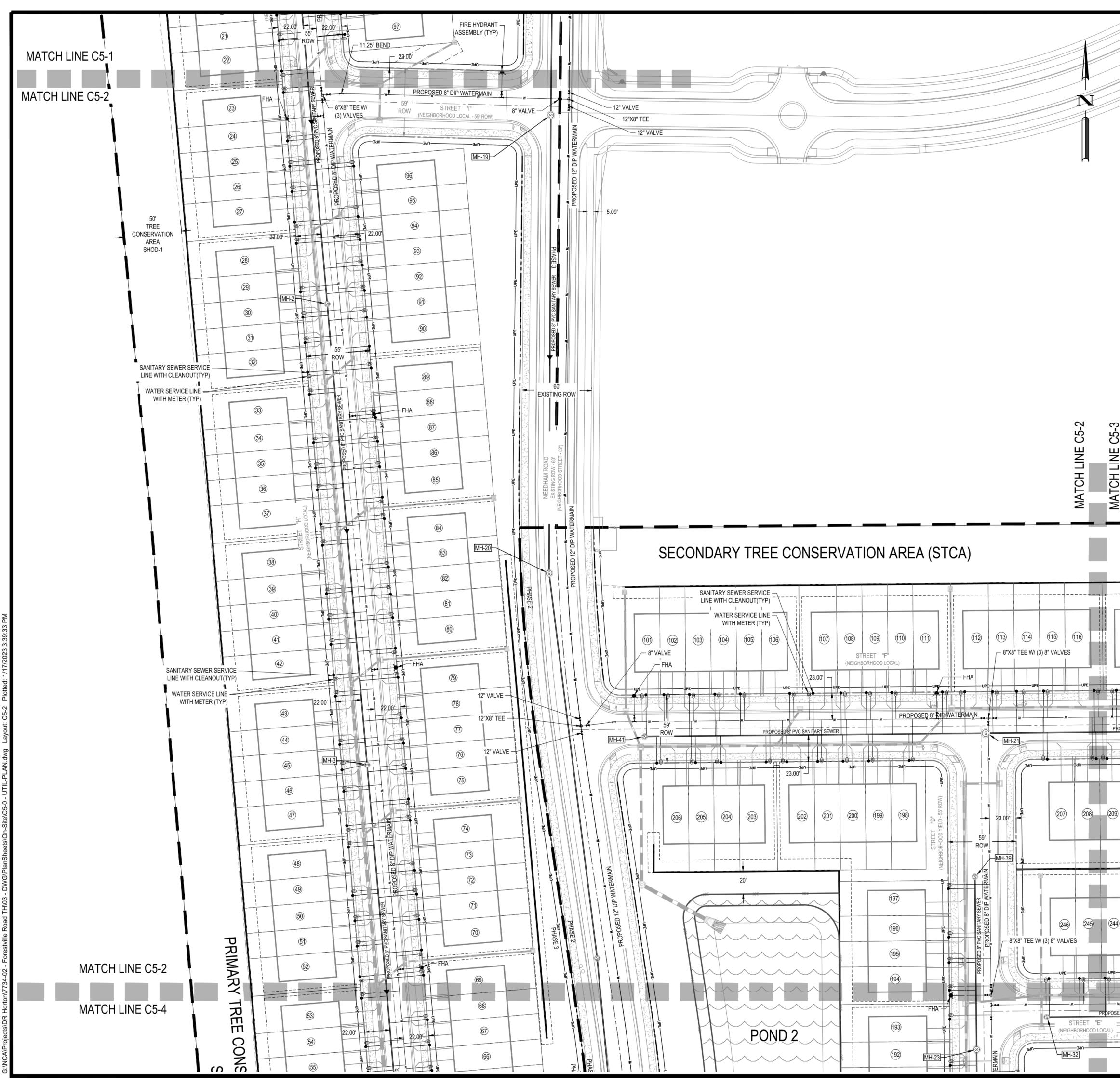


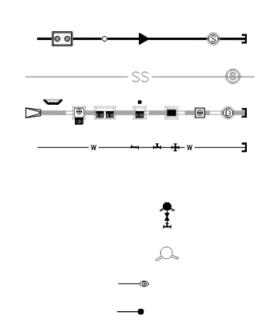
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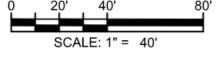
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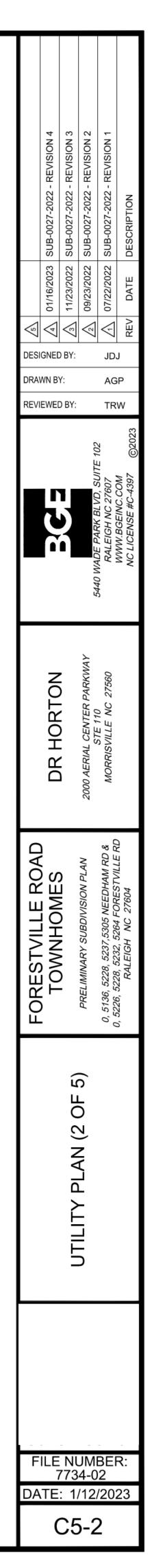
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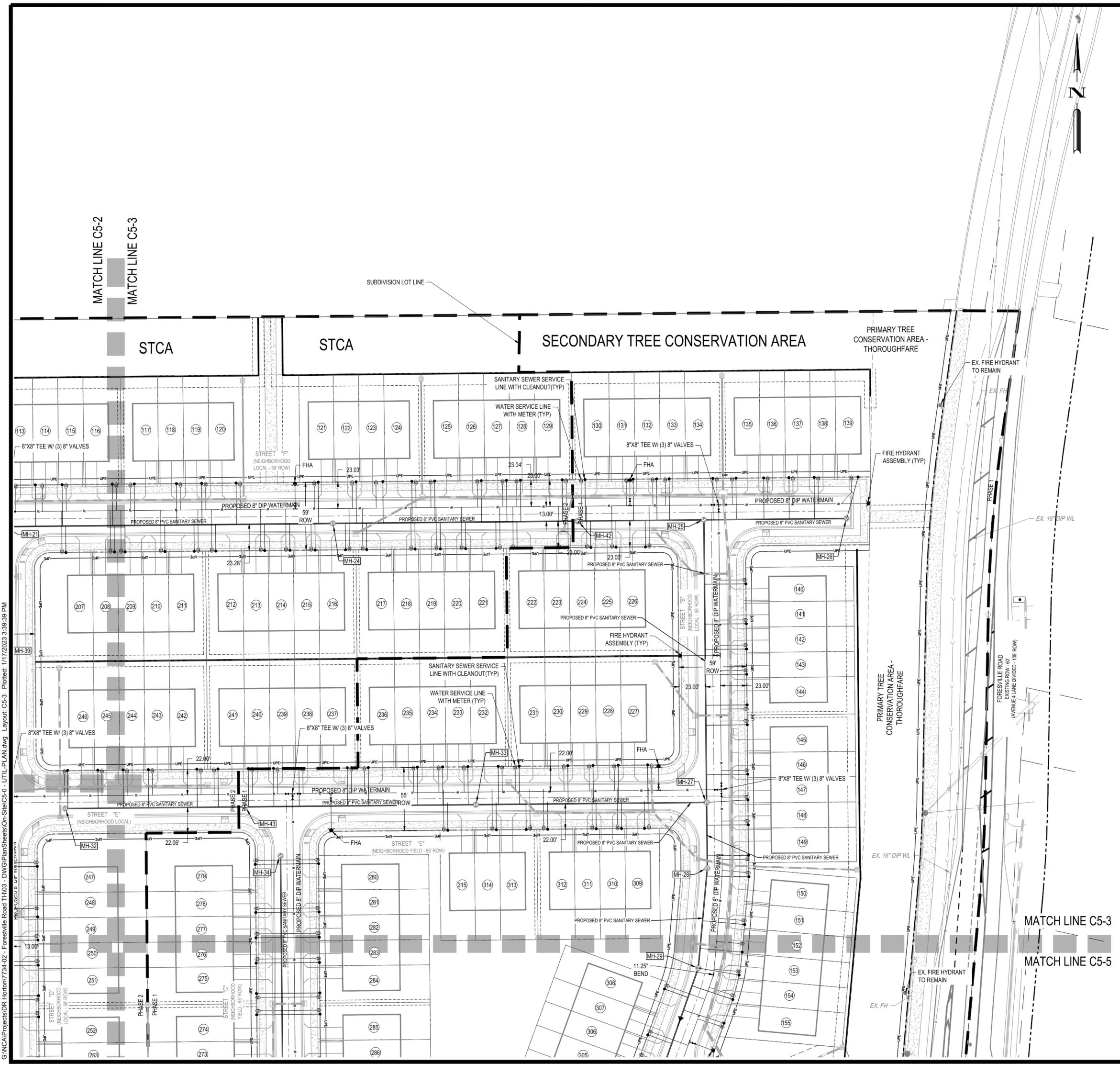
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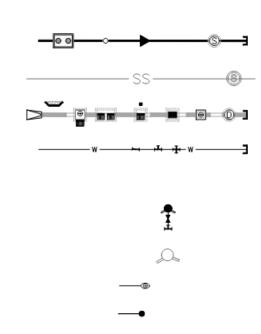
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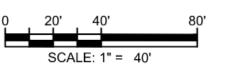
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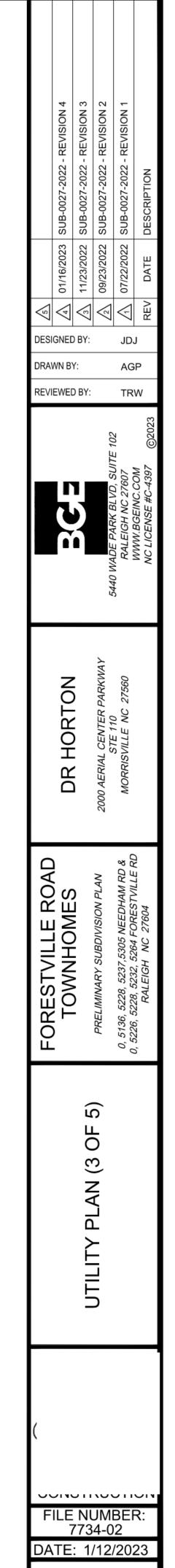
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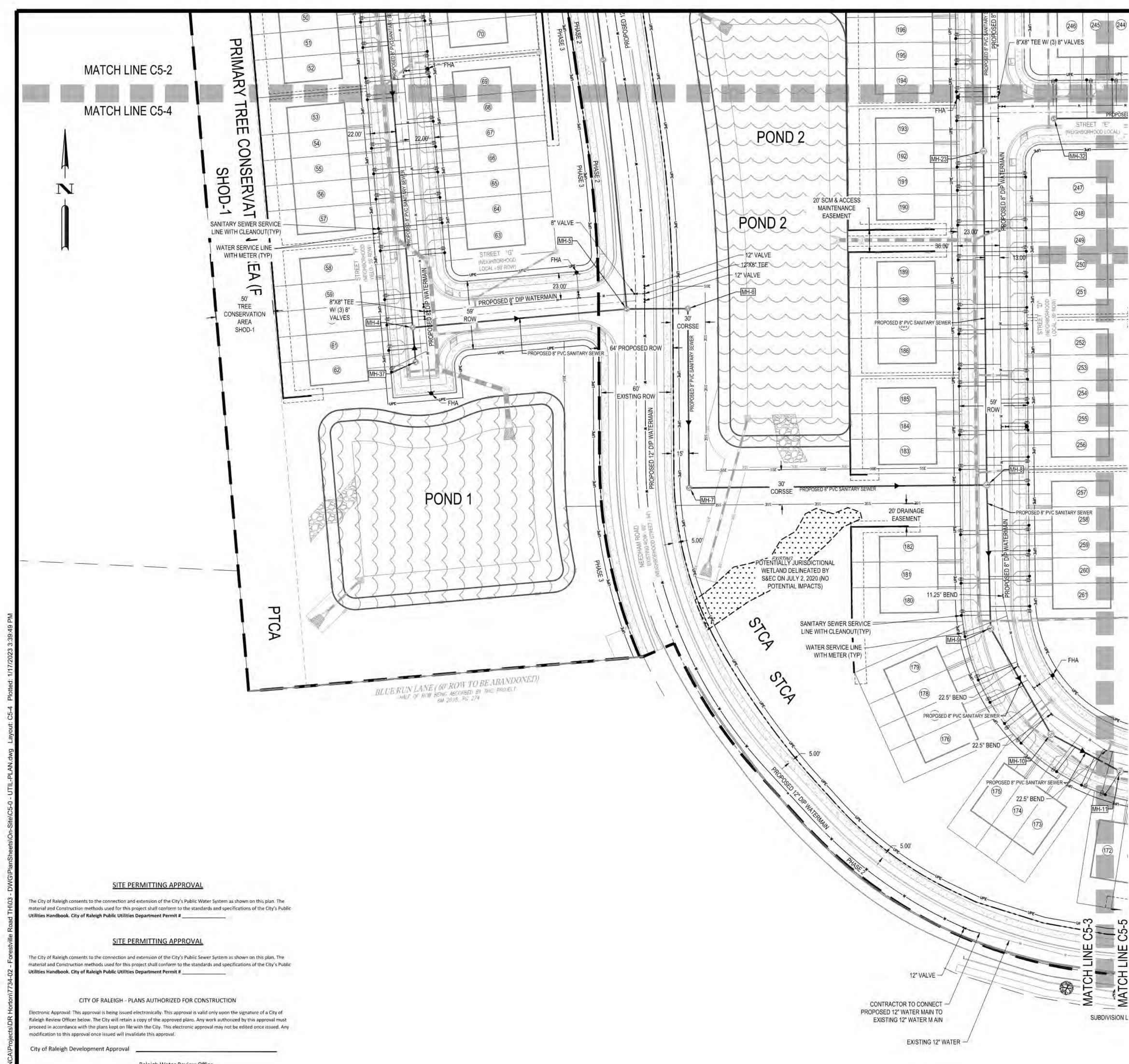
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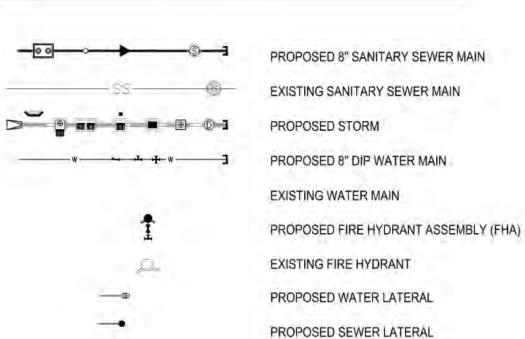


C5-3



Raleigh Water Review Office

UTILITY LEGEND



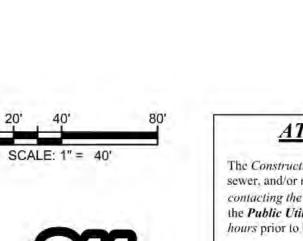
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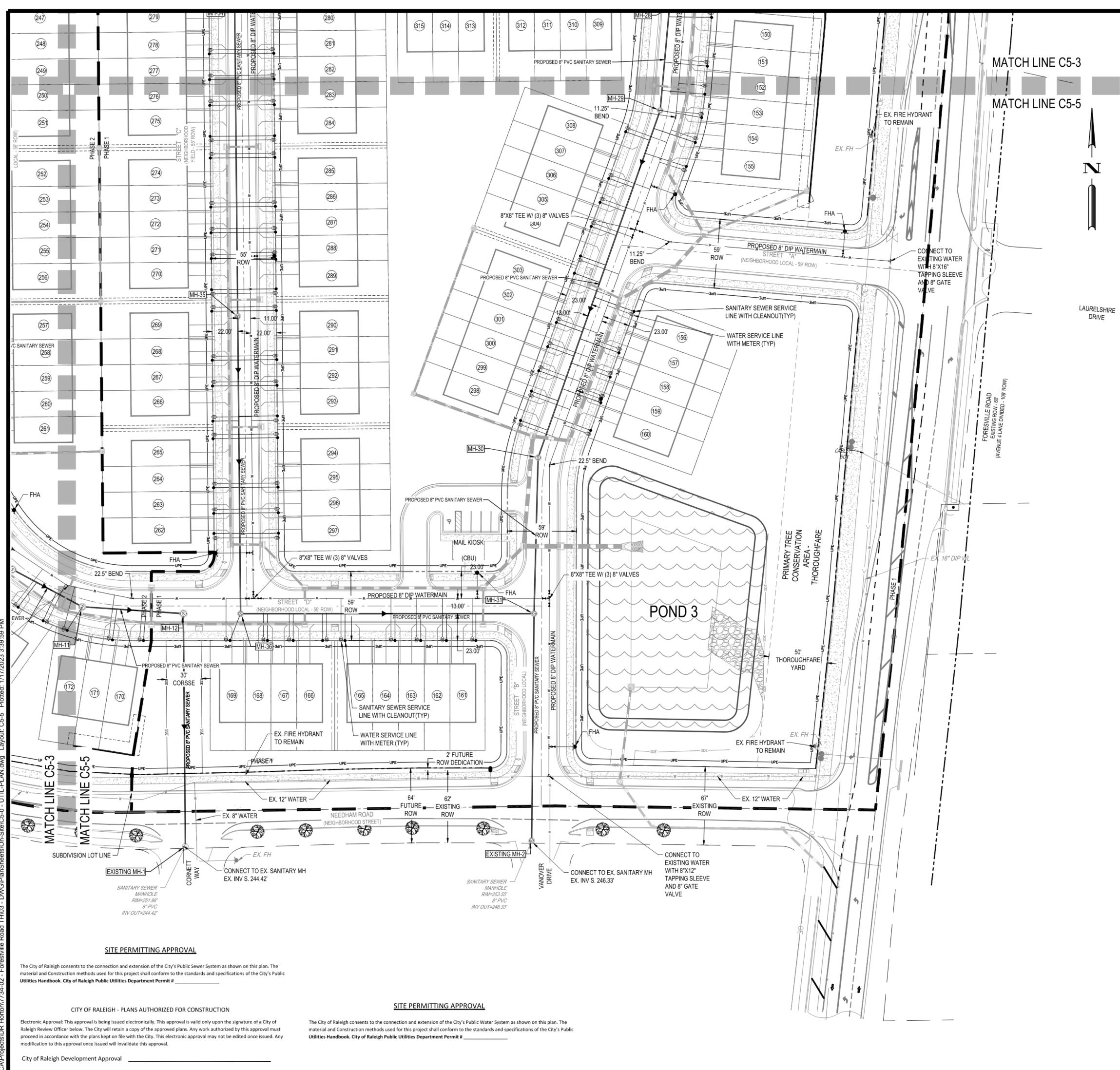
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| FORESTVILLE ROAD TOWNHOMES | DR HORTON | | DESIGNED E DRAWN BY: REVIEWED I | ▲ ▲ 01/16/202 | 01/16/2023 SUB-0027-2022 - REVISION 4 |
|---|----------------------------|--|---------------------------------------|------------------|--|
| PRELIMINARY SUBDIVISION PLAN | 2000 AERIAL CENTER PARKWAY | | | 202/23/202 | 09/23/2022 SUB-0027-2022 - REVISION 3 09/23/2022 SUB-0027-2022 - REVISION 2 |
| 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0 5226 5228 5232 5264 FORESTVILLE RD | MORRISVILLE NC 27560 | 2440 WADE PARA BLVD, SUITE 102 RALEIGH NC 27607 | JDJ AG TR | A 07/22/202 | 07/22/2022 SUB-0027-2022 - REVISION 1 |
| RALEIGH NC 27604 | | NC LICENSE #C-4397 (c)2023 | P | REV DATE | DESCRIPTION |

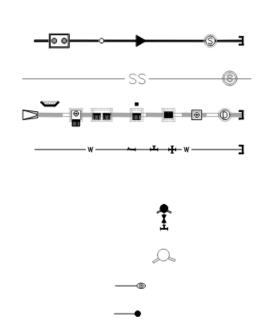
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C5-4



Raleigh Water Review Office

UTILITY LEGEND



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- 3. MINIMUM INSIDE TURNING RADIUS OF 28 FEET MUST BE MAINTAINED THROUGHOUT THE SITE PLAN FOR ANY ACCESS LANES THAT WOULD COMMONLY BE USED BY FIRE APPARATUS.
- 4. FIRE DEPARTMENT ACCESS LANES MUST ALLOW FIRE APPARATUS TO DRIVE WITHIN 150 FEET OF ALL PORTIONS OF THE FIRST FLOOR. BUILDINGS THAT DO NOT COMPLY SHALL BE REQUIRED TO INSTALL FIRE SPRINKLERS (SEE TECHNICAL BULLETIN 12).

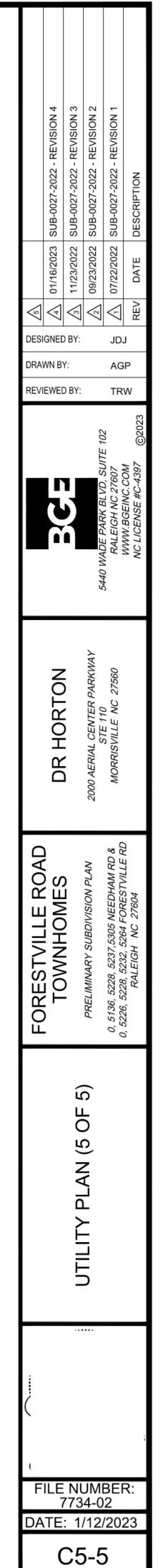


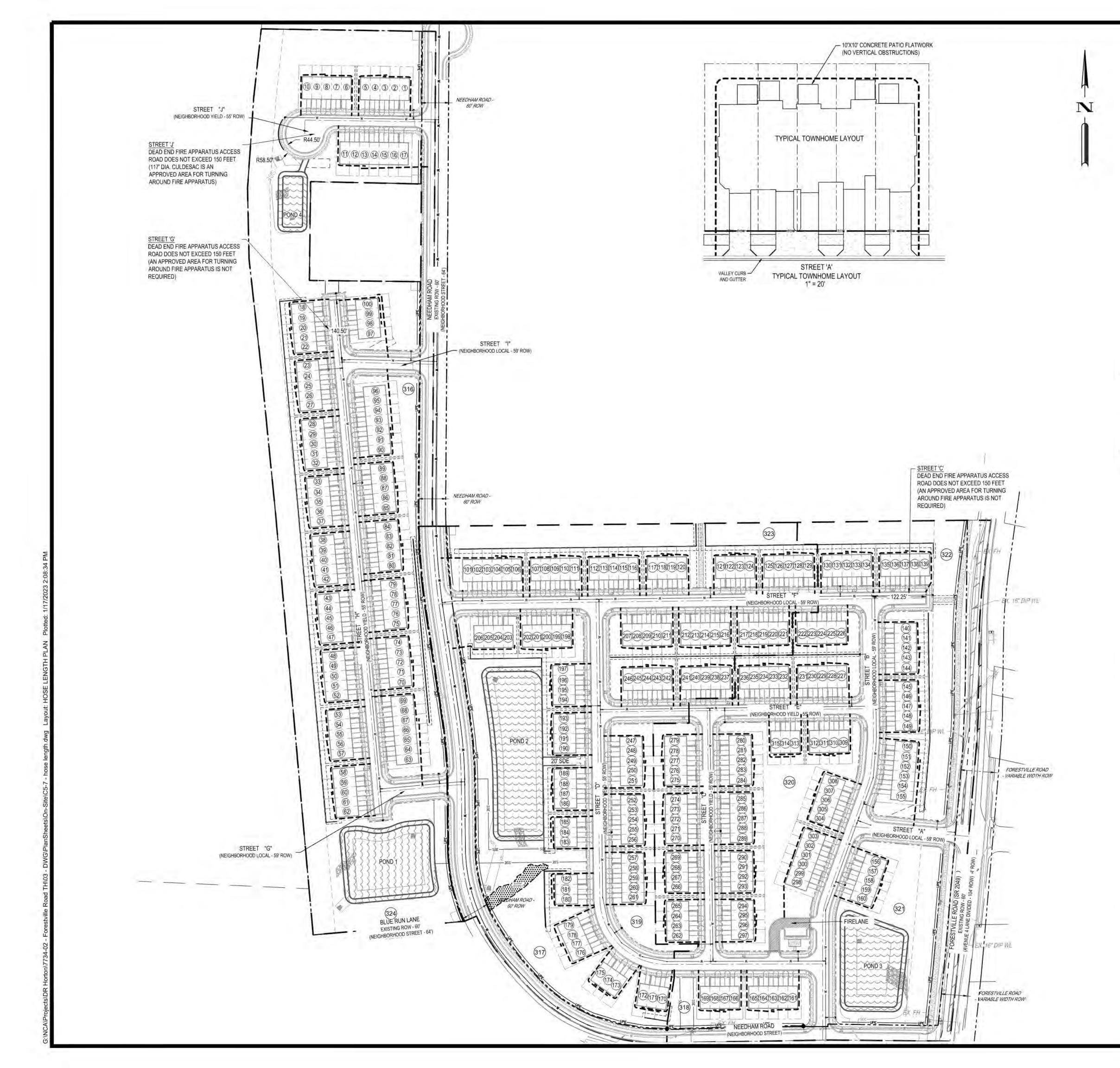
Know what's below. Call before you dig.

ATTENTION CONTRACTORS

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LEGEND

150' HOSE LAY LENGTH FROM CURB

RESIDENTIAL

- A. FIRE HYDRANT SHALL BE SPACED NOT MORE THAN 600' ALONG NAMED ROADS. ALTERNATE SIDES ON DIVIDED ROADS.
- B. FIRE HYDRANTS SHALL BE AT EVERY NAMED STREET.
- C. ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED BY FIRE DEPARTMENT.

FIRE DEPARTMENT VEHICLE ACCESS

- 1. ALL BUILDINGS AND FACILITIES SHALL REQUIRE FIRE DEPARTMENT VEHICLE ACCESS COMPLYING WITH NORTH CAROLINA FIRE PREVENTION (NCFPC), CHAPTER 5, AND ALL COR GUIDES AND HANDBOOKS. SOME EXAMPLES ARE SHOWN IN APPENDIX D OF NCFPC.
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- 3. MINIMUM INSIDE TURNING RADIUS OF 28 FEET MUST BE MAINTAINED THROUGHOUT THE SITE PLAN FOR ANY ACCESS LANES THAT WOULD COMMONLY BE SUED BY FIRE APPARATUS.
- FIRE DEPARTMENT ACCESS LANES MUST ALLOW FIRE APPARATUS TO DRIVE 150 FEET OF ALL PORTIONS OF THE FIRST FLOOR. BUILDINGS THAT DO NOT COMPLY SHALL BE REQUIRED TO INSTALL FIRE SPRINKLERS (SEE TECH BULLETIN 12).
- 5. DEAD END STREETS AND ACCESS LANES 150 FEET OR MORE SHALL HAVE AN APPROVED FIRE APPARATUS TURN-A-ROUND PROVIDED.
- APPARATUS ACCESS ROAD GRADE SHALL NOT EXCEED 12 PERCENT IN GRADE, EXCEPT AS APPROVED BY THE FIRE CHIEF (PROHIBIT USE OF DRIVING ON GRAVEL)

| 0 | 50' 100' | 200' |
|---|------------------------------|---------------------|
| | SCALE: 1" = 100 | |
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| | Know what's be Call befor | elow. e you dig. |

