



Administrative Approval Action

Case File / Name: SUB-0028-2022
DSLCL - SUNNYBROOK ROAD TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of New Bern Avenue, north of Poole Road at 505 Sunnybrook Road. Part of the site is outside the city limits.

REQUEST: Development of a R-6 zoned, 1.83 acre/79,748 sf tract into proposed 18 lots, 17 multi-units (townhomes) residential lots and 1 HOA maintained Common Lot. A total right-of-way dedication of .02 acres/952 sf leaving a net area of 1.81 acres/78,796 sf for the site.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 28, 2022 by Swift Partners PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Applicant revises the density townhome data table, shown on sheet C3, for the 'provided' area sf.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.
2. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots into a single tract.
3. Provide documentation indicating a Property Owner's Association has been established for the subject development.

Engineering

4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
5. A 10' slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public street right-of-way deed of easement (18.40'), in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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7. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

8. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
9. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

10. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
13. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
14. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

15. A public infrastructure surety for (3) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (3) street trees along Sunnybrook Rd.

The following are required prior to issuance of building occupancy permit:

General

1. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. All street lights and street signs required as part of the development approval are installed.

Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: October 19, 2025
Record at least ½ of the land area approved.

5-Year Sunset Date: October 19, 2027
Record entire subdivision.



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I hereby certify this administrative decision.

Signed: _____ *Daniel L. Stegall* _____ Date: 10/19/2022
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**

SUNNYBROOK ROAD TOWNHOMES

505 SUNNYBROOK ROAD / 505 1/2 SUNNYBROOK ROAD

CITY OF RALEIGH SUBMITTAL
SUB-0028-2022

SUBMITTED ON: 09/28/2022

Preliminary Subdivision Application Planning and Development

Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-998-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SubReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 10.2.5)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s): SUB-0028-2022			
Development name (subject to approval): SUNNYBROOK ROAD RESIDENTIAL			
Property Address(es): 505 SUNNYBROOK ROAD / 505 1/2 SUNNYBROOK ROAD			
Recorded Deed PIN(s): 1723377014/1723470095			
What is your project type?			
<input type="checkbox"/> Single family	<input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Non-residential
<input type="checkbox"/> Other	<input type="checkbox"/> Attached houses		
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION			
NOTE: Please attach purchase agreement when submitting this form.			
Company: REDEEMING DEVELOPMENT GROUP Owner/Developer Name and Title: COBURN MURRAY MANAGER			
Address: 618 CUMBERLAND ST. RALEIGH, NC 27610			
Phone #: 919.630.1858 Email: COBURN@RDDESIGNBUILD.COM			
APPLICANT INFORMATION			
Company: SWIFT PARTNERS PLLC Contact Name and Title: LUKE PERKINS			
Address: 319 FAYETTEVILLE ST. RALEIGH NC 27601			
Phone #: 828.735.1862 Email: LUKE.PERKINS@SWIFT-PARTNERS.COM			

Continue to page 2 >>>

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DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Cross site acreage: 1.83 AC / 79,748 SF	
Zoning districts (if more than one, provide acreage of each): R-6	
Overlay district NA	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case #: Z- _____ Board of Adjustment (BOA) Case #: A- _____	
STORMWATER INFORMATION	
Existing Impervious Surface: Acreage: 0.17 Square Feet: 7,364	Proposed Impervious Surface: Acreage: 0.19 Square Feet: 8,184
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached: _____ Attached: 17
Total # of single-family lots: 17	
Proposed density for each zoning district (UDO 15.2.F): R-6: Net Site Area Per Unit Min = 4,500 sf	
Total # of open spaces and/or common area lots: 1	
Total # of requested lots: 18	
SIGNATURE BLOCK	
The undersigned certifies that the property owner(s) is aware of the application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <u>Luke Perkins</u> , will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) at any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>[Signature]</u>	Date: 09/28/2022
Printed Name: <u>Luke Perkins</u>	Date: 09/28/2022
Please email your completed application to SubReview@raleighnc.gov .	

raleighnc.gov

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Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.20	GENERAL NOTES
C1.00	EXISTING CONDITIONS PLAN
C2.00	DEMOLITION PLAN
C3.00	SUBDIVISION PLAN
C5.00	GRADING AND DRAINAGE PLAN
C5.10	SCM DETAILS
C6.00	UTILITY PLAN
C9.00	SITE DETAILS
L5.00	PLANTING PLAN



