

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2) = MIXED USE DEVELOPMENT		
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es):				
Recorded Deed PIN(s):				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
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Current Property Owner(s) Names:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names:	
Company:	Title:
Address:	
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage:			
Zoning districts (if more than one, provide acreage of each):			
Overlay district(s):	Inside City Limits?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
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NUMBER OF LOTS AND DENSITY

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F):		

APPLICANT SIGNATURE BLOCK


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

SITE DATA TABLE

PROPERTY INFORMATION:	
PIN:	1747379686
ADDRESS:	3805 MITCHELL MILL RD.
TOTAL SITE AREA:	10.462/455,731 ACRES/SF
ZONING INFORMATION:	
EXISTING ZONING:	RX-3-PL-CU (RESIDENTIAL MIXED USE-3 STORIES-CONDITIONAL USE)
CUD CASE NUMBER:	Z-82-2022
DEVELOPMENT INFORMATION:	
FRONTAGE TYPE:	PARKING LIMITED
BUFFER TYPE:	ZONE A PROTECTIVE YARD - TYPE 1 ZONE A PROTECTIVE YARD - TYPE 2
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-UNIT LIVING
EXISTING BUILDING AREA:	N/A
PROPOSED BUILDING AREA:	
APARTMENT	290,688 SF
TOTAL AREA:	290,688 SF
BUILDING DIMENSIONAL STANDARDS:	
BUILDING HEIGHT:	
APARTMENT BUILDINGS	BLDG. TYPE I - 46' 2" BLDG. TYPE II - 46' 0" BLDG. TYPE III - 46' 0"
UNIT BREAKDOWN:	
1-BR UNITS:	84
2-BR UNITS:	108
3-BR UNITS:	24
TOTAL UNITS:	216
GROUND FLOOR HEIGHT MINIMUM:	11'
PR. BUILDING HEIGHT:	3 STORY
GROUND STORY TRANSPARENCY:	20% MINIMUM
ACCESSORY STRUCTURE:	26' MAX
PR. ACCESSORY STRUCTURE:	N/A
PRIMARY STREET:	MITCHELL MILL ROAD
BUILDING SETBACKS:	
PRIMARY STREET-	5'
SIDE STREET-	5'
SIDE LOT LINE-	0' OR 6'
REAR LOT LINE-	0' OR 6'
REQUIRED BUILD-TO:	
PRIMARY STREET (MITCHELL MILL)	50% 5'-100' FROM R/W
SIDE STREET (CALIBER WOODS)	25% 0'-100' FROM R/W
LOT 1 - PROVIDED BUILD-TO:	
PRIMARY STREET (MITCHELL MILL)	121.17/178.44 = 67.91%
SIDE STREET (CALIBER WOODS)	512.46/1,018.52 = 50.31%
LOT 2 - REQUIRED BUILD-TO:	
PRIMARY STREET (MITCHELL MILL)	191.75/265.66 = 72.18%
SIDE STREET (CALIBER WOODS)	442.13/1,046.22 = 42.26%
PARKING DIMENSIONAL STANDARDS:	
PARKING SETBACKS:	
PRIMARY STREET-	10'
SIDE STREET-	10'
SIDE LOT LINE-	0'
REAR LOT LINE-	0'
IMPERVIOUS AREA CALCULATIONS:	
EX. IMPERVIOUS AREA:	0.0/0 ACRES/SF
PR. IMPERVIOUS AREA:	5.647/245,965 ACRES/SF
SITE COVERAGE:	5.647/10,462 = 54.0%
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720174700K
REQUIRED AMENITY AREA: (10% OF SITE AREA)	8.973 AC * 10% = 0.897 (39,087 SF)
PROVIDED AMENITY AREA:	0.933 AC (40,651 SF)
PARKING CALCULATIONS:	
MAX PARKING ALLOWED	1.5(1BR)+2.25(2BR)+3(3BR) 1.5(84)+2.25(108)+3(24) = 441 SPACES MAX 306 SPACES
TOTAL PROPOSED PARKING	
ACCESSIBLE PARKING:	
REQUIRED ACCESSIBLE PARKING:	301 TO 400 = 8 TOTAL (2 VAN)
TOTAL PROVIDED ACCESSIBLE PARKING:	20 SPACES
PROVIDED STANDARD ACCESSIBLE SPACES:	9 SPACES
PROVIDED VAN PARKING SPACES:	11 SPACES
BICYCLE CALCULATIONS:	
SHORT TERM BICYCLE PARKING	
PROVIDED SHORT TERM SPACES:	1 PER 20 UNITS 216 UNITS/20 = 10.8 = 11 SPACES 16 SPACES
LONG TERM BICYCLE PARKING	
PROVIDED LONG TERM SPACES:	1 PER 7 BR 372 BR /7 = 53.1 = 53 SPACES 53 SPACES (BUILDING)

PRELIMINARY SUBDIVISION PLAN MITCHELL MILL SUBDIVISION CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA 2024



VICINITY MAP
SCALE: 1" = 500'



GRAPHIC SCALE
1 inch = 500 feet

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER, AND ARCHITECT.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
- LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- LOCATIONS AND SIZES SHOWN FOR WATER AND SEWER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
- THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
- HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT RALEIGH ENGINEERING STANDARD DRAWING STANDARD DRAWINGS.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

	Acres	Square Feet
New Lot 1 Area:	3.625	157,910
New Lot 2 Area:	5.348	232,941
New R/W Area:	1.489	64,880
Total Area:	10.462	455,731

INDEX OF DRAWINGS

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DEVELOPMENT OPTIONS (UDO Chapter 2) - MIXED USE DEVELOPMENT		
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option
NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.		
GENERAL INFORMATION		
Scoping/sketch plan case number(s): SCOPE-0102-2023		
Development name (subject to approval): MITCHELL MILL SUBDIVISION		
Property Address(es): 3805 MITCHELL MILL ROAD		
Recorded Deed PIN(s): 1747-37-9686		
Building type(s):		
<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input checked="" type="checkbox"/> Apartment
<input type="checkbox"/>	<input checked="" type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: MITCHELL MILL LLC	
Company: MITCHELL MILL LLC	Title: OWNER
Address: 3301 BENSON DRIVE, STE 304	
Phone #: (919)533-5341	Email: neil.king@dewittcarolinas.com
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: Neil King	
Company: Dewitt Carolinas, Inc.	Title: Pre-Dev Manager
Address: 3301 Benson Dr	
Phone #: (919)533-5341	Email: neil.king@dewittcarolinas.com

DEVELOPMENT TYPE + SITE DATE TABLE - ZONING INFORMATION		
Gross site acreage: 10.462		
Zoning districts (if more than one, provide acreage of each):		
RX-3-PL-CU (10.462 AC)		
Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input checked="" type="checkbox"/>
Conditional Use District (CUD) Case # Z-82-22	Board of Adjustment Case # BOA-	Design Alternate Case # DA-
STORMWATER INFORMATION		
Imperious Area on Parcel(s):	Imperious Area for Compliance (includes right-of-way):	
Existing (sf):	Proposed total (sf) 201,228	Existing (sf):
		Proposed total (sf) 248,807
NUMBER OF LOTS AND DENSITY		
# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic): 2
Total # of Lots: 2	Total # Dwelling Units: 216	
# of bedroom units (if known): 1br ²⁴	2br ¹⁰⁸	3br ²⁴ 4br ⁰
Proposed density for each zoning district (UDO 1.5.2.F): 216/10.462 = 20.6 units/acre		

APPLICANT SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.	
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Signature:	Date: 5/15/2024
Printed Name: Neil King	Date:
Signature:	Date:
Printed Name:	

ZONING CONDITIONS (Z-82-22):

Z-82-22 - 3805 Mitchell Mill Road, located on its north side approximately 1,000 feet west of Forestville Road, being Wake County PIN 1747379686. Approximately 10.41 acres rezoned to Residential Mixed Use-3 Stories-Parking Limited-Conditional Use (RX3-PL-CU).

CONDITIONS DATED: MARCH 10, 2023

- The following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited, or special uses in the RX-District shall be prohibited: (i) cemetery.
- RESPONSE: USE IS MULTI-UNIT LIVING, NO CEMETERY PROPOSED.
- There shall be no more than twenty-four (24) residential units within any singlebuilding that is located within five hundred (500) feet of the northern boundary of the property. There shall be no more than thirty-six (36) residential units within any single building that is located on all other portions of the property.
- RESPONSE: BUILDINGS 3, 4, 5, & 6 HAVE TWENTY-FOUR UNITS PER BUILDING, NO BUILDINGS HAVE MORE THAN 36 UNITS. For those buildings fronting along Mitchell Mill Road, there shall be no private, on-site vehicular parking areas located between the Mitchell Mill Road right-of-way and the building facade located closest and most parallel to the Mitchell Mill Road right-of-way.
- RESPONSE: NO PARKING AREAS PROPOSED BETWEEN FACADE OF BUILDINGS AND MITCHELL MILL R/W. For those buildings fronting along Caliber Woods Drive, there shall be no private, on-site vehicular parking areas located between the Caliber Woods Drive right-of-way and the building facade located closest and most parallel to the Caliber Woods Drive right-of-way. However, this condition shall not prohibit vehicular parking areas located closer to the Caliber Woods Drive right-of-way than the closest and most parallel building facade so long as the vehicular parking areas are located to the sides of each building's facade located closest and most parallel to the Caliber Woods Drive right-of-way.
- RESPONSE: NO PARKING AREAS PROPOSED BETWEEN FACADE OF BUILDINGS AND CALIBER WOODS R/W. The property owner shall pay to the City a total of \$20,000.00 to be placed in the fund designated for the City's Affordable Housing Program. The \$20,000.00 amount may be payable in four annual installments of \$5,000.00, with the first payment being due prior to the issuance of the first certificate of occupancy and with each other annual installment due on or before the same day of the successive years, although the property owner has a right to prepay any amounts due. Prior to the issuance of any building permit, this payment obligation shall be evidenced by a promissory note to the City. If a sale of the project or the property (or a portion thereof), including a sale of controlling interests of an ownership entity within the project, occurs subsequent to the issuance of the first building permit and prior to the payment in full of the sum described within this condition, any outstanding amount shall be paid prior to the change of ownership.
- RESPONSE: UNDERSTOOD, PAYMENT WILL BE MADE TO CITY'S AFFORDABLE HOUSING PROGRAM.

<p>OWNER</p> <p>MITCHELL MILL, LLC 3301 BENSON DRIVE, SUITE 304 RALEIGH, NORTH CAROLINA 27619</p>	<p>DEVELOPER</p> <p>DEWITT CAROLINAS, INC. 3301 BENSON DRIVE, SUITE 103 RALEIGH, NORTH CAROLINA 27609 PHONE: 919-863-1000 CONTACT: NEIL KING EMAIL: NEIL.KING@DEWITTCAROLINAS.COM</p>	<p>CIVIL ENGINEER</p> <p>ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 102 CARY, NORTH CAROLINA 27511 PHONE: 919-481-6290 CONTACT: JAKE BUZZELL JBUZZELL@ADVANCEDCIVILDESIGN.COM</p>	<p>ARCHITECT</p> <p>PLANWORX ARCHITECTURE PA 5711 SIX FORKS ROAD, SUITE 100 RALEIGH, NORTH CAROLINA 27609 PHONE: 919-424-1946 CONTACT: TATE HOLT THOLT@PLANWORX.COM</p>	<p>LANDSCAPE ARCHITECT</p> <p>J DAVIS 510 SOUTH WILMINGTON STREET RALEIGH, NORTH CAROLINA 27601 PHONE: 919-835-1500 CONTACT: SAIWAKO BUSH SAWAKOB@DAVISARCHITECTS.COM</p>
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PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
 FOR
DEWITT CAROLINAS
TITLE



PLAN PREPARED BY:
 FIRM # C-2798

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmayne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.336.5127

Issue Dates:
 05/15/2024, SUBDIVISION SUBMITAL #1

Date: 05/15/2024
 Scale: 1" = 500'
 Drawn By: JLB
 Checked By: JDW

Project Number:
18-0004-742

Drawing Number:
C.0.0

ASR-XXXX-2024



LEGEND

- Iron Pipe Found
- Iron Pin Set
- ▲ Railroad Spike
- Light Pole
- Mailbox
- Traverse Point
- PK Set
- CATV Pedestal
- Sign
- Gas Valve
- Pole Elec
- Pole Elec Tele
- Catch Basin
- Curb Inlet
- Water Meter
- Fire Hydrant
- Air Release Manhole
- Water Valve
- Sanitary Cleanout
- Sanitary Manhole
- x---x---x--- Fence Line
- Edge of Pavement
- WA---WA---WA--- Underground Water Line
- OHE--- Overhead Electric Line
- ST---ST--- Storm Sewer Line
- SA---SA--- Sanitary Sewer Line
- Property Line
- Ex. Property Line
- Ex. Right-of-Way
- Ex. Easement Line
- Ex. Major Contour(s)
- Ex. Minor Contour(s)
- G---G--- Underground Gas
- FO---FO--- Underground Fiber Optic
- E---E--- Underground Electric
- OHE--- Overhead Electric

Existing Site Data Table	
Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

LINE TABLE		
LINE	DISTANCE	BEARING
L1	41.17'	N20°10'59"W
L2	55.00'	N72°23'19"W
L3	37.03'	S59°39'01"W

GENERAL NOTES

- EXISTING ZONING OF PROPERTY IS RX-3-PL-CU.
- BOUNDARY INFORMATION PROVIDED BY ADVANCED CIVIL DESIGN, INC.
- TOPOGRAPHIC SURVEY PROVIDED BY ADVANCED CIVIL DESIGN, INC.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORDED DRAWINGS. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATION HEREON.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITIES PRIOR TO ANY CONSTRUCTION.
- EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND MINIMUM CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

FLOOD NOTE

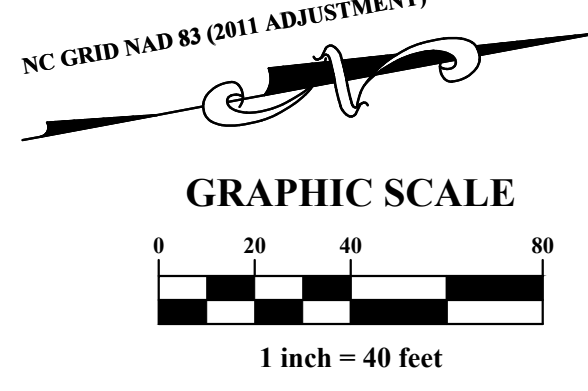
BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3720174700K WITH AN EFFECTIVE DATE OF JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

BENCHMARKS

SOURCE: Coordinates were derived by Real Time Network (RTN) Global Positioning System (GPS). This results in NAD 1983, 2011 Adjustment (CORS 96) and North American Vertical Datum of 1988 (NAVD 88) elevations using the continually operating reference stations (CORS) maintained by the North Carolina Geodetic Survey, Class A Survey, 0.033 feet positional accuracy, VRS Field Procedure, Geoid 18.

BM #1: PK Nail along the centerline of Coliber Woods Drive.
N: 778200.9660
E: 2144104.9640
Elevation: 355.02'

NOTE: SURVEY INFORMATION COMPLETED BY ADVANCED CIVIL DESIGN, INC. IN 2023.



PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS
EXISTING CONDITIONS

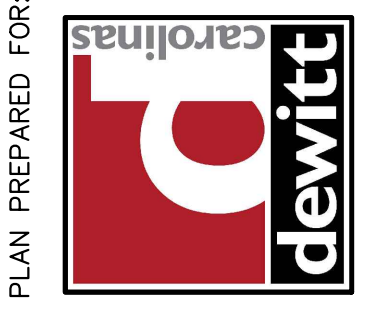
Issue Date: 05/15/2024
SUBDIVISION SUBMITTAL #

Date: 05/15/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number:
18-0004-742