ATTENTION CONTRACTORS

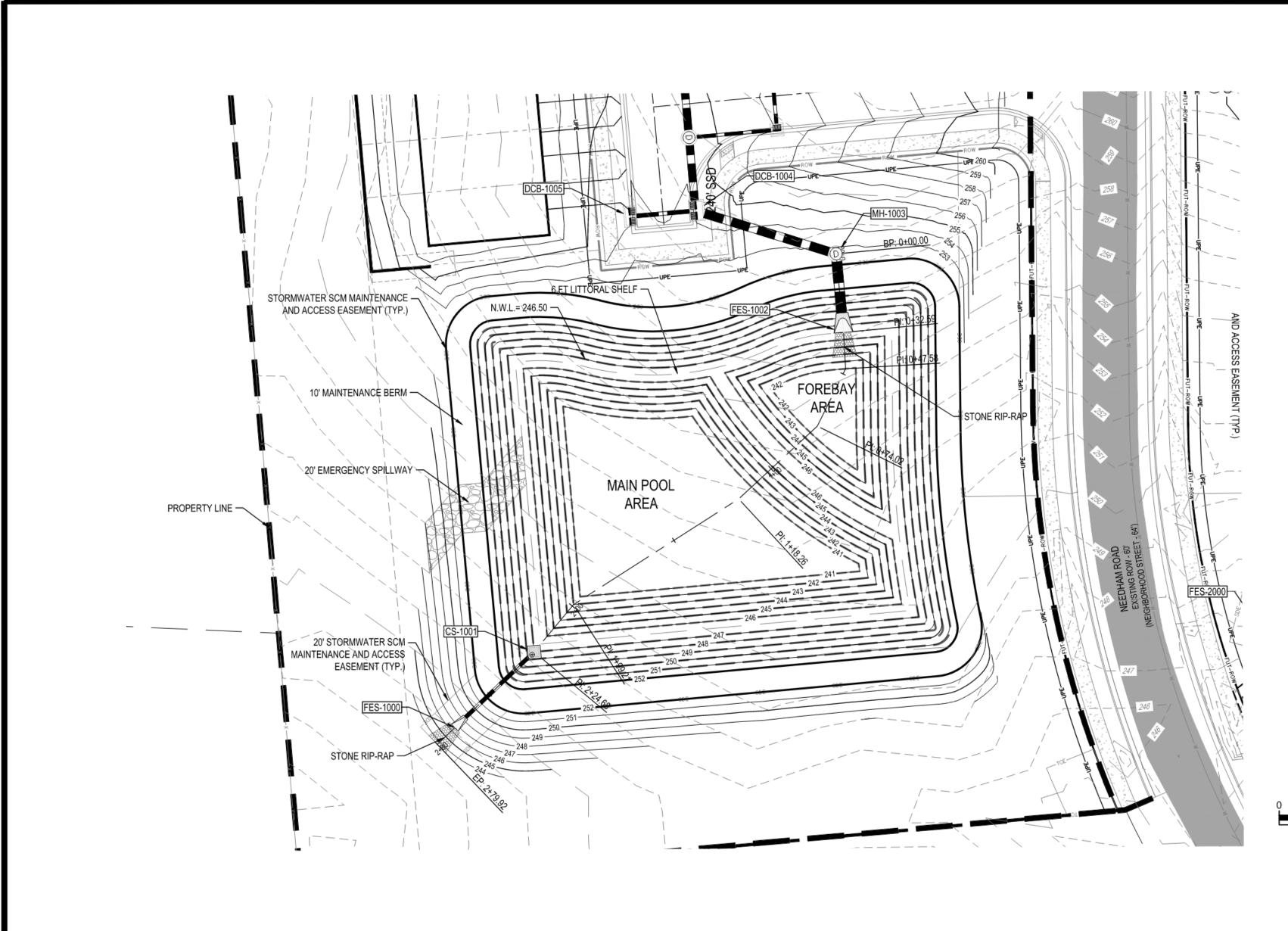
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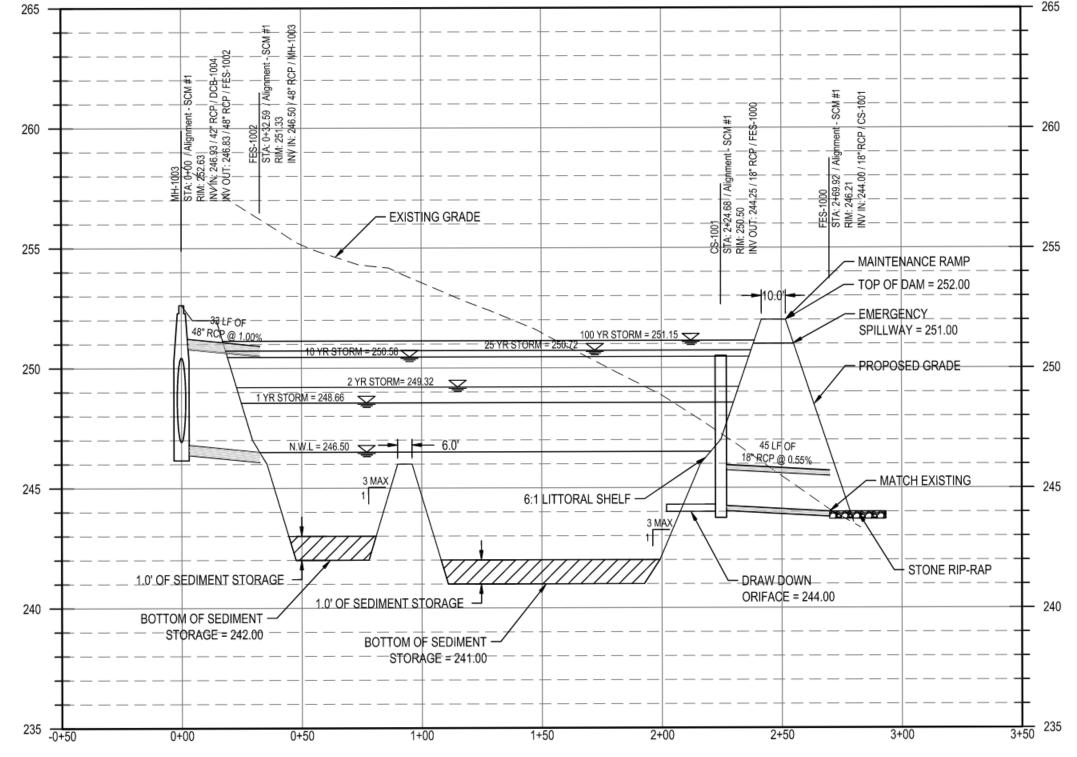
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

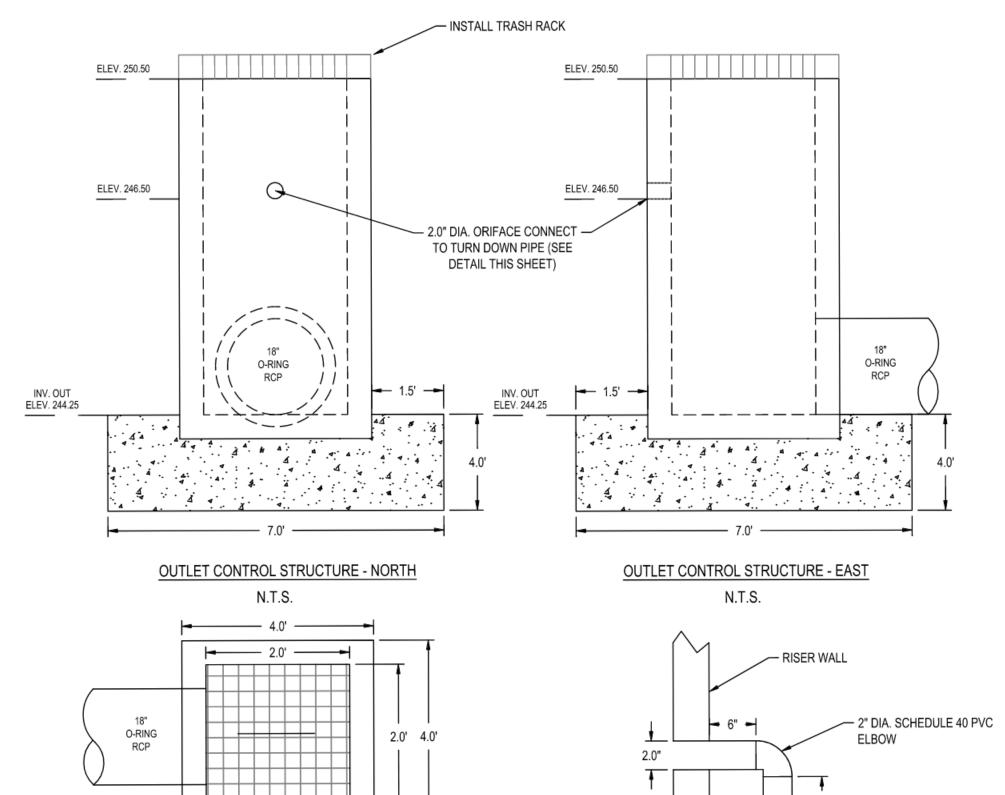
| | FORESTVILLE ROAD TOWNHOMES | DR HORTON | REVIEWED BY: | DESIGNED BY: DRAWN BY: | 01/16/2023 SUB-0027-2022 - REVISION 4 11/23/2022 SUB-0027-2022 - REVISION 3 |
|------------------|---------------------------------------|----------------------------|-------------------------------|---------------------------|--|
| HUSE LENGIH PLAN | PRELIMINARY SUBDIVISION PLAN | 2000 AERIAL CENTER PARKWAY | 6440 MADE DAPK BUVD SUITE 102 | 1000 | 09/23/2022 SUB-0027-2022 - REVISION 2 |
| | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | MORRISVILLE NC 27560 | RALEIGH NC 27607 | B G A 07/22/2022 | 07/22/2022 SUB-0027-2022 - REVISION 1 07/22/2022 - REVISION 1 |
| | RALEIGH NC 27604 | | NC LICENSE #C-4397 @2023 | | DESCRIPTION |

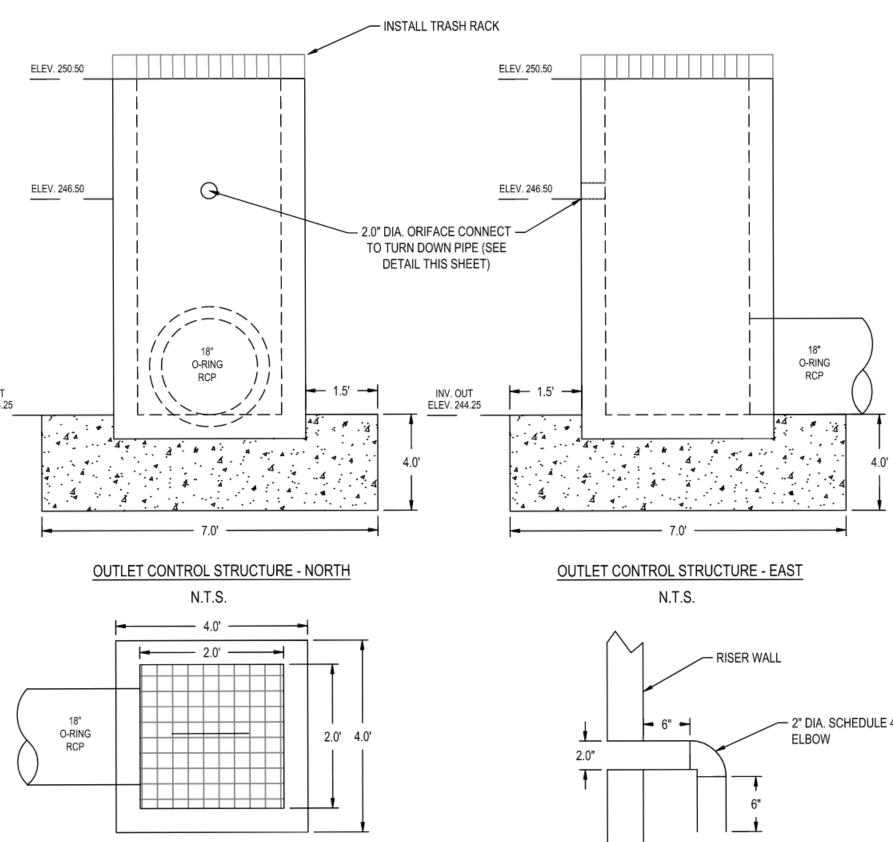
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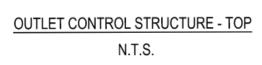


Alignment - SCM #1 STA: -0+50.00 TO STA:3+50.00









SCALE: 1" = 40' VERT: 1" = 4'

SCALE: 1" = 30'

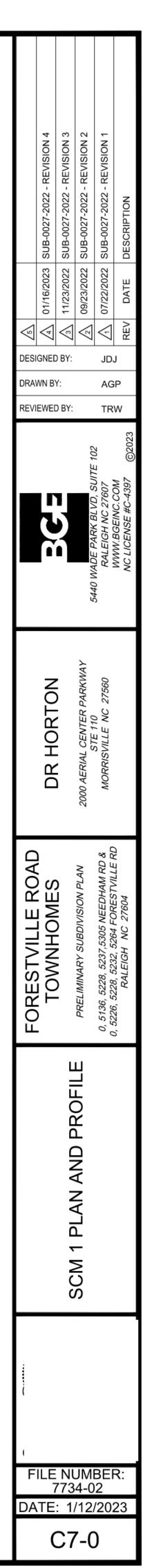
ATTENTION CONTRACTORS

2.0" ORIFICE OPENING

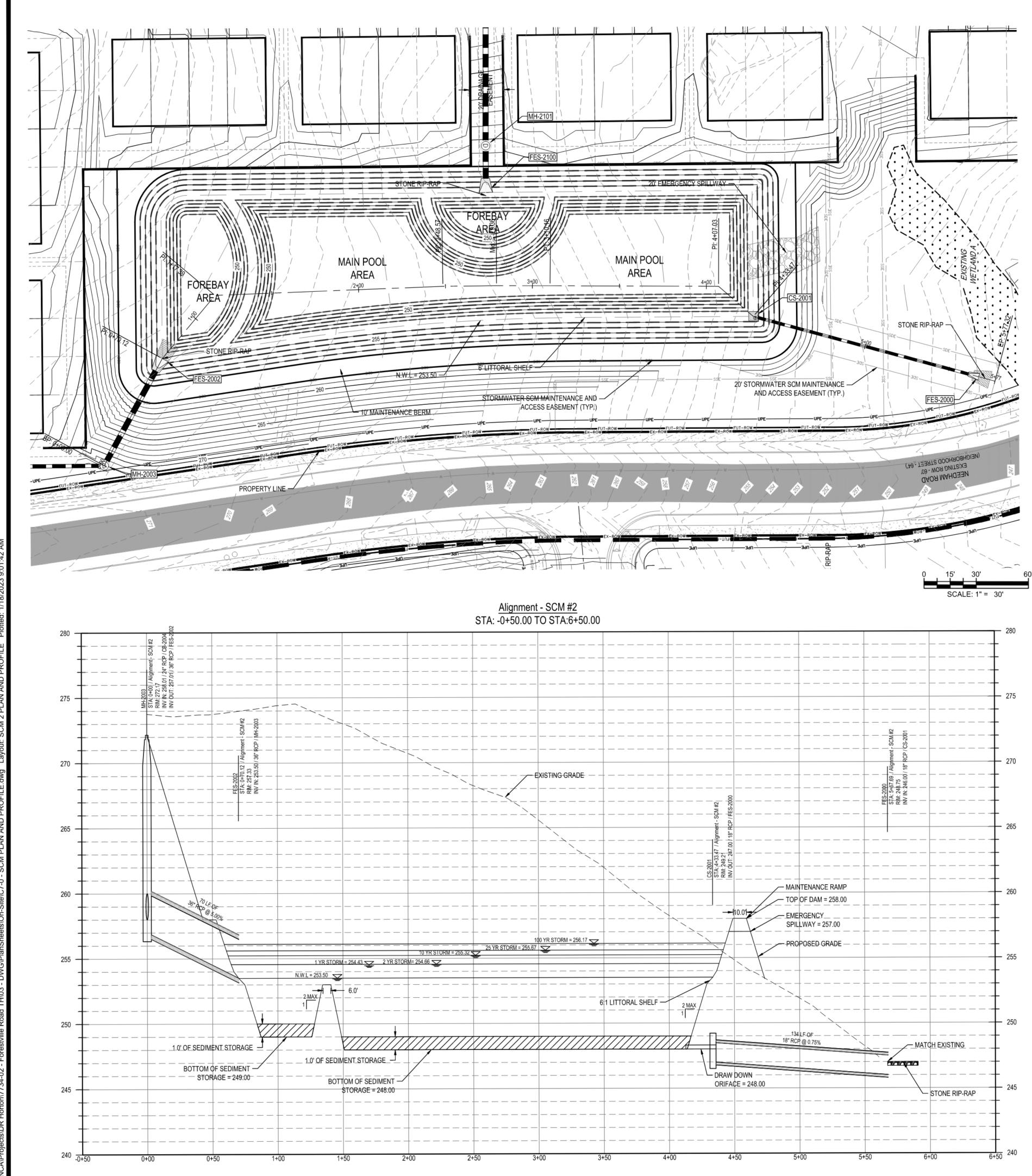
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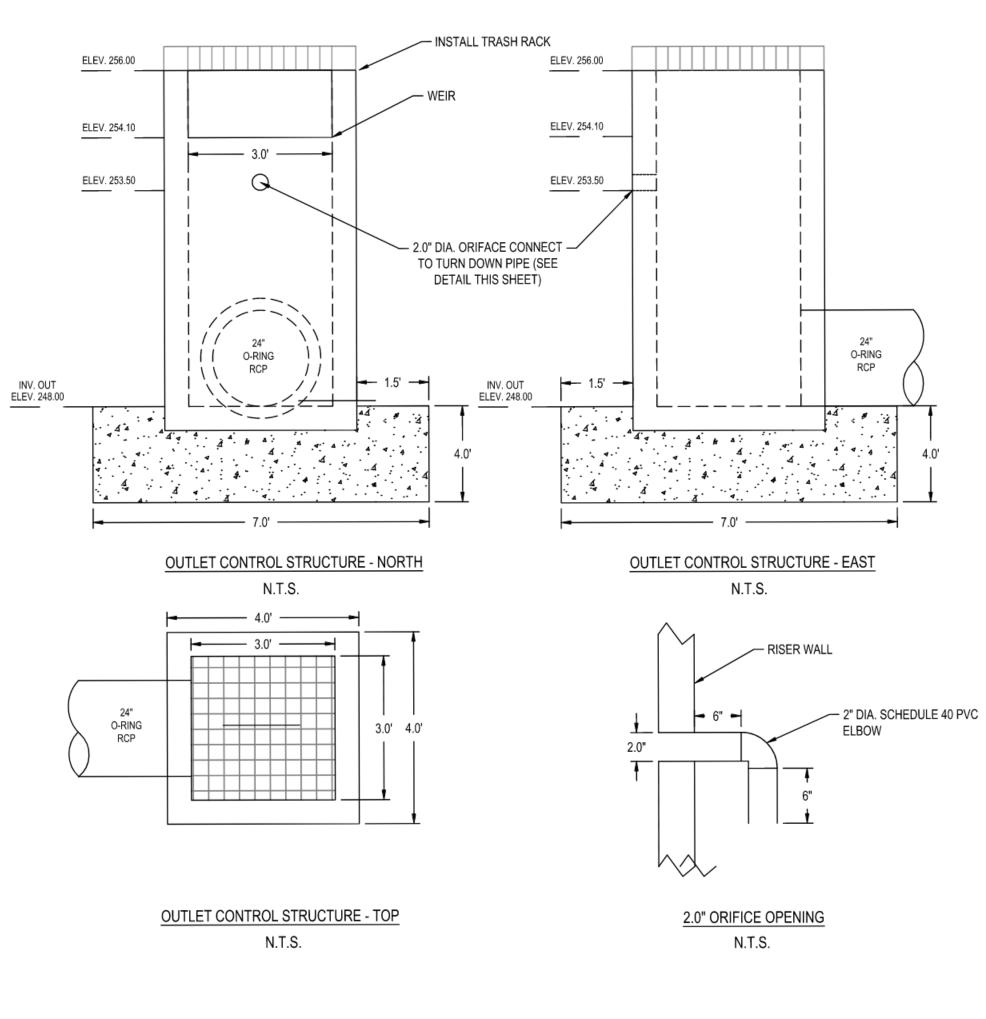
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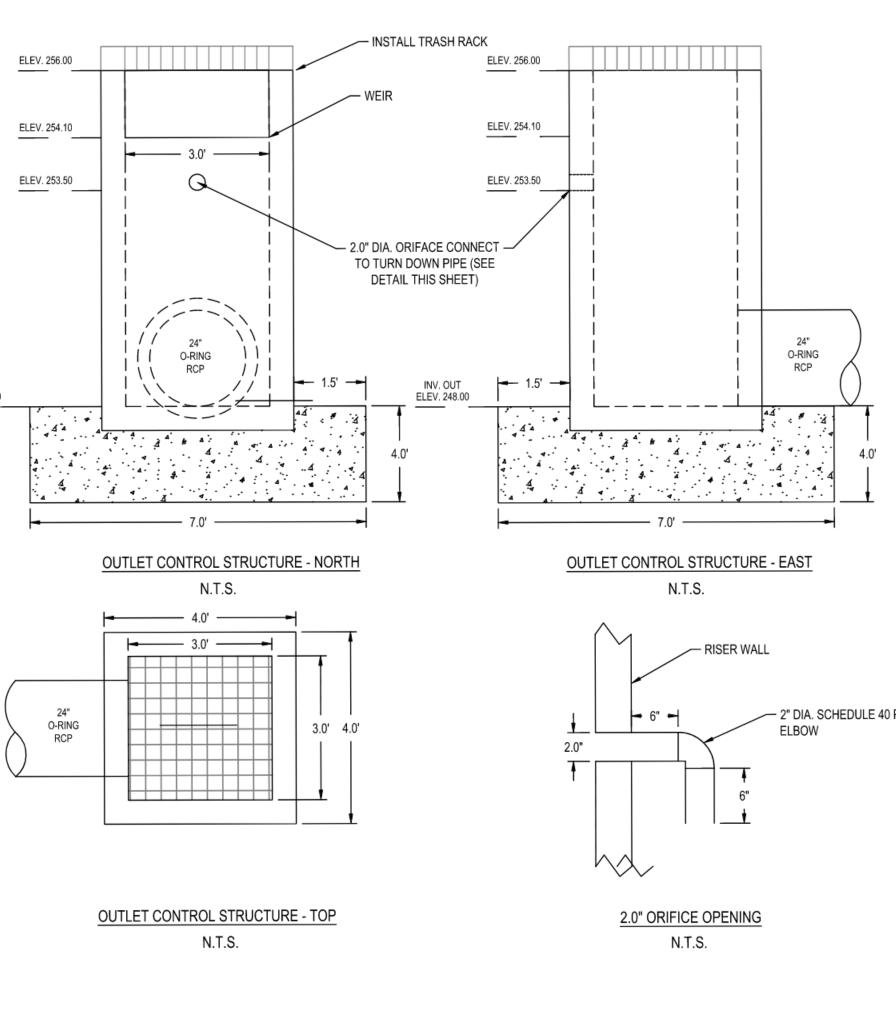
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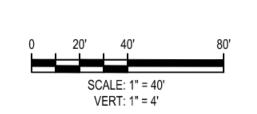












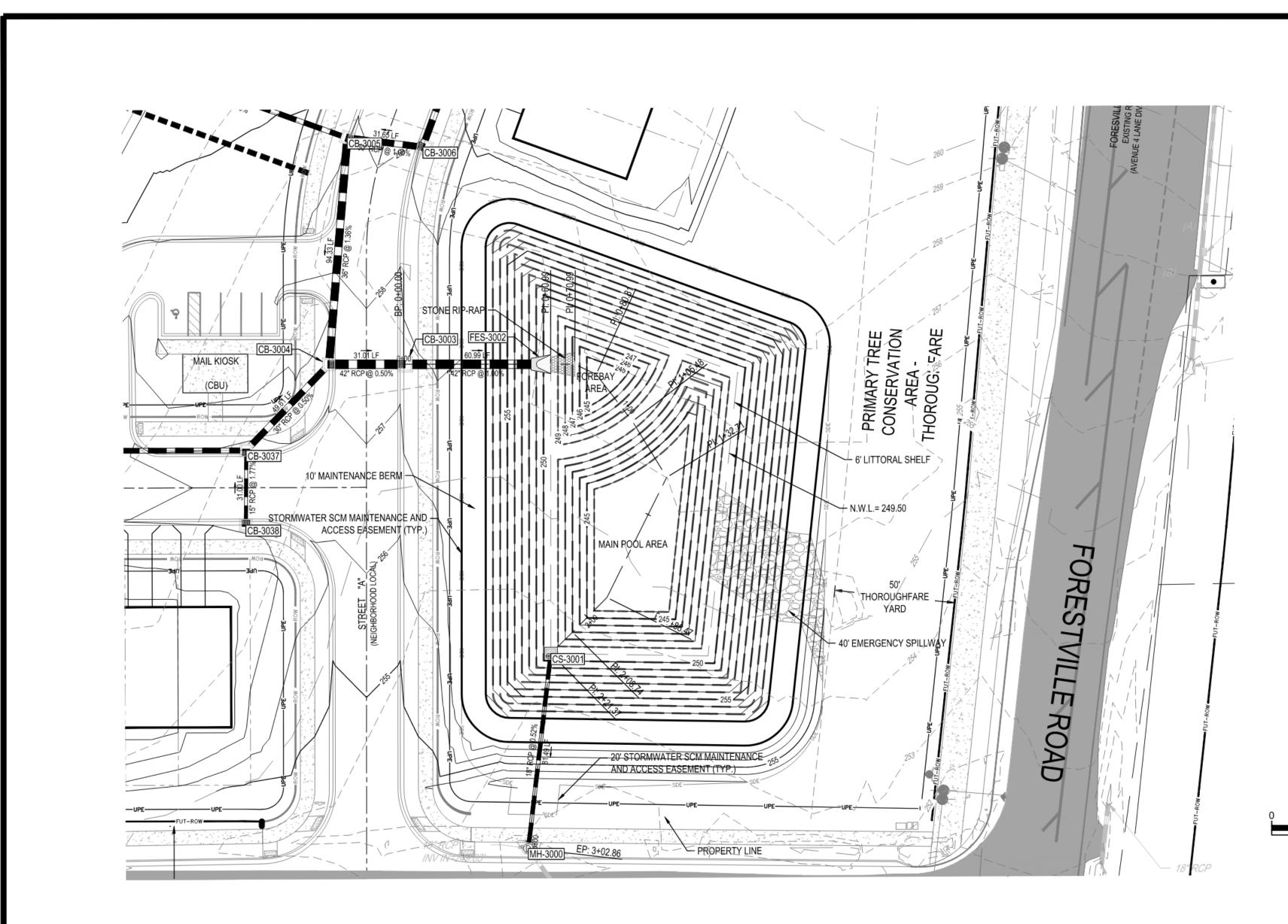
ATTENTION CONTRACTORS

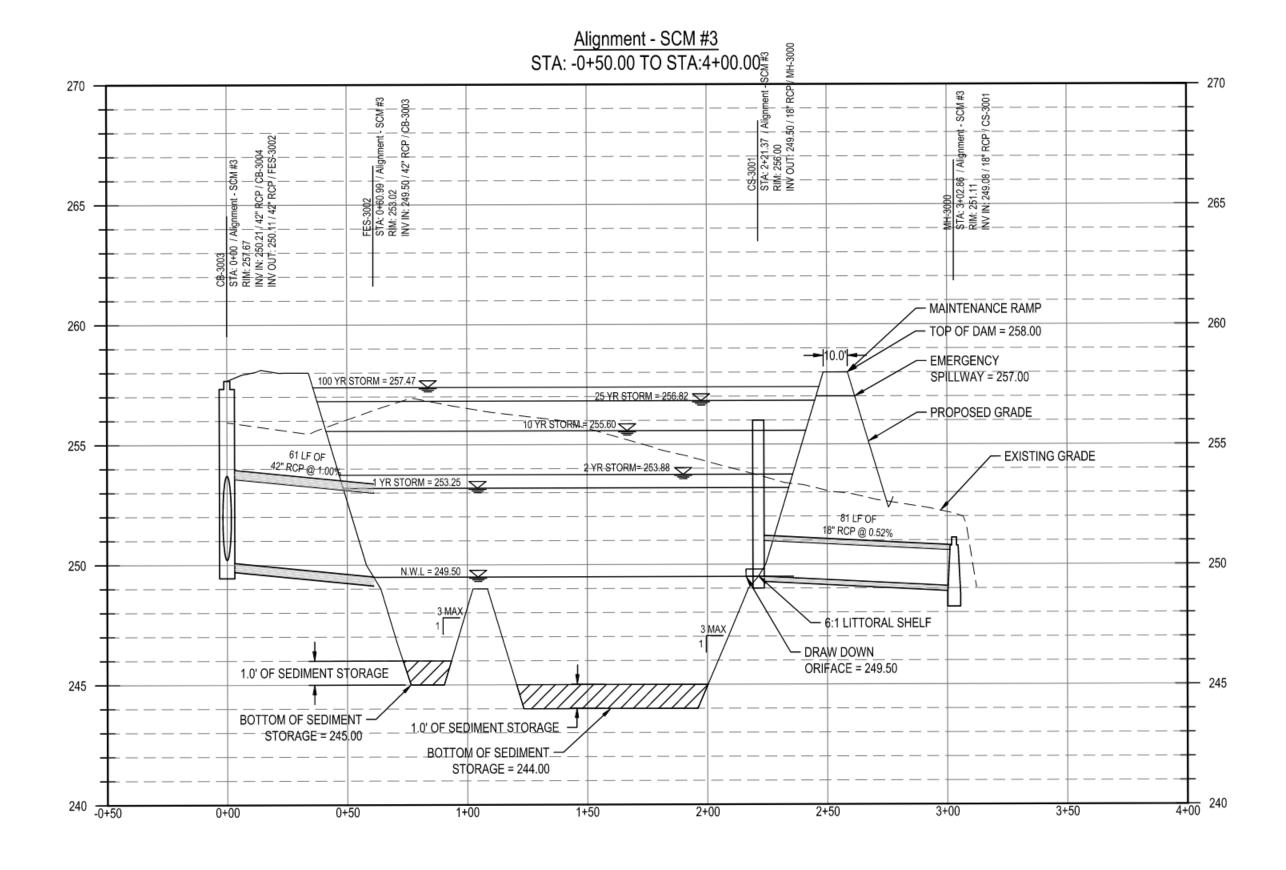
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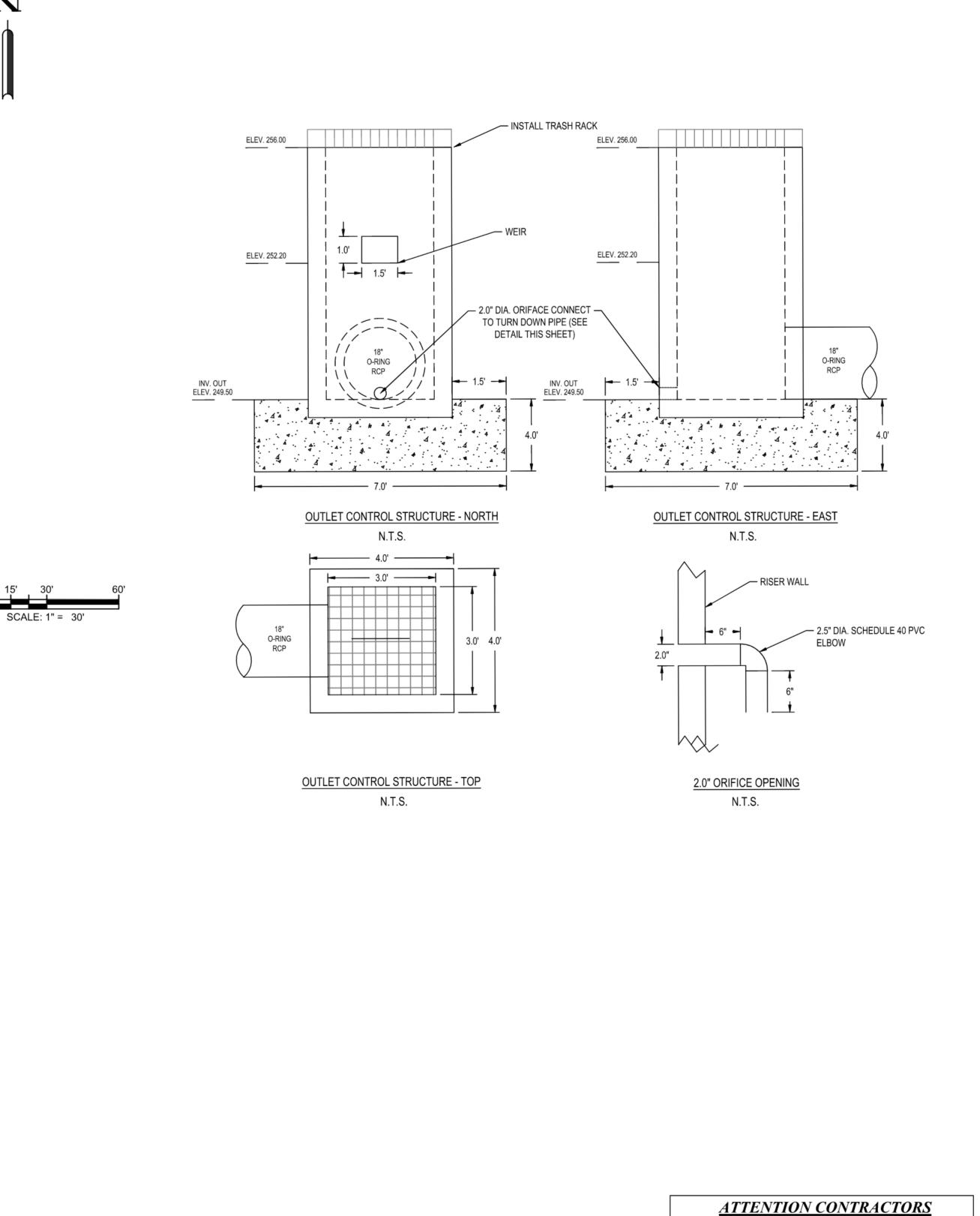
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| | 01/16/2023 SUB-0027-2022 - REVISION 4 | 11/23/2022 SUB-0027-2022 - REVISION 3 | 09/23/2022 SUB-0027-2022 - REVISION 2 | 07/22/2022 SUB-0027-2022 - REVISION 1 | DATE DESCRIPTION |
|------------------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|---|
| 5 | 4 01 | 3 11 | 20 09 | A 07 | REV |
| DESI | GNED |) BY: | | JD | J |
| | | | | AG TR | |
| | | | EAAD WADE DAPK BLVD SLITTE 102 | | NVVVV.BGEINC.COM NC LICENSE #C-4397 ©2023 |
| | DR HORTON | | 2000 AERIAL CENTER PARKWAY STE 110 | MORRISVILLE NC 27560 | |
| FORFSTVILLE ROAD | TOWNHOMES | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | C, JEEO, JEEO, JEEC, JEEC, JEEC, JEEC, JEEC, ALLEIGH NC 27604 |
| | | | SCM 2 PLAN AND PROFILE | | |
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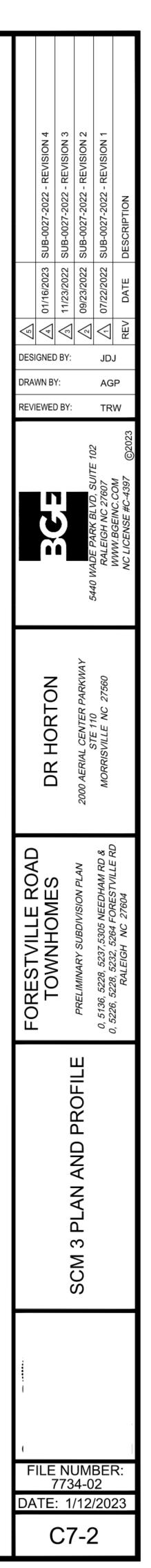
SCALE: 1" = 40' VERT: 1" = 4'

