Administrative Approval Action

Case File / Name: SUB-0028-2024
DSLC - The Row at Watkins

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The 15.46 acre site is located at the northwest corner of Medlin Woods Rd and Mitchell Mill Rd, specifically identified as 4329 Mitchell Mill Rd (PIN: 1747953920). Annexation of the property will take place prior to development due to being outside the corporate boundaries of Raleigh. The majority of the site is zoned R-4 with 0.11 acres zoned CM.

REQUEST: The project is requesting approval of a Conservation Subdivision for development of 107 townhome lots in 21 buildings and 5 common area/open space lots for a total of 112 lots.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 5, 2025 by BGE, Inc..**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to SPR approval, prepare a basic plat and table listing each lot, including townhome, conservation area, protective yard, etc. to ensure minimum size has been met.

2. If a lighting plan is proposed, it shall be reviewed and approved during the SPR review and meet UDO 7.4 (Lighting).

3. Provide a table identifying all the retaining walls by number, list the overall length, and maximum height. A zoning permit will be issued for each wall.

4. Provide verification of a cross access easement allowing traffic from this development to traverse the adjacent private road known as Medlin Woods Road as shown in BM 1986 pages 2263-2266. The development plan shows the public street labeled Juniperwood Lane intersecting Medlin Woods Road and construction of a portion of roadway on Medlin Woods Road. Provide verification that permission for the proposed construction as well as public access has been granted by the adjacent property owner.

5. Update open space calculations to include all provided transitional protective yards as required by UDO Section 2.5.2.A.5.

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Engineering

6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

7. A deed shall be recorded prior to construction approval (SPR) for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

Stormwater

8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

9. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

10. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

11. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).

Urban Forestry

12. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

13. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑	Right of Way Deed of Easement Required
☑	Sidewalk Deed of Easement Required

☑	Utility Placement Deed of Easement Required

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

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1. Provide Temporary Construction Easement at northern street stub/tie-in for future ROW connection to adjacent parcel.

2. Provide documentation indicating a Property Owner's Association has been established for the subject development.

Engineering

3. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

6. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

7. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

8. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

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Stormwater

9. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

10. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

12. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

14. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.53 acres of tree conservation area.

15. A public infrastructure surety for 134 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☑ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

3. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

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Urban Forestry

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes 8 street trees along Briarhollow Drive, 36 trees along Willowshade Lane, 39 trees along Mitchell Mill Road, and 51 trees along Juniperwood Lane for a total of 134 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

3. Final inspection of all tree conservation areas and right-of-way street trees by Urban Forestry Staf

Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: July 28, 2028
Record at least ½ of the land area approved.

5-Year Sunset Date: July 28, 2030
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Keegan.McDonald@raleighnc.gov Digitally signed by Keegan.McDonald@raleighnc.gov DN: E=Keegan.McDonald@raleighnc.gov, CN=Keegan.McDonald@raleighnc.gov Reason: I am approving this document Date: 2025.07.28 08:52:40-04'00' Date: 07/28/2025

Development Services Dir/Designee

Staff Coordinator: Jeff Caines

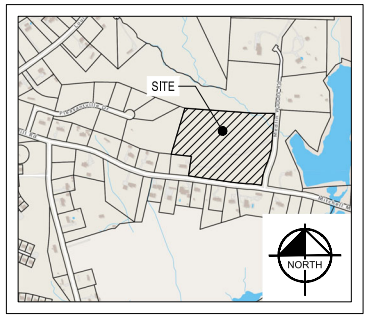
SUB-0028-2024

PRELIMINARY SUBDIVISION PLAN

THE ROW AT WATKINS

CONSERVATION SUBDIVISION
4329 MITCHELL MILL ROAD
RALEIGH, NC

JUNE 6, 2025



VICINITY MAP
N.T.S.

