

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es):				
Recorded Deed PIN(s):				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
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Current Property Owner(s) Names:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names:	
Company:	Title:
Address:	
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage:			
Zoning districts (if more than one, provide acreage of each):			
Overlay district(s):	Inside City Limits?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
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NUMBER OF LOTS AND DENSITY

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F):		

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

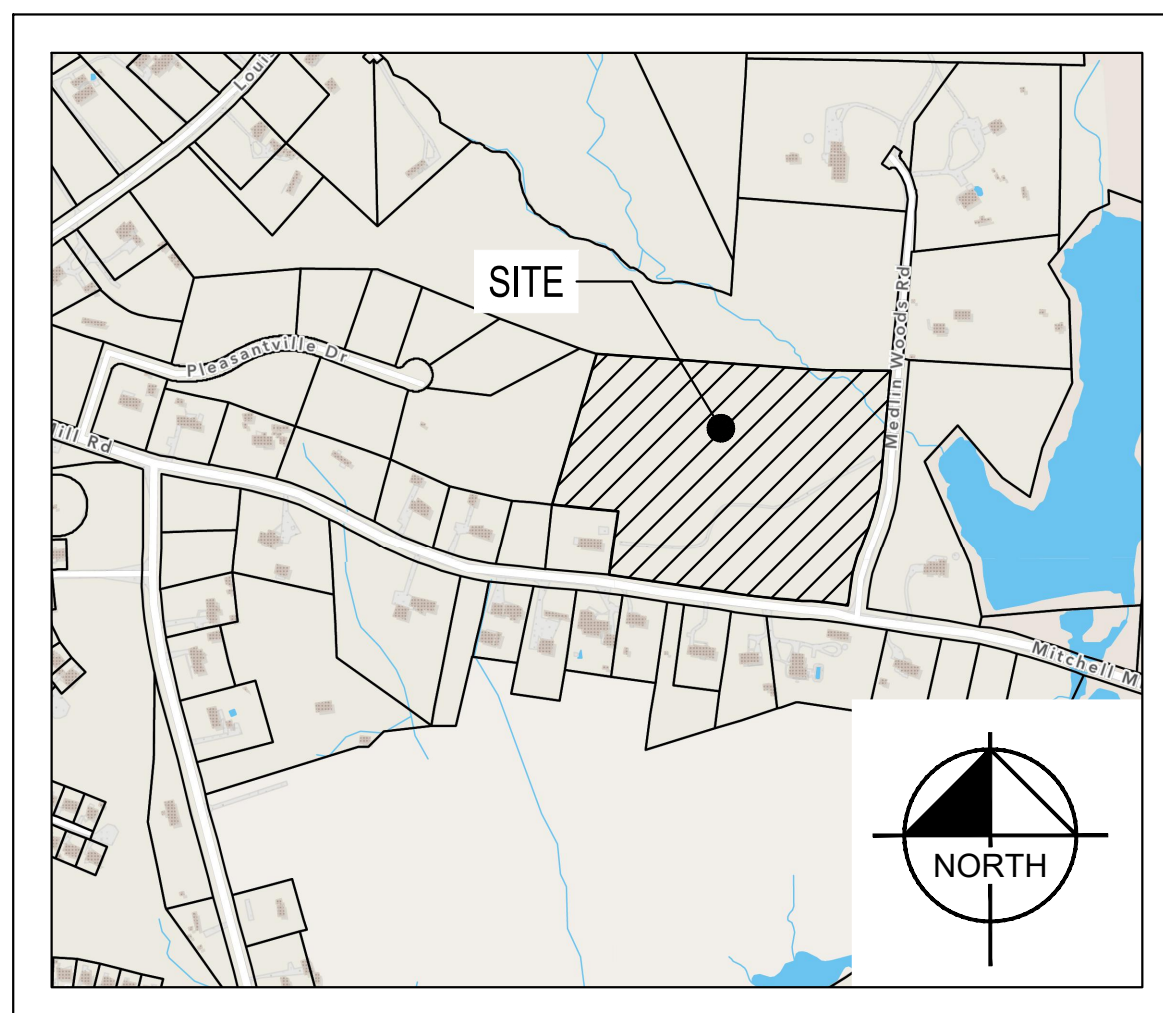
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

PRELIMINARY SUBDIVISION PLAN
THE ROW AT WATKINS
CONSERVATION SUBDIVISION
4329 MITCHELL MILL ROAD
RALEIGH, NC



VICINITY MAP
N.T.S.

Table with 3 columns: SITE DATA FOR THE ROW AT WATKINS, REQUIRED, PROVIDED. Includes sections for Site Data, Development Options, and Environmental requirements.

Preliminary Subdivision Application

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INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document.

Development Options (UDO Chapter 2) form with checkboxes for Conventional Subdivision, Compact Development, Conservation Development, Cottage Court, Flag lot, and Frequent Transit Development Option.

General Information form including Scoping/sketch plan case number(s), Development name, Property Address(es), Recorded Deed PIN(s), and Building type(s).

Current Property Owner/Applicant/Developer Information
Current Property Owner(s) Names: NANCY H. WATKINS IRREVOCABLE TRUST

Development Type + Site Data Table - Zoning Information and Stormwater Information tables.

APPLICANT SIGNATURE BLOCK
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land...

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application...

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith...

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more...

Signature lines for Applicant and Developer with fields for Printed Name and Date.

SHEET LIST TABLE with columns SHEET NUMBER and SHEET TITLE. Lists sheets from C0-0 to L3-0 including Cover Sheet, General Notes, Existing Conditions Survey, Demolition Plan, Subdivision Plan, Utility Plan, Offsite Sewer, Water, and Drainage Plans, SCM Plan, Landscape Plan, and Tree Conservation Plan.

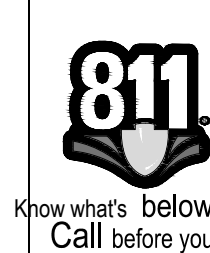
GENERAL NOTES table with 30 numbered items detailing construction standards, accessibility requirements, and site-specific instructions.

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409...

SOLID WASTE INSPECTION STATEMENT and FIRE DEPARTMENT NOTES tables with 4 items each regarding waste collection and fire hydrant placement.

PROJECT OWNER AND CONSULTANT INFORMATION table listing Developer (Ashton Woods), Engineer (BGE, Inc.), and Surveyor (BGE, Inc.) details.

Vertical sidebar containing BGE logo, ASHTON WOODS logo, THE ROW AT WATKINS logo, and CONSTRUCTION FILE NUMBER: 11123-01 DATE: 05/15/2024 C0-0.



GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. NO WORK WITHIN NCDOT OR CITY OF RALEIGH RIGHT OF WAY SHALL TAKE PLACE WITHOUT ALL PERMITS.
3. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THE CIVIL PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION. CONTRACTOR SHALL REPAIR ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THE EXISTING OR BETTER CONDITION.
5. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY BGE, INC. ALL INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) AS APPLICABLE.
7. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING AND DRAINAGE PLAN WITHOUT AUTHORIZATION IS SUBJECT TO A FINE. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND THE CITY OF RALEIGH.
9. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE CITY OF RALEIGH.
10. ALL STANDARD NUMBERS REFER TO THE NCDOT STANDARD DETAILS AND SPECIFICATIONS AND THE LATEST EDITION OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO).
11. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
12. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN A UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
13. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
14. CONTRACTOR SHALL POST ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS ON BUILDING.
15. IN ROLLING OR HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
16. CONTACT APPROPRIATE UTILITY COMPANIES TO RELOCATE ANY EXISTING UTILITY AND/OR LIGHT POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR.

UTILITY NOTES

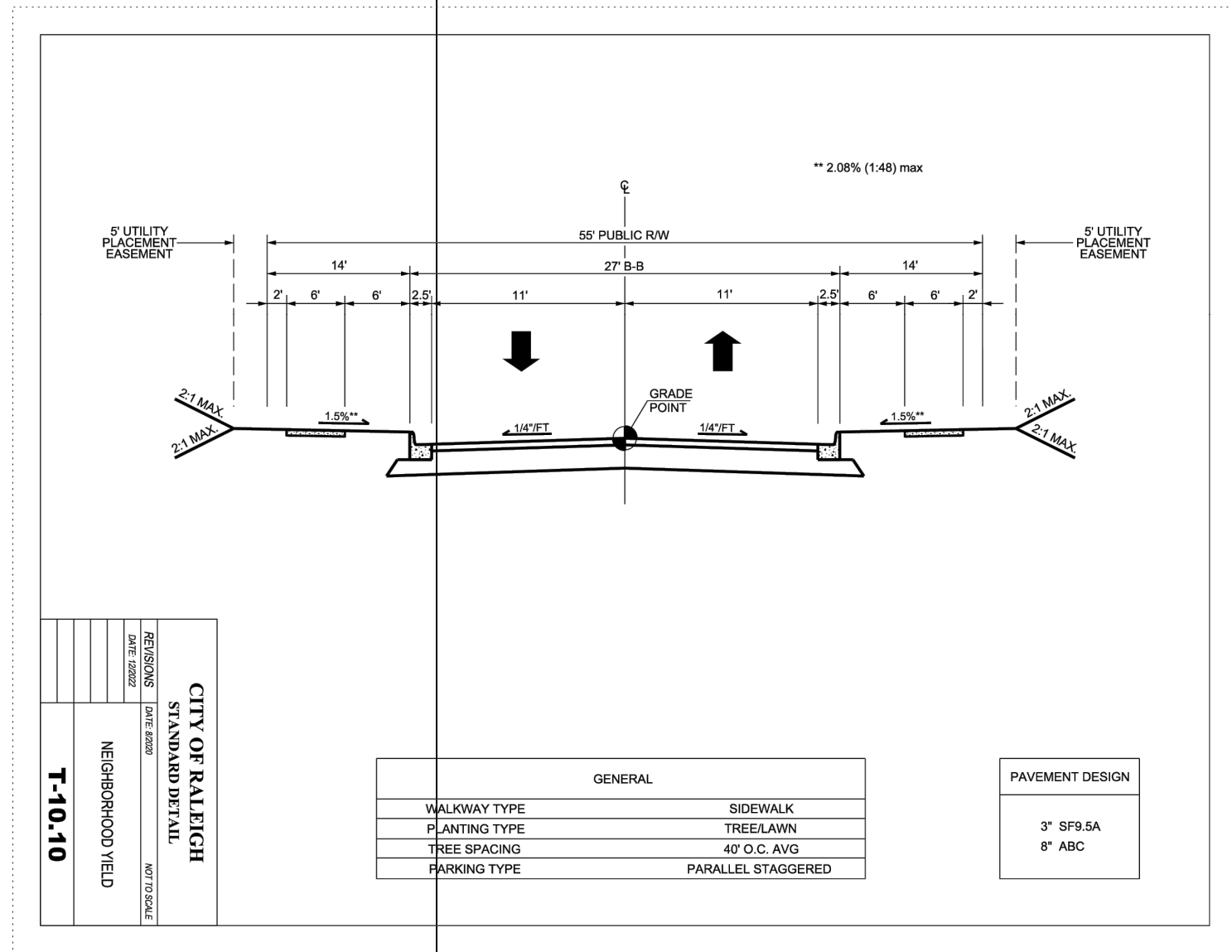
- 1. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 (NC811) AT 811 OR (800)632-4949 TO COORDINATE THE IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
2. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
3. CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND RESPECTIVE UTILITY COMPANY REPRESENTATIVE.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE UTILITY PROVIDER FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
5. ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE GIVEN A 48 HOUR NOTICE TO THE UTILITY COMPANY AND THE OWNER.
6. CONTRACTOR SHALL SAW CUT, REMOVE, AND REPLACE ASPHALT PAVEMENT AS NECESSARY TO INSTALL UNDERGROUND ELECTRIC, TELEPHONE, SEWER, WATER, AND COMMUNICATION CONDUITS.
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE PER DUKE ENERGY STANDARDS.
8. ALL UTILITIES ARE TO BE UNDERGROUND.

CITY OF RALEIGH STANDARD NOTES

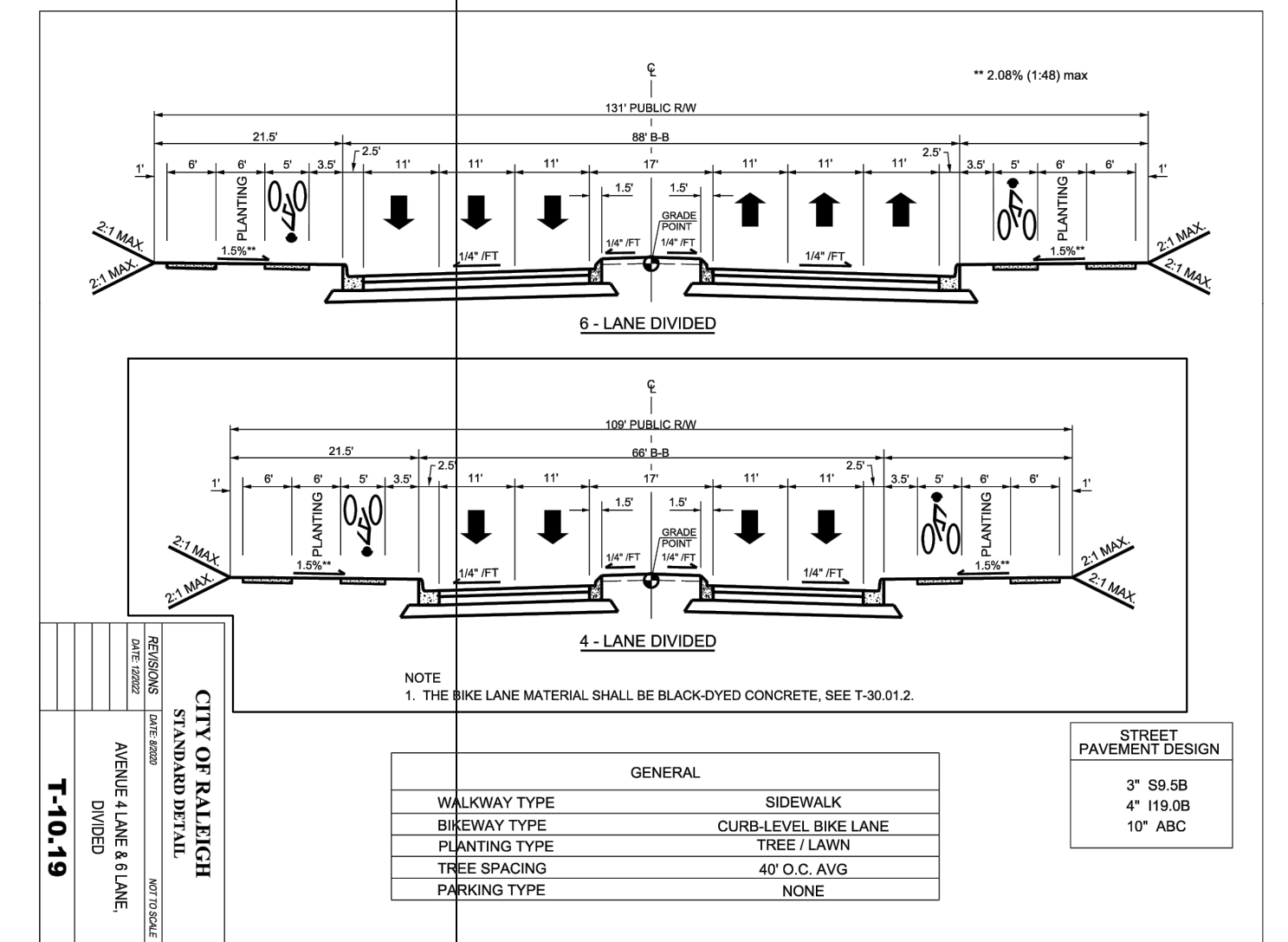
- 1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. ALL ROAD IMPROVEMENTS AT MITCHELL MILL ROAD ARE TO BE COORDINATED WITH THE CITY OF RALEIGH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
5. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
6. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY (RW) IF DEEMED NECESSARY BY THE CITY INSPECTOR.
7. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
8. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
9. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
10. ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF RALEIGH.
11. SEALED SHOP DRAWINGS BY A PROFESSIONAL ENGINEER FOR RETAINING WALL (BY OTHERS) MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
12. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF RALEIGH IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT ORDINANCE SUBDIVISION ORDINANCE.
13. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT RALEIGH DEPARTMENT OF TRANSPORTATION.
14. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE RALEIGH DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
15. SIDEWALK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRE REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
16. ANY WORK WITHIN THE R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY NCDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH NCDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
17. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200.
18. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200.
19. DEVELOPER TO CONTACT NCDOT DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND NCDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

PAVING, GRADING AND DRAINAGE NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONAL RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR NCDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL NCDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
10. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO NCDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE INDICATED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
15. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE.
16. SEED, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
17. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
18. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.



STREET A, STREET B, STREET C TYPICAL SECTION



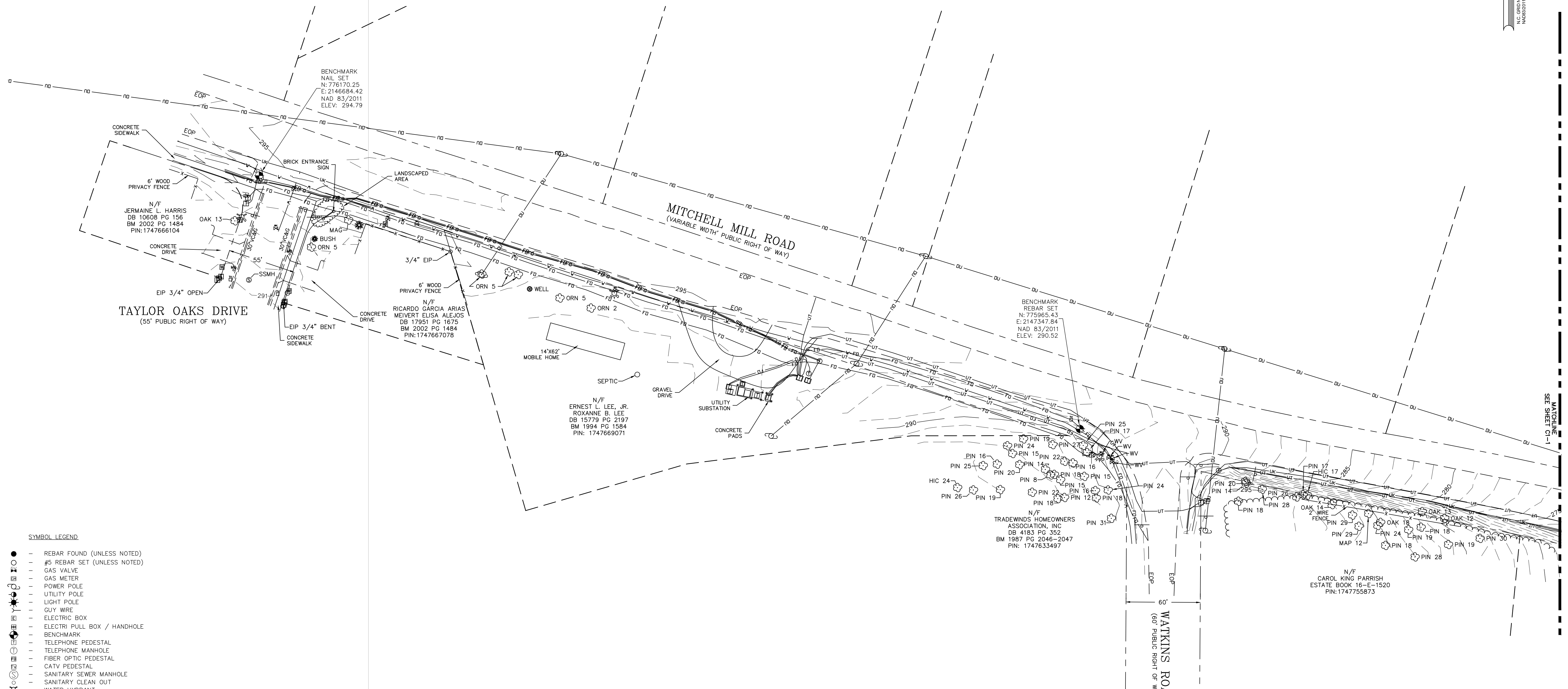
MITCHELL MILL ROAD TYPICAL SECTION

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

Project information block including BGE logo, ASHTON WOODS, THE ROW AT WATKINS, GENERAL NOTES, CONSTRUCTION status, FILE NUMBER: 11123-01, DATE: 05/15/2024, and C0-1.





SYMBOL LEGEND

- - REBAR FOUND (UNLESS NOTED)
- - #5 REBAR SET (UNLESS NOTED)
- - GAS VALVE
- - GAS METER
- - POWER POLE
- - UTILITY POLE
- - LIGHT POLE
- - GUY WIRE
- - ELECTRIC BOX
- - ELECTRI PULL BOX / HANDHOLE
- - BENCHMARK
- - TELEPHONE PEDESTAL
- - TELEPHONE MANHOLE
- - FIBER OPTIC PEDESTAL
- - CATV PEDESTAL
- - SANITARY SEWER MANHOLE
- - SANITARY CLEAN OUT
- - WATER HYDRANT
- - WATER METER
- - WATER VALVE
- - MAILBOX
- - CONCRETE BOLLARD / FLAG POLE
- - STREET SIGN
- - TREE

LINE LEGEND

- — — — — PROPERTY LINE
- — — — — ADJOINING PROPERTY LINE
- — — — — EASEMENT LINE
- — — — — RIGHT-OF-WAY LINE
- — — — — ROAD CENTERLINE
- — — — — EDGE OF PAVEMENT
- — — — — CURB AND GUTTER
- — — — — FENCE (TYPE AS NOTED)
- — — — — STORM DRAIN LINE
- — — — — UTILITY - OVERHEAD POWER
- — — — — UTILITY - UNDERGROUND POWER
- — — — — CATV
- — — — — UTILITY - CABLE TV LINE
- — — — — UTILITY - TELEPHONE LINE
- — — — — UTILITY - FIBER OPTIC LINE
- — — — — UTILITY - SANITARY SEWER LINE
- — — — — UTILITY - SANITARY FORCE MAIN
- — — — — UTILITY - GAS LINE
- — — — — UTILITY - WATERLINE
- — — — — DITCH CENTERLINE
- — — — — STREAM / TRIBUTARY
- — — — — FEMA 100 YEAR FLOOD HAZARD LINE
- — — — — FEMA FLOODWAY LINE
- — — — — TREE LINE
- — — — — UTILITY - UNKNOWN

TREE LEGEND

- SPECIES (SIZE IN INCHES)
- PIN - PINE
 - HOL - HOLLY
 - SWE - SWEETGUM
 - ORN - ORNAMENTAL
 - MAP - MAPLE
 - CREP - CREPE MYRTLE
 - HIC - HICKORY
 - BLK - BLACK WALNUT
 - TW - TWIN
 - TRIP - TRIPPLE

ABBREVIATION LEGEND

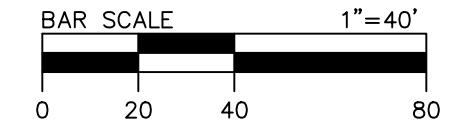
- EIP - EXISTING IRON PIPE
- EAI - EXISTING ANGLE IRON
- CP - COMPUTED POINT
- ER - EXISTING REBAR
- PP - POWER POLE
- FOM - FIBER OPTIC MARKER
- FHH - FIBER HAND HOLE
- TPED - TELEPHONE PEDESTAL
- CPED - CABLE PEDESTAL
- EMB - ELECTRIC METER BOX
- DB - DEED BOOK
- FEMA - FEDERAL EMERGENCY MANAGEMENT AGENCY
- FIRM - FLOOD INSURANCE RATE MAP
- NAD - NORTH AMERICAN DATUM
- NGS - NATIONAL GEODETIC SURVEY
- BM - BOOK OF MAPS
- PG - PAGE
- PCP - REINFORCED CONCRETE PIPE
- R/W - RIGHT-OF-WAY
- (T) - TOTAL
- OMP - CORRUGATED METAL PIPE
- EWALL - RETAINING WALL
- SSMH - SANITARY SEWER MANHOLE
- EOP - EDGE OF PAVEMENT
- INV - INVERT

REFERENCES:

1. BM 1986 PG 2263-2266
2. BM 1987 PG 18
3. BM 1994 PG 411
4. BM 2000 PG 1658
5. BM 2001 PG 624
6. BM 2021 PG 1835

GENERAL NOTES:

1. THIS IS AN EXISTING CONDITIONS SURVEY FOR DESIGN PURPOSES.
2. BEARINGS FOR THIS SURVEY ARE BASED NAD83/2011.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. AREA BY COORDINATE GEOMETRY.
5. FLOOD NOTE: PORTIONS OF THIS SITE ARE IN SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS AS SHOWN ON FIRM PANEL #3720174700K & #3720175700K REVISED DATE, JULY 19, 2022.
6. REFERENCES AS SHOWN.
7. THE GRAPHIC REPRESENTATION OF THE UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED BY FIELD LOCATION OF PAINT MARKS AND/OR PIN FLAGS PLACED BY UTILITY LOCATION CONTRACTOR (CANOY SURVEYING, PLLC).
8. STREAMS, WETLANDS WERE DELINEATED BY SAGE ECOLOGICAL SERVICES AND ARE SHOWN PER WETLAND SKETCH MAP TITLED "THE ROW AT WATKINS", PROJECT #2023.104 AND DATED SEPTEMBER 5, 2023. STREAM BUFFERS ARE SHOWN PER WETLAND SKETCH MAP AND BM 2021 PG 1835.



