

Administrative Approval Action

Case File / Name: SUB-0027-2024
DSLCL - Mitchell Mill Apartments

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 10.41-acre site is located northeast of I-540 East, south of Forestville Road Crossing Shopping Center, east of Louisburg Road, and west of Forestville Road. It is adjacent to the Brighton Subdivision and specifically identified as 3805 Mitchell Mill Road. The property is zoned RX-3-PL-CU. It is inside the city limits.

REQUEST: The plan proposes a two-lot subdivision with public street right-of-way associated with proposed multi-unit living. New Lot 1 is 3.625 acres and New Lot 2 is 5.348 acres with remaining acreage for the extension of Caliber Woods Drive. The associated site plan, ASR-0015-2024, includes eight apartment buildings, a clubhouse with amenity areas, and associated site improvements including on-street and surface parking, stormwater management and tree conservation areas. A blue line stream (Neuse River) and a 50-foot buffer is located on and along the eastern property line, part of New Lot 2.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 6, 2024 by Advanced Civil Design.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

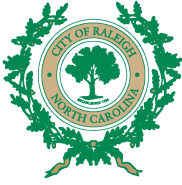
The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Stormwater

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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5. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A fee-in-lieu for sidewalk/MUP shortage along property frontage of Mitchell Mill Rd is paid to the City of Raleigh (UDO 8.1.10).
2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

5. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

6. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
8. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

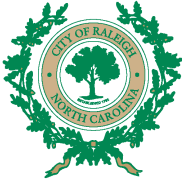
Urban Forestry

9. A public infrastructure surety for 20 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion, and a public infrastructure surety for 50 street trees shall be provided in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.90 acres of tree conservation area.
11. Vacate the part of the existing 10' Gas Easement (BK 012643 PG 00145 – 00148) that is within one of the designated Secondary Tree Conservation Areas.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



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1. The proposed subdivision showing the two new lots with right-of-way shall be recorded and all conditions of subdivision approval shall be met.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
5. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit. (UDO 9.3).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

7. Tree impact permits must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 20 street trees along Mitchell Mill Road and 50 street trees along Caliber Woods Drive.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

PRELIMINARY SUBDIVISION PLAN MITCHELL MILL SUBDIVISION CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA 2024

SITE DATA TABLE

PROPERTY INFORMATION:	
PIN:	1747379686
ADDRESS:	3805 MITCHELL MILL RD.
TOTAL SITE AREA:	10.462/455,731 ACRES/SF
ZONING INFORMATION:	
EXISTING ZONING:	RX-3-PL-CU (RESIDENTIAL MIXED USE-3 STORIES-CONDITIONAL USE)
CUD CASE NUMBER:	Z-82-2022
DEVELOPMENT INFORMATION:	
FRONTAGE TYPE:	PARKING LIMITED
BUFFER TYPE:	ZONE A PROTECTIVE YARD - TYPE 1 ZONE A PROTECTIVE YARD - TYPE 2
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-UNIT LIVING
EXISTING BUILDING AREA:	N/A
PRIMARY STREET:	MITCHELL MILL ROAD
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720174700K
LOT STANDARDS FOR RX-3-PL-CU (PER UDO 3.2.4):	
MIN. LOT AREA:	7,500 SF
MAX. LOT AREA:	N/A
MIN. LOT WIDTH:	N/A
OUTDOOR AMENITY AREA:	10%

Existing Site Data Table	
Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

Proposed Site Data Table		
	Acres	Square Feet
New Lot 1 Area:	3.625	157,910
New Lot 2 Area:	5.348	232,941
New R/W Area:	1.489	64,880
Total Area:	10.462	455,731

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY GFL ENVIRONMENTAL.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- PLEASE SEE SHEET:
C.0.1 - FOR GFL WILL SERVE LETTER
C.3.0 - FOR DUMPSTER PAD SPECIFICATIONS
C.8.0 - FOR COLLECTION PATH EXHIBIT
TCP - FOR TRASH COMPACTOR ENCLOSURE DETAILS

ZONING CONDITIONS (Z-82-22):

Z-82-22 - 3805 Mitchell Mill Road, located on its north side approximately 1,000 feet west of Forestville Road, being Wake County PIN 1747379686. Approximately 10.41 acres rezoned to Residential Mixed Use-3 Stories-Parking Limited-Conditional Use (RX3-PL-CU).

CONDITIONS DATED: MARCH 10, 2023

- The following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited, or special uses in the RX- District shall be prohibited: (1) cemetery.
RESPONSE: USE IS MULTI-UNIT LIVING, NO CEMETERY PROPOSED.
- There shall be no more than twenty-four (24) residential units within any singlebuilding that is located within five hundred (500) feet of the northern boundary of the property. There shall be no more than thirty-six (36) residential units within any single building that is located on all other portions of the property.
RESPONSE: BUILDINGS 3, 4, 5, & 6 HAVE TWENTY-FOUR UNITS PER BUILDING. NO BUILDINGS HAVE MORE THAN 36 UNITS.
- For those buildings fronting along Mitchell Mill Road, there shall be no private, on-site vehicular parking areas located between the Mitchell Mill Road right-of-way and the building facade located closest and most parallel to the Mitchell Mill Road right-of-way. RESPONSE: NO PARKING AREAS PROPOSED BETWEEN FACADE OF BUILDINGS AND MITCHELL MILL R/W.
- For those buildings fronting along Caliber Woods Drive, there shall be no private, on-site vehicular parking areas located between the Caliber Woods Drive right-of-way and the building facade located closest and most parallel to the Caliber Woods Drive right-of-way. However, this condition shall not prohibit vehicular parking areas located closer to the Caliber Woods Drive right-of-way than the closest and most parallel building facade so long as the vehicular parking areas are located to the sides of each building's facade located closest and most parallel to the Caliber Woods Drive right-of-way.
RESPONSE: NO PARKING AREAS PROPOSED BETWEEN FACADE OF BUILDINGS AND CALIBER WOODS R/W.
- The property owner shall pay to the City a total of \$20,000.00 to be placed in the fund designated for the City's Affordable Housing Program. The \$20,000.00 amount may be payable in four annual installments of \$5,000.00, with the first payment being due prior to the issuance of the first certificate of occupancy and with each other annual installment due on or before the same day of the successive years, although the property owner has a right to prepay any amounts due. Prior to the issuance of any building permit, this payment obligation shall be evidenced by a promissory note to the City. If a sale of the project or the property (or a portion thereof), including a sale of controlling interests of an ownership entity within the project, occurs subsequent to the issuance of the first building permit and prior to the payment in full of the sum described within this condition, any outstanding amount shall be paid prior to the change of ownership.
RESPONSE: UNDERSTOOD, PAYMENT WILL BE MADE TO CITY'S AFFORDABLE HOUSING PROGRAM.



VICINITY MAP

SCALE: 1" = 500'



GRAPHIC SCALE

1 inch = 500 feet

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER, AND ARCHITECT.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
- LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- LOCATIONS AND SIZES SHOWN FOR WATER AND SEWER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
- THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
- HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT RALEIGH ENGINEERING STANDARD DRAWING STANDARD DRAWINGS.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

INDEX OF DRAWINGS

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SCM PLAN - WET POND	C.5.0
SCM PLAN - UNDERGROUND DETENTION	C.5.1
SCM PLAN - UNDERGROUND DETAILS	C.5.2
PRE-DEVELOPED STORMWATER PLAN	C.6.0
POST-DEVELOPED STORMWATER PLAN	C.6.1
UTILITY PLAN	C.7.0
ACCESS PLAN	C.8.0
SITE LIGHTING PLAN	SL1.0
TREE CONSERVATION PLAN	L1.20
LANDSCAPE PLAN	L4.00
COR STANDARD DETAILS FOR CITY TREES	L9.10
TRASH COMPACTOR ENCLOSURE DETAILS	TCP

OWNER MITCHELL MILL, LLC 3301 BENSON DRIVE, SUITE 304 RALEIGH, NORTH CAROLINA 27619	DEVELOPER DEWITT CAROLINAS, INC. 3301 BENSON DRIVE, SUITE 103 RALEIGH, NORTH CAROLINA 27609 PHONE: 919-863-1000 CONTACT: NEIL KING EMAIL: NEIL.KING@DEWITTCAROLINAS.COM	CIVIL ENGINEER ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 102 CARY, NORTH CAROLINA 27511 PHONE: 919-481-6290 CONTACT: JAKE BUZZELL jBUZZELL@ADVANCEDCIVILDESIGN.COM	ARCHITECT PLANWORX ARCHITECTURE PA 5711 SIX FORKS ROAD, SUITE 100 RALEIGH, NORTH CAROLINA 27609 PHONE: 919-424-1946 CONTACT: TATE HOLT THOLT@PLANWORX.COM	LANDSCAPE ARCHITECT JDAVIS 510 SOUTH WILMINGTON STREET RALEIGH, NORTH CAROLINA 27601 PHONE: 919-835-1500 CONTACT: SAWAKO BUSH SAWAKOB@JDAVISARCHITECTS.COM

Preliminary Subdivision Application

Site Review
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option
NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.		
GENERAL INFORMATION		
Scoping/sketch plan case number(s): SCOPE-0102-2023, Associated Case: ASR-0015-2024		
Development name (subject to approval): MITCHELL MILL SUBDIVISION		
Property Address(es): 3805 MITCHELL MILL ROAD		
Recorded Deed PIN(s): 1747-37-9686		
Building type(s): <input type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Apartment		
<input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input checked="" type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House		

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: MITCHELL MILL LLC	
Company: MITCHELL MILL LLC	Title: OWNER
Address: 3301 BENSON DRIVE, STE 304	
Phone #: (919)533-5341	Email: neil.king@dewittcarolinas.com
Applicant Name (if different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: Dewitt Carolinas, Inc.	Address: 3301 Benson Dr, Ste 102 Raleigh, NC 27609
Phone #: (919)533-5341	Email: neil.king@dewittcarolinas.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: Neil King	
Company: Dewitt Carolinas, Inc.	Title: Pre-Dev Manager
Address: 3301 Benson Dr, Ste 102 Raleigh, NC 27609	
Phone #: (919)533-5341	Email: neil.king@dewittcarolinas.com
Revision 03.01.24 raleighnc.gov	

DEVELOPMENT TYPE + SITE DATE TABLE - ZONING INFORMATION			
Gross site acreage: 10.462			
Zoning districts (if more than one, provide acreage of each): RX-3-PL-CU (10.462 AC)			
Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark:	N/A <input checked="" type="checkbox"/>
Conditional Use District (CUD):	Board of Adjustment Case #	Design Alternate Case #	DA-
Case # Z-82-22			
STORMWATER INFORMATION			
Impervious Area on Parcel(s):		Impervious Area for Compliance (includes right-of-way):	
Existing (sf):	Proposed total (sf) 201,228	Existing (sf):	Proposed total (sf) 248,807
NUMBER OF LOTS AND DENSITY			
# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:	
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic): 2	
Total # of Lots: 2	Total # Dwelling Units: 216		
# of bedroom units (if known):	1br ²⁴	2br ¹⁰⁸	3br ²⁴ 4br ⁰
Proposed density for each zoning district (UDO 1.5.2.F): 216/10.462 = 20.6 units/acre			

APPLICANT SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.	
Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.	
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature:	Date: 5/15/24
Printed Name: Neil King	Date:
Signature:	Date:
Printed Name:	

PLAN PREPARED BY: FIRM # C-2798 ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS 51 Kilmayne Drive Suite 102 Cary, North Carolina 27511 ph 919.481.6290 fax 919.336.5127	PLAN PREPARED FOR: dewitt carolinas	PRELIMINARY SUBDIVISION PLAN CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA MITCHELL MILL SUBDIVISION FOR DEWITT CAROLINAS TITLE	Issue Dates: 05/15/2024: SUBDIVISION SUBMITTAL #1 07/30/2024: SUBDIVISION SUBMITTAL #2 09/06/2024: SUBDIVISION SUBMITTAL #3	Date: 09/06/2024 Scale: 1" = 500' Drawn By: JLB Checked By: JDW Project Number: 18-0004-742 Subdivision Number: SUB-0027-2024 Drawing Number: C.0.0
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SUB-0027-2024
ASSOCIATED CASE: ASR-0015-2024



July 15, 2024

Neil King
Dewitt
3301 Benson Dr.
Suite #103
Raleigh, NC 27609

Attn: Neil

This is a letter of support for trash and recycling services for your new project being planned for Mitchell Mill Apartments located at 3805 Mitchell Mill Rd, Raleigh, NC.

We have reviewed the plans and have found that GFL Environmental will be able to safely perform all commercial waste and recycling services for this project. The site calls for a single corral with a recycling dumpster and a compactor. The frequency of service is to be determined.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service and the trash enclosure will be large enough to accommodate the volume of trash that will be produced.

We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at tara.zents@gflenv.com.

Sincerely,
Tara Zents
Account Manager
GFL Environmental – Raleigh
(M) 919-427-2399

SEE SHEET C.3.0 FOR DUMPSTER PAD SPECIFICATIONS
SEE SHEET C.8.0 FOR VEHICLE TURNING EXHIBIT & COLLECTION PATH
SEE SHEET TCP FOR TRASH COMPACTOR ENCLOSURE DETAILS

C:\18-0004-742\c:\wco\production\drawings\development\plan\SUB-Title.dwg SERVICE LETTERS Sep 06, 2024 - 11:11:27am Shutcheson

Issue Dates:
02/14/2024 ASR SUBMITTAL #1

Date: 02/14/2024
Scale: NO SCALE

Drawn By: JLB
Checked By: JDW

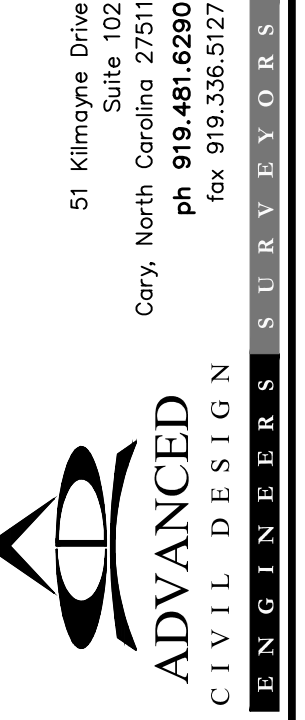
Project Number:
18-0004-742

Drawing Number:
C.0.1

ADMINISTRATIVE SITE REVIEW
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL APARTMENTS
FOR
DEWITT CAROLINAS
WILL SERVE LETTERS



PLAN PREPARED BY:
FIRM # C-2798



51 Kilmoyne Drive
Suite 102
Cory, North Carolina 27511
ph 919.481.6290
fax 919.336.5127



PLAN PREPARED BY:
FIRM # C-2798

51 Kilmoyne Drive
Suite 102
Cory, North Carolina 27511
ph 919.481.6290
for 919.336.5127

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

Carolinans
dewitt

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS
EXISTING CONDITIONS

Issue Date: 09/06/2024
05/15/2024: SUBDIVISION SUBMITTAL #1
07/30/2024: SUBDIVISION SUBMITTAL #2
09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number: 18-0004-742
Subdivision Number: SUB-0027-2024
Drawing Number: C.1.0

LEGEND

- Iron Pipe Found
- Iron Pin Set
- ▲ Railroad Spike
- Light Pole
- Mailbox
- Traverse Point
- PK Set
- CATV Pedestal
- Sign
- Gas Valve
- Pole Elec
- Pole Elec Tele
- Catch Basin
- Curb Inlet
- Water Meter
- Fire Hydrant
- Air Release Manhole
- Water Valve
- Sanitary Cleanout
- Sanitary Manhole
- x—x—x—x— Fence Line
- Edge of Pavement
- WA—WA—WA—WA— Underground Water Line
- OHE— Overhead Electric Line
- ST—ST— Storm Sewer Line
- SA—SA— Sanitary Sewer Line
- Property Line
- Ex. Property Line
- Ex. Right-of-Way
- Ex. Easement Line
- Setback
- 225— Ex. Major Contour(s)
- 225— Ex. Minor Contour(s)
- G—G— Underground Gas
- FO—FO— Underground Fiber Optic
- E—E— Underground Electric
- OHE— Overhead Electric

Existing Site Data Table

Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

LINE TABLE

LINE	DISTANCE	BEARING
L1	41.17'	N20°10'59"W
L2	55.00'	N72°23'19"W
L3	37.03'	S59°39'01"W

GENERAL NOTES

- EXISTING ZONING OF PROPERTY IS RX-3-PL-CU.
- BOUNDARY INFORMATION PROVIDED BY ADVANCED CIVIL DESIGN, INC.
- TOPOGRAPHIC SURVEY PROVIDED BY ADVANCED CIVIL DESIGN, INC.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORDED DRAWINGS. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATION HEREON.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITIES PRIOR TO ANY CONSTRUCTION.
- EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND MINIMUM CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

FLOOD NOTE

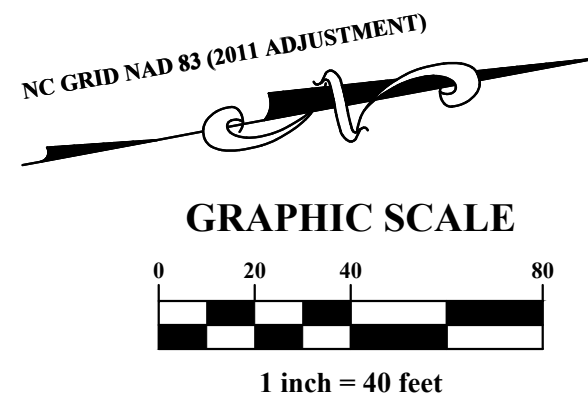
BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3720174700K WITH AN EFFECTIVE DATE OF JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

BENCHMARKS

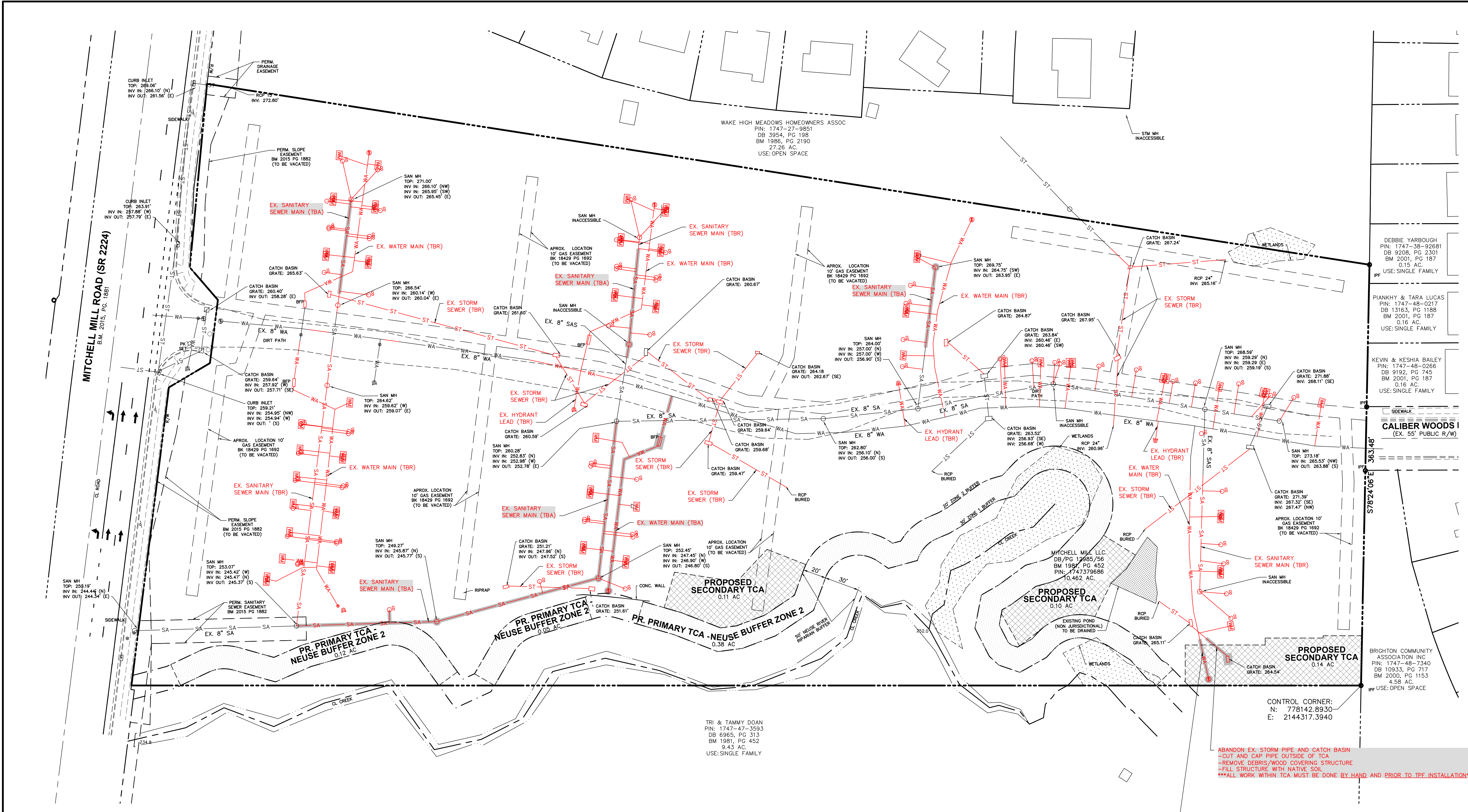
SOURCE: Coordinates were derived by Real Time Network (RTN) Global Positioning System (GPS). This results in NAD 1983, 2011 Adjustment (CORS 96) and North American Vertical Datum of 1988 (NAVD 88) elevations using the continually operating reference stations (CORS) maintained by the North Carolina Geodetic Survey, Class A Survey, 0.033 feet positional accuracy, VRS Field Procedure, Geoid 18.