SITE DATA FOR THE ROW AT WATKINS										
SITE DATA										
EXISTING ADDRESS(ES)	4329 MITCHELL MILL ROAD									
PIN(S)	1747953920									
ZONING DISTRICT(S)										
R-4	15.35 AC									
CM	0.11 AC									
OVERLAY DISTRICT	N/A									
SITE GROSS ACREAGE	15.46 AC									
LOT 1-107 - TOWNHOMES	6.11 AC									
LOT 901-905 - OPEN SPACE	4.86 AC									
PROPOSED R/W DEDICATION	3.39 AC									
SITE NET ACREAGE	12.07 AC									
EXISTING USE	VACANT									
PROPOSED USE	SINGLE FAMILY TOWNHOME									
PROPOSED TOTAL LOTS	112 LOTS									
TOWNHOME LOTS	107 LOTS									
OPEN SPACE LOT(S)	5 LOTS									
EXISTING ONSITE IMPERVIOUS AREA:	0.15 AC									
PROPOSED ONSITE IMPERVIOUS AREA:										
PAVEMENT	2.57 AC									
SIDEWALK	0.64 AC									
LOT 1-107 - TOWNHOMES	3.20 AC									
LOT 901-905 - OPEN SPACE	0 AC									
TOTAL ONSITE IMPERVIOUS AREA:	6.41 AC									
PROPOSED DENSITY:	6.92 DU/AC									
	REQUIRED						**PROVIDED**			
UDO Sec. 2.4 Conservation Development Option (R-4)										
UDO Sec. 2.4.1 General Requirements (R-4)										
B OPEN SPACE										
B1 OPEN SPACE REQUIRED (MIN 40% OF NET SITE AREA)	12.07	x	40%	=	4.83 AC		4.86 / 12.07 = 40 %			4.86 AC
B2 % OF LOTS ABUTTING OPEN SPACES (MIN 40%)	107	x	40%	=	42.8 LOTS		73 / 107 = 68 %			73 LOTS
B3 CONTIGUOUS AREA (MIN 60%)	4.83	x	60%	=	2.90 AC		3.78 / 4.86 = 78 %			3.78 AC
B4 WIDTH OF OPEN SPACE (MIN)					50 FT					50 FT
C TRANSITIONAL PROTECTIVE YARD					20 FT					20 FT
UDO Sec. 2.4.4 Townhouse (R-4)										
A SITE DIMENSIONS										
A1 AREA (MIN)					4500 SF		96/16 SF			
A2 WIDTH (MIN)					50 FT		100 FT			
B LOT DIMENSIONS										
B1 AREA (MIN)					N/A SF		2090 SF			
B2 WIDTH (MIN)					16 FT		22 FT			
C BUILDING/STRUCTURE SETBACKS										
C1 FROM PRIMARY STREET (MIN)					10 FT		18 FT			
C2 FROM SIDE STREET (MIN)					10 FT		10 FT			
C3 FROM SIDE SITE BOUNDARY LINE (MIN)					10 FT		20 FT			
C4 FROM REAR SITE BOUNDARY LINE (MIN)					20 FT		20 FT			
C5 FROM ALLEY (MIN)					4 OR 20 FT		N/A FT			
C6 INTERNAL BUILDING SEPARATION					10 FT		10 FT			
ENVIRONMENTAL										
UDO Sect. 9.1.3 TREE CONSERVATION REQUIRED										
FORESTATION REQUIREMENT	12.07	x	10%	=	1.21 AC		1.49 / 12.07 = 12.34 %			1.49 AC

SOLID WASTE INSPECTION STATEMENT

1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY CITY OF RALEIGH FOR ALL UNITS.
2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
3. CARTS THAT ARE NOT STORED WITHIN THE GARAGE BEFORE AND AFTER SCHEDULED COLLECTION MAY BE ISSUED A NOTICE OF VIOLATION FOR THE FIRST OFFENSE AND A $100 ADMINISTRATION FEE FOR SUBSEQUENT VIOLATIONS WITHIN A TWELVE MONTH PERIOD.
4. ROLL OUT CARTS TO BE LOCATED ON DRIVEWAY APRON WHEN POSITIONED FOR THE COLLECTION.

FIRE DEPARTMENT NOTES

1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 FEET (NFPA 13R) NO SPRINKLING SYSTEM PROPOSED.
2. FIRE HYDRANT SHALL BE LOCATED WITHIN 300' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
3. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.
4. ALL PROPOSED PUBLIC FIRE HYDRANTS WILL BE IN ACCORDANCE TO CITY OF RALEIGH STANDARD DETAIL W-4, DETAIL WILL BE PROVIDED IN SPR REVIEW PLANS.

jeff.caines@raleighnc.gov

Digitally signed by jeff.caines@raleighnc.gov
DN: E=jeff.caines@raleighnc.gov, CN=jeff.caines@raleighnc.gov
Reason: I am approving this document
Date: 2025.07.18 11:33:25-04'00'

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

Raleigh

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)

☐ Conventional Subdivision ☐ Compact Development ☑ Conservation Development
☐ Cottage Court ☐ Flag lot ☐ Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Scoping/sketch plan case number(s):
Development name (subject to approval): The Row at Watkins
Property Address(es): 4329 Mitchell Mill Road
Recorded Deed PIN(s): 1747953920

Building type(s): ☐ Detached House ☐ Attached House ☑ Townhouse ☐ Apartment ☐ General Building ☐ Mixed Use Building ☐ Civic Building ☑ Open Lot ☐ Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names: NANCY H. WATKINS IRREVOCABLE TRUST
Company: Title:
Address: P.O. BOX 221, ROLESVILLE, NC 27571
Phone #: Email:
Applicant Name (If different from owner. See "who can apply" in instructions):
Relationship to owner: ☑ Lessee or contract purchaser ☐ Owner's authorized agent ☐ Easement holder
Company: BGE, Inc. Address: 5438 Wade Park Blvd, Suite 420, Raleigh, NC 27607
Phone #: 919-276-0111 Email: rfisher@bgeinc.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact Names: Bob Mishler
Company: Ashton Woods Title: Land Entitlements Manager
Address: 4025 Lake Boone Trail, Suite 200, Raleigh, NC 27607
Phone #: 919-422-7663 Email: bob.mishler@ashtonwoods.com

4 Revision 06.07.24 raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage: 15.46 AC
Zoning districts (if more than one, provide acreage of each):
R4 (15.35 AC, CM (0.11 AC)
Overlay district(s): N/A | Inside City Limits? Yes ☑ No | Historic District/Landmark: N/A ☑
Conditional Use District (CUD) Case # Z- | Board of Adjustment Case # BOA- | Design Alternate Case # DA-

