



Administrative Approval Action

Case File / Name: SUB-0028-2023
DSLCL - ADDISON PLACE - EAST 7 LOT

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of N. Raleigh Blvd., north of Glascock Street at 1008 Addison Place.

REQUEST: Development of a 0.92 acre/40,372 sf tract zoned R-10, with .064 acres/2,797 sf of right-of-way dedication, leaving a net area of 0.86 acres/37,575 sf. A proposed new 7 lot detached house subdivision. Proposed New Lot 1 is 4,845 sf/.11 ac; New Lot 2 is 4,780 sf/.11 ac; New Lot 3 is 5,732 sf/.13 ac; New Lot 4 is 5,718 sf/.13 ac; New Lot 5 is 5,775 sf/.13 ac; New Lot 6 is 5,420 sf/.12 ac and New Lot 7 is 5,309 sf/.12 acres.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUR-0427-2023: DSENG - Surety/Infrastructure

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 29, 2023 by Crumpler Consulting Services.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering



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2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public infrastructure surety (SUR-0427-2023) shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Urban Forestry

5. A public infrastructure surety for the 8 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

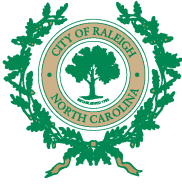
The following items must be approved prior to the issuance of building permits:

Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Addison Pl.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: August 2, 2026
Record at least ½ of the land area approved.



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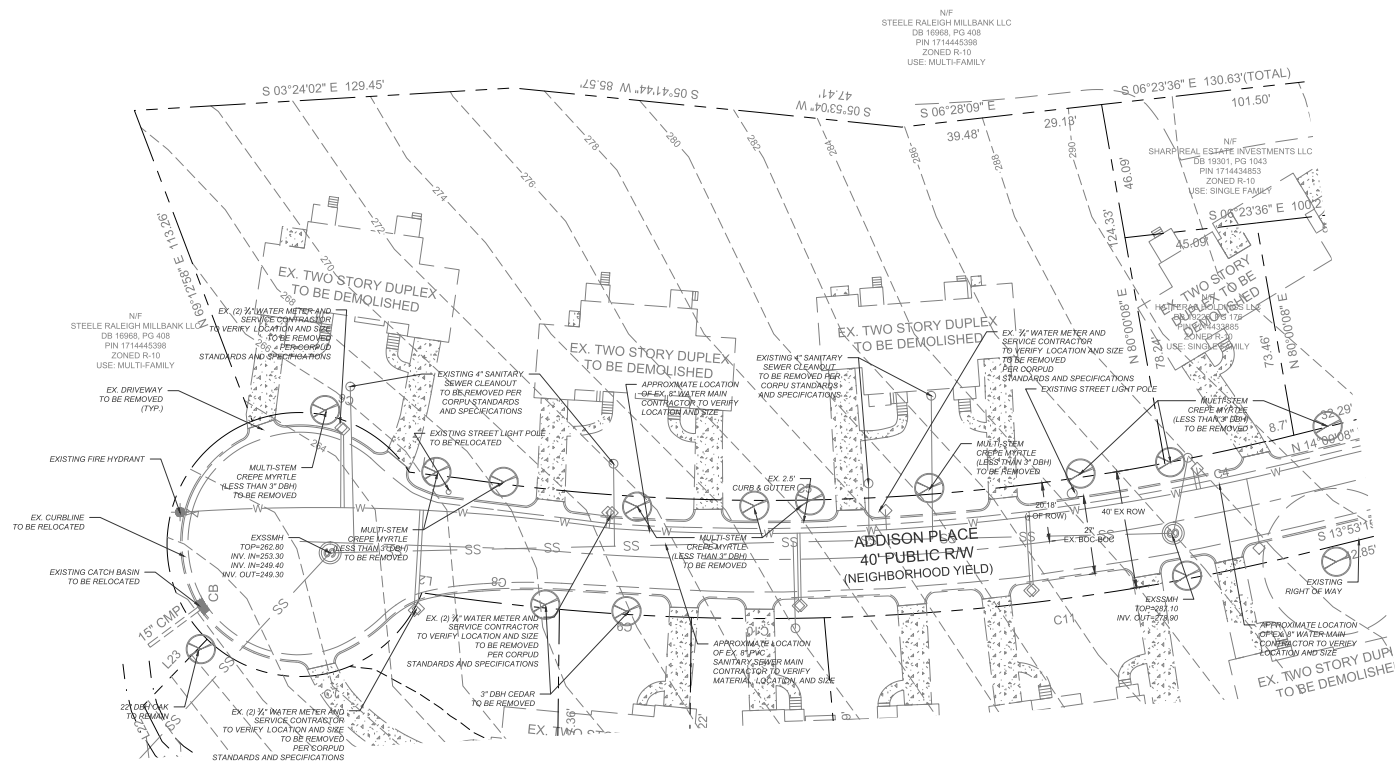
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5-Year Sunset Date: August 2, 2028
Record entire subdivision.