Drawing Number:
C.1.0

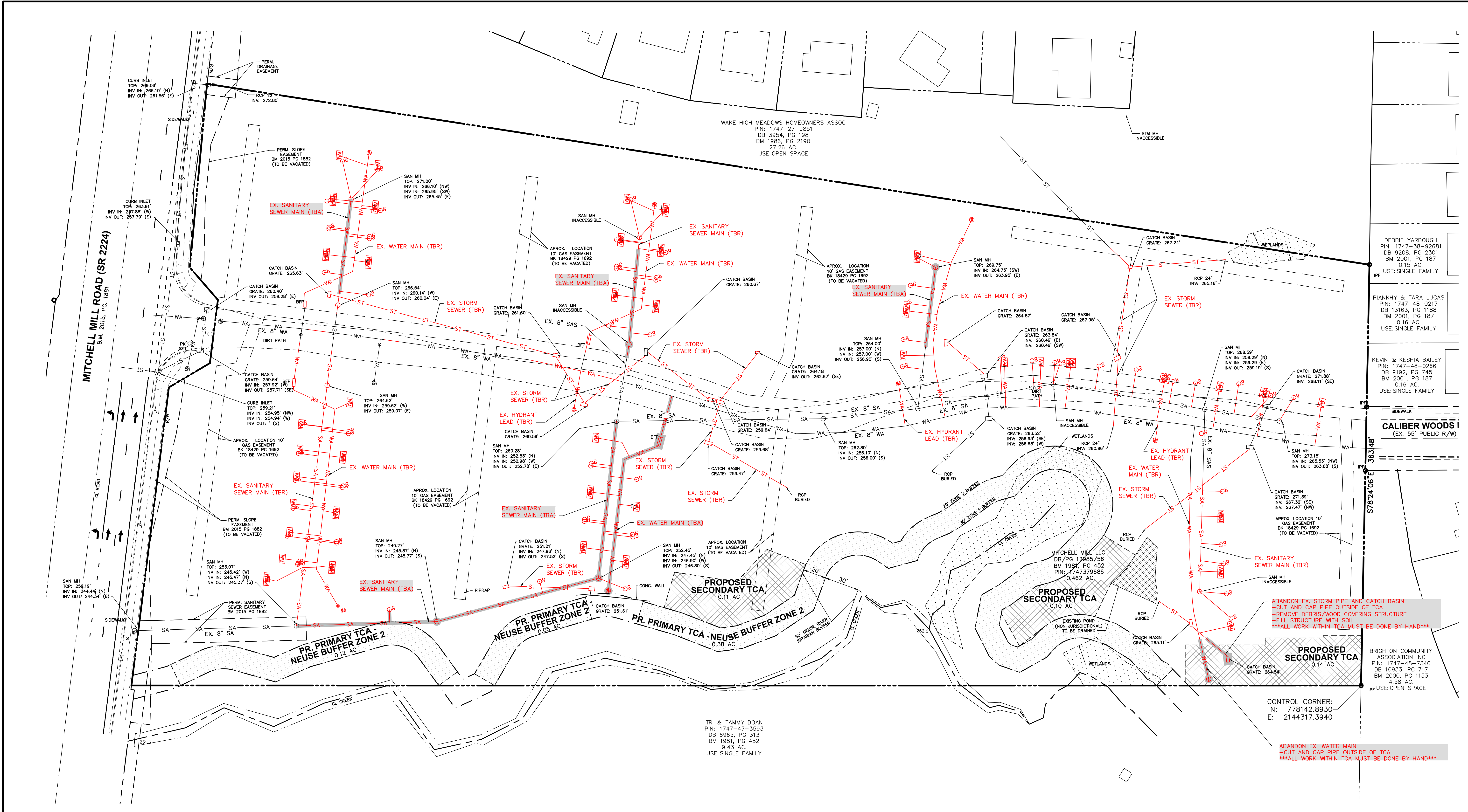


PLAN PREPARED BY:
FIRM # C-2798

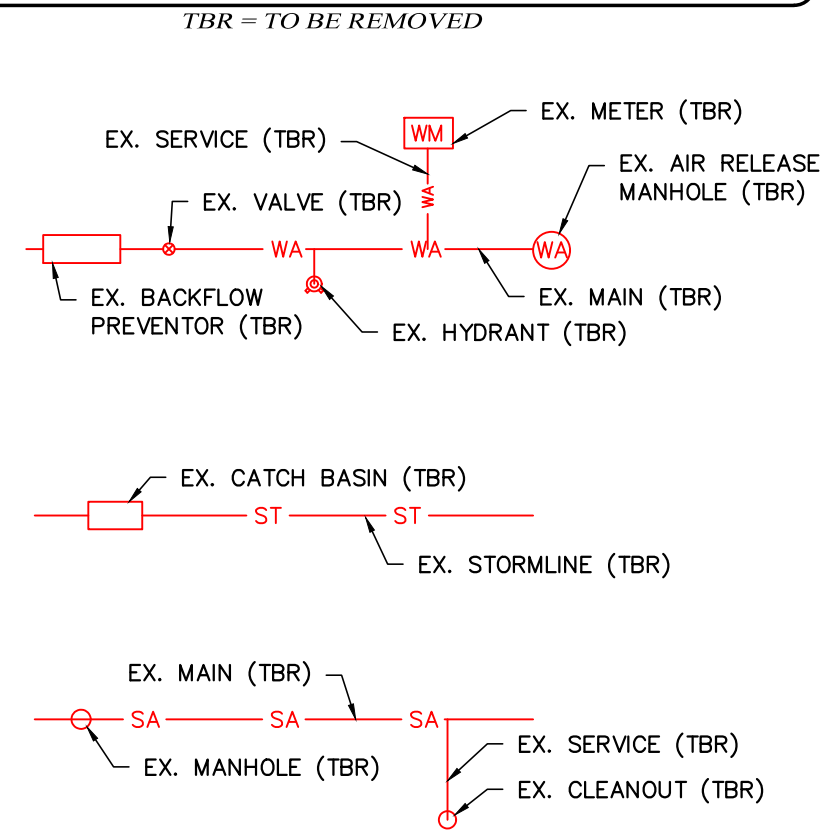
51 Kilmoyne Drive
Suite 102
Cory, North Carolina 27511
ph 919.481.6290
for 919.336.5127

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

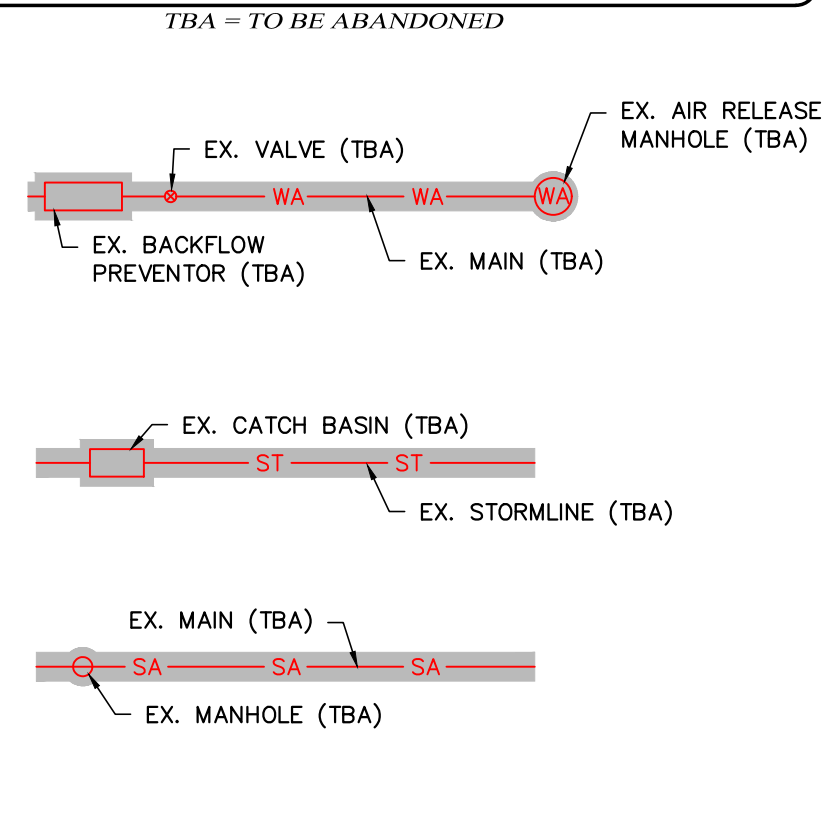
C:\18-0004-742NC\DWG\Production Drawings\Development Plan\Sub-Demolition Plan.dwg DEMOLITION PLAN May 15, 2024 - 3:33:56pm Shulchason



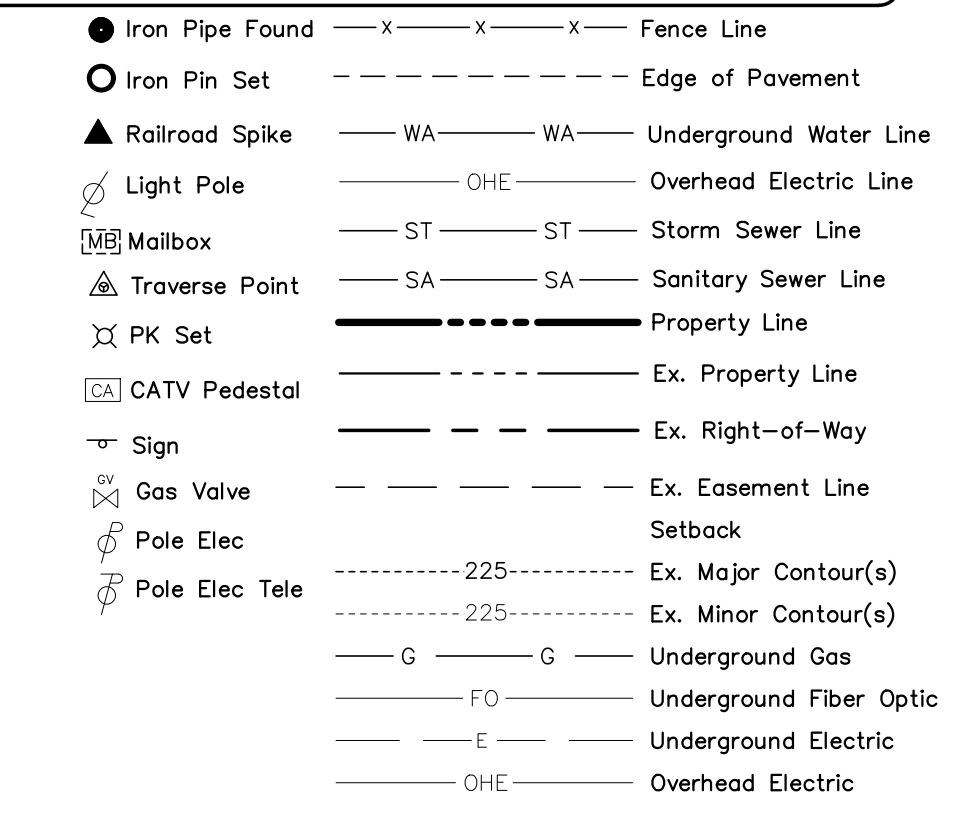
DEMOLITION LEGEND



ABANDONMENT LEGEND



EXISTING CONDITIONS LEGEND



NOTES:

1. REMAINING WATER AND SANITARY SEWER MAINS THAT HAVE NOT BEEN ABANDONED, MUST BE TESTED TO ENSURE THEY MEET RALEIGH PUBLIC WATER MAIN STANDARDS.

DEMOLITION LEGEND

TBR = TO BE REMOVED

ABANDONMENT LEGEND

TBA = TO BE ABANDONED

EXISTING CONDITIONS LEGEND

NOTES:

1. REMAINING WATER AND SANITARY SEWER MAINS THAT HAVE NOT BEEN ABANDONED, MUST BE TESTED TO ENSURE THEY MEET RALEIGH PUBLIC WATER MAIN STANDARDS.

NC GRID NAD 83 (2011 ADJUSTMENT)

GRAPHIC SCALE

0 20 40 80

1 inch = 40 feet

PLAN PREPARED BY:
FIRM # C-2738

51 Kilmoyne Drive
Suite 102
Cory, North Carolina 27511
ph 919.481.6290
for 919.336.5127

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS
DEMOLITION PLAN

DEBBIE YARBROUGH
PIN: 1747-38-92681
DB 9208, PG 2301
BM 2001, PG 187
0.15 AC.
USE: SINGLE FAMILY

PIANKHY & TARA LUCAS
PIN: 1747-48-0217
DB 13163, PG 1188
BM 2001, PG 187
0.16 AC.
USE: SINGLE FAMILY

KEVIN & KESHIA BAILEY
PIN: 1747-48-0266
DB 9192, PG 745
BM 2001, PG 187
0.16 AC.
USE: SINGLE FAMILY

MITCHELL MILL ROAD (SR 2224)
Bk. 2015, PG. 1881

WAKE HIGH MEADOWS HOMEOWNERS ASSOC
PIN: 1747-27-9851
DB 3354, PG 198
BM 1986, PG 2190
27.26 AC.
USE: OPEN SPACE

MITCHELL MILL LLC
DB/PG 12665/56
BM 1981, PG 452
PIN: 1747379686
10.462 AC.

TRI & TAMMY DOAN
PIN: 1747-47-3593
DB 6965, PG 313
BM 1981, PG 452
9.43 AC.
USE: SINGLE FAMILY

BRIGHTON COMMUNITY ASSOCIATION INC
PIN: 1747-48-7340
DB 10933, PG 717
BM 2000, PG 1153
4.58 AC.
USE: OPEN SPACE

CONTROL CORNER:
N: 778142.8930
E: 2144317.3940

Issue Date: 05/15/2024
SUBDIVISION SUBMITTAL #

Date: 05/15/2024
Scale: 1" = 40'

Drawn By: JLB

Checked By: JDW

Project Number:
18-0004-742

Drawing Number:
C.2.0

CODING NOTE

- A 18" STRAIGHT CURB
- B 30" STANDARD CURB & GUTTER
- C TRASH COMPACTORS
- D CURB RAMP
- E ACCESSIBLE PARKING SIGN
- F STOP/DO NOT ENTER SIGN
- G NO PARKING TO CORNER SIGN
- H NO PARKING SIGN
- I RETAINING WALL W. FENCE (DESIGN BY OTHERS)
- J RETAINING WALL
- K STEM WALL
- L COVERED CBU (DESIGN BY OTHERS)
- M 280' S.D.T.
- N 240' S.D.T.
- O BICYCLE RACK

GENERAL NOTES

1. ZONE B & ZONE C BUFFER YARDS ARE NOT REQUIRED PER UDO 3.5.1.D. (APARTMENT BUILDINGS LESS THAN 50' HEIGHT, IN A MIXED-USED DISTRICT)

LEGEND

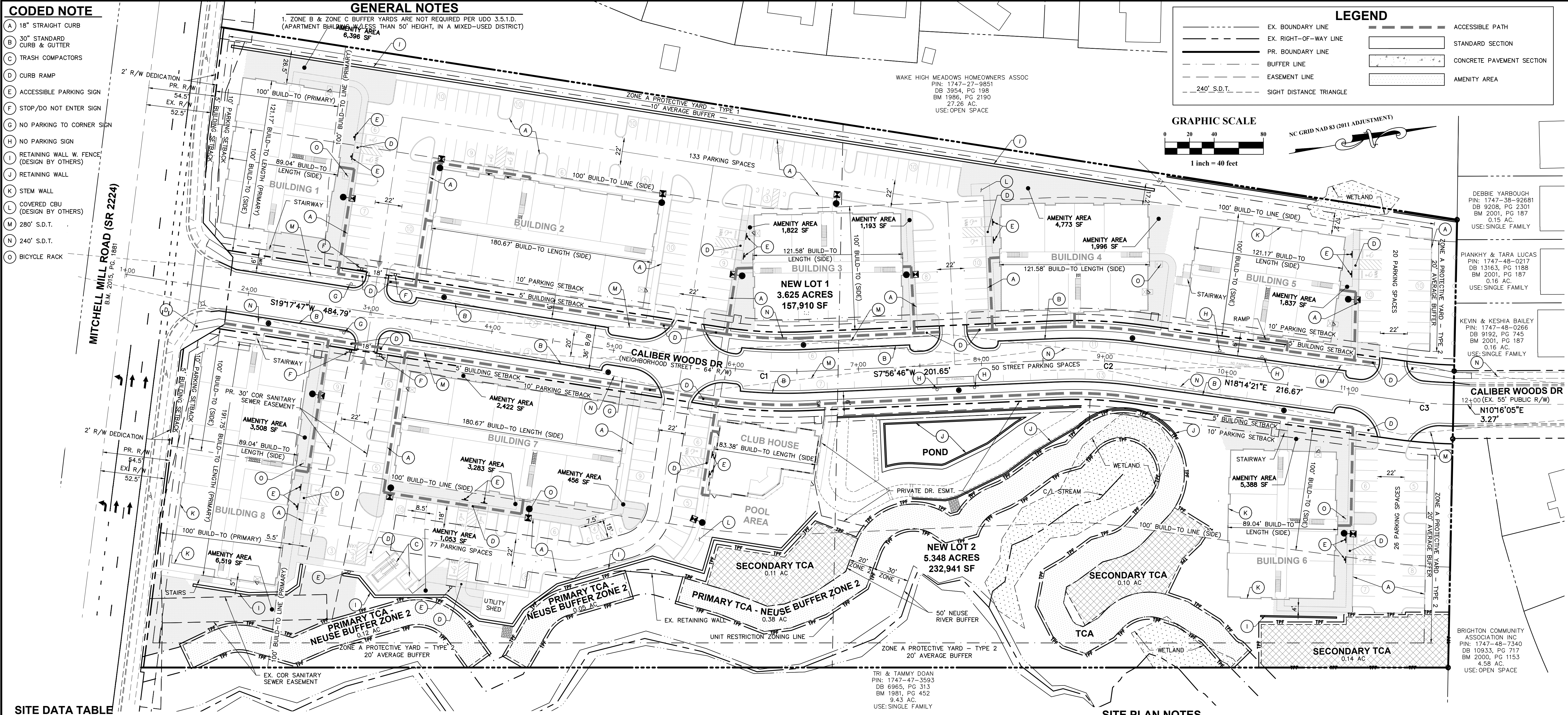
- EX. BOUNDARY LINE
- EX. RIGHT-OF-WAY LINE
- PR. BOUNDARY LINE
- BUFFER LINE
- EASEMENT LINE
- 240' S.D.T.
- ACCESSIBLE PATH
- STANDARD SECTION
- CONCRETE PAVEMENT SECTION
- AMENITY AREA

GRAPHIC SCALE

1 inch = 40 feet

0 20 40 80

NC GRID NAD 83 (2011 ADJUSTMENT)



SITE DATA TABLE

PROPERTY INFORMATION:	
PIN:	1747379686
ADDRESS:	3805 MITCHELL MILL RD.
TOTAL SITE AREA:	10.462/455,731 ACRES/SF
ZONING INFORMATION:	
EXISTING ZONING:	RX-3-PL-CU (RESIDENTIAL MIXED USE-3 STORIES-CONDITIONAL USE)
CUD CASE NUMBER:	Z-82-2022
DEVELOPMENT INFORMATION:	
FRONTAGE TYPE:	PARKING LIMITED
BUFFER TYPE:	ZONE A PROTECTIVE YARD - TYPE 1 ZONE A PROTECTIVE YARD - TYPE 2
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-UNIT LIVING
EXISTING BUILDING AREA:	N/A
PROPOSED BUILDING AREA:	
APARTMENT	290,688 SF
TOTAL AREA:	290,688 SF
BUILDING DIMENSIONAL STANDARDS:	
BUILDING HEIGHT:	
APARTMENT BUILDINGS	BLDG. TYPE I - 46' 2" BLDG. TYPE II - 46' 0" BLDG. TYPE III - 46' 0"
UNIT BREAKDOWN:	
1-BR UNITS:	84
2-BR UNITS:	108
3-BR UNITS:	24
TOTAL UNITS:	216