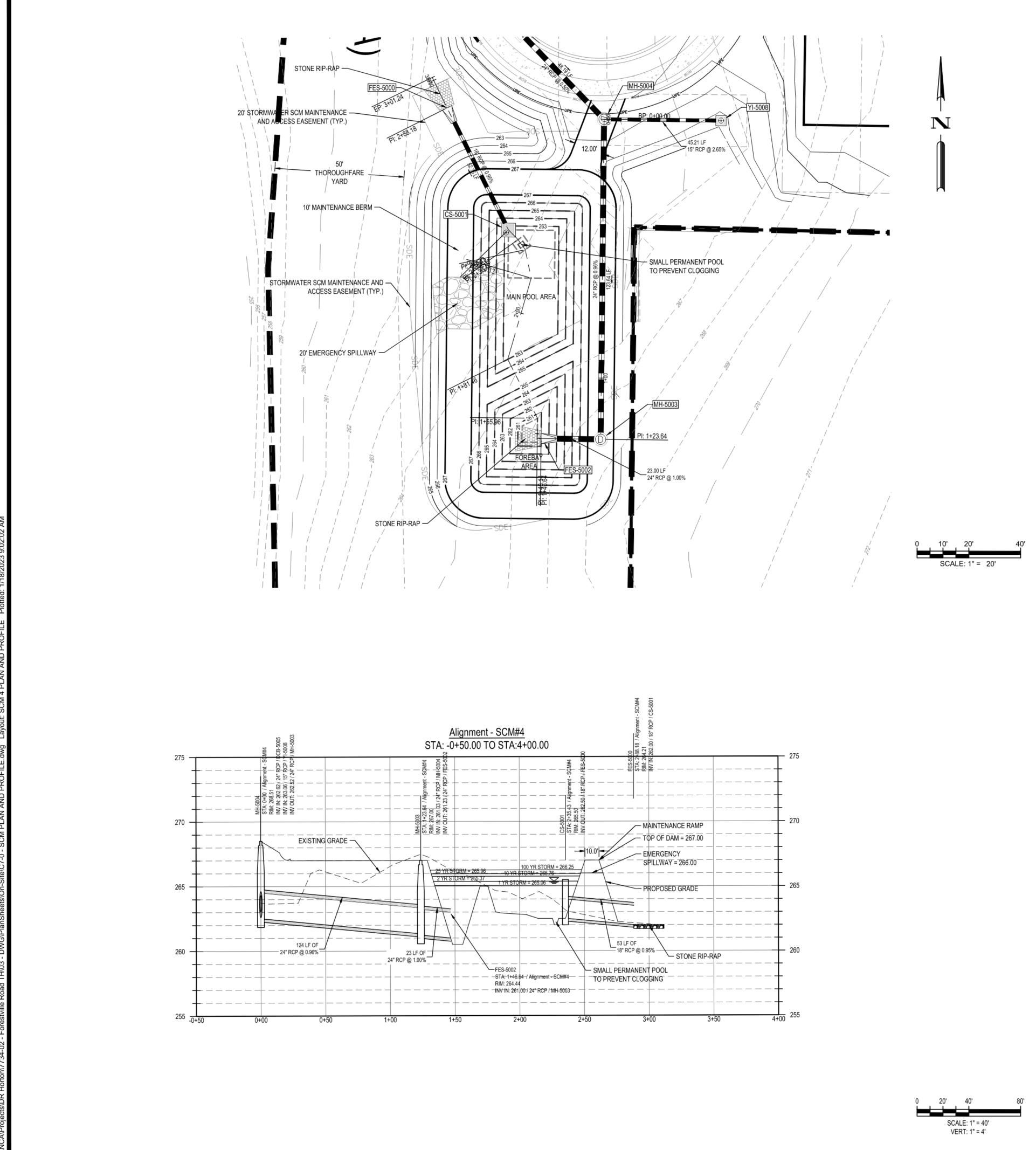
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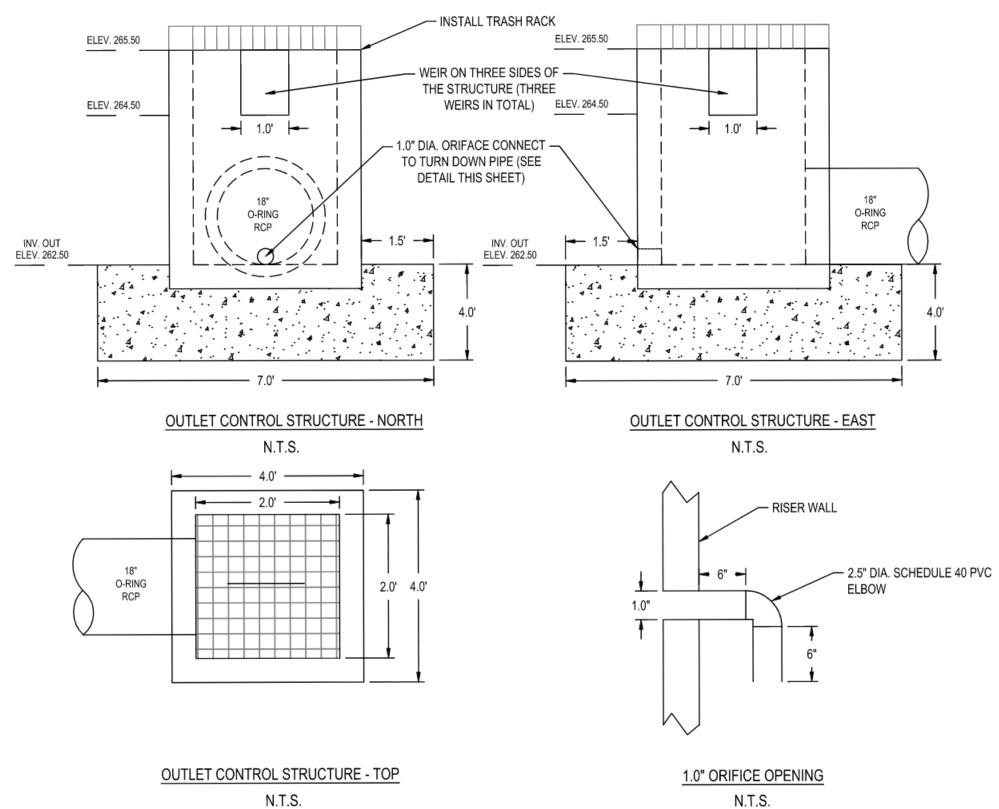
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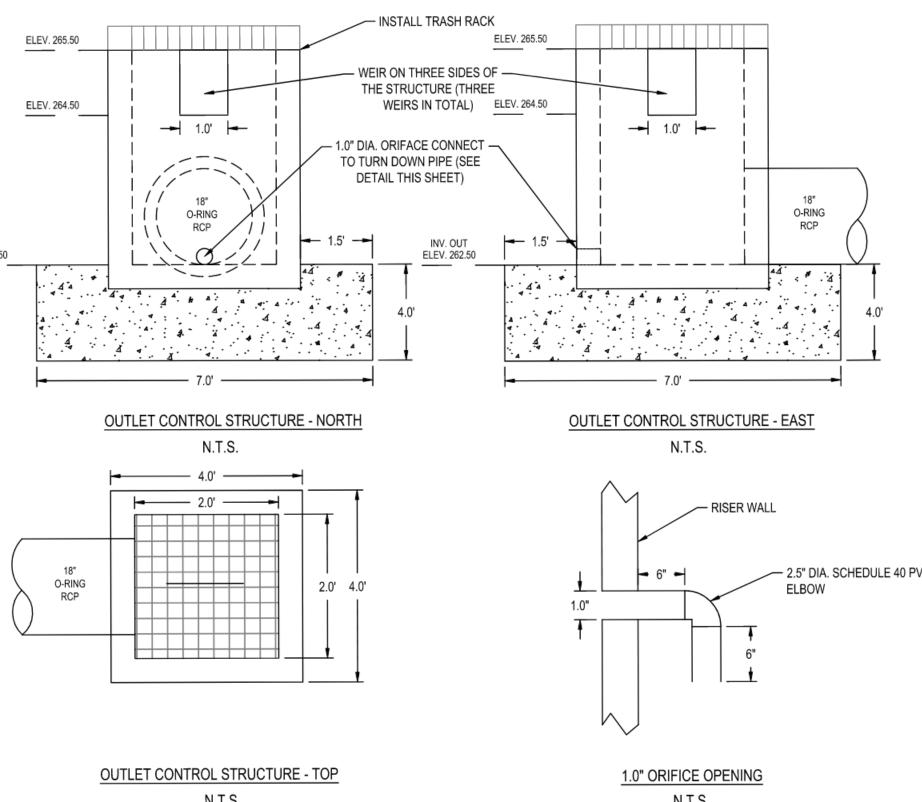
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N.T.S.

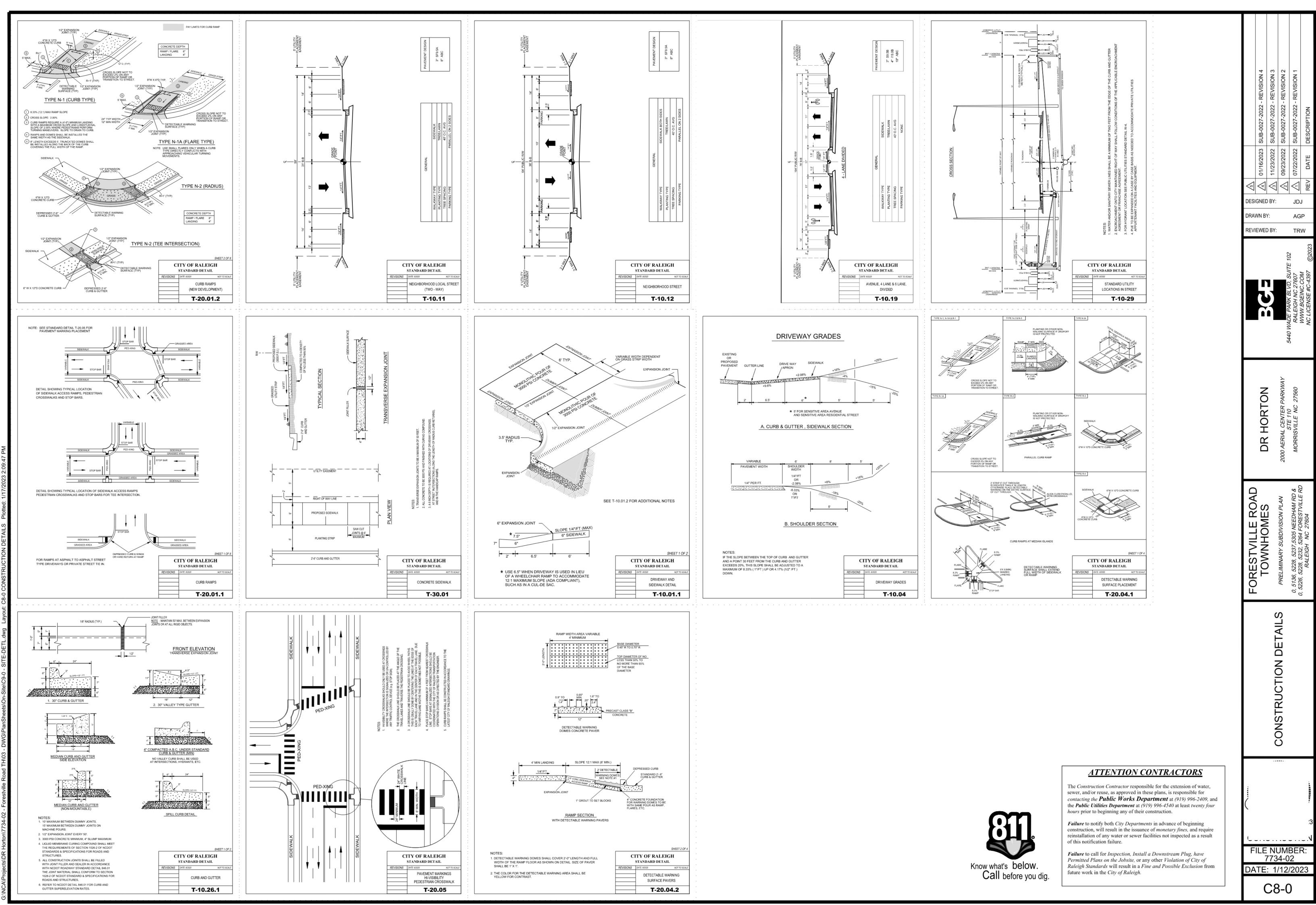
ATTENTION CONTRACTORS

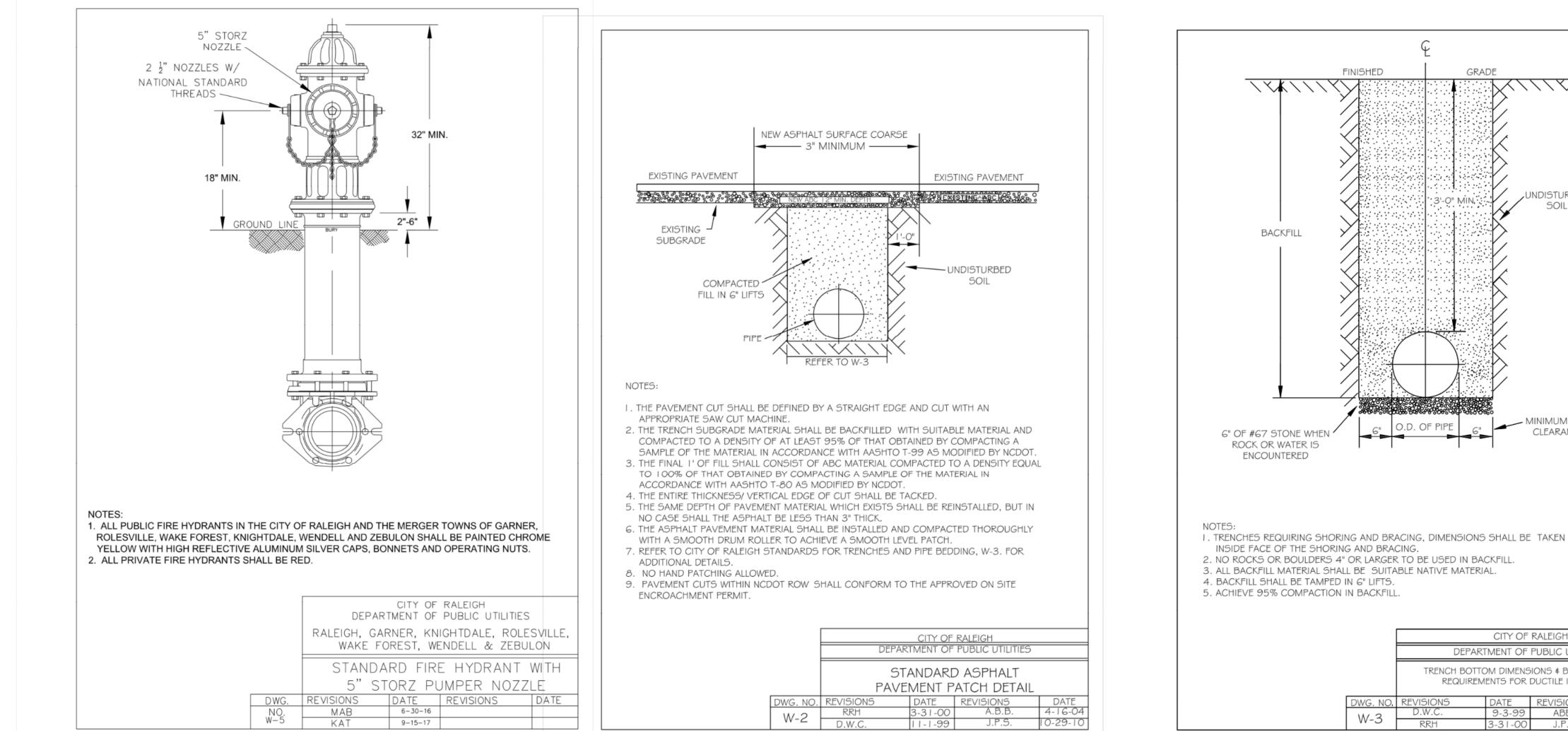
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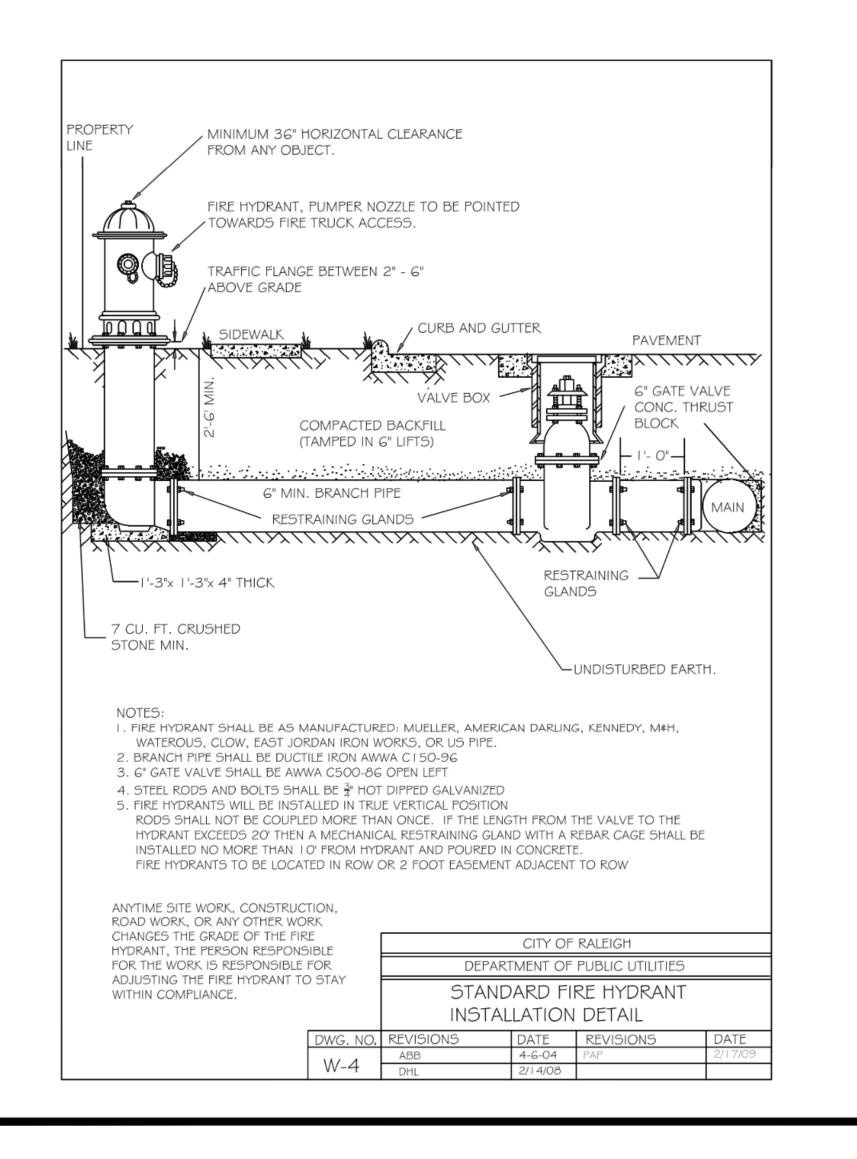
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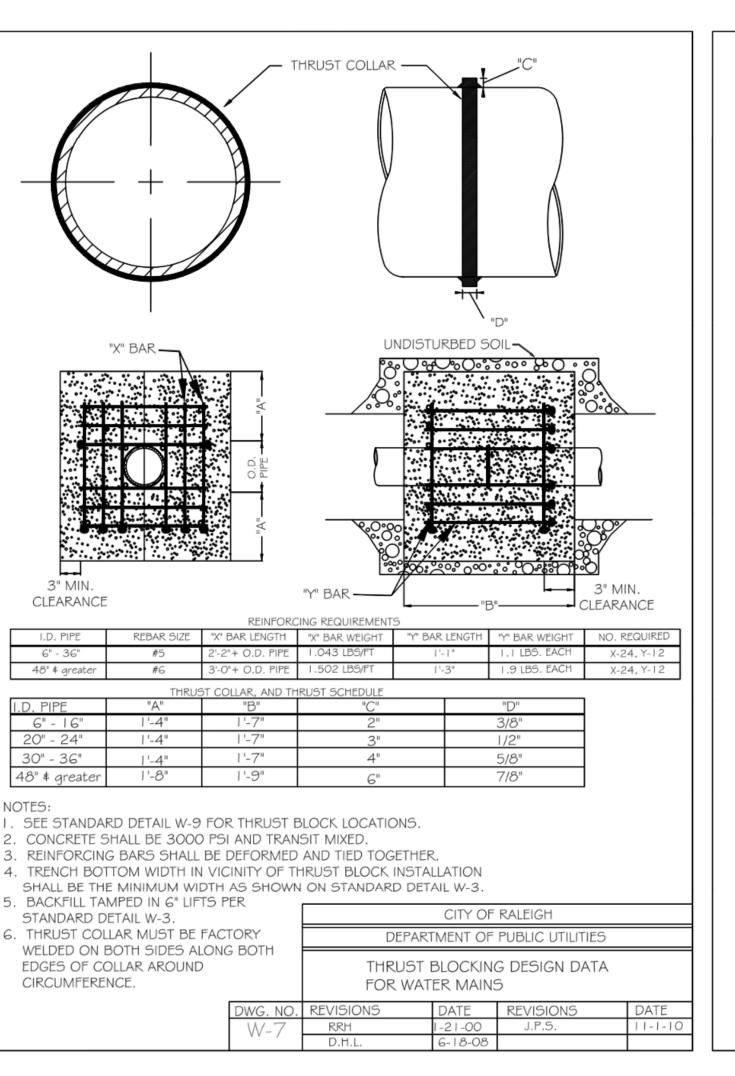
| | /N B` | Y: | 47 5440 MADE DARK RIVD SUITE 102 09/23/2022 SUB-0027-2022 - REVISION 2 | RALEIGH NC 27607 2010 2011 2011 2011 2011 2011 2012 2022 - REVISION 1 | Р |
|------------------|-----------|-------------|--|--|------------------|
| | DR HORTON | | 2000 AERIAL CENTER PARKWAY | MORRISVILLE NC 27560 | |
| FORESTVILLE ROAD | TOWNHOMES | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | RALEIGH NC 27604 |
| | | | SCIM 4 PLAN AND PROFILE | | |
| FI DA | TE | 773 : 1/ | 4-0 | /202 | |