VICINITY MAP

SITE DATA

PROJECT NAME:	SUNNYBROOK ROAD TOWNHOMES
SITE ADDRESS:	505 SUNNYBROOK ROAD / 505 1/2 SUNNYBROOK ROAD
COUNTY:	WAKE
PARCEL PIN #:	1223377014/1723470095
REDEEMING DEVELOPMENT GROUP LLC	
PARCEL AREA:	1.83 AC 79,748 SF
TOTAL SITE GROSS ACREAGE:	1.83 AC 79,748 SF
ROW DEDICATION:	0.02 AC / 952 SF
NET ACREAGE:	1.81 AC 78,796 SF
CURRENT ZONING:	R-6
PROPOSED ZONING:	R-6
EXISTING LAND USE:	SINGLE-FAMILY LOTS
PROPOSED LAND USE:	MULTI-FAMILY DWG
FLOOD PLAN DATA:	NA
DEVELOPMENT TYPE:	TOWNHOUSE
MAX BUILDING HEIGHT:	47'3 STOREYS
OVERLAY DISTRICT:	NONE
MAX LOT SIZE:	1.83 AC / 69,989 SF
MAX BUILDING HEIGHT:	47'3 STOREYS
PROPOSED BUILDING HEIGHT:	37'
PROPOSED NUMBER OF LOTS:	18
PROPOSED NUMBER OF TOWNHOUSE LOTS:	17 (1 BEERCOM)
PROPOSED NUMBER OF HOA LOTS:	1
REQUIRED DENSITY:	4.50 SF / UNIT
PROPOSED DENSITY:	79.796 SF / 17 UNITS + 4483 SF / UNIT
NA NOT REQUIRED - SEE EXEMPTION IN NOTES	
TOTAL AMT OF TREE PRESERVATION:	1.28 AC 60,800 SF
EXISTING IMPERVIOUS AREA:	0.17 AC / 7,364 SF
PROPOSED IMPERVIOUS AREA:	0.19 AC / 8,184 SF
AMENITY AREA REQUIRED:	0.84 AC / 7,860 SF / 10% NET SITE AREA
AMENITY AREA PROVIDED:	0.84 AC / 7,860 SF
PARKING DATA:	
REQUIRED PARKING:	NO minimum required (Per TCH 21-01 of May 14, 2022)
PROPOSED PARKING:	26
TOTAL PARKING:	26
REQ PARKING REQUIRED:	NONE
REQ PARKING PROVIDED:	8 SHORT TERM

BUILDING SETBACKS:

FROM PRIMARY STREET (NH):	10'
FROM SIDE STREET (NH):	10'
FROM SIDE LOT LINE (NH):	10'
FROM REAR LOT LINE (NH):	20'
FROM PRIMARY STREET (NH):	20'
FROM SIDE STREET (NH):	10'
FROM SIDE LOT LINE (NH):	10'
FROM REAR LOT LINE (NH):	20'
FROM ALTY. CHARGE ONLY (NH):	4'

SOLID WASTE:

SOLID WASTE TO BE HANDLED AS PER ALL CITY, COUNTY AND STATE ORDINANCES AND ROLLED OUT TO CURB ALONG PROPERTY FRONTAGE OF PUBLIC STREET. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE ORDINANCE.

RIGHT-OF-WAY OBSTRUCTION NOTES:

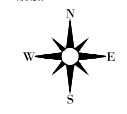
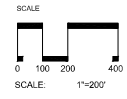
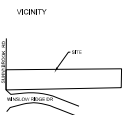
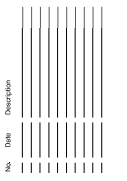
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO THE RIGHT-OF-WAY SERVICES DEPARTMENT.
- THE STREET, LAKE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY OCCURRENCE ON CITY STREETS AND ALL HOV3+ STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TRIP PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PRINT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING DEPARTMENT TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND INSURE ALL PERMITS ARE ISSUED.
- ALL TYPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND STANDARDS INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON SIGN AND TRAFFIC CONTROL (MUTCD)
 - PUBLIC HIGHWAY ACCESSIBILITY GUIDELINES (PROWAG)
 - AMERICAN PAPER AND ARCH REQUIREMENTS
 - RALEIGH'S TREE MANUAL (RSM)
- ALL PUBLIC UTILITIES MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. ALL UTILITIES AND UTILITY PROGRAMS DURING CONSTRUCTION SHALL BE DESIGNED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES. THE CONTRACTOR SHALL PROVIDE THE POSSIBLE DESIGN AND THE MANUAL ON SIGN AND TRAFFIC CONTROL (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VALID ON SITE DURING THE OPERATION.

GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SERIES OF STATE CONSTRUCTION DEPARTMENT OF TRANSPORTATION AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL INFORM THE OWNER REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL AGENCIES AND AGENCIES FOR ALL NECESSARY LOCAL SERVICES INCLUDING NEIGHBORHOOD LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF SERVICES TO NEIGHBORS 48 HOURS BEFORE SERVICES BEGINS AND NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 14 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL REPRESENT TO THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION ON BASIS OF SURVEY INFORMATION OBTAINED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS AND FIELD NOTES. THE CONTRACTOR SHALL REPRESENT TO THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THE CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN VISIBILITY TRIANGLES TO INDICATE THE ACTUAL LOCATION OF ALL PITS PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND LANDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE PROJECT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PRESSURE FREE FROM ACCUMULATED WATER MATERIAL AND RUBBER CAUSED BY THE CONTRACTOR. ALL RUBBER SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER'S REPRESENTATIVE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAYS TEMPORARY OR PERMANENT MUST BE CAPABLE OF SUPPORTING THE HEAVY EQUIPMENT (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.