BM #1: PK Nail along the centerline of Coliber Woods Drive.
N: 778200.9660
E: 2144104.9640
Elevation: 355.02'

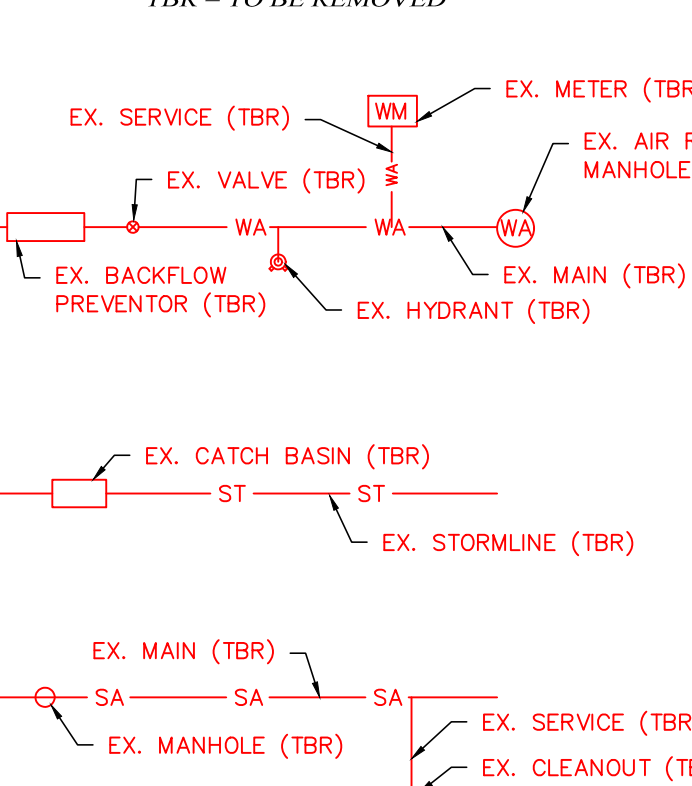
NOTE: SURVEY INFORMATION COMPLETED BY ADVANCED CIVIL DESIGN, INC. IN 2023.



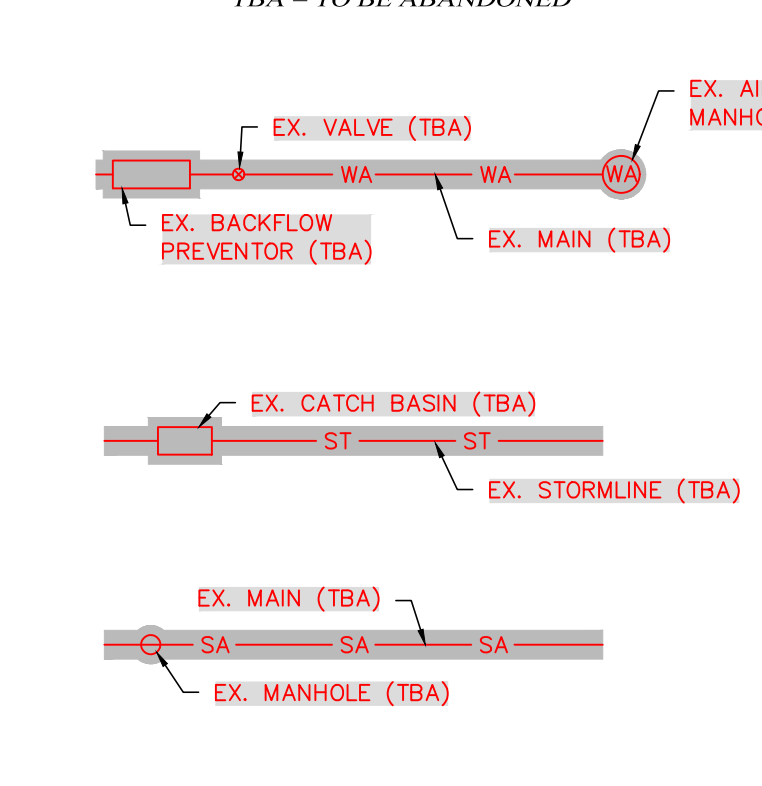
C:\18-0004-742\c:\pwworking\production\drawings\development\plan\SUB-Demolition\Plan.dwg DEMOLITION PLAN Sep 06, 2024 11:52am Shucheson



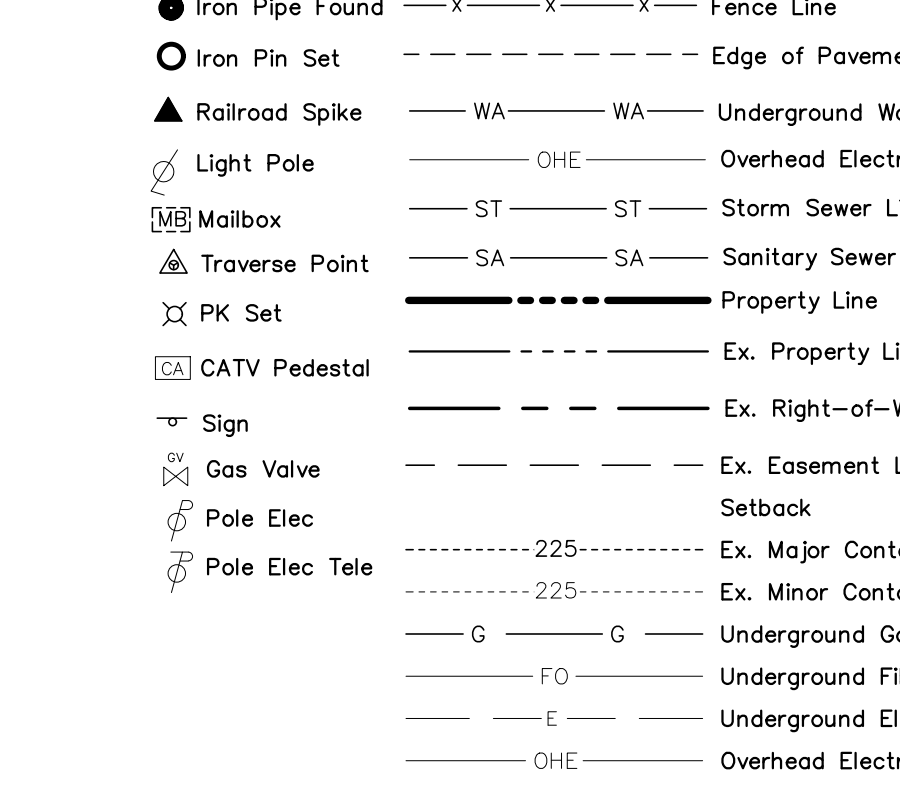
DEMOLITION LEGEND



ABANDONMENT LEGEND



EXISTING CONDITIONS LEGEND

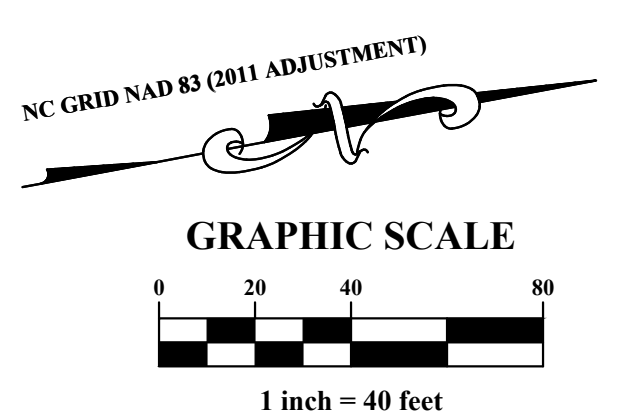


NOTES:

1. REMAINING WATER AND SANITARY SEWER MAINS THAT HAVE NOT BEEN ABANDONED, MUST BE TESTED TO ENSURE THEY MEET RALEIGH PUBLIC WATER MAIN STANDARDS.

ABANDON EX. STORM PIPE AND CATCH BASIN
 - CUT AND CAP PIPE OUTSIDE OF TCA
 - REMOVE DEBRIS/WOOD COVERING STRUCTURE
 - FILL STRUCTURE WITH NATIVE SOIL
 ALL WORK WITHIN TCA MUST BE DONE BY HAND AND PRIOR TO TPF INSTALLATION

ABANDON EX. WATER MAIN
 - CUT AND CAP PIPE OUTSIDE OF TCA
 - REMOVE AIR RELEASE MANHOLE AND FILL STRUCTURE WITH NATIVE SOIL
 ALL WORK WITHIN TCA MUST BE DONE BY HAND AND PRIOR TO TPF INSTALLATION



PLAN PREPARED BY:
FIRM # C-2738

PLAN PREPARED FOR:

DEBBIE YARBROUGH
PIN: 1747-38-92681
DB 9208, PG 2301
BM 2001, PG 187
0.15 AC.
USE: SINGLE FAMILY

PIANKHY & TARA LUCAS
PIN: 1747-48-0217
DB 13163, PG 1188
BM 2001, PG 187
0.16 AC.
USE: SINGLE FAMILY

KEVIN & KESHIA BAILEY
PIN: 1747-48-0266
DB 9192, PG 745
BM 2001, PG 187
0.16 AC.
USE: SINGLE FAMILY

CALIBER WOODS I
(EX. 55' PUBLIC R/W)

BRIGHTON COMMUNITY ASSOCIATION INC.
PIN: 1747-48-7340
DB 10933, PG 717
BM 2000, PG 1153
4.58 AC.
PP USE: OPEN SPACE

CONTROL CORNER:
N: 778142.8930
E: 2144317.3940

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION

FOR
DEWITT CAROLINAS

DEMOLITION PLAN

Issue Dates:
05/15/2024: SUBDIVISION SUBMITTAL #1
07/30/2024: SUBDIVISION SUBMITTAL #2
09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number:
18-0004-742

Subdivision Number:
SUB-0027-2024

Drawing Number:
C.2.0

51 Kinoyne Drive
Suite 102
Cory, North Carolina 27511
ph 919.481.6290
for 919.336.5127
F E N G I N E E R S S U R V E Y O R S

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

CODED NOTE

- (A) 18" STRAIGHT CURB
 - (B) 30" STANDARD CURB & GUTTER
 - (C) TRASH COMPACTOR & RECYCLING DUMPSTER SEE C.B.O FOR COLLECTION PATH
 - (D) CURB RAMP
 - (E) ACCESSIBLE PARKING SIGN
 - (F) STOP/DO NOT ENTER SIGN
 - (G) NO PARKING TO CORNER SIGN
 - (H) NO PARKING SIGN
 - (I) RETAINING WALL W. FENCE (DESIGN BY OTHERS)
 - (J) RETAINING WALL
 - (K) STEM WALL
 - (L) COVERED CBU (DESIGN BY OTHERS)
 - (M) 280' S.D.T.
 - (N) 240' S.D.T.
 - (O) BICYCLE RACK (SHORT TERM)
 - (P) FENCE
 - (Q) LANDSCAPE WALL
 - (R) BICYCLE RACK (LONG TERM)
 - (S) DUMPSTER PAD
- SEE THIS SHEET FOR PAVEMENT SPECS
SEE SHEET TOP FOR TRASH COMPACTOR ENCLOSURE SPECS

GENERAL NOTES

1. ZONE B & ZONE C BUFFER YARDS ARE NOT REQUIRED PER UDO 3.5.1.D. (APARTMENT BUILDING W/LESS THAN 50' HEIGHT, IN A MIXED-USED DISTRICT)

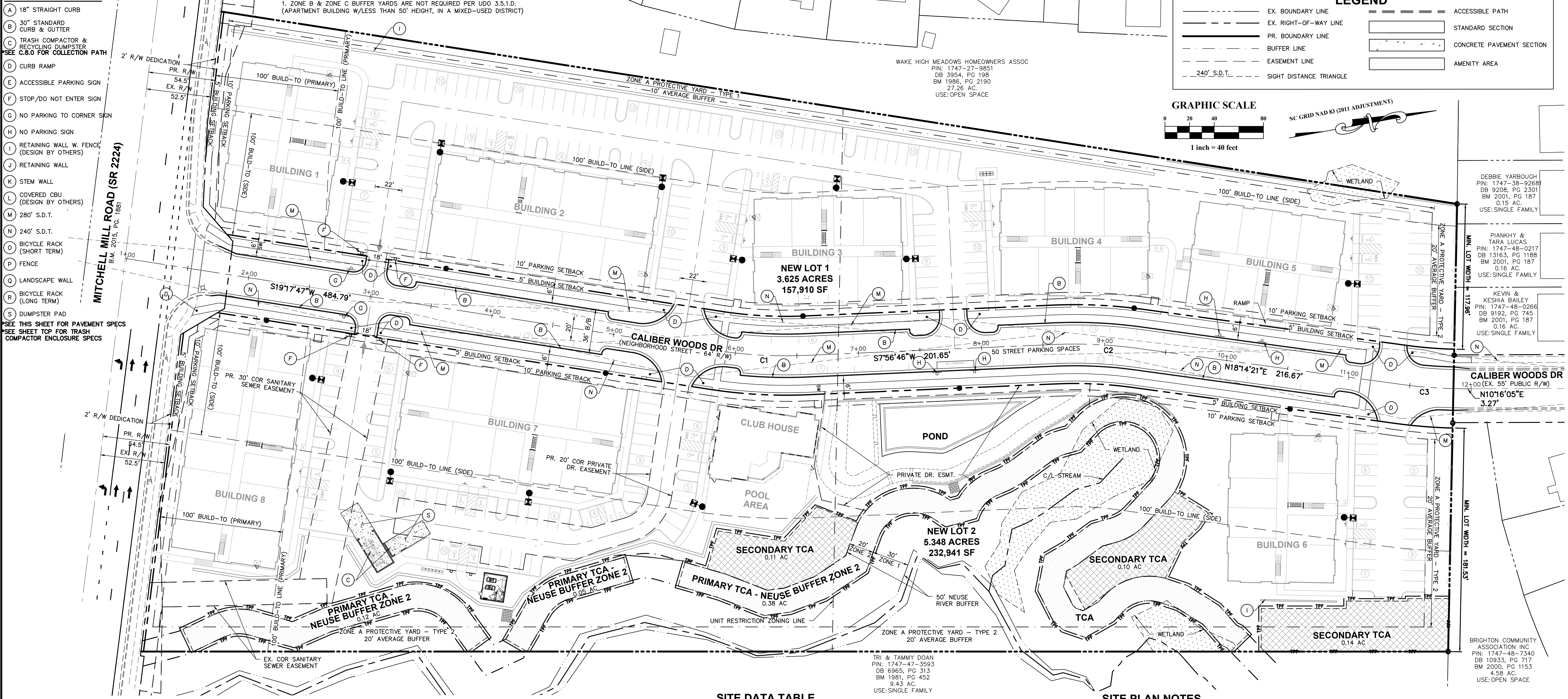
LEGEND

- EX. BOUNDARY LINE
- EX. RIGHT-OF-WAY LINE
- PR. BOUNDARY LINE
- BUFFER LINE
- EASEMENT LINE
- 240' S.D.T.
- ACCESSIBLE PATH
- STANDARD SECTION
- CONCRETE PAVEMENT SECTION
- AMENITY AREA

GRAPHIC SCALE

0 20 40 80
1 inch = 40 feet

NC GRID NAD 83 (2011 ADJUSTMENT)



NOTE:
BUILDING FOOTPRINTS, PARKING LOTS, BUILDING/PARKING SETBACKS, & RETAINING WALLS ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY

SITE DATA TABLE

PROPERTY INFORMATION:		PIN: 1747379686
ADDRESS:		3805 MITCHELL MILL RD.
TOTAL SITE AREA:		10.462/455,731 ACRES/SF
ZONING INFORMATION:		EXISTING ZONING: RX-3-PL-CU (RESIDENTIAL MIXED USE-3 STORIES-CONDITIONAL USE)
CUD CASE NUMBER:		Z-82-2022
DEVELOPMENT INFORMATION:		FRONTAGE TYPE: PARKING LIMITED
BUFFER TYPE:		ZONE A PROTECTIVE YARD - TYPE 1 ZONE A PROTECTIVE YARD - TYPE 2
EXISTING USE:		VACANT
PROPOSED USE:		MULTI-UNIT LIVING
EXISTING BUILDING AREA:		N/A
PRIMARY STREET:		MITCHELL MILL ROAD
FLOOD HAZARD AREA:		NO, FEMA MAP PANEL #3720174700K
LOT STANDARDS FOR RX-3-PL-CU (PER UDO 3.2.4):		MIN. LOT AREA: 7,500 SF
		MAX. LOT AREA: N/A
		MIN. LOT WIDTH: N/A
		OUTDOOR AMENITY AREA: 10%

SITE PLAN NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

ALL PRIVATE PAVEMENT MARKING SHALL BE WHITE UNLESS OTHERWISE NOTED.

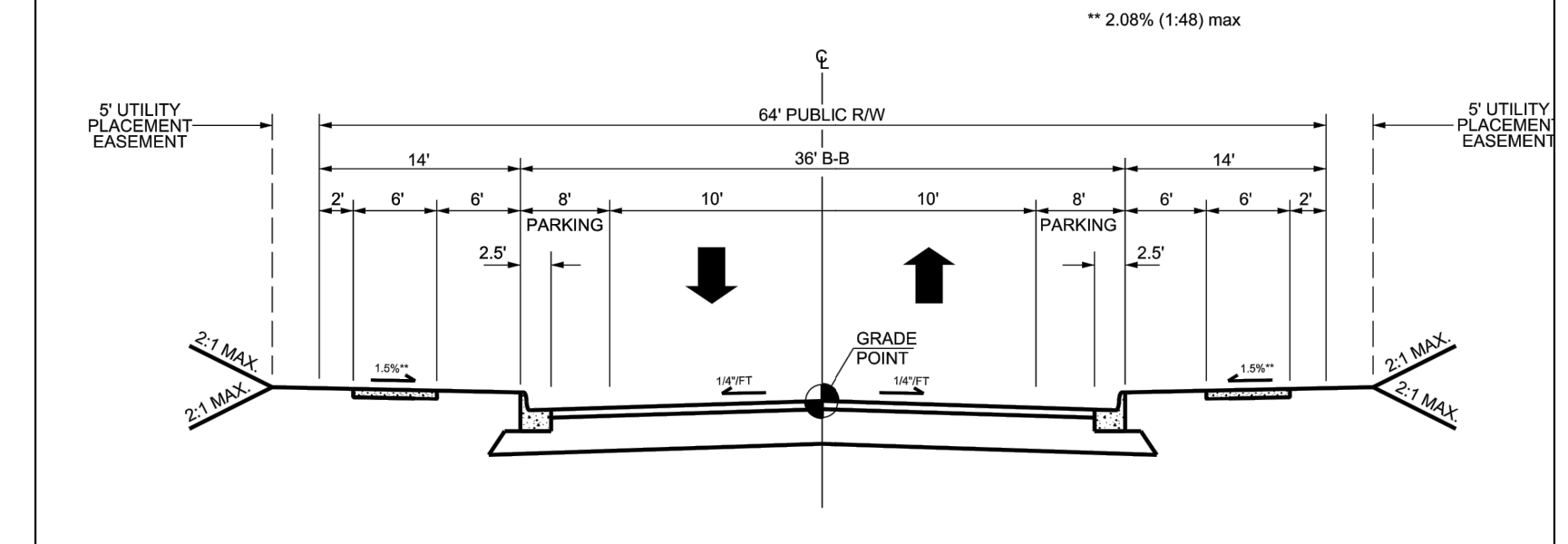
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURBLINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

THESE PLANS ARE FOR PRELIMINARY PURPOSES AND IS NOT INTENDED AS A FINAL DESIGN.

THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.

HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT RALEIGH ENGINEERING STANDARD DRAWING STANDARD DRAWINGS.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



Existing Site Data Table

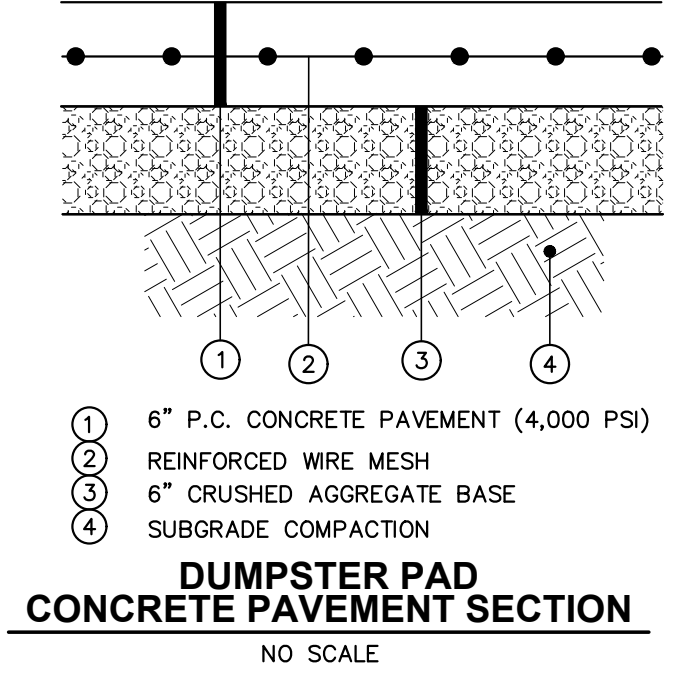
Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

Proposed Site Data Table

	Acres	Square Feet
New Lot 1 Area:	3.625	157,910
New Lot 2 Area:	5.348	232,941
New R/W Area:	1.489	64,880
Total Area:	10.462	455,731

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	011°21'01"	375.00'	74.29'	N13°37'16"E	74.17'
C2	010°17'35"	375.00'	67.37'	S13°05'33"W	67.28'
C3	007°58'16"	375.00'	52.17'	N14°15'13"E	52.13'



PLAN PREPARED BY: FIRM # C-2798

51 Kilmoyne Drive Suite 102 Cary, North Carolina 27511
ph 919.481.6290 fax 919.336.5127

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR:

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS

SITE PLAN

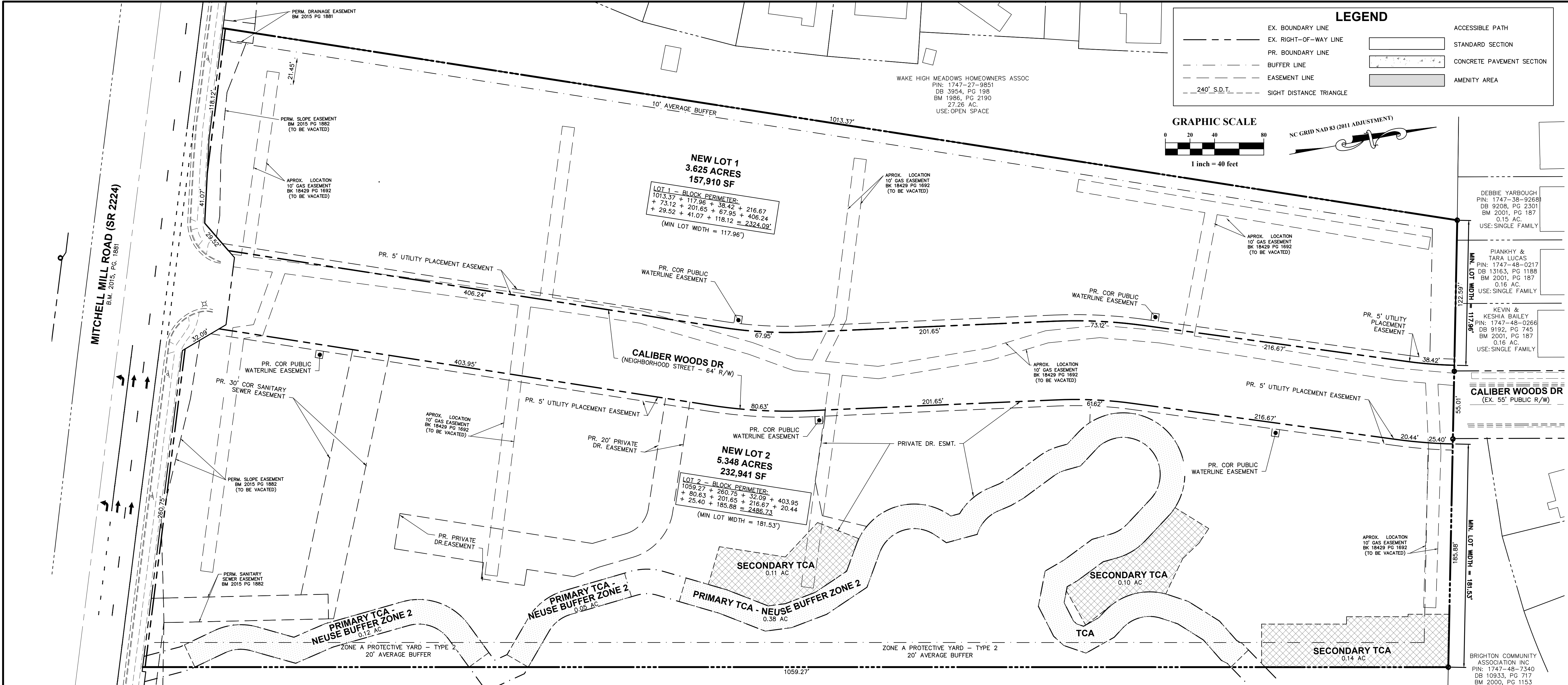
Issue Dates:
05/15/2024: SUBDIVISION SUBMITTAL #1
07/30/2024: SUBDIVISION SUBMITTAL #2
09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number: 18-0004-742
Subdivision Number: SUB-0027-2024
Drawing Number: C.3.0

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LEGEND

- EX. BOUNDARY LINE
- EX. RIGHT-OF-WAY LINE
- PR. BOUNDARY LINE
- BUFFER LINE
- EASEMENT LINE
- 240' S.D.T.
- SIGHT DISTANCE TRIANGLE
- ACCESSIBLE PATH
- STANDARD SECTION
- CONCRETE PAVEMENT SECTION
- AMENITY AREA

GRAPHIC SCALE

0 20 40 80
1 inch = 40 feet

NC GRID NAD 83 (2011 ADJUSTMENT)

NEW LOT 1
3.625 ACRES
157,910 SF

LOT 1 - BLOCK PERIMETER:
1013.37 + 117.96 + 38.42 + 216.67
+ 73.12 + 201.65 + 67.95 + 406.24
+ 29.52 + 41.07 + 118.12 = 2324.09'
(MIN LOT WIDTH = 117.96')

NEW LOT 2
5.348 ACRES
232,941 SF

LOT 2 - BLOCK PERIMETER:
1059.27 + 250.75 + 32.09 + 403.95
+ 80.63 + 201.65 + 216.67 + 20.44
+ 25.40 + 185.88 = 2486.73
(MIN LOT WIDTH = 181.53')

SITE DATA TABLE

PROPERTY INFORMATION:	
PIN:	1747379686
ADDRESS:	3805 MITCHELL MILL RD.
TOTAL SITE AREA:	10.462/455,731 ACRES/SF
ZONING INFORMATION:	
EXISTING ZONING:	RX-3-PL-CU (RESIDENTIAL MIXED USE-3 STORIES-CONDITIONAL USE)
CUD CASE NUMBER:	Z-82-2022
DEVELOPMENT INFORMATION:	
FRONTAGE TYPE:	PARKING LIMITED
BUFFER TYPE:	ZONE A PROTECTIVE YARD - TYPE 1 ZONE A PROTECTIVE YARD - TYPE 2
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-UNIT LIVING
EXISTING BUILDING AREA:	N/A
PRIMARY STREET:	MITCHELL MILL ROAD
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720174700K
LOT STANDARDS FOR RX-3-PL-CU (PER UDO 3.2.4):	
MIN. LOT AREA:	7,500 SF
MAX. LOT AREA:	N/A
MIN. LOT WIDTH:	N/A
OUTDOOR AMENITY AREA:	10%

Existing Site Data Table

Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

Proposed Site Data Table

	Acres	Square Feet
New Lot 1 Area:	3.625	157,910
New Lot 2 Area:	5.348	232,941
New R/W Area:	1.489	64,880
Total Area:	10.462	455,731

PLAN PREPARED BY: FIRM # C-2738

51 Kilmoyne Drive Suite 102 Cary, North Carolina 27511 ph 919.481.6290 fax 919.336.5127

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR:

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS
LOTS & EASEMENTS PLAN

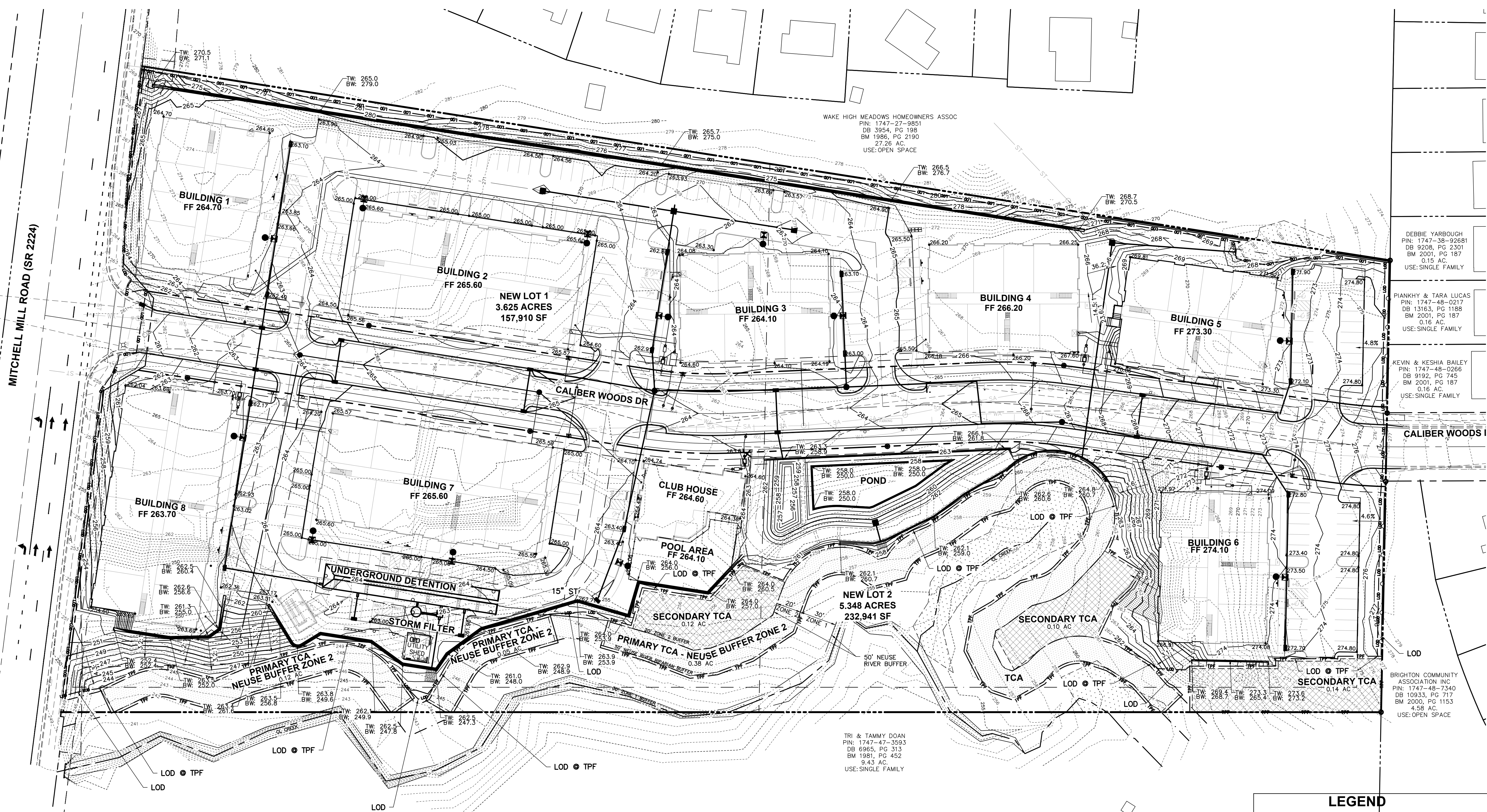
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09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number:
18-0004-742
Subdivision Number:
SUB-0027-2024
Drawing Number:
C.3.1

C:\18-0004-742nc\02production\drawings\development\plan\SUB-Grading and Drainage Plan.dwg Grading Plan Sep 06, 2024 11:12:28am Shutcherson



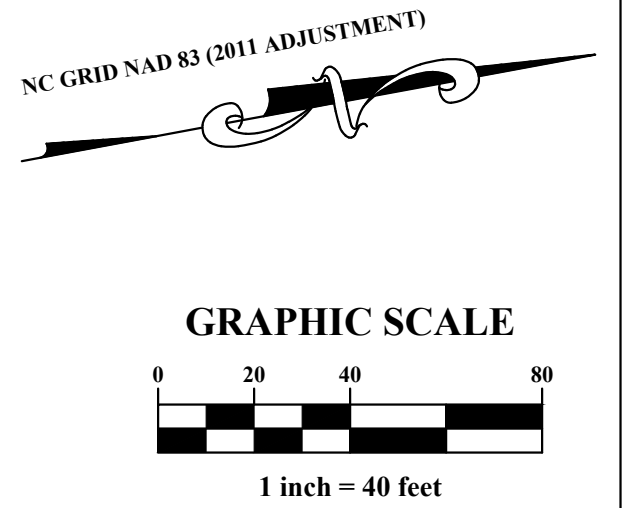
STANDARD GRADING NOTES (AS APPLICABLE)

1. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
2. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
3. PROPOSED GRADES BY SEPARATE PLAN CONTOURS SHOWN AT 1 FOOT INTERVALS.
4. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED "STORM SEWER".
8. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TC XXX.XX.
14. IN CASE ON AN EMERGENCY OR MAINTENANCE RELATED ISSUES WITH THE POND, THE HAND WHEEL AND PLUG VALVE IS TO BE USED TO DRAW DOWN THE POND AS MUCH AS POSSIBLE. IF POND IS TO BE DRAWN DOWN COMPLETELY, OWNER IS TO COORDINATE WITH CONTRACTOR TO BRING IN PUMP TO PUMP OUT REMAINING WATER.
15. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
16. LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
17. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
18. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
19. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SITE DEVELOPMENT DATA

OVERALL SITE AREA:	10.462/455,731 ACRES/SF
EX. IMPERVIOUS AREA:	0.0/0 ACRES/SF
PR. IMPERVIOUS AREA:	5,647/245,965 ACRES/SF
SITE COVERAGE:	5,647/10,462 = 54.0%
PR. IMPERVIOUS AREA (LOT 1)	2,510/109,343 ACRES/SF
	2,510/3,625 = 69.2%
PR. IMPERVIOUS AREA (LOT 2)	2,005/87,343 ACRES/SF
	2,005/5,348 = 37.5%
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720174700K

NOTE:
 BUILDING FOOTPRINTS, PARKING LOTS, BUILDING/PARKING SETBACKS, RETAINING WALLS, FINISHED FLOOR ELEVATIONS, & IMPERVIOUS AREA DATA ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY



LEGEND

	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	LIMITS OF DISTURBANCE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SURFACE FLOW ARROW
	EXISTING GROUND ELEVATION
	EXISTING TOP CASTING
	PROPOSED GROUND ELEVATION
	PROPOSED TOP OF CURB
	PROPOSED TOP CASTING

PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
 FOR
DEWITT CAROLINAS
GRADING PLAN

Issue Dates:
 05/15/2024: SUBDIVISION SUBMITTAL #1
 07/30/2024: SUBDIVISION SUBMITTAL #2
 09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
 Scale: 1" = 40'

Drawn By: JLB
 Checked By: JDW

Project Number:
18-0004-742
 Subdivision Number:
SUB-0027-2024
 Drawing Number:
C.4.0



PLAN PREPARED BY:
 FIRM # C-2798

DEWITT CAROLINAS
 51 Kilmoyne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.336.5127
 ENGINEERS SURVEYORS

DEBBIE YARBROUGH
 PIN: 1747-38-92681
 DB 9208, PG 2301
 BM 2001, PG 187
 0.15 AC.
 USE: SINGLE FAMILY

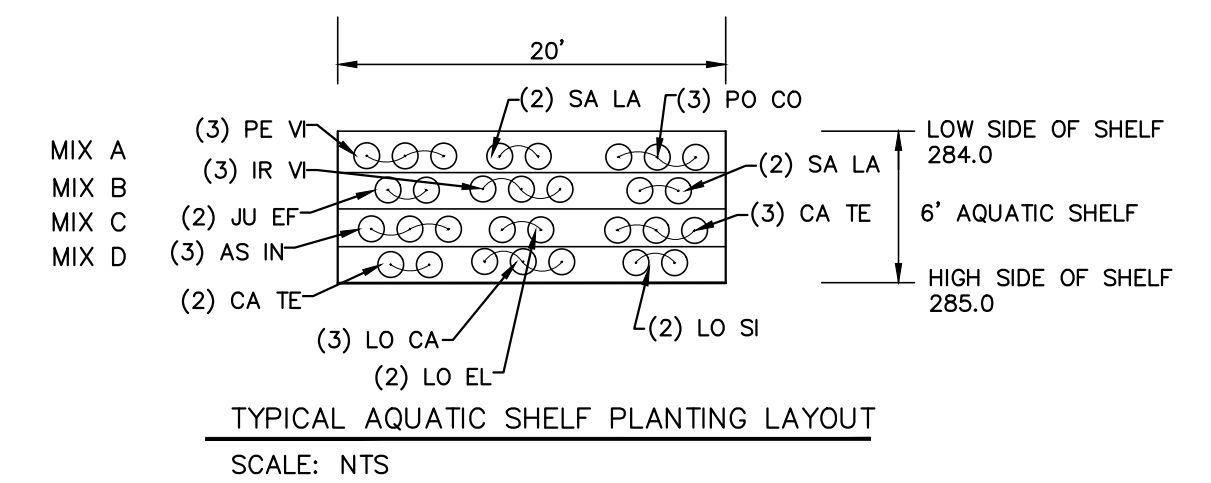
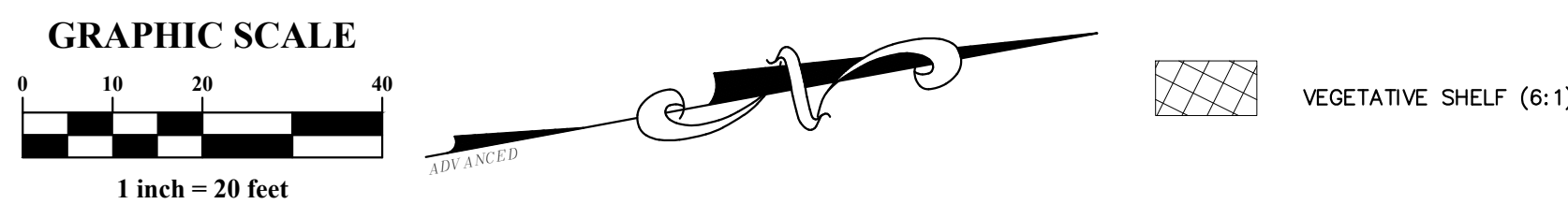
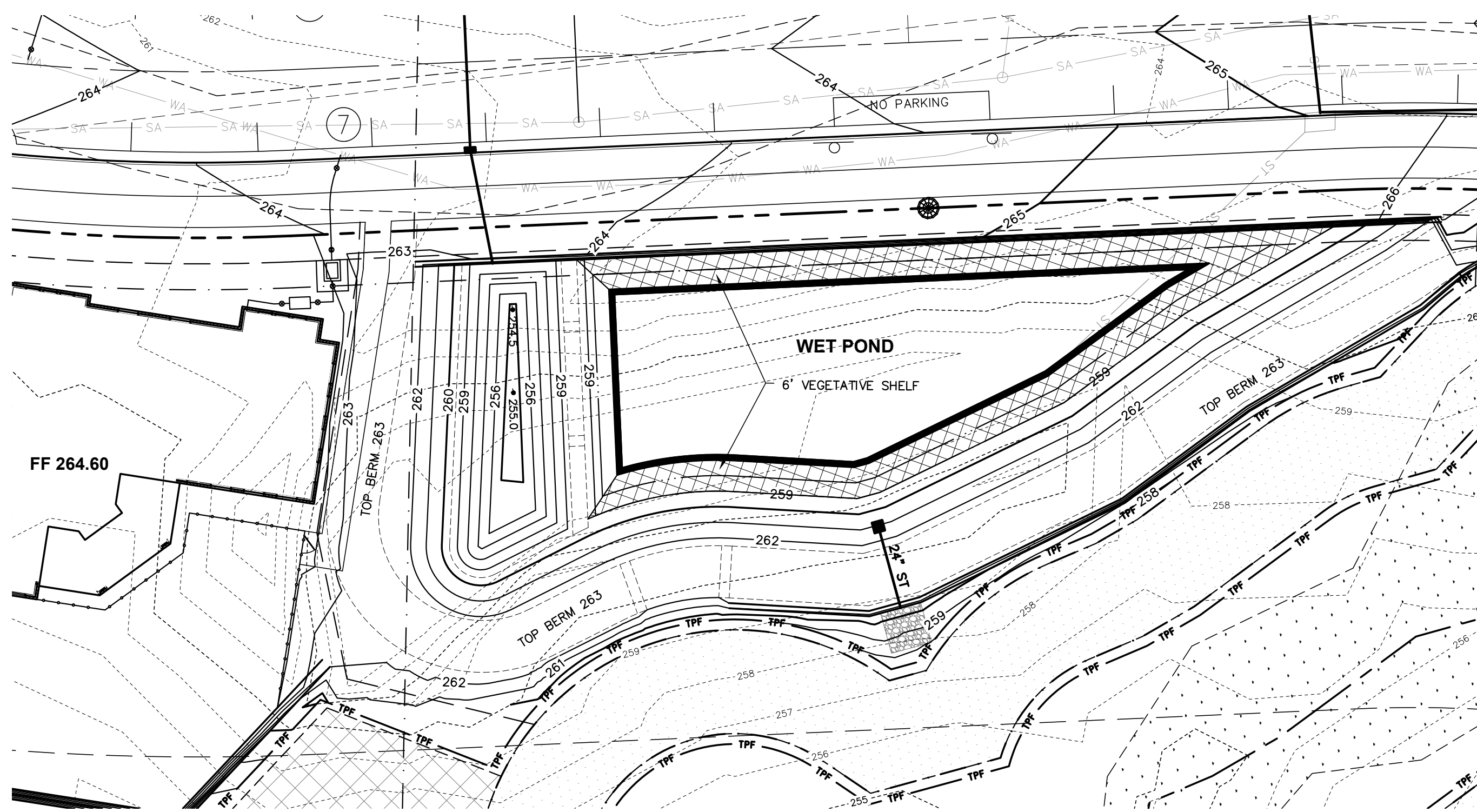
PIANKHY & TARA LUCAS
 PIN: 1747-48-0217
 DB 13163, PG 1188
 BM 2001, PG 187
 0.16 AC.
 USE: SINGLE FAMILY