I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 08/02/2023
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

DEVELOPMENT TYPE • SITE DATA - ZONING INFORMATION					
Gross site acreage: <u>0.927 Acres (40,432 SF)</u>					
Zoning districts (if more than one, provide average of each): R-10					
Overlay district(s) Conditional Use District (CUD): Case # & 2 -	Insite City Limits Result of Amendment Case #	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No Historic District/Landmark: District Alternate Case #	N/A	
STORMWATER INFORMATION					
Impervious Area on Parcel(s): Existing (sq ft) Proposed total (sq ft) <u>35,564</u>			Impervious Areas for Compliance (include right-of-way): Existing (sq ft) Proposed total (sq ft) <u>27,379</u>		
NUMBER OF LOTS AND DENSITY					
# of Detached House Lots N/A	# of Attached House Lots 5	# of Townhouse Units 0			
# of Four House Units N/A	# of Open Lots 14	# of Other Apartment, General Mixed Use, Caud.) N/A			
Total of Lots = 7		Total of Developable Sq Ft			
		Proposed density each zoning district (CUD 1.0,2,3): 15.10			
SIGNATURE BLOCK					
<p>Pursuant to state law (N.J.A.C. § 166-C-4), all development approvals may be made by the township, a lessee or person holding an option or contract to purchase a leasehold, or an authorized agent of the township, if the easement holder has also opted for development approval for such development as is authorized by the easement.</p> <p>By submitting this application, the undersigned applicant acknowledges that they own either the property owner or one of the owners of the subject property to issue the N.J.A.C. 166C-4.1(b)(1) certificate of approval, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that false information and statements are subject to prosecution for perjury, statements under oath.</p> <p>The undersigned declares that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, in accordance with the provisions and regulations of the City of Raleigh Urban Development Ordinance.</p> <p>The undersigned hereby acknowledges that, pursuant to state law (N.J.A.C. 14570501), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to commence or provide additional information requested by the City for a period of six consecutive months or more, the applicant shall forfeit its rights to the application and the development rights reflected in it after the time period provision is resumed shall apply to the new application.</p>					
Signature: <u>Bridley McNamee</u>				Date: <u>4/27/2023</u>	
Printed Name: <u>Bridley McNamee</u> , Owner/Manager					
Signature: _____				Date: _____	
Printed Name: _____					



LEGEND

- | | |
|---|---------------------------------|
|  | EXISTING PROPERTY LINE |
|  | EXISTING EASEMENT LINE |
|  | EXISTING ABUTTING PROPERTY LINE |
|  | EXISTING RIGHT-OF-WAY |
|  | EXISTING OVERHEAD POWER LINE |
|  | EXISTING EDGE OF PAVEMENT |
|  | EXISTING CENTERLINE OF STREAM |
|  | EXISTING TOP OF STREAM BANK |
|  | EXISTING 50' RIPARIAN BUFFER |
|  | EXISTING CONTOUR MAJOR |
|  | EXISTING CONTOUR MINOR |
|  | EXISTING CATCH BASIN |
|  | EXISTING SANITARY SEWER MANHOLE |
|  | EXISTING STORMWATER MANHOLE |

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Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

ISSUED FOR PERMITTING					
	REV	DESCRIPTION	DATE		
<p>EXISTING CONDITIONS PLAN</p> <p>ADDISON PLACE-EAST 7 LOT</p> <p>1008 ADDISON PLACE RALEIGH, NORTH CAROLINA</p>	1	CITY OF RALEIGH COMMENTS	06/29/23		

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EXISTING CONDITIONS PLAN

THE
FACULTY
OF
EDUCATION
AND
HUMAN
RELATIONS

ON PLACE-EAST

1008 ADDISON PLACE
DALLAS, NORTH CAROLINA

PROJECT NO.: 22038

DRAWN BY: JAC

CHECKED BY: JAC

DATE: 03/17/2017

SCALE: 1" = 20'