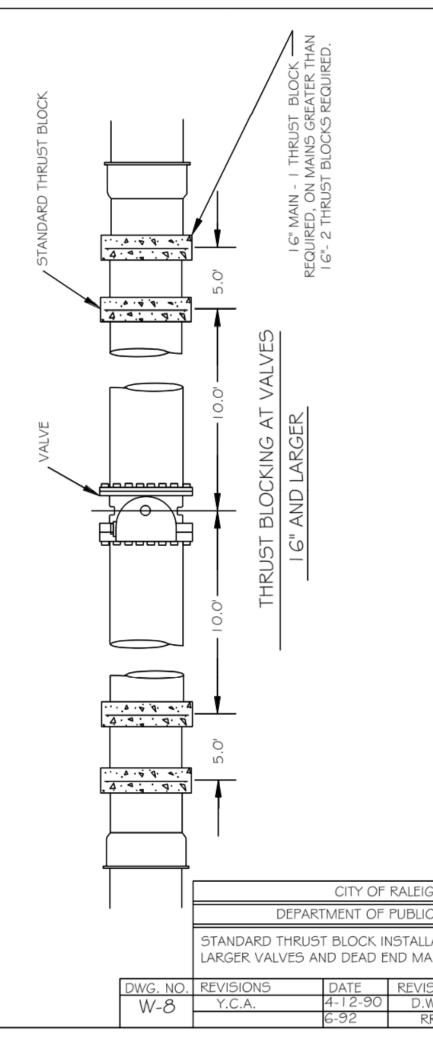




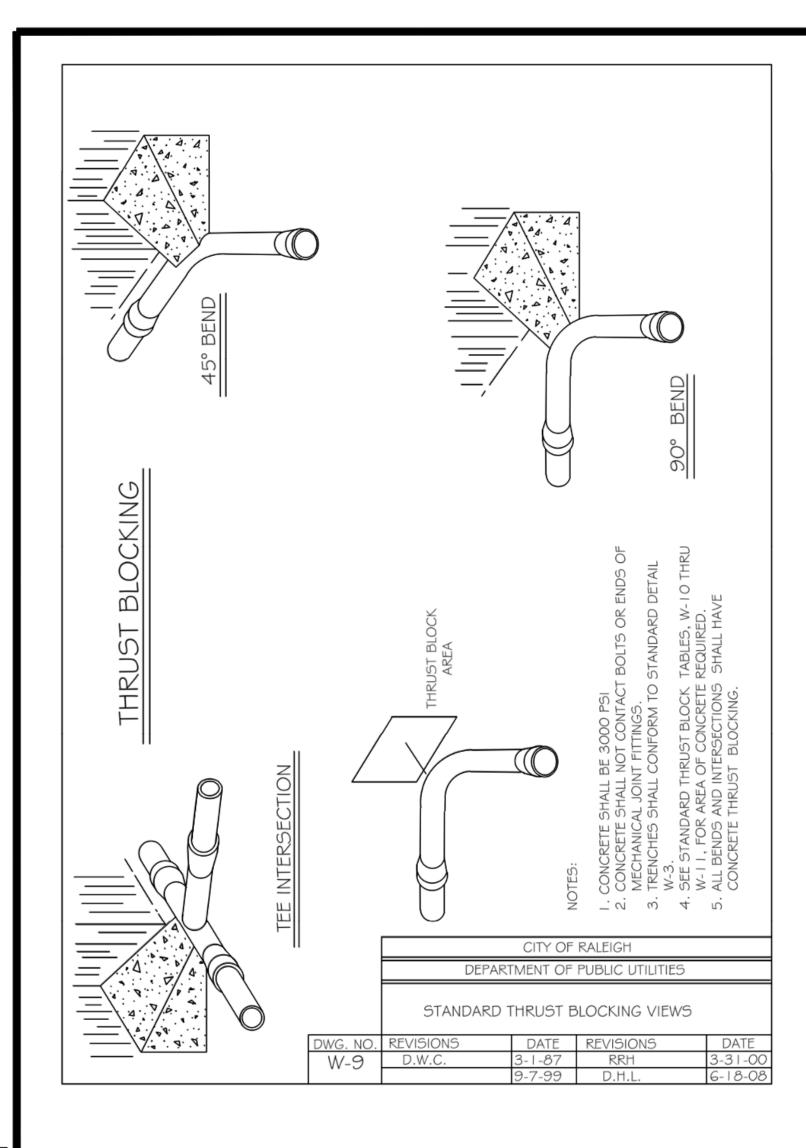


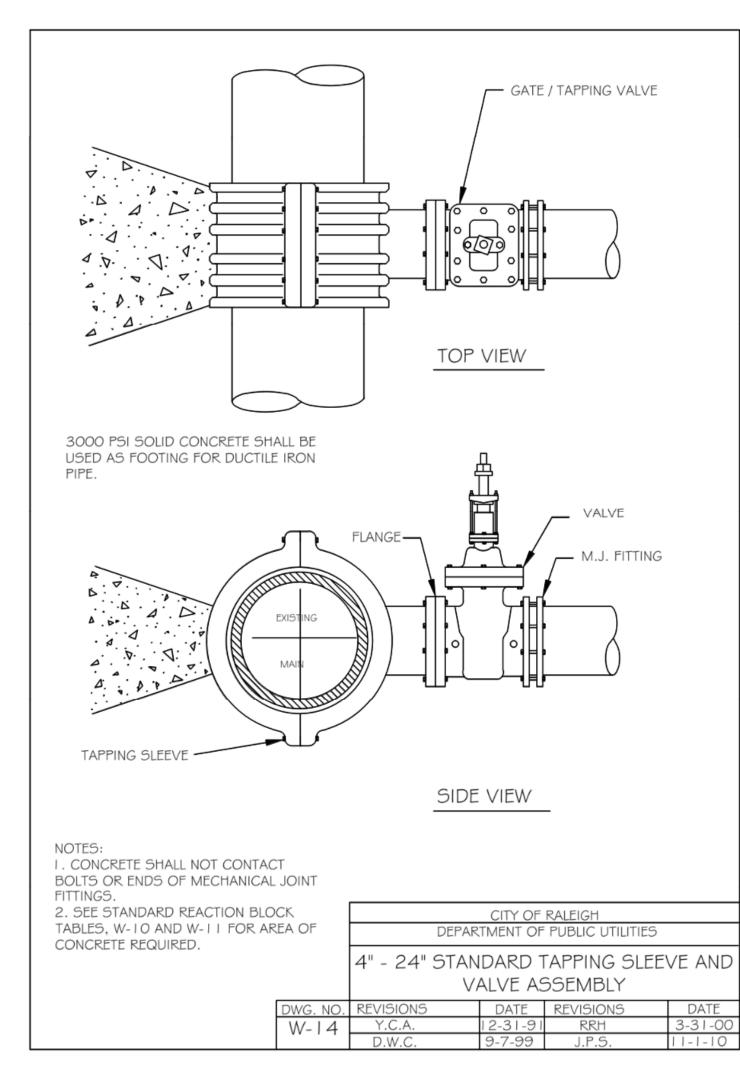




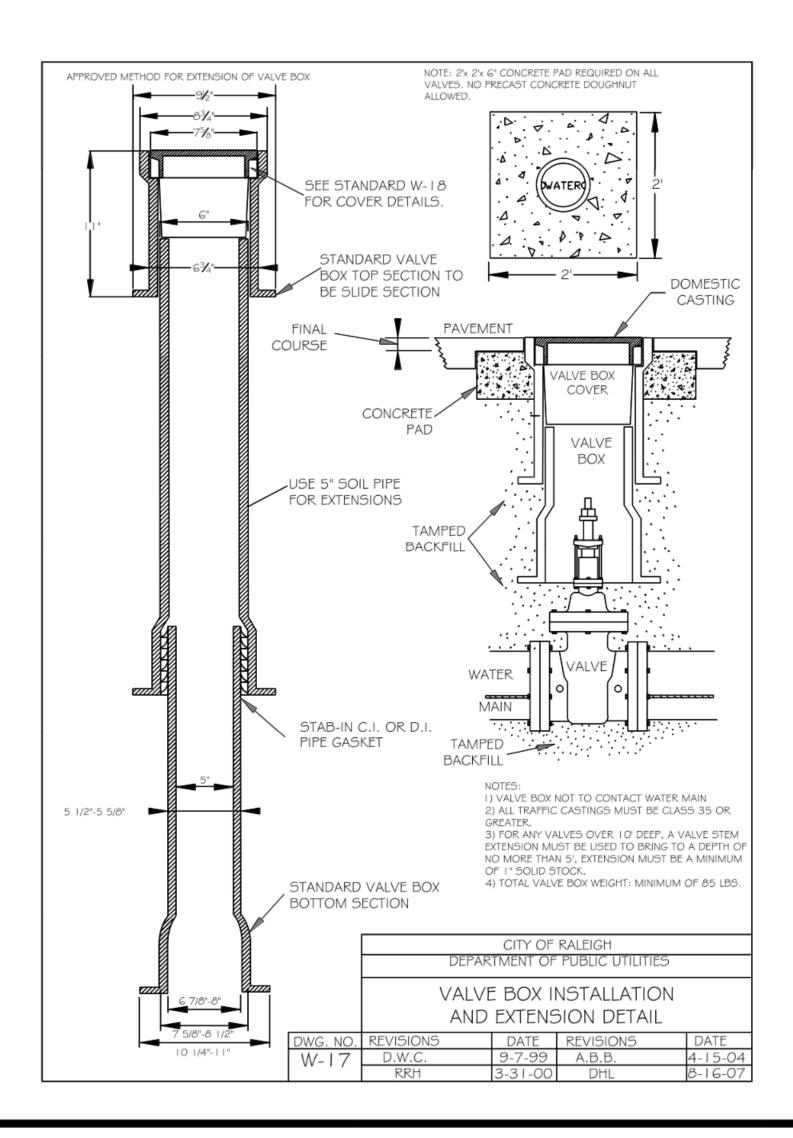


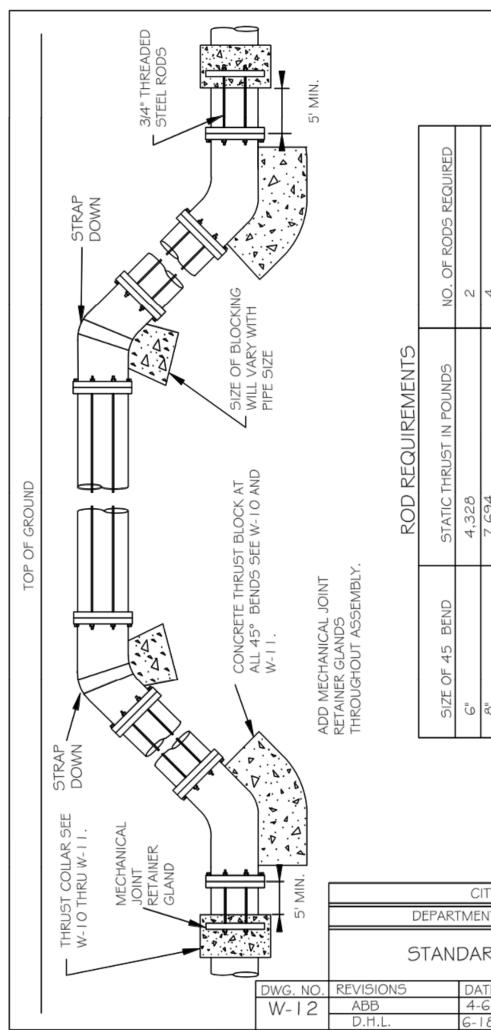
| | - REVISION 4 - REVISION 3 - REVISION 3 - REVISION 2 | - KEVISION 1 |
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| JRBED IL | SUB-0027-2022 SUB-0027-2022 SUB-0027-2022 SUB-0027-2022 | DESCRIPTION |
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| | 5440 WADE PARK BLVD, S | KALEIGH NC Z7607 WWW.BGEINC.COM NC LICENSE #C-4397 ©202 |
| N FROM THE | 5440 WA | |
| UTILITIES BACKFILLING EIRON DATE BB 2-15-05 P.S. 10-29-10 | DR HORTON STE 110 STE 110 | MUKKISVILLE NG ZIJDU |
| | FORESTVILLE ROAD TOWNHOMES PRELIMINARY SUBDIVISION PLAN | 0, 5226, 5228, 5232, 5264 FORESTVILLE RD RALEIGH NC 27604 |
| | UTILITY DETAILS (1 OF 5) | |
| The Construction Contra sewer, and/or reuse, as a | TION CONTRACTORS actor responsible for the extension of water, approved in these plans, is responsible for Works Department at (919) 996-2409, and | |
| GH GH Failure to notify both C construction, will result reinstallation of any wat of this notification failure | artment at (919) 996-4540 at least twenty four g any of their construction. "ity Departments in advance of beginning in the issuance of monetary fines, and require ere or sewer facilities not inspected as a result re. | 3 |
| Permitted Plans on the | ection, Install a Downstream Plug, have Jobsite, or any other Violation of City of result in a Fine and Possible Exclusion from of Raleigh. | |





| R | REACTION | BEAR | | | DR HOR PRESSUR | | | ER PIPE | E BENDS | 5 |
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| SIZE AND ON | POUND THE | No must | 2000 135 100 100 100 100 100 100 100 100 100 10 | 1997/2000 | 10000000000000000000000000000000000000 | Selection Der Clark | 500, CONFRACT FIRM | 0161100 2011-100 2011-100 | 10,000 LB (13,000) | 2000 20100 20100 |
| 6" /4° | 1,108 | 1 | 1 | 1 | | | | 2 | | |
| 22 I/2° | 2,207 | 1 | 2 | 2 | | 1 | | 3 | | |
| 45° | 4,328 | 2 | 3 | 3 | | 1 | 2 | 5 | , | |
| 90° | 7,996 | 2 | 4 | 5 | | 1 | 2 | 8 | | |
| PLUG | 5,655 | 2 | 3 | 4 | , , | | 2 | 6 | | |
| 8" | 0,000 | <u> </u> | | | , | | | | | |
| /4° | 1,970 | 1 | 1 | 2 | 1 | 1 | 1 | 2 | 1 | |
| 22 1/2° | 3,922 | 1 | 2 | 3 | 1 | - 1 | 1 | 4 | | |
| 45° | 7,694 | 2 | 4 | 5 | 1 | 1 | 2 | 8 | | |
| 90° | 14,215 | 4 | 8 | 9 | 2 | 2 | 4 | 15 | 2 | |
| PLUG | 10,053 | 3 | 5 | 6 | 2 | 2 | 3 | 10 | | |
| 12" | | | | | | | | | | |
| /4° | 4,433 | 2 | 3 | 3 | 1 | I | 2 | 5 | I | |
| 22 I/2° | 8,826 | 3 | 5 | 6 | 2 | 2 | 3 | 9 | | |
| 45° | 17,312 | 5 | 9 | | 3 | 3 | 5 | 18 | 2 | |
| 90° | 31,983 | 8 | 16 | 19 | 4 | 4 | 8 | 32 | 4 | |
| PLUG | 22,619 | 6 | 12 | 14 | 3 | 3 | 6 | 23 | 3 | |
| 16" | | | | | | | | | | |
| /4° | 7,881 | 2 | 4 | 5 | 1 | 1 | 2 | 8 | I | |
| 22 I/2° | 15,691 | 4 | 8 | 10 | 2 | 2 | 4 | 16 | 2 | |
| 45° | 30,779 | 8 | 16 | 19 | 4 | 4 | 8 | 31 | 4 | |
| 90° | 56,861 | 15 | 29 | 35 | 8 | 8 | 15 | 57 | 6 | |
| PLUG | 40,213 | 10 | 21 | 25 | 5 | 5 | 10 | 41 | 5 | |
| FEET MEAS | BEARING ARI GURED IN A V DE AT AN AN ECTOR. | ERTICAL | PLANE IN | THE | | THRUS | TMENT OF | CKING | UTILITIES DESIGI | N |
| | 0 BEND VAL FOR ADDITI CTOR. | | | | REVISION .W.C. | | QUANTI DATE 6-23-99 | REVIS | | DATE |





| nt R[| | 7,694 | | | 4 | |
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| OF | | 17,312 | | | 4 | |
| PL /E | 1 G" | 30,779 | | | Ø | |
| JBL RT | | 69,252 | | | 8 | |
| IGH IC UT ISIO P.S. | | | | | | |
| NL E | | | | | | |
| BEN | GENERAL NOTES: I. STEEL RODS AND BOLTS SHALL BE 3/- | 4" HOT DI | PED GA | LVANIZED. | | |
| D DATE 11-1-10 | CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT BENDS. RESTRAINED MECHANICAL GLANDS TO BE USED AT ALL FITTINGS. MUST USE DUCTILE IRON EYE BOLTS WHERE NECESSARY. RUNIMINAL COVER MULST BE MAINTAINED ON ALL WATER MAINS. | OR EN D BE USEI WHERE NE | DS OF N AT ALL CESSAR | IECHANICAL FITTINGS. Υ. =₽ ΜΔΙΝG | JOINT BEN | NDS. |
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| DR HORTON | | WN B' | GNE | 4 01/16/2023 | | SUB-0027-2022 - REVISION 4 |
| | | | | 3 11/23/2022 | | SUB-0027-2022 - REVISION 3 |
| 2000 AERIAL CENTER PARKWAY STE 110 | | | | 20123/2022 | | SUB-0027-2022 - REVISION 2 |
| MORRISVILLE NC 27560 | RALEIGH NC 27607 | AG TR | JD | 07/22/2022 | | SUB-0027-2022 - REVISION 1 |
| | WWW.BGEINC.COM NC LICENSE #C-4397 ©2023 | | | REV DATE | | DESCRIPTION |
| | | - | _ | | | |

ATTENTION CONTRACTORS

FORESTVILLE ROAD TOWNHOMES

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FILE NUMBER:

DATE: 1/12/2023

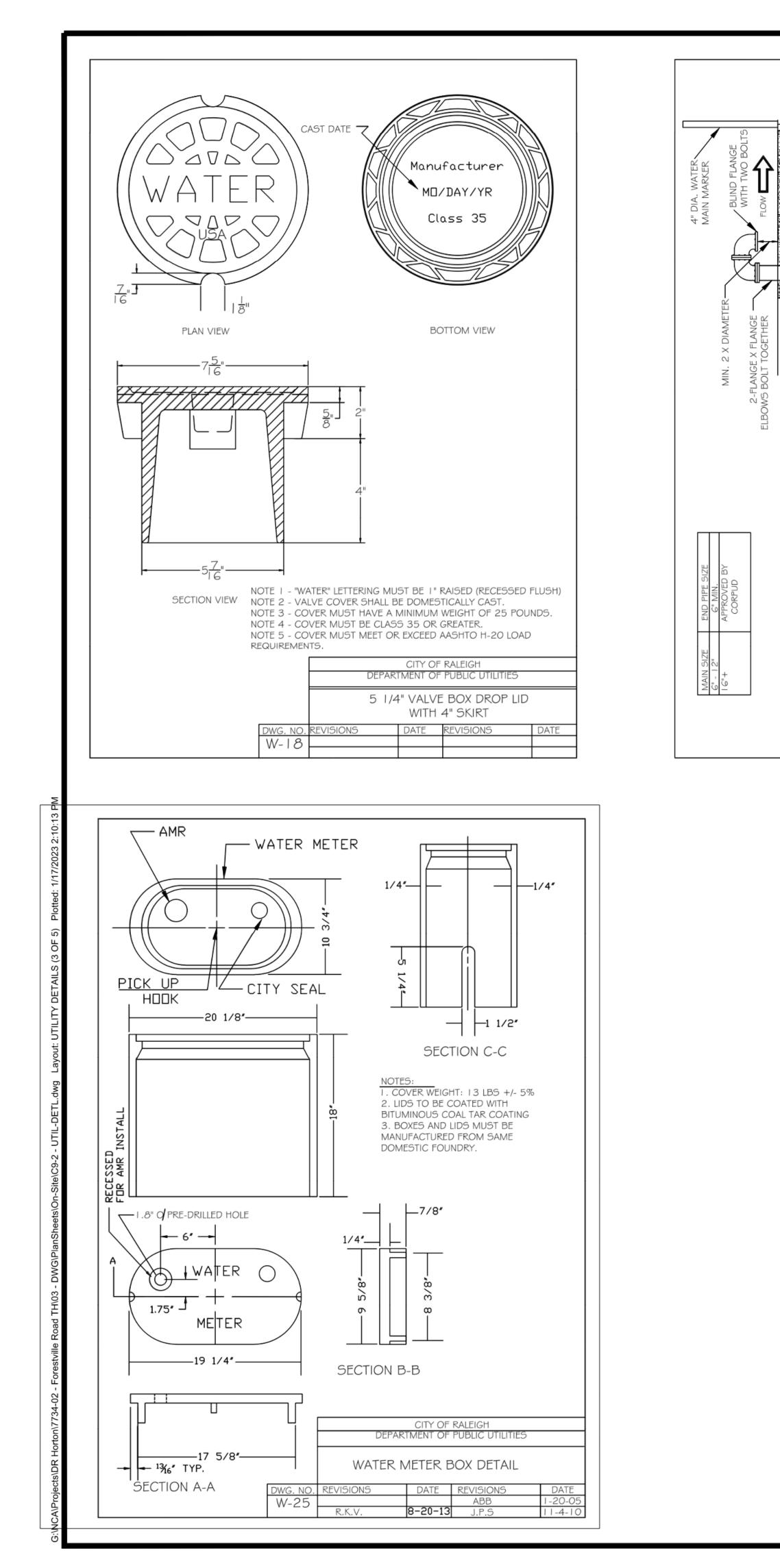
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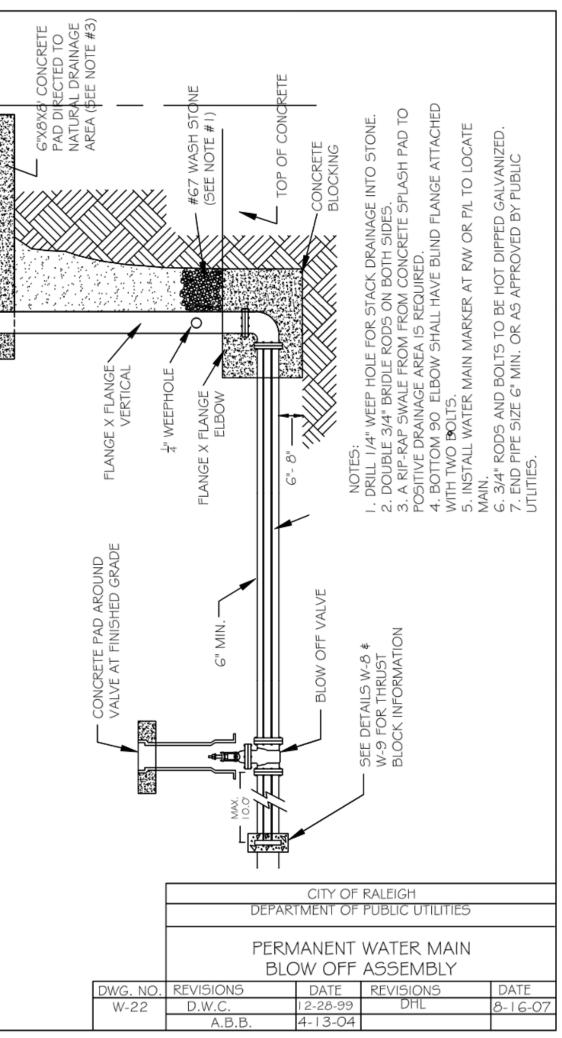
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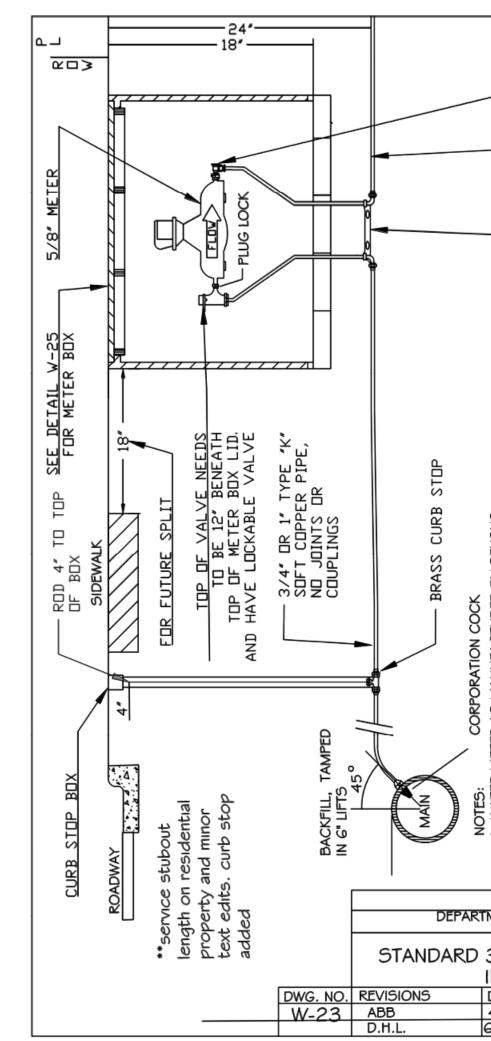
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| 1. WATER METER AS MANUFACTURED BY SENSUS, OR SCHLUMBERGER. 2. DIRECT TAP ALLOWED ON MAINS NO LARGER SETTER METER YOKE THAN 1.6" LINF | 3. METER BOX TO BE LOCATED IN RW ADJACENT TO PROPERITY OR IN APPROVED EASEMENT ADJACENT TO RW. DR 1' SERVICE SIZE PEX 2' | 4. WHEN THE GRADE CHANGES ON EXISTING SERVICES, A COPPER RESETTER CAN BE USED TO ADJUST TO GRADE. BACKFLDW PREVENTION DEVICE | | CURB STOP OPERATION. |
|---|--|---|----|------------------------|
| 1. WATER METER AS MANUFACTURED OR SCHLUMBERGER. 2. DIRECT TAP ALLOWED ON MAINS THAN 1.6" I INF | 3. METER BOX TO BE LOCATED IN RA PROPERTY OR IN APPROVED EASEMENT ADJACE | 4. WHEN THE GRADE CHANGES ON E A COPPER RESETTER CAN BE USED 1 COPPER RESETTERS ARE PROHIBITEI | | CURB STOP OPERATION. |
| CITY OF | RALEIGH | | 2 | |
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| 3/4" ∉ INSTAL | | TER SI N | ER | VICE |
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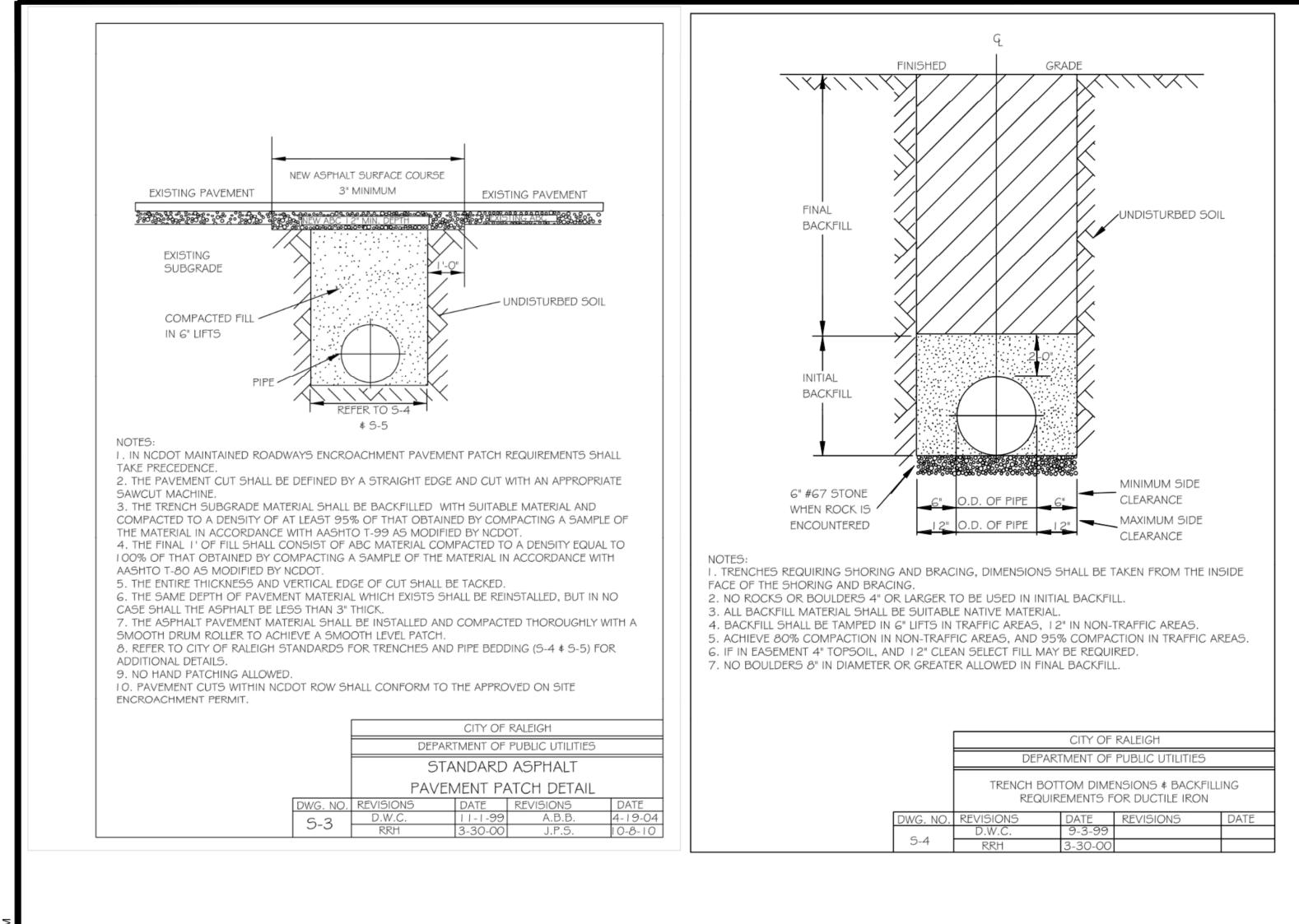
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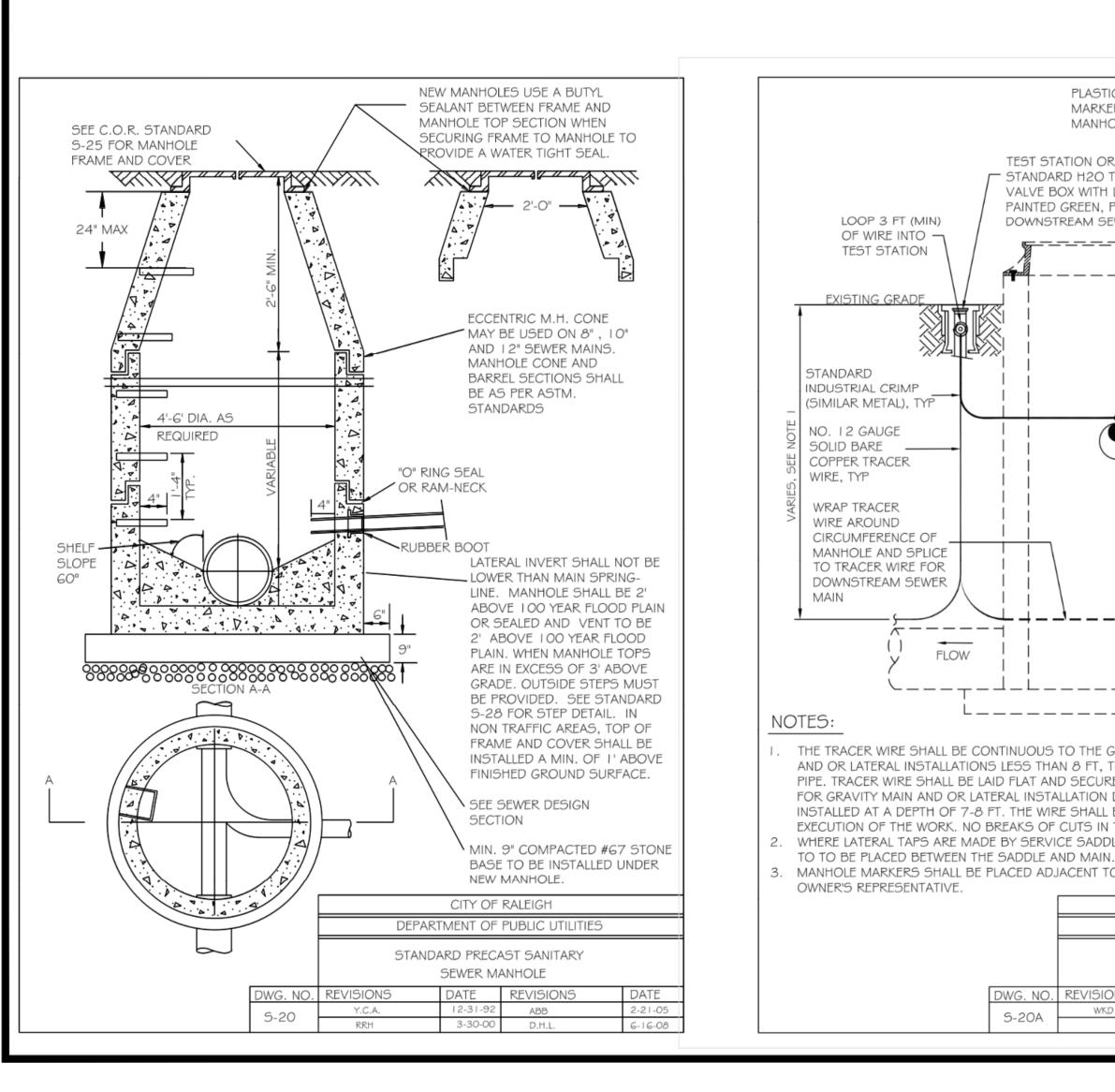
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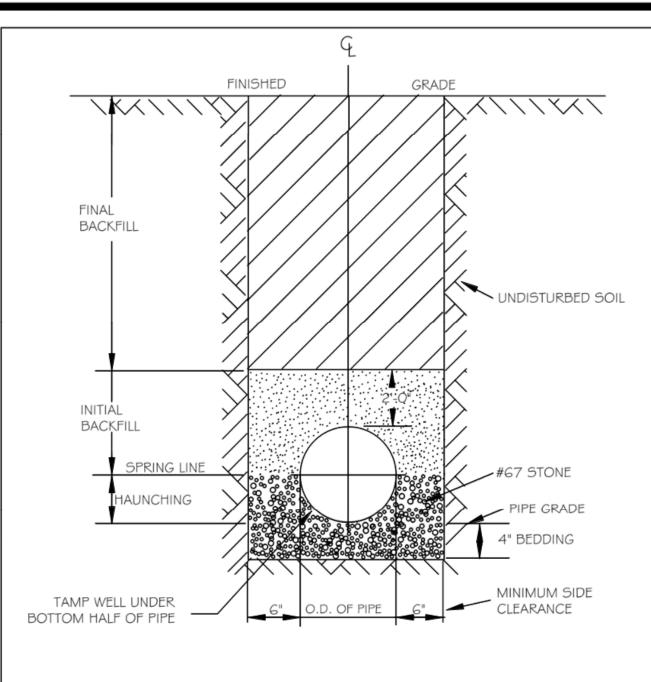
| A 01/16/2023 SUB-0027-2022 - REVISION 4 A 01/16/2023 SUB-0027-2022 - REVISION 3 A 01/16/2023 SUB-0027-2022 - REVISION 3 | DESIGNED BY: DRAWN BY: REVIEWED BY: | | EORESTVILLE ROAD DENONN BA EORESTVILLE ROAD DR HORTON |
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| DESIGNED BY: DRAWN BY: | DESIGNED BY: DRAWN BY: REVIEWED BY: | DESIGNED BY: DRAWN BY: REVIEWED BY: | FORESTVILLE ROAD DESIGNED BA: DESIGNED BA: D |
| DESIGNED BY: DRAWN BY: | DESIGNED BY: DRAWN BY: REVIEWED BY: | DESIGNED BY: DRAWN BY: REVIEWED BY: | DESIGNED BY: DRAWN BY: REVIEWED BY: |
| DRAWN BY: | DRAWN BY: REVIEWED BY: | DRAWN BY: REVIEWED BY: | FORESTVILLE ROAD TOWNHOMES PRELIMINARY SUBDIVISION PLAN PRELIMINARY SUBDIVISION PLAN 2000 AERIAL CENTER PARKWAY |
| REVIEWED BY: | B | DR HORTON | FORESTVILLE ROAD TOWNHOMES DR HORTON PRELIMINARY SUBDIVISION PLAN 2000 AERIAL CENTER PARKINAY |
| S | | DR HORTON 2000 AERIAL CENTER PARKWAY | FORESTVILLE ROAD TOWNHOMES PRELIMINARY SUBDIVISION PLAN 2000 AERIAL CENTER PARKWAY |
| • | DR HORTON | | FORESTVILLE ROAD TOWNHOMES PRELIMINARY SUBDIVISION PLAN |