REV	DATE	DESCRIPTION

DESIGNED BY: 1"=40'
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 REVIEWED BY: RTF

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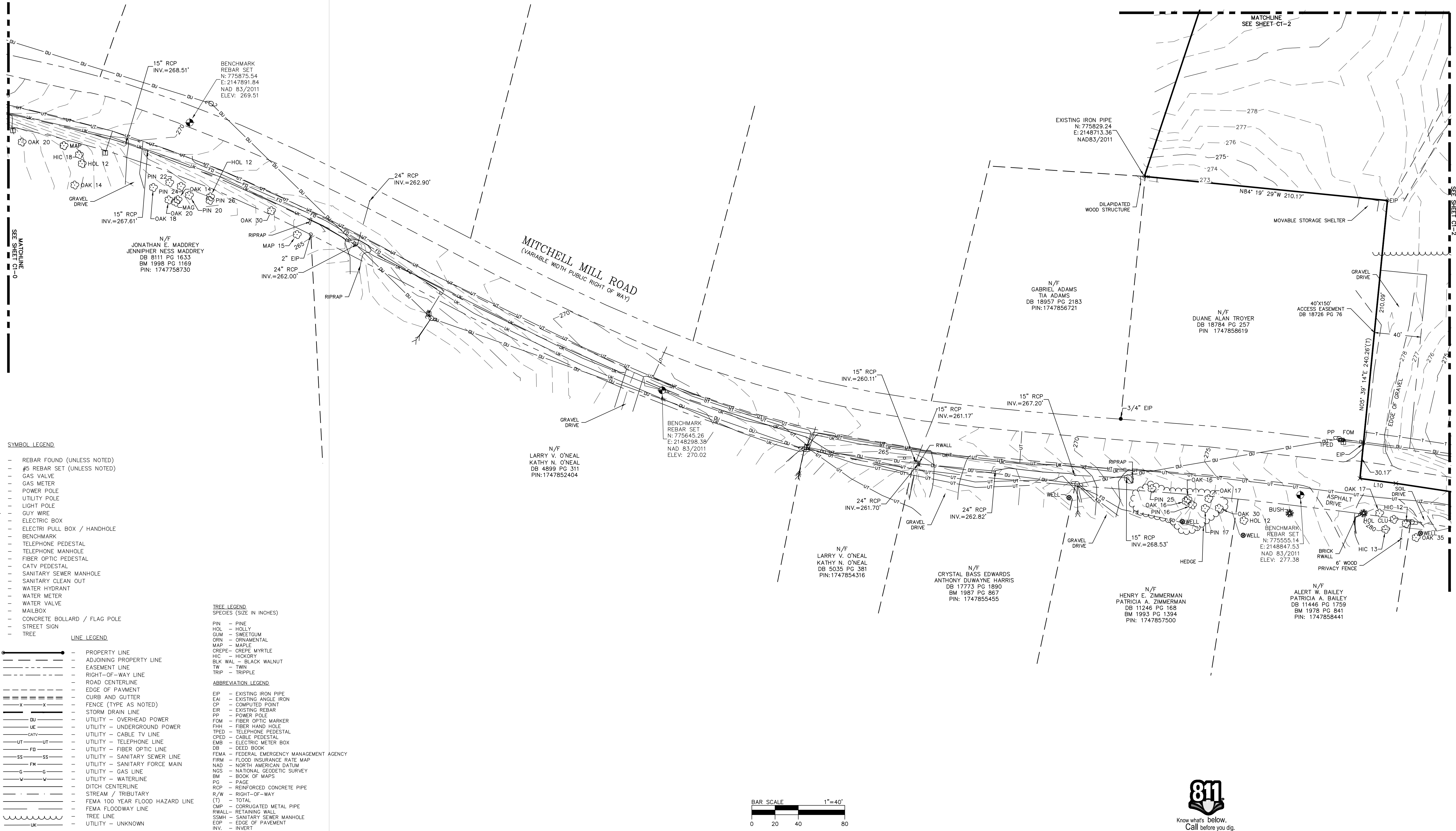
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THE ROW AT WATKINS
 4329 MITCHELL MILL ROAD
 RALEIGH, NC / 27687

EXISTING CONDITIONS SURVEY (1 OF 5)

CONSTRUCTION
 FILE NUMBER: 1123-01
 DATE: 05/15/2024
C1-0

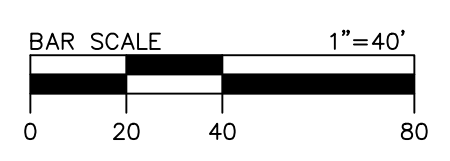
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- SYMBOL LEGEND**
- REBAR FOUND (UNLESS NOTED)
 - #5 REBAR SET (UNLESS NOTED)
 - GAS VALVE
 - GAS METER
 - POWER POLE
 - UTILITY POLE
 - LIGHT POLE
 - GUY WIRE
 - ELECTRIC BOX
 - ELECTRIC PULL BOX / HANDHOLE
 - BENCHMARK
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - FIBER OPTIC PEDESTAL
 - CATV PEDESTAL
 - SANITARY SEWER MANHOLE
 - SANITARY CLEAN OUT
 - WATER HYDRANT
 - WATER METER
 - WATER VALVE
 - MAILBOX
 - CONCRETE BOLLARD / FLAG POLE
 - STREET SIGN
 - TREE

- LINE LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - EASEMENT LINE
 - RIGHT-OF-WAY LINE
 - ROAD CENTERLINE
 - EDGE OF PAVEMENT
 - CURB AND GUTTER
 - FENCE (TYPE AS NOTED)
 - STORM DRAIN LINE
 - UTILITY - OVERHEAD POWER
 - UTILITY - UNDERGROUND POWER
 - UTILITY - CABLE TV LINE
 - UTILITY - TELEPHONE LINE
 - UTILITY - FIBER OPTIC LINE
 - UTILITY - SANITARY SEWER LINE
 - UTILITY - SANITARY FORCE MAIN
 - UTILITY - GAS LINE
 - UTILITY - WATERLINE
 - DITCH CENTERLINE
 - STREAM / TRIBUTARY
 - FEMA 100 YEAR FLOOD HAZARD LINE
 - FEMA FLOODWAY LINE
 - TREE LINE
 - UTILITY - UNKNOWN

- TREE LEGEND**
SPECIES (SIZE IN INCHES)
- PIN - PINE
 - HOL - HOLLY
 - GUM - SWEETGUM
 - ORN - ORNAMENTAL
 - MAP - MAPLE
 - CRPE - CREPE MYRTLE
 - HIC - HICKORY
 - BLK WAL - BLACK WALNUT
 - TW - TWN
 - TRIP - TRIPPLE
- ABBREVIATION LEGEND**
- EIP - EXISTING IRON PIPE
 - EAI - EXISTING ANGLE IRON
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 - OMP - CORRUGATED METAL PIPE
 - RWALL - RETAINING WALL
 - SSMH - SANITARY SEWER MANHOLE
 - EOP - EDGE OF PAVEMENT
 - INV. - INVERT



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DRAWN BY:
REVIEWED BY:

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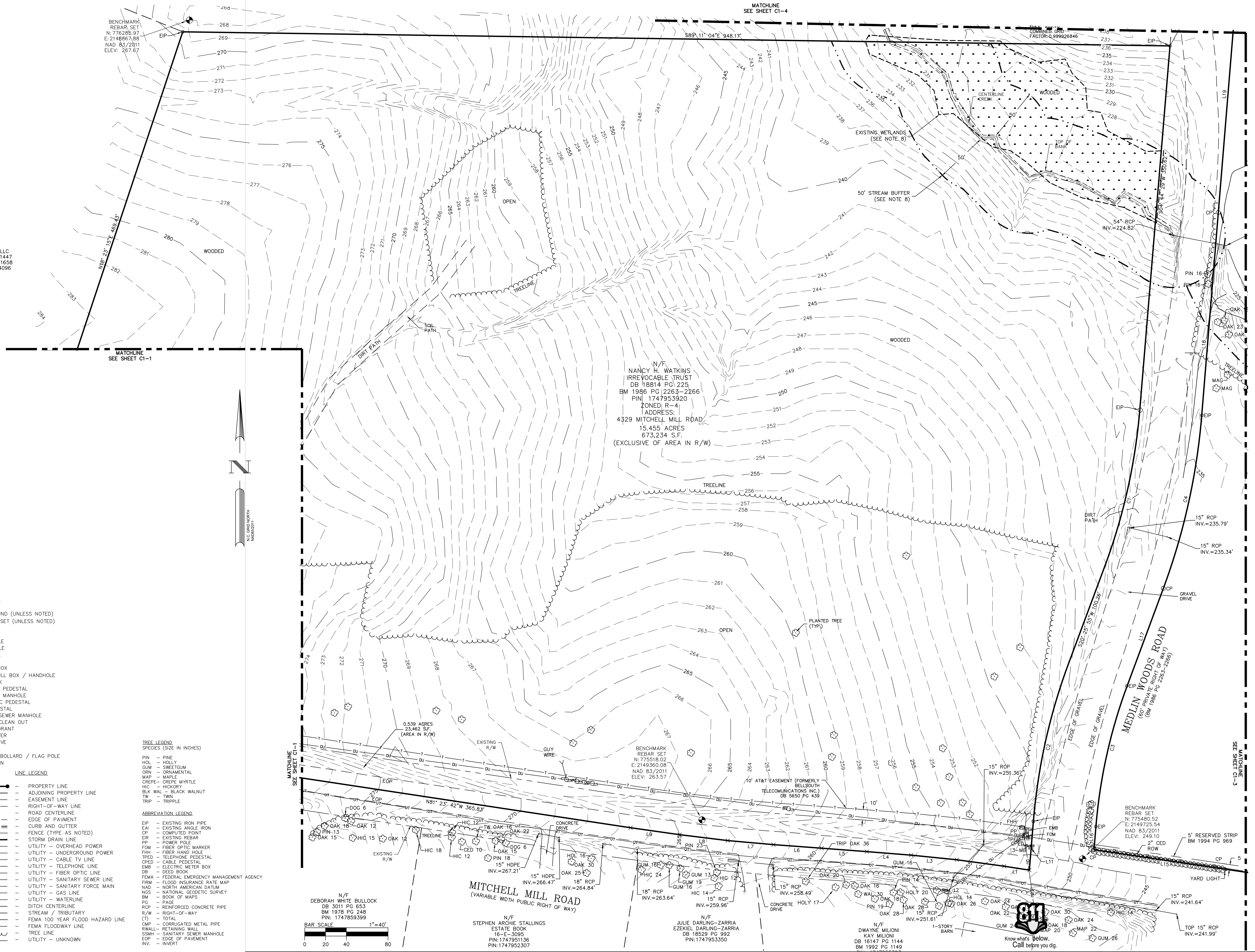
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THE ROW AT WATKINS
4329 MITCHELL MILL ROAD
RALEIGH, NC / 27687

EXISTING CONDITIONS SURVEY (2 OF 5)

CONSTRUCTION
FILE NUMBER:
11123-01
DATE: 05/15/2024
C1-1





- SYMBOL LEGEND**
- REBAR FOUND (UNLESS NOTED)
 - #5 REBAR SET (UNLESS NOTED)
 - GAS VALVE
 - GAS METER
 - POWER POLE
 - UTILITY POLE
 - LIGHT POLE
 - GUY WIRE
 - ELECTRIC BOX
 - ELECTRI PULL BOX / HANDHOLE
 - BENCHMARK
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - FIBER OPTIC PEDESTAL
 - CATV PEDESTAL
 - SANITARY SEWER MANHOLE
 - SANITARY CLEAN OUT
 - WATER HYDRANT
 - WATER METER
 - WATER VALVE
 - MAILBOX
 - CONCRETE BOLLARD / FLAG POLE
 - STREET SIGN
 - TREE
- LINE LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - EASEMENT LINE
 - RIGHT-OF-WAY LINE
 - ROAD CENTERLINE
 - EDGE OF PAVEMENT
 - CURB AND GUTTER
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 - UTILITY - CABLE TV LINE
 - UTILITY - TELEPHONE LINE
 - UTILITY - GAS LINE
 - UTILITY - WATERLINE
 - DITCH CENTERLINE
 - STREAM / TRIBUTARY
 - FEMA 100 YEAR FLOOD HAZARD LINE
 - FEMA FLOODWAY LINE
 - TREE LINE
 - UTILITY - UNKNOWN
- TREE LEGEND SPECIES (SIZE IN INCHES)**
- PIN - PINE
 - HOL - HOLLY
 - GUM - SWEETGUM
 - ORN - ORNAMENTAL
 - MAP - MAPLE
 - CREPE - CREPE MYRTLE
 - HICK - HICKORY
 - BLK WAL - BLACK WALNUT
 - TW - TWIN
 - TRIP - TRIPPLE
- ABBREVIATION LEGEND**
- EIP - EXISTING IRON PIPE
 - EAI - EXISTING ANGLE IRON
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 - TOTAL - TOTAL
 - CMP - CORRUGATED METAL PIPE
 - RWALL - RETAINING WALL
 - SSMH - SANITARY SEWER MANHOLE
 - EOP - EDGE OF PAVEMENT
 - INV. - INVERT

BENCHMARK
REBAR SET
N: 776285.97
E: 2148867.88
NAD 83/2011
ELEV: 267.67

N/F
NANCY H. WATKINS
IRREVOCABLE TRUST
DB 18814 PG 225
BM 1986 PG 2263-2266
PIN 1747953920
ZONED R-4
ADDRESS:
4329 MITCHELL MILL ROAD
15.455 ACRES
673,234 S.F.
(EXCLUSIVE OF AREA IN R/W)

BENCHMARK
REBAR SET
N: 775518.02
E: 2149360.08
NAD 83/2011
ELEV: 263.57

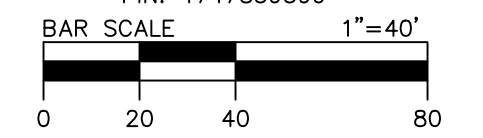
BENCHMARK
REBAR SET
N: 775480.52
E: 2149725.54
NAD 83/2011
ELEV: 249.10

N/F
DEBORAH WHITE BULLOCK
DB 3011 PG 653
BM 1978 PG 248
PIN: 1747859399

N/F
STEPHEN ARCHIE STALLINGS
ESTATE BOOK
18-E-3095
PIN: 1747951136
PIN: 1747952307

N/F
JULIE DARLING-ZARRIA
EZEKIEL DARLING-ZARRIA
DB 18529 PG 992
PIN: 1747953350

N/F
DWAYNE MILIONI
KAY MILIONI
DB 16147 PG 1144
BM 1992 PG 1149



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DRAWN BY:
REVIEWED BY:

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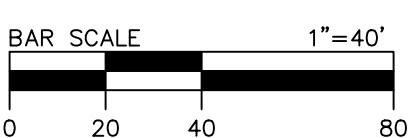
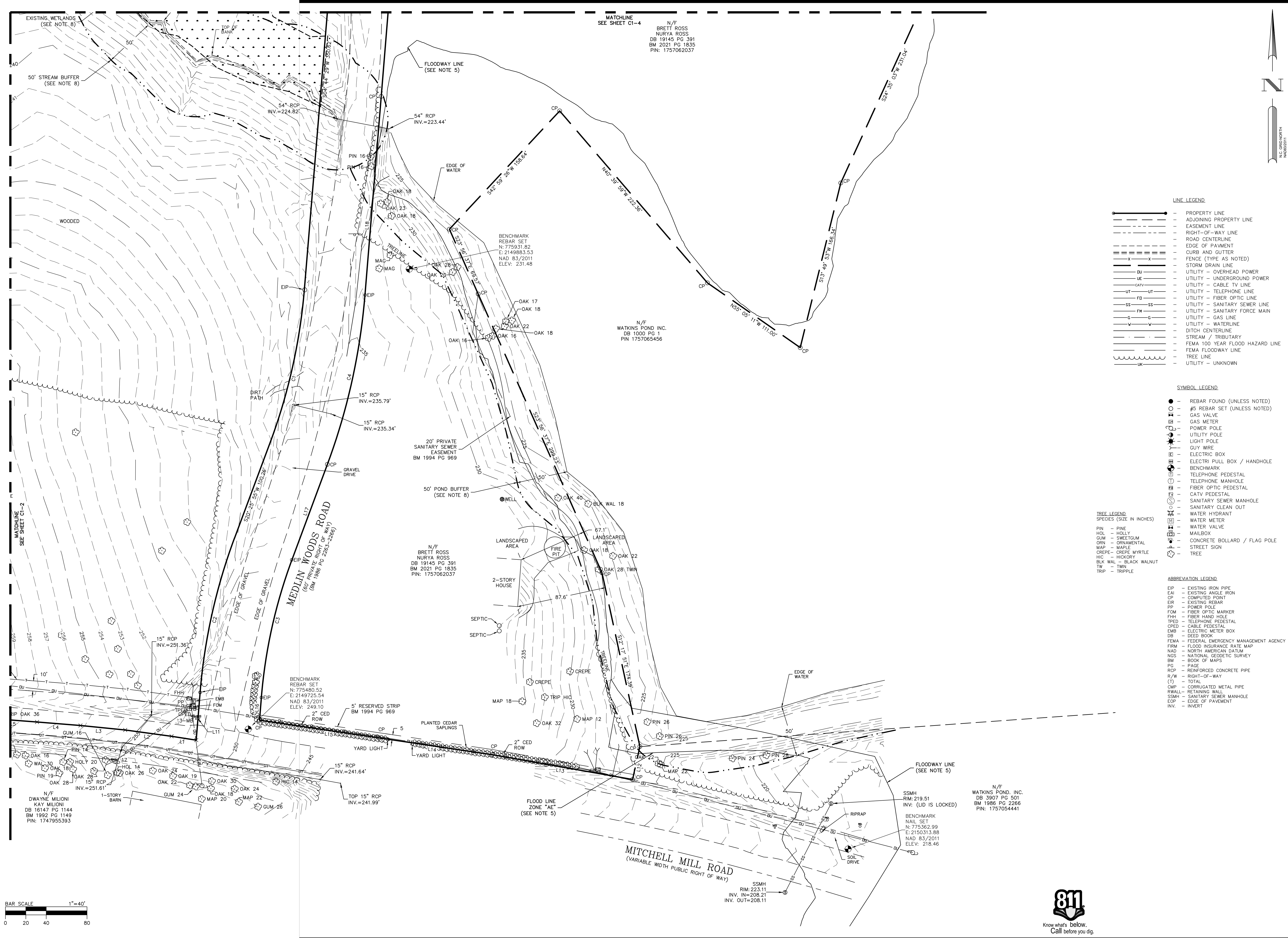
THE ROW AT WATKINS
4329 MITCHELL MILL ROAD
RALEIGH, NC 27609

EXISTING CONDITIONS SURVEY (3 OF 5)

CONSTRUCTION
FILE NUMBER:
1123-01
DATE: 05/15/2024

C1-2

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LINE LEGEND

(Symbol)	PROPERTY LINE
(Symbol)	ADJOINING PROPERTY LINE
(Symbol)	EASEMENT LINE
(Symbol)	RIGHT-OF-WAY LINE
(Symbol)	ROAD CENTERLINE
(Symbol)	EDGE OF PAVEMENT
(Symbol)	CURB AND GUTTER
(Symbol)	FENCE (TYPE AS NOTED)
(Symbol)	STORM DRAIN LINE
(Symbol)	UTILITY - OVERHEAD POWER
(Symbol)	UTILITY - UNDERGROUND POWER
(Symbol)	UTILITY - CABLE TV LINE
(Symbol)	UTILITY - TELEPHONE LINE
(Symbol)	UTILITY - FIBER OPTIC LINE
(Symbol)	UTILITY - SANITARY SEWER LINE
(Symbol)	UTILITY - GAS LINE
(Symbol)	UTILITY - WATERLINE
(Symbol)	DITCH CENTERLINE
(Symbol)	STREAM / TRIBUTARY
(Symbol)	FEMA 100 YEAR FLOOD HAZARD LINE
(Symbol)	FEMA FLOODWAY LINE
(Symbol)	TREE LINE
(Symbol)	UTILITY - UNKNOWN

SYMBOL LEGEND

(Symbol)	REBAR FOUND (UNLESS NOTED)
(Symbol)	#5 REBAR SET (UNLESS NOTED)
(Symbol)	GAS VALVE
(Symbol)	GAS METER
(Symbol)	POWER POLE
(Symbol)	UTILITY POLE
(Symbol)	LIGHT POLE
(Symbol)	GUY WIRE
(Symbol)	ELECTRIC BOX
(Symbol)	ELECTRICAL PULL BOX / HANDHOLE
(Symbol)	BENCHMARK
(Symbol)	TELEPHONE PEDESTAL
(Symbol)	TELEPHONE MANHOLE
(Symbol)	FIBER OPTIC PEDESTAL
(Symbol)	CATV PEDESTAL
(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	SANITARY CLEAN OUT
(Symbol)	WATER HYDRANT
(Symbol)	WATER VALVE
(Symbol)	MAILBOX
(Symbol)	CONCRETE BOLLARD / FLAG POLE
(Symbol)	STREET SIGN
(Symbol)	TREE

ABBREVIATION LEGEND

EIP	EXISTING IRON PIPE
EA	EXISTING ANGLE IRON
CP	COMPUTED POINT
ER	EXISTING REBAR
PP	POWER POLE
FOM	FIBER OPTIC MARKER
FHH	FIBER HAND HOLE
TPED	TELEPHONE PEDESTAL
CPED	CABLE PEDESTAL
EMB	ELECTRIC METER BOX
DB	DEED BOOK
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
NAD	NORTH AMERICAN DATUM
NGS	NATIONAL GEODETIC SURVEY
BM	BOOK OF MAPS
PG	PAGE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
(T)	TOTAL
CMP	CORRUGATED METAL PIPE
RWALL	RETAINING WALL
SSMH	SANITARY SEWER MANHOLE
EDP	EDGE OF PAVEMENT
INV.	INVERT

TREE LEGEND
SPECIES (SIZE IN INCHES)

PIN	PINE
HOL	HOLLY
GUM	SWEETGUM
ORN	ORNAMENTAL
MAP	MAPLE
CREPE	CREPE MYRTLE
HIC	HICKORY
BLK WAL	BLACK WALNUT
TW	TWIN
TRIP	TRIPPLE

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DATE	
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EXISTING CONDITIONS SURVEY (4 OF 5)

CONSTRUCTION
FILE NUMBER:
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C1-3

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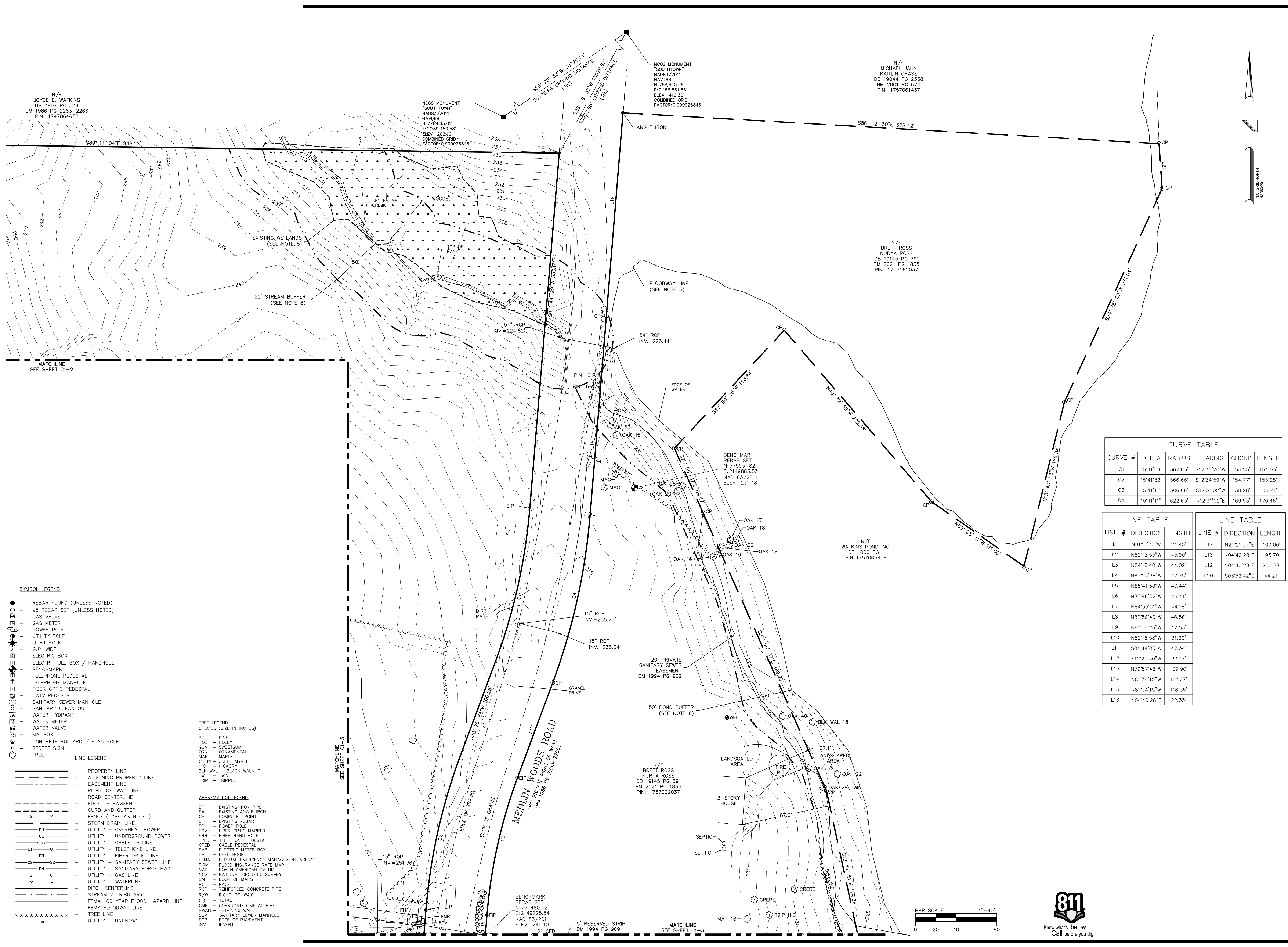
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EXISTING CONDITIONS SURVEY (4 OF 5)