C-2

2 of 5

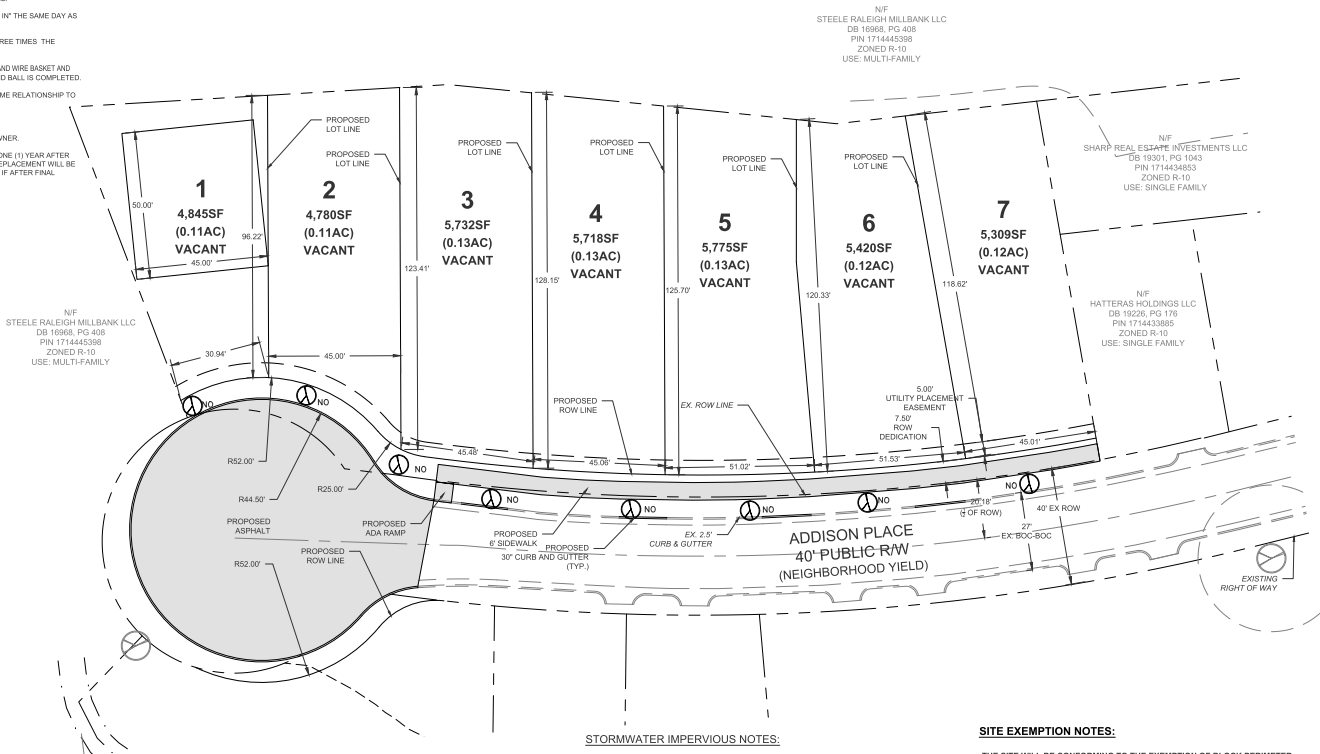
LANDSCAPING NOTES

- STREET TREE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 3 OF THE CITY OF RALEIGH TREE MANUAL.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3" KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS REQUIREMENTS.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

LANDSCAPING REQUIREMENTS

ADDISON PLACE (NEIGHBORHOOD YIELD STREETSCAPE)
REQUIREMENT: 1 TREE PER 40LF=322LF/40LF=8 TREES PROVIDED: 8 TREES

KEY	QUA.	BOTANICAL NAME	COMMON NAME	AT PLANTING		
SHADE TREES						
NO	8	QUERCUS NUTTALLII	NUTTALL OAK	10'	3"	B&B



STORMWATER IMPERVIOUS NOTES:

REQUIRED SITE IMPROVEMENTS:
ADDISON PLACE: 322LF OF 6' SIDEWALK = 1,932SF
TOTAL ALLOCATED PER LOT: 2765F

MAXIMUM IMPERVIOUS SURFACE PER ZONING=65%
MAXIMUM IMPERVIOUS PER LOT LESS RIGHT OF WAY IMPROVEMENTS:
-LOT 1: 4,845SF (65%)=3,149SF-2765F=2,873SF MAX IMPERVIOUS SURFACE
-LOT 2: 4,780SF (65%)=3,108SF-2765F=2,831SF MAX IMPERVIOUS SURFACE
-LOT 3: 5,732SF (65%)=3,725SF-2765F=3,450SF MAX IMPERVIOUS SURFACE
-LOT 4: 5,718SF (65%)=3,717SF-2765F=3,441SF MAX IMPERVIOUS SURFACE
-LOT 5: 5,775SF (65%)=3,754SF-2765F=3,478SF MAX IMPERVIOUS SURFACE
-LOT 6: 5,420SF (65%)=3,523SF-2765F=3,247SF MAX IMPERVIOUS SURFACE
-LOT 7: 5,309SF (65%)=3,451SF-2765F=3,175SF MAX IMPERVIOUS SURFACE

-PER SECTION 9.2.2.A.2.B.I. SUBJECT TO 4.A OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

SITE EXEMPTION NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERIMETER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION 8.3.2.A.1.b.i.x.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.2.2.A-2 AS AMENDED BY TC-3-16.

TREE CONSERVATION AND LANDSCAPING NOTES:

-THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2 TREE CONSERVATION APPLICABILITY.

-THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING OVERHEAD POWER LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING CENTERLINE OF STREAM
- EXISTING TOP OF STREAM BANK
- EXISTING 50' RIPARIAN BUFFER
- PROPOSED CITY OF RALEIGH GENERAL UTILITY EASEMENT
- PROPOSED LOT LINE

SUMMARY INFORMATION

DEVELOPMENT NAME: ADDISON PLACE-EAST 7 LOT
SITE ADDRESS: 1008 ADDISON PLACE, RALEIGH, NORTH CAROLINA
PIN NUMBER: 1714-44-4003
JURISDICTION: CITY OF RALEIGH
EXISTING USE: VACANT
PROPOSED USE: SINGLE FAMILY
CURRENT ZONING DISTRICT: R-10

TOTAL ACREAGE: 0.927 ACRES (40,372 SF)
DEDICATED RIGHT OF WAY: 0.064 ACRES (2,797 SF)
TOTAL NET ACREAGE: 0.86 ACRES (37,575 SF)
REQUIRED LOT AREA: 4,000SF
PROPOSED LOT 1: 4,845SF/0.11AC
PROPOSED LOT 2: 4,780SF/0.11AC
PROPOSED LOT 3: 5,732SF/0.13AC
PROPOSED LOT 4: 5,718SF/0.13AC
PROPOSED LOT 5: 5,775SF/0.13AC
PROPOSED LOT 6: 5,420SF/0.12AC
PROPOSED LOT 7: 5,309SF/0.12AC

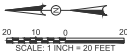
PROPOSED R-10 DETACHED HOUSE REQUIREMENTS:
REQUIRED LOT SIZE: 4,000SF (MIN.)
PROVIDED LOT SIZE: 4,780SF
REQUIRED LOT WIDTH: 45' (MIN.)
PROVIDED LOT WIDTH: 45'
REQUIRED LOT DEPTH: 60' (MIN.)
PROVIDED LOT DEPTH: 96.22'
BLOCK PERIMETER REQUIRED (MAX.): 2,500LF
BLOCK PERIMETER PROVIDED: 11,500LF
*EXEMPT BASED ON UDO SECTION 8.3.2.A.1.b.i.x FOR SITES LESS THAN 2 ACRES

OWNER/DEVELOPER:
HATTERAS HOLDINGS, LLC
500 WESTOVER DRIVE, #10091
SANFORD, NORTH CAROLINA 27330

ENGINEER:
CRUMPLER CONSULTING SERVICES, PLLC
CONTACT: JOSH CRUMPLER, PE
2308 RIDGE ROAD
RALEIGH, NC 27612
(919) 413-1704

NOTES

- TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., PA DATED 09/15/22.
- PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720171400X DATED JULY 19, 2022.
- NO ON-SITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. EACH LOT WILL UTILIZE CITY OF RALEIGH ROLL-OUT CARTS STORED IN THE REAR OF THE DWELLING.