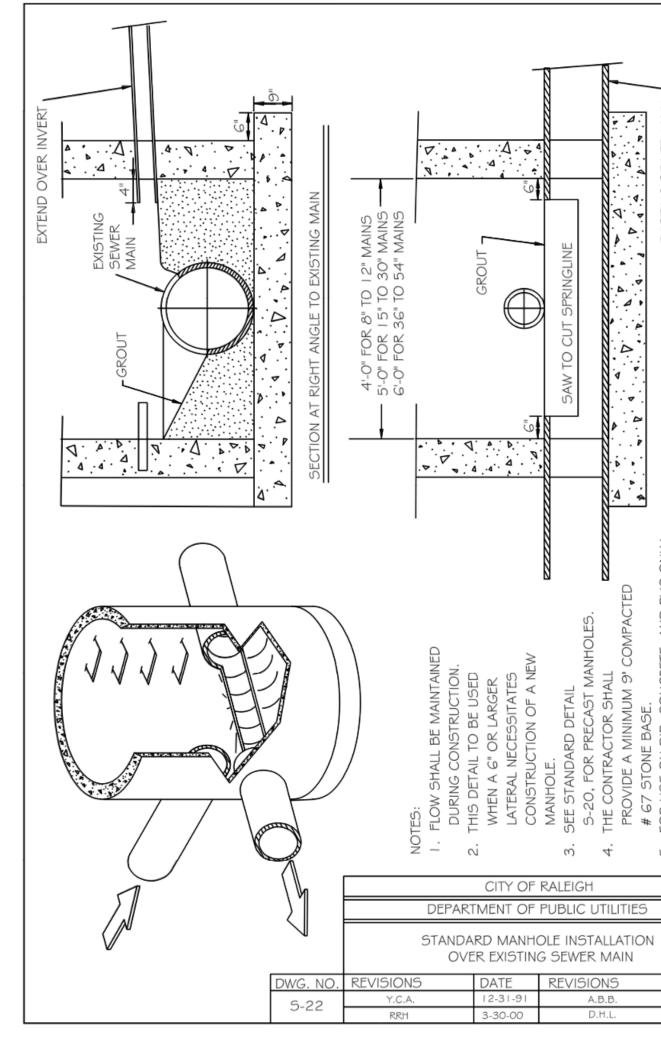
TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

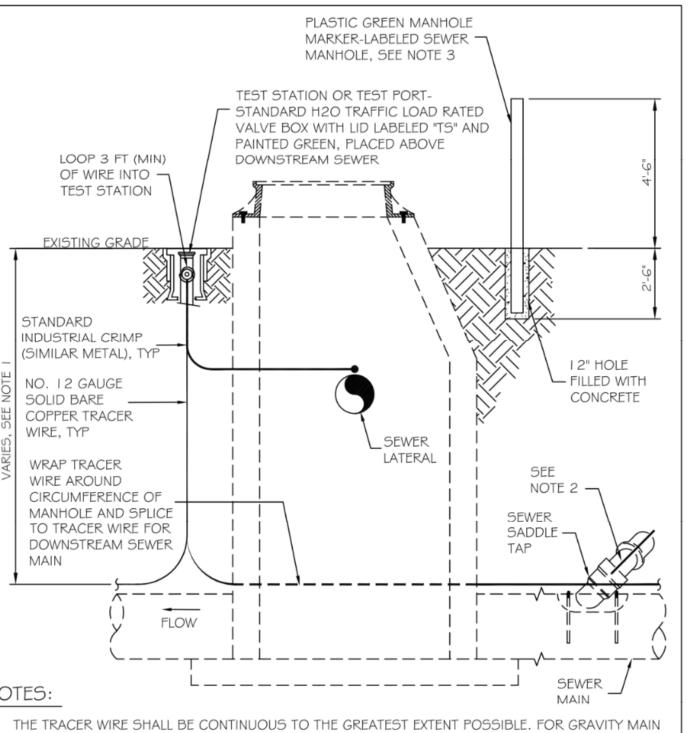
NOTES: I. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING. 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.

3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.

4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

| | | CITY OF | RALEIGH | |
|----------|-----------|---------|--|--------|
| | DEPART | MENT OF | PUBLIC UTILITIES | |
| | | | GIONS AND BACKFIL C GRAVITY SEWER N | |
| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
| S-5 | TO NOTES | 3-1-87 | D.W.C. | 9-3-99 |
| 5-5 | | 7-2-82 | RRH | 3-30-0 |
| | | | | |





AND OR LATERAL INSTALLATIONS LESS THAN 8 FT, THE TRACING WIRE SHALL BE ATTACHED TO THE PIPE. TRACER WIRE SHALL BE LAID FLAT AND SECURELY AFFIXED TO THE PIPE AT 10 FOOT INTERVALS. FOR GRAVITY MAIN AND OR LATERAL INSTALLATION DEEPER THAN 8 FT, THE TRACING WIRE SHALL BE INSTALLED AT A DEPTH OF 7-8 FT. THE WIRE SHALL BE PROTECTED FROM DAMAGE DURING THE EXECUTION OF THE WORK. NO BREAKS OF CUTS IN THE TRACER WIRE SHALL BE PERMITTED. WHERE LATERAL TAPS ARE MADE BY SERVICE SADDLES, THE TRACER WIRE SHALL NOT BE ALLOWED

MANHOLE MARKERS SHALL BE PLACED ADJACENT TO MANHOLES AT THE DISCRETION OF OWNER OR

| | | CITY OF | RALEIGH | |
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| | DEPAR | IMENT OF | PUBLIC UTILITIES | |
| | | | MAIN TRACER WIRE OLE MARKER | |
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| 5-20A | WKD | 09-14 | | |
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| | / | FORFSTVILLE ROAD | | | DRA | $\overline{5}$ | | | |
| | | TOWNHOMES | DR HORTON | | GNEE WN B | 01/1 | 16/2023 SUB-00 | 01/16/2023 SUB-0027-2022 - REVISION 4 | |
| | | | | | Y: | 3 11/2 | 23/2022 SUB-00 | 11/23/2022 SUB-0027-2022 - REVISION 3 | |
| | | PRELIMINARY SUBDIVISION PLAN | 2000 AERIAL CENTER PARKWAY | | | 2/60 | 23/2022 SUB-00 | 09/23/2022 SUB-0027-2022 - REVISION 2 | _ |
| | | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | MORRISVILLE NC 27560 | RALEIGH NC 27607 | JD. AG TR | 07/2 | 22/2022 SUB-00 | 07/22/2022 SUB-0027-2022 - REVISION 1 | |
| 3 | | U, JEZU, JEZU, JEJE, JEUT TONESTVILLE NU RALEIGH NC 27604 | | WWWV.BGEINC.COM NC LICENSE #C-4397 ©2023 | iΡ | REV D | DATE DESCR | DESCRIPTION | |

ATTENTION CONTRACTORS

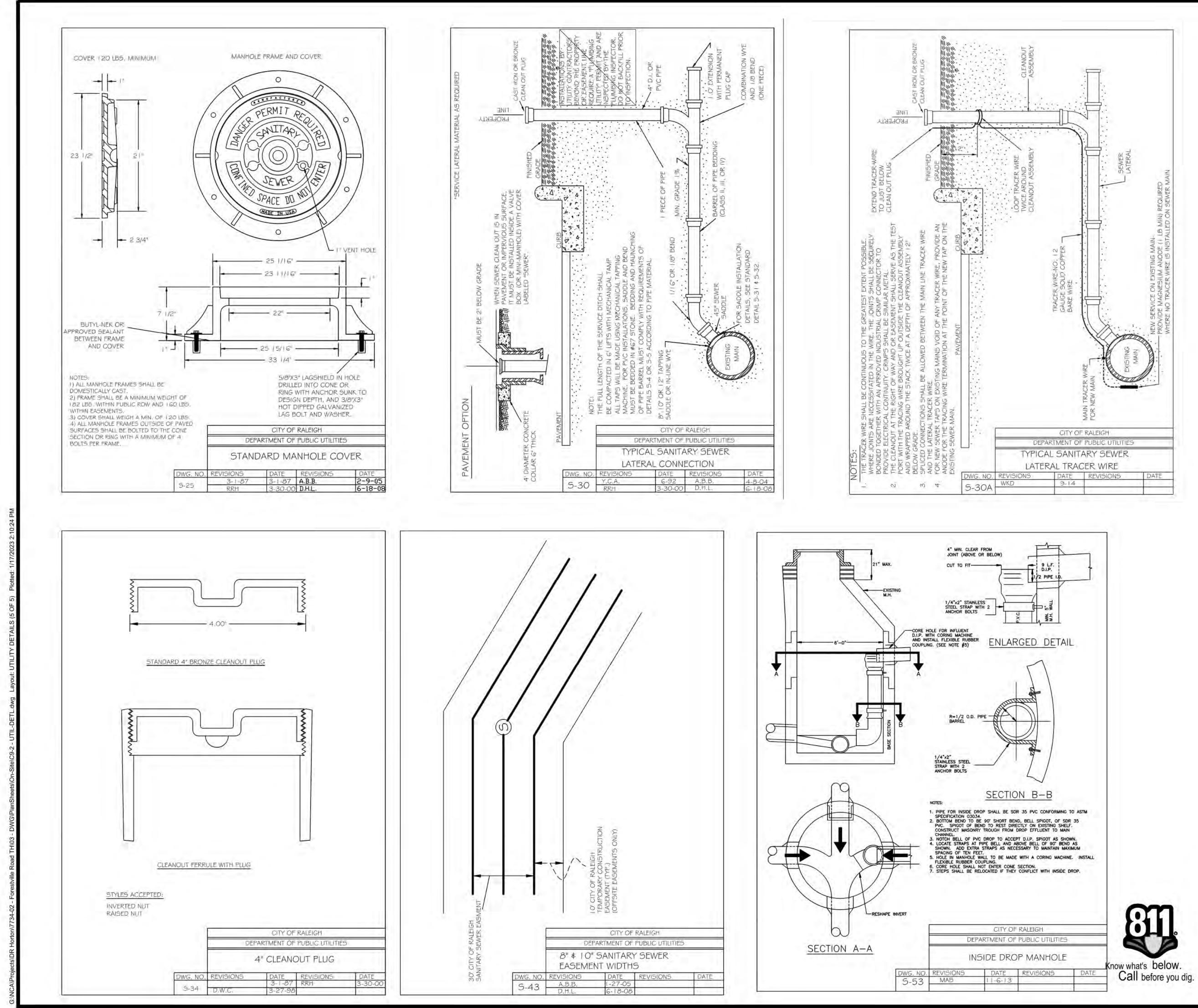
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

Know what's below. Call before you dig.

6 2 DATE -19-05 6/16/08



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

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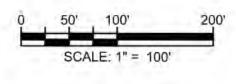
| ▲ 01/16/2023 SUB-0027-2022 - REVISION 4 | | 2 09/23/2022 SUB-0027-2022 - REVISION 2 | A 07/22/2022 SUB-0027-2022 - REVISION 1 | REV DATE DESCRIPTION |
|---|-----------|---|---|--------------------------|
| DESIGNI DRAWN REVIEW | BY: | 1 | JDJ | - |
| | り泊 | 5440 WADE PARK RI VD SUITE 102 | RALEIGH NC 27607 | NC LICENSE #C-4397 ©2023 |
| | NO HOKION | 2000 AERIAL CENTER PARKWAY | MORRISVILLE NC 27560 | |
| FORESTVILLE ROAD | IOWNHOMES | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0. 5226, 5228, 5232, 5264 FORESTVILLE RD | RALEIGH NC 27604 |
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NOTES:

- Streetlights within the City of Raleigh are leased from local energy providers. Standard installation includes an energy efficient Light-Emitting Diode (LED) fixture mounted on a 30' wood pole.
- 2. Decorative or pedestrian scale lighting is optional on City of Raleigh public streets, and will not be paid for by the City unless it is a City driven project. The developer and/or property owner will be completely responsible for up-front and ongoing costs of pedestrian scale lights on all non-City projects. The different styles of approved products are available from the local energy providers.
- Energy provider leased Light-Emitting Diode (LED) streetlight fixtures must be used on public right-of-way if they are to be added to the City account. The energy provider will conduct all troubleshooting, repairs, and maintenance.
 The energy provider must develop a lighting plan meeting or exceeding the City of Raleigh lighting standards as stated in Sec. 10-3059 of the City Code of Ordinances. This plan must be approved by Transportation Operations
- staff before the energy provider is authorized to install.
 5. The energy provider generally determines the type (wattage) of LED streetlight fixture to be used along each public roadway and the associated pole spacing to meet the City's lighting standards. This can be modified by City staff if
- need be, and must be approved by staff before installation begins.6. All streetlights must be underground fed, unless overhead infrastructure already exists where streetlights will be placed.
- Underground facility installation and any abnormal costs (trenching, boring, reseeding, rock removal, etc.) associated with streetlight installation must be paid for by the developer, per the Street Lighting Developer Requirements.
 In order for the streetlights to be added to the City account, they must be installed on 30' wood or gray fiberglass poles. If gray fiberglass is used, a \$250/pole buy down can be paid to the City in order to have the streetlights added to our account. This buy down must be paid before City staff will authorize the installation of gray fiberglass poles.
- If the developer uses any type of black poles, post-top lamp streetlights, or pedestrian scale lighting the streetlights cannot be added to the City's streetlight account. These must remain on a private account. If a state registered non-profit owner's association exists for the development, an agreement can be drafted to allow for the annual reimbursement of city standard lighting costs to the association.
 The developer is responsible for installation of streetlights on all local access system roadways (residential and
- commercial), which will be built or improved as part of their development project. (.4 fc and 6:1 uniformity).
- 11. The developer is responsible for installation of streetlights on all collector system roadways (residential and commercial), which will be built or improved as part of their development project. (.6 fc and 4:1 uniformity)
- 12. The developer is responsible for installation of streetlights on all minor thoroughfare system roadways, which will be built or improved as part of their development project (.9 fc and 4:1 uniformity). If the roadway is built to State standards the street lighting is subject to State lighting requirements.
- 13. The developer is responsible for installation of streetlights on all major system roadways, which will be built or improved as part of their development project (1.2 fc and 4:1 uniformity). If the roadway is built to State standards the street lighting is subject to State lighting requirements.
- 14. The developer is responsible for installation of streetlights on all secondary system roadways, which will be built or improved as part of his development project. If the roadway is built to State standards, the street lighting is subject to State lighting requirements. The City may opt to participate in streetlight installations that would close any gaps in the streetlight system created by this requirement.
- 15. Decorative or pedestrian scale lighting is optional on City of Raleigh public streets, and will not be paid for by the City unless it is a City driven project. The developer and/or property owner will be completely responsible for up-front and ongoing costs of decorative or pedestrian lightingon all non-City projects.
- 16. The following street lighting fixtures are approved for use on City of Raleigh public streets at the owner's expense.



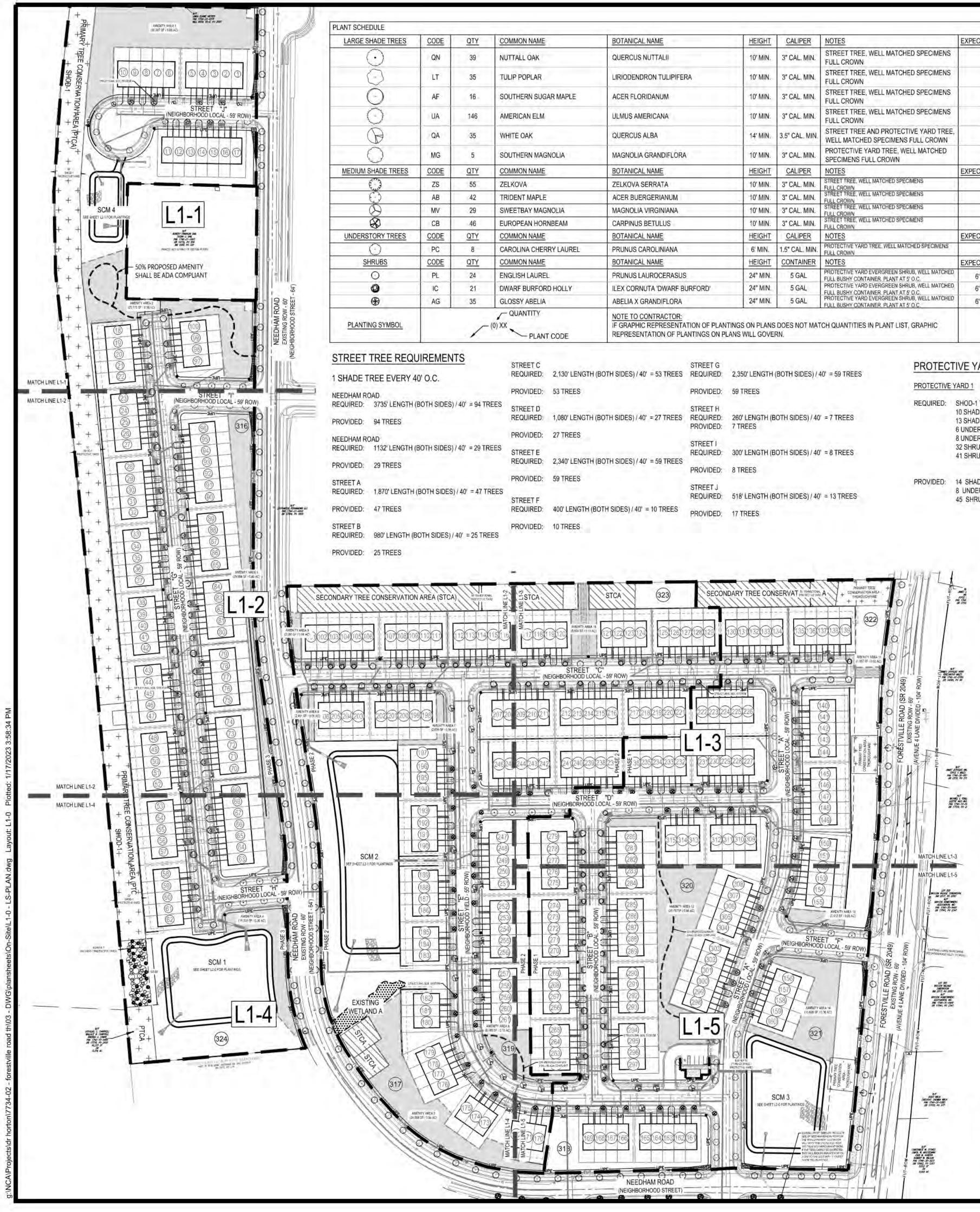
Know what's below. Call before you dig.

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| DR HORTON 2000 AERIAL CENTER PARKWAY STE 110 MORRISVILLE NC 27560 | 3P |
|--|---|
| A CORRECTION CONTRACTOR SA40 WADE PARK BLVD, SUITE 102 MORRISVILLE NC 27560 RALEIGH NC 27607 AL | Sono3 |
| DR HORTON 2000 AERIAL CENTER PARKWAY STE 110 MORRISVILLE NC 27560 | |
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| DRESTVILLE ROAD TOWNHOMES RELIMINARY SUBDIVISION PLAN 36, 5228, 5237,5305 NEEDHAM RD & | |
| П 0,51 Г | U, 3220, 3228, 3232, 3284 FURESI VILLE RU RALEIGH NC 27604 |
| STREET LIGHTING PLAN | |



| | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
|----|------------------------------|----------|----------------|---|------------------------|------------------------------|
| | QUERCUS NUTTALII | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | LIRIODENDRON TULIPIFERA | 10' MIN. | 3" CAL, MIN, | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| E | ACER FLORIDANUM | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | ULMUS AMERICANA | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | QUERCUS ALBA | 14' MIN. | 3.5" CAL. MIN. | STREET TREE AND PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | -30' |
| | MAGNOLIA GRANDIFLORA | 10' MIN. | 3" CAL. MIN. | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| | ZELKOVA SERRATA | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| | ACER BUERGERIANUM | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| | MAGNOLIA VIRGINIANA | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| | CARPINUS BETULUS | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| _ | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| EL | PRUNUS CAROLINIANA | 6' MIN. | 1.5" CAL. MIN. | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| | BOTANICAL NAME | HEIGHT | CONTAINER | NOTES | EXPECTED MATURE HEIGHT | F |
| _ | PRUNUS LAUROCERASUS | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| | ILEX CORNUTA 'DWARF BURFORD' | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| | ABELIA X GRANDIFLORA | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER, PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |

| | STREET G | |
|---|-----------------------|----------------------------|
| 0' LENGTH (BOTH SIDES) / 40' = 53 TREES | REQUIRED: | 2,350' LENGTH (BOTH SIDES |
| REES | PROVIDED: | 59 TREES |
| 0' LENGTH (BOTH SIDES) / 40' = 27 TREES | STREET H REQUIRED: | 260' LENGTH (BOTH SIDES) / |
| | PROVIDED: | 7 TREES |
| REES | STREET | |
| | REQUIRED: | 300' LENGTH (BOTH SIDES) / |
| 0' LENGTH (BOTH SIDES) / 40' = 59 TREES | PROVIDED: | 8 TREES |
| REES | CTOFFT I | |
| | STREET J REQUIRED: | 518' LENGTH (BOTH SIDES) / |
| LENGTH (BOTH SIDES) / 40' = 10 TREES | PROVIDED: | 17 TREES |
| REES | | |
| | | |

PROTECTIVE YARD REQUIRMENTS

REQUIRED: SHOD-1 TRANSITIONAL PROTECTIVE YARD (50' WIDTH) 10 SHADE TREES PER 100'; (128' LENGTH / 100') X 10 TREES = 13 SHADE TREES (9 DECIDOUS (14' MIN.) / 4 EVERGREEN (8' MIN.)) 6 UNDERSTORY TREES PER 100'; (128' LENGTH / 100') X 6 TREES = 8 UNDERSTORY TREES 32 SHRUBS PER 100'; (128' LENGTH / 100') X 32 SHRUBS = 41 SHRUBS (5' MIN. HEIGHT)

PROVIDED: 14 SHADE TREES (9 DECIDOUS / 5 EVERGREEN) 8 UNDERSTORY TREES 45 SHRUBS

| | | | | A | TTEN | TION C | ONTRACTO | RS |
|---|-------|------|-----------------------|------|-------------|----------|-----------------------|----|
| 11.52.5 - 00 1000/1 AMERICI ANEA. (10/0 MIN.) | 1,24 | AC | 53,851.00 | 31 | 2.15 | AC | 55,555.00 | 31 |
| PHASE 3 - DENSITY (NET SITE AREA / NUMBER OF TOWNHOME UNITS): PHASE 3 - OUTDOOR AMENITY AREA: (10% MIN.) | 0.07 | AC | 3,000.00 53,851.00 | SF | 0.12 | AC AC | 5,386.70 93,399.00 | SF |
| | | 10 | | | | 10 | | |
| TOTAL LOTS: | 102 | | | | | | | |
| TOWNHOMES: | 100 | | | | | | | |
| HOA LOT: | 2 | | | | | | | |
| HASE 3 - PROPOSED LOTS FOR SUBDIVISION: | | | | | | | | |
| HASE 3 - PROPOSED ON SITE IMPERVIOUS (%): | 34.68 | % | | | | | | |
| HASE 3 - PROPOSED ONSITE IMPERVIOUS AREA: | 5.14 | AC | 223,818.97 | SF | | | | |
| HASE 3 - SITE NET ACREAGE: | 12.36 | AC | 538,669.60 | SF | | | | |
| HASE 3 - ONSITE PUBLIC ROADS (RIGHT OF WAY DEDICATION): | 2.41 | AC | 105,092.29 | SF | | | | |
| ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): | 0.04 | AC | 1,643.53 | SF | _ | | | |
| EXISTING RIGHT OF WAY (NEEDHAM ROAD): | 0.77 | AC | 33,358.10 | SF | | | | |
| HASE 3 - GROSS ACREAGE: | 15.58 | AC | 678,763.52 | SF | | | | |
| | Land | | The loss life | - 25 | | | | - |
| PHASE 2 - OUTDOOR AMENITY AREA: (10% MIN.) | 1.04 | AC | 45,454.00 | SF | 1.05 | AC | 45,625.00 | SF |
| HASE 2 - DENSITY (NET SITE AREA / NUMBER OF TOWNHOME UNITS): | 0.07 | AC | 3,000.00 | SF | 0.10 | AC | 4,286.81 | SF |
| TOTAL LOTS: | 109 | | | | | | | |
| TOWNHOMES: | 106 | | | | | | | |
| HOA LOT: | 3 | | | | | | | |
| HASE 2 - PROPOSED ON SITE IMPERVIOUS (%): HASE 2 - PROPOSED LOTS FOR SUBDIVISION: | 38.94 | % | | | | | | |
| HASE 2 - PROPOSED ONSITE IMPERVIOUS AREA: | 5.09 | AC | 221,846.14 | SF | | | | |
| HASE 2 - SITE NET ACREAGE: | 10.43 | AC | 454,402.25 | SF | | | | |
| HASE 2 - ONSITE PUBLIC ROADS (RIGHT OF WAY DEDICATION): | 2.55 | AC | 110,960.69 | SF | | | | |
| ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): | 0.10 | AC | 4,364.79 | SF | | | | |
| EXISTING RIGHT OF WAY (NEEDHAM ROAD): | 1.60 | AC | 69,536.09 | SF | | | | |
| PHASE 2 - GROSS ACREAGE: | 14.68 | AC | 639,263.82 | SF | | | | |
| | 11.07 | - m- | 40,433.00 | 31 | 1.12 | 14 | -0,002.00 | JF |
| HASE 1 - OUTDOOR AMENITY AREA: (10% MIN.) | 1.07 | AC | 46,453.00 | SF | 1.12 | AC | 48,882.00 | SF |
| HASE 1 - DENSITY (NET SITE AREA / NUMBER OF TOWNHOME UNITS): | 0.07 | AC | 3,000.00 | SF | 0.10 | AC | 4,261.90 | SF |
| TOTAL LOTS: | 113 | | | | | | | |
| TOWNHOMES: | 109 | | | | | | | |
| HOA LOT: | 4 | | | | | | | |
| HASE 1 - PROPOSED LOTS FOR SUBDIVISION: | | | | | | | | |
| PHASE 1 - PROPOSED ON SITE IMPERVIOUS (%): | 42.30 | % | | _ | | | | |
| HASE 1 - PROPOSED ONSITE IMPERVIOUS AREA: | 6.22 | AC | 270,881.50 | SF | _ | | | |
| HASE 1 - SITE NET ACREAGE: | 10.66 | AC | 464,546.79 | SF | | | | |
| HASE 1 - ONSITE PUBLIC ROADS (RIGHT OF WAY DEDICATION): | 3.44 | AC | 149,687.49 | SF | | | | _ |
| ROADWAY FRONTAGE (RIGHT OF WAY DEDICATION): | 0.60 | AC | 26,151.07 | SF | | | | |
| EXISTING RIGHT OF WAY (FORESTVILLE ROAD AND NEEDHAM ROAD): | 1.32 | AC | 57,566.05 | SF | | | | |
| | 4.00 | 10 | 697,951.40 | SF | | | | |

Know what's below.

Call before you dig.

NOTE: CONTRACTOR SHALL INCLUDE (IN BASE BID) COSTS FOR ALL CITY REQUIRED BACKFILL / SOIL AMENDMENT REQUIREMENTS WITHIN LANDSCAPING AREAS (INCLUDING PLANTING STRIPS).