STORMWATER INFORMATION

Impervious Area on Parcel(s): Existing (sf) 6,715 Proposed total (sf) 285,754
Impervious Area for Compliance (includes right-of-way): Existing (sf) 6,715 Proposed total (sf) 310,643

NUMBER OF LOTS AND DENSITY

# of Detached House Lots: 0 | # of Attached House Lots: 0 | # of Townhouse Lots: 107
# of Tiny House Lots: 0 | # of Open Lots: 5 | # of Other Lots (Apartment, General, Mixed Use, Civic): 0
Total # of Lots: 112 | Total # Dwelling Units: 107
# of bedroom units (if known): 1br_____ 2br_____ 3br_____ 4br_____
Proposed density for each zoning district (UDO 1.5.2.F): 6.92 DU/AC

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Date: 5/13/24
Printed Name: Bob Mishler
Signature: Date:
Printed Name:

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0-0	COVER SHEET
C0-1	GENERAL NOTES
C1-0	EXISTING CONDITIONS SURVEY (1 OF 5)
C1-1	EXISTING CONDITIONS SURVEY (2 OF 5)
C1-2	EXISTING CONDITIONS SURVEY (3 OF 5)
C1-3	EXISTING CONDITIONS SURVEY (4 OF 5)
C1-4	EXISTING CONDITIONS SURVEY (5 OF 5)
C1-5	OVERALL DEMOLITION PLAN
C2-0	OVERALL SUBDIVISION PLAN
C2-1	SUBDIVISION PLAN (1 OF 2)
C2-2	SUBDIVISION PLAN (2 OF 2)
C2-3	HOSE LENGTH PLAN
C3-0	OVERALL UTILITY PLAN
C3-1	UTILITY PLAN (1 OF 2)
C3-2	UTILITY PLAN (2 OF 2)
C3-3	OFFSITE SEWER PLAN
C3-4	OFFSITE WATER PLAN (1 OF 2)
C3-5	OFFSITE WATER PLAN (2 OF 2)
C4-0	OVERALL GRADING AND DRAINAGE PLAN
C4-1	GRADING AND DRAINAGE PLAN (1 OF 2)
C4-2	GRADING AND DRAINAGE PLAN (2 OF 2)
C7-0	SCM PLAN
L1-0	LANDSCAPE PLAN
L2-0	TREE CONSERVATION PLAN
L3-0	LANDSCAPE DETAILS

GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
5. ALL SURVEY INFORMATION PROVIDED BY BGE INC., RALEIGH, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN SEPTEMBER, 2023, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN SEPTEMBER, 2023.
6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
7. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
10. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
11. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
12. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
13. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
14. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
15. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
16. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
17. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
18. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
19. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
20. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
21. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
22. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
24. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
25. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
26. DEVELOPER IS PROPOSING GRADING, ROW, AND EASEMENT IMPROVEMENTS ALONG FALLS OF THE NEUSE ROAD, PL FOR PAVEMENT IMPROVEMENTS FOR FALLS OF THE NEUSE ROAD IS PROPOSED.
27. RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT. WHEN DESIGNING THE SITE, THE DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN RALEIGH STREET DESIGN MANUAL ARTICLE 9.5 AND SECTION 4.6.1.
28. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

PROJECT OWNER AND CONSULTANT INFORMATION

DEVELOPER:	ENGINEER:	SURVEYOR:
ASHTON WOODS 4025 LAKE BOONE TRAIL, SUITE 200 RALEIGH, NC 27607 (919) 422-7663 CONTACT: BOB MISHLER	BGE, INC 5438 WADE PARK BOULEVARD, SUITE 420 RALEIGH, NC 27607 (919) 276-0111 CONTACT: RYAN FISHER, P.E.	BGE, INC 5438 WADE PARK BOULEVARD, SUITE 420 RALEIGH, NC 27607 (919) 276-0111 CONTACT: RON FREDERICK, P.L.S.

811 Know what's below. Call before you dig.

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DESIGNED BY: CT
DRAWN BY: KB
REVIEWED BY: RF

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RALEIGH NC 27607
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NC LICENSE #C-4397

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ASHTON WOODS
4025 LAKE BOONE TRAIL, SUITE 200
RALEIGH | NC | 27607

THE ROW AT WATKINS
CDP PROJECT NO. SUB-0028-2024
4329 MITCHELL MILL ROAD
RALEIGH | NC | 27607

COVER SHEET

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plan Sheets\On-Site\Preliminary Subdivision\C0-0 - COVR.dwg Layout: C0-0 Plotted: 6/6/2025 9:22:52 AM

GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. NO WORK WITHIN NCDOT OR CITY OF RALEIGH RIGHT OF WAY SHALL TAKE PLACE WITHOUT ALL PERMITS.
3. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THE CIVIL PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION. CONTRACTOR SHALL REPAIR ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THE EXISTING OR BETTER CONDITION.
5. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY BGE, INC. ALL INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) AS APPLICABLE.
7. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING AND DRAINAGE PLAN WITHOUT AUTHORIZATION IS SUBJECT TO A FINE. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND THE CITY OF RALEIGH.
9. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE CITY OF RALEIGH.
10. ALL STANDARD NUMBERS REFER TO THE NCDOT STANDARD DETAILS AND SPECIFICATIONS AND THE LATEST EDITION OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO).
11. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
12. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN A UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
13. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
14. CONTRACTOR SHALL POST ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS ON BUILDING.
15. IN ROLLING OR HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
16. CONTACT APPROPRIATE UTILITY COMPANIES TO RELOCATE ANY EXISTING UTILITY AND/OR LIGHT POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR.