BUILDING DIMENSIONAL STANDARDS CONT.:	
GROUND FLOOR HEIGHT MINIMUM:	11'
PR. BUILDING HEIGHT:	3 STORY
GROUND STORY TRANSPARENCY:	20% MINIMUM
ACCESSORY STRUCTURE:	26' MAX
PR. ACCESSORY STRUCTURE:	N/A
PRIMARY STREET:	MITCHELL MILL ROAD
BUILDING SETBACKS:	PRIMARY STREET- 5' SIDE STREET- 5' SIDE LOT LINE- 0' OR 6' REAR LOT LINE- 0' OR 6'
REQUIRED BUILD-TO:	
PRIMARY STREET (MITCHELL MILL)	50% 5'-100' FROM R/W
SIDE STREET (CALIBER WOODS)	25% 0'-100' FROM R/W
LOT 1 - PROVIDED BUILD-TO:	
PRIMARY STREET (MITCHELL MILL)	121.17/178.44 = 67.91%
SIDE STREET (CALIBER WOODS)	512.46/1,018.52 = 50.31%
LOT 2 - REQUIRED BUILD-TO:	
PRIMARY STREET (MITCHELL MILL)	191.75/265.66 = 72.18%
SIDE STREET (CALIBER WOODS)	442.13/1,046.22 = 42.26%
PARKING DIMENSIONAL STANDARDS:	
PARKING SETBACKS:	PRIMARY STREET- 10' SIDE STREET- 10' SIDE LOT LINE- 0' REAR LOT LINE- 0'

IMPERVIOUS AREA CALCULATIONS:	
EX. IMPERVIOUS AREA:	0.0/0 ACRES/SF
PR. IMPERVIOUS AREA:	5.647/245,965 ACRES/SF
SITE COVERAGE:	5.647/10,462 = 54.0%
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720174700K
REQUIRED AMENITY AREA: (10% OF SITE AREA)	8.973 AC * 10% = 0.897 (39,087 SF)
PROVIDED AMENITY AREA:	0.933 AC (40,651 SF)
PARKING CALCULATIONS:	
MAX PARKING ALLOWED	1.5(1BR)+2.25(2BR)+3(3BR) 1.5(84)+2.25(108)+3(24) = 441 SPACES MAX
TOTAL PROPOSED PARKING	306 SPACES
ACCESSIBLE PARKING:	
REQUIRED ACCESSIBLE PARKING:	301 TO 400 = 8 TOTAL (2 VAN)
TOTAL PROVIDED ACCESSIBLE PARKING:	20 SPACES
PROVIDED STANDARD ACCESSIBLE SPACES:	9 SPACES
PROVIDED VAN PARKING SPACES:	11 SPACES
BICYCLE CALCULATIONS:	
SHORT TERM BICYCLE PARKING	1 PER 20 UNITS 216 UNITS/20 = 10.8 = 11 SPACES
PROVIDED SHORT TERM SPACES:	16 SPACES
LONG TERM BICYCLE PARKING	1 PER 7 BR 372 BR / 7 = 53.1 = 53 SPACES
PROVIDED LONG TERM SPACES:	53 SPACES (BUILDING)

SITE PLAN NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

ALL PRIVATE PAVEMENT MARKING SHALL BE WHITE UNLESS OTHERWISE NOTED.

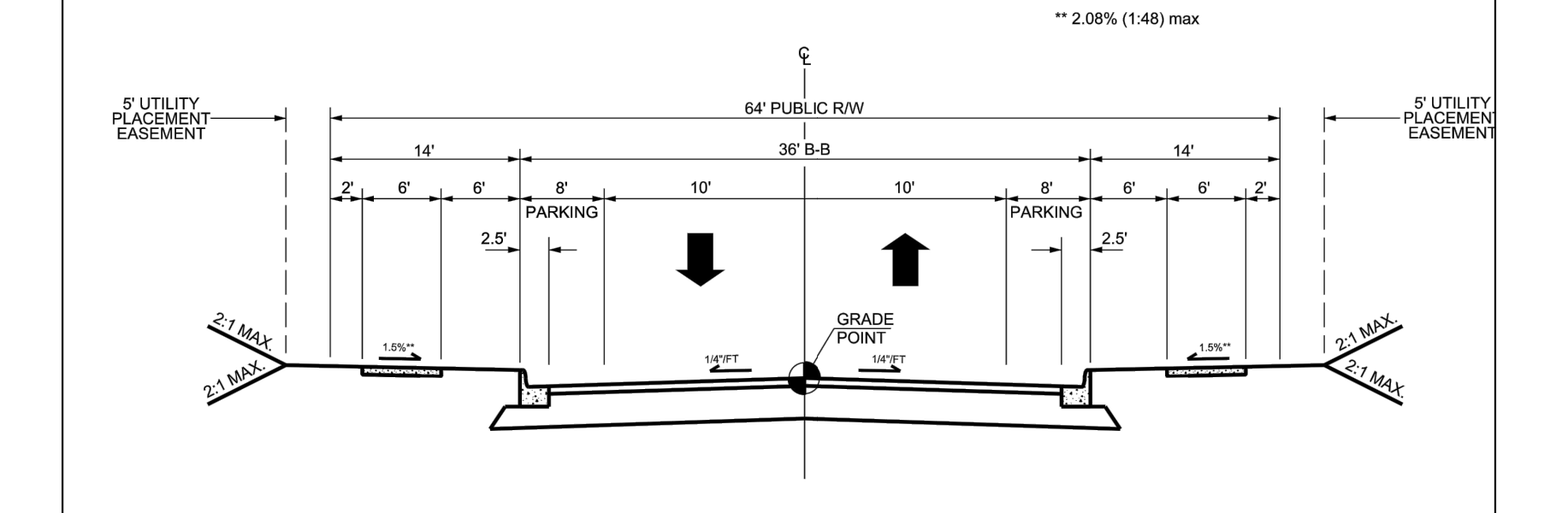
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURBLINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

THESE PLANS ARE FOR PRELIMINARY PURPOSES AND IS NOT INTENDED AS A FINAL DESIGN.

THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.

HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT RALEIGH ENGINEERING STANDARD DRAWING STANDARD DRAWINGS.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



Existing Site Data Table		Proposed Site Data Table		CURVE TABLE		LINE TABLE						
Owner:	Mitchell Mill, LLC	Address:	3805 MITCHELL MILL RD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.	LINE	DISTANCE	BEARING
PIN #:	1747-37-9686	Map Data:	B.M. 1981, Pg. 452 (Lot 6)	New Lot 1 Area:	3.625	157,910	C1	011°21'01"	375.00'	74.29'	N13°37'16"E	74.17'
Tract Data:	D.B. 12985 Pg. 56	Lot Area (square feet):	455,731	New Lot 2 Area:	5.348	232,941	C2	010°17'35"	375.00'	67.37'	S13°05'33"W	67.28'
Map Data:	B.M. 1981, Pg. 452 (Lot 6)	Lot Area (acres):	10.462	New R/W Area:	1.489	64,880	C3	007°58'16"	375.00'	52.17'	N14°15'13"E	52.13'
Lot Area (square feet):	455,731	Total Area:	10.462	Total Area:	10.462	455,731						

PLAN PREPARED BY: FIRM # C-2798

51 Kilmoyne Drive Suite 102 Cary, North Carolina 27511 ph 919.481.6290 fax 919.336.5127

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR: dewitt

PRELIMINARY SUBDIVISION PLAN CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION FOR DEWITT CAROLINAS

SITE PLAN

Issue Date: 05/15/2024, SUBDIVISION SUBMITTAL #

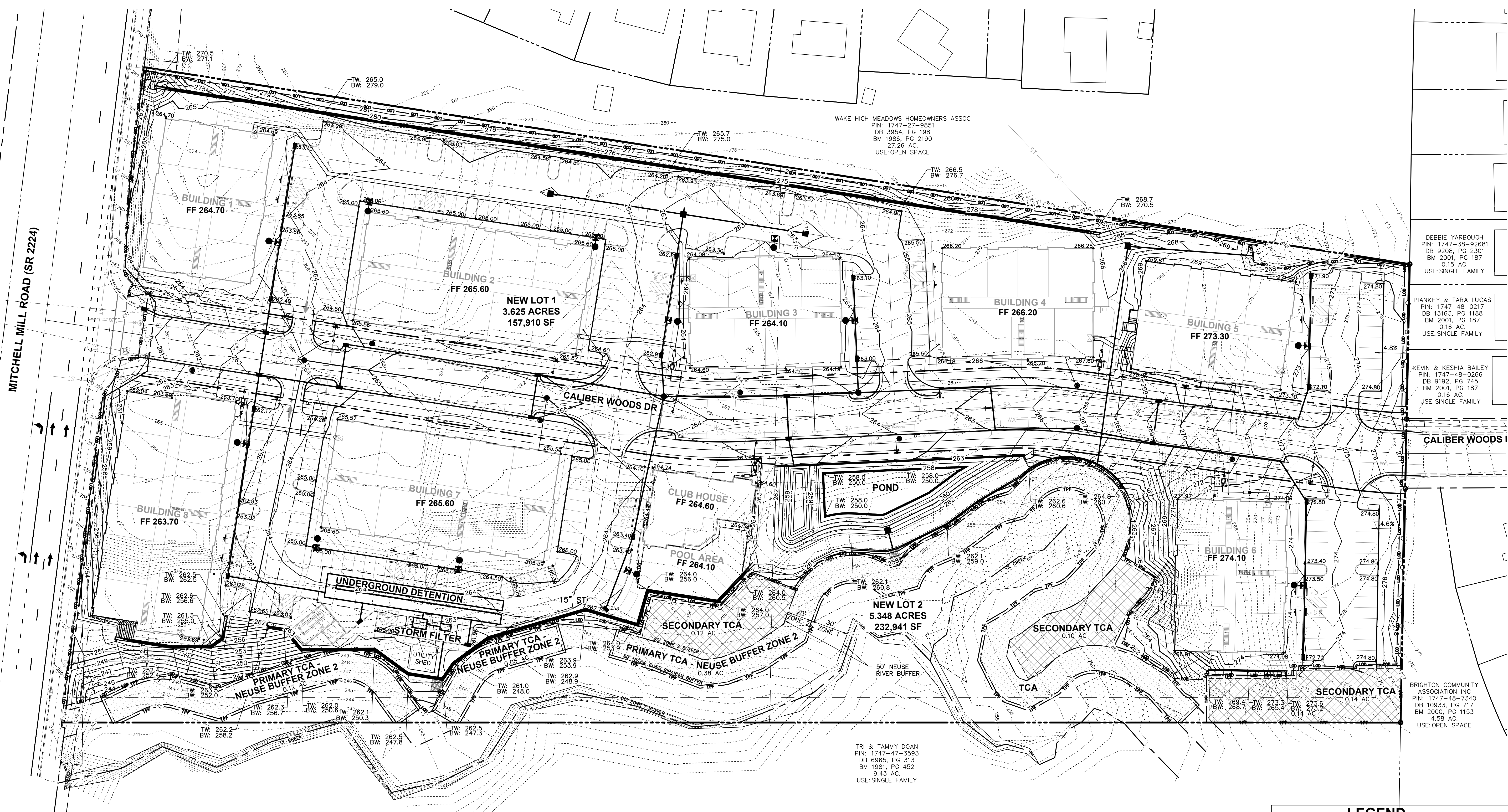
Date: 05/15/2024 Scale: 1" = 40'

Drawn By: JLB Checked By: JDW

Project Number: 18-0004-742

Drawing Number: C.3.0

0:\18-0004-742\NC\Production Drawings\DEVELOPMENT PLAN\SUB-Grading and Drainage Plan.dwg Grading Plan May 15, 2024 - 4:10:05pm Shutcherson

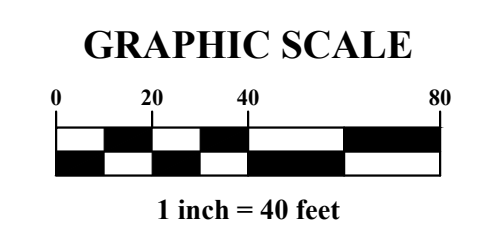


STANDARD GRADING NOTES (AS APPLICABLE)

1. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
2. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
3. PROPOSED GRADES BY SEPARATE PLAN CONTOURS SHOWN AT 1 FOOT INTERVALS.
4. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED "STORM SEWER".
8. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TC XXX.XX.
14. IN CASE ON AN EMERGENCY OR MAINTENANCE RELATED ISSUES WITH THE POND, THE HAND WHEEL AND PLUG VALVE IS TO BE USED TO DRAW DOWN THE POND AS MUCH AS POSSIBLE. IF POND IS TO BE DRAWN DOWN COMPLETELY, OWNER IS TO COORDINATE WITH CONTRACTOR TO BRING IN PUMP TO PUMP OUT REMAINING WATER.
15. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
16. LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
18. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
19. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
20. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SITE DEVELOPMENT DATA

OVERALL SITE AREA:	10.462/455,731 ACRES/SF
EX. IMPERVIOUS AREA:	0.0/0 ACRES/SF
PR. IMPERVIOUS AREA:	5,647/245,965 ACRES/SF
SITE COVERAGE:	5,647/10,462 = 54.0%
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720174700K
NUESE RIVER BUFFER:	NO
WETLANDS:	NO



LEGEND

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PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
 FOR
DEWITT CAROLINAS
GRADING PLAN

Issue Dates:
 05/15/2024, SUBDIVISION SUBMITTAL #1

Date: 05/15/2024
 Scale: 1" = 40'

Drawn By: JLB
 Checked By: JDW

Project Number:
18-0004-742

Drawing Number:
C.4.0



PLAN PREPARED BY:
 FIRM # C-2798

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

51 Kilmoyne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
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DEBBIE YARBROUGH
 PIN: 1747-38-92681
 DB 9208, PG 2301
 BM 2001, PG 187
 0.15 AC.
 USE: SINGLE FAMILY

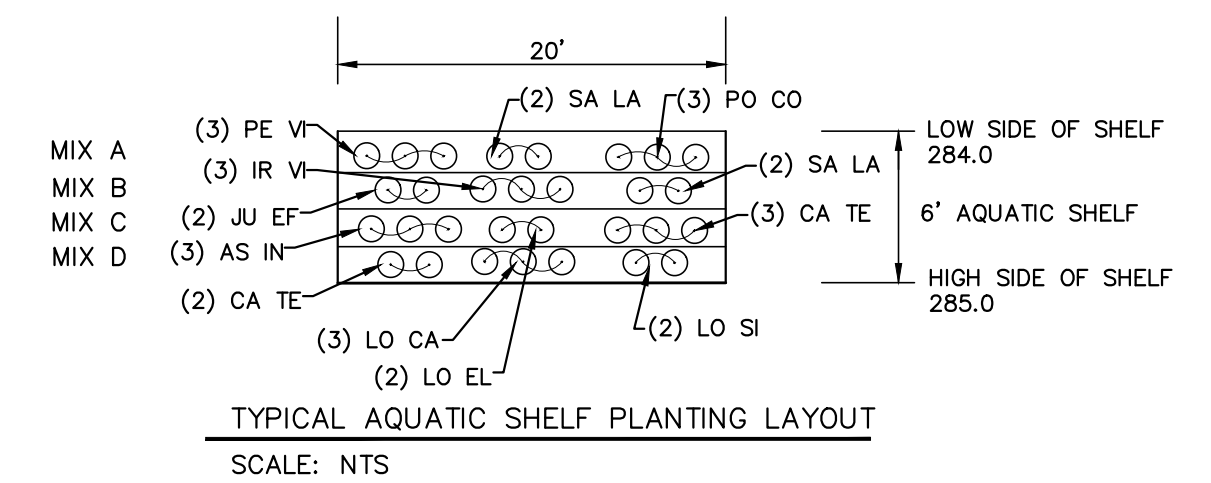
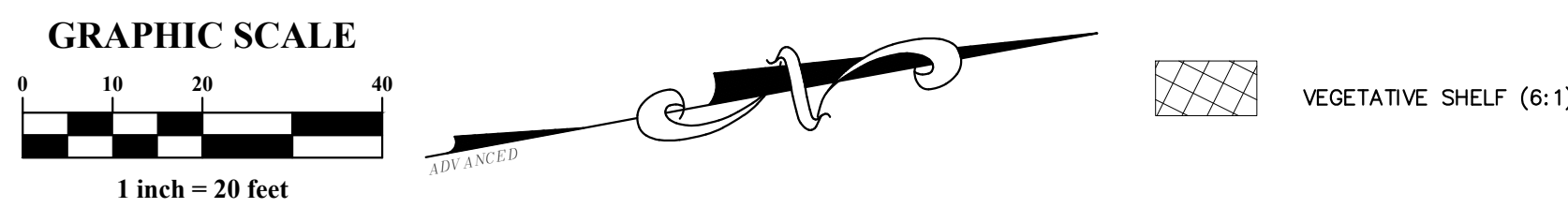
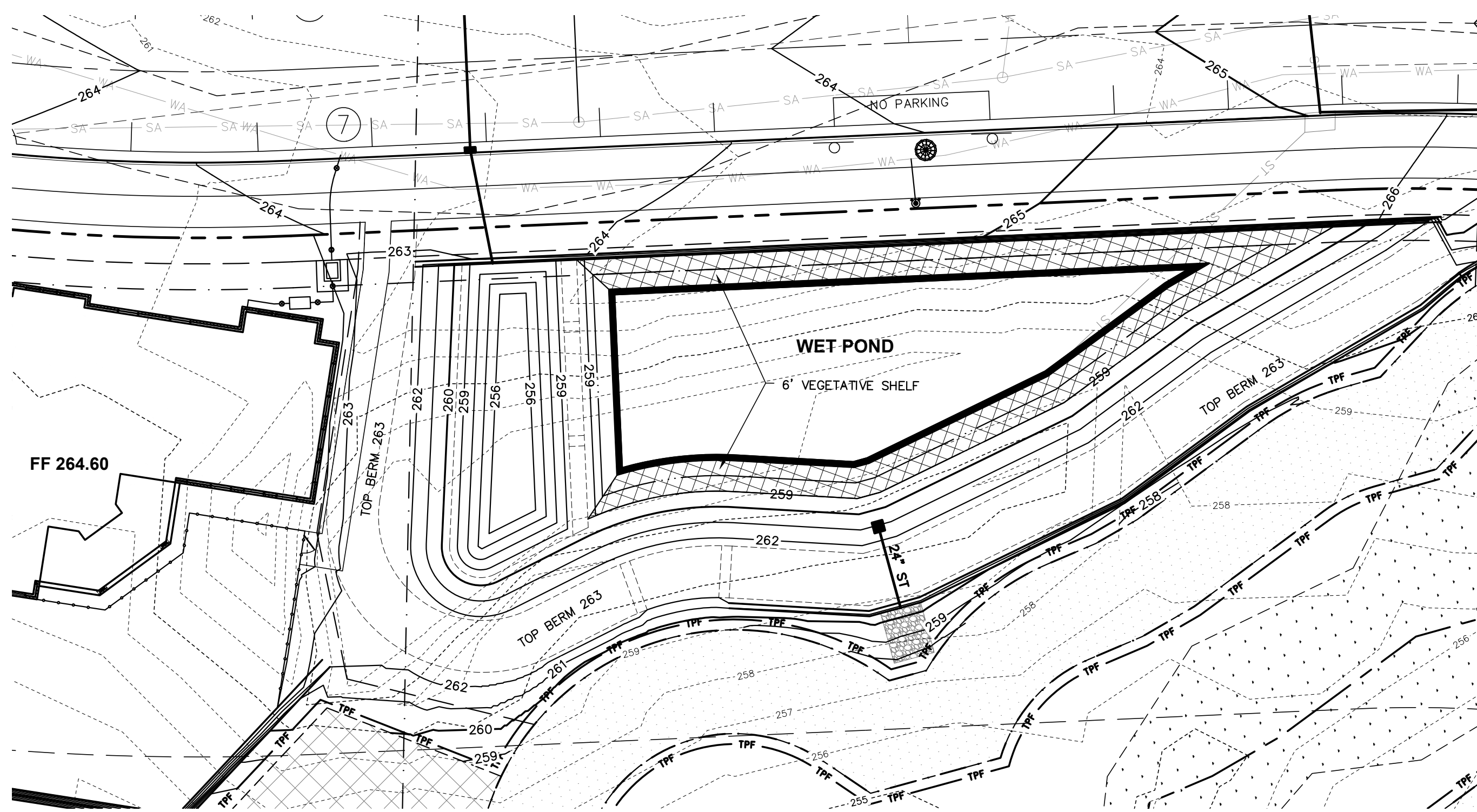
PIANKHY & TARA LUCAS
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 USE: SINGLE FAMILY