KEVIN & KESHIA BAILEY
 PIN: 1747-48-0266
 DB 9192, PG 745
 BM 2001, PG 187
 0.16 AC.
 USE: SINGLE FAMILY

BRIGHTON COMMUNITY ASSOCIATION INC
 PIN: 1747-48-7340
 DB 10933, PG 717
 BM 2000, PG 1153
 4.58 AC.
 USE: OPEN SPACE

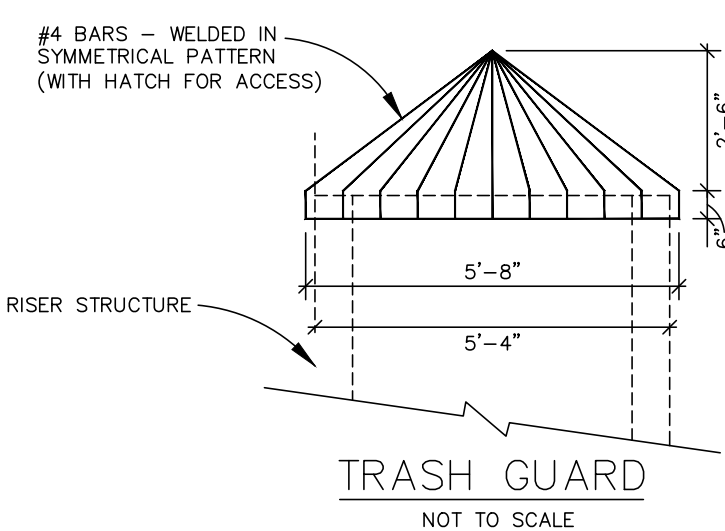
WAKE HIGH MEADOWS HOMEOWNERS ASSOC
 PIN: 1747-27-9851
 DB 3954, PG 198
 BM 1986, PG 2190
 27.26 AC.
 USE: OPEN SPACE

TRI & TAMMY DOAN
 PIN: 1747-47-3593
 DB 6965, PG 313
 BM 1981, PG 452
 9.43 AC.
 USE: SINGLE FAMILY



CODE	QTY.	BOT. NAME / COMMON NAME	SIZE	COND	SPACING
MIX A EMERGENT DEEP (6"-3" BELOW WATER LEVEL)					
PE VI	42	Peltandra virginica Arrow Arum	18"	plug	24" o.c. Field Locate
SA LA	28	Sagittaria latifolia Broad-Leaf Arrowhead	9"	plug	24" o.c. Field Locate
PO CO	42	Pontederia cordata Pickerel Weed	9"	plug	24" o.c. Field Locate
MIX B EMERGENT SHALLOW (3"-0" BELOW WATER LEVEL)					
IR VI	42	Iris virginica Blue Flag Iris	18"	plug	24" o.c. Field Locate
JU EF	28	Juncus effusus Common Rush	9"	plug	24" o.c. Field Locate
SA LA	28	Sagittaria latifolia Broad-Leaf Arrowhead	9"	plug	24" o.c. Field Locate
MIX C EDGE (0"-3" ABOVE WATER LEVEL)					
AS IN	42	Asclepias incarnata Swamp Milkweed	24"	plug	24" o.c. Field Locate
CA TE	28	Carex Tenax Quill Sedge	18"	plug	24" o.c. Field Locate
LO EL	28	Lobelia elongata Longleaf Lobelia	18"	plug	24" o.c. Field Locate
MIX D SATURATED (3"-6" ABOVE WATER LEVEL)					
CA TE	28	Carex Tenax Quill Sedge	18"	plug	24" o.c. Field Locate
LO CA	42	Lobelia cardinalis Cardinal Flower	18"	plug	24" o.c. Field Locate
LO SI	28	Lobelia siphilitica Great Blue Lobelia	24"	plug	24" o.c. Field Locate

NOTE:
1. SIZE INDICATED AT TIME OF PLANTING.



RETURN EVENT (YR)	PRE-DEV. RELEASE RATE (CFS)	POST-DEV. RELEASE RATE (CFS)	TOTAL POST-DEV. RELEASE RATE (CFS)
2	14.25	5.80	13.43
10	39.96	22.15	39.64
100	78.04	33.31	63.93

WET DETENTION POND: BASIN SIZING, CALCULATIONS, AND REQUIREMENTS

REQUIRED SURFACE AREA FOR PERMANENT POOL
 TOTAL DRAINAGE AREA TO BASIN: 5.1 AC
 IMPERVIOUS AREA DRAINING TO BASIN: 3.4 AC
 PERCENT OF IMPERVIOUS FOR DRAINAGE AREA: 66.8%
 PERMANENT POOL AVERAGE DEPTH: 6 FT.
 SURFACE AREA/DRAINAGE AREA RATIO (SA/DA): 1.56
 REQUIRED SURFACE AREA: SA = (1.56/100)*(5.104 AC)*(43,560 SF/AC) = 3,468 SF
 PROVIDED SURFACE AREA: SA = 3,870 SF

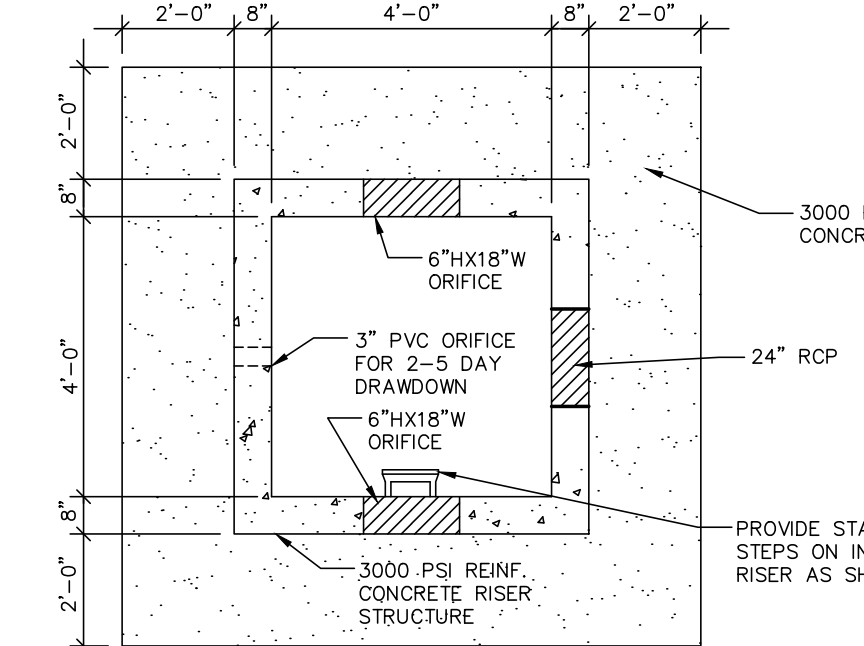
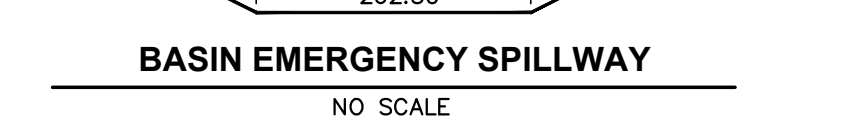
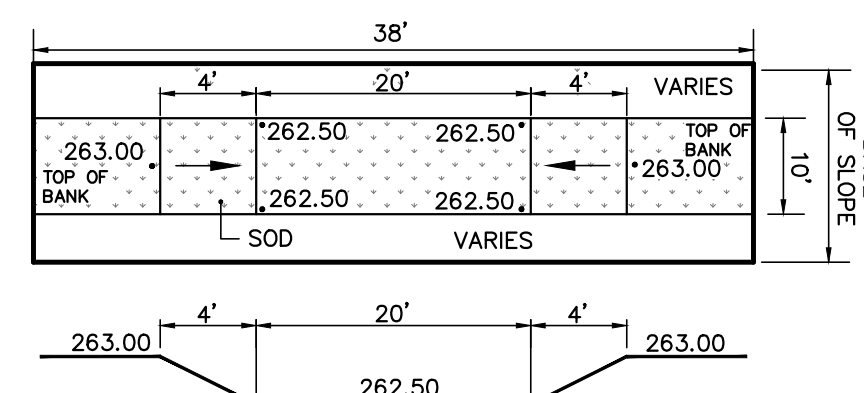
REQUIRED VOLUME TO CONTROL THE 1" STORM
 RUNOFF COEFFICIENT (RV): STORM RUNOFF (IN) / STORM RAINFALL (IN)
 PERCENT IMPERVIOUS (I): DRAINAGE AREA (AC) / IMPERVIOUS PORTION OF DA (AC)
 RV = 0.05 + .009 * (I)
 = 0.05 + .009 * (66.8)
 = 0.651 IN/IN

REQ. VOL. FROM 1" OF RUNOFF = (DESIGN RAINFALL) * (RV) * (DRAINAGE AREA)
 = (1" * 0.651 IN/IN) * (5.104 AC) * (43,560 SF/AC) * (1 FT/12 IN)
 = 12,067 CF

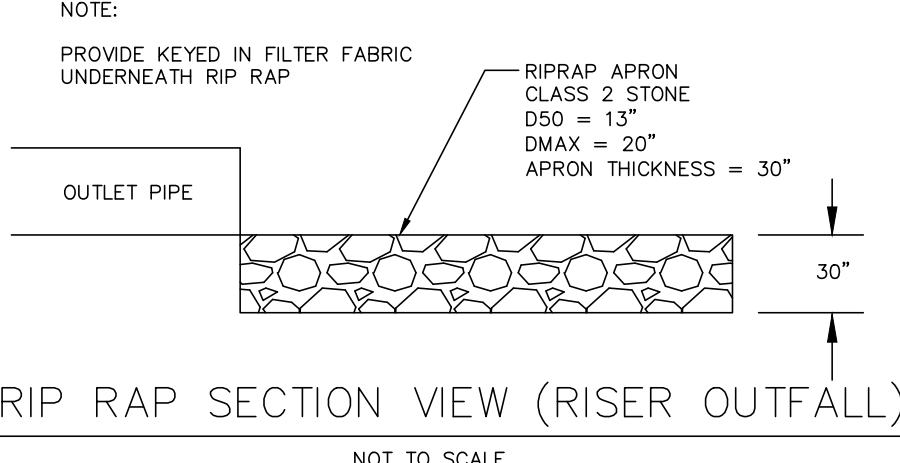
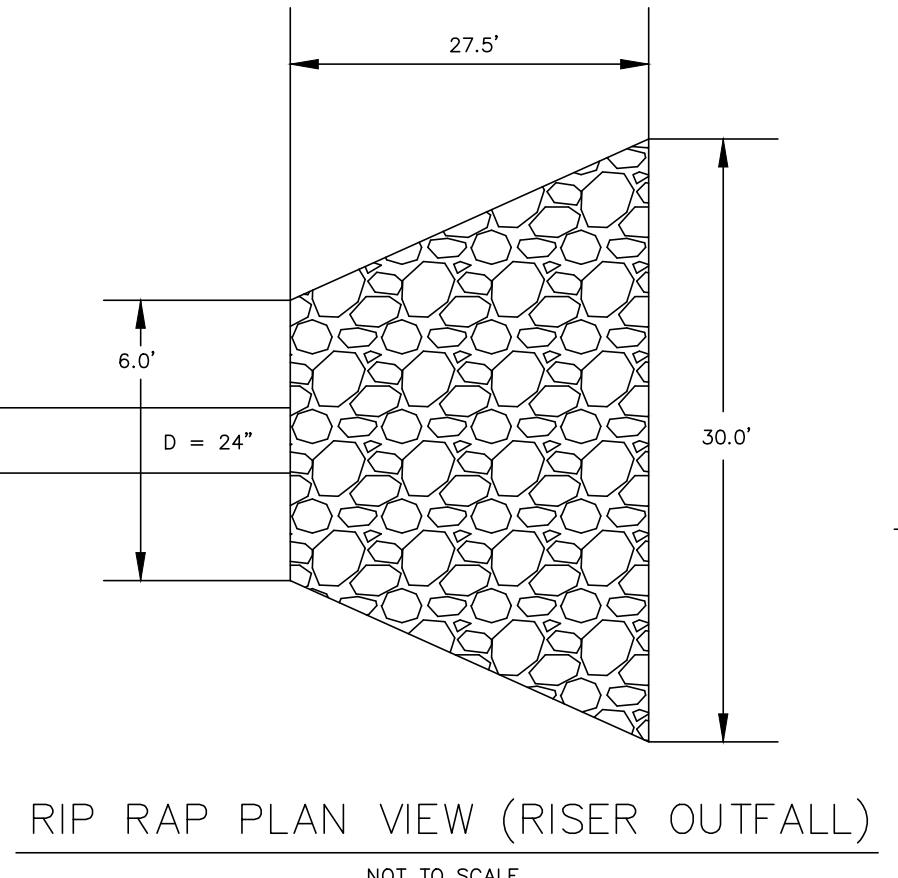
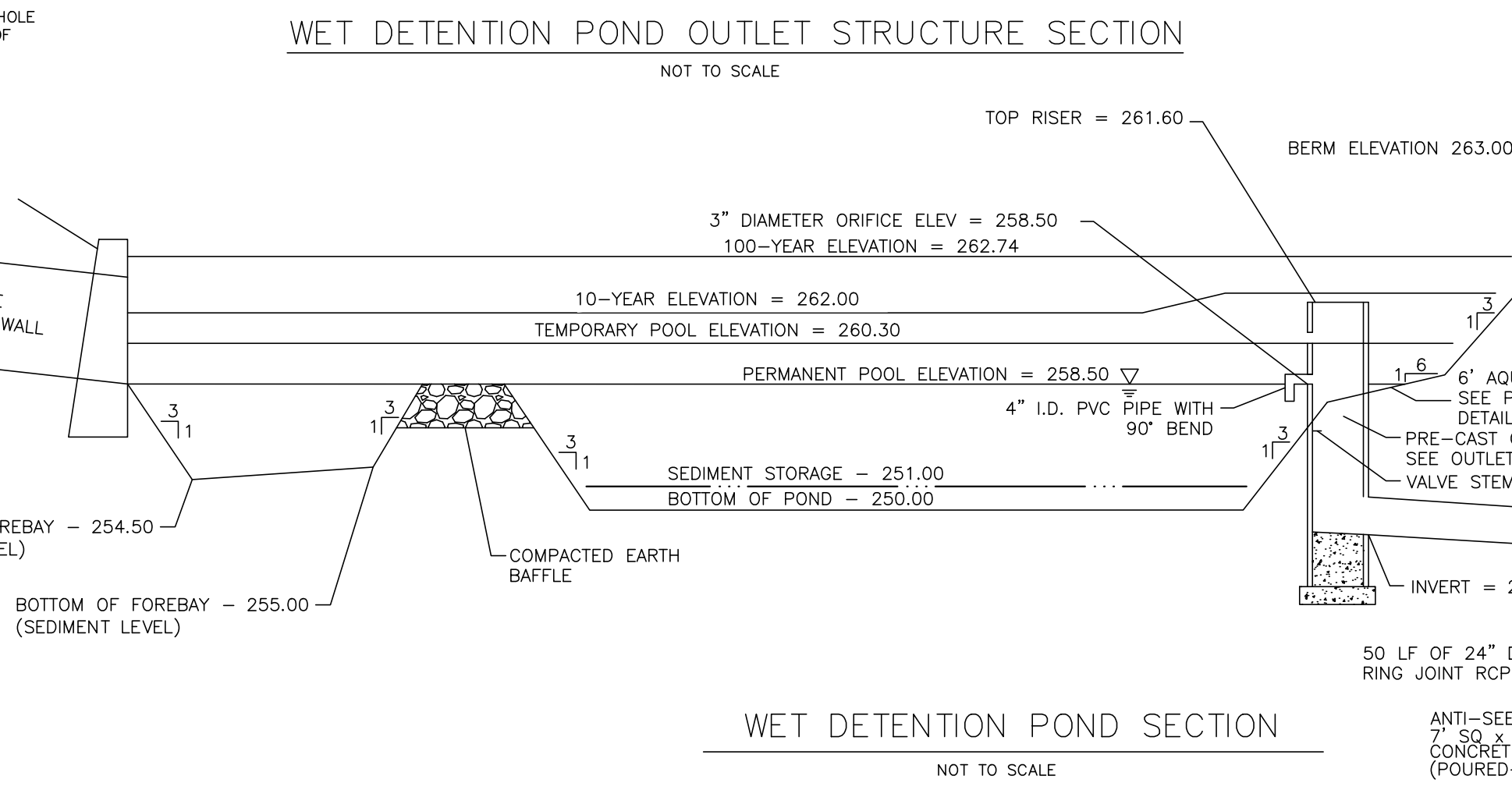
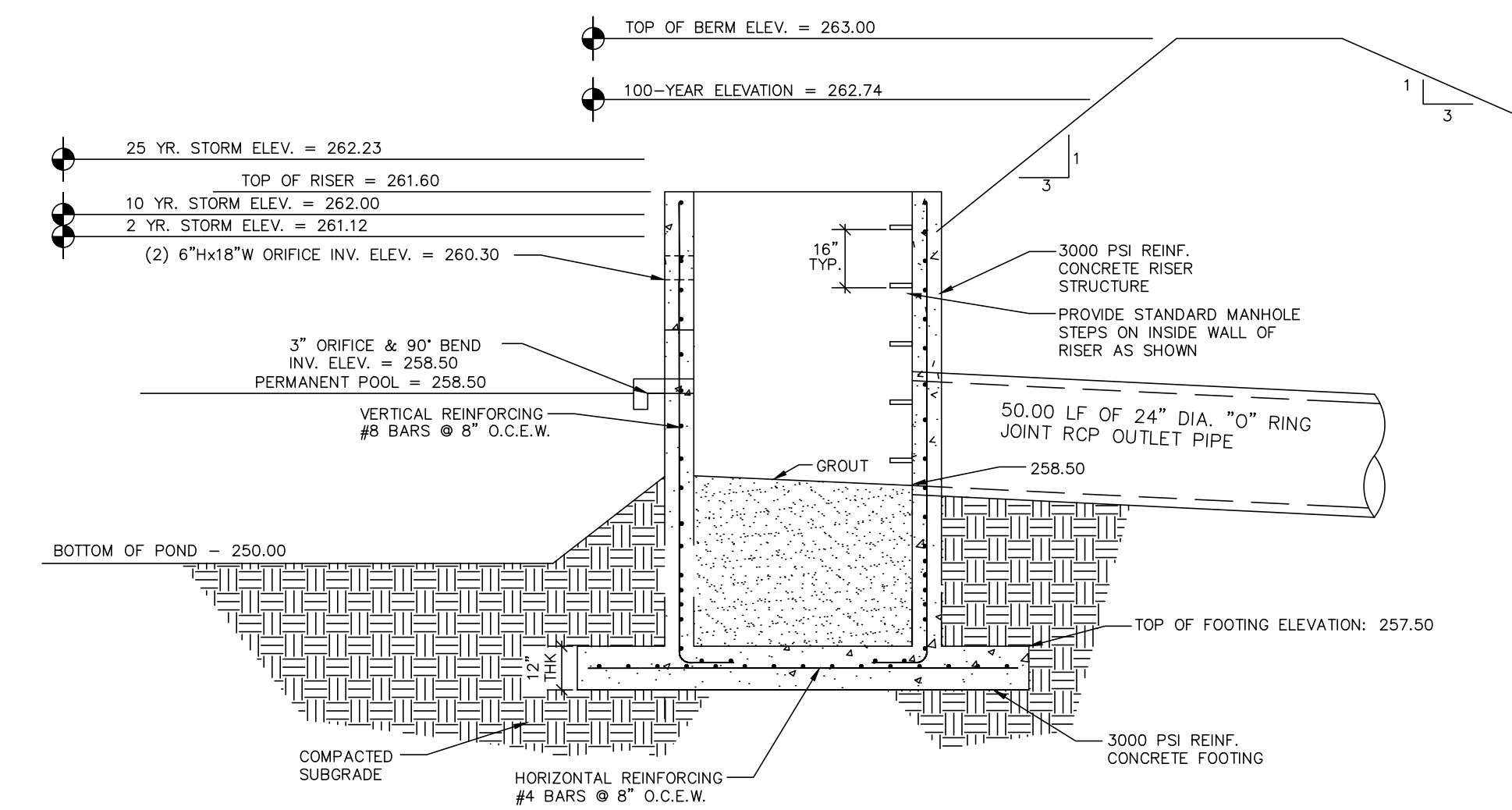
* VOLUME FROM 1-INCH PROVIDED BETWEEN ELEVATIONS 258.5 AND 260.3
 PROVIDED VOLUME FROM 1" OF RUNOFF = 12,328 CF

VOLUME PROVIDED > VOLUME REQUIRED
 12,328 CF > 12,067 CF

CITY OF RALEIGH SCM REQUIREMENTS
 REQUIREMENT: THE POST-DEVELOPMENT PEAK RUNOFF RATE SHALL BE LIMITED TO THE PRE-DEVELOPMENT PEAK RUNOFF RATE FOR THE 1-YEAR, 24-HOUR AND THE 10-YEAR, 24-HOUR STORMS. SCMS SHALL STORE RUNOFF FROM A ONE-(1) INCH RAINFALL FROM THE SITE ABOVE THE PERMANENT POOL. THE DISCHARGE RATE FROM THE SCM SYSTEM FOLLOWING THE ONE-(1) INCH RAINFALL DESIGN STORM SHALL BE SUCH THAT THE RUNOFF DOES NOT DRAW DOWN TO THE PERMANENT POOL LEVEL IN LESS THAN TWO (2) DAYS AND THAT THE POND IS DRAWN DOWN TO THE PERMANENT POOL LEVEL WITHIN AT LEAST FIVE (5) DAYS.