CONSTRUCTION
FILE NUMBER:
1123-01
DATE: 05/15/2024

C1-3



SYMBOL LEGEND

- REBAR FOUND (UNLESS NOTED)
- #5 REBAR SET (UNLESS NOTED)
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ POWER POLE
- ⊕ UTILITY POLE
- ⊕ LIGHT POLE
- ⊕ GUY WIRE
- ⊕ ELECTRIC BOX
- ⊕ ELECTRI PULL BOX / HANDHOLE
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- ⊕ STREET SIGN
- ⊕ TREE

LINE LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- ROAD CENTERLINE
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- FENCE (TYPE AS NOTED)
- STORM DRAIN LINE
- UTILITY - OVERHEAD POWER
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- UTILITY - CABLE TV LINE
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- UTILITY - GAS LINE
- UTILITY - WATERLINE
- DITCH CENTERLINE
- STREAM / TRIBUTARY
- FEMA 100 YEAR FLOOD HAZARD LINE
- FEMA FLOODWAY LINE
- TREE LINE
- UTILITY - UNKNOWN

TREE LEGEND
SPECIES (SIZE IN INCHES)

- PIN - PINE
- HOL - HOLLY
- GUM - SWEETGUM
- ORN - ORNAMENTAL
- MAP - MAPLE
- CREFE - CREPE MYRTLE
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- BLK WAL - BLACK WALNUT
- TW - TWN
- TRIP - TRIPPLE

ABBREVIATION LEGEND

- EIP - EXISTING IRON PIPE
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- SSMH - SANITARY SEWER MANHOLE
- EOP - EDGE OF PAVEMENT
- INV. - INVERT

CURVE TABLE

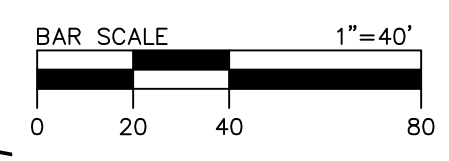
CURVE #	DELTA	RADIUS	BEARING	CHORD	LENGTH
C1	15°41'09"	562.63'	S12°35'20"W	153.55'	154.03'
C2	15°41'52"	566.66'	S12°34'59"W	154.77'	155.25'
C3	15°41'11"	506.66'	S12°31'02"W	138.28'	138.71'
C4	15°41'11"	622.63'	N12°31'02"E	169.93'	170.46'

LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N81°11'30"W	24.45'
L2	N82°13'55"W	45.90'
L3	N84°15'40"W	44.09'
L4	N85°23'38"W	42.75'
L5	N85°41'58"W	43.44'
L6	N85°46'52"W	46.41'
L7	N84°55'51"W	44.18'
L8	N82°59'46"W	46.56'
L9	N81°56'23"W	47.53'
L10	N82°18'58"W	31.20'
L11	S04°44'03"W	47.34'
L12	S12°27'30"W	33.17'
L13	N79°57'48"W	139.90'
L14	N81°34'15"W	112.27'
L15	N81°34'15"W	118.36'
L16	N04°40'28"E	22.33'

LINE TABLE

LINE #	DIRECTION	LENGTH
L17	N20°21'37"E	100.00'
L18	N04°40'28"E	195.70'
L19	N04°40'28"E	200.28'
L20	S03°52'42"E	44.21'



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REVIEWED BY:

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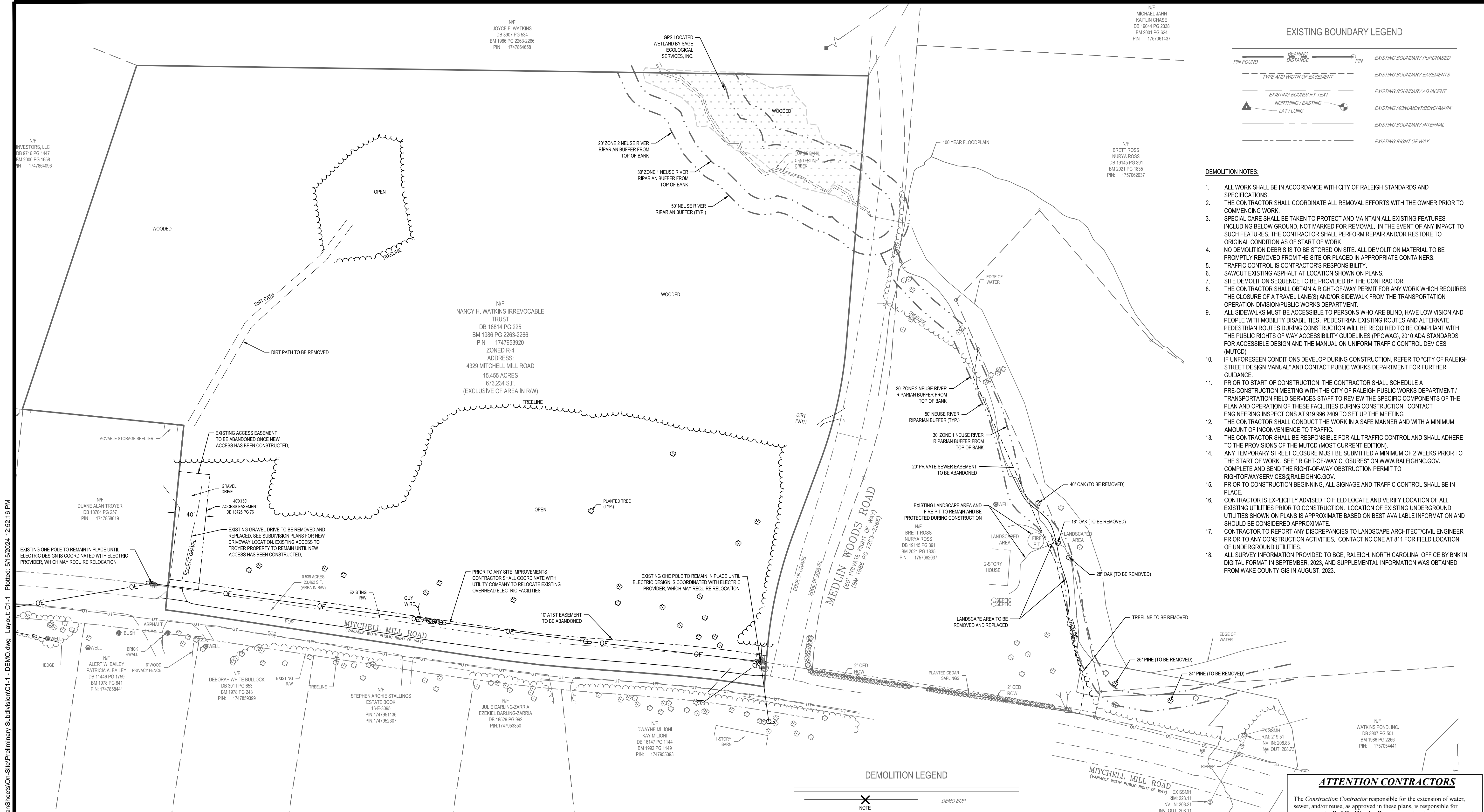
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RALEIGH, NC / 27609

THE ROW AT WATKINS
4329 MITCHELL MILL ROAD
RALEIGH, NC / 27687

EXISTING CONDITIONS SURVEY (5 OF 5)

CONSTRUCTION
FILE NUMBER:
1123-01
DATE: 05/15/2024
C1-4

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EXISTING BOUNDARY LEGEND

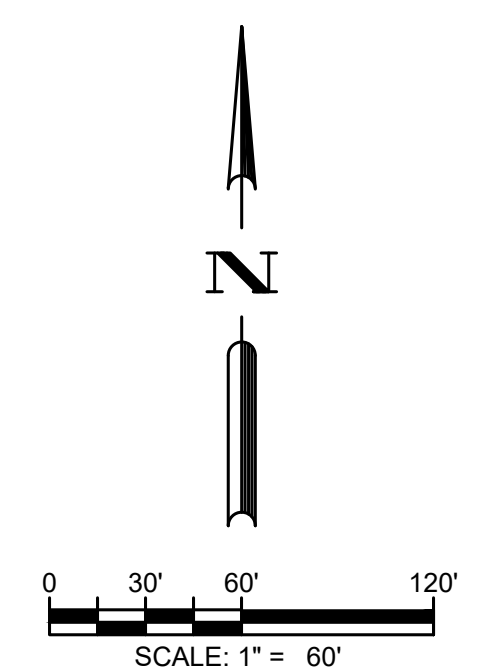
	EXISTING BOUNDARY PURCHASED
	EXISTING BOUNDARY EASEMENTS
	EXISTING BOUNDARY ADJACENT
	EXISTING MONUMENT/BENCHMARK
	EXISTING BOUNDARY INTERNAL
	EXISTING RIGHT OF WAY

DEMOLITION NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
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- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- ALL SURVEY INFORMATION PROVIDED TO BGE, RALEIGH, NORTH CAROLINA OFFICE BY BNK IN DIGITAL FORMAT IN SEPTEMBER, 2023, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST, 2023.

DEMOLITION LEGEND

	DEMO EOP
	DEMO CURB
	DEMO STRIPING
	DEMO ELECTRIC OVERHEAD
	DEMO ELECTRIC UNDERGROUND
	DEMO SEWER
	DEMO STORM
	DEMO WATER
	DEMO UTILITY
	DEMO FENCE
	DEMO WALL
	DEMO BUILDING / STRUCTURE
	DEMO CONCRETE
	DEMO VEGETATION
	DEMO SIGNAGE



ATTENTION CONTRACTORS

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Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

NO.	DATE	REV	DESCRIPTION
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CONSTRUCTION

FILE NUMBER:
11123-01

DATE: 05/15/2024

C1-5



BGE

5438 WADE PARK BLVD, SUITE 420
RALEIGH, NC 27607
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NC LICENSE #C-4397

ASHTON WOODS

900 RIDGEFIELD DR, STE 335
RALEIGH, NC / 27609

THE ROW AT WATKINS

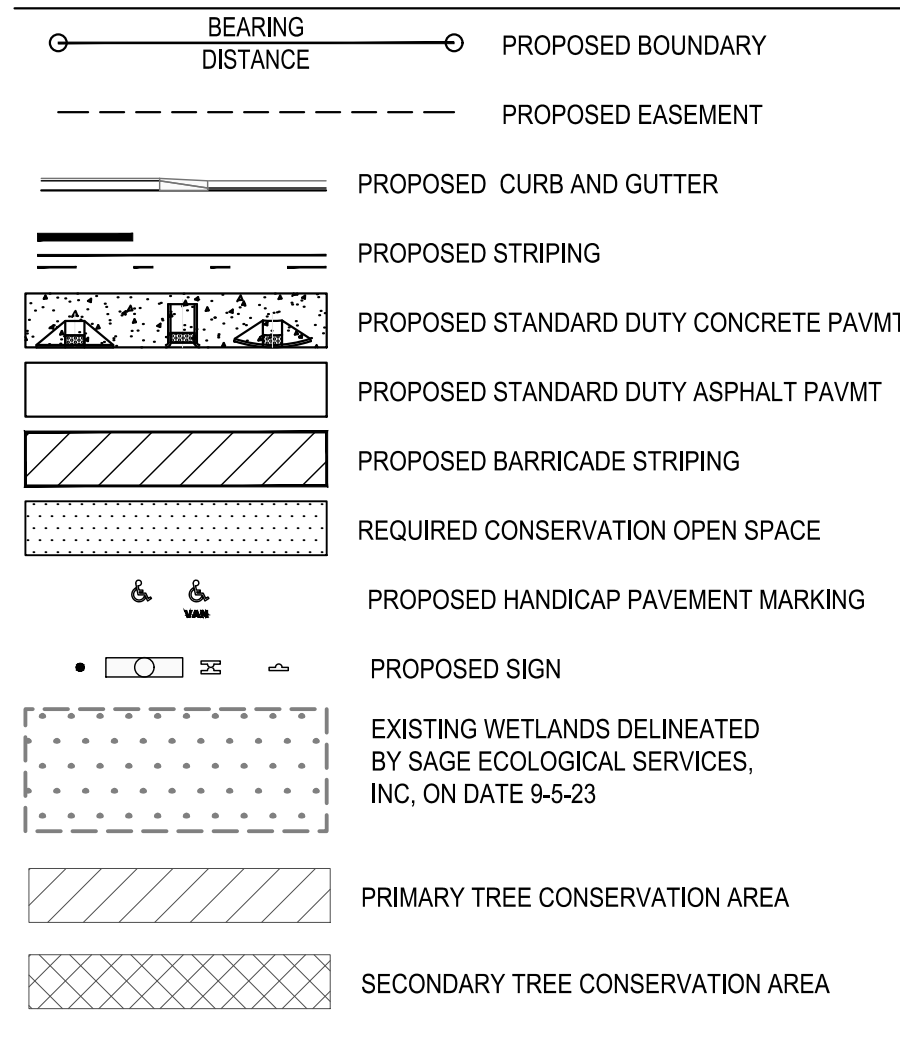
4329 MITCHELL MILL ROAD
RALEIGH, NC / 27687

OVERALL DEMOLITION PLAN

G:\INCA\Projects\Ashton Woods\1123-01 - The Row at Watkins - Raleigh\03 - DWG\PlanSheets\On-Site\Preliminary Subdivision\C2-0 - OVERALL SUBDIVISION PLAN.dwg Layout: C2-0 Plotted: 5/15/2024 12:52:33 PM

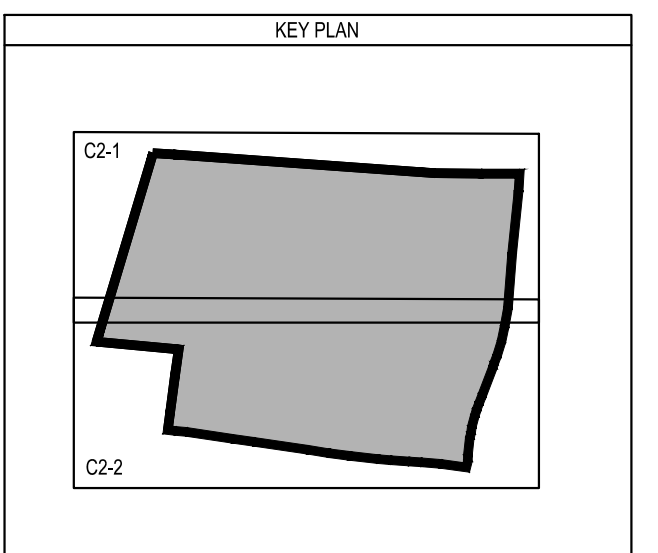
PARCEL LINE AND CURVE DATA TABLE			
LINE # / CURVE #	LENGTH	BEARING / DELTA	RADIUS
C1	88.40	33.77	150.00
C2	93.15	35.58	150.00
C3	161.35	61.63	150.00
C4	9.45	3.61	150.00
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C6	75.09	28.68	150.00
C7	38.15	13.81	150.00
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L3	230.37	S15° 49' 55.80"W	
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L5	196.20	S81° 23' 41.61"E	
L6	169.71	S85° 00' 14.53"E	
L7	87.28	N25° 45' 45.27"E	
L8	173.81	S89° 11' 04.20"E	
L9	452.11	S60° 30' 07.20"E	
L10	140.39	S74° 18' 36.67"E	

SITE PLAN LEGEND



STREET TABLE			
STREET NAME	TYPE	R/W WIDTH	B-B WIDTH
ROAD A	NEIGHBORHOOD YIELD	55'	27'
ROAD B	NEIGHBORHOOD YIELD	55'	27'
ROAD C	NEIGHBORHOOD YIELD	55'	27'

MAX IMPERVIOUS AREA PER LOT	
SMALL TOWNHOME	LARGE TOWNHOME
1790 SF	2550 SF



GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED BY BGE, RALEIGH, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN SEPTEMBER, 2023, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN SEPTEMBER, 2023.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT MC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
- WHEELCHAIR ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMP(S) AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO 'CITY OF RALEIGH STREET DESIGN MANUAL' AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
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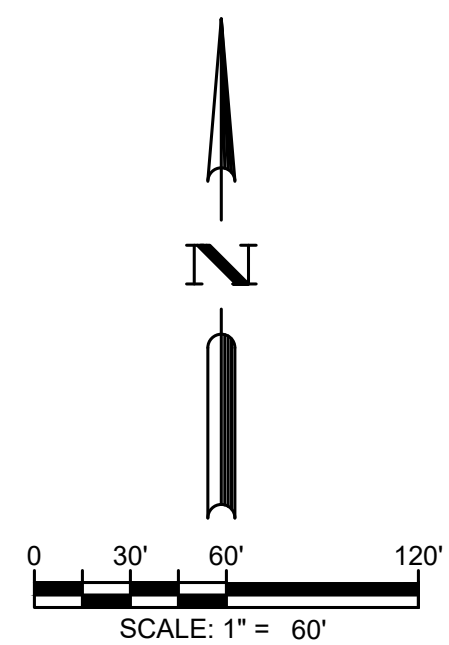
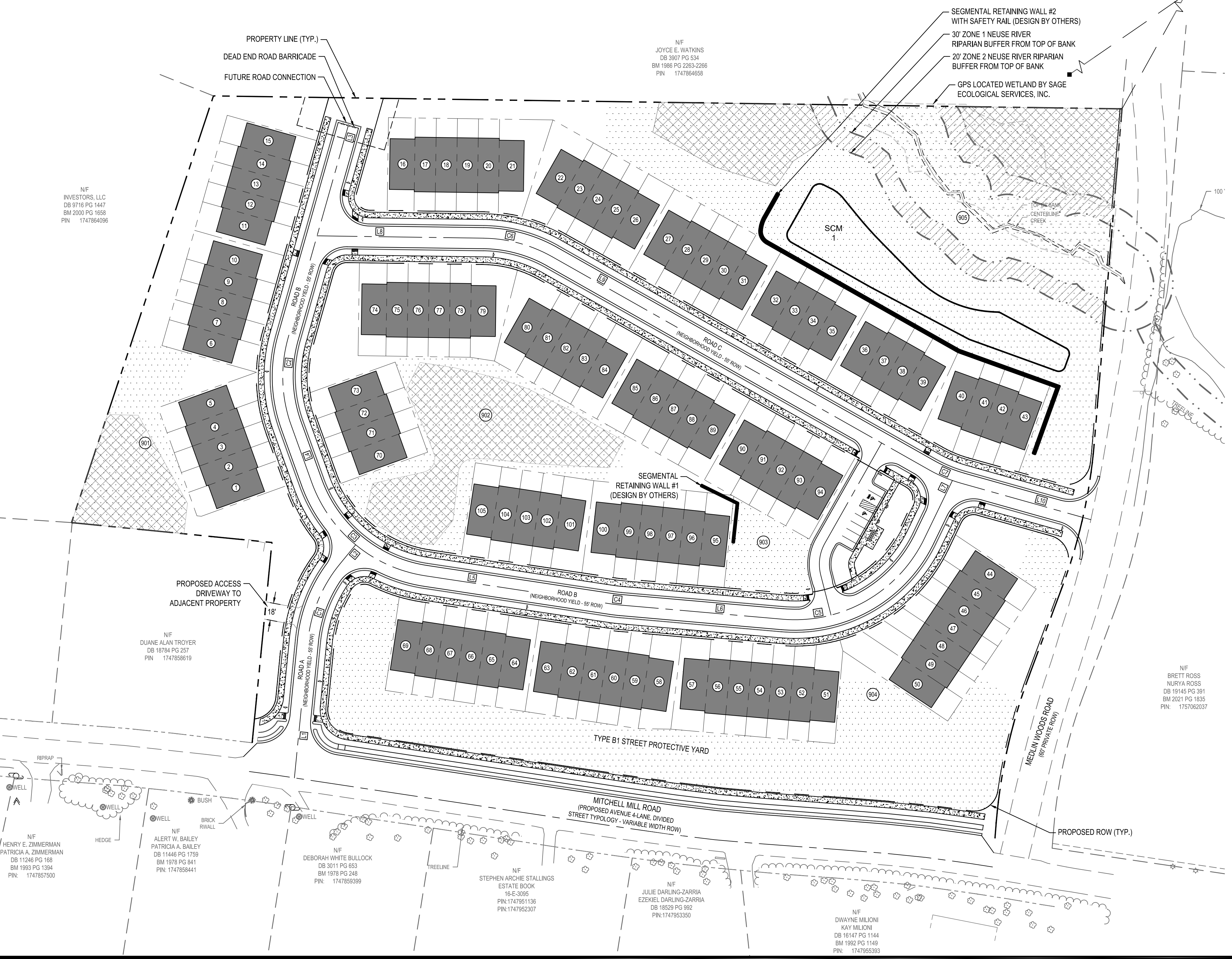
NOTE: MEDLIN WOODS ROAD IS A 60' PRIVATE RIGHT-OF-WAY AS SHOWN ON THE REFERENCED PLAT. CITY OF RALEIGH STREET PLAN ADVANCE THE ROAD AS NEIGHBORHOOD STREET TYP. ONLY DUE TO IT BEING PRIVATE. THIS PROJECT IS PROPOSING THE DEDICATION OF 2' OF RIGHT-OF-WAY, BUT NO IMPROVEMENTS TO THE ROAD. ROAD C CONNECTION IS PER DEEDED ACCESS BEING ALLOWED FOR SUBJECT PROPERTY.