LANDSCAPE NOTES

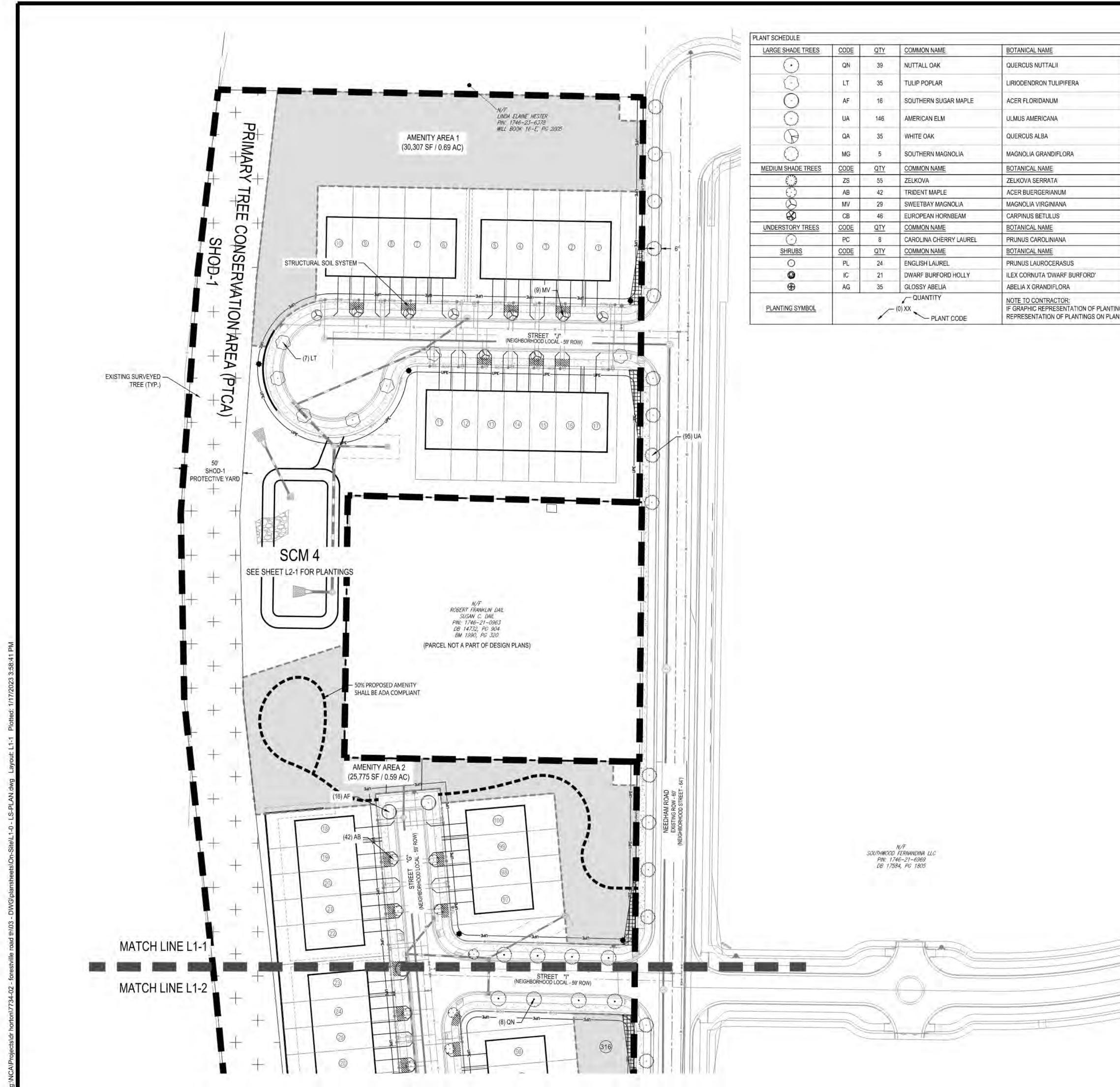
- 1. ALL LANDSCAPE AREAS SHALL RECEIVE A MINIMUM OF 4" OF CLEAN FRIABLE TOPSOIL FREE OF ROCKS, ROOTS, AND OTHER DELETERIOUS MATERIALS.
- 2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- 3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN, FIELD GROWN, BALLED AND BURLAPPED OR AS INDICATED IN THE PLANT LIST.
- 2. NEW TREES SHALL MEET REQUIREMENTS AS SPECIFIED. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GIRDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED.
- 3. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS OR PER LOCAL JURISDICTIONAL REQUIREMENTS.
- 5. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES "IN LEAF" SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- 6. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1) AS A MINIMUM FOR QUALITY REQUIREMENTS.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM OF FOUR INCHES (4") OF MULCH. MULCH SHALL BE ACQUIRED FROM A LOCAL SOURCE AND HARVESTED IN A SUSTAINABLE MANNER.
- 8. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVERAGE IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
- 9. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVERAGE IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
- 10. TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN FEET (7').
- 11. TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE FEET (9'). SHRUBS IN VISIBILITY EASEMENTS SHALL HAVE A MAXIMUM HEIGHT OF 24" AND COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS.
- 12. TREES OVERHANGING PUBLIC STREET PAVEMENT WILL HAVE A MINIMUM CLEAR TRUNK OF FOURTEEN FEET (14').
- 13. ALL TREES NOT LOCATED IN A LANDSCAPE BED ARE TO RECEIVE A FOUR FOOT (4') DIAMETER MULCH RING.
- 14. ALL PLANT BEDS AND LAWN AREAS SHALL HAVE A 4" V-TRENCH EDGE.

* SEE SHEET L3-1 FOR MORE LANDSCAPE DETAILS AND NOTES

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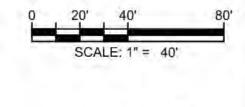
| COLERALL LANDSCAPE PLAN FORESTVILLE ROAD TOWNHOMES DR HORTON MARIANA OVERALL LANDSCAPE PLAN PRELIMINARY SUBDIVISION PLAN 2000 AERIAL CENTER PARKWAY 2400 WADE PARK BLVD, SUITE 102 MORRISVILLE ND 27607 MARIAN SUBTIVISION PLAN 0, 5136, 5228, 5288, 5 | DESIG | - | | 2 09/23/2022 SUB-0027-2022 - REVISION 2 | D 5 07/22/2022 SUB-0027-2022 - REVISION 1 | |
|--|------------------|-----------|------|---|---|------------------|
| ALL LANDSCAPE PLAN 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0, 5226, 5228, 5232, 5264 FORESTVILLE RD RALEIGH NC 27604 | REVI | EWEI | DBY: | EAAD MAADE DADK DI VID. SUITE 403 | | ©2023 |
| ALL LANDSCAPE PLAN | | DR HORTON | | 2000 AERIAL CENTER PARKWAY | MORRISVILLE NC 27560 | |
| OVERALL LANDSCAPE PLAN | FORESTVILLE ROAD | TOWNHOMES | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & 0 5226 5228 5232 5264 FORESTVILLE RD | RALEIGH NC 27604 |
| -4216 | | | | OVERALL LANDOLAPE FLAN | | |



| | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
|---|----------|----------------|---|------------------------|------------------------------|
| | 10' MIN. | 3" CAL. MIN, | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | :30' |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | .30' |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 14' MIN. | 3.5" CAL. MIN. | STREET TREE AND PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 10' MIN. | 3" CAL. MIN. | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS | 15' | 15' |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS | 15' | 15' |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| 1 | 6' MIN. | 1.5" CAL. MIN. | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| | HEIGHT | CONTAINER | NOTES | EXPECTED MATURE HEIGHT | |
| 1 | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER, PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB. WELL MATCHED FULL BUSHY CONTAINER PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER, PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |



NOTE: CONTRACTOR SHALL INCLUDE (IN BASE BID) COSTS FOR ALL CITY REQUIRED BACKFILL / SOIL AMENDMENT REQUIREMENTS WITHIN LANDSCAPING AREAS (INCLUDING PLANTING STRIPS).





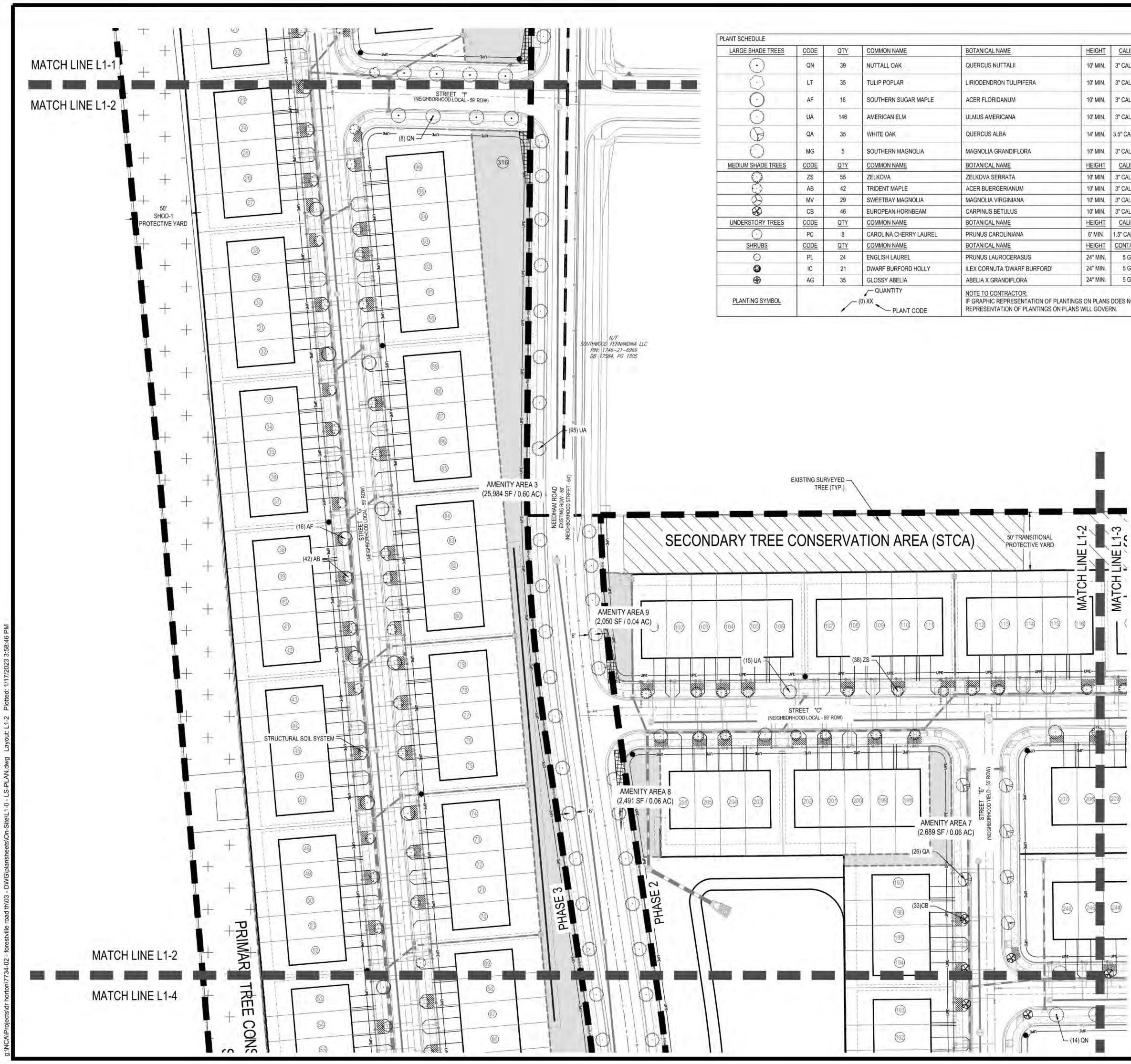
Know what's below. Call before you dig.

ATTENTION CONTRACTORS

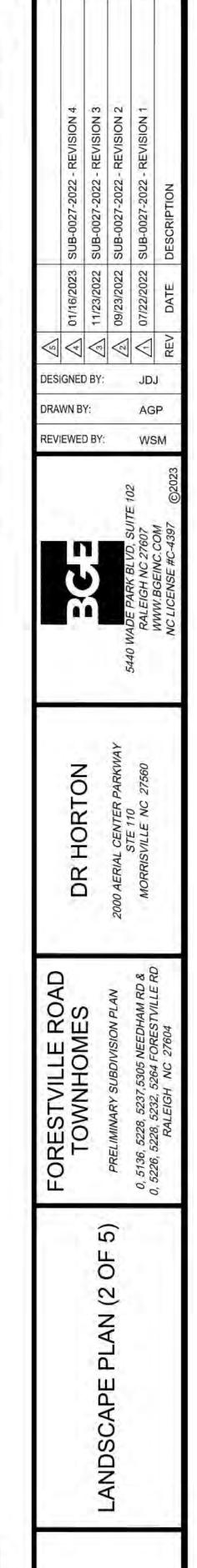
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The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

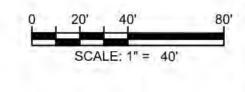
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.



| | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
|---|----------|----------------|---|------------------------|------------------------------|
| | 10' MIN. | 3" CAL, MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 10' MIN. | 3" CAL, MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 10' MIN. | 3" CAL, MIN, | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 10' MIN. | 3" CAL, MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 14' MIN. | 3,5" CAL. MIN. | STREET TREE AND PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | 10' MIN. | 3" CAL. MIN. | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| 1 | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS | 15' | 15' |
| | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| 1 | 10' MIN. | 3" CAL, MIN. | STREET TREE, WELL MATCHED SPECIMENS | 15' | 15' |
| 1 | 10' MIN. | 3" CAL, MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| Ì | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| 1 | 6' MIN. | 1.5" CAL, MIN. | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' | 15' |
| Î | HEIGHT | CONTAINER | NOTES | EXPECTED MATURE HEIGHT | |
| 1 | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER, PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER, PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| Ť | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER, PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |



NOTE: CONTRACTOR SHALL INCLUDE (IN BASE BID) COSTS FOR ALL CITY REQUIRED BACKFILL / SOIL AMENDMENT REQUIREMENTS WITHIN LANDSCAPING AREAS (INCLUDING PLANTING STRIPS).



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Know what's below. Call before you dig.

ATTENTION CONTRACTORS

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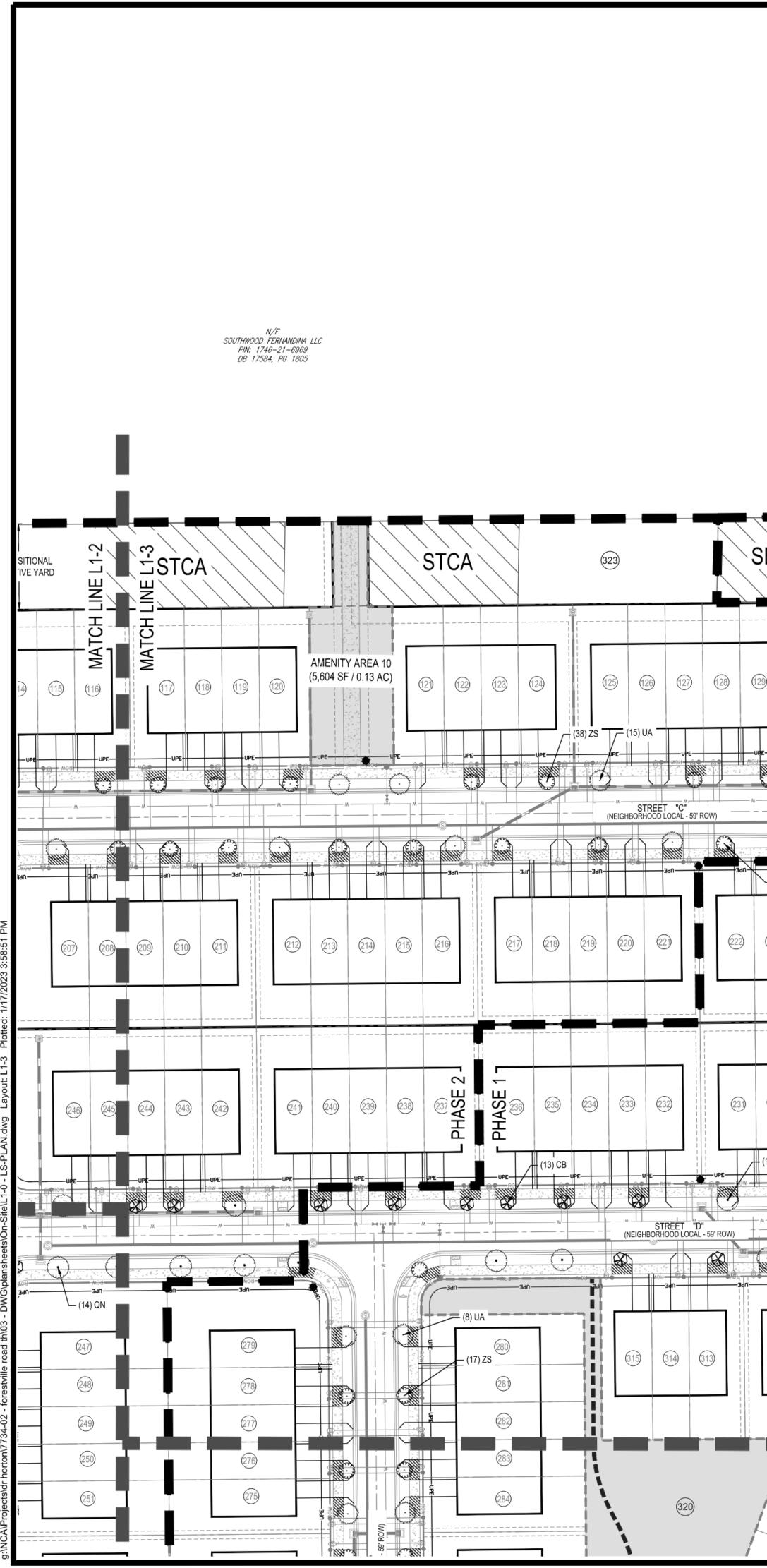
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

L1-2

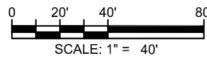
DATE: 1/12/2023

FILE NUMBER:

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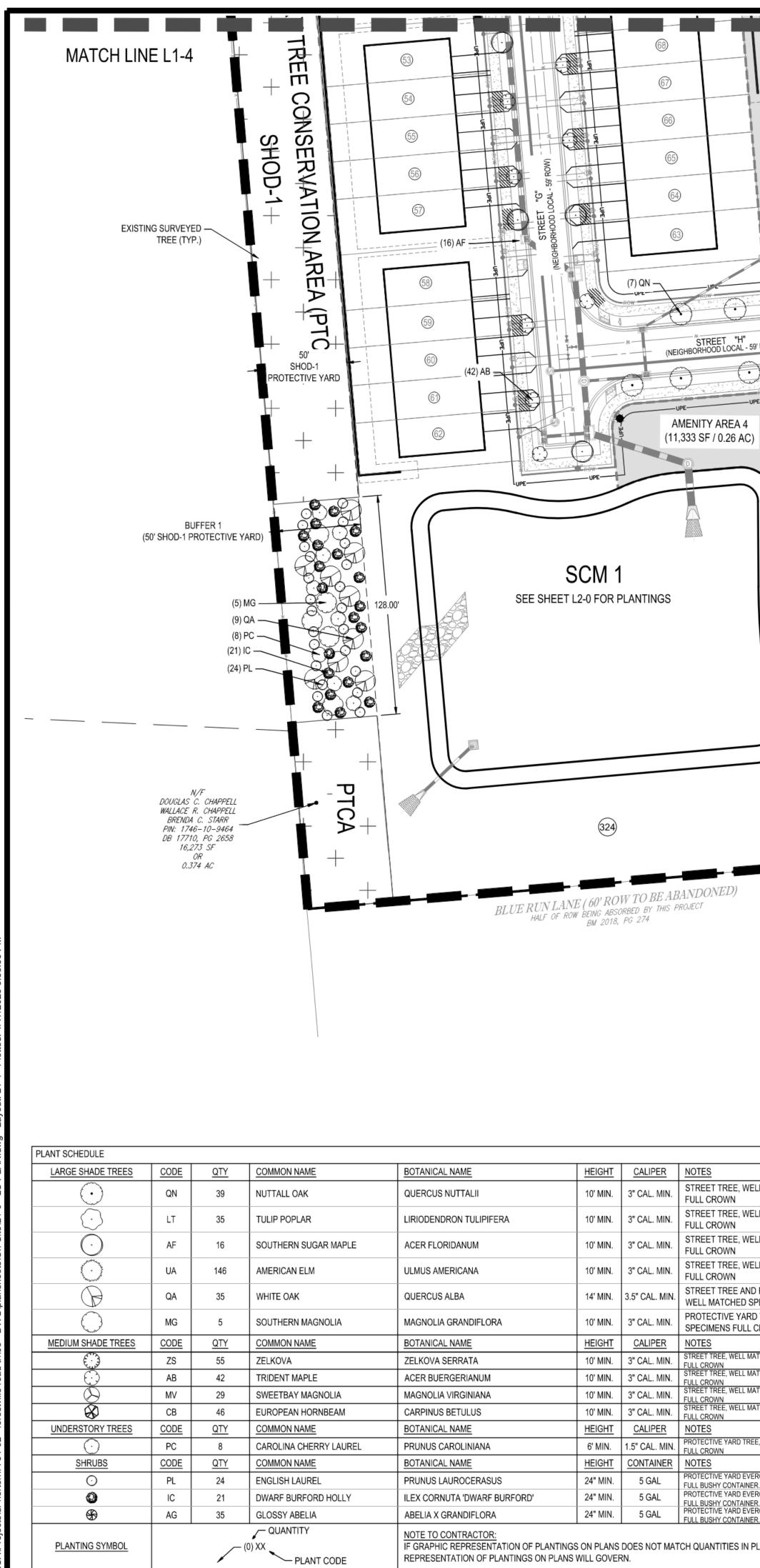


| Г | | | | | | | | | | |
|--------------------------|-------------------------------------|------------|------------------|------------------------------------|---|----------------------|-----------------------------|--|---|--|
| - | PLANT SCHEDULE LARGE SHADE TREES | CODE | QTY | COMMON NAME | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| | $\overline{\bigcirc}$ | QN | 39 | NUTTALL OAK | QUERCUS NUTTALII | | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS | 35' | 30' |
| | | | | | | | | FULL CROWN STREET TREE, WELL MATCHED SPECIMENS | | |
| | | LT | 35 | TULIP POPLAR | | | 3" CAL. MIN. | FULL CROWN STREET TREE, WELL MATCHED SPECIMENS | 35' | 30' |
| | | AF | 16 | SOUTHERN SUGAR MAPLE | ACER FLORIDANUM | 10' MIN. | 3" CAL. MIN. | FULL CROWN | 35' | 30' |
| | \odot | UA | 146 | AMERICAN ELM | ULMUS AMERICANA | 10' MIN. | 3" CAL. MIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | \bigcirc | QA | 35 | WHITE OAK | QUERCUS ALBA | 14' MIN. | 3.5" CAL. MIN. | STREET TREE AND PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | Õ | MG | 5 | SOUTHERN MAGNOLIA | MAGNOLIA GRANDIFLORA | 10' MIN. | 3" CAL. MIN. | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN | 35' | 30' |
| | MEDIUM SHADE TREES | CODE | QTY | COMMON NAME | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| | | ZS | 55 | ZELKOVA | ZELKOVA SERRATA | 10' MIN. | 5 CAL. WIIN. | STREET TREE, WELL MATCHED SPECIMENS FULL CROWN STREET TREE, WELL MATCHED SPECIMENS | 15' | 15' |
| - | $\overline{\bigcirc}$ | AB MV | 42 29 | TRIDENT MAPLE SWEETBAY MAGNOLIA | ACER BUERGERIANUM MAGNOLIA VIRGINIANA | 10' MIN. 10' MIN. | 3 CAL. MIN. | FULL CROWN STREET TREE, WELL MATCHED SPECIMENS | 15' | 15' |
| | | CB | 46 | EUROPEAN HORNBEAM | CARPINUS BETULUS | 10' MIN. | 2" CAL MIN | FULL CROWN STREET TREE, WELL MATCHED SPECIMENS FULL CROWN | 15' 15' | 15' |
| | UNDERSTORY TREES | CODE | QTY | COMMON NAME | BOTANICAL NAME | HEIGHT | <u>CALIPER</u> | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| - | | PC CODE | 8 0TV | CAROLINA CHERRY LAUREL | PRUNUS CAROLINIANA BOTANICAL NAME | 6' MIN. HEIGHT | 1.5" CAL. MIN. CONTAINER | PROTECTIVE YARD TREE, WELL MATCHED SPECIMENS FULL CROWN NOTES | 15' EXPECTED MATURE HEIGHT | 15' |
| | <u></u> | PL | <u>QTY</u> 24 | ENGLISH LAUREL | PRUNUS LAUROCERASUS | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| | ٥ | IC | 21 | DWARF BURFORD HOLLY | ILEX CORNUTA 'DWARF BURFORD' | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER, PLANT AT 5' O.C. PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED | 6' WITHIN 3 YEARS | |
| - | \$ | AG | 35 | GLOSSY ABELIA | ABELIA X GRANDIFLORA | 24" MIN. | 5 GAL | PROTECTIVE YARD EVERGREEN SHRUB, WELL MATCHED FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| | PLANTING SYMBOL | | (0 | | NOTE TO CONTRACTOR: IF GRAPHIC REPRESENTATION OF PLANTINGS | | | CH QUANTITIES IN PLANT LIST, GRAPHIC | | |
| EXISTING SURVEYED | | | / | PLANT CODE | REPRESENTATION OF PLANTINGS ON PLANS | WILL GOVER | RN. | | | |
| SECONDARY TREE CONSERVAT | | | | ITY AREA 11 SF / 0.02 AC) | N/F JAMES PIN: 174 DB 2730 NO2-IN DB 2730 NO2-IN DB 2730 NO2-IN DB 2730 NO2-IN DB 2730 NO2-IN DB 2730 NO2-IN DB 2730 NO2-IN DB 2730 NO2-IN DB 2730 NO2-IN TERESAVOGT MILES PIN: 1746-41-0189 DB 14595, PG 49 | LEP ERS 5871 | | s c t | S WITHIN LANDSCAPING AREA <u>ATTENTION</u> The Construction Contractor re sewer, and/or reuse, as approved contacting the Public Works | S N CONTRACTORS Sponsible for the extension of water, I in these plans, is responsible for Department at (919) 996-2409, and at (919) 996-4540 at least twenty four |
| | (153) (154) | | | | MATCH LINE L1-3 | | | Know what's below. | construction, will result in the is reinstallation of any water or set of this notification failure. Failure to call for <i>Inspection</i> , <i>I</i> <i>Permitted Plans on the Jobsite</i> , | artments in advance of beginning suance of monetary fines, and require wer facilities not inspected as a result install a Downstream Plug, have or any other Violation of City of a a Fine and Possible Exclusion from gh. |





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|------------------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|---|--|
| | 01/16/2023 SUB-0027-2022 - REVISION 4 | 11/23/2022 SUB-0027-2022 - REVISION 3 | 09/23/2022 SUB-0027-2022 - REVISION 2 | 07/22/2022 SUB-0027-2022 - REVISION 1 | DESCRIPTION | |
| | 1/16/2023 | 1/23/2022 | 9/23/2022 | 7/22/2022 | DATE | |
| 5 | 4 0 | 3 | \geq 0 | \leq | REV | |
| | GNEE | | | JD. AG | | |
| REVI | EWE |) BY: | | WS | _ | |
| | | | 5440 MADE DARK BLVD SUITE 102 | RALEIGH NC 27607 | NVVVVV.BGEINC.COM NC LICENSE #C-4397 ©2023 | |
| | DR HORTON | | 2000 AERIAL CENTER PARKWAY | MORRISVILLE NC 27560 | | |
| FORFSTVILLE ROAD | TOWNHOMES | | PRELIMINARY SUBDIVISION PLAN | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | 0, 2220, 2220, 2222, 2007 1 012 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 | |
| | ANDSCAPE PLAN (3 OF 5) | | | | | |
| | TE | 773 : 1 | 4-0 | /202 | | |



| | INECHAR ROAD EXISTING ROW - 60 INECHAR ROAD EXISTING ROW - 60 INECHAR ROAD INECHAR ROAD INECHA | SEE SHEET L2-1 FOR PL | DELINEATION TOTOT/2020 (SEE NOTE) | (193) (192) (19) (19) (19) (19) (18) (17) (17) (17) (17) (17) (17) | | 14) QN (14) QN (14) QN (247) (249) (250) (25) | |
|--|--|--|--------------------------------------|--|--|--|--|
| WELL MATCHED SPECIMENS WELL MATCHED SPECIMENS WELL MATCHED SPECIMENS WELL MATCHED SPECIMENS WELL MATCHED SPECIMENS WELL MATCHED SPECIMENS AND PROTECTIVE YARD TREE, D SPECIMENS FULL CROWN (ARD TREE, WELL MATCHED JLL CROWN ULL MATCHED SPECIMENS LL MATCHED SPECIMENS LL MATCHED SPECIMENS | EXPECTED MATURE HEIGHT 35' | EXPECTED MATURE CROWN SPREAD 30' 30' 30' 30' 30' 30' 30' 30' 30' 30' 30' 30' 10' 10' 10' 10' 15' 15' 15' | 317 A (24 | MENITY AREA 5 (606 SF / 0.56 AC) | | MATCH LINE L14 | |
| LL MATCHED SPECIMENS D TREE, WELL MATCHED SPECIMENS D EVERGREEN SHRUB, WELL MATCHED TAINER. PLANT AT 5' O.C. D EVERGREEN SHRUB, WELL MATCHED TAINER. PLANT AT 5' O.C. D EVERGREEN SHRUB, WELL MATCHED TAINER. PLANT AT 5' O.C. S IN PLANT LIST, GRAPHIC | 15' EXPECTED MATURE HEIGHT 15' EXPECTED MATURE HEIGHT 6' WITHIN 3 YEARS 6' WITHIN 2 YEARS | 15' EXPECTED MATURE CROWN SPREAD 15' | | | | | |

| F | | FORFSTVILLE ROAD | | | DRA | 5 | |
|------------|--------------------------|---------------------------------------|----------------------------|--|-----------------------|-------------|---------------------------------------|
| TE | | TOWNHOMES | DR HORTON | | GNEC WN B' EWEC | 4 01/16/202 | 01/16/2023 SUB-0027-2022 - REVISION 4 |
| 773 : 1 | I ANDSCADE DI AN / OF 6/ | | | |) BY: Y: | 11/23/202 | 11/23/2022 SUB-0027-2022 - REVISION 3 |
| 4-0 | | PRELIMINARY SUBDIVISION PLAN | 2000 AERIAL CENTER PARKWAY | | | 2023/202 | 09/23/2022 SUB-0027-2022 - REVISION 2 |
| /202 | | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | MORRISVILLE NC 27560 | RALEIGH NC 27607 | JD. AG WS | A 07/22/202 | 07/22/2022 SUB-0027-2022 - REVISION 1 |
| | | C, 220, 220, 220, 200, 27604 | | NUMVI.BGEINC.COM NC LICENSE #C-4397 ©2023 | J P | REV DATE | DESCRIPTION |