BUOYANCY CALCULATIONS
WEIGHT OF CONCRETE (DOWNWARD FORCE)
 RISER: (2(4'x0.67') + 2(5.33x0.67')) x 14.5' = 181 CF
 FOOTING: 1' x 9.33' x 9.33' = 87 CF
 GROUT: 1' x 4' x 4' = 16 CF
 CONCRETE VOLUME X CONCRETE DENSITY =
 = (181 CF + 87 CF + 16 CF) X 150 LBS./CF
 = 42,600 LBS.
WEIGHT OF WATER DISPLACED (UPWARD FORCE)
 RISER: 5.33' x 5.33' x 14.5' = 412 CF
 FOOTING: 1' x 9.33' x 9.33' = 87 CF
 WATER VOLUME X WATER DENSITY =
 = (412 CF + 87 CF) X 62.4 LBS./CF X 1.15 FACTOR OF SAFETY
 = 35,808 LBS. < 42,600 LBS.
STRUCTURE WILL NOT FLOAT



PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
 FOR
DEWITT CAROLINAS
SCM PLAN - WET POND

Issue Dates:
 05/15/2024: SUBDIVISION SUBMITTAL #1
 07/30/2024: SUBDIVISION SUBMITTAL #2
 09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
Scale: 1" = 20'

Drawn By: JLB
Checked By: JDW

Project Number: 18-0004-742
Subdivision Number: SUB-0027-2024
Drawing Number: C.5.0



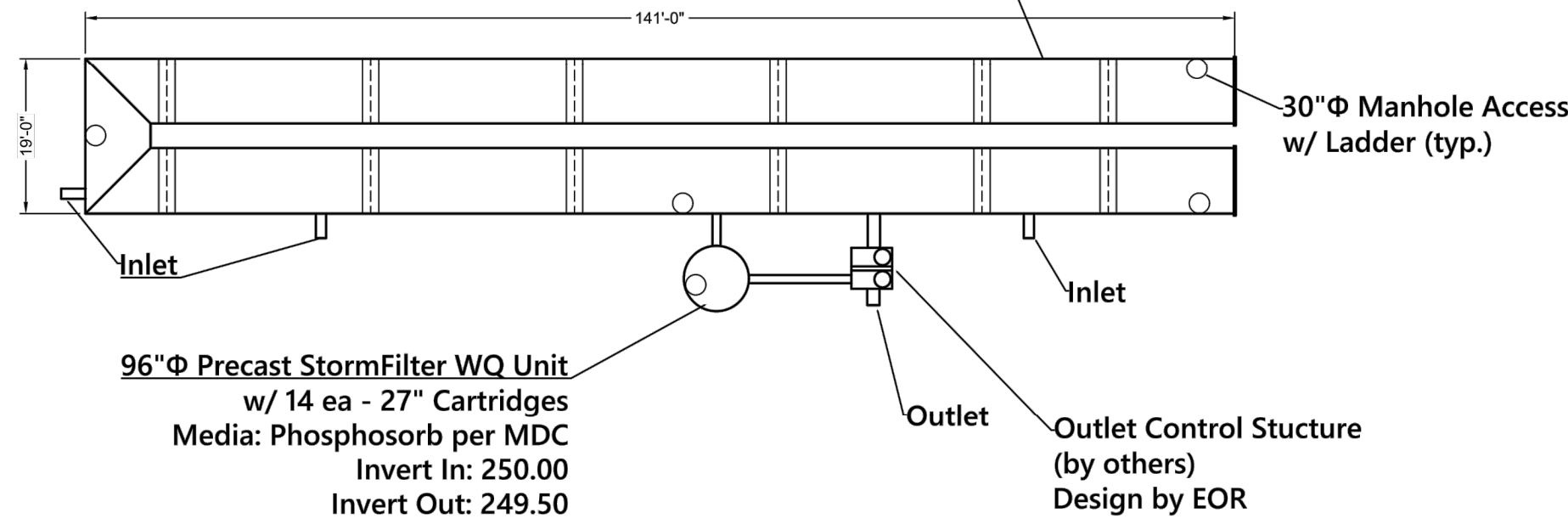
PLAN PREPARED BY:
 FIRM # C-2798

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 ph 919.481.6290
 for 919.336.5127

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS

O:\18-0004-742\c:\p\production drawings\development\plan\SUB-Wet Pond Plan.dwg SCM PLAN -WET POND Sep 06, 2024 - 11:12:38am Shutcherson

285 LF - 96"Φ Aluminized Pipe for Main/WQV Storage
 Storage Required: 14,300 cf
 Storage Provided: 14,363 cf
 Inv. 250.00



PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = HS20/HS25
- APPROX. LINEAR FOOTAGE = 285 LF

STORAGE SUMMARY

- STORAGE VOLUME REQUIRED = 14,300 CF
- PIPE STORAGE VOLUME = 14,326 CF
- BACKFILL STORAGE VOLUME = 0 CF
- TOTAL STORAGE PROVIDED = 14,363 CF

PIPE DETAILS

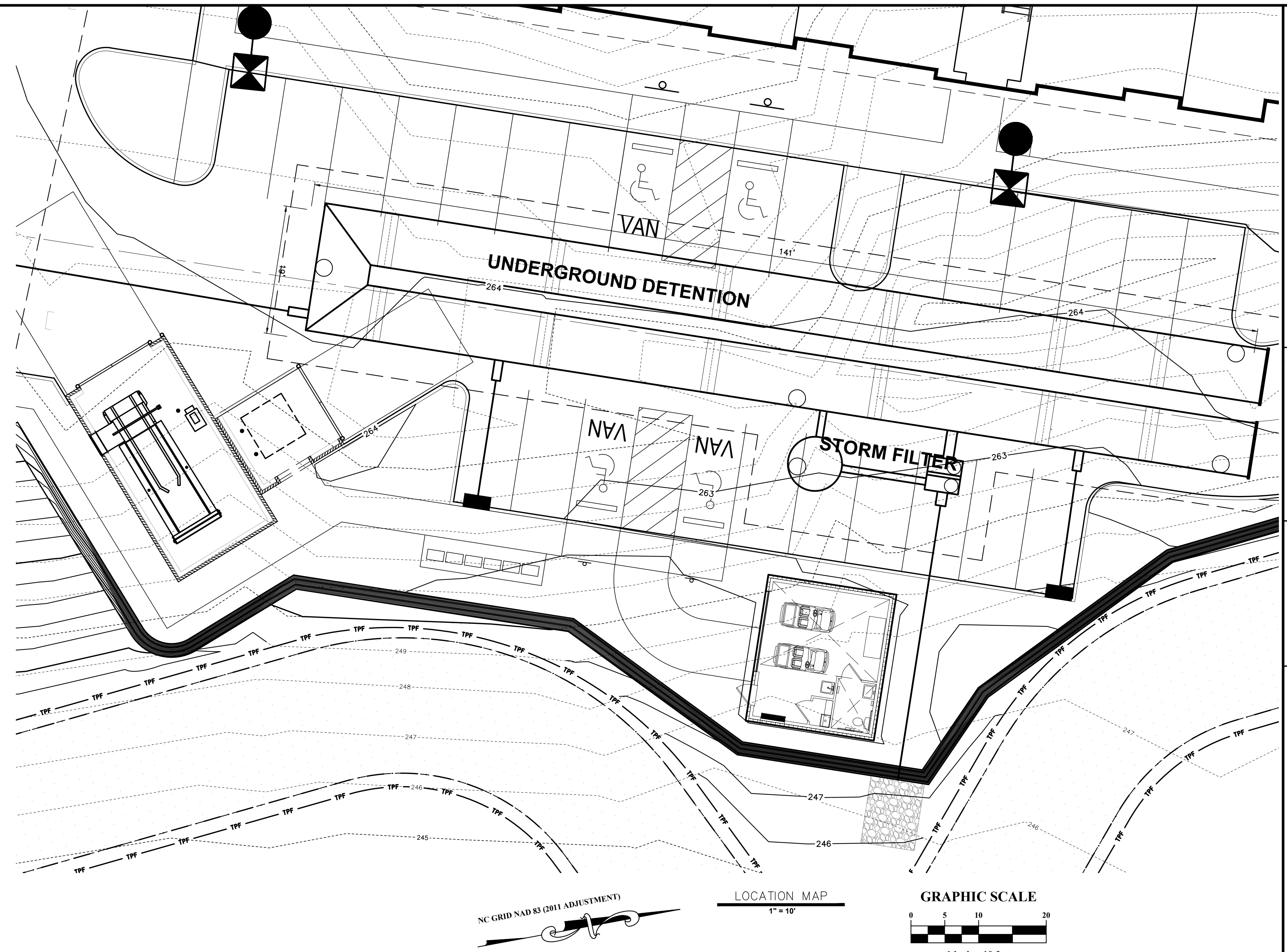
- DIAMETER = 96"
- CORRUGATION = 5x1
- GAGE = 14
- COATING = ALT2
- WALL TYPE = SOLID
- BARREL SPACING = 36"

BACKFILL DETAILS

- WIDTH AT ENDS = 12"
- ABOVE PIPE = 0"
- WIDTH AT SIDES = 12"
- BELOW PIPE = 0"

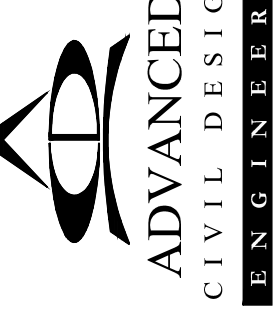
NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2 1/4" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN. QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.



PLAN PREPARED BY:
 FIRM # C-2798

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PLAN PREPARED FOR:



PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION

FOR
 DEWITT CAROLINAS

SCM PLAN - UNDERGROUND DETENTION

Issue Dates:
 05/15/2024: SUBDIVISION SUBMITTAL #1
 07/30/2024: SUBDIVISION SUBMITTAL #2
 09/06/2024: SUBDIVISION SUBMITTAL #3

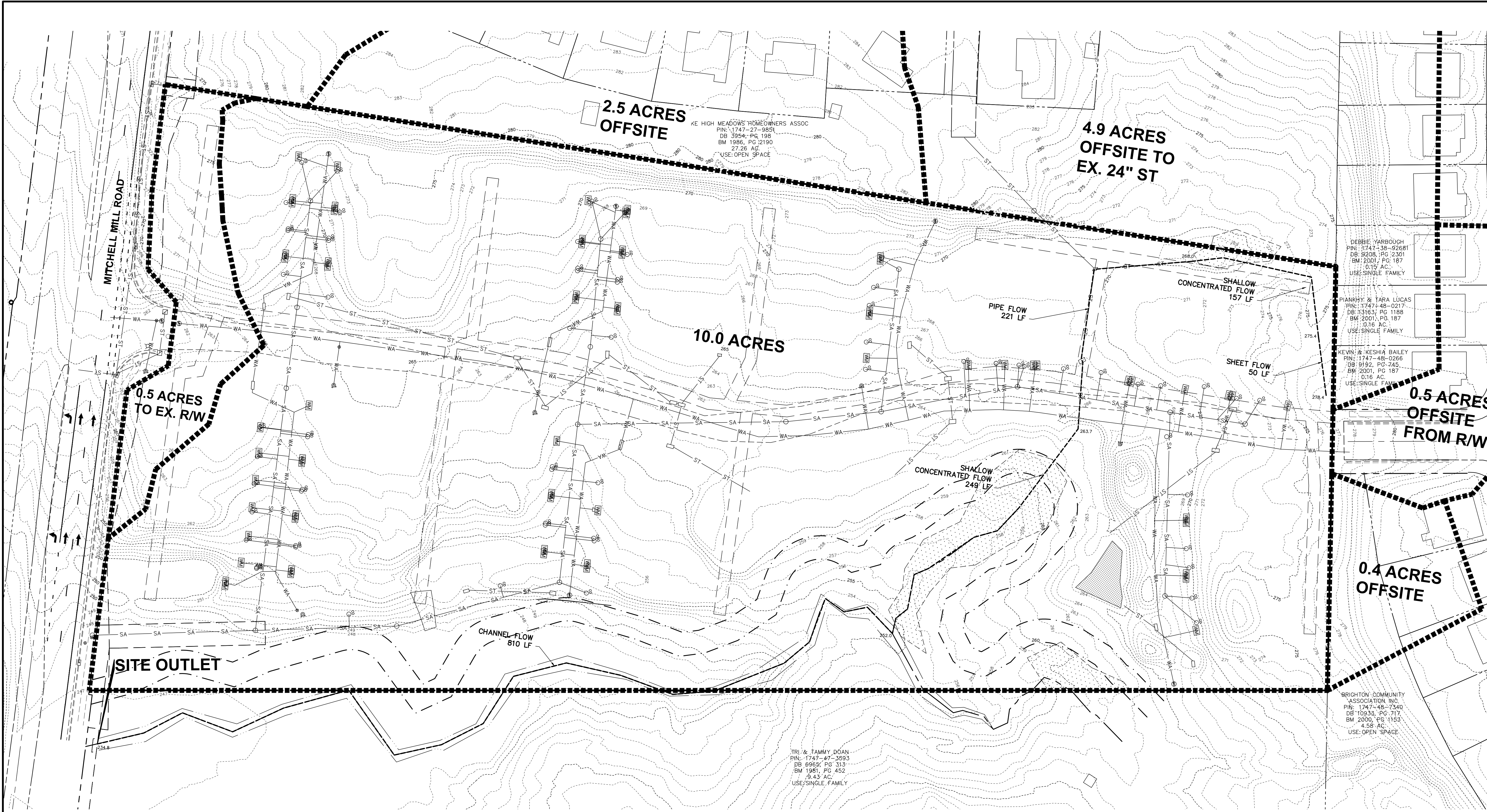
Date: 09/06/2024
 Scale: AS NOTED

Drawn By: JLB
 Checked By: JDW

Project Number:
 18-0004-742
 Subdivision Number:
 SUB-0027-2024

Drawing Number:
 C.5.1

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LEGEND

● Iron Pipe Found	-x-x-x- Fence Line
○ Iron Pin Set	- - - - - Edge of Pavement
▲ Railroad Spike	- - - - - Underground Water Line
○ Light Pole	- - - - - OHE Overhead Electric Line
Ⓜ Mailbox	-ST-ST- Storm Sewer Line
△ Traverse Point	-SA-SA- Sanitary Sewer Line
ⓧ PK Set	- - - - - Property Line
ⓧ CATV Pedestal	- - - - - Ex. Property Line
ⓧ Sign	- - - - - Ex. Right-of-Way
ⓧ Gas Valve	- - - - - Ex. Easement Line
ⓧ Pole Elec	- - - - - Setback
ⓧ Pole Elec Tele	- - - - - Ex. Major Contour(s)
	- - - - - Ex. Minor Contour(s)
	- - - - - Underground Gas
	- - - - - Underground Fiber Optic
	- - - - - Underground Electric
	- - - - - OHE Overhead Electric
	- - - - - Existing Tributary Area

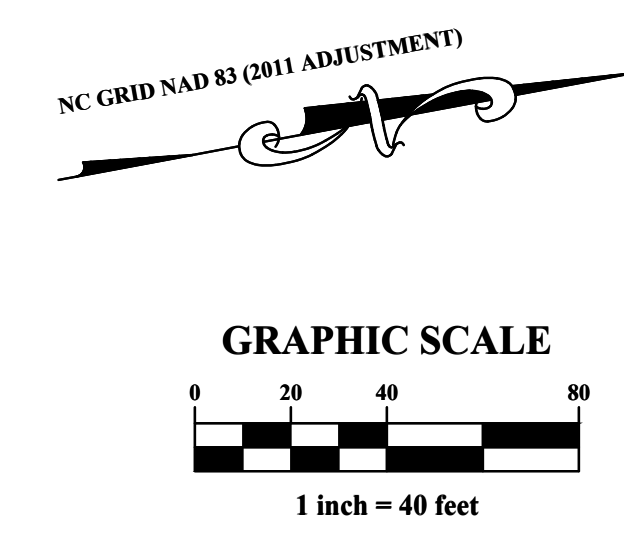
Existing Site Data Table

Owner:	Mitchell Mill, LLC
Address:	3805 MITCHELL MILL RD
PIN #:	1747-37-9686
Tract Data:	D.B. 12985 Pg. 56
Map Data:	B.M. 1981, Pg. 452 (Lot 6)
Lot Area (square feet):	455,731
Lot Area (acres):	10.462

PRE-DEVELOPED FLOW

Rational Method	Pre-Development Peak Runoff Rate (cfs)	
	Outlet 1	
2- year:	14.25	
10- year:	39.96	
25- year:	53.15	
100-year:	78.04	

TC = 11.9 MIN, CN = 74



PLAN PREPARED BY:
FIRM # C-2798

PLAN PREPARED FOR:

PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS

PRE DEVELOPED STORMWATER PLAN

Issue Dates:
05/15/2024: SUBDIVISION SUBMITTAL #1
07/30/2024: SUBDIVISION SUBMITTAL #2
09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number:
18-0004-742
Subdivision Number:
SUB-0027-2024
Drawing Number:
C.6.0