FIRM LICENSE: P-2187



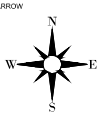
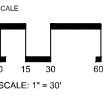
SWIFT PARTNERS PLLC
414 FAYETTEVILLE ST STE 200
RALEIGH NC 27601

LUKE PERKINS
828-735-1862
LUKE.PERKINS@SWIFT-PARTNERS.COM

DATE SUBMITTED: 09/28/2022
DRAWN BY: M
CHECKED BY: M
PROJECT PIN:
SHEET TITLE:
COVER SHEET

SHEET NO. C0.00



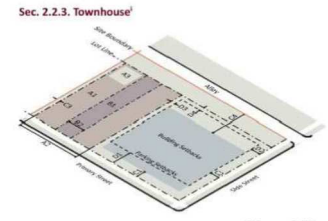


DATE: 03/04/2024
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: SUNNYBROOK ROAD TOWNHOMES
SHEET NO. C3.00

SUBDIVISION PLAN

SITE LEGEND:

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED BUILDING
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED BRICK SIDEWALK
[Pattern]	PROPOSED HEAVY DUTY PAVEMENT
[Pattern]	PROPOSED CONCRETE PAVERS
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Pattern]	PROPOSED 6" WIDE STANDARD CROSSWALK
[Pattern]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
[Pattern]	PROPOSED ADA PARKING SPACE
[Pattern]	PROPOSED KEYSTONE WALL
[Pattern]	PROPOSED CP WALL
[Pattern]	PROPOSED WHEEL STOP
[Pattern]	PROPOSED GRAVEL TRAIL
[Pattern]	PROPOSED ASPHALT TRAIL
[Pattern]	PROPOSED TREELINE
[Pattern]	PROPOSED FENCE
[Pattern]	PROPOSED VEHICLE GATE (X WIDE)
[Symbol]	PROPOSED LIGHT
[Symbol]	PROPOSED BIKE RACK
[Symbol]	PROPOSED BENCH
[Symbol]	PROPOSED BOLLARD
[Symbol]	PROPOSED PEDESTRIAN STEEL PLATE
[Symbol]	LIMITS OF DISTURBANCE



Sec. 2.2.3.3. Townhouse

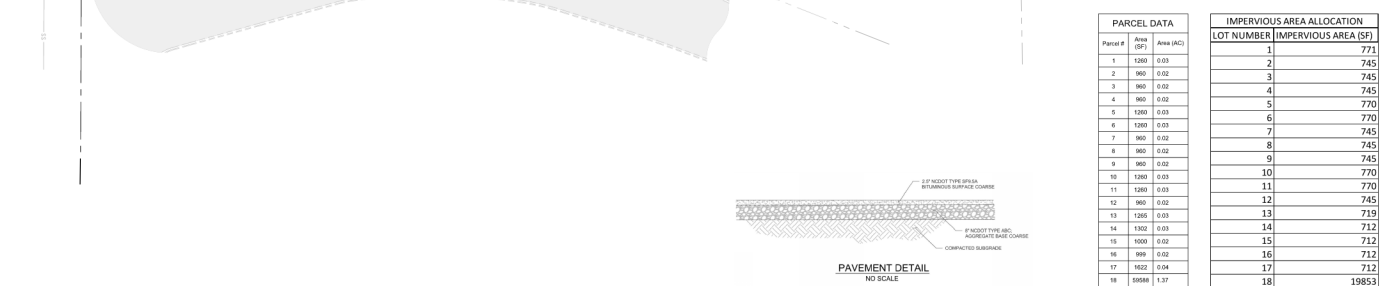
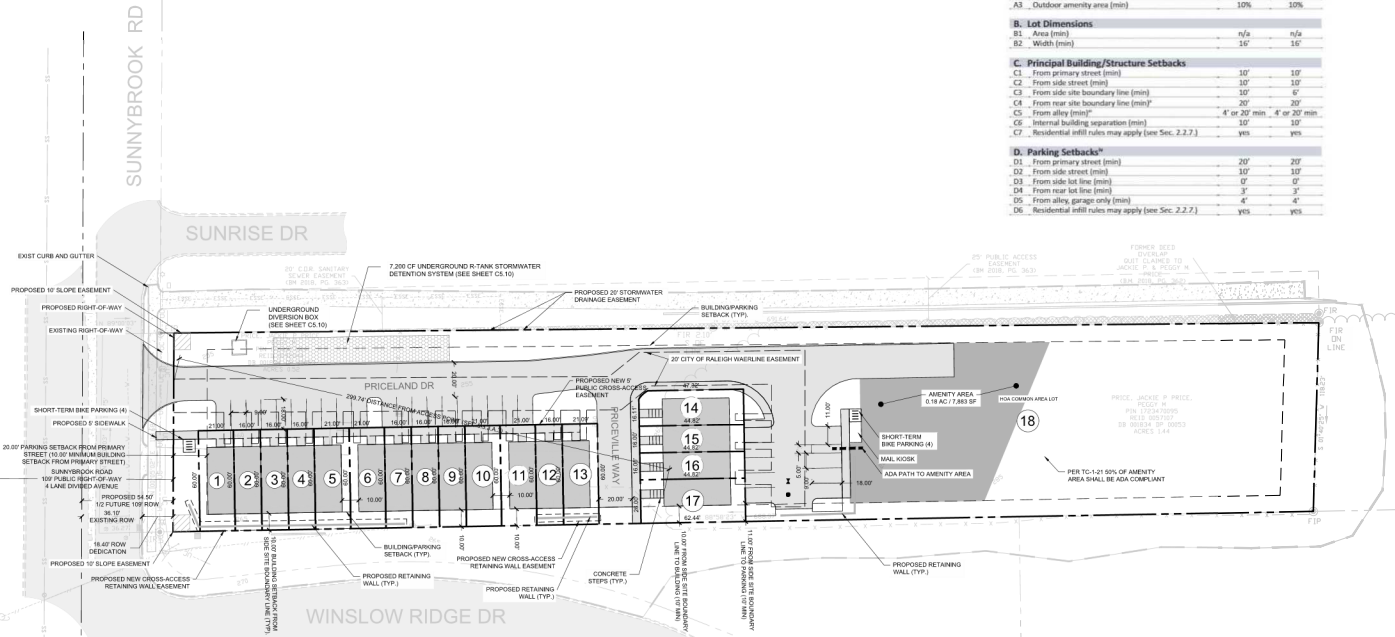
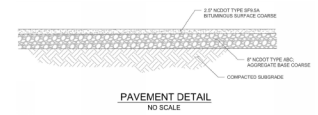
	R-6	R-10
A. Site Dimensions		
A1. Net site area/unit (min)	4,500 sf	3,000 sf
A2. Width (min)	60'	45'
A3. Outdoor amenity area (min)	100%	100%
B. Lot Dimensions		
B1. Area (min)	n/a	n/a
B2. Width (min)	10'	10'
C. Principal Building/Structure Setbacks		
C1. From primary street (min)	10'	10'
C2. From side street (min)	10'	10'
C3. From side site boundary line (min)	10'	6'
C4. From rear site boundary line (min)*	20'	20'
C5. From alley (min)**	4' or 20' min.	4' or 20' min.
C6. Internal building separation (min)	10'	10'
C7. Residential drift rules may apply (see Sec. 2.2.2.7)	yes	yes
D. Parking Setbacks*		
D1. From primary street (min)	20'	20'
D2. From side street (min)	10'	10'
D3. From side lot line (min)	0'	0'
D4. From rear lot line (min)	3'	3'
D5. From alley, garage only (min)	4'	4'
D6. Residential drift rules may apply (see Sec. 2.2.2.7)	yes	yes