KEMN & KESHIA BAILEY
 PIN: 1747-48-0266
 DB 9192, PG 745
 BM 2001, PG 187
 0.16 AC.
 USE: SINGLE FAMILY

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 PIN: 1747-48-7340
 DB 10933, PG 717
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 USE: OPEN SPACE

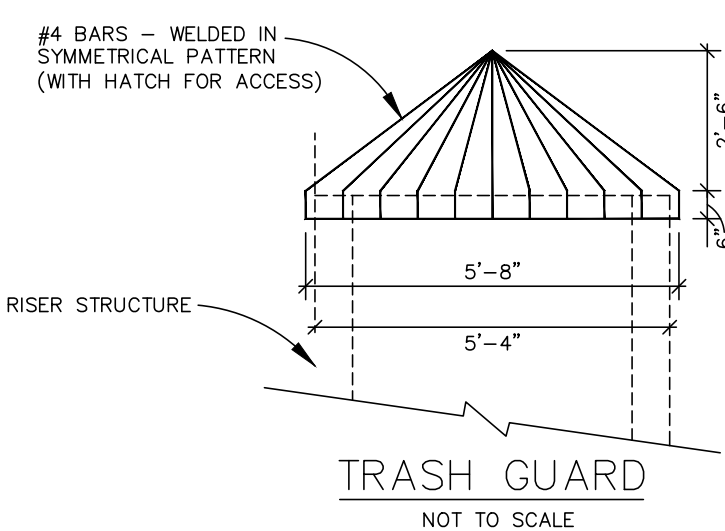
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 USE: OPEN SPACE

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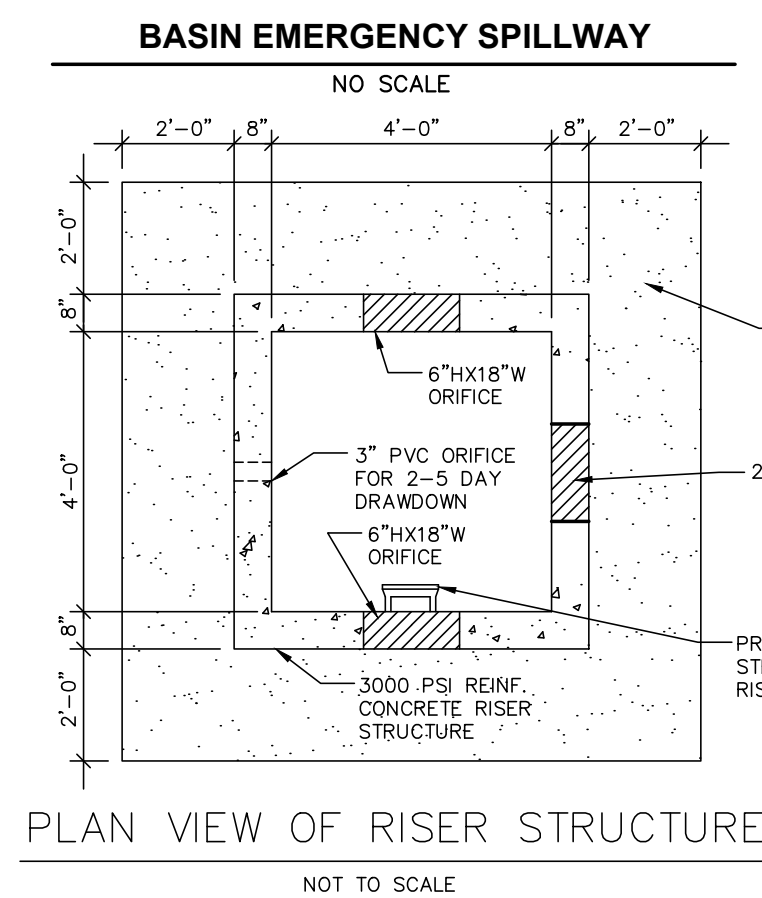
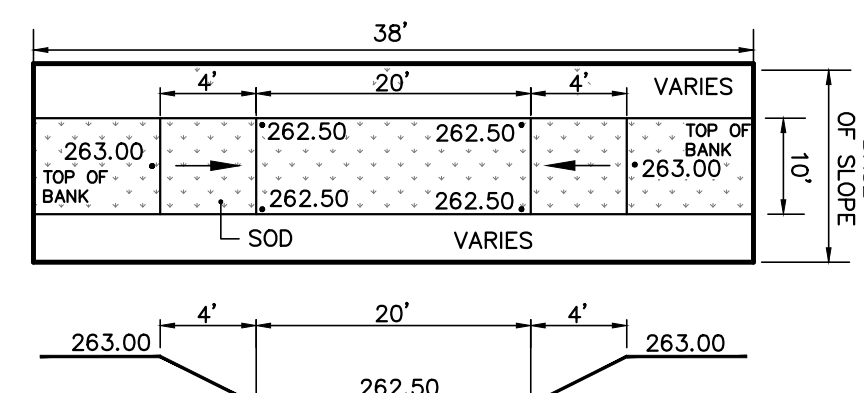


CODE	QTY.	BOT. NAME / COMMON NAME	SIZE	COND.	SPACING
MIX A EMERGENT DEEP (6"-3" BELOW WATER LEVEL)					
PE VI	42	Peltandra virginica Arrow Arum	18"	plug	24" o.c. Field Locate
SA LA	28	Sagittaria latifolia Broad-Leaf Arrowhead	9"	plug	24" o.c. Field Locate
PO CO	42	Pontederia cordata Pickerel Weed	9"	plug	24" o.c. Field Locate
MIX B EMERGENT SHALLOW (3"-0" BELOW WATER LEVEL)					
IR VI	42	Iris virginica Blue Flag Iris	18"	plug	24" o.c. Field Locate
JU EF	28	Juncus effusus Common Rush	9"	plug	24" o.c. Field Locate
SA LA	28	Sagittaria latifolia Broad-Leaf Arrowhead	9"	plug	24" o.c. Field Locate
MIX C EDGE (0"-3" ABOVE WATER LEVEL)					
AS IN	42	Asclepias incarnata Swamp Milkweed	24"	plug	24" o.c. Field Locate
CA TE	28	Carex Tenax Quill Sedge	18"	plug	24" o.c. Field Locate
LO EL	28	Lobelia elongata Longleaf Lobelia	18"	plug	24" o.c. Field Locate
MIX D SATURATED (3"-6" ABOVE WATER LEVEL)					
CA TE	28	Carex Tenax Quill Sedge	18"	plug	24" o.c. Field Locate
LO CA	42	Lobelia cardinalis Cardinal Flower	18"	plug	24" o.c. Field Locate
LO SI	28	Lobelia siphilitica Great Blue Lobelia	24"	plug	24" o.c. Field Locate

NOTE:
1. SIZE INDICATED AT TIME OF PLANTING.



RETURN EVENT (YR)	PRE-DEV. RELEASE RATE (CFS)	POST-DEV. RELEASE RATE (CFS)	TOTAL POST-DEV. RELEASE RATE (CFS)
2	14.25	5.80	13.43
10	39.96	22.15	39.64
100	78.04	33.31	63.93

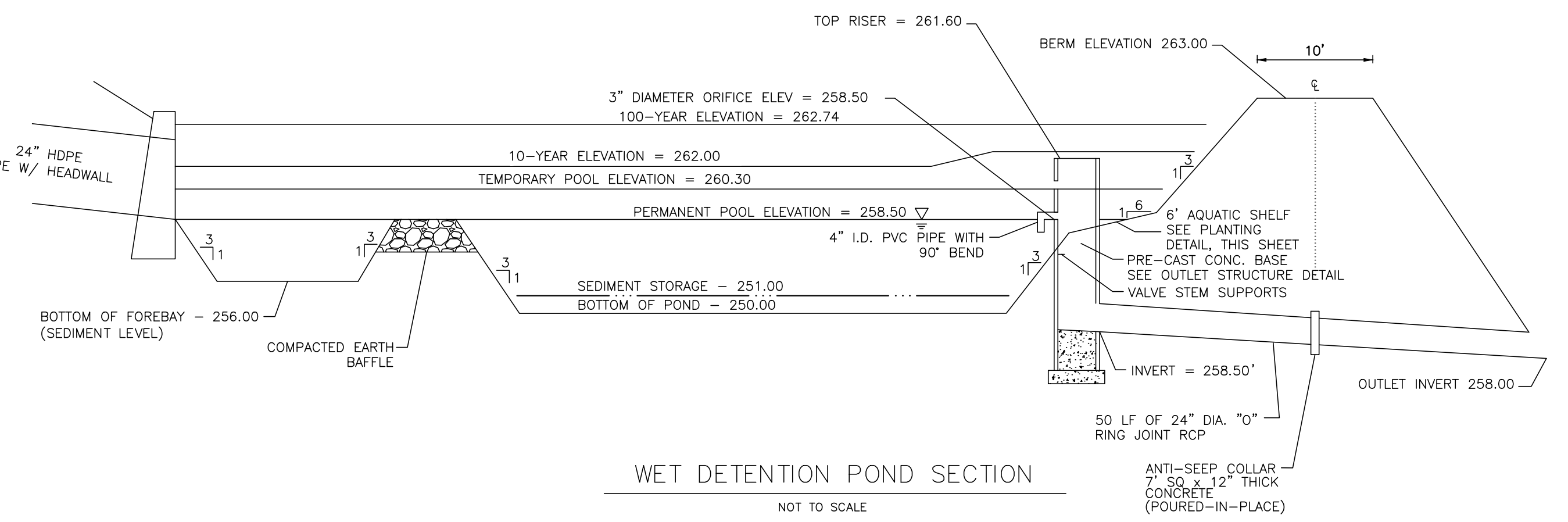
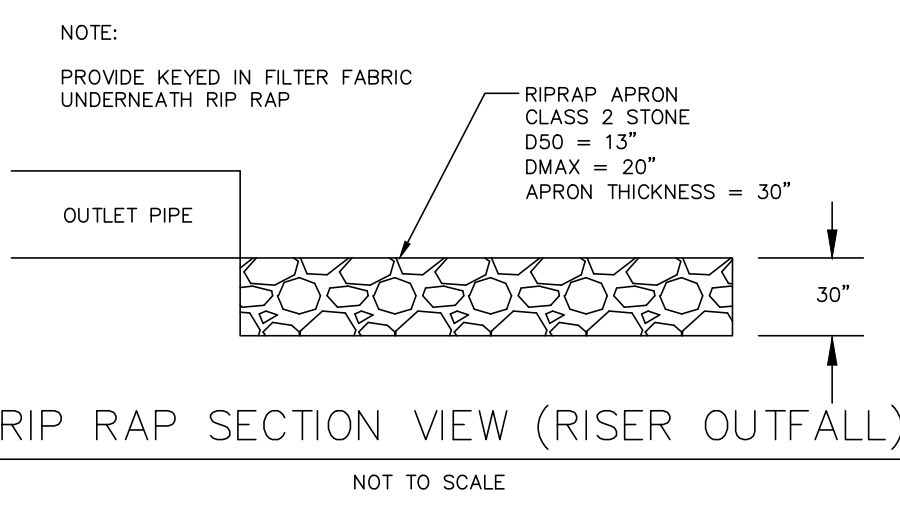
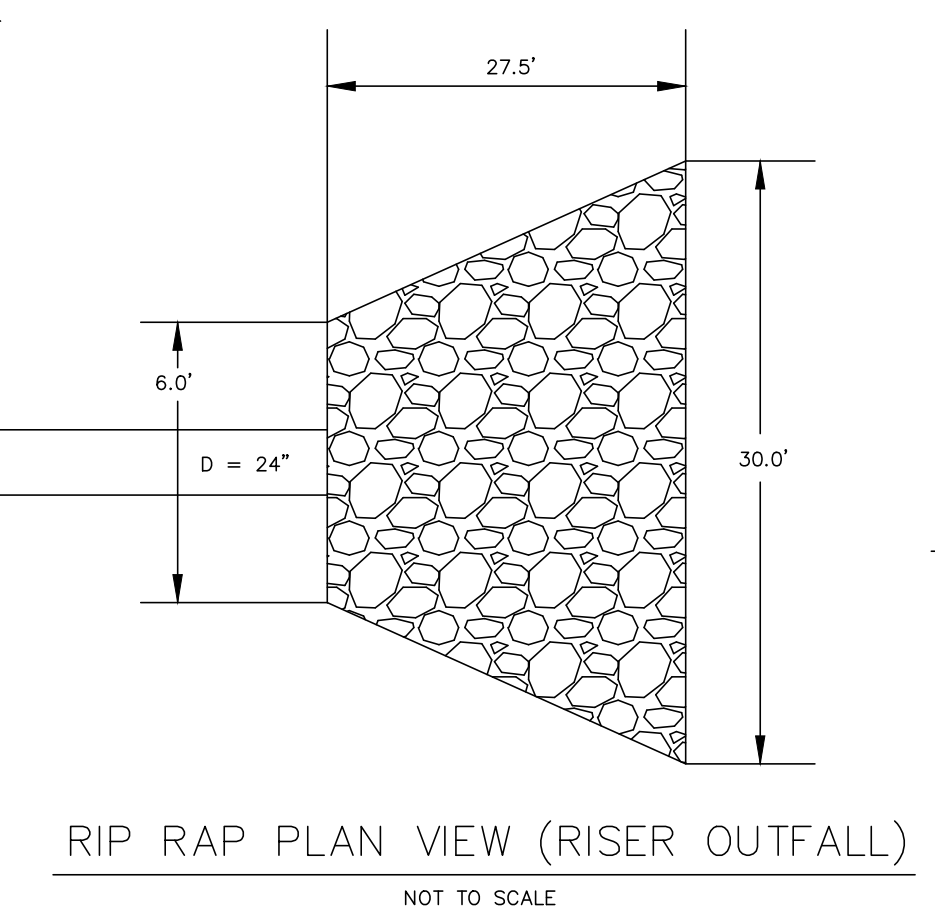
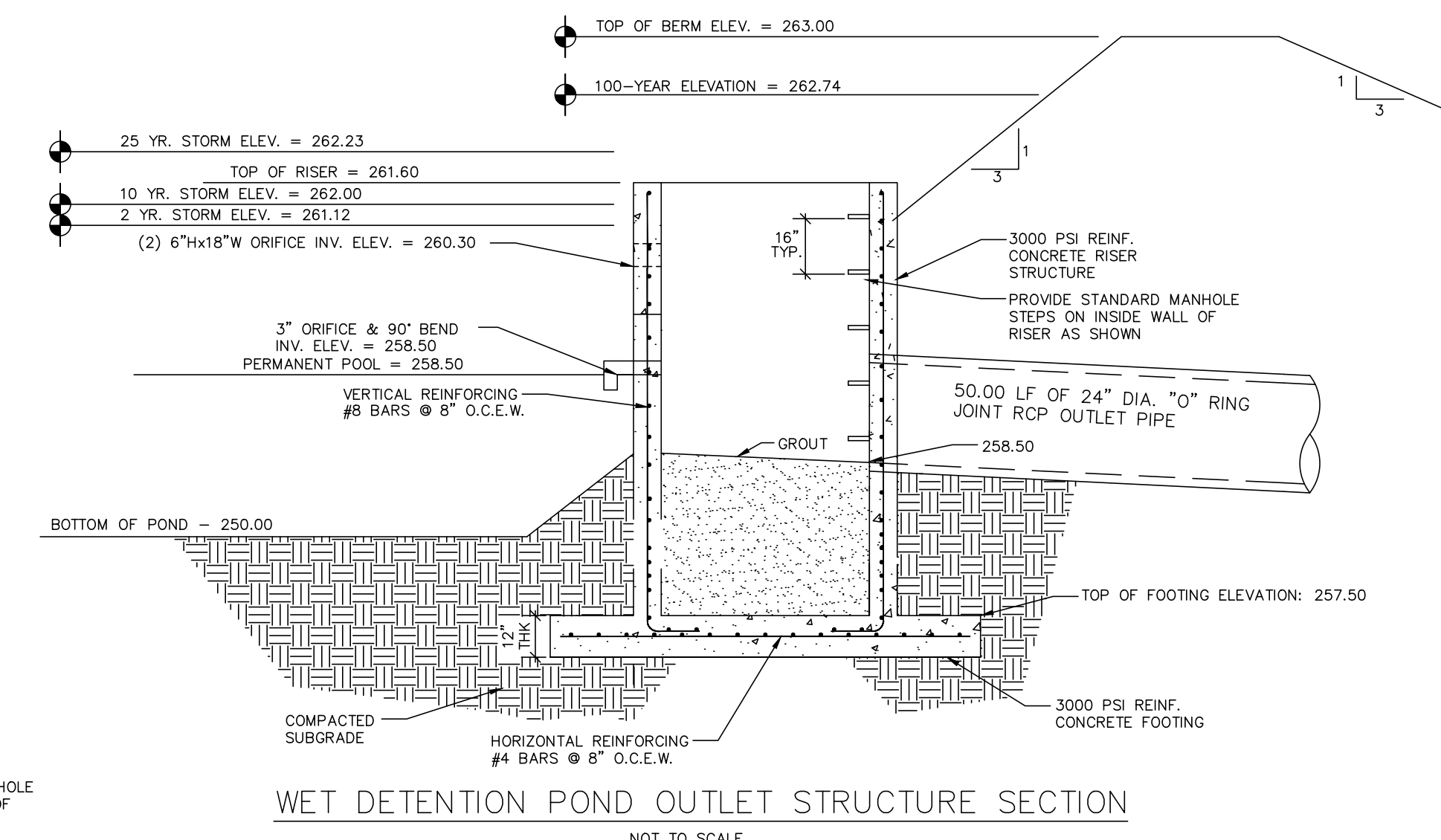