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DESIGNED BY:	CT
DRAWN BY:	CT/WC
REVIEWED BY:	RF

BCE
5438 WIDE PARK BLVD, SUITE 420
RALEIGH, NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4397

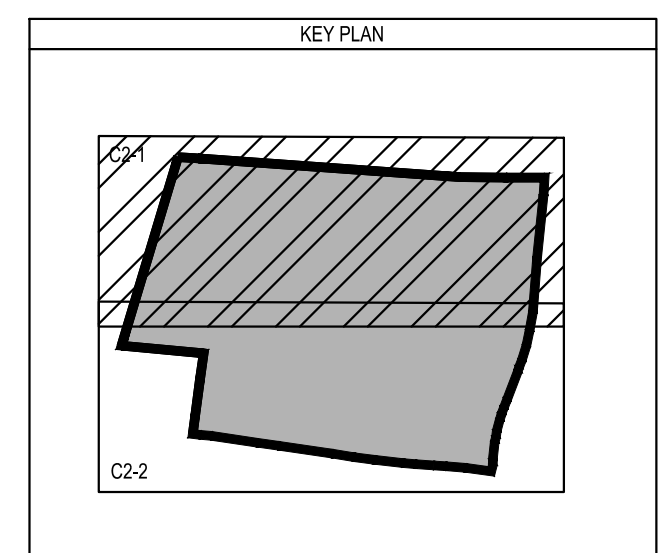
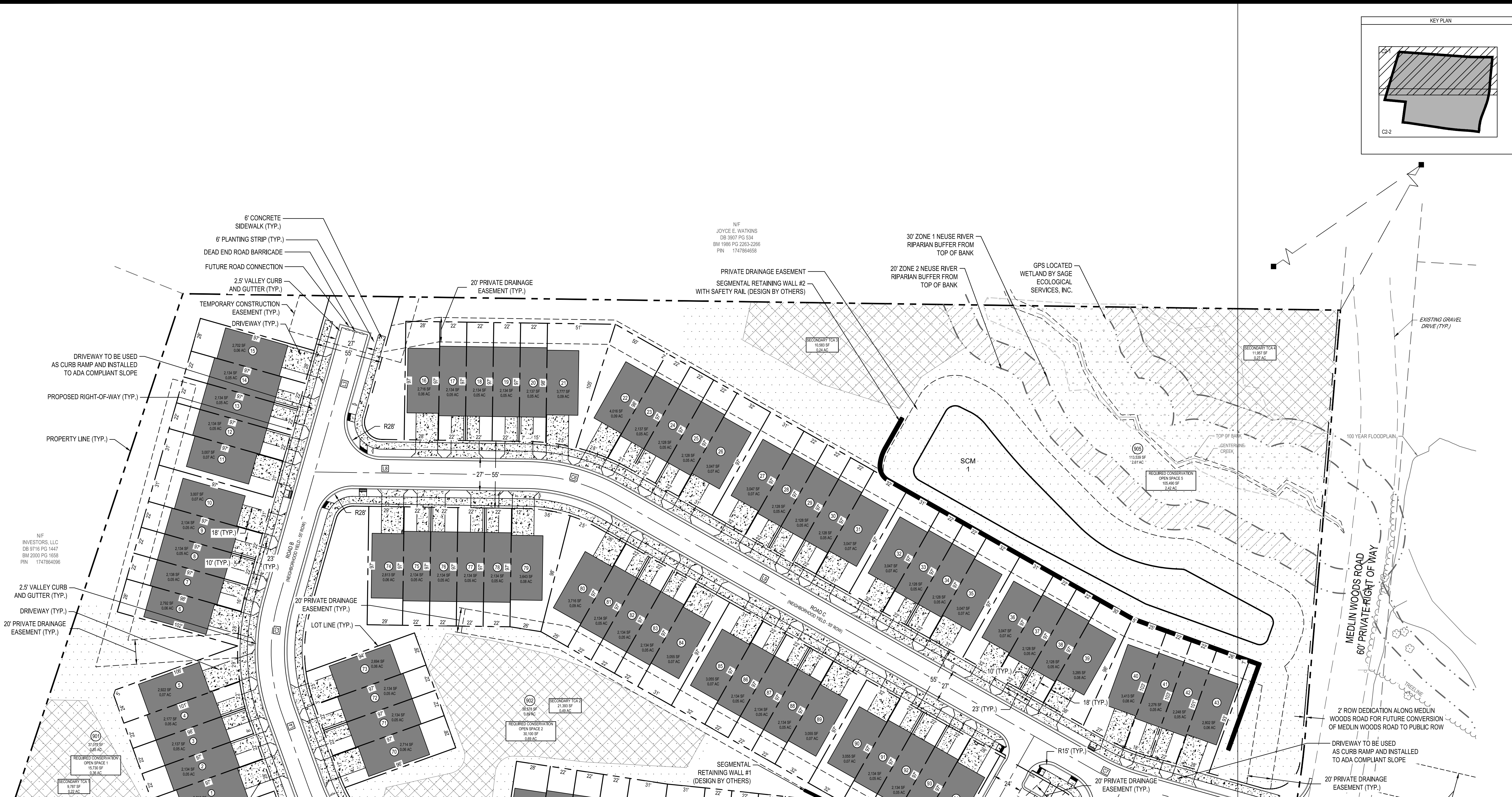
ASHTON WOODS
900 RIDGEFIELD DR, STE 335
RALEIGH, NC / 27609

THE ROW AT WATKINS
4329 MITCHELL MILL ROAD
RALEIGH, NC / 27687

OVERALL SUBDIVISION PLAN

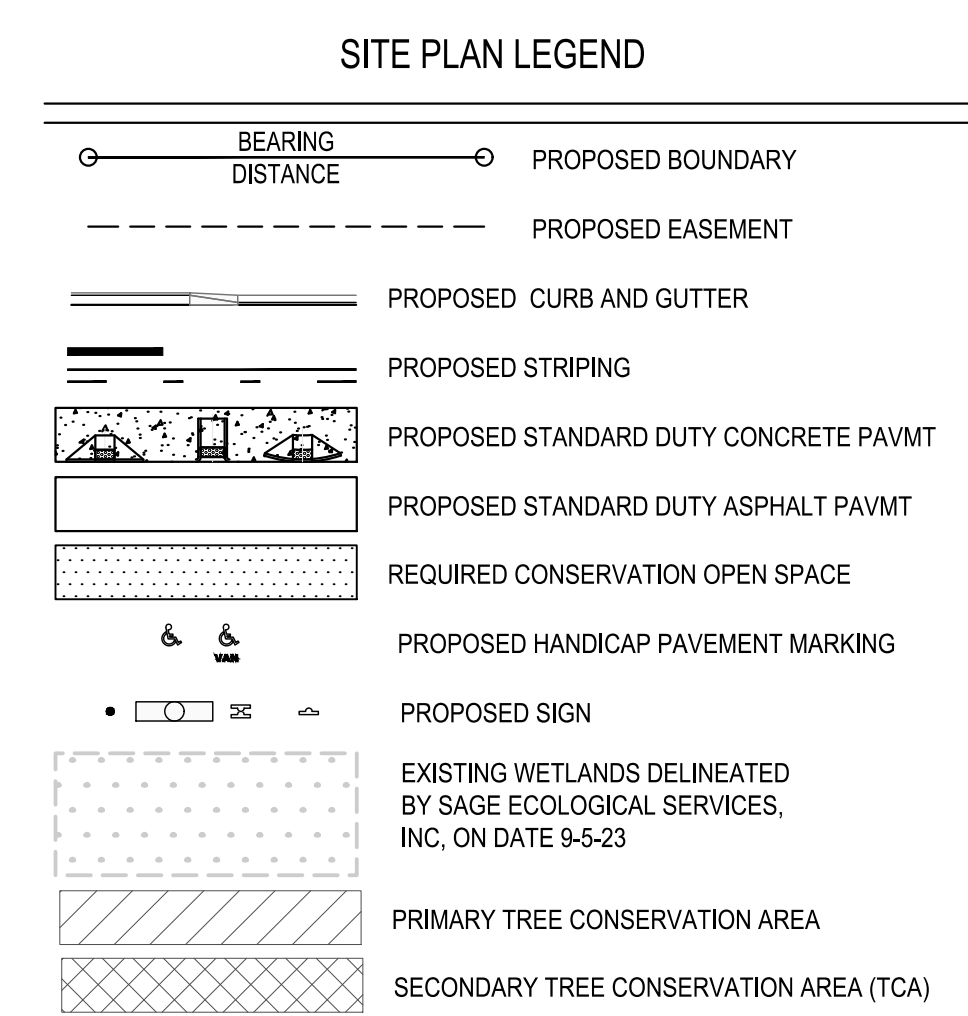
CONSTRUCTION
FILE NUMBER:
11123-01
DATE: 05/15/2024
C2-0

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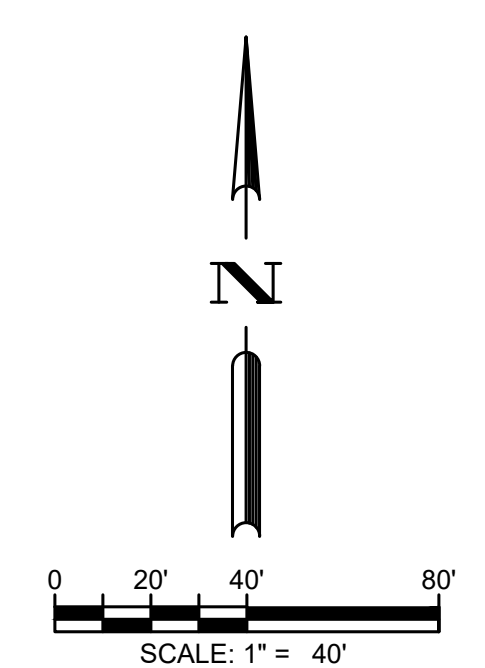
ROADWAY CENTERLINE LINE AND CURVE DATA TABLE

LINE # / CURVE #	LENGTH	BEARING / DELTA	RADIUS
C1	88.40	33.77	150.00
C2	93.15	35.58	150.00
C3	161.35	61.63	150.00
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STREET TABLE

STREET NAME	TYPE	R/W WIDTH	B-B WIDTH
ROAD A	NEIGHBORHOOD YIELD	55'	27'
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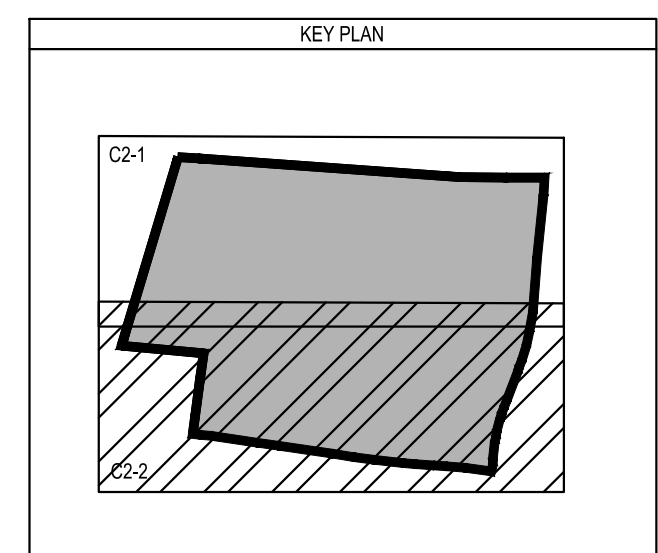
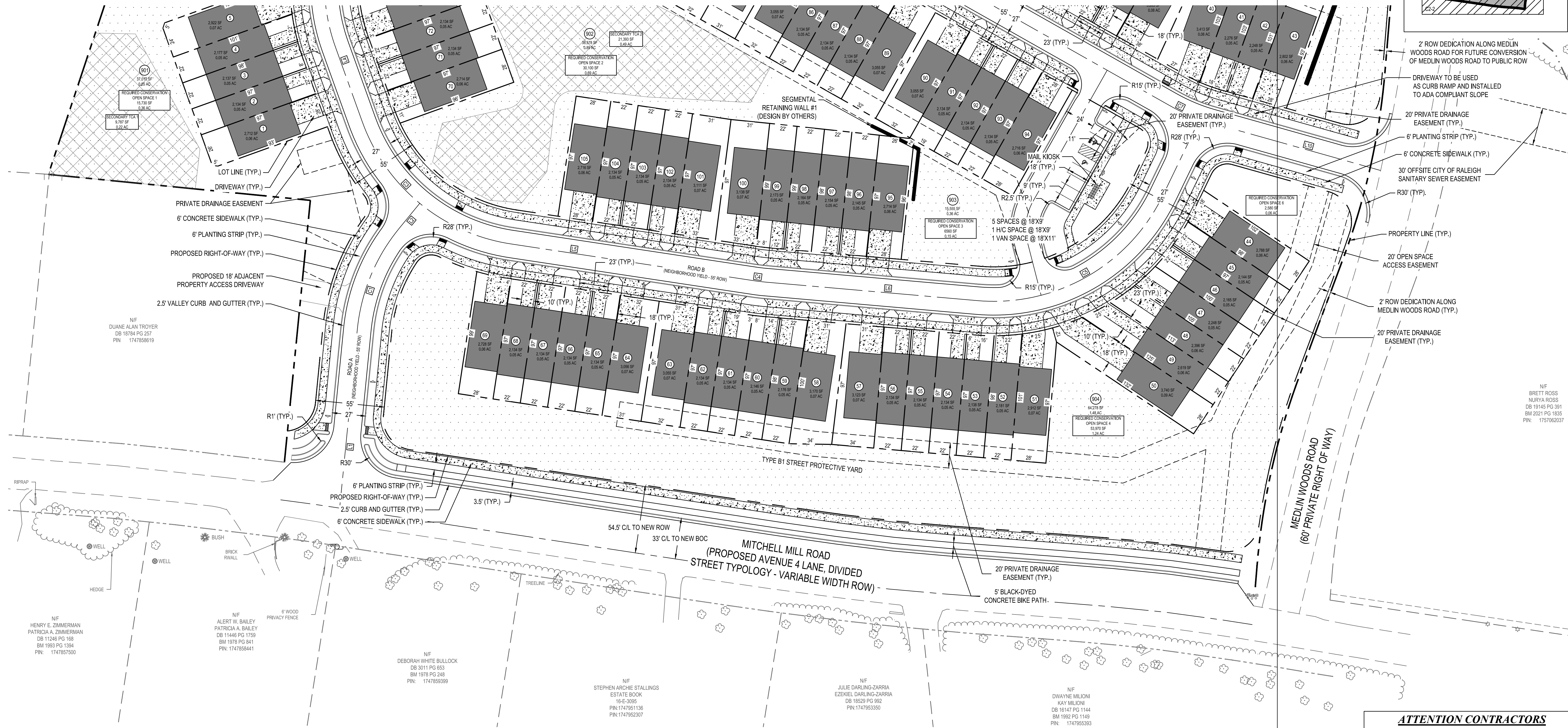
THE ROW AT WATKINS
4239 MITCHELL MILL ROAD
RALEIGH, NC / 27687

SUBDIVISION PLAN
(1 OF 2)

CONSTRUCTION
FILE NUMBER:
11123-01
DATE: 05/15/2024

C2-1

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REV	DATE	DESCRIPTION
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B		
C		
D		
E		

DESIGNED BY: CT
 DRAWN BY: CT/WC
 REVIEWED BY: RF

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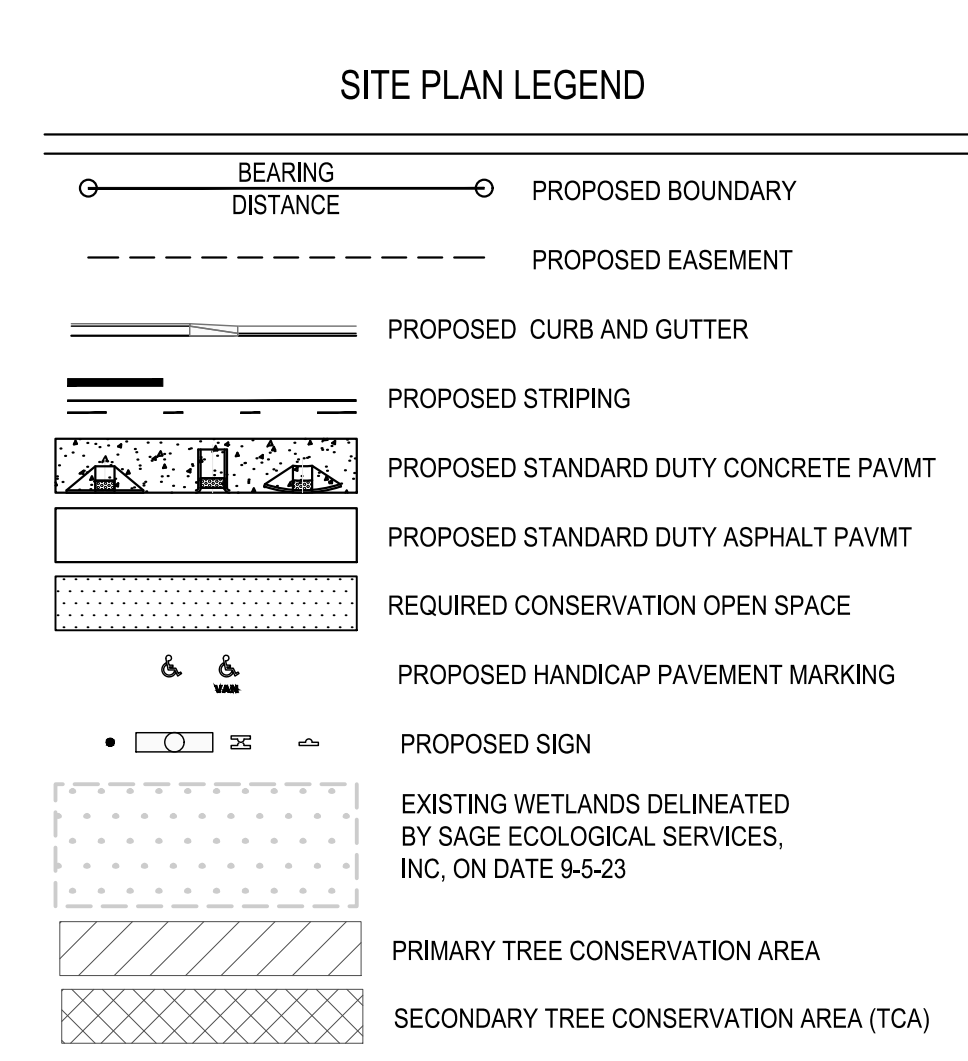
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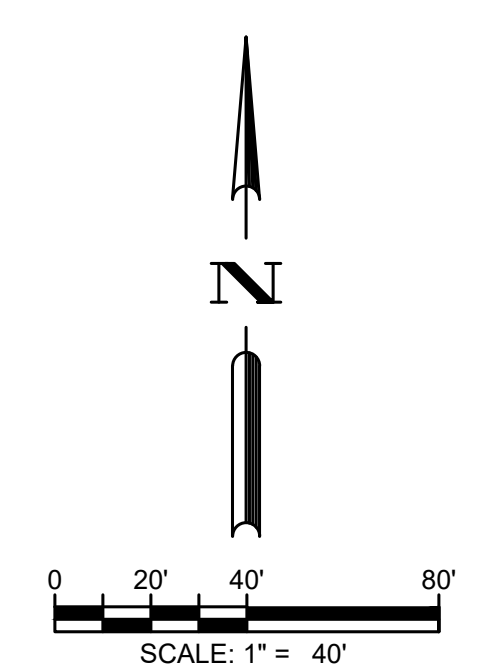
SUBDIVISION PLAN
 (2 OF 2)

CONSTRUCTION
 FILE NUMBER:
 11123-01
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 C2-2

LINE # / CURVE #	LENGTH	BEARING / DELTA	RADIUS
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C2	93.15	35.58	150.00
C3	161.35	61.63	150.00
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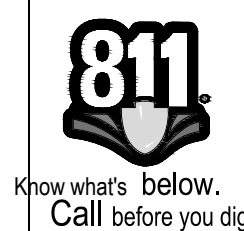


ATTENTION CONTRACTORS

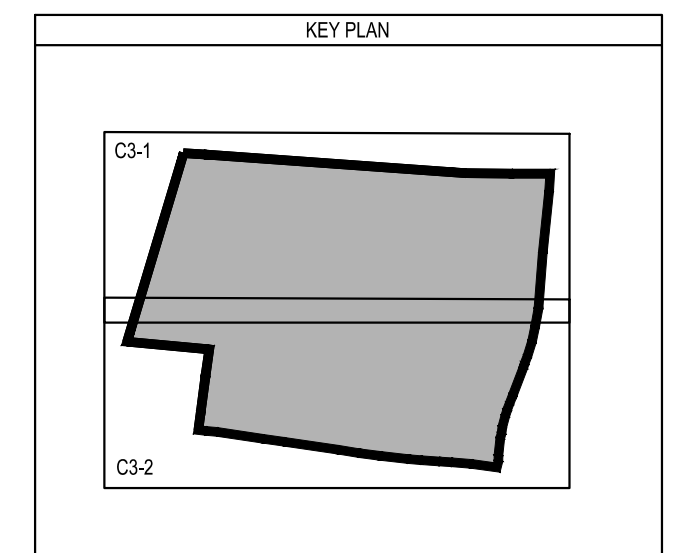
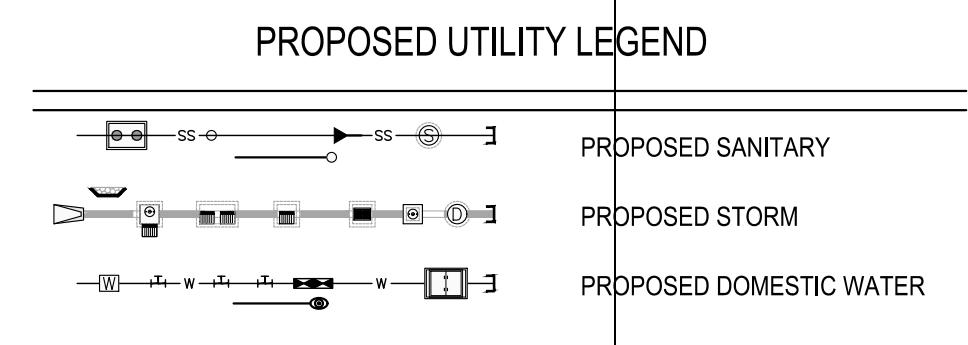
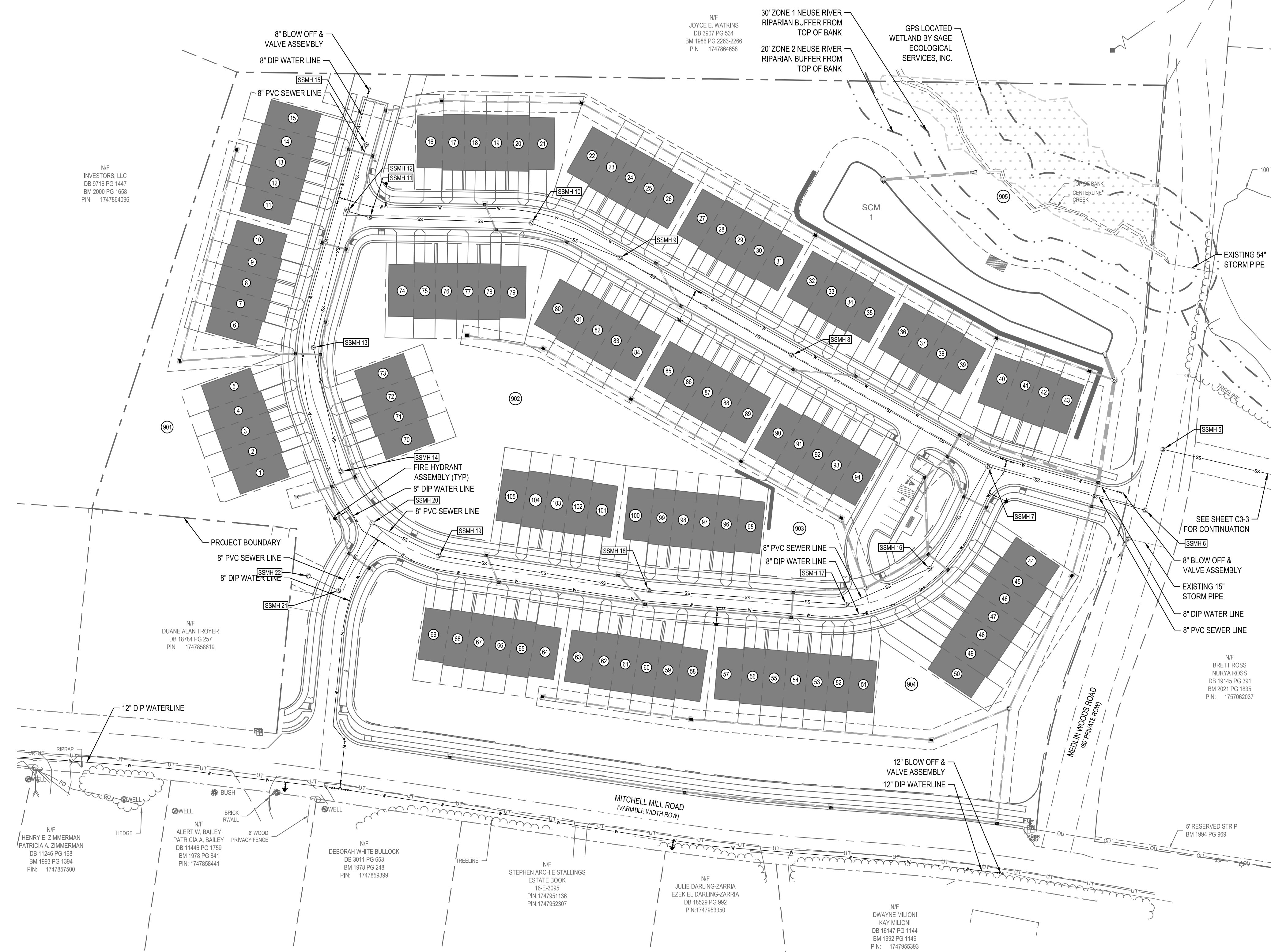
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STANDARD UTILITY NOTES:

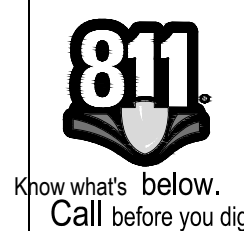
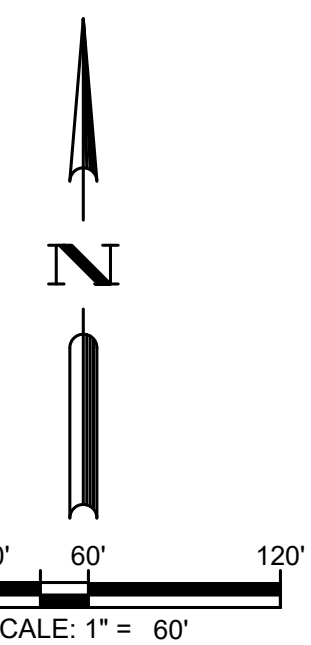
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP STORM DRAIN FACILITIES, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & RCP PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRaversing PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-6766 OR FOG@RALEIGH.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX 8 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-9223 OR CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.
- ALL PROPOSED WATER MAINS SHOWN ON THESE PLANS SHALL BE 8" DUCTILE IRON PIPE (AWWA C-150) PER CITY OF RALEIGH STANDARDS UNLESS OTHERWISE NOTED.
- POTABLE WATER MAINS MAXIMUM ALLOWABLE JOINT DEFLECTION IS 5". RADI ARE PRODUCED BY A SUCCESSION OF NOMINAL LENGTHS OF PIPE FULLY DEFLECTED.
- 8" DIP POTABLE WATER MAIN SHOWN HERE TO BE INSTALLED AT MINIMUM 3' BURY AND COVER DEPTH PER CITY OF RALEIGH STANDARDS.
- PIPE JOINTS SHALL BE MECHANICAL OR "PUSH ON" MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C-111.
- A 12" DUCTILE IRON WATER PIPE (AWWA C-150) SHALL BE INSTALLED WITHIN MITCHELL MILL ROAD PER CITY OF RALEIGH STANDARDS UNLESS OTHERWISE NOTED.
- ALL PROPOSED SANITARY SEWER MAINS SHOWN ON THESE PLANS SHALL BE 8" PVC ASTM D-3034-98 (SDR-35) UNLESS OTHERWISE NOTED.