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ISSUED FOR PERMITTING

REV	DATE	DESCRIPTION
1	06/29/23	CITY OF RALEIGH COMMENTS

SUBDIVISION & LANDSCAPING PLAN

ADDISON PLACE-EAST 7 LOT

1008 ADDISON PLACE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 22038

DRAWN BY: JAC

CHECKED BY: JAC

DATE: 03/17/23

SCALE: 1" = 20'

C-3

3 of 5

DESCRIPTION	DATE
CITY OF RALEIGH COMMENTS	06/29/23

ADDISON PLACE-EAST 7 LOT

1008 ADDISON PLACE
RALEIGH, NORTH CAROLINA

SCALE: 1" = 20'

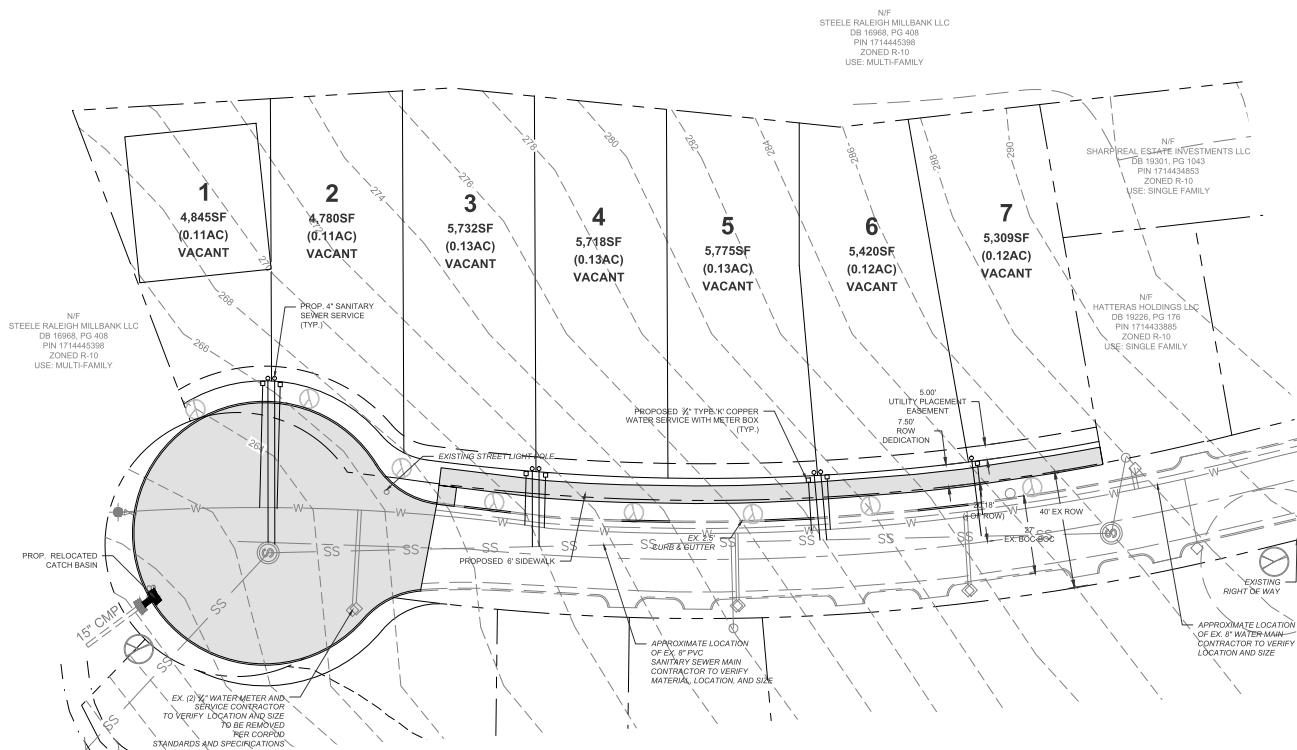
4 of 5

_____ EXISTING PROPERTY LINE
 _____ EXISTING EASEMENT LINE
 _____ EXISTING ABUTTING PROPERTY LINE
 _____ EXISTING RIGHT-OF-WAY
 _____ ONE _____ ONE _____ ONE _____ ONE _____ EXISTING OVERHEAD POWER LINE
 _____ EXISTING EDGE OF PAVEMENT
 _____ EXISTING CENTERLINE OF STREAM
 _____ EXISTING TOP OF STREAM BANK
 _____ EXISTING 50' RIPARIAN BUFFER
 _____ SS _____ SS _____
 _____ v _____ PROPOSED SANITARY SEWER
 _____ PROPOSED WATER LINE
 _____ (S) _____ PROPOSED SANITARY MANHOLE
 _____ PROPOSED HYDRANT ASSEMBLY

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)