BUOYANCY CALCULATIONS

WEIGHT OF CONCRETE (DOWNWARD FORCE)
 RISER: $(2(4 \times 0.67) + 2(5.33 \times 0.67)) \times 14.5' = 181 \text{ CF}$
 FOOTING: $1' \times 9.33' \times 9.33' = 87 \text{ CF}$
 GROUT: $1' \times 4' \times 4' = 16 \text{ CF}$
 CONCRETE VOLUME X CONCRETE DENSITY = $(181 \text{ CF} + 87 \text{ CF} + 16 \text{ CF}) \times 150 \text{ LBS./CF} = 42,600 \text{ LBS.}$

WEIGHT OF WATER DISPLACED (UPWARD FORCE)
 RISER: $5.33' \times 5.33' \times 14.5' = 412 \text{ CF}$
 FOOTING: $1' \times 9.33' \times 9.33' = 87 \text{ CF}$
 WATER VOLUME X WATER DENSITY = $(412 \text{ CF} + 87 \text{ CF}) \times 62.4 \text{ LBS./CF} \times 1.15 \text{ FACTOR OF SAFETY} = 35,808 \text{ LBS.} < 42,600 \text{ LBS.}$

STRUCTURE WILL NOT FLOAT



WET DETENTION POND: BASIN SIZING, CALCULATIONS, AND REQUIREMENTS

REQUIRED SURFACE AREA FOR PERMANENT POOL

TOTAL DRAINAGE AREA TO BASIN: 5.1 AC
 IMPERVIOUS AREA DRAINING TO BASIN: 3.4 AC
 PERCENT OF IMPERVIOUS FOR DRAINAGE AREA: 66.8%
 PERMANENT POOL AVERAGE DEPTH: 6 FT.
 SURFACE AREA/DRAINAGE AREA RATIO (SA/DA): 1.56
 REQUIRED SURFACE AREA: $SA = (1.56/100) \times (5.104 \text{ AC}) \times (43,560 \text{ SF/AC}) = 3,468 \text{ SF}$
 PROVIDED SURFACE AREA: $SA = 3,870 \text{ SF}$

SURFACE AREA PROVIDED > SURFACE AREA REQUIRED
 $3,870 \text{ SF} > 3,468 \text{ SF}$

REQUIRED VOLUME TO CONTROL THE 1" STORM

RUNOFF COEFFICIENT (RV): STORM RUNOFF (IN) / STORM RAINFALL (IN)
 $RV = 0.05 + .009 \cdot (I) = 0.05 + .009 \cdot (66.8) = 0.651 \text{ IN/IN}$

REQ. VOL. FROM 1" OF RUNOFF = (DESIGN RAINFALL) * (RV) * (DRAINAGE AREA)
 $= (1" \times 0.651 \text{ IN/IN}) \times (5.104 \text{ AC}) \times (43,560 \text{ SF/AC}) \times (1 \text{ FT}/12 \text{ IN}) = 12,067 \text{ CF}$

* VOLUME FROM 1-INCH PROVIDED BETWEEN ELEVATIONS 258.5 AND 260.3

PROVIDED VOLUME FROM 1" OF RUNOFF = 12,328 CF

VOLUME PROVIDED > VOLUME REQUIRED
 $12,328 \text{ CF} > 12,067 \text{ CF}$

CITY OF RALEIGH SCM REQUIREMENTS

REQUIREMENT: THE POST-DEVELOPMENT PEAK RUNOFF RATE SHALL BE LIMITED TO THE PRE-DEVELOPMENT PEAK RUNOFF RATE FOR THE 1-YEAR, 24-HOUR AND THE 10-YEAR, 24-HOUR STORMS. BASINS SHALL STORE RUNOFF FROM A ONE- (1) INCH RAINFALL FROM THE SITE ABOVE THE PERMANENT POOL. THE DISCHARGE RATE FROM THE SCM SYSTEM FOLLOWING THE ONE- (1) INCH RAINFALL DESIGN STORM SHALL BE SUCH THAT THE RUNOFF DOES NOT DRAW DOWN TO THE PERMANENT POOL LEVEL IN LESS THAN TWO (2) DAYS AND THAT THE POND IS DRAWN DOWN TO THE PERMANENT POOL LEVEL WITHIN AT LEAST FIVE (5) DAYS.

PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
 FOR
DEWITT CAROLINAS
SCM PLAN - WET POND

Issue Dates:
 05/15/2024, SUBDIVISION SUBMITAL #1

Date: 05/15/2024
 Scale: 1" = 20'

Drawn By: JLB
 Checked By: JDW

Project Number:
18-0004-742

Drawing Number:
C.5.0

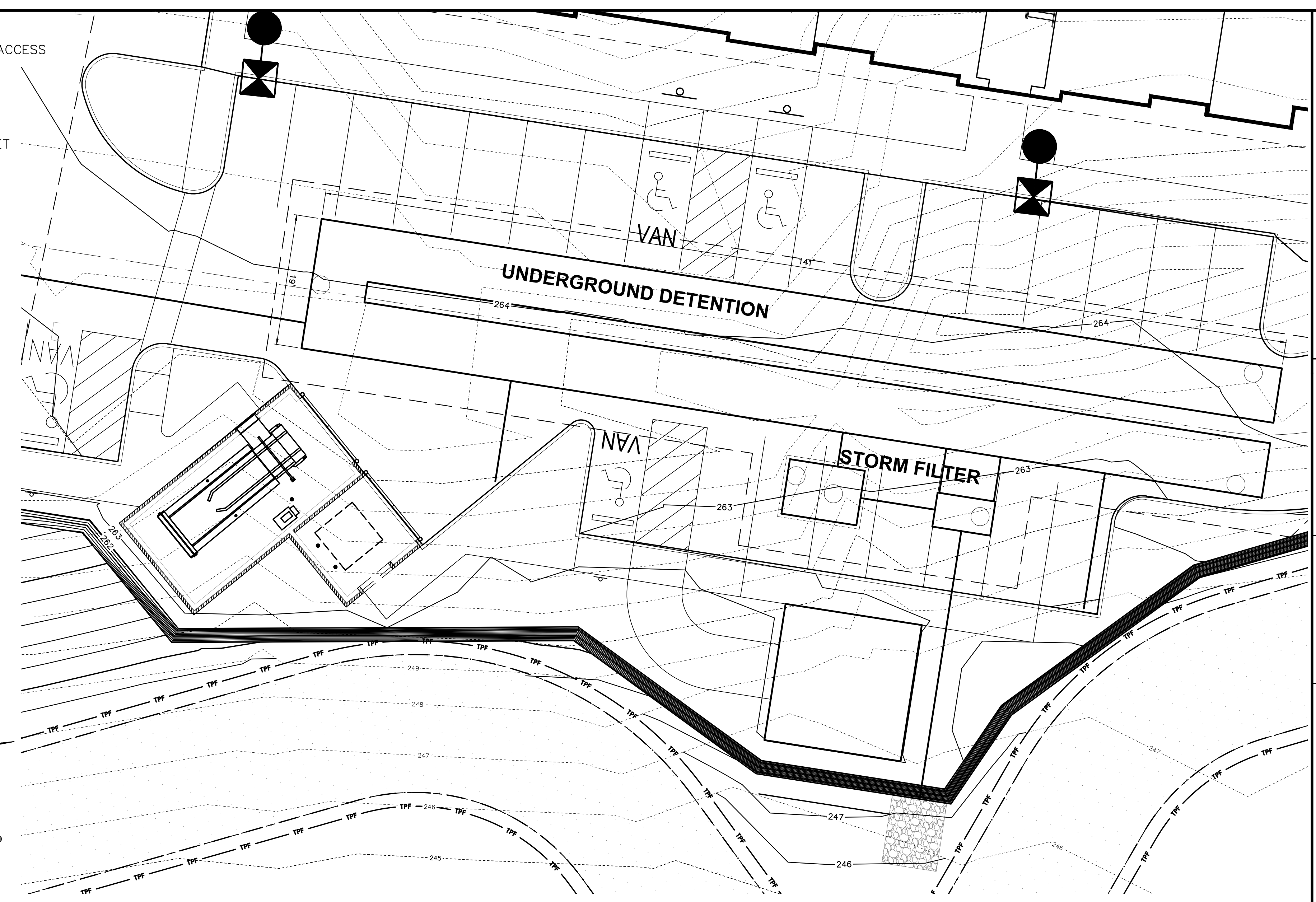
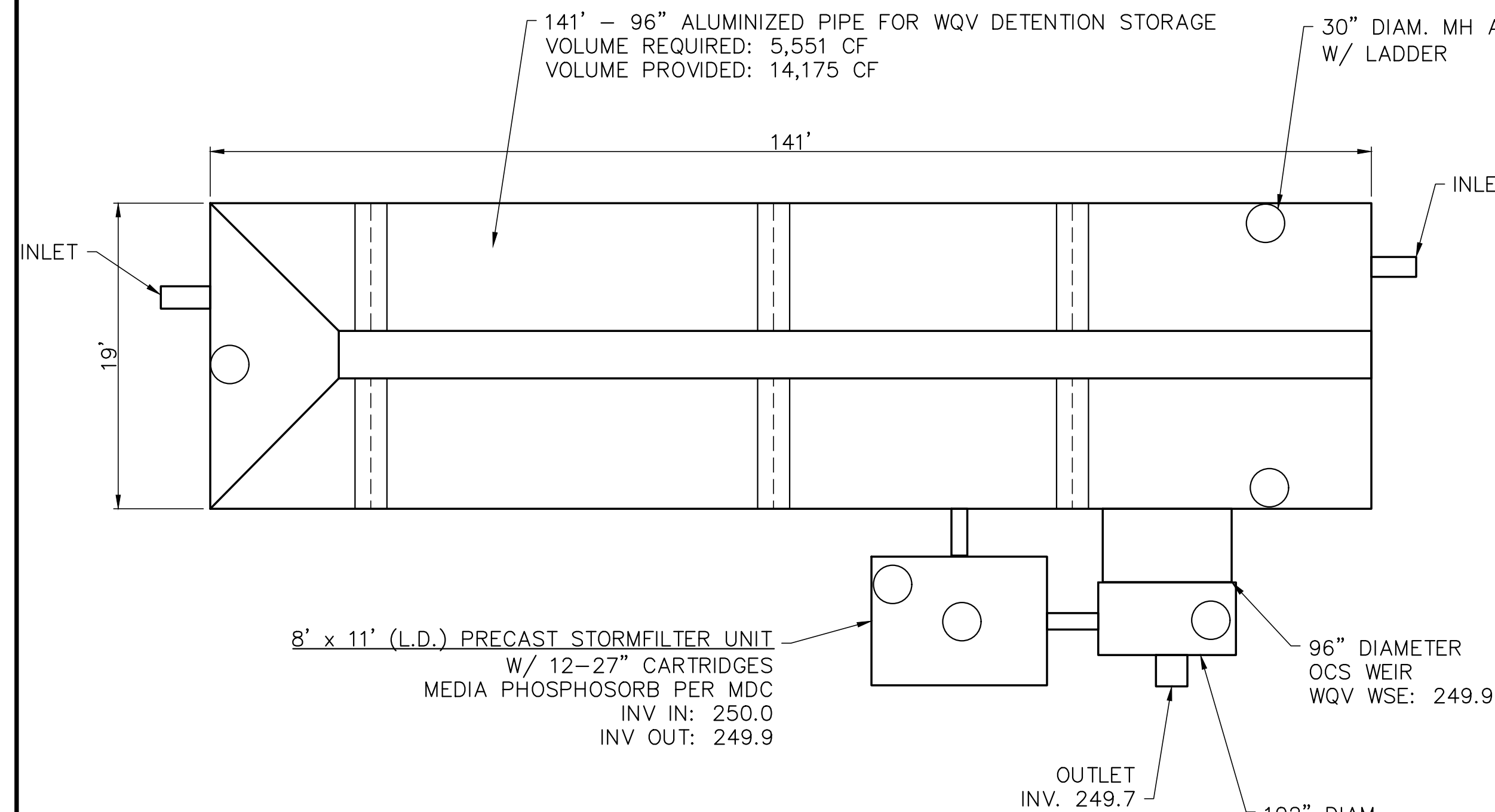
PLAN PREPARED BY:
 FIRM # C-2798

51 Kilmoyne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.336.5127

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:
Carolinass
dewitt

C:\18-0004-742NC\DWG\Production Drawings\DEVELOPMENT PLAN\SUB-Wet Pond Plan.dwg SCM PLAN - UNDERGROUND May 15, 2024 - 6:15:40pm Shulcheson



PROJECT SUMMARY:

CALCULATION DETAILS

LOADING= HS20/HS25
APPROX. LINEAR FOOTAGE = 141 LF

STORAGE SUMMARY

STORAGE VOLUME REQUIRED = 5,551 CF
PIPE STORAGE VOLUME = 14,175 CF
BACKFILL STORAGE VOLUME = 0 CF
TOTAL STORAGE PROVIDED = 14,175 CF

PIPE DETAILS

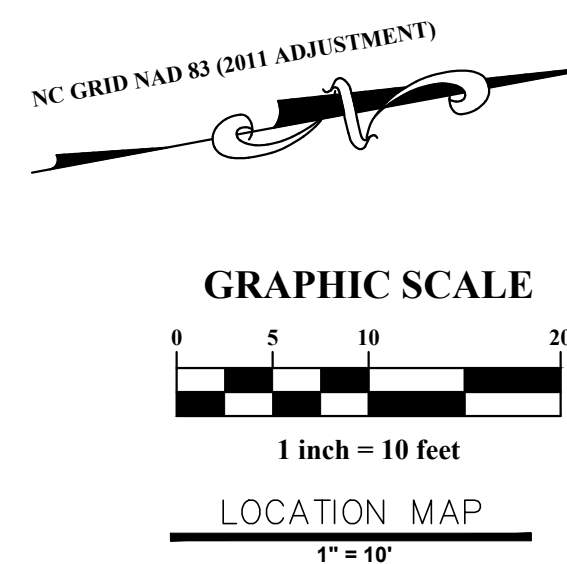
DIAMETER = 96"
CORRUIGATION = 5x1
GAGE = 14
COATING = ALT2
WALL TYPE = SOLID
BARREL SPACING = 36"

BACKFILL DETAILS

WIDTH AT ENDS = 12"
ABOVE PIPE = 0"
WIDTH AT SIDES = 12"
BELOW PIPE = 0"

NOTES:

1. ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
2. ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
3. ALL RISERS AND STUBS ARE 2-2/3" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
4. RISERS TO BE FIELD TRIMMED TO GRADE.
5. QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
6. BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
7. THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN. QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
8. THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.



STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD VAULT STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (20). VAULT STYLE OPTIONS INCLUDE INLET BAY (1), INLET BAY/OUTLET BAY (12), OUTLET BAY (2), FULL HEIGHT BAFFLE WALL (17), STORMFILTER BX11 PEAK HYDRAULIC CAPACITY IS 1.8 CFS. IF THE SITE CONDITIONS EXCEED 1.8 CFS AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	LOW DROP
CARTRIDGE HEIGHT	3.00'	2.3'	1.8'
RECOMMENDED HYDRAULIC DROP (ft)	3.00'	2.3'	1.8'
SPECIFIC FLOW RATE (gpm/sf)	2 gpm/sf	1.67 gpm/sf	1 gpm/sf
CARTRIDGE FLOW RATE (gpm)	22.5	18.75	11.25
	15	12.5	7.5
	10	6.25	5

* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY

FRAME AND COVER (DIAMETER VARIES) N.T.S.