NOTE:

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SCALE: 1" = 40'

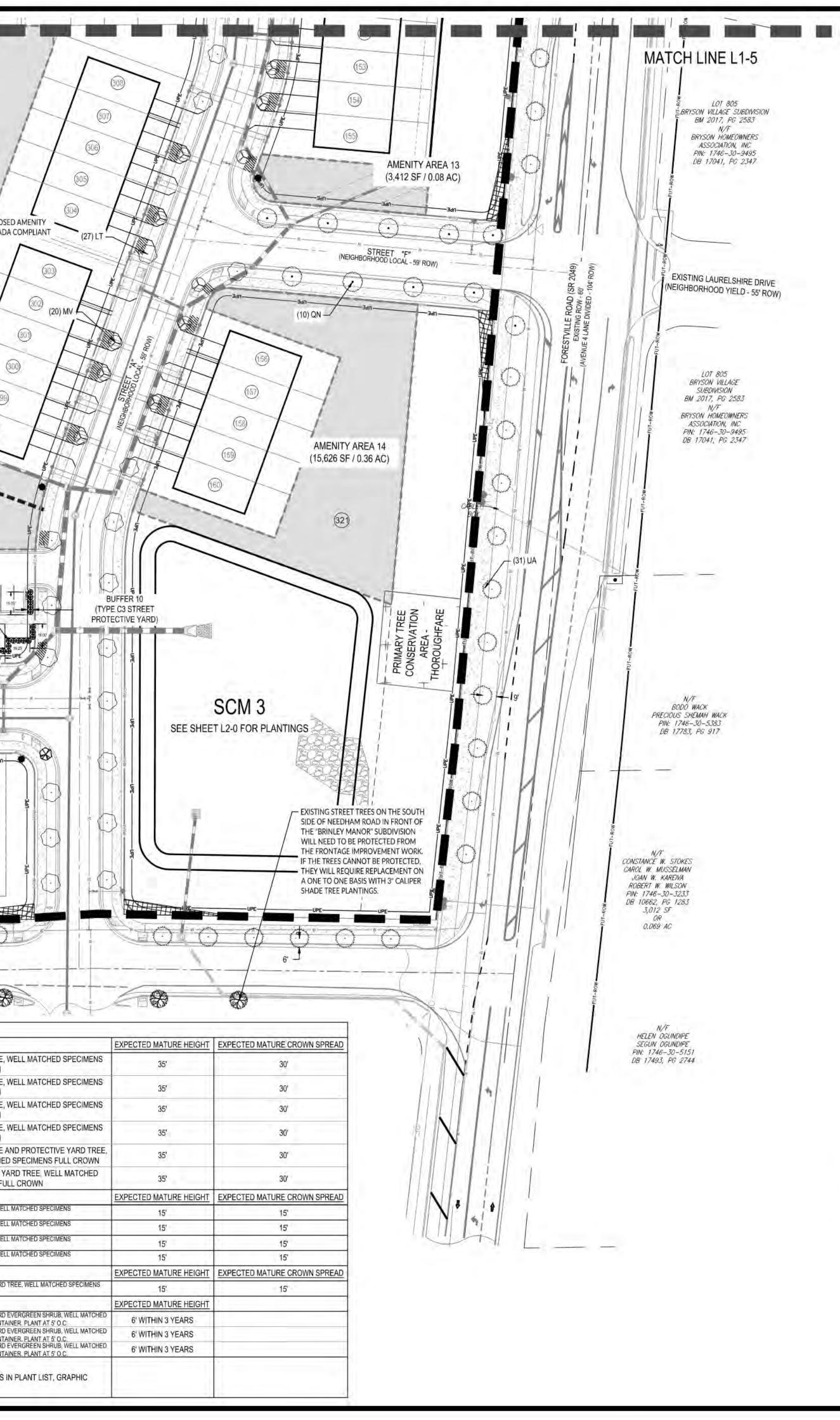


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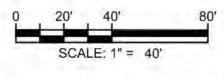
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| | | | | | More and a second secon | | | 1 | |
| 252 | | 1 | (274) | STREET "B" | ODLOCAL - | (83) | | | Y AREA 12 7 / 0.66 AC) |
| 253 | | j (ba | 23 | STR | СНВОКНО | (286) | | (20,1015) | - / 0.00 AC) |
| 253 | | | 272 | | ann | (287) | | - | - 50% PROP |
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| (256) | | | (II) | | | (11)20 | | 1 | 1 |
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| (25) | PHA | PHASE | (269) | | UPE | (0) 0/1 | 1 | 1 | M |
| - (53) | - | | (68) | <u><u><u></u></u></u> | | - @ | 1 | 1 | $ \downarrow$ |
| | - | | @) | | UPE | - (3) | | F | 10 |
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| - (6) | - | | | | UPE | 69 | | · | |
| AMENITY AREA 6 | | | | lan . | | | | | |
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| 12 | 1-1-2 | 340 (26) QA | | 3an (33) | 340 | | 3dn | Ban | |
| 12 | 1-1-2 | (26) QA - | | 3dn (33) | CB — | | | adn | |
| CHLINE L14 | 1-2 | | - 3dn- | 340 | 340 | 1000 miles | | 163 (162 | |
| CHLINE L14 | CH LINE L1-5 | (26) QA - | | 3dn (33) | CB — | | | adn | |
| CINEL14 | LINE L1-5 | (26) QA - | - 3dn- | 3dn (33) | CB — | | | adn | |
| CHLINEL14 | CH LINE L1-5 | (26) QA - | 3dn- | 3dn (33) | CB | | | adn | |
| CHLINEL14 | CH LINE L1-5 | (26) QA - | 3dn- | 3dn (33) | CB | | 3dn | adn | |
| MATCH LI14 | CH LINE L1-5 | (26) QA - | 3dn- | 3dn (33) | CB | | 3dn | | |
| MATCH LI14 | CH LINE L1-5 | (26) QA - | 3dn- | 3dn (33) | CB | | 3dn | adn | |
| MATCH LI14 | MATCH LINE L1-5 | (26) QA - | 3dn- | 3dn (33) | | 166 (65) | 3dn | | |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | | 318 UA -upe- | 3dn (33) | | | 3dn | | |
| PLANT SCHEDULE LARGE SHADE TREES | | (26) QA - (26) QA - (95) (95) (95) (95) (95) (95) (95) (95) | (318) UA UPE- RE COMMON NAME NUTTALL OAK | 3dn (33) | | | 3dn 3dn 164 UPE- PROV PREET) | Image: Control of the second secon | NOTES STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | | 318 UA -upe- | 3dn (33) | | | 3dn | | NOTES STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | | (26) QA - (26) QA - (95) (95) (95) (95) (95) (95) (95) (95) | (318) UA UPE- REI COMMON NAME NUTTALL OAK | | | | 3dn 3dn 164 UPE- PROV PREET) | Image: Control of the second secon | NOTES STREET TRE FULL CROW STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | (26) QA - (26) QA - (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA | | CB - 34n (67) (6 | | 3dn | Image: Contract of the second seco | NOTES STREET TRE FULL CROW STREET TRE FULL CROW STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA UPE COMMON NAME NUTTALL OAK TULIP POPLAR SOUTHERN SUGAF | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA | | 3dn 3dn 164 164 164 164 164 164 164 164 | Image: Control of the second secon | NOTES STREET TRE FULL CROW STREET TRE FULL CROW STREET TRE FULL CROW STREET TRE FULL CROW STREET TRE FULL CROW STREET TRE |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA UPE RO COMMON NAME NUTTALL OAK TULIP POPLAR SOUTHERN SUGAF AMERICAN ELM WHITE OAK | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA ULMUS AMERIC QUERCUS ALB/ | | 3dn 3dn 3dn 164 0 164 0 164 0 164 0 164 0 10' MIN. 10' MIN. 10' MIN. | Image: Control of the second secon | NOTES NOTES STREET TRE FULL CROW STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA UPE COMMON NAME NUTTALL OAK TULIP POPLAR SOUTHERN SUGAF AMERICAN ELM WHITE OAK SOUTHERN MAGNO | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA ULMUS AMERIC QUERCUS ALB/ MAGNOLIA GRA | | 3dn 3dn 3dn 164 0 164 0 164 0 164 0 164 0 164 0 164 10' MIN. 10' MIN. | Image: Caliper Image: | NOTES STREET TRE FULL CROW STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA UPE COMMON NAME NUTTALL OAK TULIP POPLAR SOUTHERN SUGAF AMERICAN ELM WHITE OAK SOUTHERN MAGNE | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA ULMUS AMERIC QUERCUS ALB/ MAGNOLIA GRA | | 3dn 3dn 3dn 10% 0 16% 0 16% 0 16% 0 16% 0 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° | Image: Control of the second secon | NOTES STREET TRE FULL CROW STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | UPE UPE UPE UPE UN UT UN UT AF UA OA MG CODE ZS | (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA UA UA UA UPE UPE UPE UPE UPE UPE UPE UPE | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA ULMUS AMERIC QUERCUS ALB/ MAGNOLIA GRA BOTANICAL NAI ZELKOVA SERF | | 3dn 3dn 3dn 164 0 164 0 164 0 164 0 164 0 164 0 164 0 164 10' MIN. 10' MIN. | Image: Control of the second secon | NOTES STREET TRE FULL CROW STREET TRE FULL CROW |
| PLANT SCHEDULE LARGE SHADE TREES | MATCH LINE L1-5 | (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA UPE COMMON NAME NUTTALL OAK TULIP POPLAR SOUTHERN SUGAF AMERICAN ELM WHITE OAK SOUTHERN MAGNE | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA ULMUS AMERIC QUERCUS ALB/ MAGNOLIA GRA | | 3dn 3dn 3dn 10% 0 16% 0 16% 0 16% 0 16% 0 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° 10° | Image: Control of the second secon | NOTES NOTES STREET TRI FULL CROW STREET TRE FULL CROW STREET TRE FULL CROWN STREET TREE FULL CROWN STREET TREE FULL CROWN STREET TREE FULL CROWN STREET TREE FULL CROWN STREET TREE FULL CROWN STREET TREE FULL CROWN |
| PLANT SCHEDULE LARGE SHADE TREES | UPE UPE QN LT AF UA QA MG CODE ZS AB | (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | (318) (318) UA UPE SOUTHERN NAME NUTTALL OAK TULIP POPLAR SOUTHERN SUGAF AMERICAN ELM WHITE OAK SOUTHERN MAGNA COMMON NAME ZELKOVA TRIDENT MAPLE | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA ULMUS AMERIC QUERCUS ALBA MAGNOLIA GRA BOTANICAL NAI ZELKOVA SERF ACER BUERGE | | 3dn 3dn 3dn 164 0 164 0 164 0 164 0 164 0 164 0 164 0 164 0 164 0 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 101 | Image: Control of the second secon | NOTES NOTES STREET TRE FULL CROW STREET TRE FULL CROWN STREET TREE FULL CROWN |
| PLANT SCHEDULE LARGE SHADE TREES | In UPE UPE OPE OPE OPE OPE OPE OPE OPE OPE OPE O | (26) QA (26) QA (26) QA (95) (95) (95) (95) (95) (95) (95) (95) | 318 UA UPE COMMON NAME COMMON NAME NUTTALL OAK TULIP POPLAR SOUTHERN SUGAF AMERICAN ELM WHITE OAK SOUTHERN MAGNO COMMON NAME ZELKOVA TRIDENT MAPLE SWEETBAY MAGNO | | BOTANICAL NAI QUERCUS NUT LIRIODENDRON ACER FLORIDA ULMUS AMERIC QUERCUS ALB/ MAGNOLIA GRA BOTANICAL NAI ZELKOVA SERF ACER BUERGEI MAGNOLIA VIRO | | 3dn 3dn 3dn 164 0 164 0 164 0 164 0 164 0 164 0 164 0 164 0 164 10' MIN. 10' MIN. | Image: Control of the second secon | NOTES STREET TRE FULL CROW STREET TRE FULL CROWN STREET TREE FULL CROWN |
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| LANDSCAPE PLAN (5 OF 5)FORESTVILLE ROAD TOWNHOMESDR HOR TON TOWNHOMESCA IN 16/2023SUB-0027-2022-REVISION 4LANDSCAPE PLAN (5 OF 5)PREIMINARY SUBDIVISION PLAN2000 AERIAL CENTER PAKWAY5440 WADE PAKK BLVD, SUITE 102SUB-0027-2022-REVISION 3LANDSCAPE PLAN (5 OF 5)0, 5136, 5228, 5237,5305 NEEDHAM RD 82000 AERIAL CENTER PAKWAY5440 WADE PAKK BLVD, SUITE 102SUB-0027-2022-REVISION 30, 5136, 5228, 5 | FORESTVILLE ROAD TOWNHOMES DR HORTON Manual |
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| | |
| LANDSCAPE PLAN (5 OF 5) | """" (5 OF 5) |
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NOTE:

CONTRACTOR SHALL INCLUDE (IN BASE BID) COSTS FOR ALL CITY REQUIRED BACKFILL / SOIL AMENDMENT REQUIREMENTS WITHIN LANDSCAPING AREAS (INCLUDING PLANTING STRIPS).

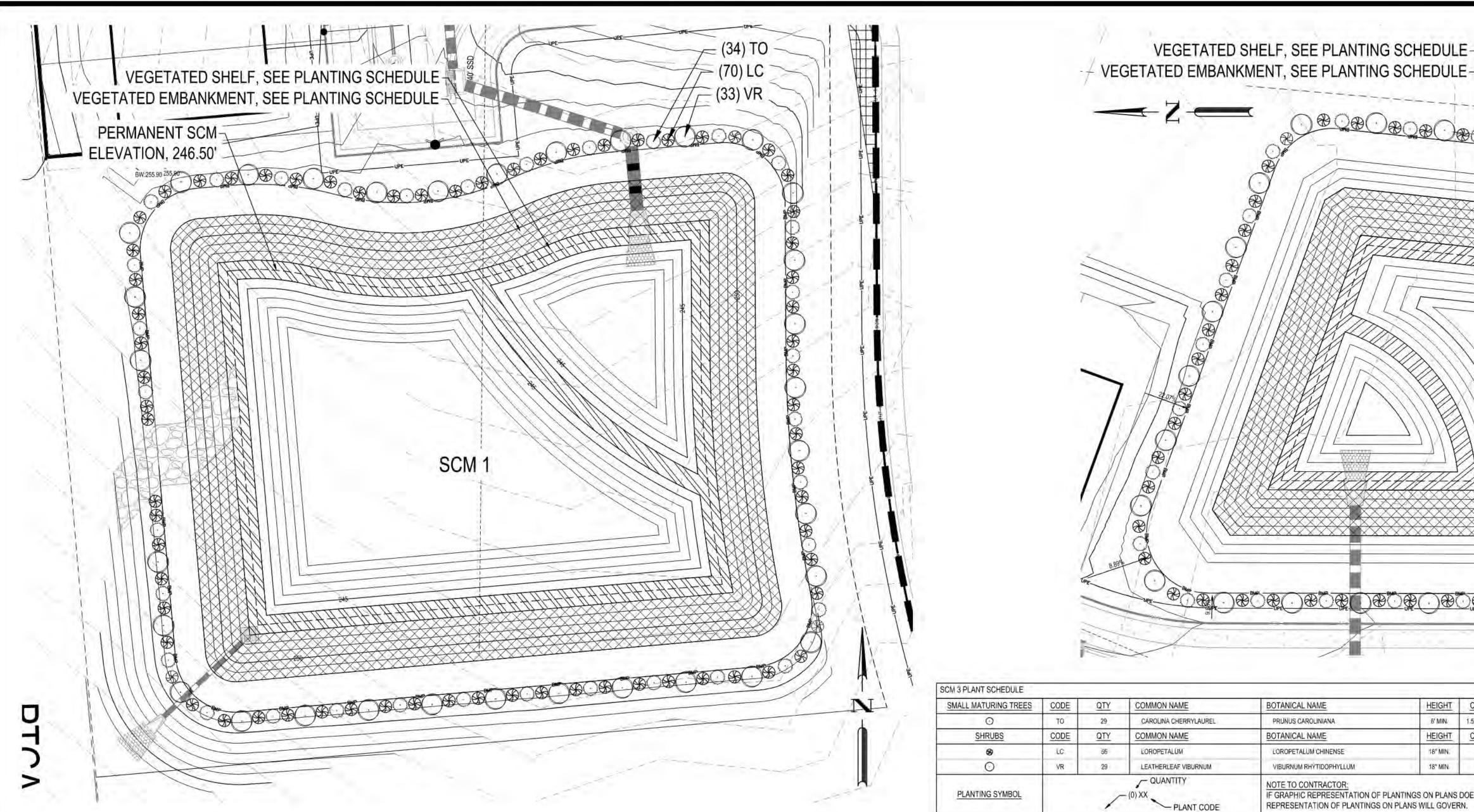




ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.



| | _ | _ | | _ |
|-----|---|----|-----|-----|
| SCM | 1 | PI | ANT | SCH |

| SCM 1 PLANT SCHEDULE | | | | | | | | | |
|----------------------|------|-----|-----------------------|--|----------|----------------|---|------------------------|------------------------------|
| SMALL MATURING TREES | CODE | QTY | COMMON NAME | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| 0 | то | 34 | CAROLINA CHERRYLAUREL | PRUNUS CAROLINIANA | 6' MIN. | 1.5" CAL. MIN. | STORM DETENTION SCREENING, UNDERSTORY TREE WELL MATCHED SPECIMENS, FULL CROWN | 15' | 15' |
| SHRUBS | CODE | QTY | COMMON NAME | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | |
| | LC | 70 | LOROPETALUM | LOROPETALUM CHINENSE | 18" MIN. | 3 GAL | STORM DETENTION EVERGREEN SCREENING SHRUB. WELL MATCHED SPECIMENS FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| 0 | VR | 33 | LEATHERLEAF VIBURNUM | VIBURNUM RHYTIDOPHYLLUM | 16" MIN. | 3 GAL | STORM DETENTION EVERGREEN SCREENING SHRUB. WELL MATCHED SPECIMENS FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| PLANTING SYMBOL | | / | - (0) XX - PLANT CODE | and the second | | | | | |

WET POND CALCULATIONS

PERMANENT POOL ELEVATION: 246.50'

AS DEFINED IN THE NCDEQ STORMWATER DESIGN MANUAL

- VEGETATED SHELF: 3,782 S.F. (0.5' BELOW TO 0.5' ABOVE PERMANENT POND ELEV.)
- REQUIRED: .25 PLANTS PER SQUARE FOOT (3 MINIMUM HERBACEOUS SPECIES)
- 0.25 PLANTS x 3,782 SF = 946 STEMS PROVIDED: (316) HC, (315) LC, (315) CT

VEGETATED SIDE SLOPES: 9,081 SF (0.5' TO 5.5' ABOVE PERMANENT POND ELEV.)

REQUIRED: SOD STAKED IN PLACE WITH BIODEGRADABLE TURF STAKES (PERENNIAL GRASS SPECIES)

PROVIDED: (9,081 SF) SOD

PLANTING NOTES:

TREES AND WOODY SHRUBS ARE NOT PERMITTED ON THE DAM OR EMBANKMENT SLOPES AND ANY VOLUNTEERS SHOULD BE REMOVED AS PART OF REGULAR

MAINTENANCE ACTIVITES. TREES AND SHRUBS MAY BE PLANTED OUTSIDE OF EMANKMENT SLOPES AND CLEAR

FROM MAINTENANCE EASEMENT

MAINTENANCE PLAN:

GEESE CONTROL - TO CONTROL ACCESS FROM THE SHORE, NYLON TWINE FENCING IS TO BE PLACED AT THE INTERFACE OF OPEN WATER AND THE PLANTED AREAS. FENCING TO BE 24-42" IN HEIGHT.

INSTALLATION GUARANTEE REQUIRED:

•THE PLANTING SEASON SHALL RUN FROM OCTOBER 15 TO MARCH 15, EXCEPT FOR EXTREME WEATHER CONDITIONS AS DETERMINED BY STAFF. A FINAL CERTIFICATE OF OCCUPANCY SHALL NOT BE GIVEN DURING THE PLANTING SEASON UNLESS ALL OF THE LANDSCAPING IS COMPLETELY INSTALLED ACCORDING TO THIS ARTICLE.

SCM 1 PLANTING SCHEDULE

| KEY | QTY. | SCIENTIFIC NAME | COMMON NAME | CON. | ZONE |
|-----|----------|---------------------|---------------------|---------------|-----------------------|
| HC | 316 | HIBISCUS COCCINEUS | SCARLET ROSE MALLOW | 2"Ø x 5" PLUG | VEGETATED SHELF |
| LC | 315 | LOBELIA CARDINALIS | CARDINAL FLOWER | 2"Ø x 5" PLUG | VEGETATED SHELF |
| СТ | 315 | CAREX TENERA | QUILL SEDGE | 2"Ø x 5" PLUG | VEGETATED SHELF |
| SOD | 9,081 SF | FESTUCA ARUNDINACEA | TALL FESCUE SOD | SOD | VEGETATED SIDE SLOPES |

| ID CALCUL | ATIONS | SCM |
|-------------------------------------|---|---|
| POOL ELEVATIO | N: 249.50' | К |
| N THE NCDEQ S | TORMWATER DESIGN MANUAL | |
| SHELF: 2,619 S. | F. (0.5' BELOW TO 0.5' ABOVE PERMANENT POND ELEV.) | |
| | Contraction of the second s | LT 6 |
| | | 5 |
| (219) HC, (218) I | LC, (218) CT | |
| SIDE SLOPES: | 6,813 SF (0.5' TO 5.5' ABOVE PERMANENT POND ELEV.) | |
| and the second second second second | | |
| (6,813 SF) SOD | (ADD DPECIED) | |
| - | POOL ELEVATIO IN THE NCDEQ S <u>SHELF:</u> 2,619 S. .25 PLANTS PEF (3 MINIMUM HE 0.25 PLANTS x (219) HC, (218) I <u>SIDE SLOPES:</u> SOD STAKED IN (PERENNIAL GF | SOD STAKED IN PLACE WITH BIODEGRADABLE TURF STAKES (PERENNIAL GRASS SPECIES) |

PLANTING NOTES:

TREES AND WOODY SHRUBS ARE NOT PERMITTED ON THE DAM OR EMBANKMENT SLOPES AND ANY VOLUNTEERS SHOULD BE REMOVED AS PART OF REGULAR MAINTENANCE ACTIVITES. TREES AND SHRUBS MAY BE PLANTED OUTSIDE OF EMANKMENT SLOPES AND CLEAR FROM MAINTENANCE EASEMENT

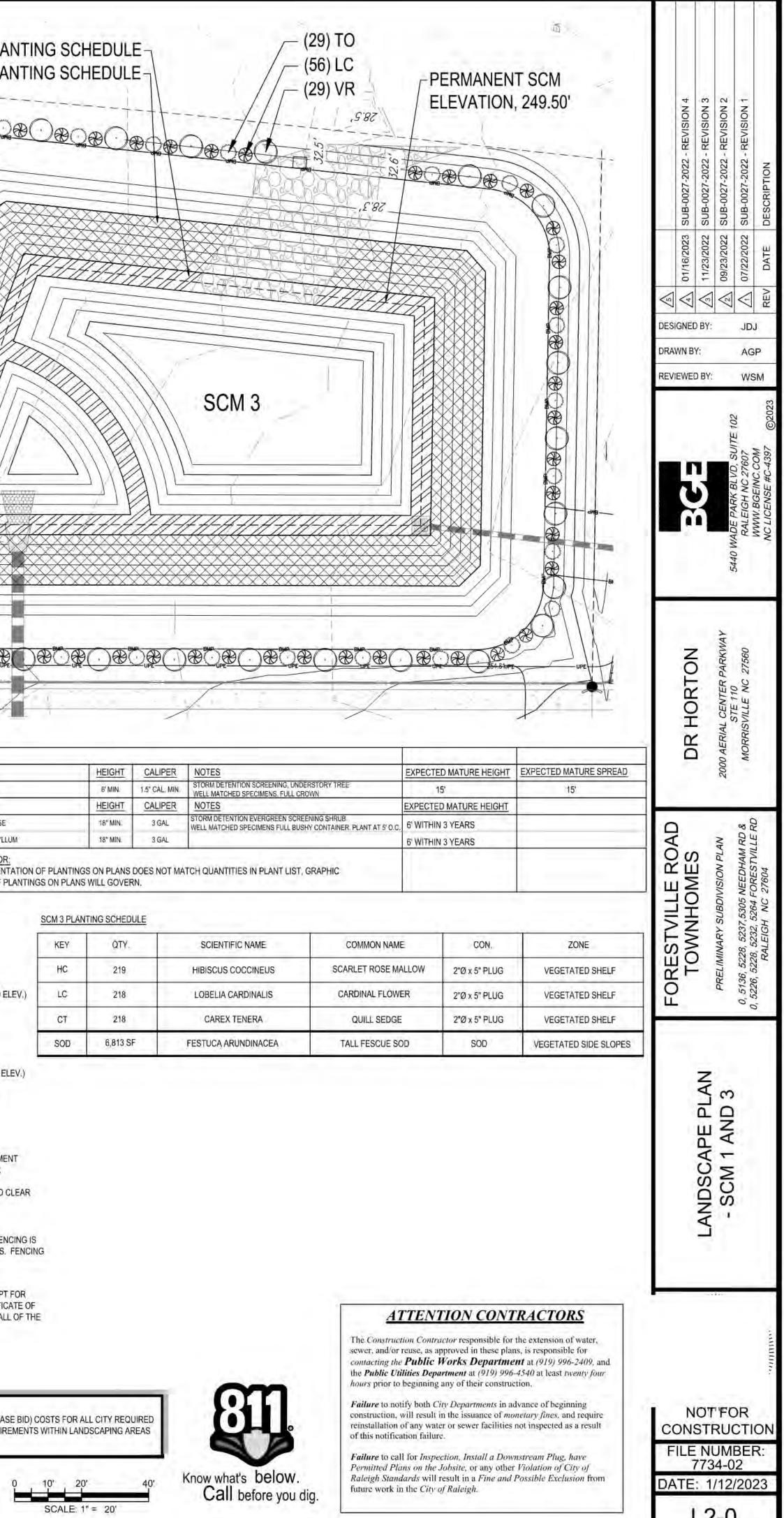
MAINTENANCE PLAN:

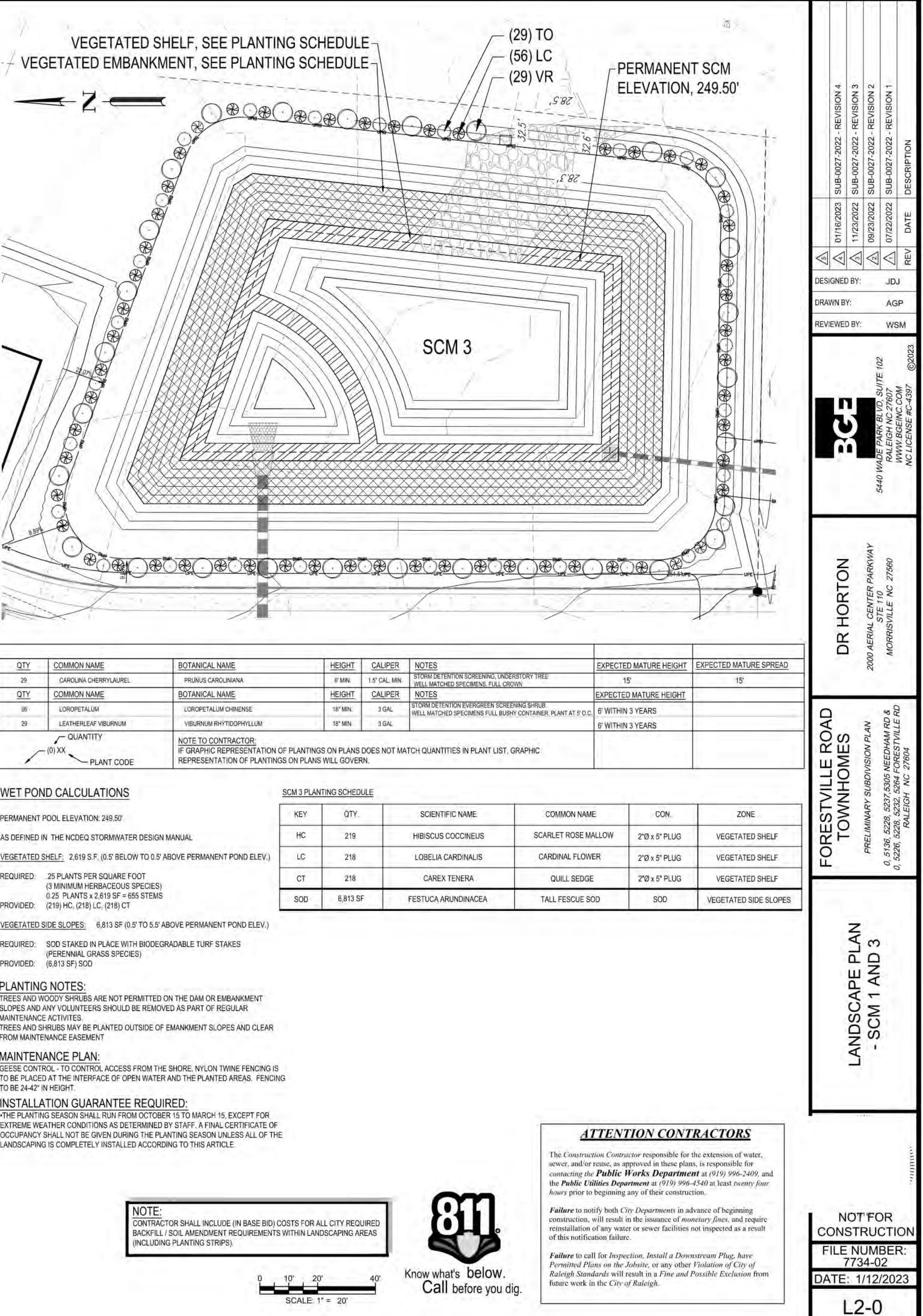
GEESE CONTROL - TO CONTROL ACCESS FROM THE SHORE, NYLON TWINE FENCING IS TO BE PLACED AT THE INTERFACE OF OPEN WATER AND THE PLANTED AREAS. FENCING TO BE 24-42" IN HEIGHT.