2. UTILITY SEPARATION REQUIREMENTS:
- a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER LATERALS AND ANY OTHER UTILITY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER IF ADEQUATE LATERAL SEPARATION CANNOT BE MAINTAINED. THE MINIMUM DISTANCE FOR ANY PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM DISTANCE FOR ANY PIPE SHALL BE 10' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN A LATERAL WATERLINE IS IN THE SAME HORIZONTAL SEPARATION BETWEEN WATERLINES SHALL BE 10'. IF A SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING UTILITIES, THE VERTICAL SEPARATION SHALL BE MAINTAINED IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE ELEVATION OF THE SANITARY SEWER. APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIMATEL TO OUTSIDE DIMATEL.
 - c. WHEN A FEMORAL SANITARY SEWER LATERAL IS IN THE SAME HORIZONTAL SEPARATION BETWEEN SANITARY SEWERS SHALL BE 10'. IF A SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING UTILITIES, THE VERTICAL SEPARATION SHALL BE MAINTAINED IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE ELEVATION OF THE SANITARY SEWER. APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIMATEL TO OUTSIDE DIMATEL.
 - d. AT ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP VALVE OR STIEEL EASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - e. WHEN A HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP VALVE OR STIEEL EASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING, THE VERTICAL SEPARATION SHALL BE MAINTAINED IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE ELEVATION OF THE SANITARY SEWER. APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIMATEL TO OUTSIDE DIMATEL.
 - f. MAINTAIN 16" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & SANITARY SEWER CROSSINGS. WHEN A HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM DRAIN CROSSINGS, WHEN ADEQUATE SEPARATIONS CANNOT BE MAINTAINED, A BREAST DIP VALVE OR STIEEL EASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIMATEL TO OUTSIDE DIMATEL.
 - g. HAVING 6" MIN. CLEARANCE (PER VERTICAL DETAILS W-4.1 & S-4.9) FOR ALL SANITARY UNDERGROUND CROSSINGS OVER STORM DRAIN & SEWER FACILITIES WITH 16" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL BY AN AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) CITY OF RALEIGH PUBLIC UTILITIES CONTINUOUS TYPED TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT THE DURATION OF PROJECT. ANY DISRUPTIONS OR INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3/0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FACILITIES. 4.0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES AS REQUIRED BY AN AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW AND EASEMENT TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO OBTAIN THE RIGHT TO USE THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 10% MINIMUM GRADE AND LOCATED AT ROW OR ROW OR EASEMENT LINE & SPACED EVERY 75' PER FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 60 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINAGE LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE, ORCEP FEMA FOR ANY RIPARIAN AREA, WETLAND AND KILL/COASTAL ZONE. CONTACT THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
11. NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE. CONTACT THE STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTION / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE PROVIDED BY THE APPLICANT. THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT IS NOT RESPONSIBLE FOR THE ISSUANCE OF A BUILDING PERMIT. CONTACT THE CITY OF RALEIGH INSPECTIONS DEPARTMENT FOR MORE INFORMATION AT 919-996-2495.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SUPPLY. SHORTLY AFTER THE PERMITS ARE OBTAINED, THE MINIMUM REQUIREMENTS, THE DEVICES SHALL MEET AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASCE) STANDARD 11-11.1 ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND ANNUALLY BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL PRACTICE OF THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT IS MORE STRINGENT. CONTACT CITY OF RALEIGH INSPECTIONS DEPARTMENT FOR MORE INFORMATION AT 919-996-2495.
14. NEW WATER AND SEWER SERVICES SHALL BE INSTALLED BY OPERATING PERSONNEL OF THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., PA DATED 09/15/22.
2. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3270171400K DATED 04/19, 2022.
3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
4. THIS DRAWING IS NOT FOR RECONSTRUCTION.
5. SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. EACH LOT WILL UTILIZE CITY OF SALEM FULLY LICENSED CUL-DE-SACS LOCATED IN THE REAR OF THE DRIVING



1. PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCBC SECTION 1010.
4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCBC

1. ALL PORTION OF THE EXTERIOR WALL OF THE FIRST FLOOR OF BUILDING SHALL BE LOCATED WITHIN 150 FEET OF FIRE APPARATUS LOCATED WITHIN ROADWAY.
2. FIRE FLOW ANALYSIS MUST BE PROVEN PRIOR TO ISSUANCE OF BUILDING PERMITS.
3. FIRE HYDRANTS SHALL BE NO MORE THAN 400' FROM A BUILDING OR HOUSE AS HOW THE FIRE HOSE LAYS.