- NOTES:**
- SEE SHEET C0.00 FOR GENERAL AND SITE NOTES.
 - THE SITE WILL BE CONFORMING TO THE EXISTING OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF ALBUQUERQUE UNIMPROVED DEVELOPMENT CODE SECTION 12.12 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
 - PROPOSED LOT LOCATIONS ZONING X (AREA DETERMINED TO BE OUTSIDE THE CITY ANNUAL CHANGE AND FUTURE 15-MINUTE CHANGE FLOOR PLAN) BASED ON THE FINAL MAP NUMBER 372910000 DATED MAY 2, 2024.
 - NO KNOWN WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCELS AS SHOWN. A STREAM HAS BEEN IDENTIFIED ON THE SITE AND WILL NOT BE IMPACTED.

SITE DATA

PROJECT NAME:	SUNNYBROOK ROAD TOWNHOMES
SITE ADDRESS:	505 SUNNYBROOK ROAD / 505 S 102 SUNNYBROOK ROAD
COUNTY:	WME
PARCEL PIN #:	122370704172473095
PARCEL OWNER:	REDEEMING DEVELOPMENT GROUP LLC
PARCEL AREA:	140 AC / 79,748 SF
TOTAL SITE GROSS AREA:	140 AC / 79,748 SF
ROW DEDICATION:	0.40 AC / 27,224 SF
NET ACRES:	1.38 AC / 78,796 SF
CURRENT ZONING:	R-60
PROPOSED ZONING:	R-60
ENVIRONMENTAL USE:	INDUCLANT LIVING
RECORD BOOK:	MULTI-FAMILY (DMG)
FLOOD PLAIN DATA:	NA
RECORD BOOK:	NLDRS
DEVELOPMENT TYPE:	TOWNHOUSE
MAX BUILDING HEIGHT:	49' 3 STORES
OVERLAY DISTRICT:	NONE
MAX LOT SIZE:	1.26 AC / 89,368 SF
MAX BUILDING HEIGHT:	41' 3 STORES
PROPOSED BUILDING HEIGHT:	30'
PROPOSED NUMBER OF UNITS:	18
PROPOSED NUMBER OF TOWNHOUSE LOTS:	17 (10 BEDROOM)
REQUIRED DENSITY:	4.90 SF / UNIT
PROPOSED DENSITY:	78.796 SF / 17 UNITS = 4.63 SF / UNIT
TREE CONSERVATION AREA:	NA NOT REQUIRED - SEE EXEMPTION NOTES
TOTAL LIMITS OF DISTURBANCE:	1.20 AC / 80,000 SF
EXISTING IMPERVIOUS AREA:	0.47 AC / 32,324 SF
AMENITY AREA REQUIRED:	0.24 AC / 17,064 SF
AMENITY AREA PROVIDED:	0.26 AC / 18,000 SF (10% NET SITE AREA)
PARKING DATA:	0.28 AC / 19,893 SF
REQUIRED DENSITY:	NO PARKING REQUIRED (Per TCA 121 of May 16, 2022)
PROPOSED PARKING:	29
TOTAL PARKING:	29
BIKE PARKING REQUIRED:	NONE
BIKE PARKING PROVIDED:	NONE
BIKE PARKING PROPOSED:	8 BIKEST TERM
BUILDING SETBACKS:	
FROM PRIMARY STREET (MIN):	10'
FROM SIDE STREET (MIN):	10'
FROM BEDE SITE BOUNDARY LINE (MIN):	10'
FROM REAR SITE BOUNDARY LINE (MIN):	20'
PARKING SETBACKS:	
FROM PRIMARY STREET (MIN):	20'
FROM SIDE STREET (MIN):	10'
FROM SIDE LOT LINE (MIN):	0'
FROM REAR LOT LINE (MIN):	0'
FROM ALLEY, GARAGE ONLY (MIN):	4'