UTILITY NOTES

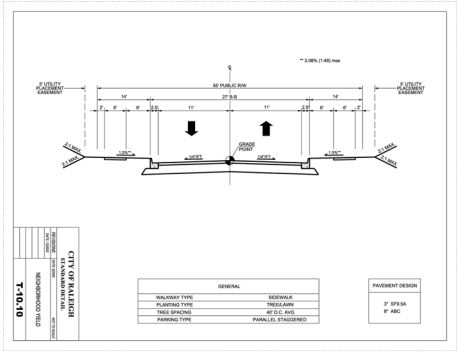
1. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 (NC811) AT 811 OR (800)632-4949 TO COORDINATE THE IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
2. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
3. CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND RESPECTIVE UTILITY COMPANY REPRESENTATIVE.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE UTILITY PROVIDER FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
5. ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE GIVEN A 48 HOUR NOTICE TO THE UTILITY COMPANY AND THE OWNER.
6. CONTRACTOR SHALL SAW CUT, REMOVE, AND REPLACE ASPHALT PAVEMENT AS NECESSARY TO INSTALL UNDERGROUND ELECTRIC,TELEPHONE, SEWER, WATER, AND COMMUNICATION CONDUITS.
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE PER DUKE ENERGY STANDARDS.
8. ALL UTILITIES ARE TO BE UNDERGROUND.

CITY OF RALEIGH STANDARD NOTES

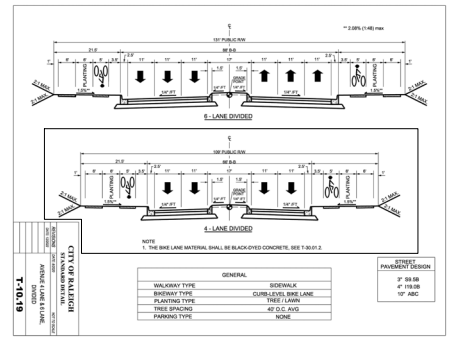
1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. ALL ROAD IMPROVEMENTS AT MITCHELL MILL ROAD ARE TO BE COORDINATED WITH THE CITY OF RALEIGH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
5. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
6. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY (R/W) IF DEEMED NECESSARY BY THE CITY INSPECTOR.
7. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
8. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
9. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
10. ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF RALEIGH.
11. SEALED SHOP DRAWINGS BY A PROFESSIONAL ENGINEER FOR RETAINING WALL (BY OTHERS) MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
12. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF RALEIGH IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT ORDINANCE SUBDIVISION ORDINANCE.
13. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT RALEIGH DEPARTMENT OF TRANSPORTATION.
14. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE RALEIGH DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
15. SIDEWALK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRE REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
16. ANY WORK WITHIN THE R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY NCDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH NCDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
17. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200.
18. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT NCDOT AT (919) 707-6200.
19. DEVELOPER TO CONTACT NCDOT DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND NCDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONAL RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR NCDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL NCDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
10. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO NCDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE INDICATED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
15. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE.
16. SEED, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
17. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
18. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.



BRIARHOLLOW DRIVE, JUNIPERWOOD LANE, WILLOWSHADE LANE
TYPICAL SECTION



MITCHELL MILL ROAD
TYPICAL SECTION

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THE ROW AT WATKINS
CORP PROJECT NO. SUB-0026-2024
4228 MITCHELL MILL ROAD
RALEIGH / NC / 27610