DEBBIE YARBROUGH
PIN: 1747-38-92681
DB 9208, PG 2301
BM 2001, PG 167
0.15 AC.
USE: SINGLE FAMILY

PIANKHY & TARA LUCAS
PIN: 1747-48-0217
DB 13163, PG 1188
BM 2001, PG 167
0.16 AC.
USE: SINGLE FAMILY

KEVIN & KESHA BAILEY
PIN: 1747-48-0266
DB 9192, PG 245
BM 2001, PG 167
0.16 AC.
USE: SINGLE FAMILY

BRIGHTON COMMUNITY ASSOCIATION, INC.
PIN: 1747-48-7340
DB 10933, PG 717
BM 2000, PG 1153
4.58 AC.
USE: OPEN SPACE

TRI & TAMMY DOAN
PIN: 1747-67-3893
DB 6965, PG 313
BM 1981, PG 452
9.43 AC.
USE: SINGLE FAMILY

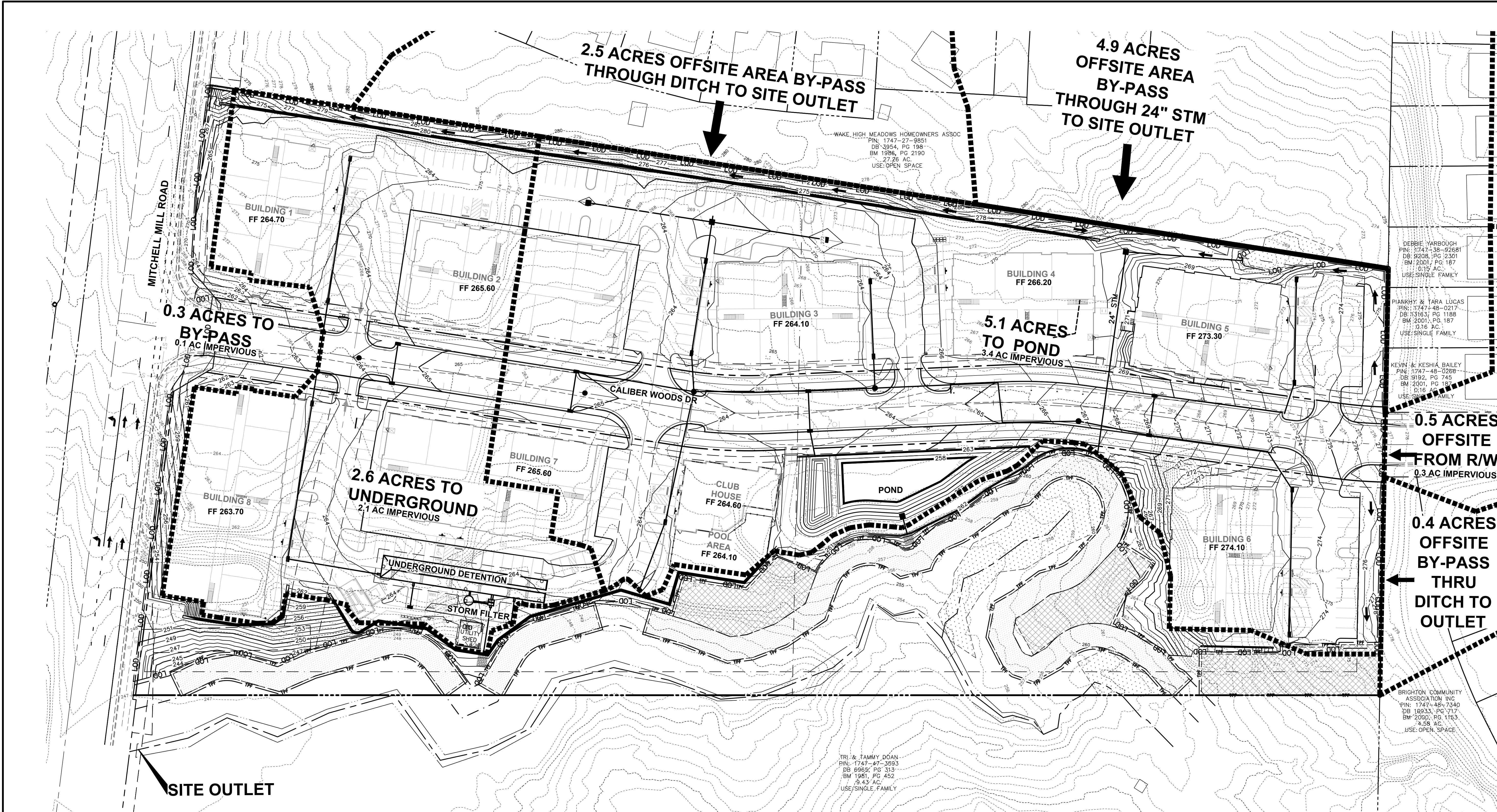
KE HIGH MEADOWS HOMEOWNERS ASSOC
PIN: 1747-27-9851
DB 3954, PG 136
BM 1986, PG 2190
27.26 AC.
USE: OPEN SPACE

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for 919.336.5127

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

dewitt
Carolinass

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STANDARD GRADING NOTES (AS APPLICABLE)

1. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
2. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
3. PROPOSED GRADES BY SEPARATE PLAN CONTOURS SHOWN AT 1 FOOT INTERVALS.
4. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED "STORM SEWER".
8. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TC XXX.XX.
14. IN CASE ON AN EMERGENCY OR MAINTENANCE RELATED ISSUES WITH THE POND, THE HAND WHEEL AND PLUG VALVE IS TO BE USED TO DRAW DOWN THE POND AS MUCH AS POSSIBLE. IF POND IS TO BE DRAWN DOWN COMPLETELY, OWNER IS TO COORDINATE WITH CONTRACTOR TO BRING IN PUMP TO PUMP OUT REMAINING WATER.
15. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
16. LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
17. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
18. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
19. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
20. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

LEGEND

- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- LIMITS OF DISTURBANCE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED TRIBUTARY AREA
- EXISTING TRIBUTARY AREA
- SURFACE FLOW ARROW
- EXISTING GROUND ELEVATION
- EXISTING TOP CASTING
- PROPOSED GROUND ELEVATION
- PROPOSED TOP OF CURB
- PROPOSED TOP CASTING
- PROPOSED IMPERVIOUS AREA

NC GRID NAD 83 (2011 ADJUSTMENT)

GRAPHIC SCALE

0 20 40 80
 1 inch = 40 feet

Rational Method	Pre-Development Peak Runoff Rate (cfs)	
	Outlet 1	
2- year:	14.25	
10- year:	39.96	
25- year:	53.15	
100-year:	78.04	
TC = 11.9 MIN, CN = 74		

Rational Method	Basin Post-Dev Peak Runoff Rate (cfs)	Total Post-Dev Peak Runoff Rate (cfs)
	Outlet 1	Outlet 1
2- year:	5.80	13.43
10- year:	22.15	39.64
25- year:	25.00	50.98
100-year:	33.31	63.93
TC = 15.0 MIN		

PLAN PREPARED BY:
 FIRM # C-2798

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ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinascivil
dewitt

PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
 FOR
DEWITT CAROLINAS
 POST DEVELOPED STORMWATER PLAN

Issue Dates:
 05/15/2024: SUBDIVISION SUBMITTAL #1
 07/30/2024: SUBDIVISION SUBMITTAL #2
 09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024
 Scale: 1" = 40'

Drawn By: JLB
 Checked By: JDW

Project Number:
18-0004-742

Subdivision Number:
SUB-0027-2024

Drawing Number:
C.6.1

MITCHELL MILL ROAD

WAKE HIGH MEADOWS HOMEOWNERS ASSOC
PIN: 1747-27-9851
DB 3954, PG 198
BM 1986, PG 2190
27.26 AC
USE: OPEN SPACE

BUILDING 1
FF 264.70

BUILDING 2
FF 265.60

BUILDING 3
FF 264.10

BUILDING 4
FF 266.20

BUILDING 5
FF 273.30

BUILDING 8
FF 263.70

BUILDING 7
FF 265.60

CLUB HOUSE

POOL AREA

BUILDING 6
FF 274.10

STANDARD UTILITY NOTES (AS APPLICABLE):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to wateline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to wateline specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure
- Install 1.5" - 2" copper water services with meters located at ROW or within a 2'x2' Wateline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
- Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephen.calverley@raleighnc.gov for more information
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained for each device prior to issuance of a Building Permit. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

NOTES:

- REMAINING WATER AND SANITARY SEWER MAINS THAT HAVE NOT BEEN ABANDONED, MUST BE TESTED TO ENSURE THEY MEET RALEIGH PUBLIC WATER MAIN STANDARDS.

CODED NOTE
A CITY OF RALEIGH PUBLIC WATERLINE EASEMENT

TRI & TAMMY DOAN
PIN: 1747-47-3593
DB 6965, PG 313
BM 1981, PG 452
9.43 AC
USE: SINGLE FAMILY

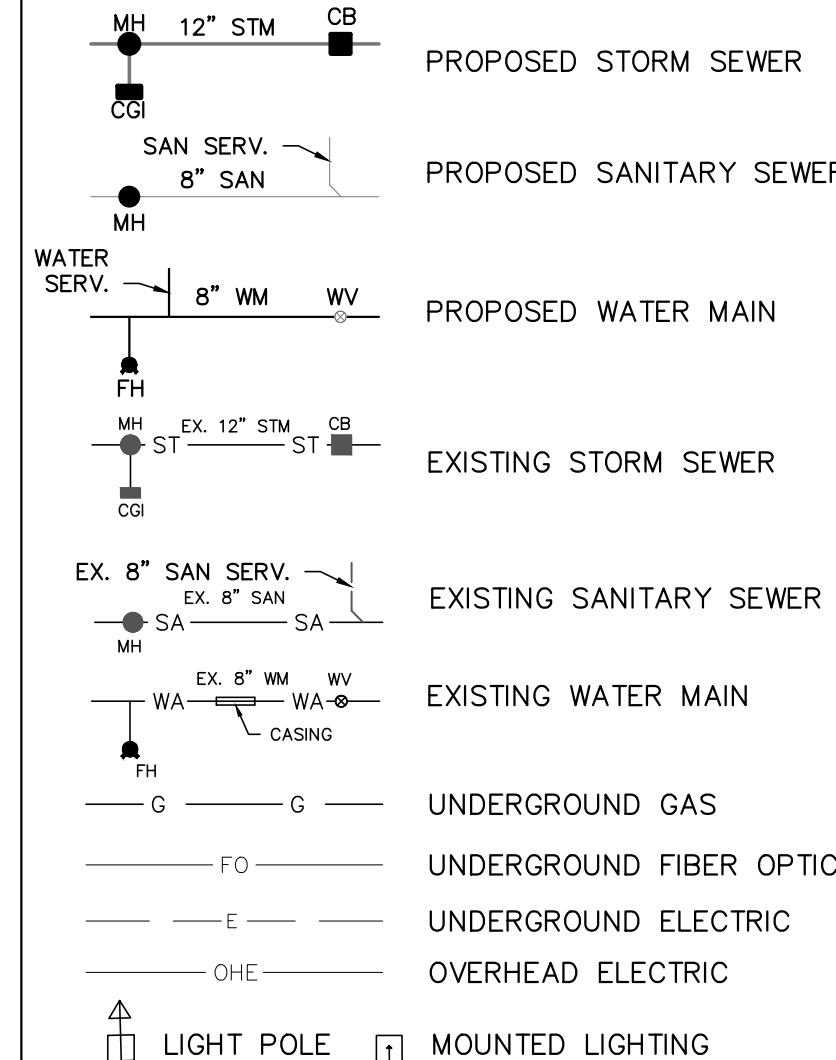
BRIGHTON COMMUNITY ASSOCIATION INC
PIN: 1747-48-7340
DB 10933, PG 717
BM 2000, PG 1153
4.58 AC
USE: OPEN SPACE

DEBBIE YARBOUGH
PIN: 1747-38-92681
DB 9208, PG 2301
BM 2001, PG 187
0.15 AC
USE: SINGLE FAMILY

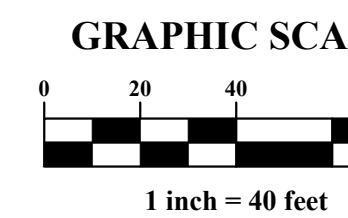
PIANKHY & TARA LUCAS
PIN: 1747-48-0217
DB 13163, PG 1188
BM 2001, PG 187
0.16 AC
USE: SINGLE FAMILY

KEVIN & KESHIA BAILEY
PIN: 1747-48-0266
DB 9192, PG 745
BM 2001, PG 187
0.16 AC
USE: SINGLE FAMILY

LEGEND



NOTE:
BUILDING FOOTPRINTS, PARKING LOTS, BUILDING/PARKING SETBACKS, RETAINING WALLS, FINISHED FLOOR ELEVATIONS, FIRE & DOMESTIC WATER SERVICE SIZING/ROUTING, AND SEWER SERVICE SIZING/ROUTING ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY



PRELIMINARY SUBDIVISION PLAN
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

MITCHELL MILL SUBDIVISION
FOR
DEWITT CAROLINAS
UTILITY PLAN

Issue Dates:
05/15/2024: SUBDIVISION SUBMITTAL #1
07/30/2024: SUBDIVISION SUBMITTAL #2
09/06/2024: SUBDIVISION SUBMITTAL #3

Date: 09/06/2024

Scale: 1" = 40'

Drawn By: JLB Checked By: JDW

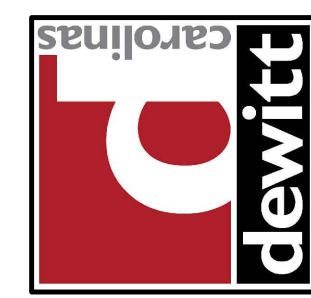
Project Number: 18-0004-742

Subdivision Number: SUB-0027-2024

Drawing Number: C.7.0

PLAN PREPARED BY:
FIRM # C-2798

PLAN PREPARED FOR:



51 Kilmoyne Drive
Suite 102
Cory, North Carolina 27511
ph 919.481.6290
fax 919.336.5127

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

C:\18-0004-742\c:\wco\production\drawings\development\plan\SUB-Fire Department Access Plan.dwg Sep 06, 2024 - 11:13:54am Shutchason



WAKE HIGH MEADOWS HOMEOWNERS ASSOC
 PIN: 1747-27-9851
 DB 3954, PG 198
 BM 1986, PG 2190
 27.26 AC.
 USE: OPEN SPACE

DEBBIE YARBROUGH
 PIN: 1747-38-92681
 DB 9208, PG 2301
 BM 2001, PG 187
 0.15 AC.
 USE: SINGLE FAMILY

PIANKHY & TARA LUCAS
 PIN: 1747-48-0217
 DB 13163, PG 1188
 BM 2001, PG 187
 0.16 AC.
 USE: SINGLE FAMILY

KEVIN & KESHIA BAILEY
 PIN: 1747-48-0266
 DB 9192, PG 745
 BM 2001, PG 187
 0.16 AC.
 USE: SINGLE FAMILY

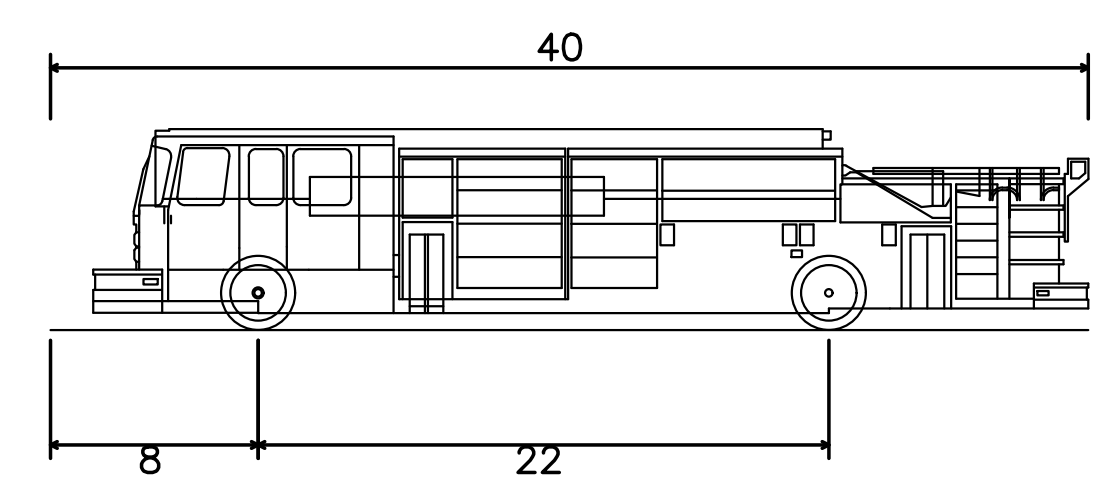
BRIGHTON COMMUNITY ASSOCIATION INC
 PIN: 1747-48-7340
 DB 10933, PG 717
 BM 2000, PG 1153
 4.58 AC.
 USE: OPEN SPACE

TRI & TAMMY DOAN
 PIN: 1747-47-3593
 DB 6965, PG 313
 BM 1981, PG 452
 9.43 AC.
 USE: SINGLE FAMILY

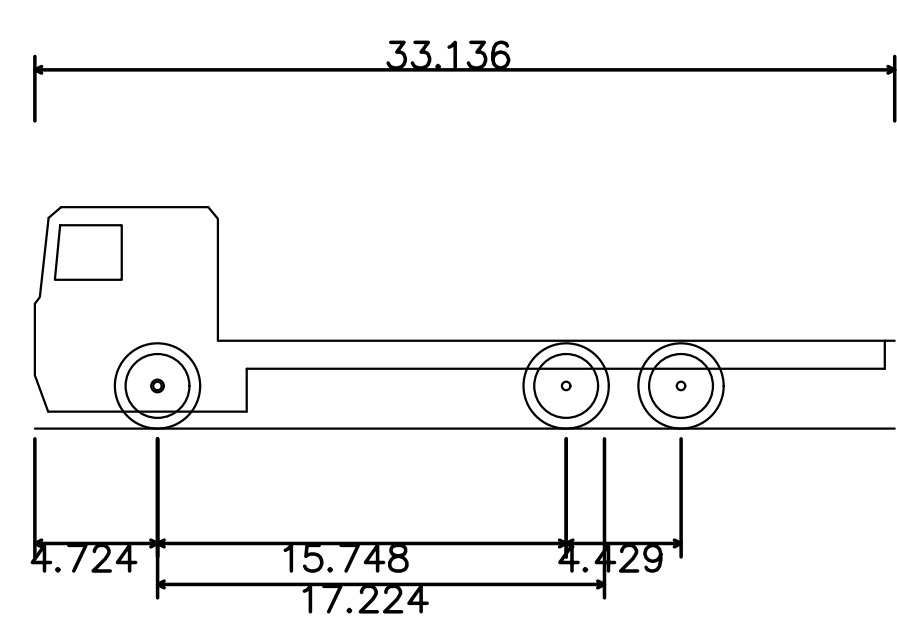
NOTE:
 BUILDING FOOTPRINTS, PARKING LOTS, BUILDING/PARKING SETBACKS, RETAINING WALLS, AND FIRE & DOMESTIC WATER SERVICE SIZING/ROUTING, ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY

PLAN NOTES
 BUILDING CONTAINS NFPA 13 AUTOMATIC SPRINKLER SYSTEM.