PARCEL DATA			IMPERVIOUS AREA ALLOCATION		
Parcel #	Area (SF)	Area (AC)	LOT NUMBER	IMPERVIOUS AREA (SF)	
1	1200	0.03	1	771	
2	960	0.02	2	745	
3	960	0.02	3	745	
4	960	0.02	4	745	
5	960	0.02	5	770	
6	1200	0.03	6	770	
7	960	0.02	7	745	
8	960	0.02	8	745	
9	960	0.02	9	745	
10	1200	0.03	10	770	
11	1200	0.03	11	770	
12	960	0.02	12	745	
13	1200	0.03	13	719	
14	1320	0.03	14	712	
15	1000	0.02	15	712	
16	999	0.02	16	712	
17	960	0.02	17	712	
18	8658	1.37	18	19853	



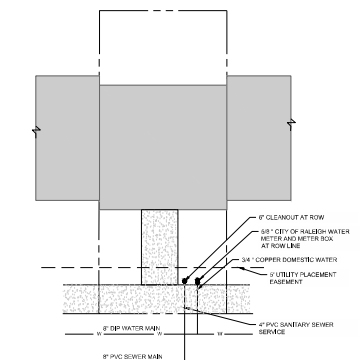
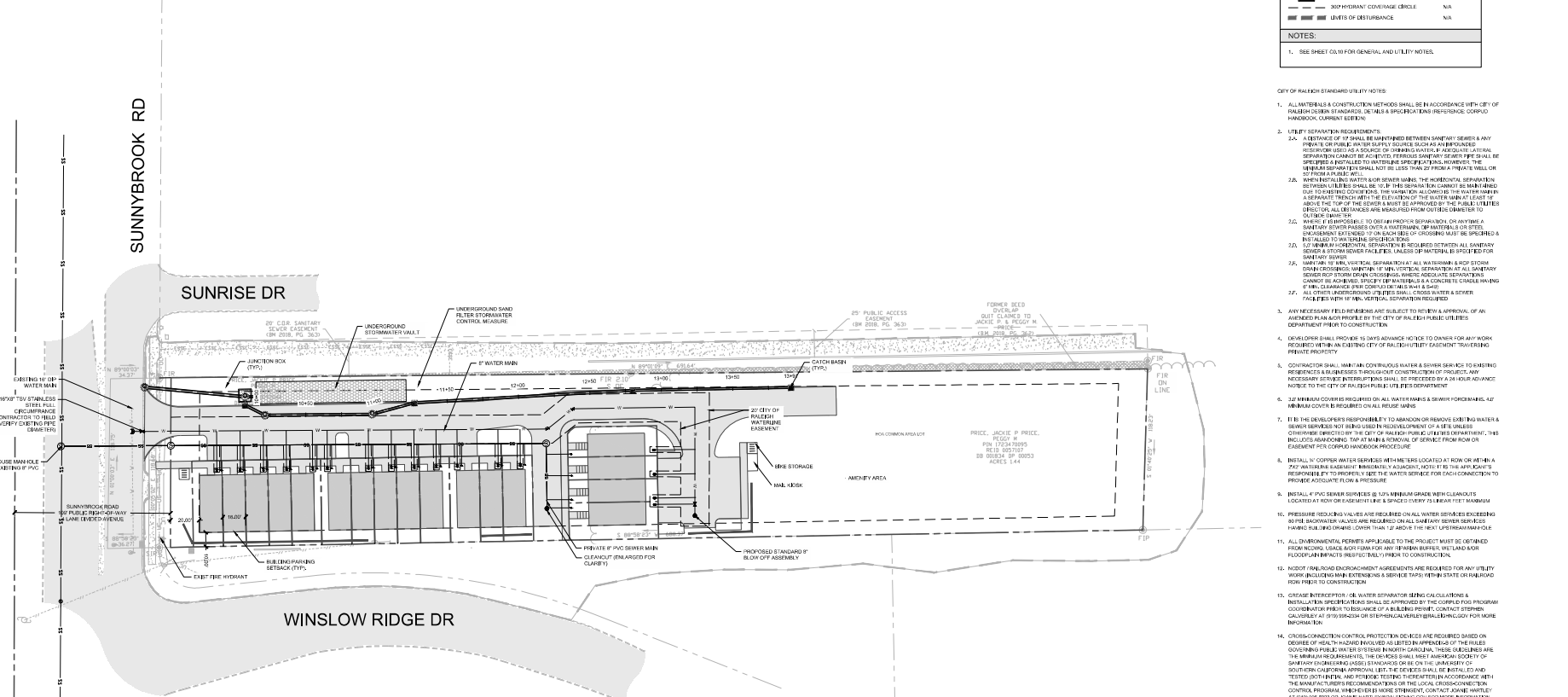
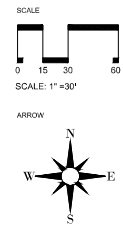
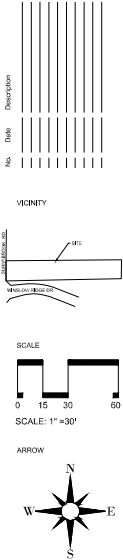
UTILITY LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
—	EXISTING WATER LINE	N/A
—	PROPOSED WATER LINE	A03XX
—	EXISTING SANITARY SEWER LINE	N/A
—	PROPOSED SANITARY SEWER LINE	A03XX
—	PROPOSED FIRE HYDRANT	A03XX
⊗	PROPOSED WATER VALVE	A03XX
⊗	EXISTING SANITARY SEWER MANHOLE	N/A
⊗	PROPOSED SANITARY SEWER MANHOLE	A03XX
⊗	PROPOSED CLEANOUT	A03XX
⊗	PROPOSED FIC	A03XX
⊗	PROPOSED BACKFLOW METER	A03XX
⊗	PROPOSED POOL/INDICATOR VALVE (PIV)	A03XX
⊗	GREASE INTERCEPTOR	A03XX
⊗	30" DIAMETER COVERAGE CIRCLE	N/A
■	LEVELS OF DISTURBANCE	N/A