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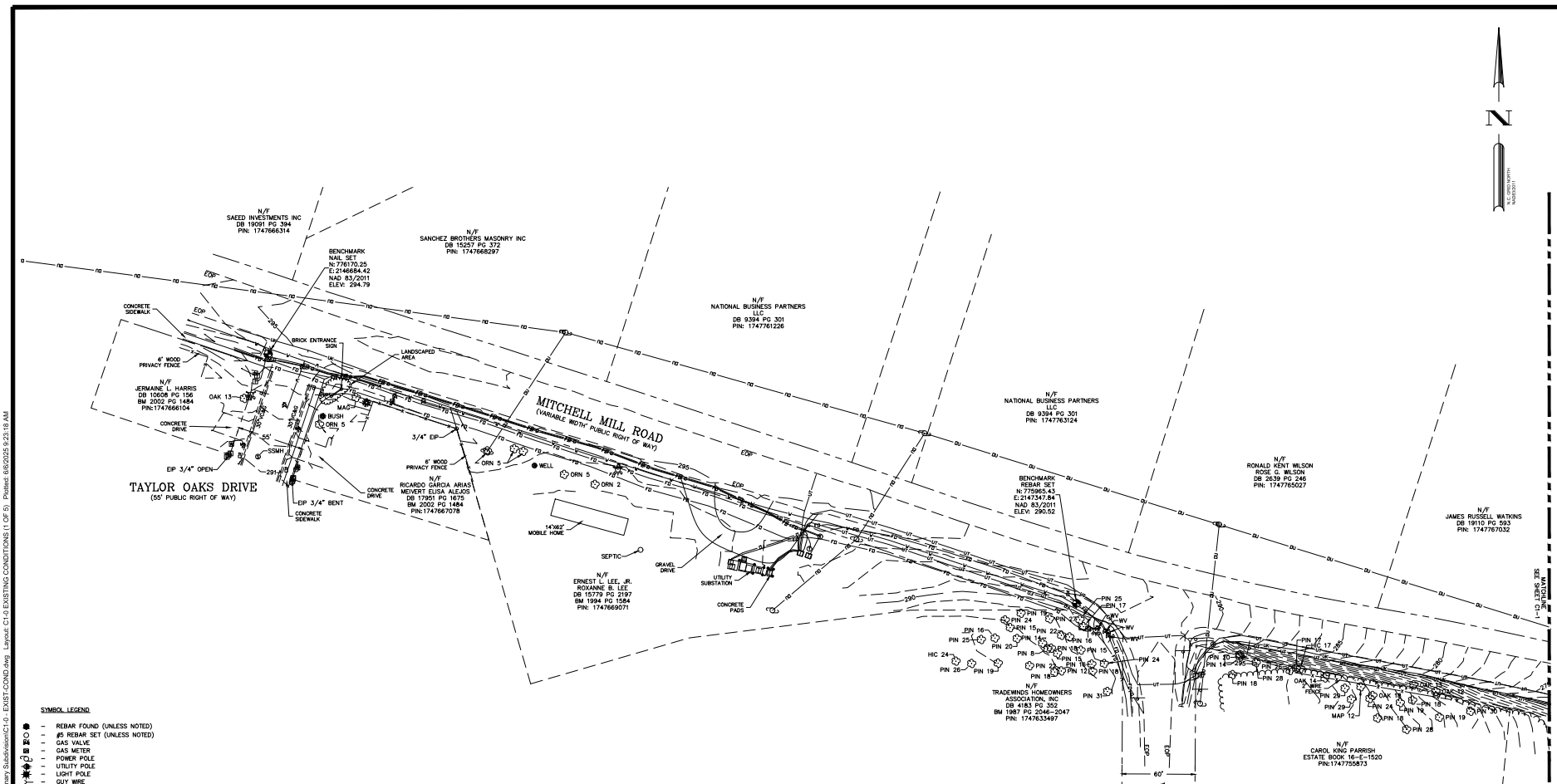

SYMBOL LEGEND

- REBAR FOUND (UNLESS NOTED)
- #5 REBAR SET (UNLESS NOTED)
- GAS VALVE
- GAS METER
- POWER POLE
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC BOX
- ELECTRI PULL BOX / HANDHOLE
- BENCHMARK
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- FIBER OPTIC PEDESTAL
- CATV PEDESTAL
- SANITARY SEWER MANHOLE
- SANITARY CLEAN OUT
- WATER HYDRANT
- WATER METER
- WATER VALVE
- MAILBOX
- CONCRETE BOLLARD / FLAG POLE
- STREET SIGN
- TREE

LINE LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- ROAD CENTERLINE
- EDGE OF PAVMENT
- CURB AND GUTTER
- FENCE (TYPE AS NOTED)
- STORM DRAIN LINE
- UTILITY – OVERHEAD POWER
- UTILITY – UNDERGROUND POWER
- UTILITY – CABLE TV LINE
- UTILITY – TELEPHONE LINE
- UTILITY – FIBER OPTIC LINE
- UTILITY – SANITARY SEWER LINE
- UTILITY – SANITARY FORCE MAIN
- UTILITY – GAS LINE
- UTILITY – WATERLINE
- DITCH CENTERLINE
- STREAM / TRIBUTARY
- FEMA 100 YEAR FLOOD HAZARD LINE
- FEMA FLOODWAY LINE
- TREE LINE
- UTILITY – UNKNOWN

TREE LEGEND
SPECIES (SIZE IN INCHES)

PIN – PINE
HOL – HOLLY
GUM – SWEETGUM
ORN – ORNAMENTAL
MAP – MAPLE
CREPE– CREPE MYRTLE
HIC – HICKORY
BLK WAL – BLACK WALNUT
TW – TWIN
TRIP – TRIPPLE

ABBREVIATION LEGEND

EIP – EXISTING IRON PIPE
EAI – EXISTING ANGLE IRON
CP – COMPUTED POINT
ER – EXISTING REBAR
PP – POWER POLE
FOM – FIBER OPTIC MARKER
FHH – FIBER HAND HOLE
TPED – TELEPHONE PEDESTAL
CPED – CABLE PEDESTAL
EMB – ELECTRIC METER BOX
DB – DEED BOOK
FEMA – FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM – FLOOD INSURANCE RATE MAP
NAD – NORTH AMERICAN DATUM
NGS – NATIONAL GEODETIC SURVEY
BM – BOOK OF MAPS
PG – PAGE
RCP – REINFORCED CONCRETE PIPE
R/W – RIGHT-OF-WAY
(T) – TOTAL
CMP – CORRUGATED METAL PIPE
RWALL– RETAINING WALL
SSMH – SANITARY SEWER MANHOLE
EOP – EDGE OF PAVEMENT
INV. – INVERT