ATTENTION CONTRACTORS

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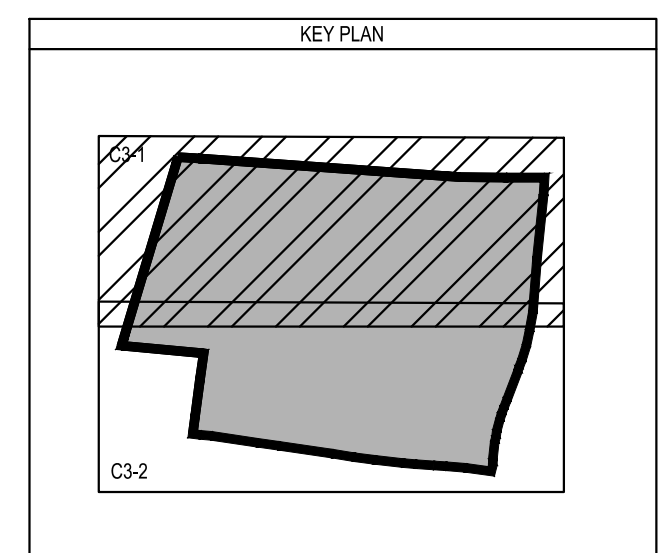
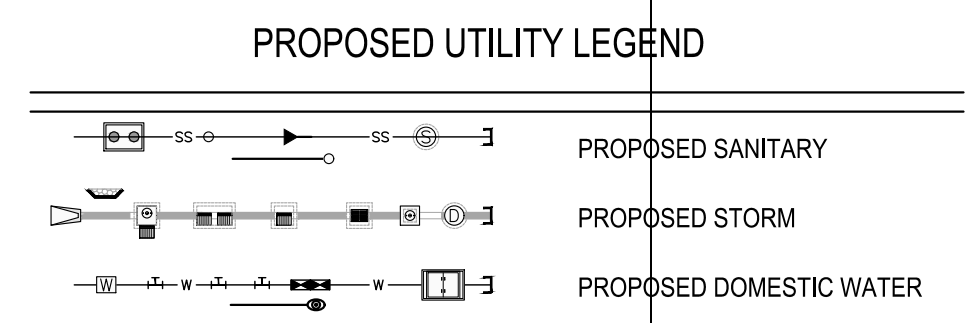
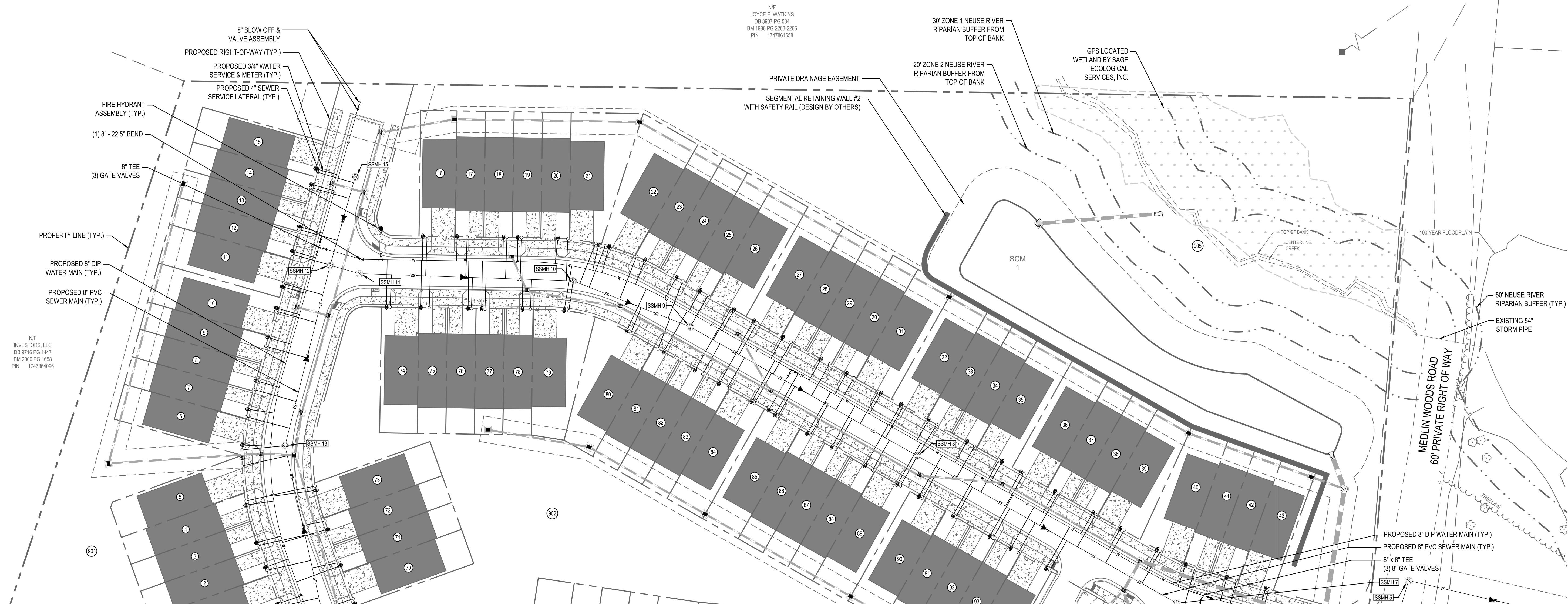
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NO.	DATE	REV	DESCRIPTION
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REVIEWED BY:	RF		
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ASHTON WOODS 900 RIDGEFIELD DR, STE 335 RALEIGH, NC / 27609			
THE ROW AT WATKINS 4329 MITCHELL MILL ROAD RALEIGH, NC / 27607			
OVERALL UTILITY PLAN			
CONSTRUCTION FILE NUMBER: 11123-01 DATE: 05/15/2024 C3-0			

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NF INVESTORS, LLC
DB 9716 PG 1447
BM 2000 PG 1638
PIN 1747864396

NF
JOYCE E. WATKINS
DB 3907 PG 534
BM 1986 PG 2263-2266
PIN 1747864658

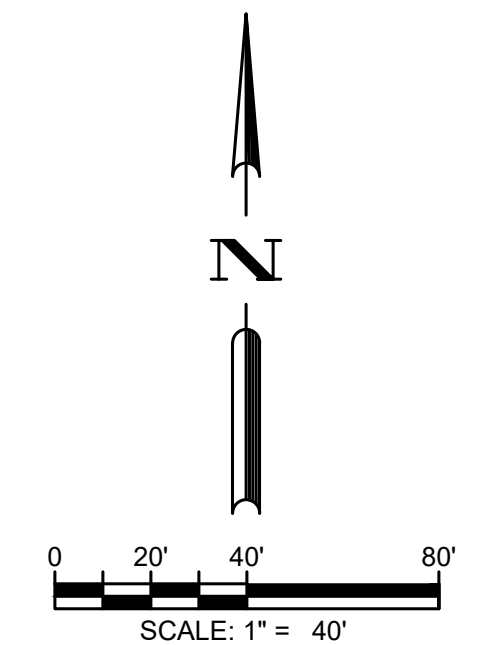
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WETLAND BY SAGE
ECOLOGICAL
SERVICES, INC.

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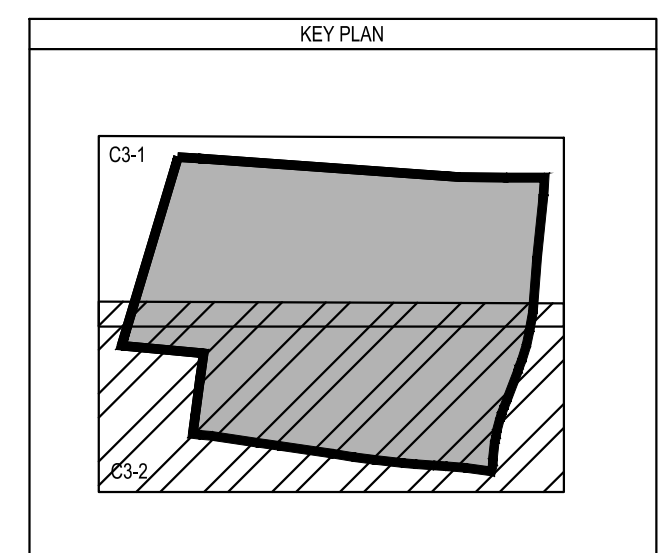
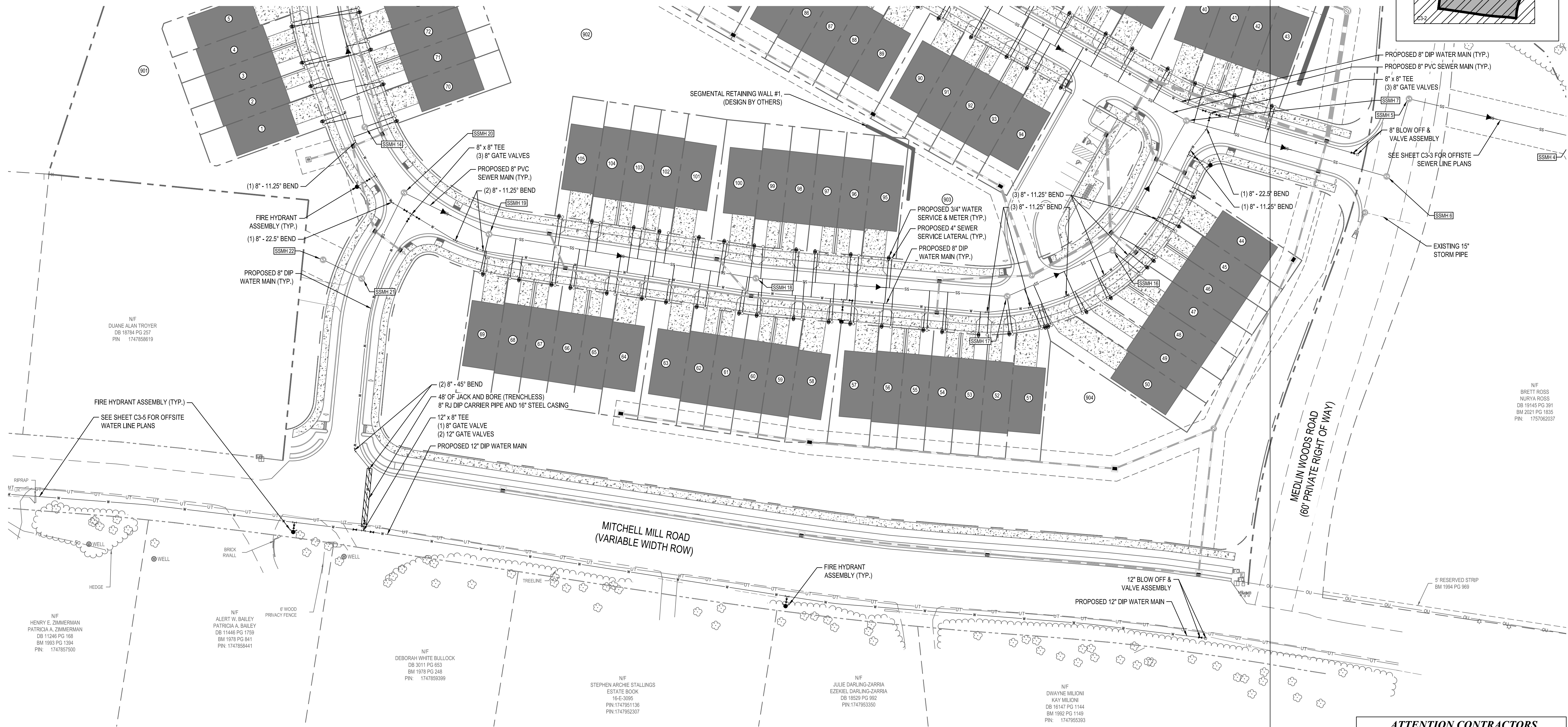
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THE ROW AT WATKINS
4329 MITCHELL MILL ROAD
RALEIGH, NC 27687

UTILITY PLAN
(1 OF 2)

CONSTRUCTION
FILE NUMBER:
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DATE: 05/15/2024
C3-1

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NF
DUANE ALAN TROYER
DB 18784 PG 257
PIN: 1747858619

FIRE HYDRANT ASSEMBLY (TYP.)
SEE SHEET C3-5 FOR OFFSITE
WATER LINE PLANS

NF
HENRY E. ZIMMERMAN
PATRICIA A. ZIMMERMAN
DB 11246 PG 168
BM 1993 PG 1394
PIN: 1747857500

NF
ALERT W. BAILEY
PATRICIA A. BAILEY
DB 11446 PG 1759
BM 1978 PG 841
PIN: 1747858441

NF
DEBORAH WHITE BULLOCK
DB 3011 PG 653
BM 1978 PG 248
PIN: 1747859399

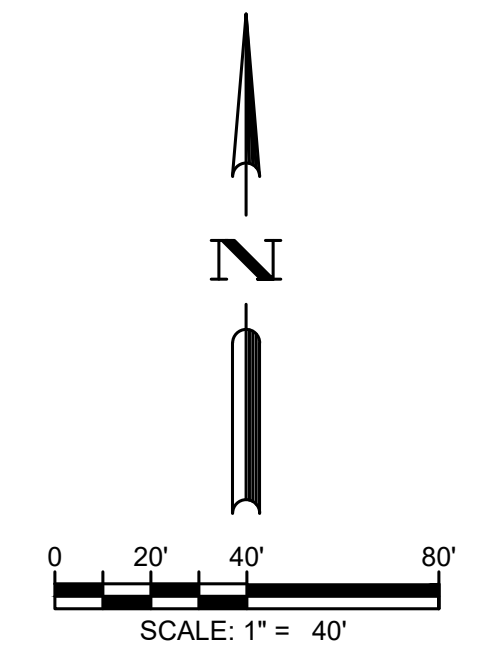
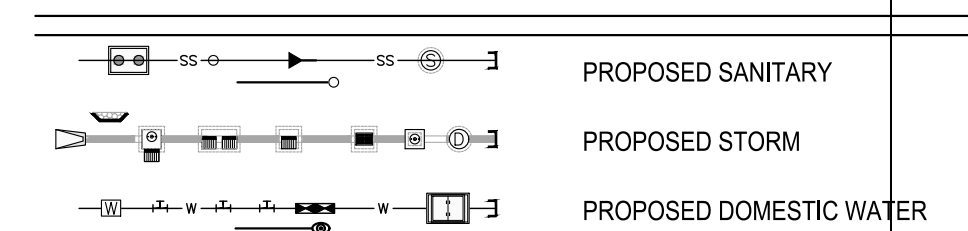
NF
STEPHEN ARCHIE STALLINGS
ESTATE BOOK
16-E-3095
PIN: 1747951136
PIN: 1747952307

NF
JULIE DARLING-ZARRIA
EZEKIEL DARLING-ZARRIA
DB 18529 PG 992
PIN: 1747953350

NF
DWAYNE MILONI
KAY MILONI
DB 16147 PG 1144
BM 1992 PG 1149
PIN: 1747953393

NF
BRETT ROSS
NURVA ROSS
DB 19145 PG 391
BM 2021 PG 1633
PIN: 175762037

PROPOSED UTILITY LEGEND



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REV	DATE	DESCRIPTION
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RALEIGH, NC / 27687

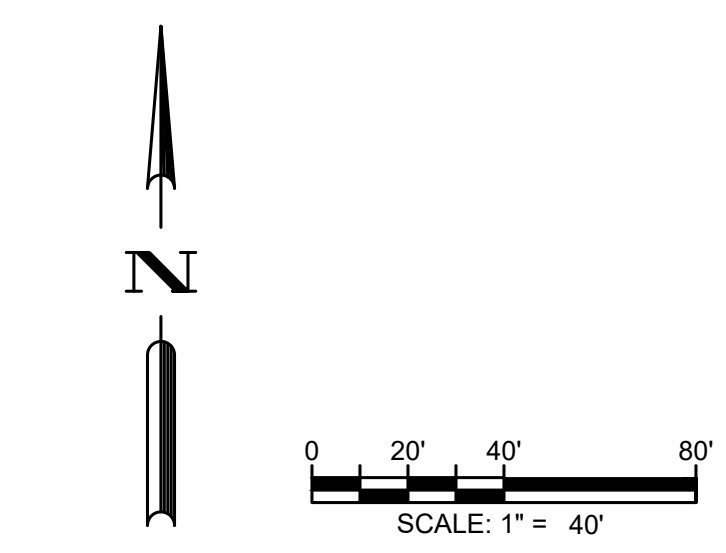
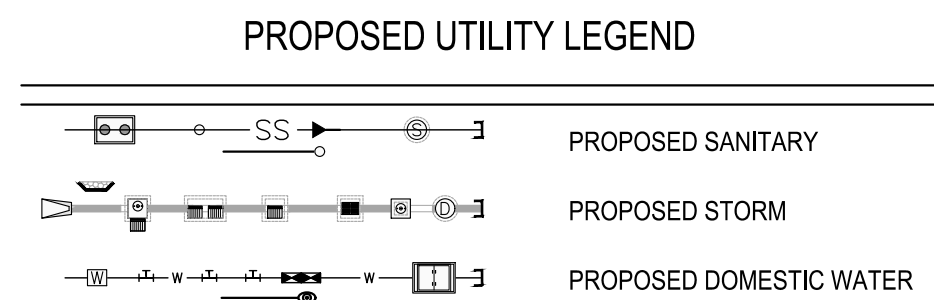
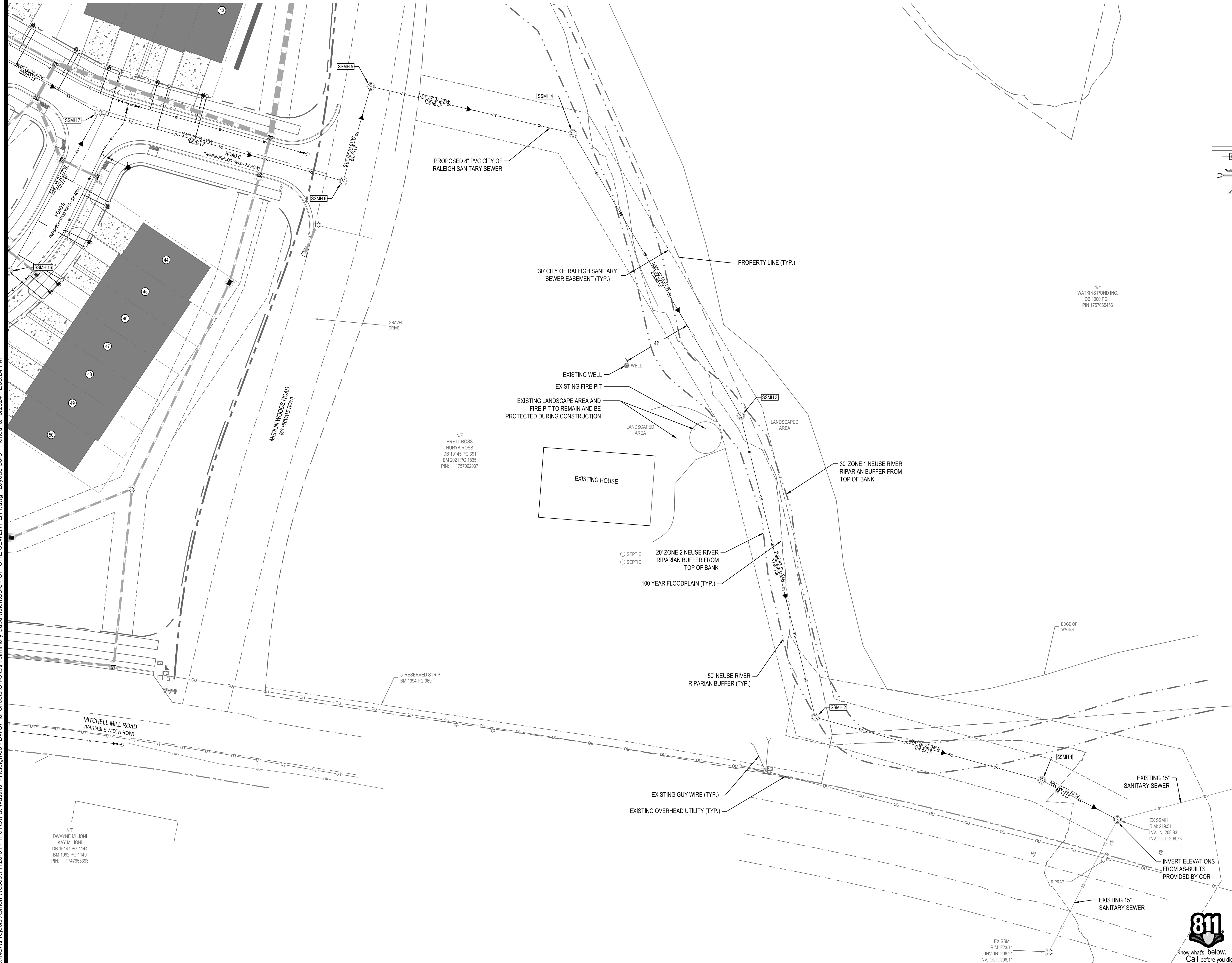
UTILITY PLAN
(2 OF 2)

CONSTRUCTION
FILE NUMBER:
11123-01
DATE: 05/15/2024

C3-2



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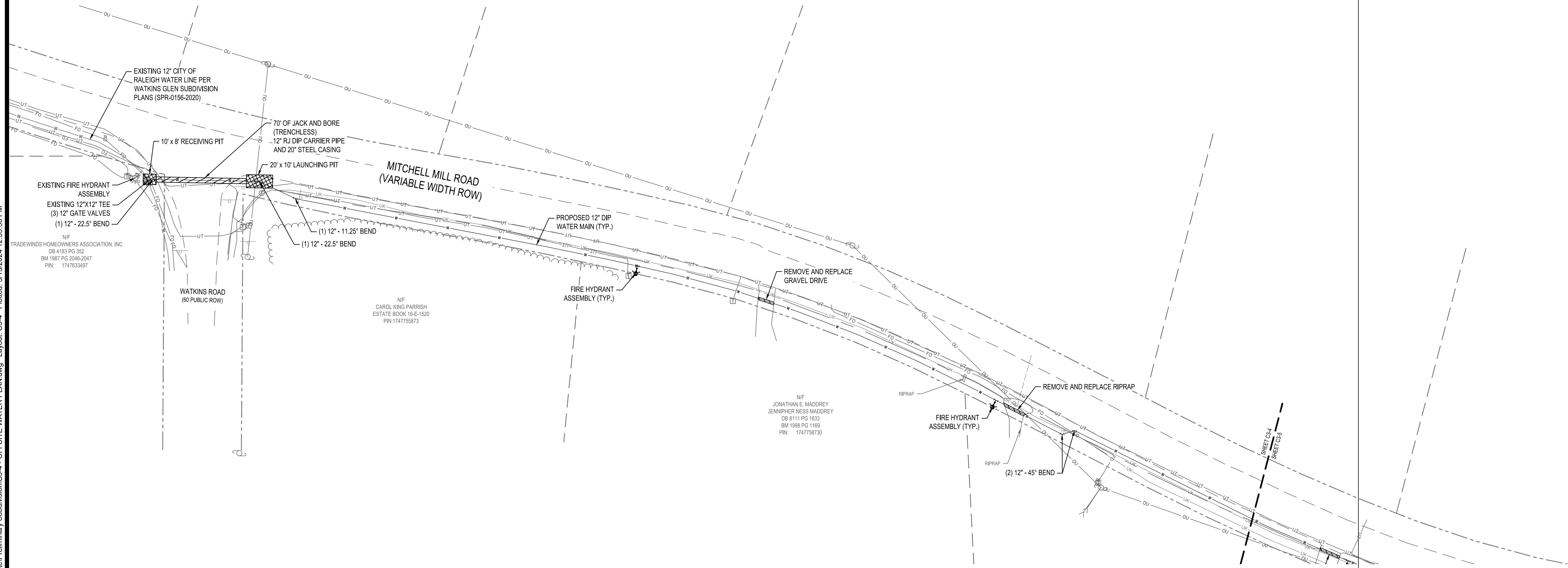
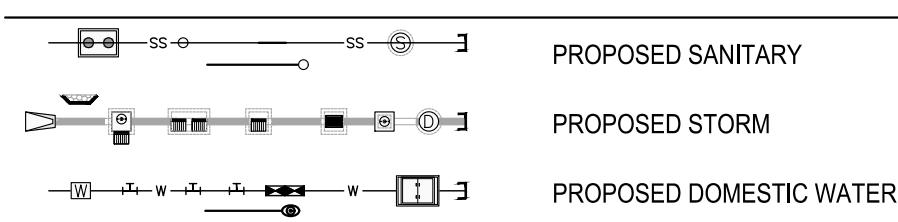
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OFFSITE SEWER PLAN	
CONSTRUCTION	
FILE NUMBER: 11123-01	
DATE: 05/15/2024	
C3-3	