NOTES:

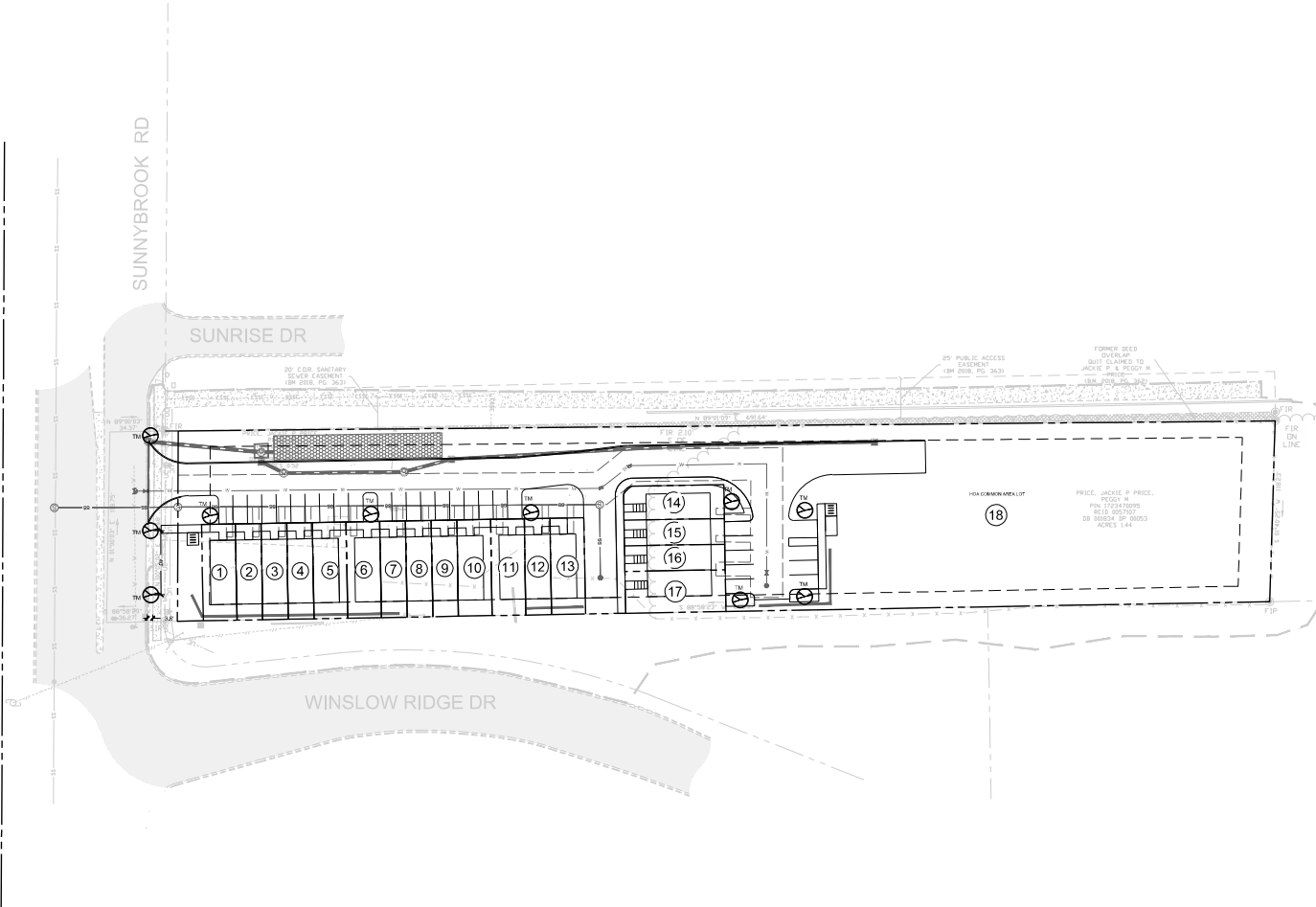
- SEE SHEET C01 FOR GENERAL AND UTILITY NOTES.