REFERENCES:

1. BM 1986 PG 2263-2266
2. BM 1987 PG 18
3. BM 1994 PG 411
4. BM 2000 PG 1658
5. BM 2001 PG 624
6. BM 2021 PG 1835

GENERAL NOTES:

1. THIS IS AN EXISTING CONDITIONS SURVEY FOR DESIGN PURPOSES.
2. BEARINGS FOR THIS SURVEY ARE BASED NAD83/2011.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. AREA BY COORDINATE GEOMETRY.
5. FLOOD NOTE: PORTIONS OF THIS SITE ARE IN SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS AS SHOWN ON FIRM PANEL #3720174700K & #3720175700K REVISED DATE, JULY 19, 2022.
6. REFERENCES AS SHOWN.
7. THE GRAPHIC REPRESENTATION OF THE UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED BY FIELD LOCATION OF PAINT MARKS AND/OR PIN FLAGS PLACED BY UTILITY LOCATION CONTRACTOR (CANOY SURVEYING, PLLC.)
8. STREAMS, WETLANDS WERE DELINEATED BY SAGE ECOLOGICAL SERVICES AND ARE SHOWN PER WETLAND SKETCH MAP TITLED "THE ROW AT WATKINS", PROJECT #2023.104 AND DATED SEPTEMBER 5, 2023. STREAM BUFFERS ARE SHOWN PER WETLAND SKETCH MAP AND BM 2021 PG 1835.
9. FLOOD PRONE SOILS TAKEN FROM WAKE COUNTY GIS.

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BAR SCALE 1"=40'
0 20 40 80

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DESIGNED BY: 1"=40'
DRAWN BY: SF
REVIEWED BY: RTF

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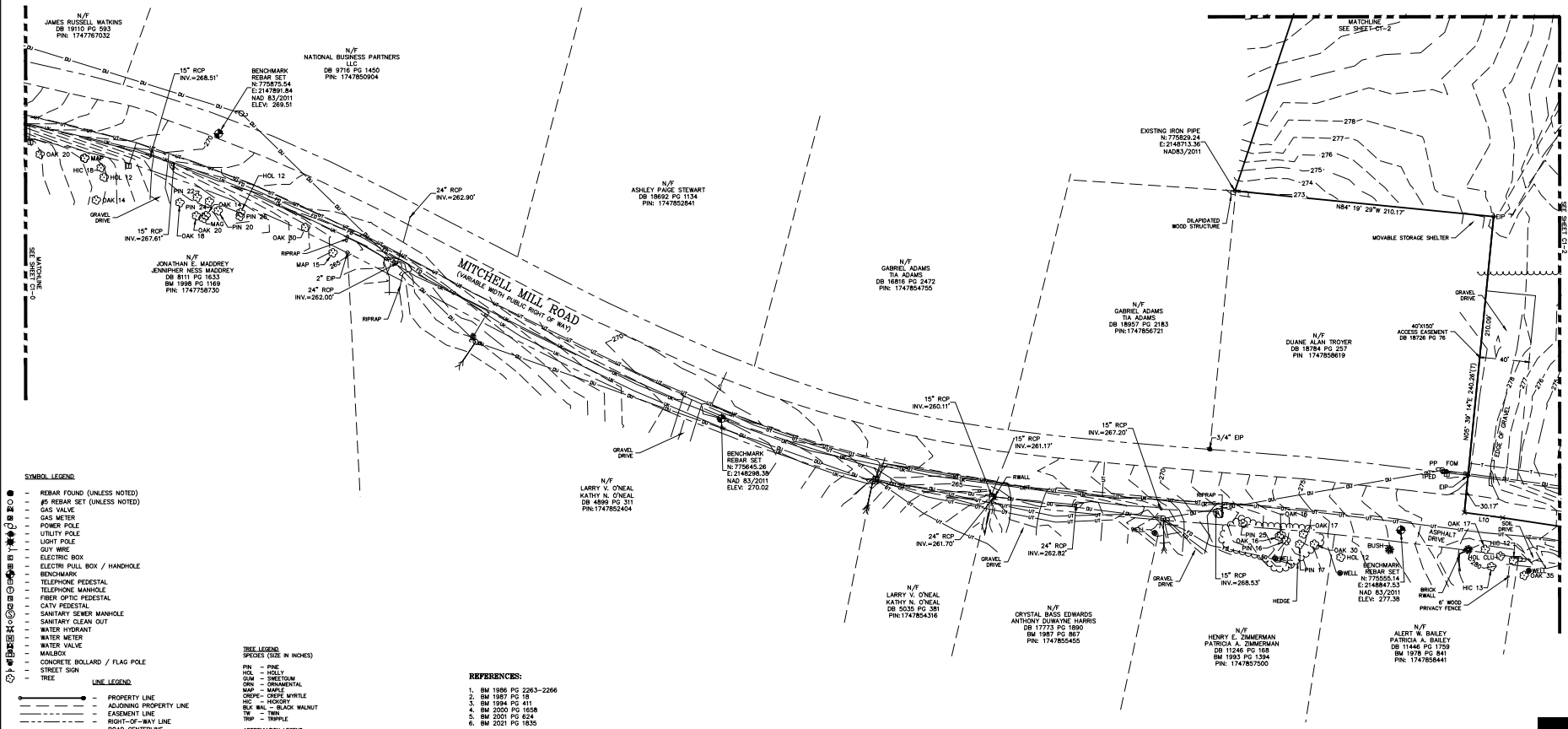
CORP PROJECT NO.
SUB-0026-2024
4039 MITCHELL MILL ROAD
RALEIGH | NC | 27607