PROPOSED UTILITY LEGEND



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NF
 TRADEWINDS HOMEOWNERS ASSOCIATION, INC
 DB 4183 PG 352
 BM 1987 PG 2048-2047
 PIN: 1747833497

NF
 CAROL KING FARRISH
 ESTATE BOOK 18-E-1520
 PIN: 1747755873

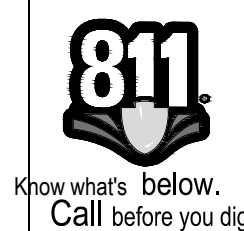
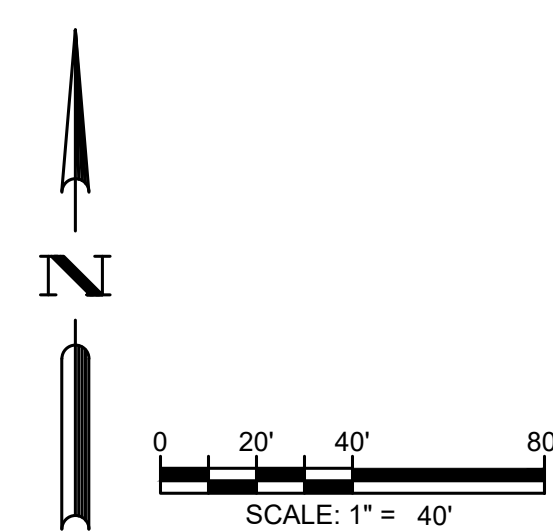
NF
 JONATHAN E. MADDOREY
 JENNIFER NESS MADDOREY
 DB 8111 PG 1633
 BM 1996 PG 1169
 PIN: 1747758730

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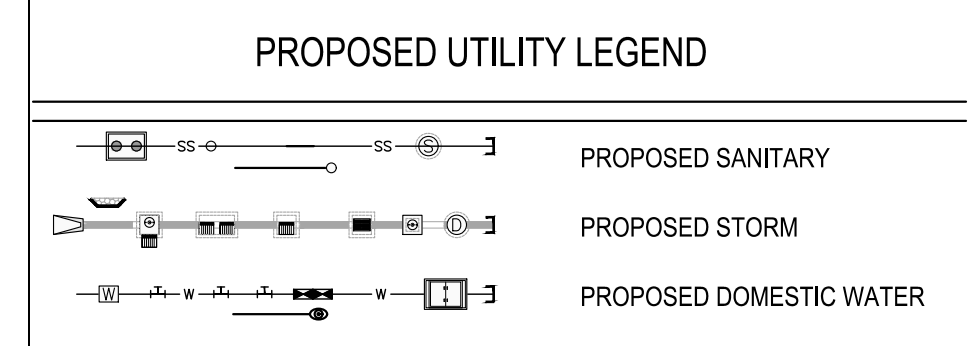
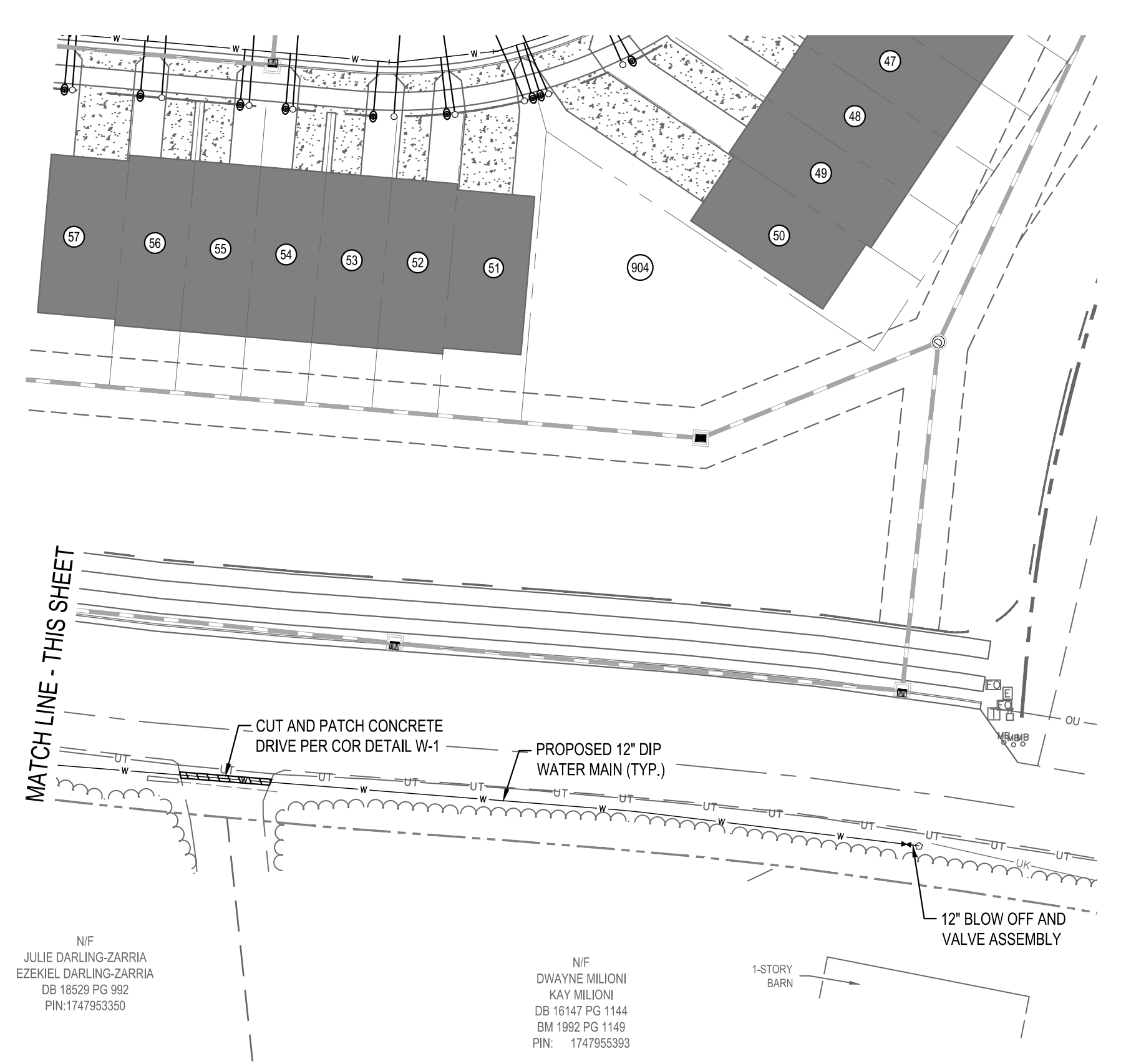
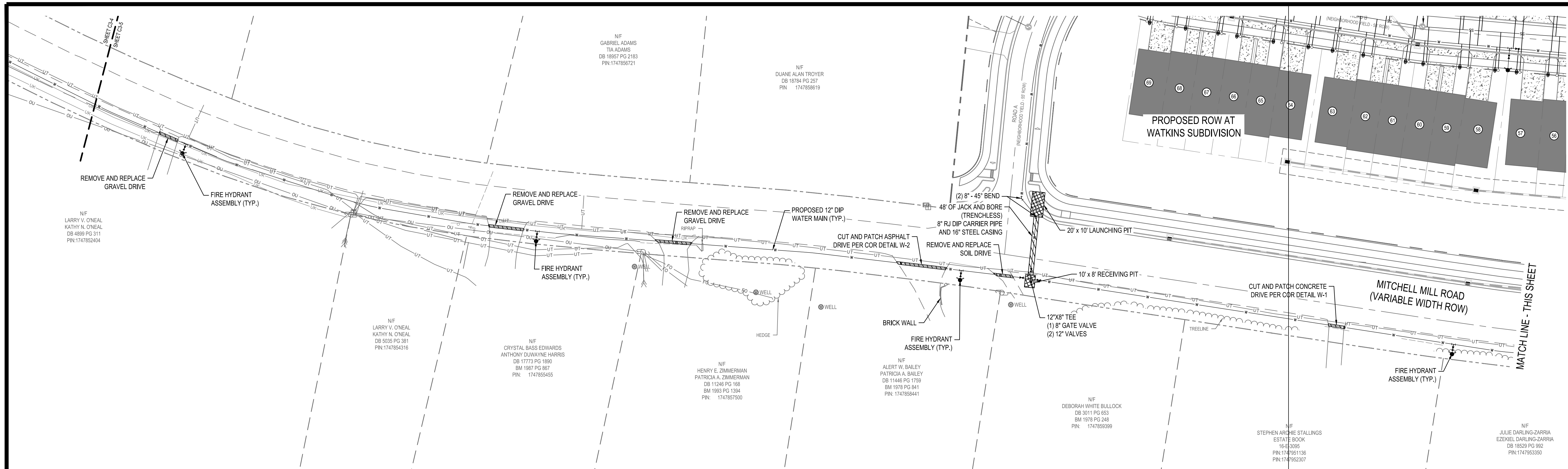
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OFFSITE WATER PLAN (1 OF 2)

CONSTRUCTION
 FILE NUMBER:
 11123-01
 DATE: 05/15/2024
C3-4

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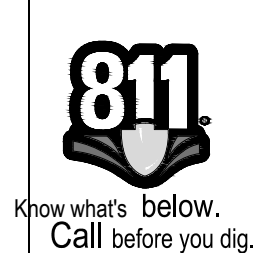
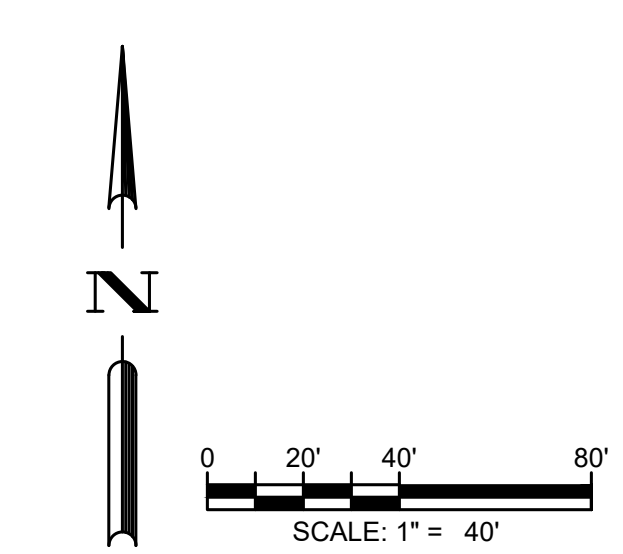


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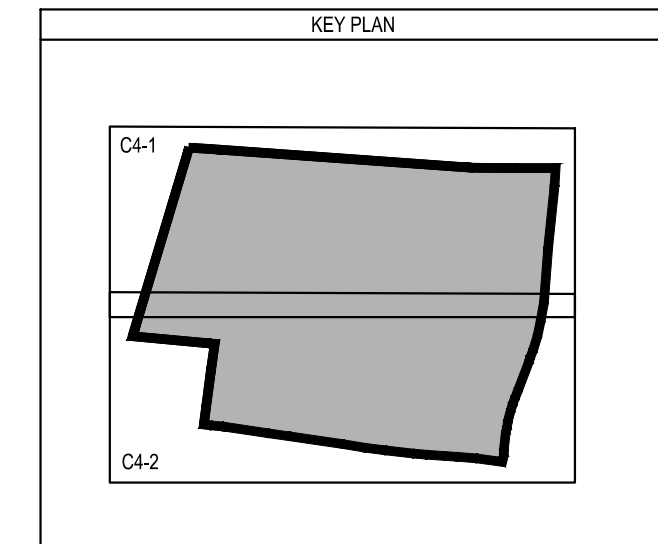
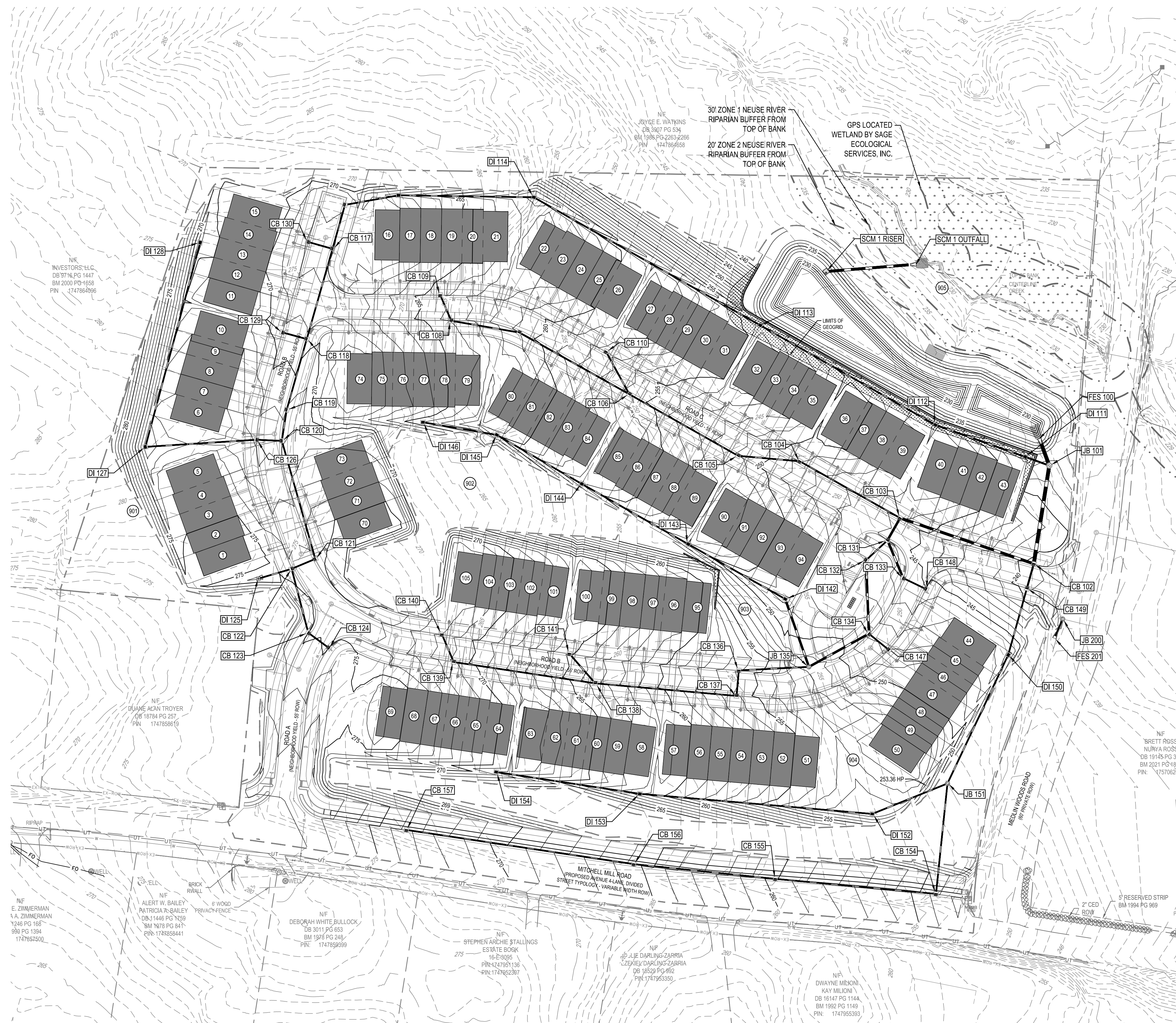
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CONSTRUCTION FILE NUMBER: 11123-01 DATE: 05/15/2024 C3-5
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PROPOSED GRADING AND DRAINAGE LEGEND

	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED GRADING LIMITS
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED TREE PROTECTION FENCE
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED STORM
	PROPOSED STORM SYMBOL
	PROPOSED BUILDING SPOT

STRUCTURES ABBREVIATIONS:

AD	AREA DRAIN (NYOPLAST 12X12 DRAIN)
BE	BUILDING ENTRY
CO	CLEANOUT
CB	CATCH BASIN
DI	DROP INLET
EX-CB	EXISTING CATCH BASIN TO REMAIN
EX-JB	EXISTING JUNCTION BOX TO REMAIN
FES	FLARED END SECTION
HW	HEADWALL
MH	MANHOLE

GRADING ABBREVIATIONS:

HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
BL	BOTTOM OF LANDING
TL	TOP OF LANDING
BS	BOTTOM OF STAIRS
TS	TOP OF STAIRS
TW	TOP OF RETAINING WALL
BW	BOTTOM OF RETAINING WALL

GRADING NOTES

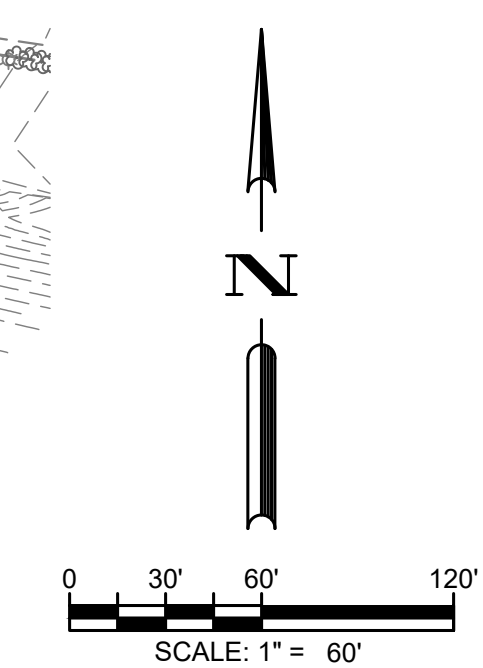
- SEE GENERAL NOTES AND GRADING NOTES (SHEET C0-1) FOR OVERALL PAVING, GRADING AND DRAINAGE REQUIREMENTS.
- CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
- ALL SPOT ELEVATIONS ALONG PAVEMENT REPRESENT FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.
- ALL PROPOSED STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.
- ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
- INLET PROTECTION - CONTRACTOR SHALL PROVIDE AND MAINTAIN CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
- CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION.
- DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- ON ALL SLOPES 3:1 OR STEEPER, CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN (NAG) PRODUCT SC150 EROSION CONTROL MATTING. REFER TO NAG FOR INSTALLATION GUIDELINES.

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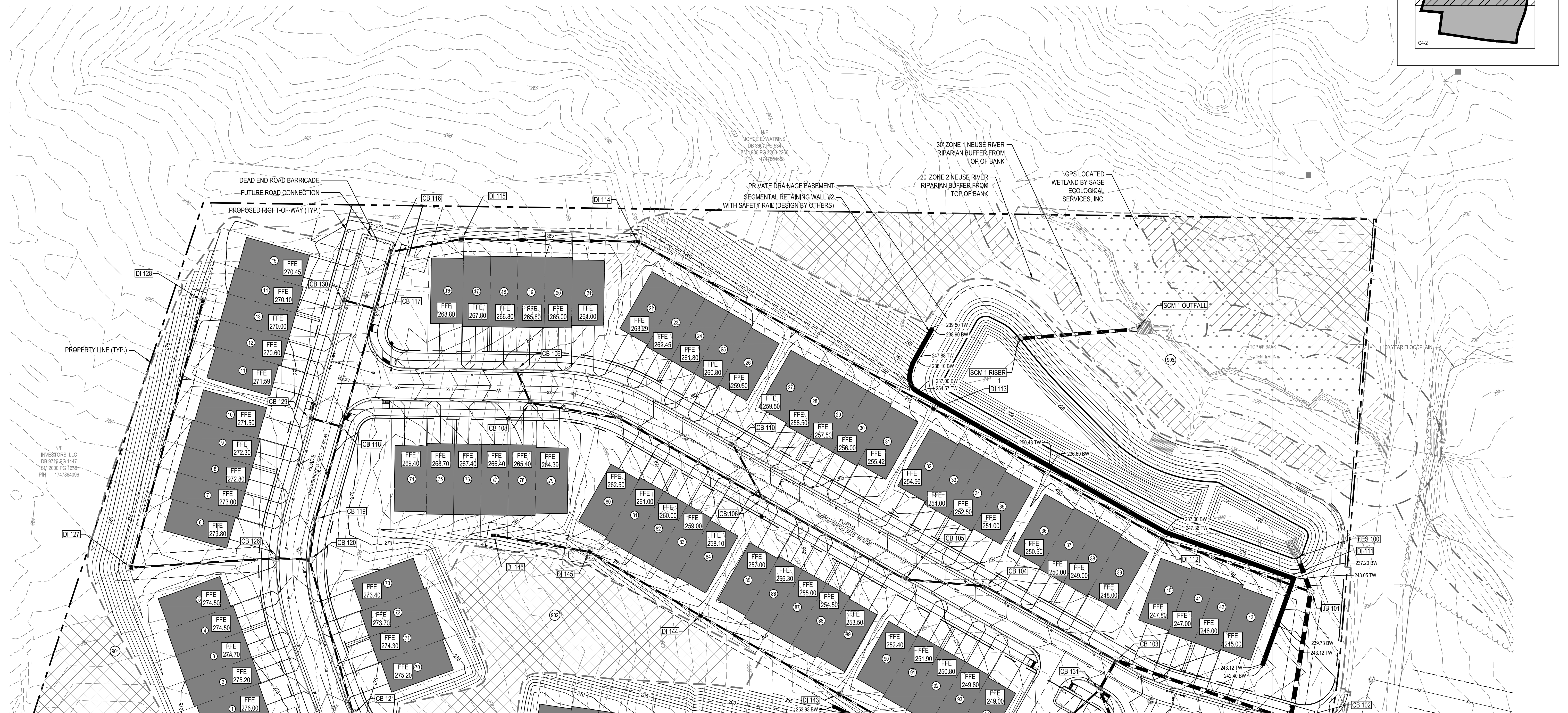
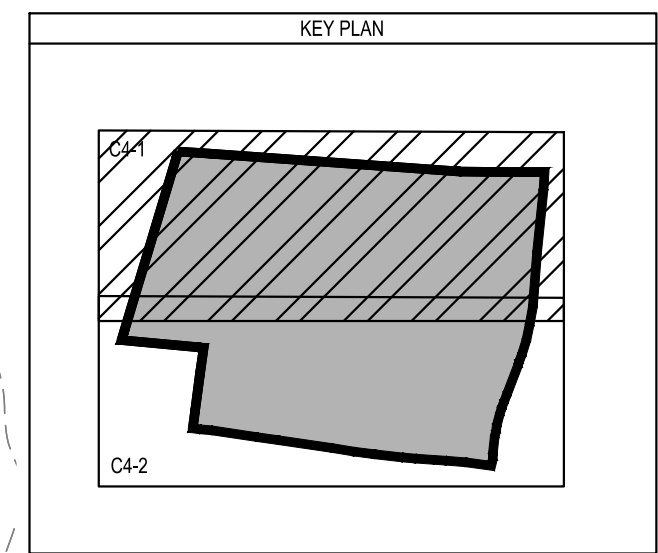
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4329 MITCHELL MILL ROAD
RALEIGH, NC 27687

OVERALL GRADING AND DRAINAGE PLAN

CONSTRUCTION
FILE NUMBER:
11123-01
DATE: 05/15/2024

C4-0

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\PlanSheets\On-Site\Preliminary Subdivision\C4-X - DETAILED GRADING AND DRAINAGE PLAN.dwg Layout: C4-1 Plotted: 5/15/2024 12:57:21 PM



PROPOSED GRADING AND DRAINAGE LEGEND

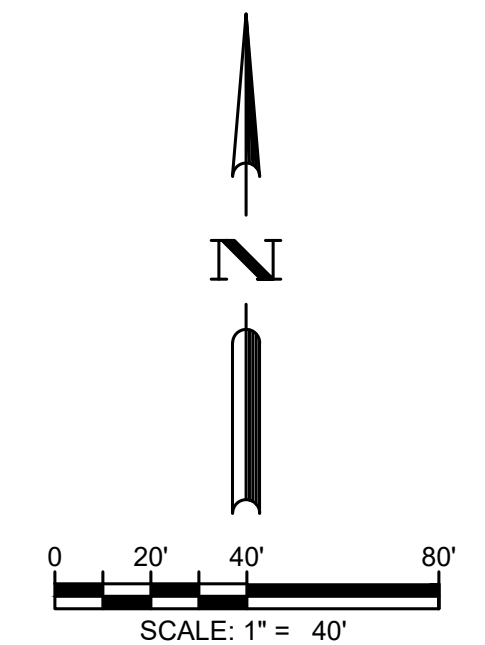
	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED GRADING LIMITS
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED TREE PROTECTION FENCE
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED STORM
	PROPOSED STORM SYMBOL
	PROPOSED BUILDING SPOT
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

STRUCTURES ABBREVIATIONS:

AD	AREA DRAIN (NYOPLAST 12X12 DRAIN)
BE	BUILDING ENTRY
CO	CLEANOUT
CB	CATCH BASIN
DI	DROP INLET
EX-CB	EXISTING CATCH BASIN TO REMAIN
EX-JB	EXISTING JUNCTION BOX TO REMAIN
FES	FLARED END SECTION
HW	HEADWALL
MH	MANHOLE