- CITY OF PALMDALE STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF PALMDALE DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS PALMDALE CURRENT EDITION).
 - UTILITY REPAIR/REPAIRMENT REQUIREMENTS**
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY OTHER CITY OR PUBLIC AND PRIVATE UTILITIES (SUCH AS UNDERGROUND TELEPHONE) USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE MAINTAINED, PROPOSED SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO MAINTAIN SPECIFICATIONS, HOWEVER THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 0.6' FROM A 4" WATER TAP OR 1.2' FROM A 6" WATER TAP.
 - WHERE INSTALLING WATER OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 18" BY THE GENERAL RULE, UNLESS MAINTAINED OUT TO EXISTING CONDITIONS. THE VALUE FOR ALLOWED IS THE WATER MAINS & SEWER MAINS TRAFFIC. THE ELEVATION OF THE WATER MAINS OR SEWER MAINS SHALL BE DETERMINED FROM THE CENTERLINE TO THE CENTERLINE.
 - WHERE IT IS IMPRACTICABLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER EXPOSES SOIL MATERIAL, OR MATERIALS OF STEEL, OR OTHERWISE EXTENDED UP OR DOWN BY CROSSING, MUST BE SPECIFIED & NOT ALLOWED TO CROSS SEPARATIONS.
 - SEWER MAINS SHALL MAINTAIN 18" MINIMUM HORIZONTAL SEPARATION BETWEEN ALL SANITARY SEWER & EXISTING FACILITIES, UNLESS OF MATERIAL IS SPECIFIED FOR MAINTAINING.
 - MAINTAIN 18" MINIMUM VERTICAL SEPARATION AT ALL WATER MAINS & ROP STORM OVER EXISTING UNDERGROUND UTILITIES. VERTICAL SEPARATION AT SANITARY SEWER ROP STORM OVER EXISTING UNDERGROUND UTILITIES SHALL BE MAINTAINED 24" MINIMUM VERTICAL SEPARATION, UNLESS OTHERWISE SPECIFIED. EXISTING UNDERGROUND UTILITIES SHALL BE MAINTAINED 24" MINIMUM VERTICAL SEPARATION FROM A 6" CLEARANCE FROM CORPUS DETAILS K-1 & K-1.
 - ALL OTHER REQUIREMENTS OF THE SANITARY SEWER WATER & SEWER FACILITIES WITH 18" MINIMUM VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REPAIRS AND SUBJECT TO ADEQUATE APPROVAL OF AN ADEQUATE PLAN AND PROFILE BY THE CITY OF PALMDALE PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE TO HAVE ADVANCE NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF PALMDALE PUBLIC UTILITIES FACILITY PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT AND NECESSARY WATER INTERRUPTIONS SHALL BE PROVIDED A 24 HOUR ADVANCE NOTICE TO THE CITY OF PALMDALE PUBLIC UTILITIES DEPARTMENT.
 - 3/2" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS, 42" MINIMUM COVER IS REQUIRED ON ALL ROP STORM.
 - IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BE USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE SPECIFIED BY THE CITY OF PALMDALE. IF A SEWER SERVICE, THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT FOR CORPUS INDOOR PROCEDURE.
 - INSTALL 1/2" COPPER WATER SERVICE WITH METELOCATED AT ROW AND WITH A 2"x2" WATERBORN EASEMENT, MINIMUM 1/2" YAGANT, 10' FROM THE SERVICE TO PROVIDE ACCURATE WATER TO THE WATER SERVICE FOR TAP CONNECTION TO PROVIDE ACCURATE WATER AT A PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES & 2" POLYETHYLENE GLASS WITH CLEANOUTS LOCATED AT ROW OR EASEMENT. BE A SPACES FROM TO SEWER TIE IN MAINS.
 - PRESSURE REDUCTION VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES EXCEEDING 80 PSI. PRESSURE REDUCTION VALVES SHALL BE 12" FROM THE SEWER MAINS/SEWER.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCCD, LOCAL AGRICULTURE FOR ANY FEDERAL, STATE, FEDERAL AND RUDAS PLANNING ACTS PRIOR TO CONSTRUCTION.
 - ADDITIONAL ROAD ENVIRONMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSION & SERVICE TAPS) WITHIN STATE OR FEDERAL ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR OR WATER SEPARATOR REPAIR CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS REG PROGRAM. CONDITIONS FROM THE SUBJECT OF A BUILDING PERMIT CONTRACT CORPUS. CALCULATED BY 0115 824234 OR STEPHEN CALVERTLEY@PALMDALE.CA.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING THE PUBLIC UTILITY SERVICE BANNER. CALCULATIONS & INSTALLATION OF THE MINIMUM REQUIREMENTS, THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERS (ASSE) STANDARDS OR AS ON THE CURRENT EDITION OF SOUTH FOR CALIFORNIA APPROVAL. EPT, THE DEVICES SHALL BE INSTALLED AND TESTED WITH PERMITS AND FOLLOWED THROUGH THE REVISIONS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM (WHICHEVER IS THE STRONGEST CONTACT). GIVE WHILE AT 0115 824234 OR JOHN.M.HARTLEY@PALMDALE.CA.GOV FOR MORE INFORMATION.