SECTION A-A

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
4. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET ASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0', 5' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET ASHTO M30 AND BE CAST WITH THE CONTECH LOGO.
6. FILTER CARTRIDGES SHALL BE MEDIA FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7 INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
7. SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).
8. STORMFILTER STRUCTURE SHALL BE PRECAST CONFORMING TO ASTM C-857 AND ASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL VAULT SECTIONS AND ASSEMBLY VAULT.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

CONTECH ENGINEERED SOLUTIONS LLC

www.contechES.com
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45390
800-338-1122 513-645-7000 513-645-7893 FAX

SF0811 STORMFILTER STANDARD DETAIL

PLAN PREPARED BY:
FIRM # C-2798

PLAN PREPARED FOR:

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS

SCM PLAN - UNDERGROUND DETENTION

51 Kilmoyne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.336.5127

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

Issue Date: 05/15/2024, SUBDIVISION SUBMITTAL #1

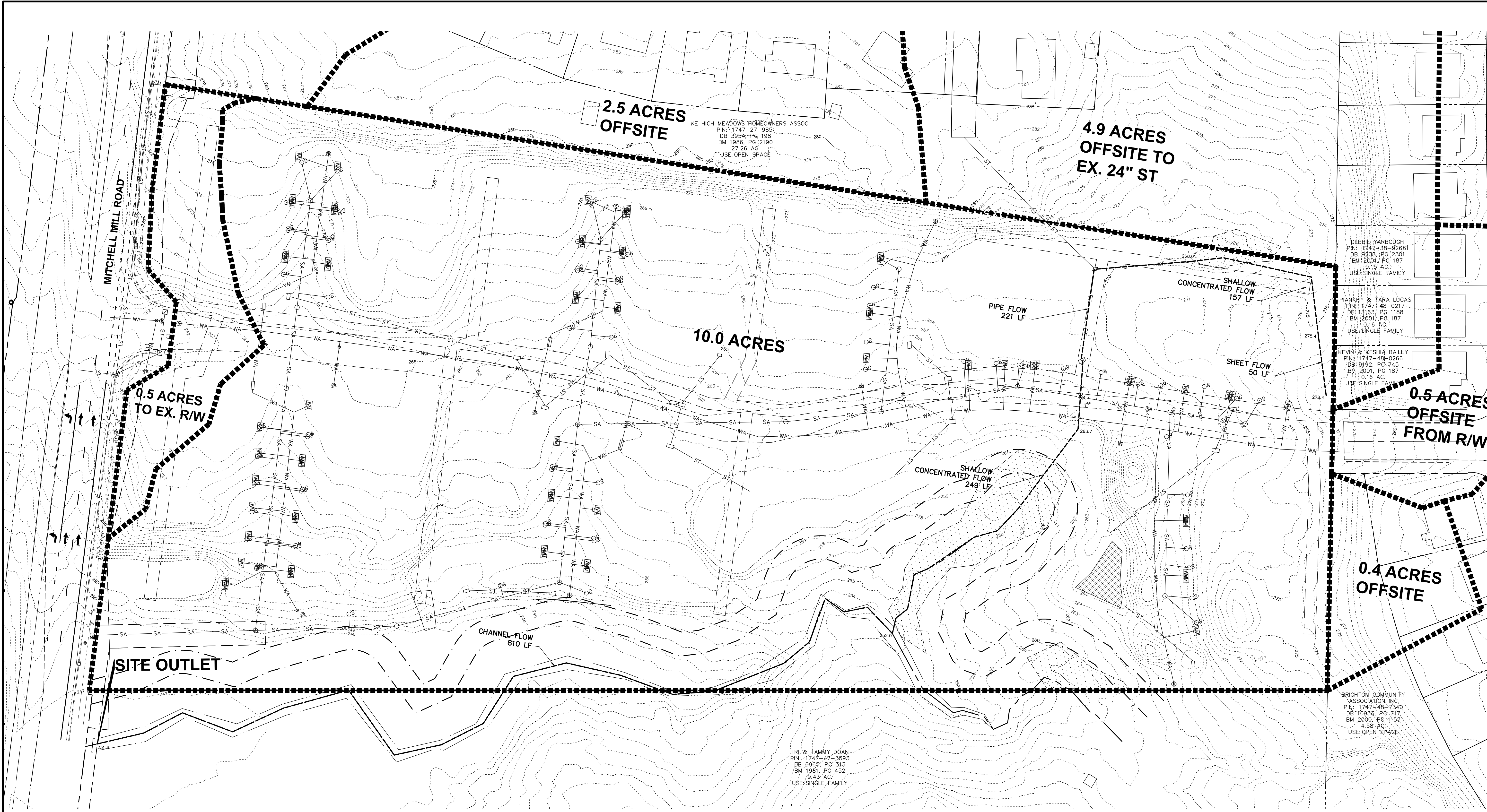
Date: 05/15/2024
Scale: AS NOTED

Drawn By: JLB
Checked By: JDW

Project Number:
18-0004-742

Drawing Number:
C.5.1

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LEGEND

- Iron Pipe Found
- Iron Pin Set
- ▲ Railroad Spike
- ⊕ Light Pole
- Ⓜ Mailbox
- ⊕ Traverse Point
- ⊕ PK Set
- Ⓜ CATV Pedestal
- ⊕ Sign
- ⊕ Gas Valve
- ⊕ Pole Elec
- ⊕ Pole Elec Tele
- Fence Line
- Edge of Pavement
- Underground Water Line
- OHE Overhead Electric Line
- ST --- ST Storm Sewer Line
- SA --- SA Sanitary Sewer Line
- Property Line
- Ex. Property Line
- Ex. Right-of-Way
- Ex. Easement Line
- Setback
- Ex. Major Contour(s)
- Ex. Minor Contour(s)
- Underground Gas
- Underground Fiber Optic
- Underground Electric
- OHE Overhead Electric
- Existing Tributary Area

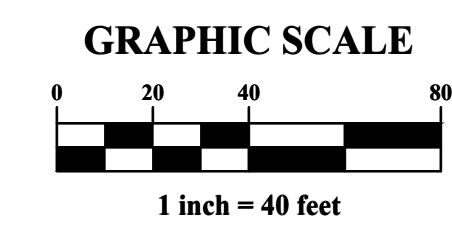
Existing Site Data Table

Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

PRE-DEVELOPED FLOW

Rational Method	Pre-Development Peak Runoff Rate (cfs)
Outlet 1	
2- year:	14.25
10- year:	39.96
25- year:	53.15
100- year:	78.04

TC = 11.9 MIN, CN = 74



PLAN PREPARED BY:
FIRM # C-2798

PLAN PREPARED FOR:

51 Kilmoyne Drive
Suite 102
Cory, North Carolina 27511
ph 919.461.6290
for 919.336.5127

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS

PRE DEVELOPED STORMWATER PLAN

Issue Date: 05/15/2024
SUBDIVISION SUBMITTAL #

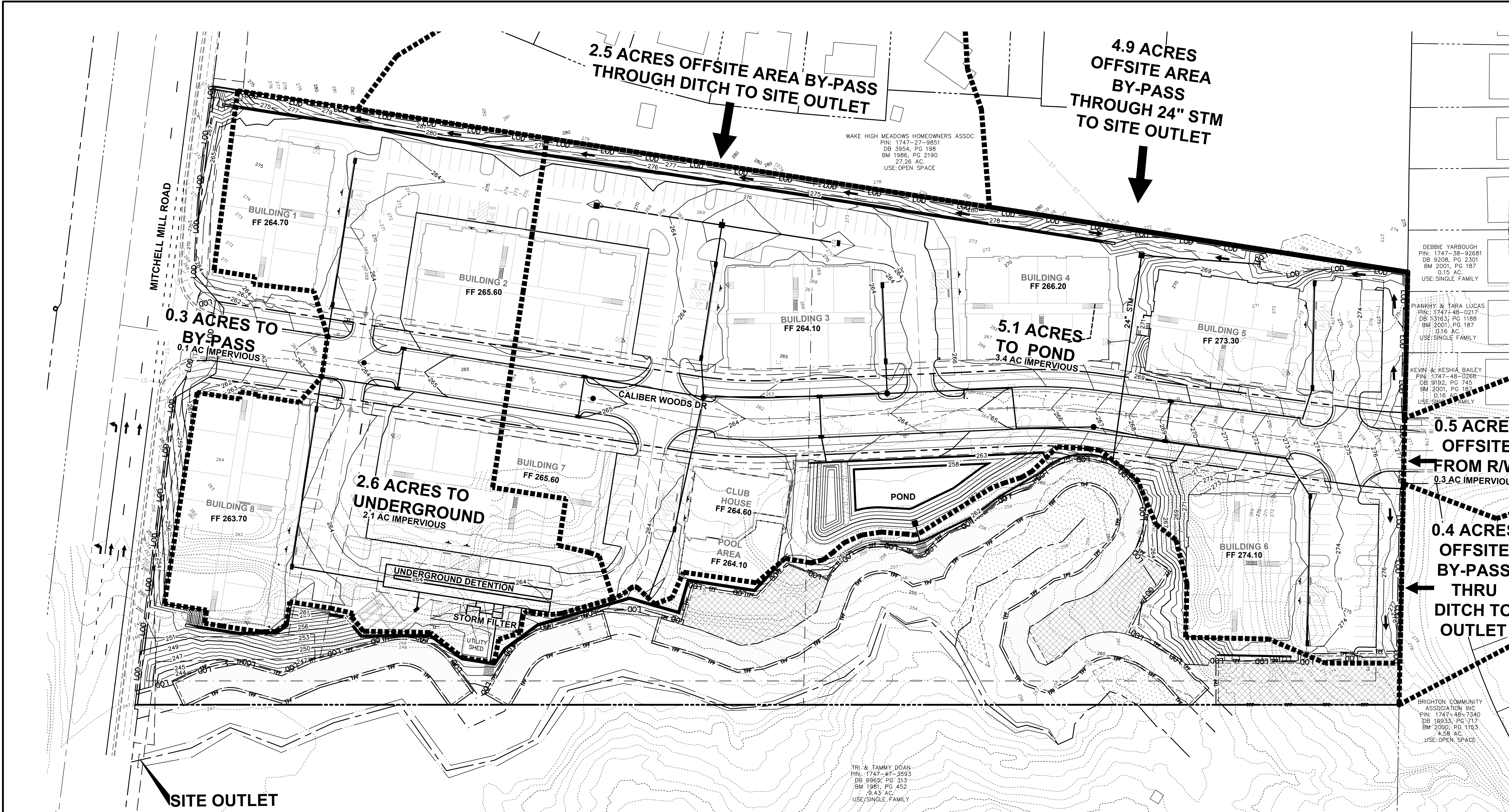
Date: 05/15/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number:
18-0004-742

Drawing Number:
C.6.0

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STANDARD GRADING NOTES (AS APPLICABLE)

1. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
2. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
3. PROPOSED GRADES BY SEPARATE PLAN CONTOURS SHOWN AT 1 FOOT INTERVALS.
4. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED "STORM SEWER".
8. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TC XXX.XX.
14. IN CASE ON AN EMERGENCY OR MAINTENANCE RELATED ISSUES WITH THE POND, THE HAND WHEEL AND PLUG VALVE IS TO BE USED TO DRAW DOWN THE POND AS MUCH AS POSSIBLE. IF POND IS TO BE DRAWN DOWN COMPLETELY, OWNER IS TO COORDINATE WITH CONTRACTOR TO BRING IN PUMP TO PUMP OUT REMAINING WATER.
15. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
16. LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
17. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
18. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
19. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
20. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

LEGEND

- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- LIMITS OF DISTURBANCE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED TRIBUTARY AREA
- EXISTING TRIBUTARY AREA
- SURFACE FLOW ARROW
- EXISTING GROUND ELEVATION
- EXISTING TOP CASTING
- PROPOSED GROUND ELEVATION
- PROPOSED TOP OF CURB
- PROPOSED TOP CASTING
- PROPOSED IMPERVIOUS AREA

NC GRID NAD 83 (2011 ADJUSTMENT)

GRAPHIC SCALE
1 inch = 40 feet

Rational Method	Pre-Development Peak Runoff Rate (cfs)	
	Outlet 1	Outlet 2
2- year:	14.25	
10- year:	39.96	
25- year:	53.15	
100-year:	78.04	
TC = 11.9 MIN, CN = 74		

Rational Method	Basin Post-Dev Peak Runoff Rate (cfs)		Total Post-Dev Peak Runoff Rate (cfs)	
	Outlet 1	Outlet 2	Outlet 1	Outlet 2
2- year:	5.80		13.43	
10- year:	22.15		39.64	
25- year:	25.00		50.98	
100-year:	33.31		63.93	
TC = 15.0 MIN				

PLAN PREPARED BY: FIRM # C-2798
 PLAN PREPARED FOR:
 PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
 MITCHELL MILL SUBDIVISION
 FOR
 DEWITT CAROLINAS
 POST DEVELOPED STORMWATER PLAN

DEBBIE YARBOUGH
 PIN: 1747-38-92681
 DB 9208, PG 2301
 BM 2001, PG 187
 0.15 AC.
 USE: SINGLE FAMILY

PIANKHY & TARA LUCAS
 PIN: 1747-48-0217
 DB 3183, PG 1188
 BM 2001, PG 187
 0.16 AC.
 USE: SINGLE FAMILY

KEVIN & KESHIA BAILEY
 PIN: 1747-48-0268
 DB 9192, PG 745
 BM 2001, PG 187
 0.16 AC.
 USE: SINGLE FAMILY

BRIGHTON COMMUNITY ASSOCIATION INC
 PIN: 1747-48-7340
 DB 18933, PG 717
 BM 2000, PG 1153
 4.58 AC.
 USE: OPEN SPACE

WAKE HIGH MEADOWS HOMEOWNERS ASSOC
 PIN: 1747-27-9851
 DB 3954, PG 198
 BM 1986, PG 2190
 27.26 AC.
 USE: OPEN SPACE

TRI & TAMMY DOAN
 PIN: 1747-47-3893
 DB 6065, PG 313
 BM 1961, PG 452
 9.43 AC.
 USE: SINGLE FAMILY

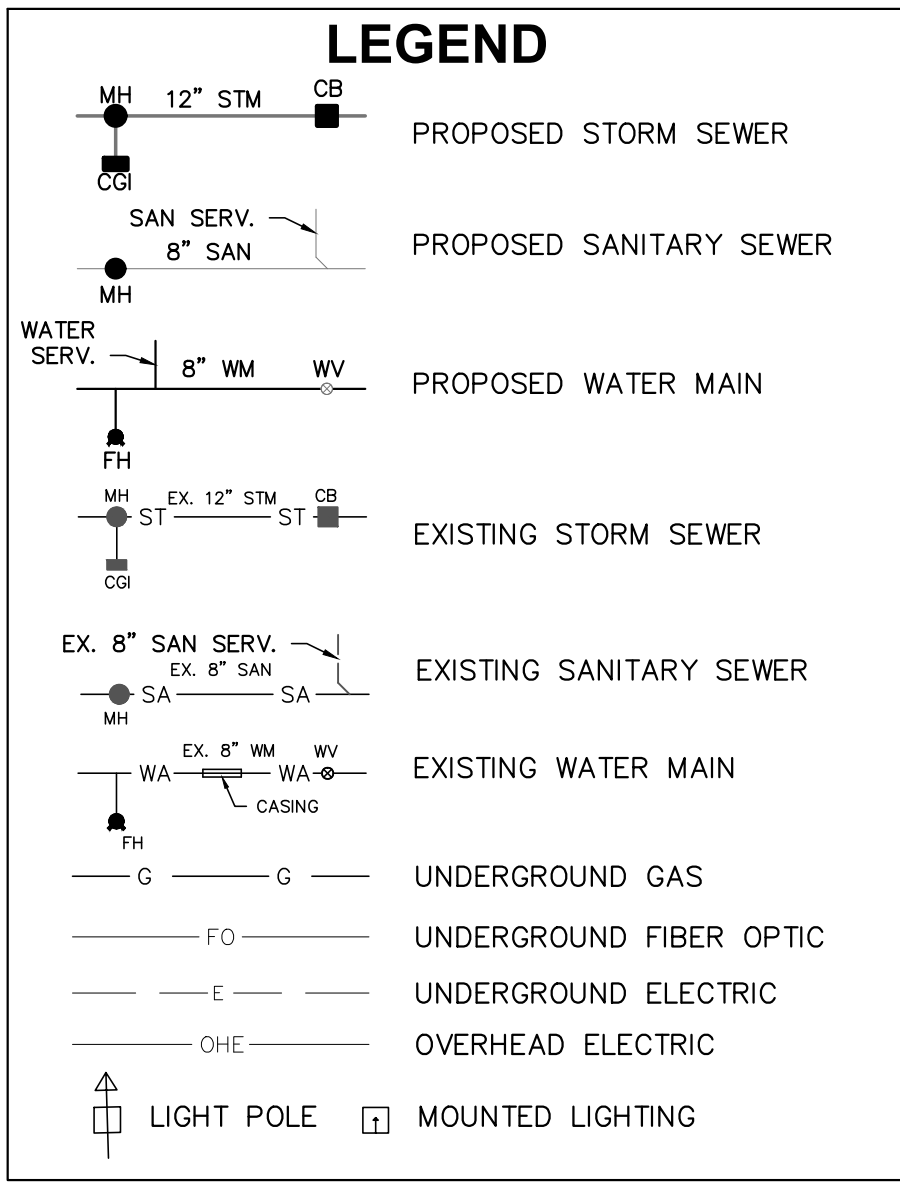
DEWITT
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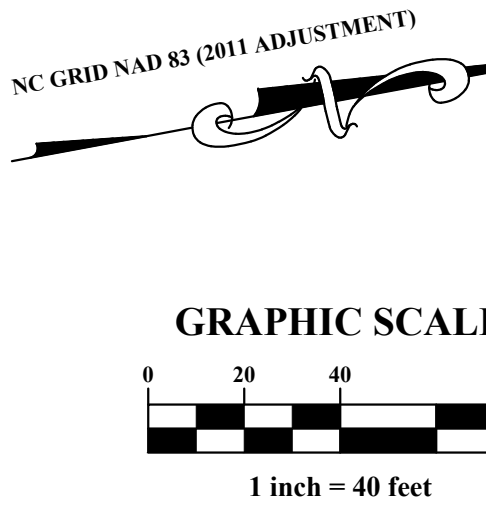
STANDARD UTILITY NOTES (AS APPLICABLE):

- 1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- 2. Utility separation requirements:
 - a. A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - b. When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - c. Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications
 - d. 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - e. Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - f. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
- 3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- 4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property
- 5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- 6. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
- 7. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure
- 8. Install 1.5" - 2" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
- 9. Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- 10. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- 11. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
- 12. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- 13. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephen.calverley@raleighnc.gov for more information
- 14. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained for each device prior to issuance of a Building Permit. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information



CODED NOTE
A CITY OF RALEIGH PUBLIC WATERLINE EASEMENT

NOTES:
1. REMAINING WATER AND SANITARY SEWER MAINS THAT HAVE NOT BEEN ABANDONED, MUST BE TESTED TO ENSURE THEY MEET RALEIGH PUBLIC WATER MAIN STANDARDS.



PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS
UTILITY PLAN

Issue Dates: 05/15/2024, SUBDIVISION SUBMITAL #1
Date: 05/15/2024
Scale: 1" = 40'
Drawn By: JLB
Checked By: JWB
Project Number: 18-0004-742
Drawing Number: C.7.0



PLAN PREPARED BY:
FIRM # C-2798
ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

DEBBIE YARBROUGH
PIN: 1747-38-92681
DB 9208, PG 2301
BM 2001, PG 187
0.15 AC.
USE: SINGLE FAMILY

PIANKHY & TARA LUCAS
PIN: 1747-48-0217
DB 13163, PG 1188
BM 2001, PG 187
0.16 AC.
USE: SINGLE FAMILY

KEVIN & KESHIA BAILEY
PIN: 1747-48-0266
DB 9192, PG 745
BM 2001, PG 187
0.16 AC.
USE: SINGLE FAMILY

BRIGHTON COMMUNITY ASSOCIATION INC
PIN: 1747-48-7340
DB 10933, PG 717
BM 2000, PG 1153
4.58 AC.
USE: OPEN SPACE

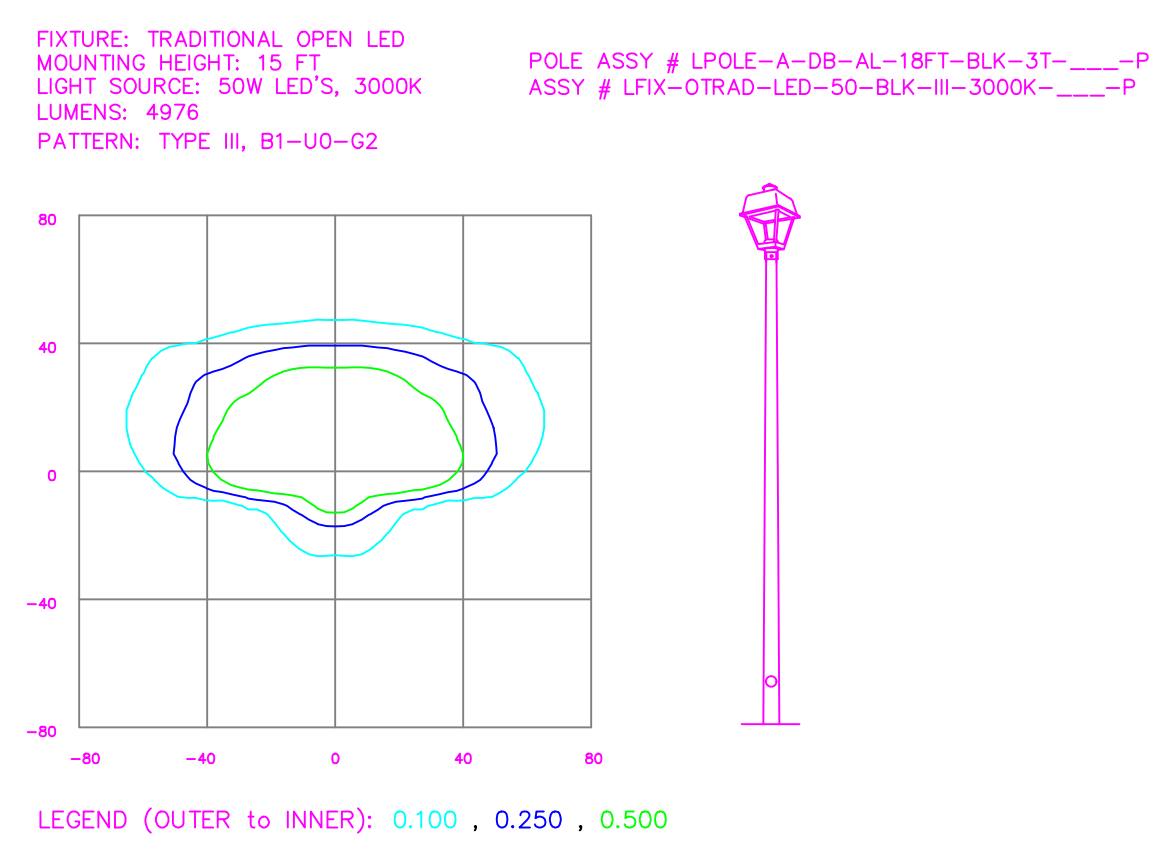
WAKE HIGH MEADOWS HOMEOWNERS ASSOC
PIN: 1747-27-9851
DB 3954, PG 198
BM 1986, PG 2190
27.26 AC.
USE: OPEN SPACE

TRI & TAMMY DOAN
PIN: 1747-47-3593
DB 6965, PG 313
BM 1981, PG 452
9.43 AC.
USE: SINGLE FAMILY

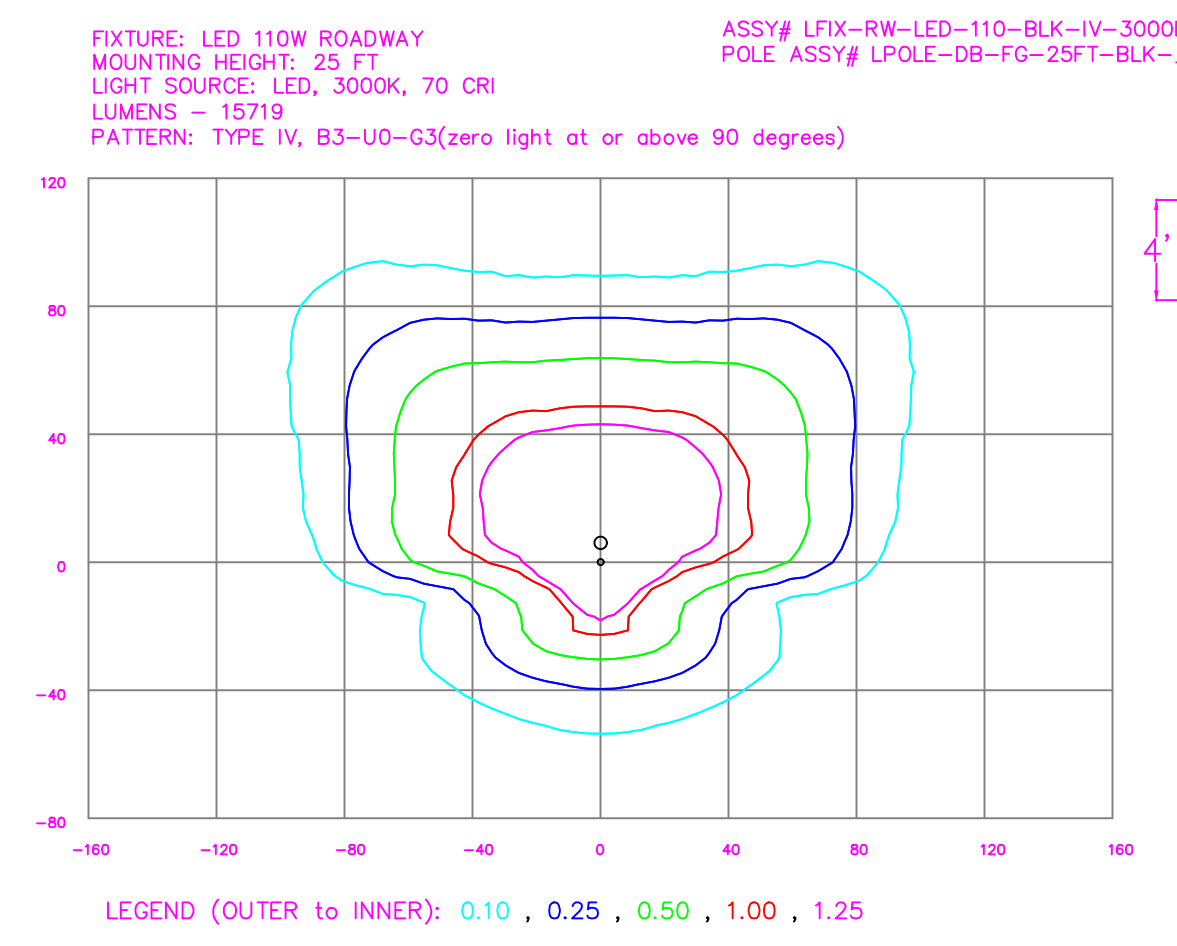
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Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.1 fc	2.8 fc	0.3 fc	9.3:1	3.7:1
Street	✕	0.7 fc	2.3 fc	0.1 fc	23.0:1	7.0:1

Schedule						
Symbol	Label	QTY	Description	Number Lamps	Lamp Output	LLF
✕	A	12	LED 110w Roadway – Type IV – 3000K	1	15719	0.85
✕	B	7	LED 50w Open Traditional – Type III – 3000K	24	207	0.85

ISOFOOTCANDLE CURVES



ISOFOOTCANDLE CURVES



Roadway LED

Light source: LED (white)
Wattage: 110 | 150 | 200 | 280 watts
Light pattern: IESNA Type IV | Type IV (forward throw)
IESNA cutoff classification: ICUL02
BUD rating:
Type IV = B1U0G3 (110W), B3U0G3 (150W), B3U0G4 (200W/280W)
Type IV = B1U0G3 (110W), B3U0G3 (150W), B3U0G4 (200W/280W)
Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Flagless	25', 30', 35'	Onq, Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)	25', 30', 35'	Galvanized

FEATURES

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

BENEFITS

- Provides hassle-free installation and service
- Free up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates sign and associated noise bills
- Convenience and savings for you

Open Traditional LED

Light source: LED (white)
Wattage: 50 watts
Lumens: 5,261
Light pattern: IESNA Type III Type V
IESNA cutoff classification: Full-cutoff
BUD rating: Type III = B1U0G2, Type V = B2U0G2
Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12', 15', 17'	Black
Flagless	14'	Black
Fluted concrete	13'	Black
Decorative aluminum	12', 16'	Black

FEATURES

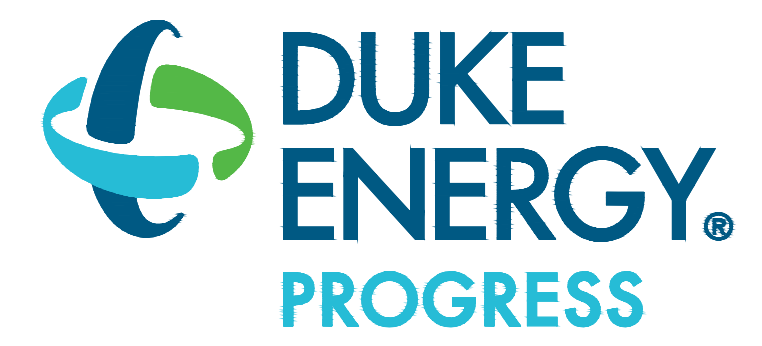
- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

BENEFITS

- Provides hassle-free installation and service
- Free up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates sign and associated repair bills
- Convenience and savings for you



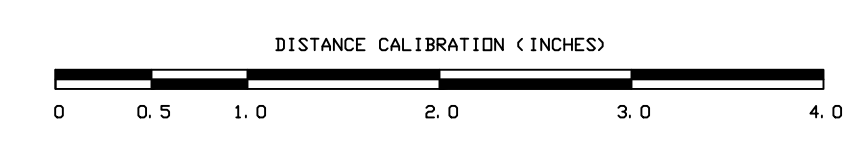
LIGHTING DESIGN TOLERANCE
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



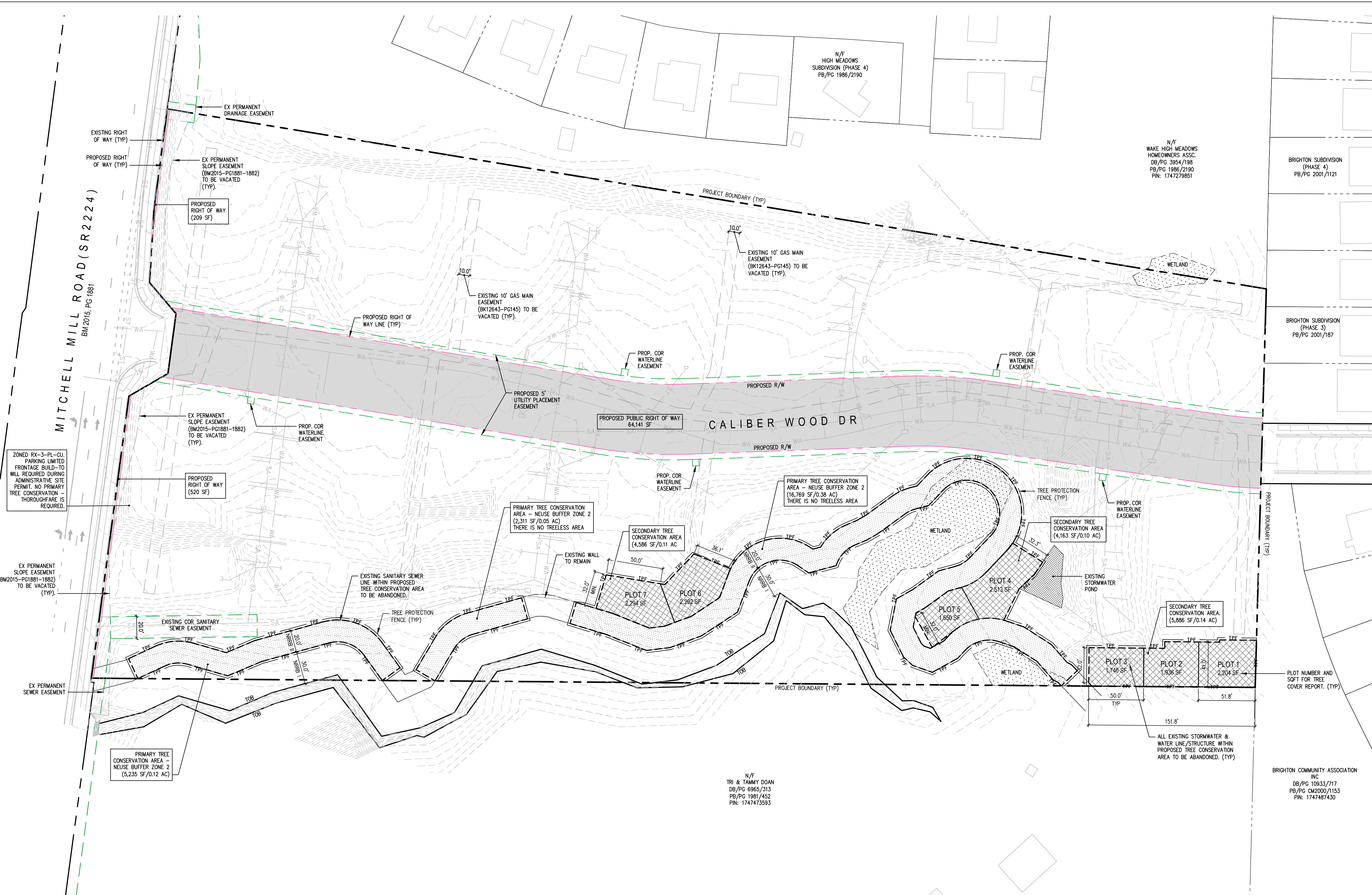
PROPRIETARY & CONFIDENTIAL
This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

MITCHELL MILL APARTMENTS	
Raleigh, NC	
SITE LIGHTING ARRANGEMENT	
Designed by DUKE ENERGY PROGRESS LIGHTING SOLUTIONS	
Reviewed by N. Johnson	Scale 1" = 40'
Date 05/15/2024	Size Drawing size "D"
Description Black LED Open Traditional & Roadway	
Drawing No. 24-0194A	Sht. 1 OF 1

NO.	DATE	REVISION	BY



5/15/2024 1:22 AM P:\3260\32023_Mitchell-Mill-Subdivision\DWG\32023-Mitchell-Sub-ASB.dwg



Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(include applicable information on the plan sheet)

Project Name: Mitchell Mill Apartments

Gross Site Acres: 10.46 ac
Right-of-way to be dedicated with this project: 1.49 ac
Net Site Acres: 8.97 ac

	Number of Acres	Percent of Tract
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	0.00 ac	0.00 %
1. Primary Tree Conservation Area - SHOD 2	0.00 ac	0.00 %
2. Primary Tree Conservation Area - Parkway Frontage	0.00 ac	0.00 %
3. Primary Tree Conservation Area - CM	0.00 ac	0.00 %
4. Primary Tree Conservation Area - MPOD	0.00 ac	0.00 %
5. Primary Tree Conservation Area - Champion tree XX" dbh species	0.00 ac	0.00 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.55 ac	6.13 %
7. Primary Tree Conservation Area - 45% Slopes	0.00 ac	0.00 %
8. Primary Tree Conservation Area - Thoroughfare	0.00 ac	0.00 %
Subtotal of Primary Tree Conservation Areas:	0.55 ac	6.13 %
UDO 9.1.4.D.2 Tree Conservation Areas - Greenway	0.00 ac	0.00 %
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (include perimeter buffers and their alternate compliance areas)	0.35 ac	3.90 %
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (include individual trees and their alternate compliance areas)	0.00 ac	0.00 %
Subtotal of Secondary Tree Conservation Areas:	0.35 ac	3.90 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0.90 ac	10.03 %
UDO 9.1.9. Watershed Protection Overlay Districts		
UWPOD - Wooded area (preserved)	0.00 ac	0.00 %
UWPOD - Wooded Area (planted)	0.00 ac	0.00 %
FWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
FWPOD - Wooded Area (planted)	0.00 ac	0.00 %
SWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
SWPOD - Wooded Area (planted)	0.00 ac	0.00 %