GRADING ABBREVIATIONS:

HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
BL	BOTTOM OF LANDING
TL	TOP OF LANDING
BS	BOTTOM OF STAIRS
TS	TOP OF STAIRS
TW	TOP OF RETAINING WALL
BW	BOTTOM OF RETAINING WALL



ATTENTION CONTRACTORS

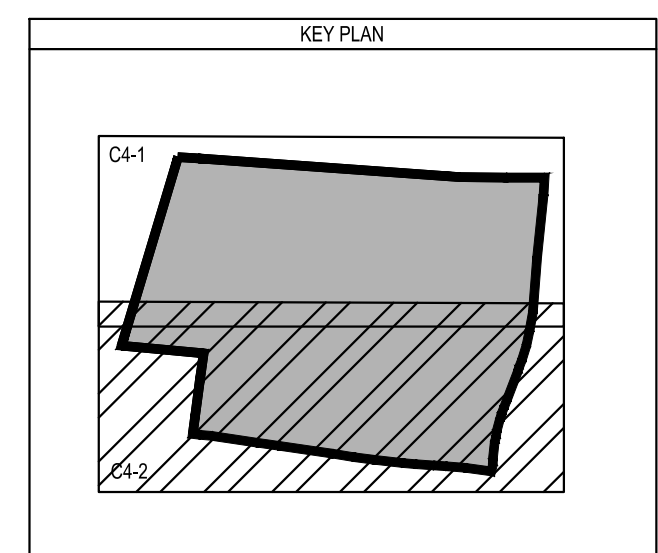
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REV	DATE	DESCRIPTION
DESIGNED BY:	CT	
DRAWN BY:	CT/WC	
REVIEWED BY:	RF	
5438 WADE PARK BLVD, SUITE 420 RALEIGH NC 27607 WWW.BCEINC.COM NC LICENSE #C-4397 ©2024		
ASHTON WOODS 900 RIDGEFIELD DR. STE 335 RALEIGH, NC / 27609		
THE ROW AT WATKINS 4329 MITCHELL MILL ROAD RALEIGH, NC / 27687		
GRADING AND DRAINAGE PLAN (1 OF 2)		
CONSTRUCTION FILE NUMBER: 11123-01 DATE: 05/15/2024 C4-1		



NF
HENRY E. ZIMMERMAN
PATRICIA A. ZIMMERMAN
DB 11248 PG 188L
BM 1693 PG 1394
PIN: 1747857500

NF
ALERT W. BAILEY
PATRICIA A. BAILEY
DB 11429 PG 1759
BM 1978 PG 841
PIN: 1747858441

NF
DEBORAH W. BULLOCK
DB 2011 PG 653
BM 1978 PG 248
PIN: 1747859398

NF
STEPHEN ARCHIE STALLINGS
ESTATE HOLDING
16-E-3085
PIN: 1747951136
PIN: 1747952307

NF
JULIE DARLING-PARRA
EZEMES, OSORIO-PARRA
DB 18529 PG 922
PIN: 1747958330

NF
DWAYNE MILONI
WAY MILONI
DB 16147 PG 1144
BM 1992 PG 1149
PIN: 1747953393

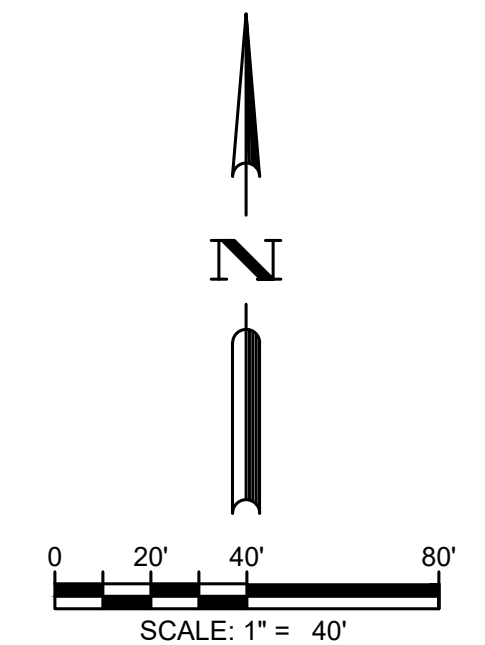
NF
BRETT ROSS
NURKA ROSS
DB 18145 PG 391
BM 2021 PG 653
PIN: 175762937

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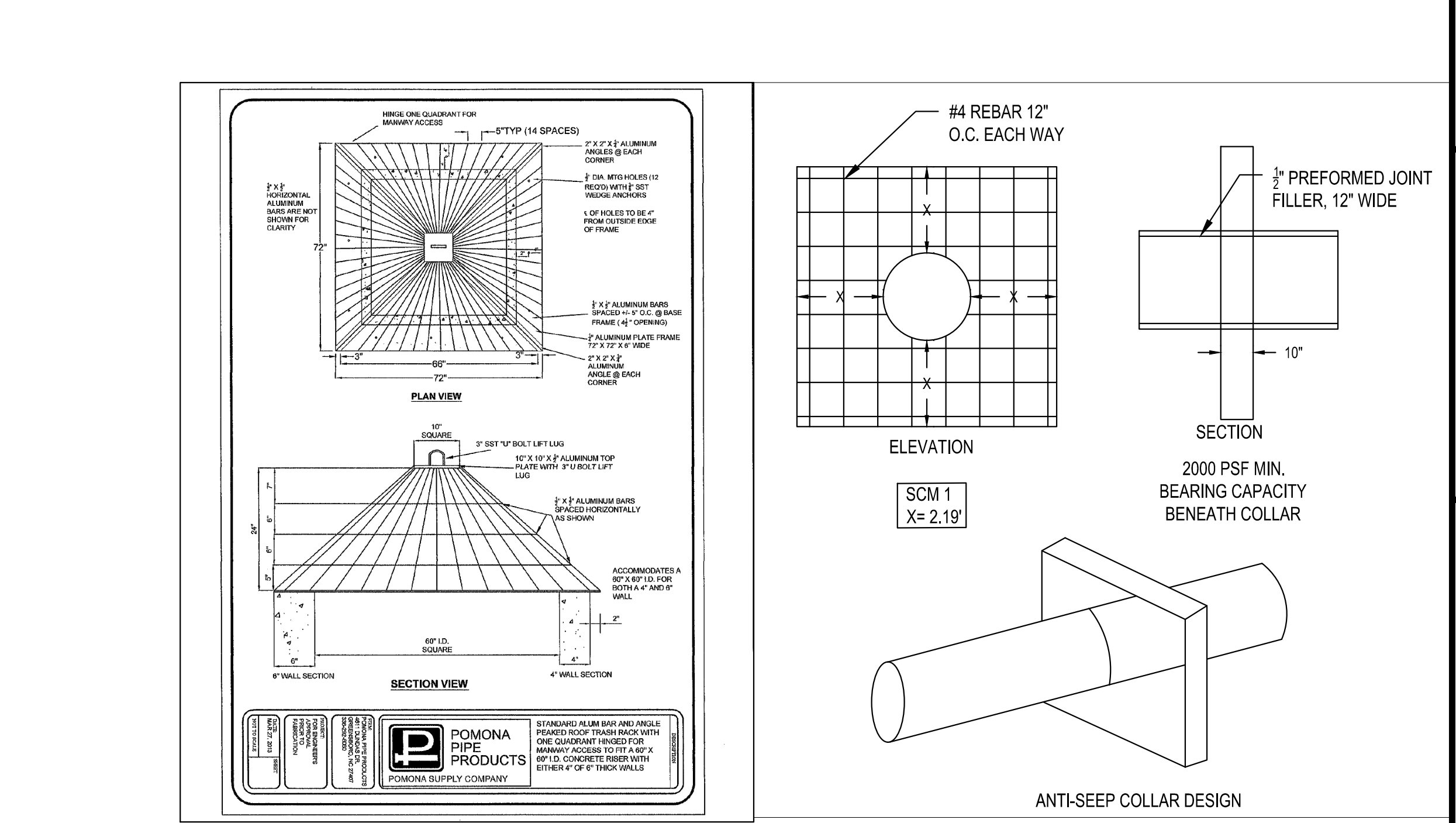
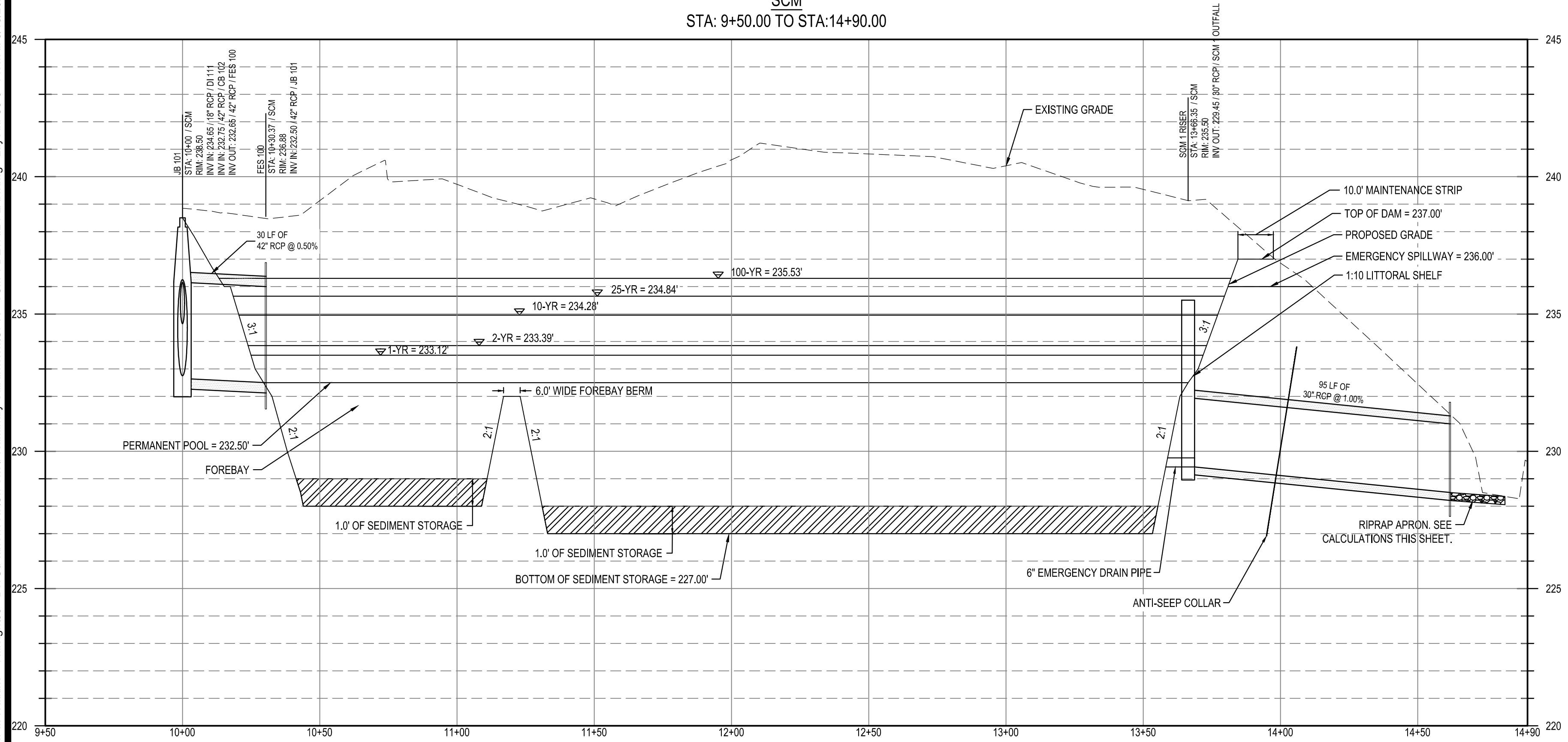
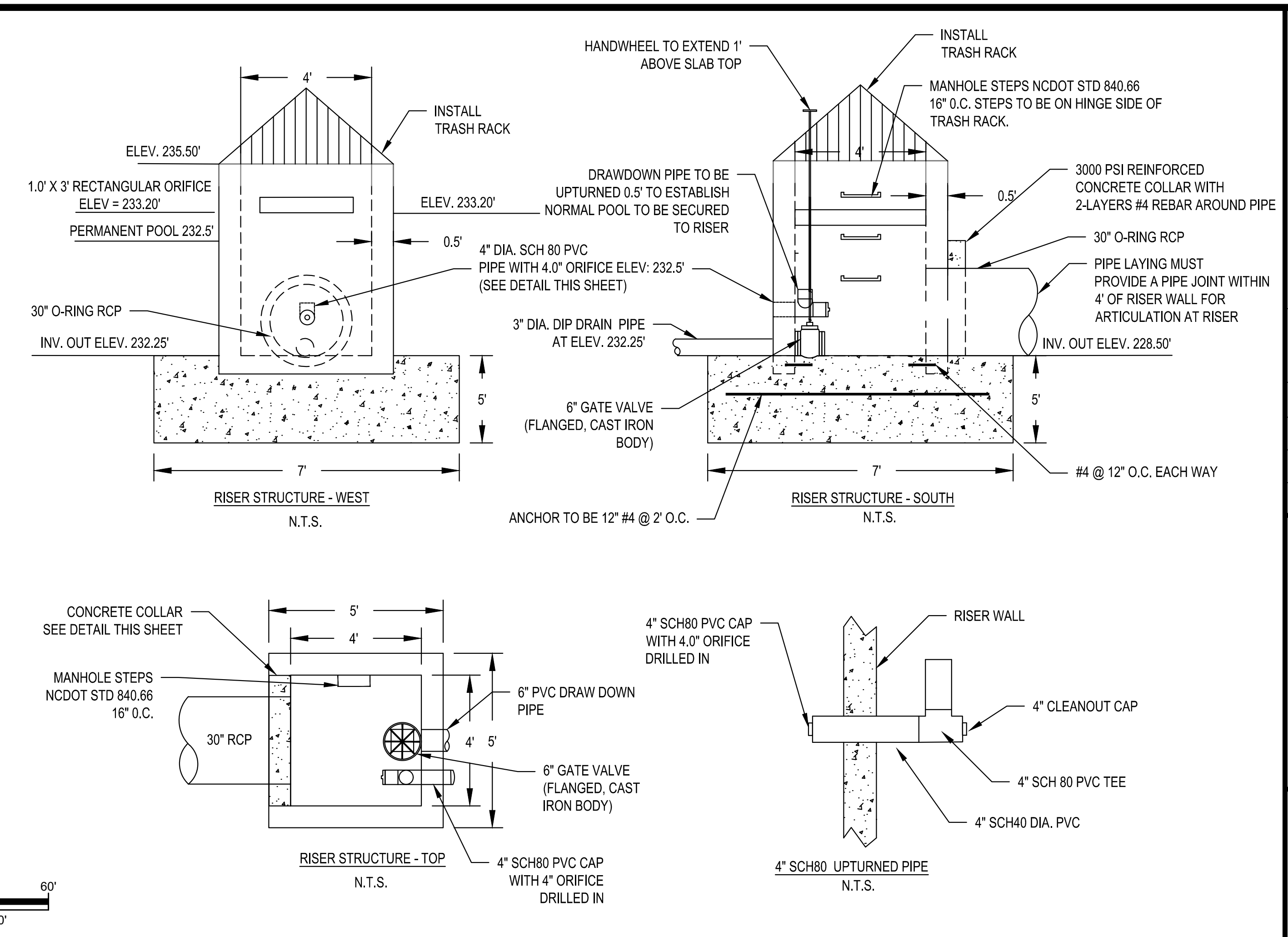
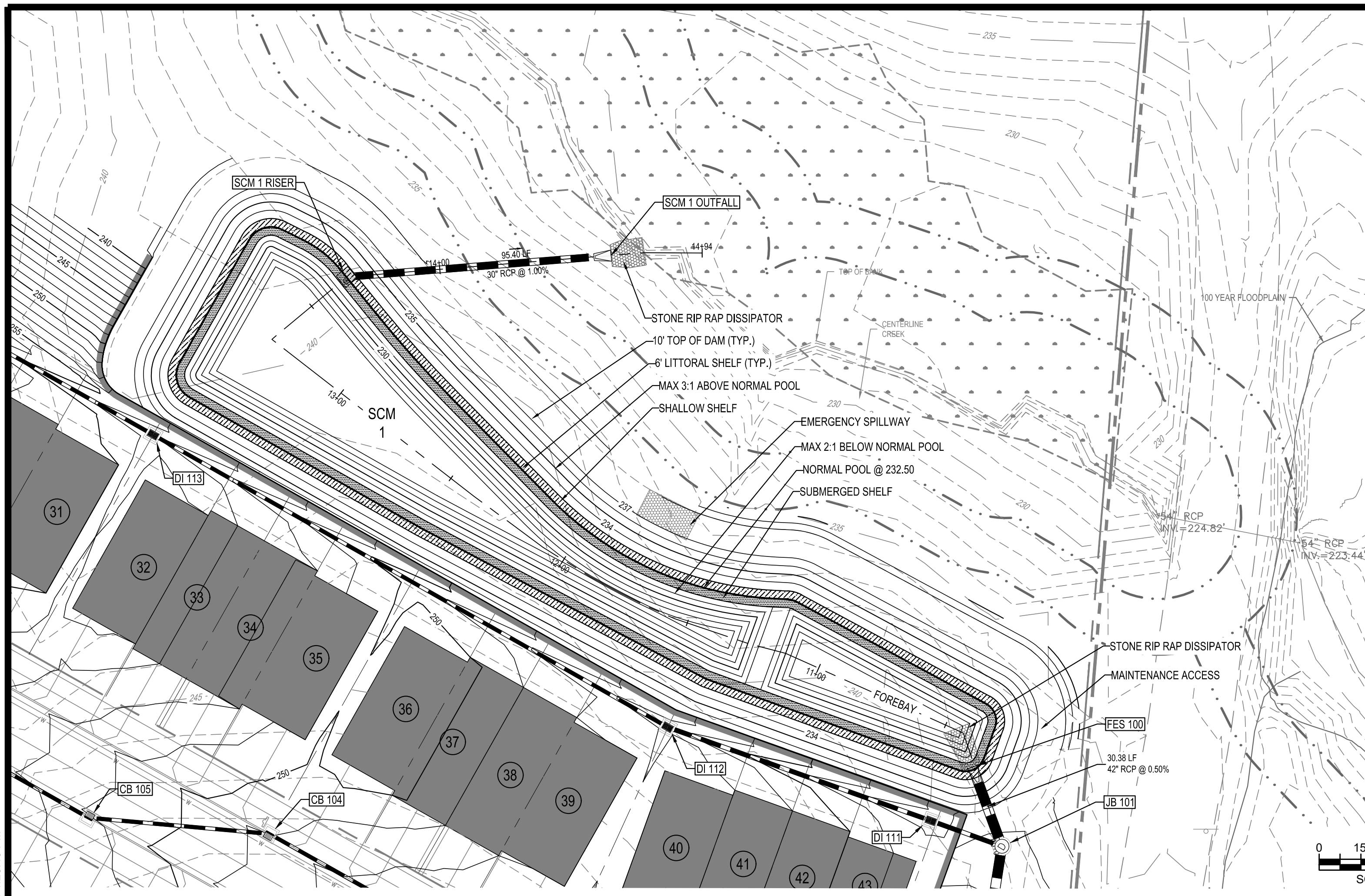
DESIGNATION	DATE	DESCRIPTION
DESIGNED BY:	CT	
DRAWN BY:	CTWC	
REVIEWED BY:	RF	

	5438 WADE PARK BLVD, SUITE 420	RALEIGH, NC 27607 WWW.BCEINC.COM NC LICENSE #C-4387
	ASHTON WOODS	

	900 RIDGEFIELD DR, STE 335	RALEIGH, NC / 27609
	THE ROW AT WATKINS	

	CONSTRUCTION
	FILE NUMBER: 11123-01
DATE: 05/15/2024	

C4-2



- BERM SOIL AND COMPACTION NOTES**
- ALL FILL SOILS FOR BERM SECTION SHALL BE CLEAN, IMPERMEABLE MATERIAL TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, AT OPTIMUM MOISTURE CONTENT. NO BLASTED MATERIALS SHALL BE USED IN THE EMBANKMENT CONSTRUCTION. SOILS SHALL NOT EXHIBIT SIGNIFICANT SHRINK / SWELL OR DISPERSIVE CHARACTERISTICS. ON-SITE GEOTECHNICAL ENGINEER SHALL APPROVE THE SOILS FOR PLACEMENT WITHIN THE BERM SECTION. THE GEOTECHNICAL ENGINEER SHALL ALSO SPECIFY THE METHODS TO BE USED FOR PLACEMENT OF FILL. IF ADDITIONAL USES PLANNED UPON THE BERM SECTION (BUILDINGS, ECT.), THE GEOTECHNICAL ENGINEER SHALL SPECIFY THE SOILS SUITABLE FOR THAT ADDITIONAL USE.
 - IN ALL FILL AREAS OF THE BERM, A SOILS COMPACTION TEST SHALL BE CONDUCTED EACH 2500 SQUARE FEET PER VERTICAL FOOT OF FILL.
 - A KEY TRENCH IS TO BE PROVIDED IN ALL FILL AREAS. TRENCH TO EXTEND A MINIMUM OF FIVE FEET BELOW EXISTING GRADE. SOILS AND COMPACTION FOR KEY TRENCH SHALL MEET ALL REQUIREMENTS OF #1 ABOVE.
 - NO TREES OF ANY KIND MAY BE LOCATED ON THE BERM SECTION.
 - FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8" LIFT. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.

- NOTE:**
- RISER BOX AND OUTLET PIPE SHALL BE INSTALLED PRIOR TO THE BEGINNING OF OVERALL SITE GRADING AND SHALL BE UTILIZED AS A SEDIMENT CONTROL DEVICE DURING GRADING & SITE UTILITY CONSTRUCTION. A SKIMMER SHALL BE ATTACHED TO THE DRAIN VALVE IN BOX SO BASIN FUNCTIONS AS SEDIMENT FILTER BASIN. ONCE GRADING IS COMPLETED AND SITE HAS BEEN STABILIZED, THE SKIMMER SHALL BE REMOVED AND BASIN SHALL BE CLEANED OUT AND STABILIZED.
 - OUTLET STRUCTURE WILL BE INSTALLED OVER A CONCRETE CRADLE.
 - EMERGENCY SPILLWAY TO MEET MDC STANDARDS.
 - BMPs SHALL BE DESIGNED, CONSTRUCTED, AND MAINTAINED TO CONTRIBUTE TO THE AESTHETIC VALUES OF THE DEVELOPMENT.