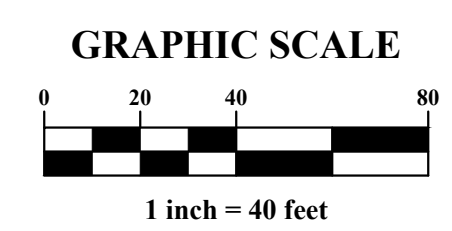
LEGEND	
	EX. RIGHT-OF-WAY
	EX. BOUNDARY LINE
	PR. BOUNDARY LINE
	SETBACK LINE
	TRUCK BODY OVERHANG
	OUTER TIRE PATH
	HYDRANT HOSE PULL LINE



Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



Mercedes Actros Rigid 6x2 2536L
 Overall Length 33.136ft
 Overall Width 8.182ft
 Overall Body Height 11.466ft
 Min Body Ground Clearance 0.656ft
 Max Track Width 8.182ft
 Lock-to-lock time 5.00s
 Wall to Wall Turning Radius 33.136ft
ROLL-OFF FLATBED TRUCK EQUIVALENT



PRELIMINARY SUBDIVISION PLAN
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
MITCHELL MILL SUBDIVISION
 FOR
DEWITT CAROLINAS
FIRE DEPARTMENT ACCESS PLAN

Issue Dates:
 05/15/2024: SUBDIVISION SUBMITTAL #1
 07/30/2024: SUBDIVISION SUBMITTAL #2
 09/06/2024: SUBDIVISION SUBMITTAL #3
Date: 09/06/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

Project Number: 18-0004-742
Subdivision Number: SUB-0027-2024
Drawing Number:

C.8.0

PLAN PREPARED BY:
 FIRM # C-2798

PLAN PREPARED FOR:

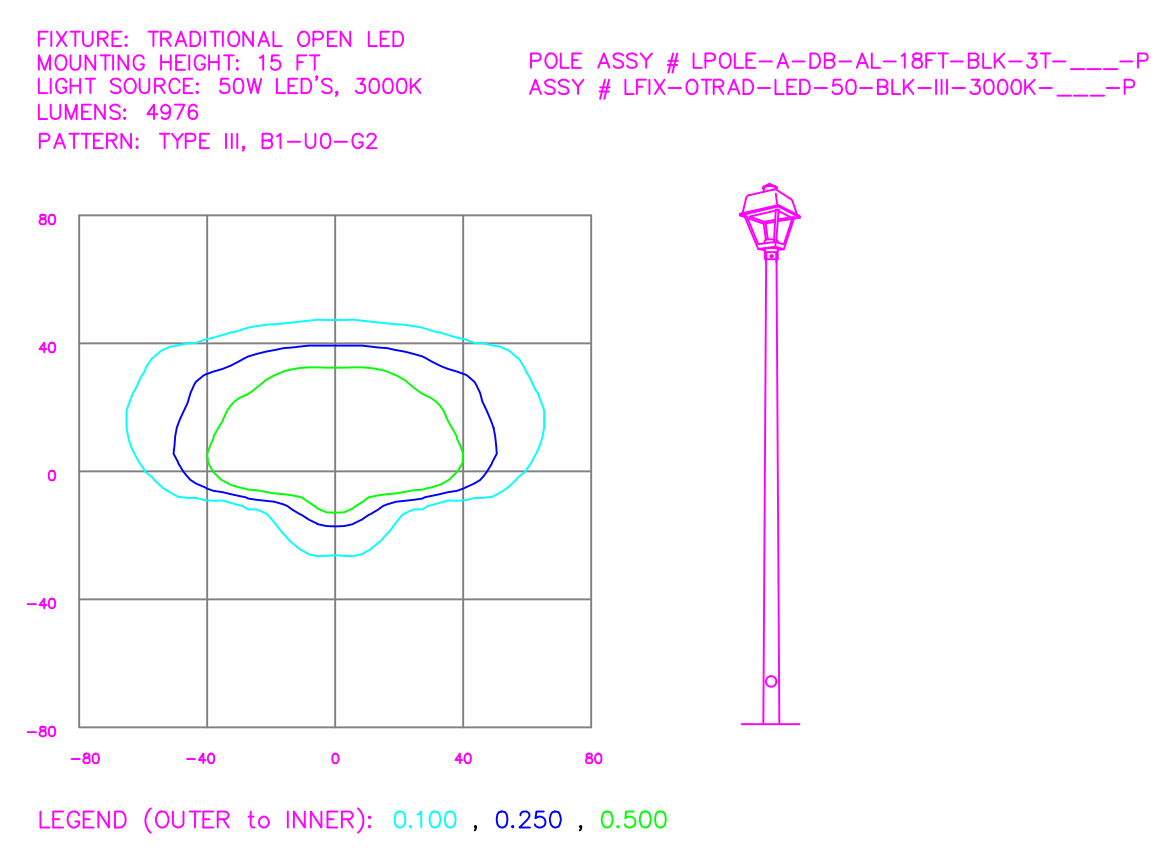


ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmoyne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.336.5127

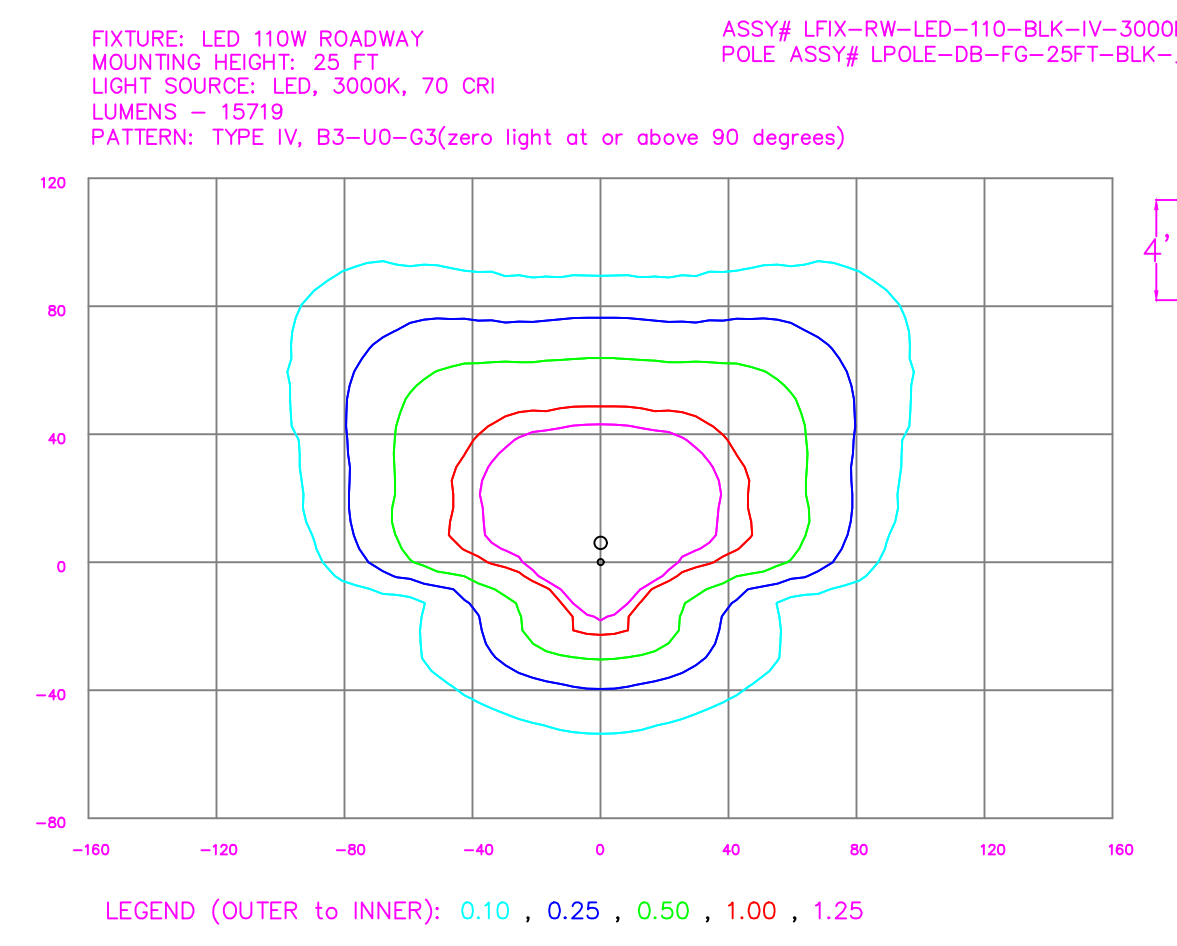
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.1 fc	2.8 fc	0.3 fc	9.3:1	3.7:1
Street	✕	0.7 fc	2.3 fc	0.1 fc	23.0:1	7.0:1

Schedule						
Symbol	Label	QTY	Description	Number Lamps	Lamp Output	LLF
✕	A	12	LED 110w Roadway – Type IV – 3000K	1	15719	0.85
⊙	B	7	LED 50w Open Traditional – Type III – 3000K	24	207	0.85

ISOFOOTCANDLE CURVES



ISOFOOTCANDLE CURVES



Roadway LED

Light source: LED (white)
Wattage: 110 | 150 | 200 | 280 watts
Light pattern: IESNA Type IV | Type IV (forward throw)
IESNA cutoff classification: ICUL03
BUD rating:
Type IV = BUD03 (110W), BUD03 (150W), BUD04 (200W/280W)
Type IV = BUD03 (110W), BUD03 (150W), BUD04 (200W/280W)
Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Flagless	25', 30', 35'	Onq, Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)	25', 30', 35'	Galvanized

FEATURES

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

BENEFITS

- Provides hassle-free installation and service
- Free up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates sign and associated noise bills
- Convenience and savings for you

For additional information, contact us at DUKEENERGYPROGRESS@dukeenergy.com

DUKE ENERGY PROGRESS

Open Traditional LED

Light source: LED (white)
Wattage: 50 watts
Light pattern: IESNA Type III | Type V
IESNA cutoff classification: Full-cutoff
BUD rating: Type III = BUD02, Type V = BUD02
Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12', 15', 17'	Black
Flagless	14'	Black
Fluted concrete	13'	Black
Decorative aluminum	12', 16'	Black

FEATURES

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

BENEFITS

- Provides hassle-free installation and service
- Free up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates sign and associated repair bills
- Convenience and savings for you

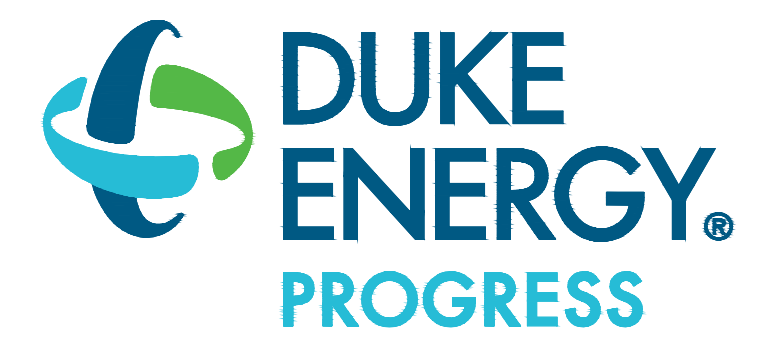
For additional information, contact us at DUKEENERGYPROGRESS@dukeenergy.com

DUKE ENERGY PROGRESS



LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

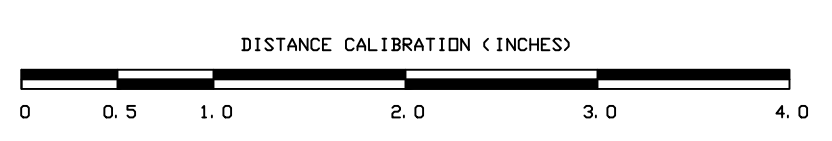


PROPRIETARY & CONFIDENTIAL

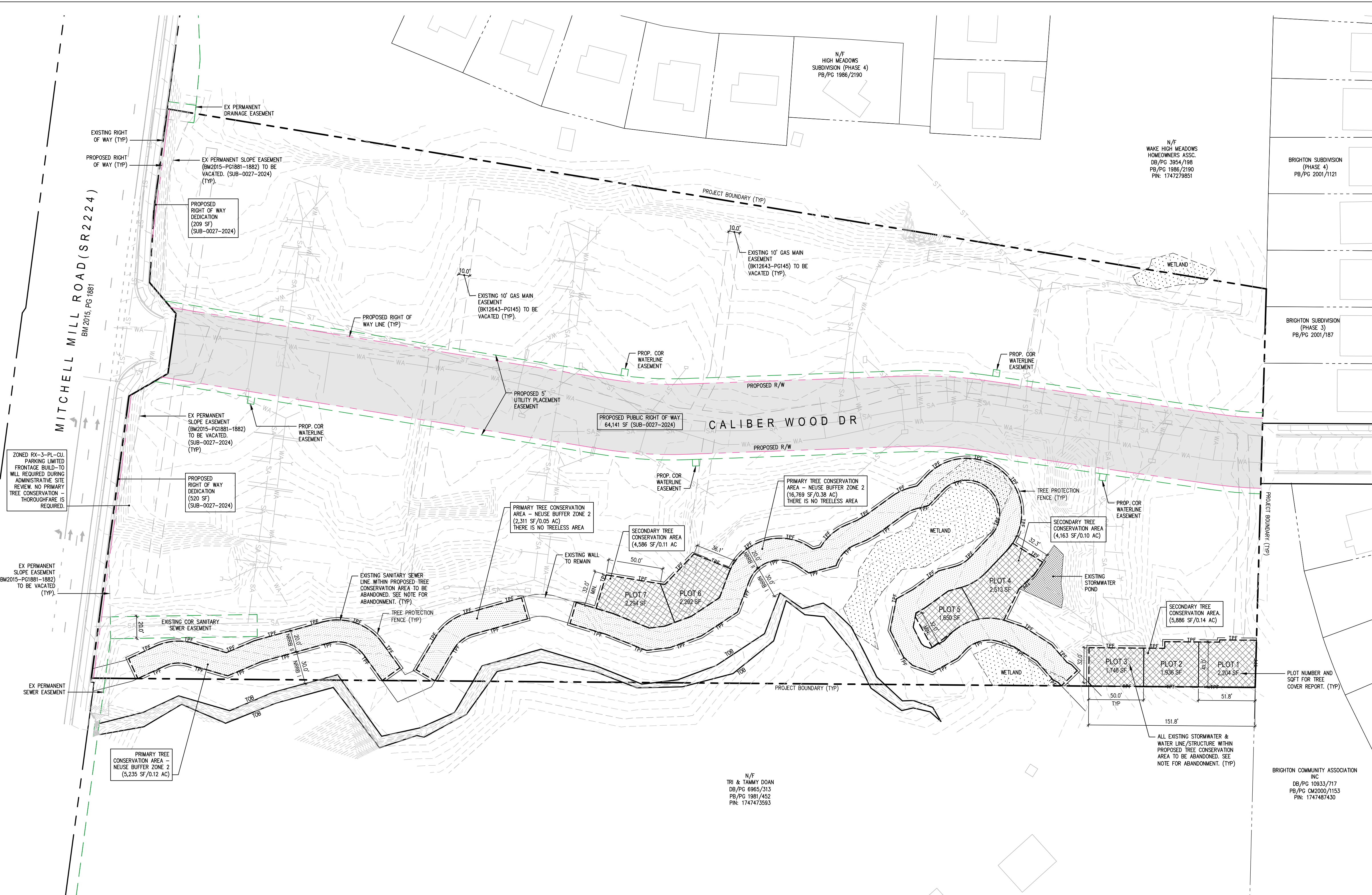
This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

MITCHELL MILL APARTMENTS	
Raleigh, NC	
SITE LIGHTING ARRANGEMENT	
Designed by DUKE ENERGY PROGRESS LIGHTING SOLUTIONS	
Reviewed by N. Johnson	Scale 1" = 40'
Date 05/15/2024	Size Drawing size "D"
Description Black LED Open Traditional & Roadway	
Drawing No. 24-0194A	Sht. 1 OF 1

NO.	DATE	REVISION	BY



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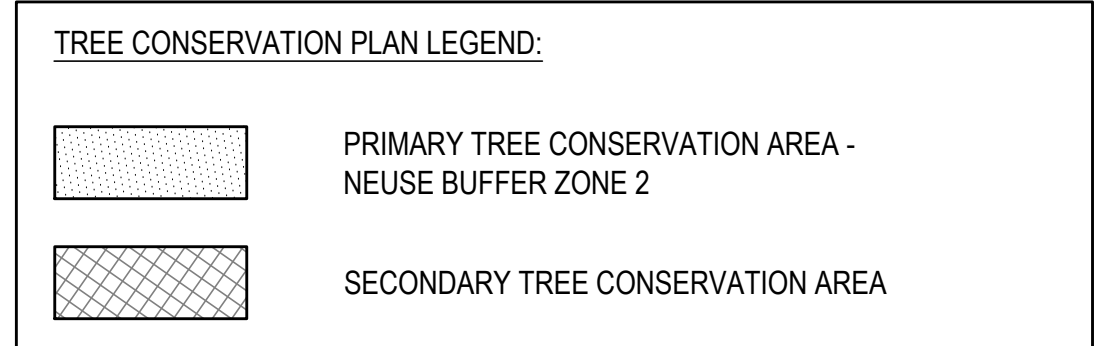


Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(include applicable information on the plan sheet)

Project Name: Mitchell Mill Subdivision

Gross Site Acres: 10.46 ac
Right-of-way to be dedicated with this project: 1.49 ac
Net Site Acres: 8.97 ac

	Number of Acres	Percent of Tract
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	0.00 ac	0.00 %
1. Primary Tree Conservation Area - SHOD 2	0.00 ac	0.00 %
2. Primary Tree Conservation Area - Parkway Frontage	0.00 ac	0.00 %
3. Primary Tree Conservation Area - CM	0.00 ac	0.00 %
4. Primary Tree Conservation Area - MPOD	0.00 ac	0.00 %
5. Primary Tree Conservation Area - Champion tree XX" dbh species	0.00 ac	0.00 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.55 ac	6.13 %
7. Primary Tree Conservation Area - 45% Slopes	0.00 ac	0.00 %
8. Primary Tree Conservation Area - Thoroughfare	0.00 ac	0.00 %
Subtotal of Primary Tree Conservation Areas:	0.55 ac	6.13 %
UDO 9.1.4.D.2 Tree Conservation Areas - Greenway		
	0.00 ac	0.00 %
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (include perimeter buffers and their alternate compliance areas)		
	0.35 ac	3.90 %
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (include individual trees and their alternate compliance areas)		
	0.00 ac	0.00 %
Subtotal of Secondary Tree Conservation Areas:	0.35 ac	3.90 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0.90 ac	10.03 %
UDO 9.1.9. Watershed Protection Overlay Districts		
UWPOD - Wooded area (preserved)	0.00 ac	0.00 %
UWPOD - Wooded area (planted)	0.00 ac	0.00 %
FWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
FWPOD - Wooded Area (planted)	0.00 ac	0.00 %
SWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
SWPOD - Wooded Area (planted)	0.00 ac	0.00 %



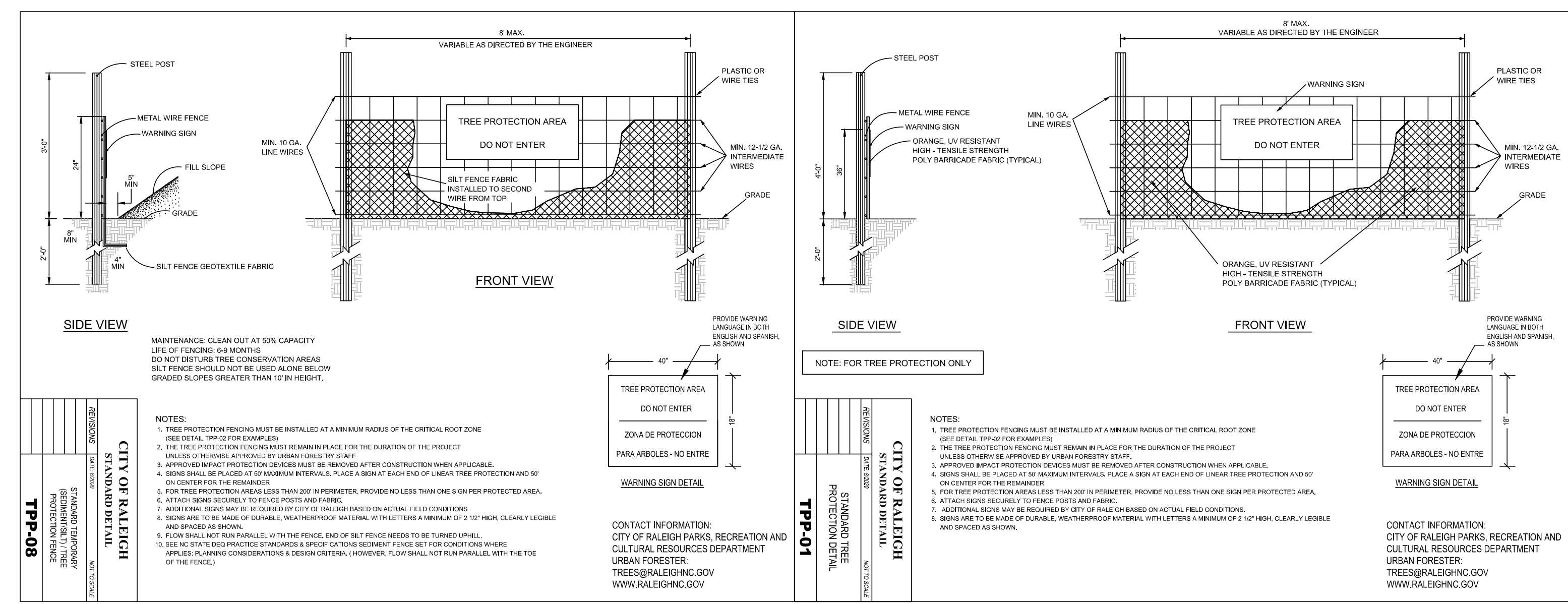
NEUSE BUFFER ZONE II NOTE:

1. THE NEUSE BUFFER ZONE II INNER BOUNDARY IS TWENTY (20) FEET PARALLEL TO OUTER BOUNDARY.

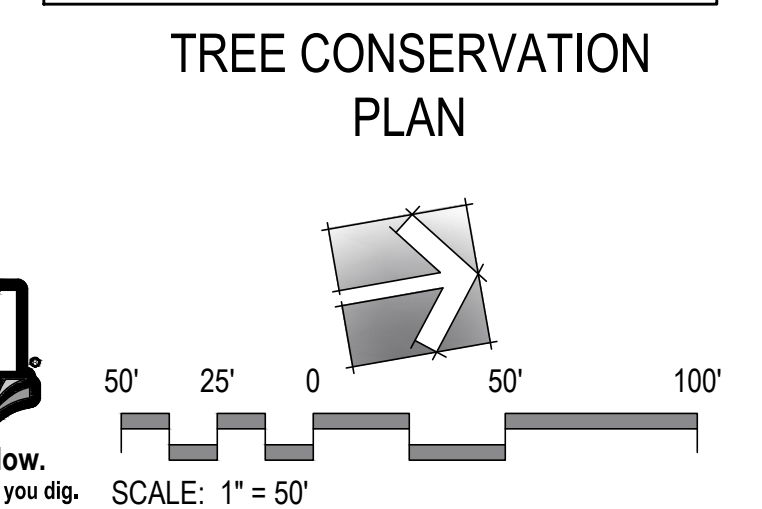
EXISTING STORMWATER/SANITARY WATER STRUCTURE ABANDONMENT IN PROPOSED TREE CONSERVATION AREAS

ALL EXISTING STORMWATER/SANITARY WATER LINES AND THE STRUCTURES WITHIN PROPOSED TREE CONSERVATION AREAS TO BE ABANDONED.
PIPES TO BE CUT OUTSIDE OF TREE CONSERVATION AREA AND CAP TO BE PLACED FOR PIPE ABANDONMENT. CATCH BASIN GRATE/FINWOOD COVER AND AIR RELEASE MANHOLE AT GRADE TO BE REMOVED BY HAND PRIOR TO TREE PROTECTION FENCE INSTALLATION. REFER TO C.2.0 DEMOLITION PLAN.