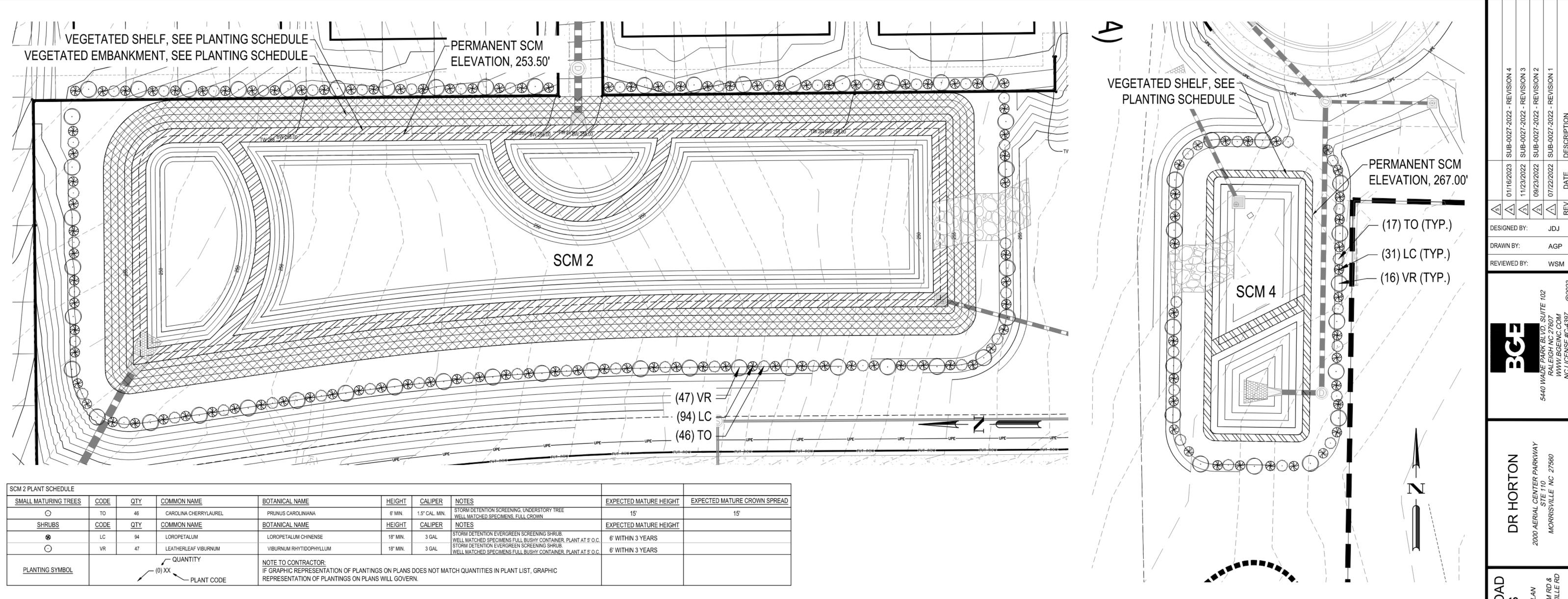
INSTALLATION GUARANTEE REQUIRED:

•THE PLANTING SEASON SHALL RUN FROM OCTOBER 15 TO MARCH 15, EXCEPT FOR EXTREME WEATHER CONDITIONS AS DETERMINED BY STAFF. A FINAL CERTIFICATE OF OCCUPANCY SHALL NOT BE GIVEN DURING THE PLANTING SEASON UNLESS ALL OF THE LANDSCAPING IS COMPLETELY INSTALLED ACCORDING TO THIS ARTICLE.

CONTRACTOR SHALL INCLUDE (IN BASE BID) COSTS FOR ALL CITY REQUIRED BACKFILL / SOIL AMENDMENT REQUIREMENTS WITHIN LANDSCAPING AREAS (INCLUDING PLANTING STRIPS).







SCM 2 PLANTING SCHEDULE

| KEY | QTY. | SCIENTIFIC NAME | COMMON NAME | CON. | ZONE |
|-----|-----------|---------------------|---------------------|---------------|-----------------------|
| HC | 503 | HIBISCUS COCCINEUS | SCARLET ROSE MALLOW | 2"Ø x 5" PLUG | VEGETATED SHELF |
| LC | 503 | LOBELIA CARDINALIS | CARDINAL FLOWER | 2"Ø x 5" PLUG | VEGETATED SHELF |
| СТ | 503 | CAREX TENERA | QUILL SEDGE | 2"Ø x 5" PLUG | VEGETATED SHELF |
| SOD | 10,618 SF | FESTUCA ARUNDINACEA | TALL FESCUE SOD | SOD | VEGETATED SIDE SLOPES |

WET POND CALCULATIONS

PERMANENT POOL ELEVATION: 253.50'

AS DEFINED IN THE NCDEQ STORMWATER DESIGN MANUAL

VEGETATED SHELF: 6,037 S.F. (0.5' BELOW TO 0.5' ABOVE PERMANENT POND ELEV.)

| QUIRED: | .25 PLANTS PER SQUARE FOOT |
|---------|--------------------------------------|
| | (3 MINIMUM HERBACEOUS SPECIES) |
| | 0.25 PLANTS x 6,037 SF = 1,509 STEMS |

PROVIDED: (503) HC, (503) LC, (503) CT

VEGETATED SIDE SLOPES: 10,618 SF (0.5' TO 5.5' ABOVE PERMANENT POND ELEV.)

REQUIRED: SOD STAKED IN PLACE WITH BIODEGRADABLE TURF STAKES (PERENNIAL GRASS SPECIES) PROVIDED: (10,618 SF) SOD

PLANTING NOTES:

TREES AND WOODY SHRUBS ARE NOT PERMITTED ON THE DAM OR EMBANKMENT SLOPES AND ANY VOLUNTEERS SHOULD BE REMOVED AS PART OF REGULAR MAINTENANCE ACTIVITES.

TREES AND SHRUBS MAY BE PLANTED OUTSIDE OF EMANKMENT SLOPES AND CLEAR FROM MAINTENANCE EASEMENT

MAINTENANCE PLAN:

GEESE CONTROL - TO CONTROL ACCESS FROM THE SHORE, NYLON TWINE FENCING IS TO BE PLACED AT THE INTERFACE OF OPEN WATER AND THE PLANTED AREAS. FENCING TO BE 24-42" IN HEIGHT.

INSTALLATION GUARANTEE REQUIRED:

•THE PLANTING SEASON SHALL RUN FROM OCTOBER 15 TO MARCH 15, EXCEPT FOR EXTREME WEATHER CONDITIONS AS DETERMINED BY STAFF. A FINAL CERTIFICATE OF OCCUPANCY SHALL NOT BE GIVEN DURING THE PLANTING SEASON UNLESS ALL OF THE LANDSCAPING IS COMPLETELY INSTALLED ACCORDING TO THIS ARTICLE.

| | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
|---|------------------------|------------------------------|
| ON SCREENING, UNDERSTORY TREE SPECIMENS, FULL CROWN | 15' | 15' |
| | EXPECTED MATURE HEIGHT | |
| ON EVERGREEN SCREENING SHRUB. SPECIMENS FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| ON EVERGREEN SCREENING SHRUB. SPECIMENS FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| ES IN PLANT LIST, GRAPHIC | | |

| SCM 4 PLANT SCHEDUI |
|---------------------|

| SCM 4 PLANT SCHEDULE | | | | | | | | | |
|----------------------|------|------------|-----------------------|---|---------------|----------------|---|------------------------|------------------------------|
| SMALL MATURING TREES | CODE | <u>QTY</u> | COMMON NAME | BOTANICAL NAME | HEIGHT | CALIPER | NOTES | EXPECTED MATURE HEIGHT | EXPECTED MATURE CROWN SPREAD |
| O | то | 17 | CAROLINA CHERRYLAUREL | PRUNUS CAROLINIANA | 6' MIN. | 1.5" CAL. MIN. | STORM DETENTION SCREENING, UNDERSTORY TREE WELL MATCHED SPECIMENS, FULL CROWN | 15' | 15' |
| SHRUBS | CODE | <u>QTY</u> | COMMON NAME | BOTANICAL NAME | <u>HEIGHT</u> | CALIPER | NOTES | EXPECTED MATURE HEIGHT | |
| \$ | LC | 31 | LOROPETALUM | LOROPETALUM CHINENSE | 18" MIN. | 3 (54) | STORM DETENTION EVERGREEN SCREENING SHRUB. WELL MATCHED SPECIMENS FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| \odot | VR | 16 | LEATHERLEAF VIBURNUM | VIBURNUM RHYTIDOPHYLLUM | 18" MIN. | 3 (- 4) | STORM DETENTION EVERGREEN SCREENING SHRUB. WELL MATCHED SPECIMENS FULL BUSHY CONTAINER. PLANT AT 5' O.C. | 6' WITHIN 3 YEARS | |
| PLANTING SYMBOL | | | (0) XX PLANT CODE | NOTE TO CONTRACTOR: IF GRAPHIC REPRESENTATION OF PLANTINGS REPRESENTATION OF PLANTINGS ON PLANS | | | CH QUANTITIES IN PLANT LIST, GRAPHIC | | |

WET POND CALCULATIONS

PERMANENT POOL ELEVATION: 267.00' AS DEFINED IN THE NCDEQ STORMWATER DESIGN MANUAL

VEGETATED SHELF: 1,111 S.F. (0.5' BELOW TO 0.5' ABOVE PERMANENT POND ELEV.)

REQUIRED: .25 PLANTS PER SQUARE FOOT

(3 MINIMUM HERBACEOUS SPECIES)

0.25 PLANTS x 1,111 SF = 278 STEMS PROVIDED: (93) HC, (93) LC, (92) CT

PLANTING NOTES:

TREES AND WOODY SHRUBS ARE NOT PERMITTED ON THE DAM OR EMBANKMENT SLOPES AND ANY VOLUNTEERS SHOULD BE REMOVED AS PART OF REGULAR MAINTENANCE ACTIVITES.

TREES AND SHRUBS MAY BE PLANTED OUTSIDE OF EMANKMENT SLOPES AND CLEAR FROM MAINTENANCE EASEMENT

MAINTENANCE PLAN:

GEESE CONTROL - TO CONTROL ACCESS FROM THE SHORE, NYLON TWINE FENCING IS TO BE PLACED AT THE INTERFACE OF OPEN WATER AND THE PLANTED AREAS. FENCING TO BE 24-42" IN HEIGHT.

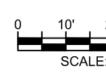
INSTALLATION GUARANTEE REQUIRED:

•THE PLANTING SEASON SHALL RUN FROM OCTOBER 15 TO MARCH 15, EXCEPT FOR EXTREME WEATHER CONDITIONS AS DETERMINED BY STAFF. A FINAL CERTIFICATE OF OCCUPANCY SHALL NOT BE GIVEN DURING THE PLANTING SEASON UNLESS ALL OF THE LANDSCAPING IS COMPLETELY INSTALLED ACCORDING TO THIS ARTICLE.

SCM 4 PLANTING SCHEDULE

| KEY | QTY. | SCIENTIFIC NAME | COMMON NAME | CON. | ZONE |
|-----|------|--------------------|---------------------|---------------|-----------------|
| HC | 93 | HIBISCUS COCCINEUS | SCARLET ROSE MALLOW | 2"Ø x 5" PLUG | VEGETATED SHELF |
| LC | 93 | LOBELIA CARDINALIS | CARDINAL FLOWER | 2"Ø x 5" PLUG | VEGETATED SHELF |
| СТ | 92 | CAREX TENERA | QUILL SEDGE | 2"Ø x 5" PLUG | VEGETATED SHELF |

CONTRACTOR SHALL INCLUDE (IN BASE BID) COSTS FOR ALL CITY REQUIRED BACKFILL / SOIL AMENDMENT REQUIREMENTS WITHIN LANDSCAPING AREAS (INCLUDING PLANTING STRIPS).

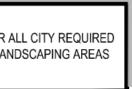


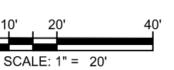
ATTENTION CONTRACTORS

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Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.







Call before you dig.

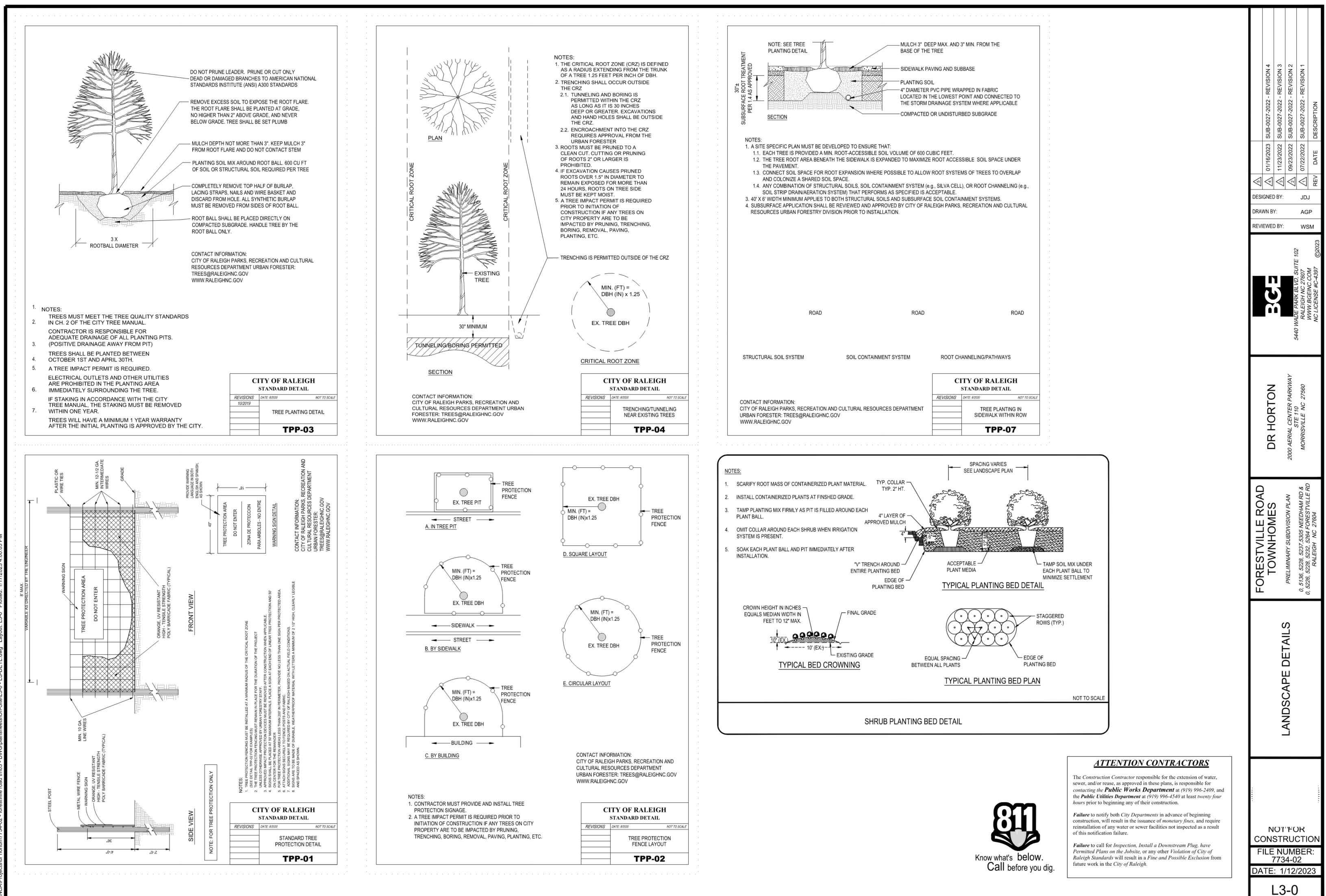
FILE NUMBER: 7734-02 DATE: 1/12/2023 L2-1

NOTFOR

CONSTRUCTION

FORESTVILLE ROAD TOWNHOMES

A^A ANDSCAPE PL - SCM 2 AND



GENERAL NOTES:

- 1. PRIOR TO CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITY LINES ADJACENT TO WORK AREAS. CONTRACTOR SHALL PROTECT ALL UTILITY LINES IN AND ADJACENT TO THE WORK AREA DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, OR OTHER SITE APPURTENANCES, WHICH OCCUR AS A RESULT OF WORK PERFORMED BY THE CONTRACTOR, OR ANY OF THEIR SUBCONTRACTORS.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULE OF DELIVERY AND PROTECTION OF PLANT MATERIALS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING ALL OF THE PLANT MATERIALS AND LAWN FOR THE FULL MAINTENANCE PERIOD OF THE CONTRACT. THIS SHALL INCLUDE, BUT MAY NOT BE LIMITED TO: WATERING, MULCHING, PEST CONTROL AND FERTILIZING.
- 4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE FOR ANY DISTURBED AREA. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- 6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND ANY ADDITIONAL FILL REQUIRED TO ACHIEVE FINISH GRADE PRIOR TO PLANTING IN ALL AREAS.
- ANY PLANT MATERIAL WHICH IS DISEASED, INFESTED, DISTRESSED, DEAD, OR OTHERWISE REJECTED, PRIOR TO SUBSTANTIAL COMPLETION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY.
- 8. THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
- PRIOR TO PLANTING, SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ACROSS THE SITE, AND LAB TESTED, TO CONFIRM PROPER SOIL CONDITION AND NUTRIENT LOAD FOR THE ESTABLISHMENT OF THE SPECIFIED PLANT MATERIALS. IF UNACCEPTABLE PH OR INADEQUATE SOIL NUTRIENTS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER'S AGENT. REFER TO PLANTING MIX NOTES.
- 10. FINAL GRADING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE IN THE FIELD PRIOR TO PLANTING.
- 11. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO LAYING SOD.
- 12. THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.

PLANTING MIX NOTES:

- 4. PLANTING MIX HAVE AN ACIDITY OF 5.5 7.0 PH.
- ORGANIC MATTER MINIMUM 5%/ MAXIMUM 10%

SITE AND PHASING DATA:

SEE SHEET C2-0 PHASING PLAN FOR OVERALL SITE DATA, PHASING DATA, AND OUTDOOR AMENITY AREA BREAKDOWN.

1. EXISTING COMPACTED SOIL MUST BE REMOVED AND REPLACED WITH 24" OF PLANTING MIX. EXISTING SOIL MAY BE UNCOMPACTED TO A DEPTH OF 24" AND AMENDED TO MEET PLANTING MIX REQUIREMENTS.

2. SOIL IN ALL PLANTING STRPS, ISLANDS AND PLANTING BEDS, WHETHER EXISTING OR NEW (ON NEW OR RENOVATED SITES), MUST MEET THE MINIMUM PLANTING MIX SPECIFICATIONS. SOIL AMENDMENTS OR FRESH PLANTING MIX ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE THE ORIGINAL TOPSOIL IS OF POOR QUALITY, HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED DO TO GRADING.

3. PLANTING MIX SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER. PLANTING MIX SHALL CONTAIN NOT MAN MADE MATERIALS UNLESS OTHERWISE SPECIFIED.

5. ACCEPTABLE PLANTING MEDIA SHALL CONTAIN THE FOLLOWING SPECIFIED PERCENTAGES OF CONSTITUENTS: CLAY - MINIMUM 10%/ MAXIMUM 40%, SAND - MINIMUM 20%/ MAXIMUM 50%, SILT - MINIMUM 20%/ MAXIMUM 50%,

6. ORGANIC MATTER IS DEFINED AS COMPOST/HUMUS SUCH AS SAWDUST OR LEAF MOLD THAT HASCOMPLETED THE DECOMPOSITION PROCESS. PERCENTAGE OF ORGANIC MATTERSHALL BE DETERMINED BY LOSS ON IGNITION OF MOISTURE FREE SAMPLES DRIED AT 65 DEGREES.

7. PLANTING MIX SHALL HAVE NORMAL CONTENTS OF NITROGEN, PHOSPHORUS, POTASSIUM, CALCIUM, MAGNESIUM, SULFUR AND PROPER MICRONUTRIENT LEVELS. NUTRIENT LEVELS MUST SATISFY GROWING NEEDS (AS RECOMMENDED BY LAB REPORT) OF THE EXISTING OR PLANNED PLANT MATERIAL.

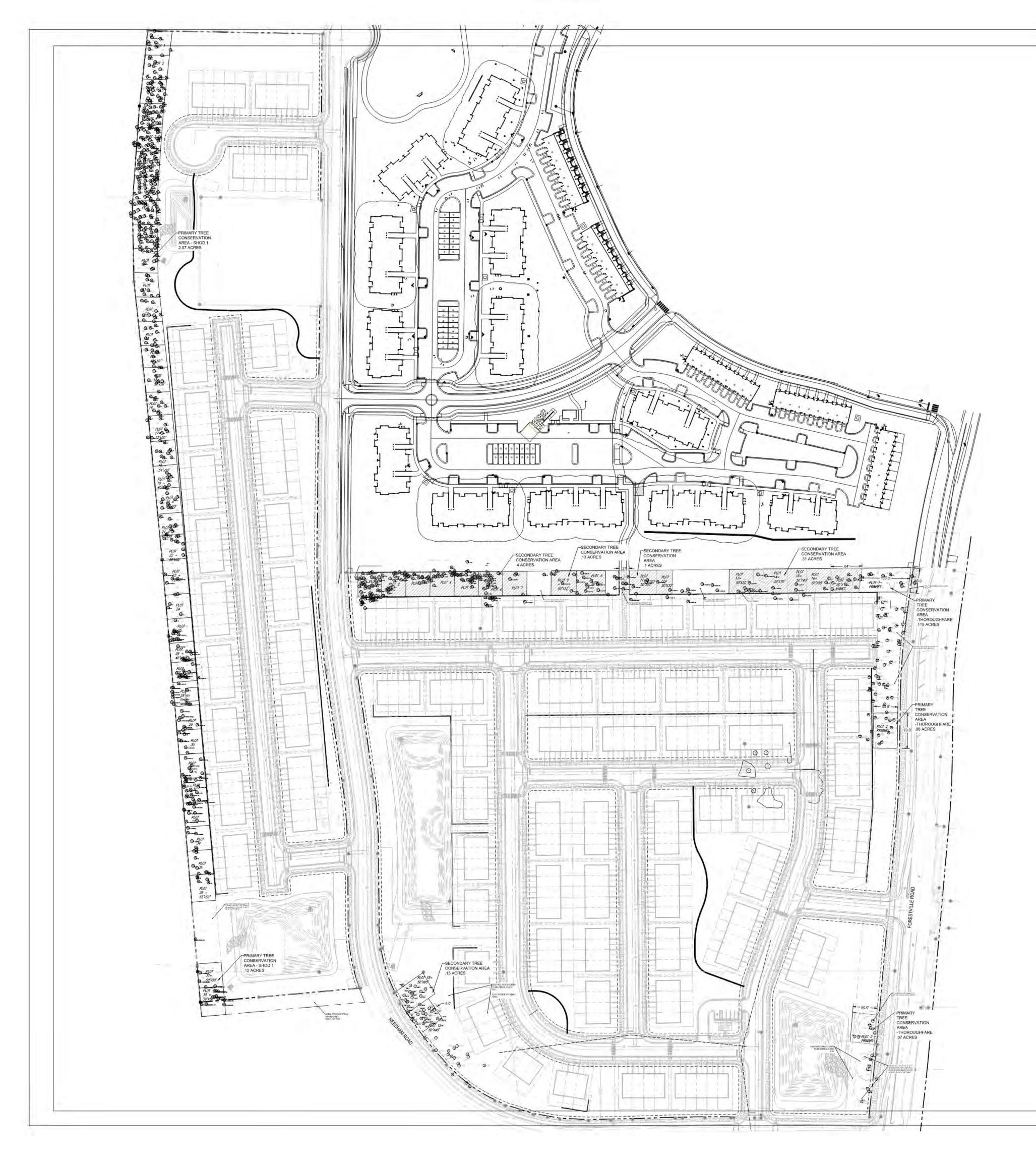
| F | | FORFSTVILLE ROAD | | | DESI DRA | | |
|--------------------------|-----------------------|--|---------------------------------------|--|-----------------|---|--|
| | | TOWNHOMES | DR HORTON | ŀ | GNEC WN B' | 4 01/16/2023 SUB-0027-2022 - REVISION 4 | |
| STF NI 773 : 1, | LANDSCAPE DETAILS AND | | | |) BY: Y: | 11/23/2022 SUB-0027-2022 - REVISION 3 | |
| JMI 4-0 | NOTES | PRELIMINARY SUBDIVISION PLAN | 2000 AERIAL CENTER PARKWAY STE 110 | | 7 | 2 09/23/2022 SUB-0027-2022 - REVISION 2 | |
| CTI BEF 2 /202 | | 0, 5136, 5228, 5237,5305 NEEDHAM RD & | MORRISVILLE NC 27560 | RALEIGH NC 27607 | JD. AG WS | 1 07/22/2022 SUB-0027-2022 - REVISION 1 | |
| | | 0, 2220, 2220, 2202, 2207, 2012, 100 RALEIGH NC 27604 | | WWW.BGEINC.COM NC LICENSE #C-4397 ©2023 | J P | REV DATE DESCRIPTION | |

Know what's below. Call before you dig.

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TOTAL ALL

UDO 9.1.9. Watershed Pr UWPOD - Wooded Area (UWPOD - Wooded Area (FWPOD - Wooded Area (p FWPOD - Wooded Area (p SWPOD - Wooded Area (p SWPOD - Wooded Area (p

TCA LEGEN

PRIMARY TO + + + SECONDAR'

ALL TCA PLOTS ARE 50%

| Tree Conservation Plan Data Sheet | | General No | otes |
|--|---|---|---|
| UDO Article 9.1 Tree Conservation (Include applicable information on the plan sheet) | | ÷ | |
| Forestville Road Townhomes | | | |
| Gross Site Acres: 42.59 ac Right-of-way to be dedicated with this project: 9.14 ac | | | |
| Net Site Acres: 33.45 ac | | | |
| Number Percent of Acres of Tract | | | |
| ary Tree Conservation Areas | | | |
| Conservation Area - SHOD 1 2.14 ac 6.4 % | | | |
| e Conservation Area - SHOD 2 ac % e Conservation Area - Parkway Frontage ac % | | | |
| Conservation Area - CM ac % Conservation Area - MPOD ac % | | | |
| Conservation Area - Champion Tree XX" dbh species ac % | | | |
| Conservation Area - Neuse Buffer Zone 2 ac % Conservation Area - 45% Slopes ac % | | | |
| Conservation Area - Thoroughfare | | | |
| Subtotal of Primary Tree Conservation Areas: 2.37 ac 7.2 % | | | |
| e Conservation Area - Greenway ac% | | | |
| b. Secondary Tree Conservation Areas neter buffers and their alternate compliance areas) 1.07 ac 3.2 % | | | |
| d. Individual Tree Secondary Tree Conservation Areas | | | |
| dual trees and their alternate compliance areas) ac % Subtotal of Secondary Tree Conservation Areas: 1.07 ac 3.2 % | | | |
| AL ALL TREE CONSERVATION AREA PROVIDED: 3.48 ac 10.4 % | | | |
| thed Protection Overlay Districts | | | |
| Area (preserved) ac % Area (planted) ac % | | | |
| Area (preserved) ac% | | | |
| Area (planted) ac % Area (preserved) ac % | | | |
| d Area (planted) ac % | | | |
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| SEE BACK-UP CALCULATIONS INCLUDED IN PACKAGE. | | | |
| SEE BACK-UP CALCULATIONS INCLUDED IN PACKAGE. | | | 0000/01/40 |
| | | | |
| EGEND: | 4 | PRELIM SUBDIVISION | 4 2022/11/18 |
| EGEND: ARY TCA - SHOD - 1 AND THOROUGHFARE | 3 | PRELIM SUBDIVISION | 4 2022/11/18 3 2022/09/30 |
| EGEND: ARY TCA - SHOD - 1 AND THOROUGHFARE | 3 | PRELIM SUBDIVISION | 4 2022/11/18 3 2022/09/30 2 2022/07/21 |
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| LEGEND: ARY TCA - SHOD - 1 AND THOROUGHFARE ONDARY TCA | De PR 227 WV | PRELIM SUBDIVISION | 4 2022/11/18 3 2022/09/30 2 2022/07/21 2022/03/31 Date CHITECTURE, PLLC NC 27604 |
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| LEGEND: IARY TCA - SHOD - 1 AND THOROUGHFARE ONDARY TCA IRE 50/X50', UNLESS OTHERWISE NOTED. | A 3 2 1 Nu De PF 227 WW JET Pr FO Pr FO Da 20 | PRELIM SUBDIVISION A PRELIM SUBDIVISION A PRELIM SUBDIVISION PRELIM SUBDIVISION PRELIM SUBDIVISION PRELIM SUBDIVISION PRELIM SUBDIVISION Revision/Issue Signed By: OSPECT LANDSCAPE ARC GLASCOCK STREET, RALEIGH, M W.PROSPECT-LA.COM WAGNERLANDSCAPE@GMAIL.C | 4 2022/11/18 3 2022/09/30 2 2022/07/21 2022/03/31 Date CHITECTURE, PLLC NC 27604 COM Sheet Sheet |