SITE LEGEND:

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED BUILDING
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED BRICK SIDEWALK
[Pattern]	PROPOSED HEAVY DUTY PAVEMENT
[Pattern]	PROPOSED CONCRETE PAVERS
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Pattern]	PROPOSED 6' WIDE STANDARD CROSSWALK
[Pattern]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED KEYSTONE WALL
[Symbol]	PROPOSED CIP WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED GRAVEL TRAIL
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED VEHICLE GATE (X WIDE)
[Symbol]	PROPOSED LIGHT
[Symbol]	PROPOSED BIKE RACK
[Symbol]	LIMITS OF DISTURBANCE



NOTES:

1. SEE SHEET C030 FOR GENERAL AND SET NOTES.
2. THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 6.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
3. THE SITE WILL BE CONFORMING TO THE EXEMPTION OF CROSS ACCESS THROUGH THE CITY OF RALEIGH UNIFIED DEVELOPMENT CODE SECTION 6.2.2.2(A), TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY MEMORANDUM DATED 05/11/2024.
4. PROPERTY IS LOCATED IN ZONES X AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN BASED ON THE PEAK MAP NUMBER 3701732AL DATED MAY 2, 2024.
5. NO ON-SITE WETLANDS OR STREAKS HAVE BEEN IDENTIFIED WITHIN THE PROJECT ON PARCEL AS SHOWN.

LANDSCAPING REQUIREMENTS:

SUNNYBROOK ROAD (4-LANE DIVIDED AVENUE)
REQUIREMENT: 1 UNDERSTORY TREE PER 40 LF = 100 LF / 40 LF = 3 TREES
PROVIDED: 3 TREES

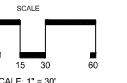
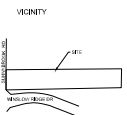
TREE CONSERVATION AND LANDSCAPING NOTES:

1. THE SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 6.2.2.2 TREE CONSERVATION APPLICABILITY.
2. THE TREE IMPACT PERMIT IS REQUIRED WITHIN PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

LANDSCAPING NOTES:

1. A RELANDSCAPING WILL BE REQUIRED FOR STREET TREES THAT ARE NOT PLANTED ON THE LANDSCAPING PLAN.
2. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS FOR TREE PLANTING.
3. STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
4. ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
5. SEE DETAIL SHEET S-F FOR SEEDING SCHEDULE.
6. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 2". KEEP MULCH 2" FROM ROOT FLARE AND DO NOT CONTACT STEM.
7. A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
8. MINIMUM TOPSOIL DEPTH SHALL BE 4" IN PLANT AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO OBTAIN ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT AN ADDITIONAL COST TO OBTAIN TOPSOIL TO MEET THE NEEDS OF THE PROJECT.
9. ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 15 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PLANTER'S FINE SAND, PEAT MOSS OR UNSEEDED COMPOSTED LEAVES.
10. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
11. CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
12. ALL PLANTS ARE TO BE THOROUGHLY WATERED BY THE SAME DAY AS PLANTED.
13. THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
14. COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND DISCARD FROM HOLES BEFORE BACKFILLING AND SOIL SHALL BE COMPLETED.
15. ALL TREES WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GROUND AS TO THE ORIGINAL PLAN.
16. LANDSCAPING SHOWS MEETS REQUIREMENTS.
17. ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
18. ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NECESSARY TO BE REPLACED WILL BE GUARANTEED FOR THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

No.	Date	Description



KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING	CONTAINER	MATURE
TR	10	UNDERSTORY TREES				
		ACER BURCHERIANUM	TREBENT MAPLE	10-0"	0-300"	0-60"