REFER TO TREE COVER REPORT BY MICHAEL J. PERRY, NORTH CAROLINA REGISTERED FORESTER.



SUB-XXXX-2024
REFERENCE: REZN-82-2022;
SCOPE-102-203; ASR-0015-2024

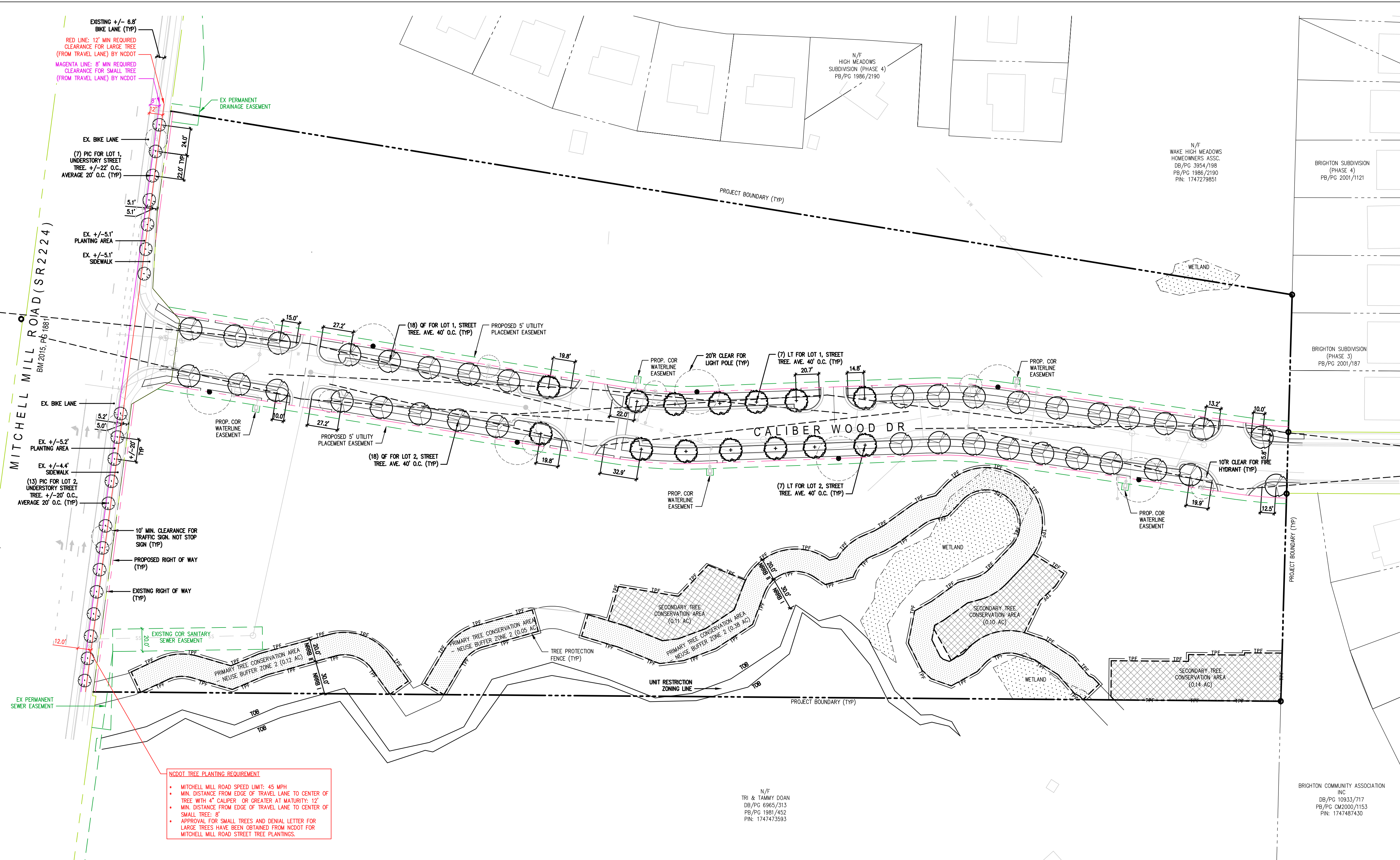


PRELIMINARY SUBDIVISION REVIEW ONLY. NOT FOR CONSTRUCTION.

Dewitt Carolinas
Mitchell Mill Subdivision
3805 Mitchell Mill Road
Raleigh, North Carolina 27616

PROJECT:	DEWITT-23023	DATE:	
ISSUE:	Preliminary Subdivision	DATE:	05.15.2024
REVISIONS:			
	1st Review Comments		07.30.2024
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	TREE CONSERVATION PLAN		

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NCDOT TREE PLANTING REQUIREMENT

- MITCHELL MILL ROAD SPEED LIMIT: 45 MPH
- MIN. DISTANCE FROM EDGE OF TRAVEL LANE TO CENTER OF TREE WITH 4" CALIPER OR GREATER AT MATURITY: 12'
- MIN. DISTANCE FROM EDGE OF TRAVEL LANE TO CENTER OF SMALL TREE: 8'
- APPROVAL FOR SMALL TREES AND DENIAL LETTER FOR LARGE TREES HAVE BEEN OBTAINED FROM NCDOT FOR MITCHELL MILL ROAD STREET TREE PLANTINGS.

City of Raleigh UDO Landscape & Screening Requirements
 Project: Mitchell Mill Subdivision
 Date: 05.15.2024 (Rev. 07.30.2024)

Zoning	RX-3-PL-CU
Proposed Lot 1	
Street Trees (Mitchell Mill Road / NCDOT SR 2224)	
Length of Right of Way	159' LF
Understory Trees Required (1.5' cal. @ 20' o.c. average) (round down)	7 EA
Understory Trees Provided (1.5' cal. @ 20' o.c. average)	7 EA
Street Trees (Caliber Woods Drive)	
Length of Right of Way	1,004' LF
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average) (round down)	25 EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)	25 EA
Proposed Lot 2	
Street Trees (Mitchell Mill Road / NCDOT SR 2224)	
Length of Right of Way	261' LF
Understory Trees Required (1.5' cal. @ 20' o.c. average) (round down)	13 EA
Understory Trees Provided (1.5' cal. @ 20' o.c. average)	13 EA
Street Trees (Caliber Woods Drive)	
Length of Right of Way	1,010' LF
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average) (round down)	25 EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)	25 EA

- LANDSCAPE NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
 - THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
 - ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
 - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
 - ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
 - ALL LAWN AREAS TO BE SEEDED ORLAND SOODED AS PER MANUFACTURE'S SPECIFICATIONS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
 - ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
 - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TTP-03 AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
 - MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
 - TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
 - TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
 - TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
 - CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
 - A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
 - THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

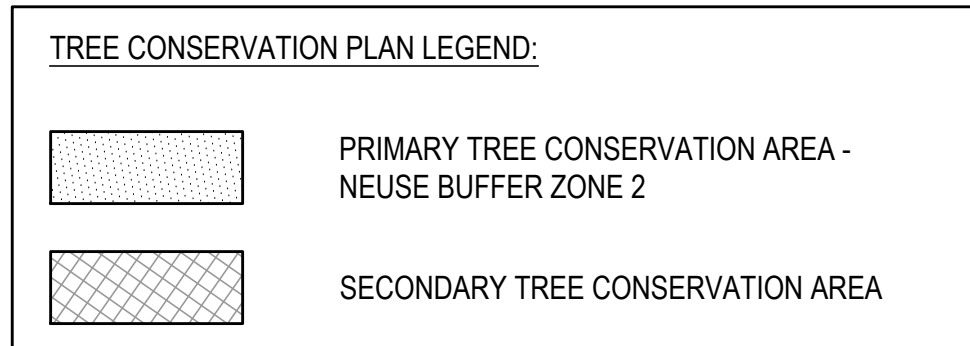
DECIDUOUS SHADE TREE - STREET TREE (SINGLE STEM)

- (LT) LIRIODENDRON TULIPIFERA / TULIP POPLAR STREET TREE
- (QF) QUERCUS FALCATA / SOUTHERN RED OAK STREET TREE
- (PIC) PISTACIA CHINENSIS / CHINESE PISTACHE STREET TREE (NCDOT STREET)

MISC.

- LIGHT POLE WITH 20R CLEARANCE
- FIRE HYDRANT WITH 10R CLEARANCE

EXISTING AND PROPOSED EASEMENT
 NCDOT 12' CLEAR ZONE FOR LARGE STREET TREE
 NCDOT 8' CLEAR ZONE FOR SMALL STREET TREE



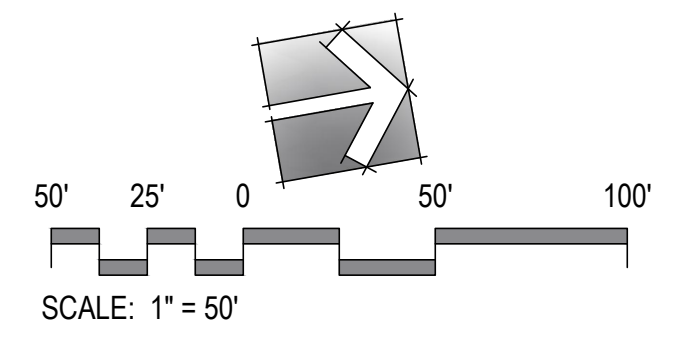
SEE L9.10 FOR CITY OF RALEIGH LANDSCAPE DETAILS AND NOTES

PLANT LIST (For L4.00 Sheet Plant Only)

Lot 1									
T R E E S (All tree to be Single Stem)									
QTY	SYM	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALL CALIPER	MINIMUM INSTALL HEIGHT	MATURE SIZE HEIGHT	MATURE SIZE SPREAD	REMARKS	
7	LT	Liriodendron tulipifera	Tulip Poplar	3" MIN	10' MIN	40'	70'-90'	Street Tree/Deciduous Shade Tree/Singel Stem	
7	PIC	Pistacia chinensis	Chinese Pistache	1.5" MIN	6' MIN	30'-35'	20'-25'	Street Tree/Deciduous Small Tree/Singel Stem	
18	QF	Quercus falcata	Southern Red Oak	3" MIN	10' MIN	75'	65'	Street Tree/Deciduous Shade Tree/Singel Stem	
Lot 2									
T R E E S (All tree to be Single Stem)									
QTY	SYM	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALL CALIPER	MINIMUM INSTALL HEIGHT	MATURE SIZE HEIGHT	MATURE SIZE SPREAD	REMARKS	
7	LT	Liriodendron tulipifera	Tulip Poplar	3" MIN	10' MIN	40'	70'-90'	Street Tree/Deciduous Shade Tree/Singel Stem	
13	PIC	Pistacia chinensis	Chinese Pistache	1.5" MIN	6' MIN	30'-35'	20'-25'	Street Tree/Deciduous Small Tree/Singel Stem	
18	QF	Quercus falcata	Southern Red Oak	3" MIN	10' MIN	75'	65'	Street Tree/Deciduous Shade Tree/Singel Stem	

SUB-0027-2024
 REFERENCE: REZN-82-2022;
 SCOPE-102-203; ASR-0015-2024

CODE COMPLIANCE LANDSCAPE PLAN

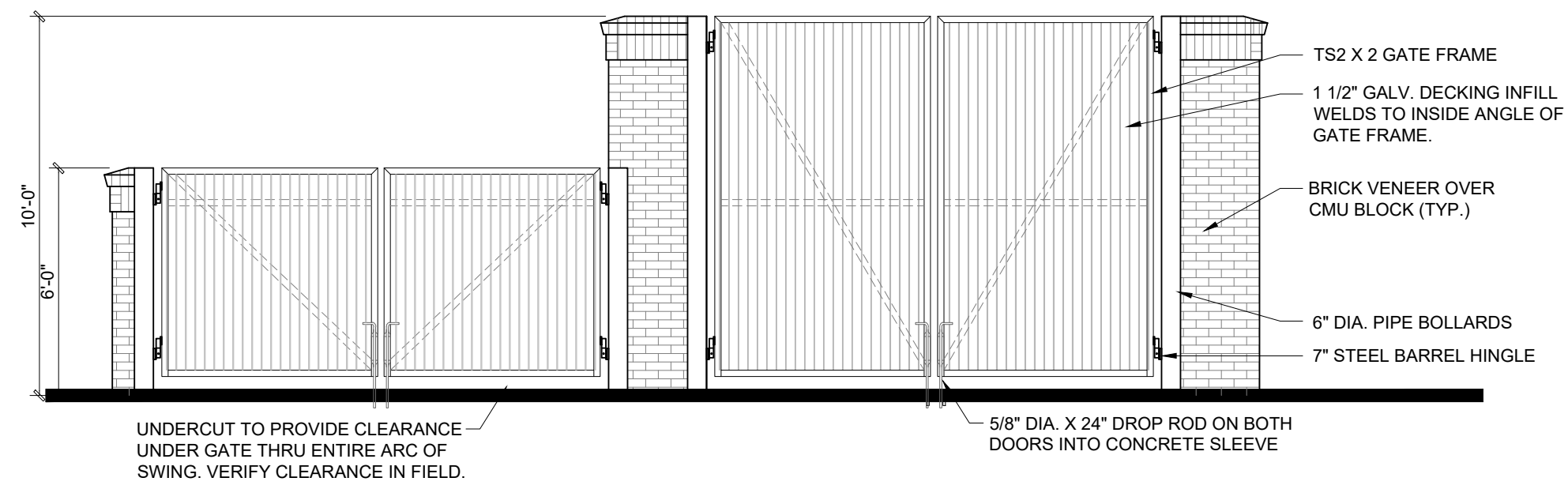


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Dewitt Carolinas
Mitchell Mill Subdivision
3805 Mitchell Mill Road
 Raleigh, North Carolina 27616

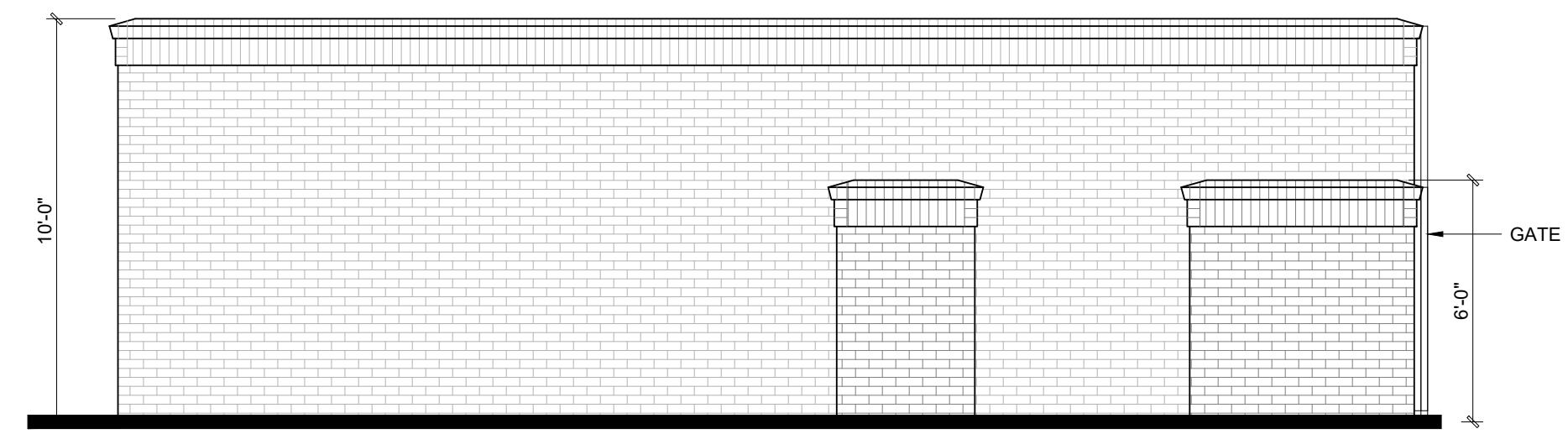
PROJECT:	DEWITT-23023	DATE:	
ISSUE:	Preliminary Subdivision	05.15.2024	
REVISIONS:	1st Review Comments	07.30.2024	
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	CODE COMPLIANCE LANDSCAPE PLAN		

L4.00

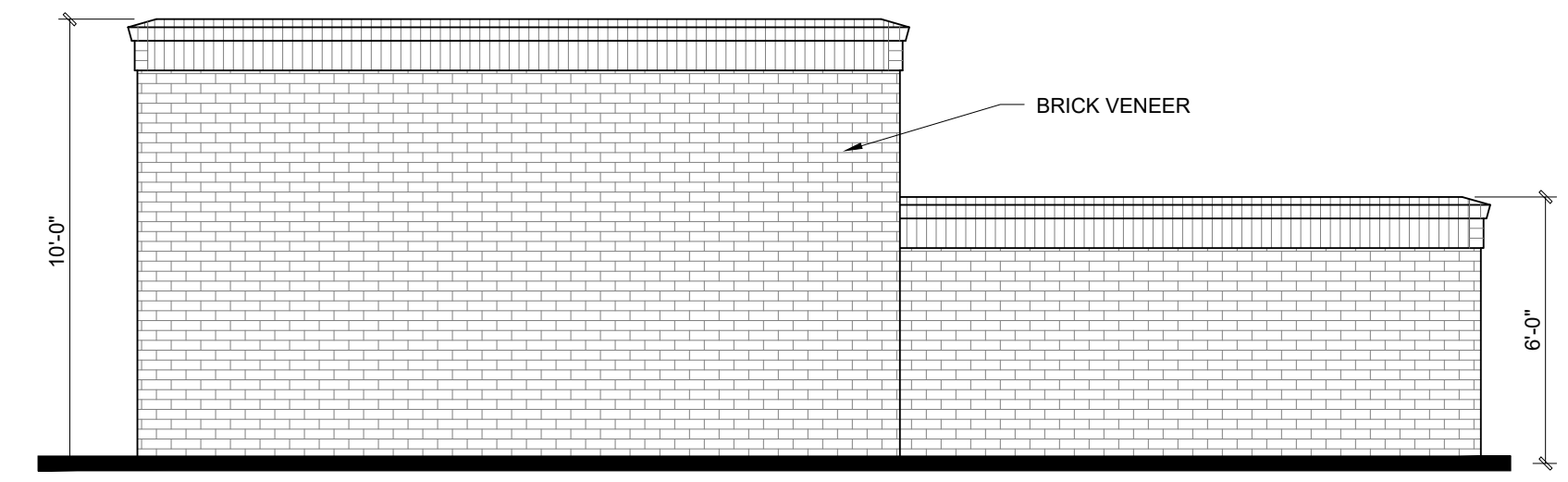


FRONT ELEVATION

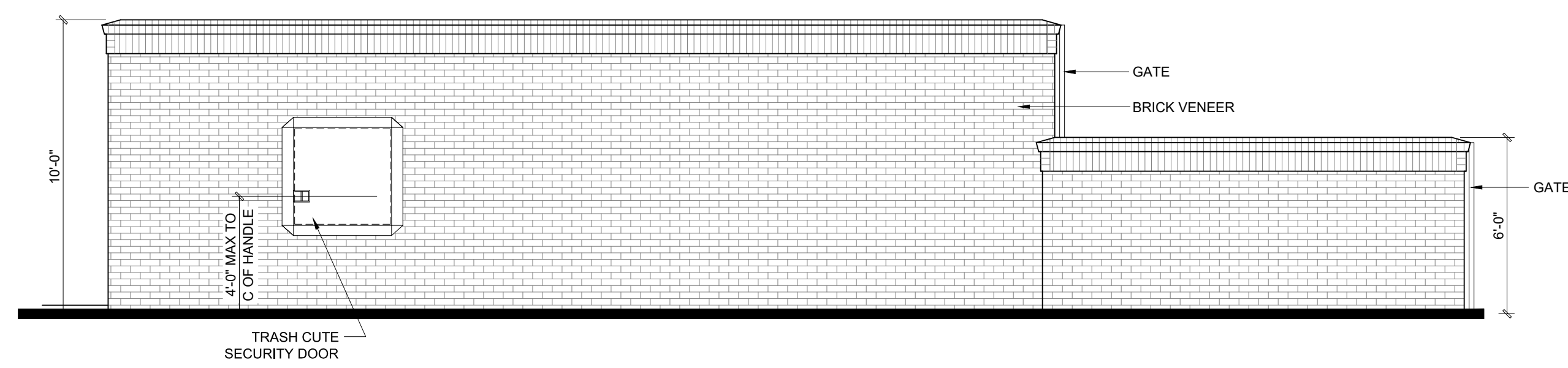
ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	= ASPHALT SHINGLE ROOF
	= STANDING SEAM METAL ROOF
	= FIBER CEMENT SIDING
	= FIBER CEMENT PANEL BD. W/ 2\"/>
	= BRICK VENEER
	= ROWLOCK/SOLDIER



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

TRASH COMPACTOR ENCLOSURE

Scale: 1/4" = 1'-0"



Mitchell Mill Apartments
Dewitt Carolinas
Raleigh, NC

TCP