OUTLET: SCM 1 OUTFALL		OUTLET: FES 100	
Inputs:		Inputs:	
Pipe Diameter = 30 in		Pipe Diameter = 42 in	
Slope = 1.00%		Slope = 0.50%	
Q(25) = 43.02 cfs		Q(25) = 61.19 cfs	
v(25) = 8.75 fps		v(25) = 8.17 fps	
Zone = 2		Zone = 2	
Apron Materials:		Apron Materials:	
Minimum: Stone Filling (Light) - Cl. 'B'		Minimum: Stone Filling (Light) - Cl. 'B'	
Proposed: Stone Filling (Light) - Cl. 'B'		Proposed: Stone Filling (Light) - Cl. 'B'	
Apron Dimensions:		Apron Dimensions:	
Length:		Length:	
To Protect Culvert (L1) = 7.5 ft		To Protect Culvert (L1) = 10.5 ft	
To Protect Scour (L2) = 15 ft		To Protect Scour (L2) = 21 ft	
Width:		Width:	
W = 7.5 ft		W = 10.5 ft	
Thickness:		Thickness:	
Th = 18 in		Th = 18 in	



NO.	DATE	REV	DESCRIPTION
1			
2			
3			
4			
5			

DESIGNED BY: CT
DRAWN BY: CT/WC
REVIEWED BY: RF

BCE
5438 WIDE PARK BLVD, SUITE 420
RALEIGH, NC 27607
WWW.BCEINC.COM
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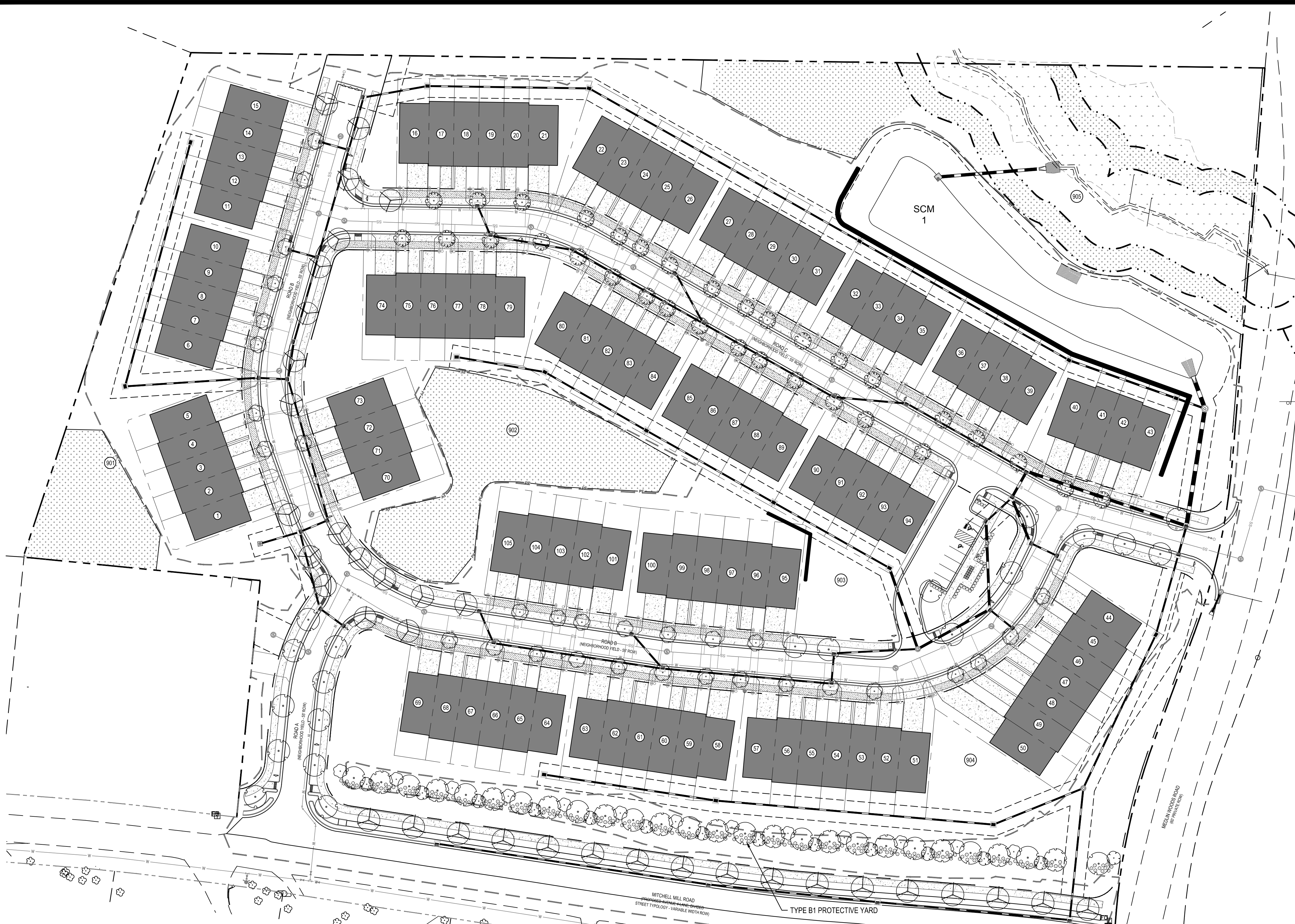
THE ROW AT WATKINS
4329 MITCHELL MILL ROAD
RALEIGH, NC / 27687

SCM PLAN

CONSTRUCTION
FILE NUMBER: 11123-01
DATE: 05/15/2024
C5-0

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PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	HT
LARGE MATURING TREES						
	AR	15	Acer rubrum 'October Glory'	October Glory Maple	3" MIN.	10' MIN.
	QN	24	Quercus nuttallii	Nuttall Oak	3" MIN.	10' MIN.
	QP	46	Quercus palustris	Pin Oak	3" MIN.	10' MIN.
MEDIUM MATURING TREES						
	AB	53	Acer buergerianum	Trident Maple	2" MIN.	8' MIN.
	CB	31	Carpinus betulus	European Hornbeam	2" MIN.	8' MIN.
SMALL MATURING TREES						
	AM	14	Amelanchier grandiflora	Serviceberry	1.5" MIN.	6' MIN.
	CC	13	Cercis canadensis	Eastern Redbud	1.5" MIN.	6' MIN.
SHRUBS						
	AG	172	Abelia grandiflora	Glossy Abelia	3/6" MIN.	
	CA	134	Calliandra americana	American Beautyberry	3/6" MIN.	

PROTECTIVE YARD REQUIREMENTS

TYPE B1, 20' WIDTH
 MITCHELL MILL ROAD - 670 LF FRONTAGE
 REQUIRED: 4 CANOPY TREES / 100' X 670' = 27 CANOPY TREES
 4 UNDERSTORY TREES / 100' X 670' = 27 UNDERSTORY TREES
 40 SHRUBS / 100' X 670' = 268 SHRUBS
 PROVIDED: 27 CANOPY TREES
 27 UNDERSTORY TREES
 268 SHRUBS (MIN 3' HT)

STREET TREE REQUIREMENTS

1 CANOPY TREE EVERY 40' O.C.
ROAD A
 REQUIRED: 389' FRONTAGE / 40' = 10 TREES
 PROVIDED: 10 TREES
ROAD B
 REQUIRED: 2,107' FRONTAGE / 40' = 53 TREES
 PROVIDED: 54 TREES
ROAD C
 REQUIRED: 1,440' FRONTAGE / 40' = 39 TREES
 PROVIDED: 39 TREES
MITCHELL MILL ROAD
 REQUIRED: 670' FRONTAGE / 40' = 17 TREES
 PROVIDED: 17 TREES

NOTES

- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03. SEE SHEET L3-0.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- TREE PROTECTION FENCE TO BE INSTALLED PER CITY OF RALEIGH DETAIL TPP-01.

ATTENTION CONTRACTORS

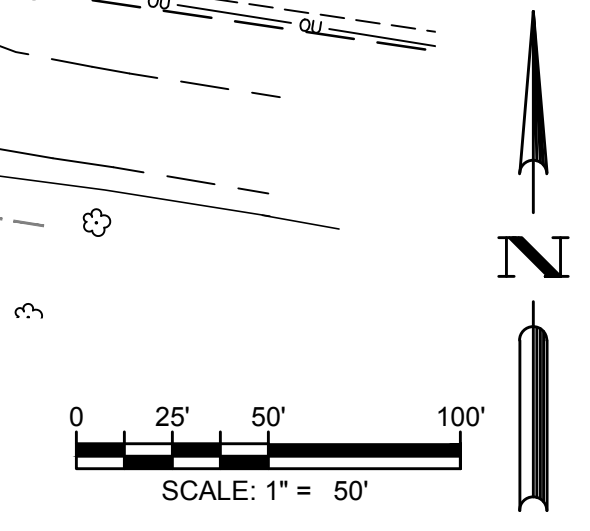
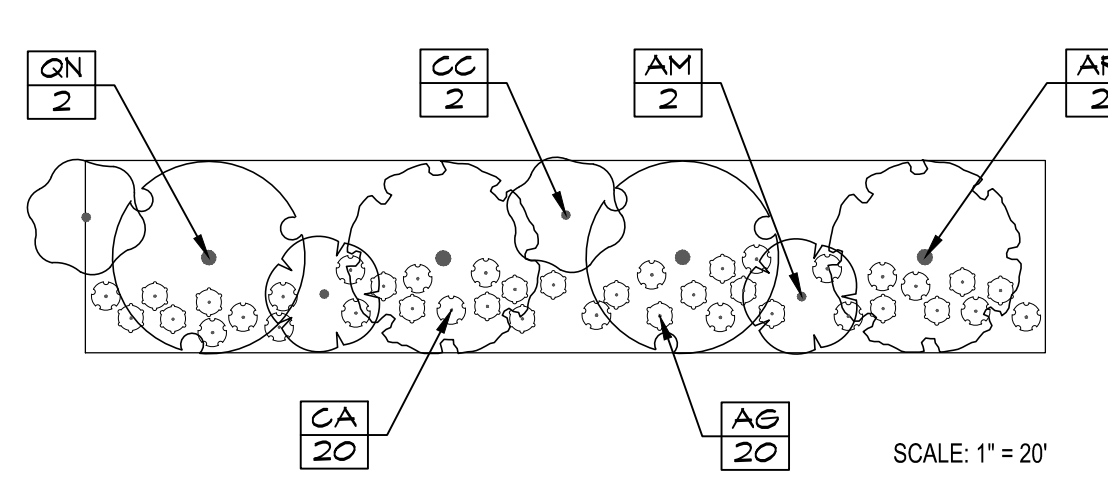
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LEGEND

	PROPOSED EASEMENT
	PROPOSED CURB AND GUTTER
	PROPOSED STRIPING
	PROPOSED STANDARD DUTY CONCRETE PAVMT
	STRUCTURAL SOIL AREA
	TREE CONSERVATION AREA - SEE SHEET L2-0
	LIMIT OF CONSTRUCTION
	TREE PROTECTION FENCING
	PROPOSED HANDICAP PAVEMENT MARKING
	PROPOSED SIGN
	EXISTING WETLANDS DELINEATED BY SAGE ECOLOGICAL SERVICES, INC. ON DATE 9-5-23

- LANDSCAPE NOTES**
- ALL LANDSCAPE AREAS SHALL RECEIVE A MINIMUM OF 4" OF CLEAN FRABLE TOPSOIL, FREE OF ROCKS, ROOTS, AND OTHER DELETERIOUS MATERIALS.
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN, FIELD GROWN, BALLED AND BURLAPPED OR AS INDICATED IN THE PLANT LIST.
 - NEW TREES SHALL MEET REQUIREMENTS AS SPECIFIED. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR CIRCLING ROOTS WILL NOT BE ACCEPTED. TREES WITH DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED.
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS OR PER LOCAL JURISDICTIONAL REQUIREMENTS.
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1) AS A MINIMUM FOR QUALITY REQUIREMENTS.
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM OF FOUR INCHES (4") OF MULCH. MULCH SHALL BE ACQUIRED FROM A LOCAL SOURCE AND HARVESTED IN A SUSTAINABLE MANNER.
 - PLANT SPACING IS AS INDICATED ON PLANT SCHEDULE UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVER IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
 - PLANT SPACING IS AS INDICATED ON PLANT SCHEDULE UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVER IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
 - TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN FEET (7').
 - TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE FEET (9'). SHRUBS IN VISIBILITY EASEMENTS SHALL HAVE A MAXIMUM HEIGHT OF 24" AND COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS.
 - TREES OVERHANGING PUBLIC STREET PAVEMENT WILL HAVE A MINIMUM CLEAR TRUNK OF FOURTEEN FEET (14').
 - ALL TREES NOT LOCATED IN A LANDSCAPE BED ARE TO RECEIVE A FOUR FOOT (4') DIAMETER MULCH RING.
 - ALL PLANT BEDS AND LAWN AREAS SHALL HAVE A 4" V-TRENCH EDGE.

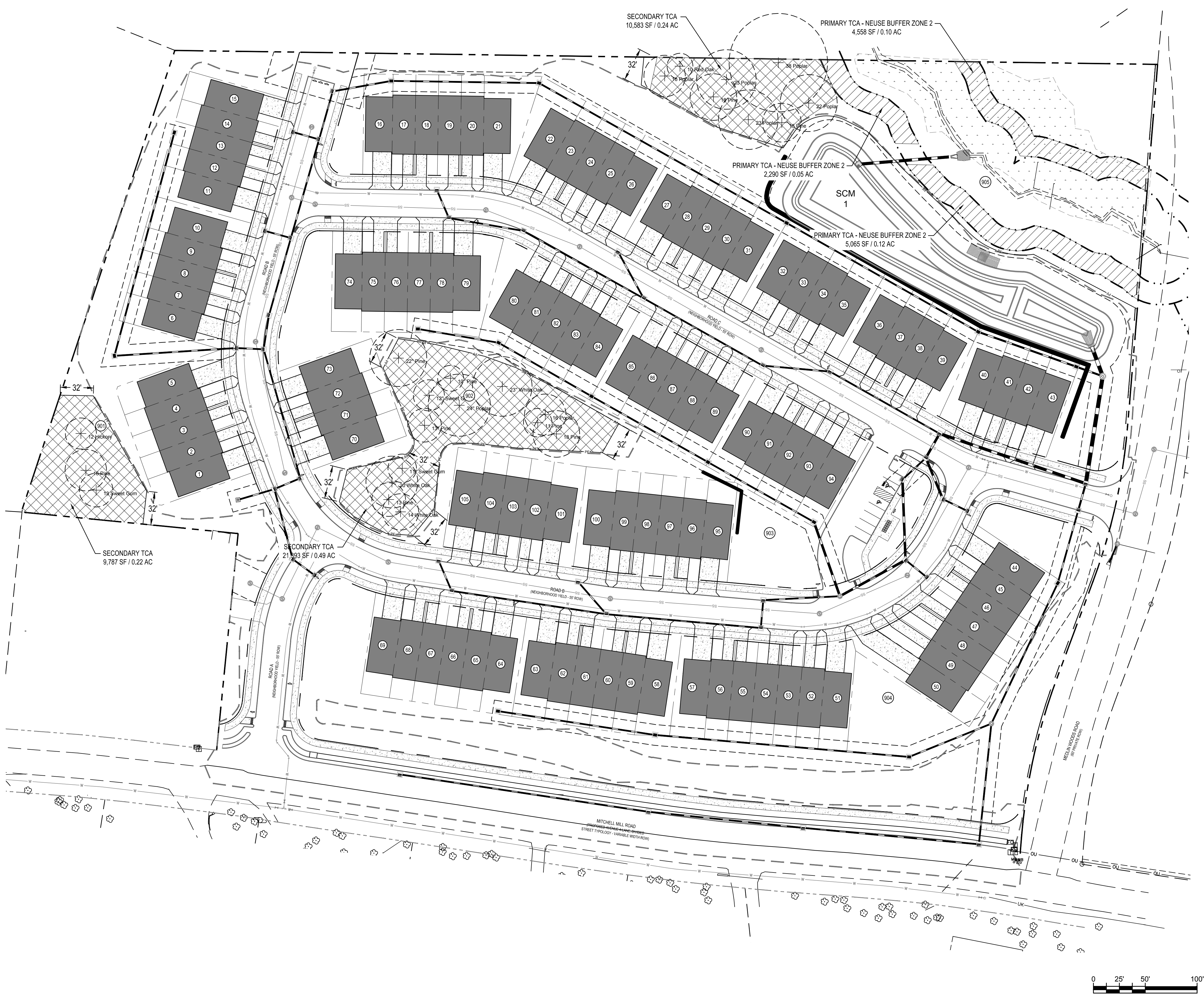
PROTECTIVE YARD TYPE B1, 20' WIDTH: TYPICAL 100' SECTION



 5438 WADE PARK BLVD, SUITE 420 RALEIGH, NC 27607 WWW.BCEINC.COM NC LICENSE #C-4387	ASHTON WOODS 900 RIDGEFIELD DR, STE 335 RALEIGH, NC / 27609
THE ROW AT WATKINS 4328 MITCHELL MILL ROAD RALEIGH, NC / 27687	LANDSCAPE PLAN
CONSTRUCTION FILE NUMBER: 11123-01 DATE: 05/15/2024 L1-0	



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LEGEND

- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- LIMIT OF CONSTRUCTION
- TREE PROTECTION FENCING
- EXISTING WETLANDS DELINEATED BY SAGE ECOLOGICAL SERVICES, INC. ON DATE 9-5-23
- TREE WITH CRITICAL ROOT ZONE (DBH 10" OR GREATER)

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

Project Name: The Row at Watkins

Gross Site Acres:	15.46	ac
Right-of-way to be dedicated with this project:	3.26	ac
Net Site Acres:	12.20	ac

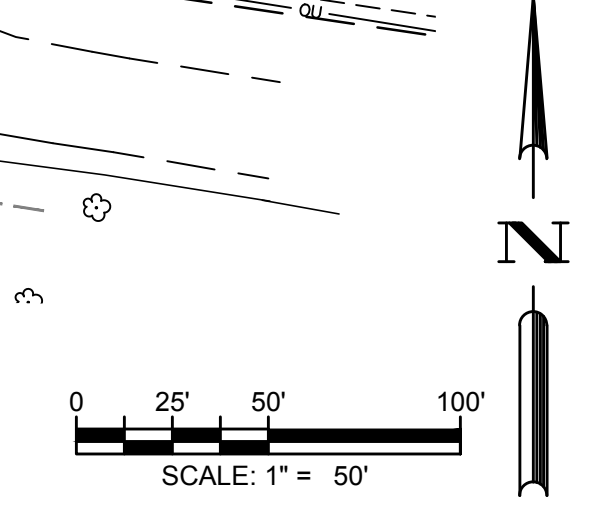
	Number of Acres	Percent of Tract
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	_____	_____ %
1. Primary Tree Conservation Area - SHOD 2	_____	_____ %
2. Primary Tree Conservation Area - Parkway Frontage	_____	_____ %
3. Primary Tree Conservation Area - CM	_____	_____ %
4. Primary Tree Conservation Area - MPOD	_____	_____ %
5. Primary Tree Conservation Area - Champion Tree XX" dbh species	_____	_____ %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.27	2.21 %
7. Primary Tree Conservation Area - 45% Slopes	_____	_____ %
8. Primary Tree Conservation Area - Thoroughfare	_____	_____ %
Subtotal of Primary Tree Conservation Areas:	_____	_____ %
UDO 9.1.4.D.2 Tree Conservation Area - Greenway		
_____	_____	_____ %
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (include perimeter buffers and their alternate compliance areas)		
0.95	7.79	%
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (include individual trees and their alternate compliance areas)		
_____	_____	_____ %
Subtotal of Secondary Tree Conservation Areas:	0.95	7.79 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	1.22	10.00 %
UDO 9.1.9. Watershed Protection Overlay Districts		
UWPOD - Wooded Area (preserved)	_____	_____ %
UWPOD - Wooded Area (planted)	_____	_____ %
FWPOD - Wooded Area (preserved)	_____	_____ %
FWPOD - Wooded Area (planted)	_____	_____ %
SWPOD - Wooded Area (preserved)	_____	_____ %
SWPOD - Wooded Area (planted)	_____	_____ %

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▲	REV
▲	DATE
▲	MC
DESIGNED BY: MC	
DRAWN BY: MC	
REVIEWED BY: RCZ	
5438 WIDE PARK BLVD, SUITE 420 RALEIGH NC 27607 WWW.BCEINC.COM NC LICENSE #C-4397 ©2024	
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TREE CONSERVATION PLAN	
CONSTRUCTION FILE NUMBER: 11123-01 DATE: 05/15/2024 L2-0	



DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB

MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM

PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE

COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL.

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

NOTES:

- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

REVISIONS	DATE	BY	NOT TO SCALE
10/2019			

CITY OF RALEIGH STANDARD DETAIL

TREE PLANTING DETAIL

TPP-03

NOTES:

- THE CRITICAL ROOT ZONE (CRZ) IS DEFINED AS A RADIUS EXTENDING FROM THE TRUNK OF A TREE 1.25 FEET PER INCH OF DBH.
- TRENCHING SHALL OCCUR OUTSIDE THE CRZ.
- 2.1. TUNNELING AND BORING IS PERMITTED WITHIN THE CRZ AS LONG AS IT IS 30 INCHES DEEP OR GREATER. EXCAVATIONS AND HAND HOLES SHALL BE OUTSIDE THE CRZ.
- 2.2. ENCROACHMENT INTO THE CRZ REQUIRES APPROVAL FROM THE URBAN FORESTER
- ROOTS MUST BE PRUNED TO A CLEAN CUT. CUTTING OR PRUNING OF ROOTS 2" OR LARGER IS PROHIBITED.
- IF EXCAVATION CAUSES PRUNED ROOTS OVER 1.5" IN DIAMETER TO REMAIN EXPOSED FOR MORE THAN 24 HOURS, ROOTS ON TREE SIDE MUST BE KEPT MOIST.
- A TREE IMPACT PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRENCHING, BORING, REMOVAL, PAVING, PLANTING, ETC.

TRENCHING IS PERMITTED OUTSIDE OF THE CRZ

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

REVISIONS	DATE	BY	NOT TO SCALE

CITY OF RALEIGH STANDARD DETAIL

TRENCHING/TUNNELING NEAR EXISTING TREES

TPP-04

NOTE: SEE TREE PLANTING DETAIL

MULCH 3" DEEP MAX. AND 3" MIN. FROM THE BASE OF THE TREE

SIDEWALK PAVING AND SUBBASE

PLANTING SOIL

4" DIAMETER PVC PIPE WRAPPED IN FABRIC LOCATED IN THE LOWEST POINT AND CONNECTED TO THE STORM DRAINAGE SYSTEM WHERE APPLICABLE

COMPACTED OR UNDISTURBED SUBGRADE

NOTES:

- A SITE SPECIFIC PLAN MUST BE DEVELOPED TO ENSURE THAT:
 - EACH TREE IS PROVIDED A MIN. ROOT-ACCESSIBLE SOIL VOLUME OF 600 CUBIC FEET.
 - THE TREE ROOT AREA BENEATH THE SIDEWALK IS EXPANDED TO MAXIMIZE ROOT ACCESSIBLE SOIL SPACE UNDER THE PAVEMENT.
 - CONNECT SOIL SPACE FOR ROOT EXPANSION WHERE POSSIBLE TO ALLOW ROOT SYSTEMS OF TREES TO OVERLAP AND COLONIZE A SHARED SOIL SPACE.
 - ANY COMBINATION OF STRUCTURAL SOILS, SOIL CONTAINMENT SYSTEM (e.g., SILVA CELL), OR ROOT CHANNELING (e.g., SOIL STRIP DRAIN/AERATION SYSTEM) THAT PERFORMS AS SPECIFIED IS ACCEPTABLE.
- 40" X 6" WIDTH MINIMUM APPLIES TO BOTH STRUCTURAL SOILS AND SUBSURFACE SOIL CONTAINMENT SYSTEMS.
- SUBSURFACE APPLICATION SHALL BE REVIEWED AND APPROVED BY CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES URBAN FORESTRY DIVISION PRIOR TO INSTALLATION.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT
URBAN FORESTER: TREES@RALEIGHNC.GOV
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REVISIONS	DATE	BY	NOT TO SCALE

CITY OF RALEIGH STANDARD DETAIL

TREE PLANTING IN SIDEWALK WITHIN ROW

TPP-07

NOTE: FOR TREE PROTECTION ONLY

NOTES:

- TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TPP-04 FOR EXAMPLES). FENCING IS TO BE IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
- APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
- FOR TREE PROTECTION DEVICES WITH A MINIMUM INTERVAL PLACE A SIGN AT EACH END OF URBAN TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
- FOR TREE PROTECTION DEVICES WITH A MINIMUM INTERVAL PLACE A SIGN AT EACH END OF URBAN TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER. PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
- ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
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CONTACT INFORMATION:
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TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

REVISIONS	DATE	BY	NOT TO SCALE

CITY OF RALEIGH STANDARD DETAIL

STANDARD TREE PROTECTION DETAIL

TPP-01

NOTES:

- CONTRACTOR MUST PROVIDE AND INSTALL TREE PROTECTION SIGNAGE.
- A TREE IMPACT PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRENCHING, BORING, REMOVAL, PAVING, PLANTING, ETC.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER: TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

REVISIONS	DATE	BY	NOT TO SCALE

CITY OF RALEIGH STANDARD DETAIL

TREE PROTECTION FENCE LAYOUT

TPP-02

GENERAL NOTES:

- PRIOR TO CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITY LINES ADJACENT TO WORK AREAS. CONTRACTOR SHALL PROTECT ALL UTILITY LINES IN AND ADJACENT TO THE WORK AREA DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, OR OTHER SITE APPURTENANCES, WHICH OCCUR AS A RESULT OF WORK PERFORMED BY THE CONTRACTOR, OR ANY OF THEIR SUBCONTRACTORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULE OF DELIVERY AND PROTECTION OF PLANT MATERIALS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING ALL OF THE PLANT MATERIALS AND LAWN FOR THE FULL MAINTENANCE PERIOD OF THE CONTRACT. THIS SHALL INCLUDE, BUT MAY NOT BE LIMITED TO: WATERING, MULCHING, PEST CONTROL AND FERTILIZING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE FOR ANY DISTURBED AREA. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND ANY ADDITIONAL FILL REQUIRED TO ACHIEVE FINISH GRADE PRIOR TO PLANTING IN ALL AREAS.
- ANY PLANT MATERIAL WHICH IS DISEASED, INFESTED, DISTRESSED, DEAD, OR OTHERWISE REJECTED, PRIOR TO SUBSTANTIAL COMPLETION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY.
- THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
- PRIOR TO PLANTING, SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ACROSS THE SITE, AND LAB TESTED, TO CONFIRM PROPER SOIL CONDITION AND NUTRIENT LOAD FOR THE ESTABLISHMENT OF THE SPECIFIED PLANT MATERIALS. IF UNACCEPTABLE PH OR INADEQUATE SOIL NUTRIENTS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER'S AGENT. REFER TO PLANTING MIX NOTES.
- FINAL GRADING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE IN THE FIELD PRIOR TO PLANTING.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO LAYING SOD.
- THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



DESCRIPTION	DATE	REV
DESIGNED BY:	MC	
DRAWN BY:	MC	
REVIEWED BY:	RCZ	

BCE
5438 WADE PARK BLVD, SUITE 420
RALEIGH NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4387 ©2024

ASHTON WOODS
900 RIDGEFIELD DR, STE 335
RALEIGH / NC / 27609

THE ROW AT WATKINS
4329 MITCHELL MILL ROAD
RALEIGH / NC / 27687

LANDSCAPE DETAILS

CONSTRUCTION
FILE NUMBER:
11123-01
DATE: 05/15/2024
L3-0