EXISTING CONDITIONS SURVEY (1 OF 5)

[redacted]

C1-0

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plans\Sheets\On-Site\Preliminary Subdivision\C1-0 - EXIST.COND.dwg Layout: C1-0 EXISTING CONDITIONS (1 OF 5) Plotted: 6/6/2025 9:23:18 AM



SYMBOL LEGEND:

- REBAR FOUND (UNLESS NOTED)
- #5 REBAR SET (UNLESS NOTED)
- GAS VALVE
- GAS METER
- POWER POLE
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC BOX
- ELECTRI PULL BOX / HANDHOLE
- BENCHMARK
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- FIBER OPTIC PEDESTAL
- CATV PEDESTAL
- SANITARY SEWER MANHOLE
- SANITARY CLEAN OUT
- WATER HYDRANT
- WATER METER
- WATER VALVE
- MAILBOX
- CONCRETE BOLLARD / FLAG POLE
- STREET SIGN
- TREE

LINE LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- ROAD CENTERLINE
- EDGE OF PAVMENT
- CURB AND GUTTER
- FENCE (TYPE AS NOTED)
- STORM DRAIN LINE
- UTILITY - OVERHEAD POWER
- UTILITY - UNDERGROUND POWER
- UTILITY - CABLE TV LINE
- UTILITY - TELEPHONE LINE
- UTILITY - FIBER OPTIC LINE
- UTILITY - SANITARY SEWER LINE
- UTILITY - SANITARY FORCE MAIN
- UTILITY - GAS LINE
- UTILITY - WATERLINE
- DITCH CENTERLINE
- STREAM / TRIBUTARY
- FEMA 100 YEAR FLOOD HAZARD LINE
- FEMA FLOODWAY LINE
- TREE LINE
- UTILITY - UNKNOWN

TREE LEGEND
SPECIES (SIZE IN INCHES)

PIN - PINE
HOL - HOLLY
GUM - SWEETGUM
ORN - ORNAMENTAL
MAP - MAPLE
CREPE- CREPE MYRTLE
HIC - HICKORY
BLK WAL - BLACK WALNUT
TW - TWIN
TRIP - TRIPPLE

ABBREVIATION LEGEND

EIP - EXISTING IRON PIPE
EAI - EXISTING ANGLE IRON
CP - COMPUTED POINT
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CMP - CORRUGATED METAL PIPE
RWALL- RETAINING WALL
SSMH - SANITARY SEWER MANHOLE
EOP - EDGE OF PAVEMENT
INV. - INVERT

811 Know what's below. Call before you dig.

REFERENCES:

1. BM 1986 PG 2263-2266
2. BM 1987 PG 18
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4. BM 2000 PG 1658
5. BM 2001 PG 624
6. BM 2021 PG 1835

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5. FLOOD NOTE: PORTIONS OF THIS SITE ARE IN SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS AS SHOWN ON FIRM PANEL #3720174700K & #3720175700K REVISED DATE: JULY 19, 2022.
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9. FLOOD PRONE SOILS TAKEN FROM WAKE COUNTY GIS.

BAR SCALE 1"=40'
0 20 40 80

REV	DATE	DESCRIPTION
4	06/05/2025	CITY OF RALEIGH COMMENTS - FOURTH REVIEW
3	02/21/2025	CITY OF RALEIGH COMMENTS - THIRD REVIEW
2	11/19/2024	CITY OF RALEIGH COMMENTS - SECOND REVIEW
1	07/05/2024	CITY OF RALEIGH COMMENTS - FIRST REVIEW