TREE CONSERVATION PLAN LEGEND:

PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2

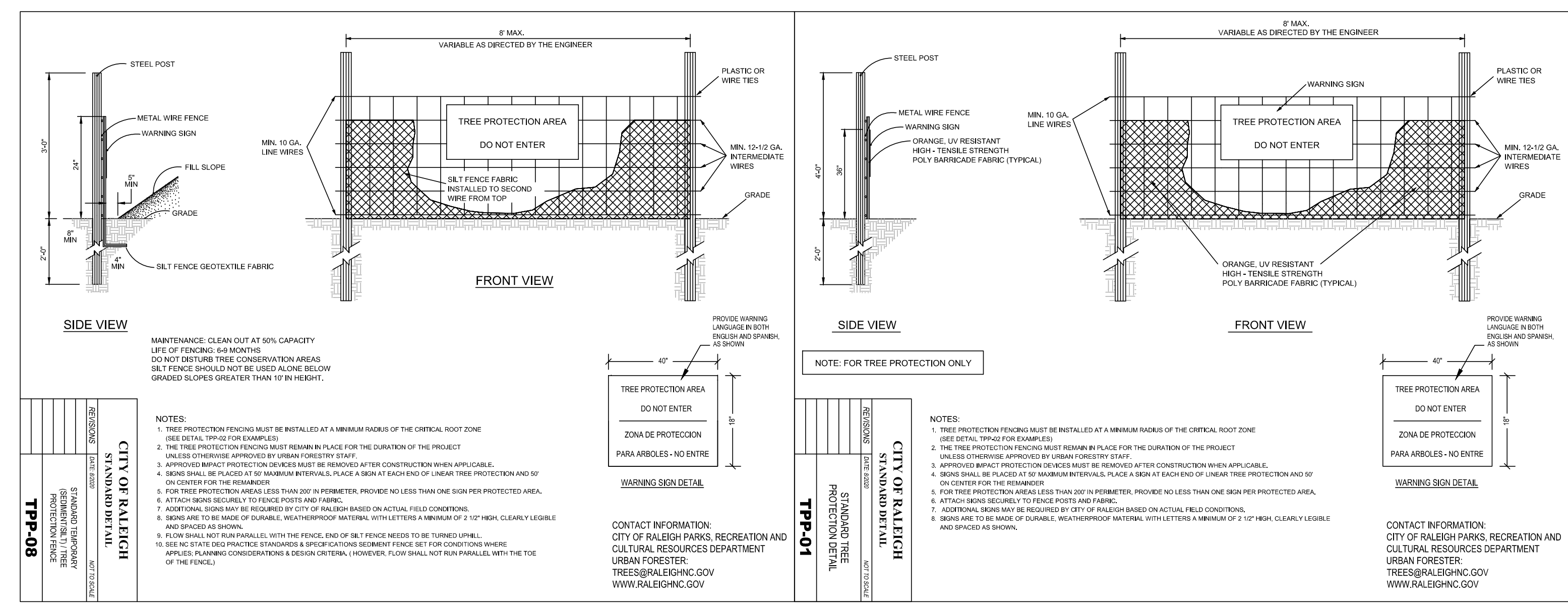
SECONDARY TREE CONSERVATION AREA

NEUSE BUFFER ZONE II NOTE:

1. THE NEUSE BUFFER ZONE II INNER BOUNDARY IS TWENTY (20) FEET PARALLEL TO OUTER BOUNDARY.

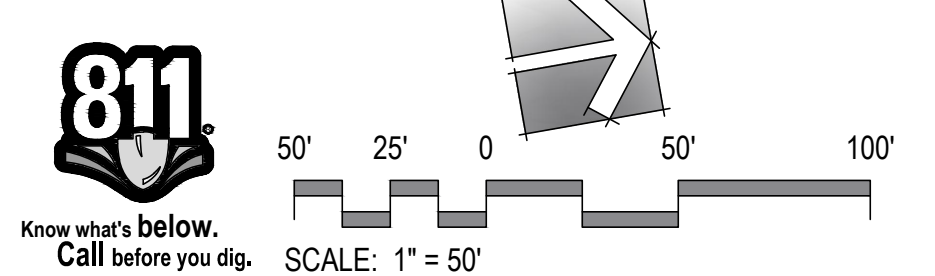
ALL EXISTING STORMWATER / SANITARY / WATER LINES AND THE STRUCTURES WITHIN PROPOSED TREE CONSERVATION AREAS TO BE ABANDONED.
PIPES TO BE CUT OUTSIDE OF TREE CONSERVATION AREA AND CAP TO BE PLACED FOR PIPE ABANDONMENT. GRATES HAVE BEEN ALREADY REMOVED AND STRUCTURE TOPS HAVE BEEN COVERED BY BOLTED DOWN PLAYWOOD AND SURROUNDED BY UNDERBUSH AND PARTIALLY COVERED BY FOREST LITTER. THE COVER TO BE REMOVED MANUALLY WITHOUT ANY HEAVY EQUIPMENT PRIOR TO TREE PROTECTION FENCE INSTALLATION.

REFER TO TREE COVER REPORT BY MICHAEL J. PERRY, NORTH CAROLINA REGISTERED FORESTER.



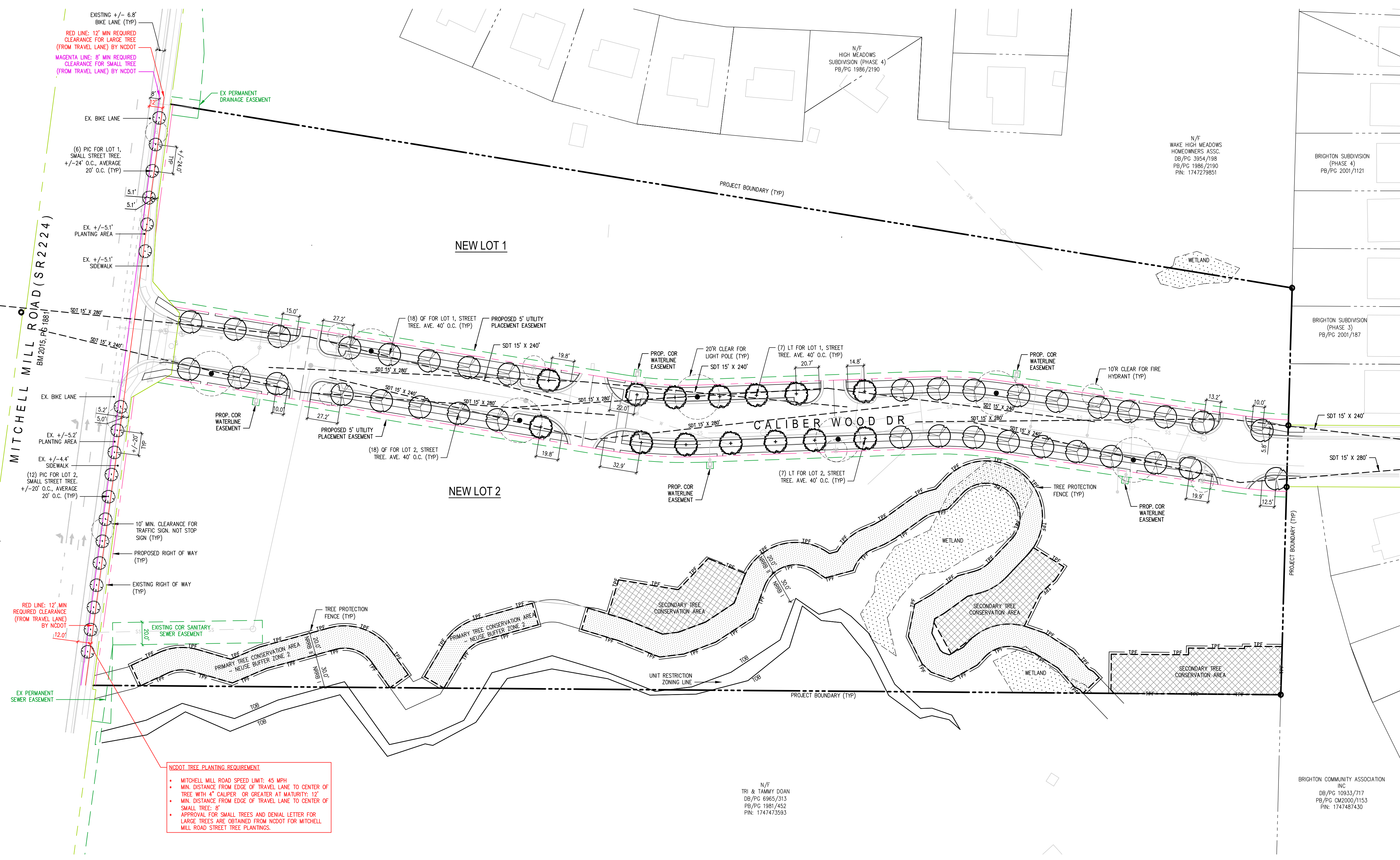
SUB-XXXX-2024
REFERENCE: REZN-82-2022;
SCOPE-102-203; ASR-0015-2024

TREE CONSERVATION PLAN



PRELIMINARY SUBDIVISION REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	DEWITT-23023	DATE:	
ISSUE:	Preliminary Subdivision	DATE:	05.15.2024
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	TREE CONSERVATION PLAN		



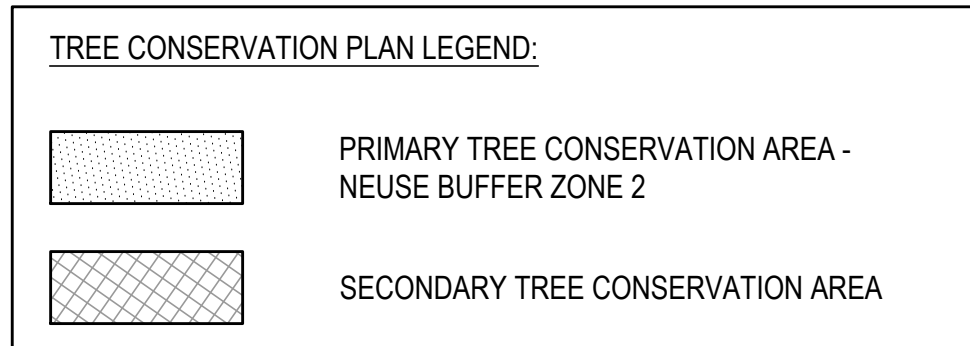
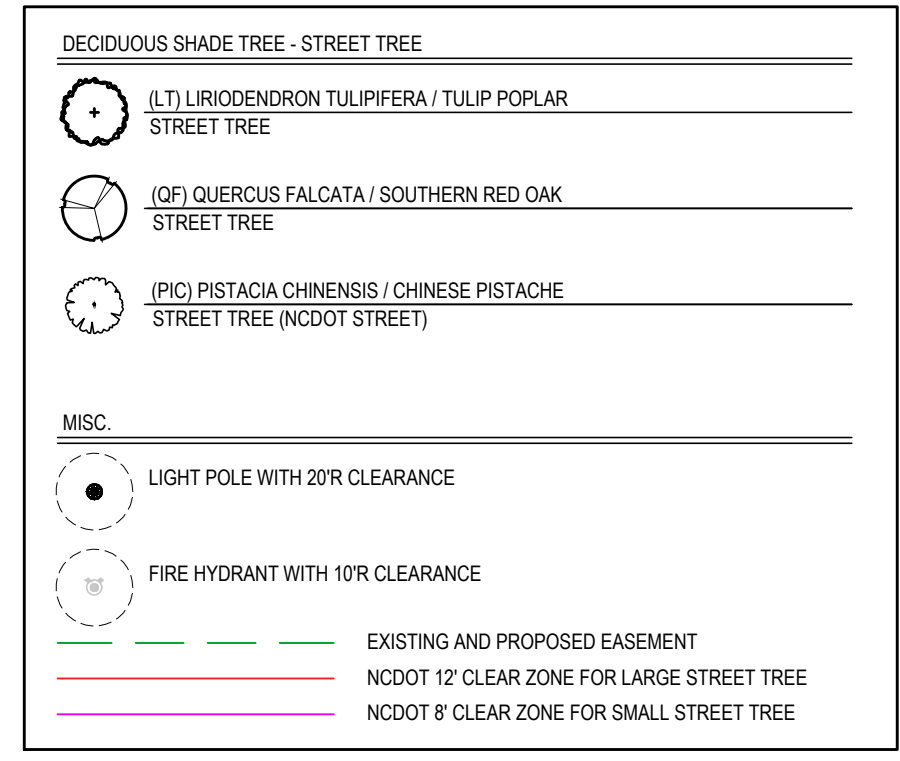
NCDOT TREE PLANTING REQUIREMENT

- MITCHELL MILL ROAD SPEED LIMIT: 45 MPH
- MIN. DISTANCE FROM EDGE OF TRAVEL LANE TO CENTER OF TREE WITH 4" CALIPER OR GREATER AT MATURITY: 12'
- MIN. DISTANCE FROM EDGE OF TRAVEL LANE TO CENTER OF SMALL TREE: 8'
- APPROVAL FOR SMALL TREES AND DENIAL LETTER FOR LARGE TREES ARE OBTAINED FROM NCDOT FOR MITCHELL MILL ROAD STREET TREE PLANTINGS.

City of Raleigh UDD Landscape & Screening Requirements
 Project: Mitchell Mill Subdivision
 Date: 05.15.2024 (Rev. xx.xx.2024)

Zoning	Existing Street / Avenue 4-Lane, Divided	Proposed Neighborhood Street
RX-3-PL-CU		
Proposed Lot 1		
Street Trees (Mitchell Mill Road / NCDOT SR 2224)		
Length of Right of Way	150'	150'
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average) (round down)	150 / 40 = 3	EA
Small Trees Provided (1.5" cal. 6' ht. @ 20' o.c. average)		6 EA
Street Trees (Caliber Woods Drive)		
Length of Right of Way	1,004'	1,004'
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average) (round down)	1,004 / 40 = 25	EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)		25 EA
Proposed Lot 2		
Street Trees (Mitchell Mill Road / NCDOT SR 2224)		
Length of Right of Way	261'	261'
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average) (round down)	261 / 40 = 6	EA
Small Trees Provided (1.5" cal. 6' ht. @ 20' o.c. average)		12 EA
Street Trees (Caliber Woods Drive)		
Length of Right of Way	1,010'	1,010'
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average) (round down)	1,010 / 40 = 25	EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)		25 EA

- LANDSCAPE NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
 - THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
 - ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
 - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
 - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
 - ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
 - ALL LAWN AREAS TO BE SEEDED OR SAND SOODED AS PER MANUFACTURER'S SPECIFICATIONS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
 - ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
 - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TTP-03 AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
 - MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
 - TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
 - TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
 - TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
 - CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
 - A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
 - THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).



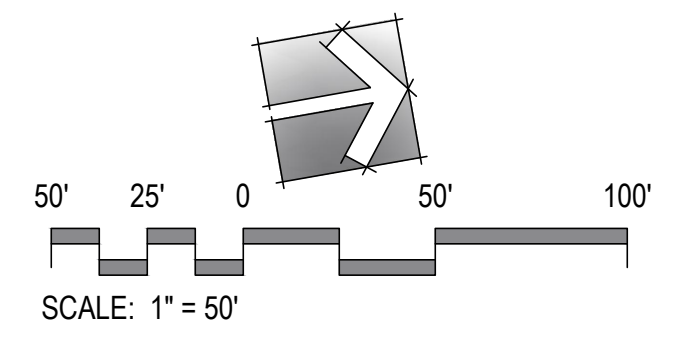
SEE L9.10 FOR CITY OF RALEIGH LANDSCAPE DETAILS AND NOTES

PLANT LIST (For L4.00 Sheet Plant Only)

Lot 1		TREES						
QTY	SYM	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALL CALIPER	MINIMUM INSTALL HEIGHT	MATURE SIZE HEIGHT	MATURE SIZE SPREAD	REMARKS
7	LT	Liriodendron tulipifera	Tulip Poplar	3" MIN	10' MIN	40'	70'-90'	Street Tree/Deciduous Shade Tree
6	PIC	Pistacia chinensis	Chinese Pistache	1.5" MIN	6' MIN	30'-35'	20'-25'	Street Tree/Deciduous Small Tree
18	QF	Quercus falcata	Southern Red Oak	3" MIN	10' MIN	75'	65'	Street Tree/Deciduous Shade Tree
Lot 2		TREES						
QTY	SYM	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALL CALIPER	MINIMUM INSTALL HEIGHT	MATURE SIZE HEIGHT	MATURE SIZE SPREAD	REMARKS
7	LT	Liriodendron tulipifera	Tulip Poplar	3" MIN	10' MIN	40'	70'-90'	Street Tree/Deciduous Shade Tree
6	PIC	Pistacia chinensis	Chinese Pistache	1.5" MIN	6' MIN	30'-35'	20'-25'	Street Tree/Deciduous Small Tree
18	QF	Quercus falcata	Southern Red Oak	3" MIN	10' MIN	75'	65'	Street Tree/Deciduous Shade Tree

SUB-XXXX-2024
 REFERENCE: REZN-82-2022;
 SCOPE-102-203; ASR-0015-2024

CODE COMPLIANCE LANDSCAPE PLAN



PRELIMINARY SUBDIVISION REVIEW ONLY. NOT FOR CONSTRUCTION.

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