DESIGNED BY: 1"=40'
DRAWN BY: SF
REVIEWED BY: RTF

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THE ROW AT WATKINS
CORP PROJECT NO.
SUB-0026-2024
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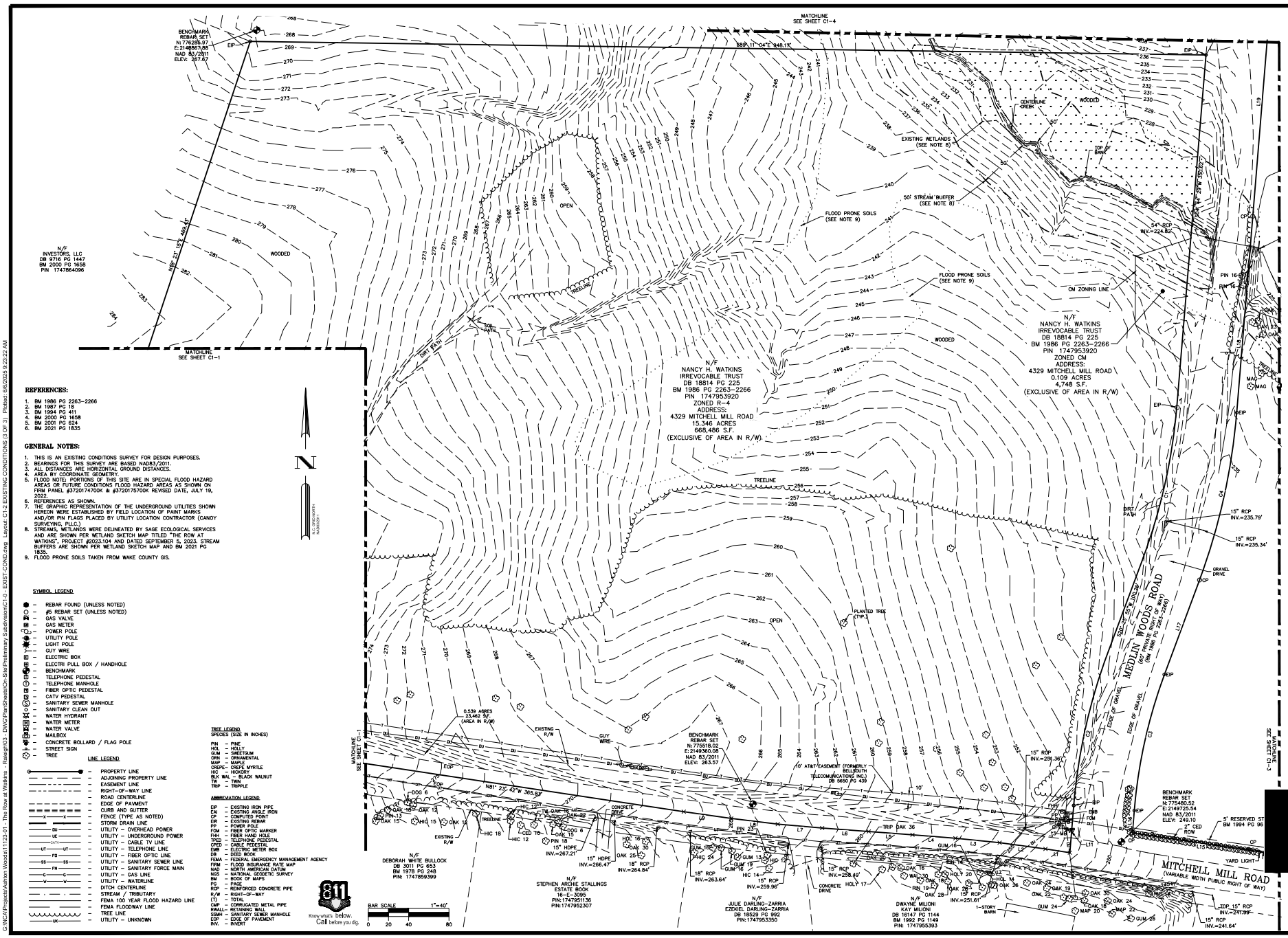
EXISTING CONDITIONS SURVEY (2 OF 5)

C1-1

G:\NCA\Projects\Ashton Woods\1123-01 - The Row at Watkins - Raleigh\03 - DWG\Plan Sheets\On-Site\Preliminary Subdivision\C1-0 - EXIST.COND.dwg Layout: C1-1 EXISTING CONDITIONS (2 OF 5) Plotted: 6/6/2025 9:23:20 AM



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SYMBOL LEGEND

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- #5 REBAR SET (UNLESS NOTED)
- GAS VALVE
- GAS METER
- POWER POLE
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC BOX
- ELECTRI PULL BOX / HANDHOLE
- BENCHMARK
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- FIBER OPTIC PEDESTAL
- CATV PEDESTAL
- SANITARY SEWER MANHOLE
- SANITARY CLEAN OUT
- WATER HYDRANT
- WATER METER
- WATER VALVE
- MAILBOX
- CONCRETE BOLLARD / FLAG POLE
- STREET SIGN
- TREE

LINE LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- ROAD CENTERLINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- FENCE (TYPE AS NOTED)
- STORM DRAIN LINE
- DU — UTILITY – OVERHEAD POWER
- UE — UTILITY – UNDERGROUND POWER
- CATV — UTILITY – CABLE TV LINE
- UT — UTILITY – TELEPHONE LINE
- FO — UTILITY – FIBER OPTIC LINE
- SS — UTILITY – SANITARY SEWER LINE
- FM — UTILITY – SANITARY FORCE MAIN
- G — UTILITY – GAS LINE
- W — UTILITY – WATERLINE
- DITCH CENTERLINE
- STREAM / TRIBUTARY
- FEMA 100 YEAR FLOOD HAZARD LINE
- FEMA FLOODWAY LINE
- TREE LINE
- UK — UTILITY – UNKNOWN

TREE LEGEND
SPECIES (SIZE IN INCHES)

PIN – PINE
HOL – HOLLY
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EXISTING CONDITIONS SURVEY (3 OF 5)

C1-2

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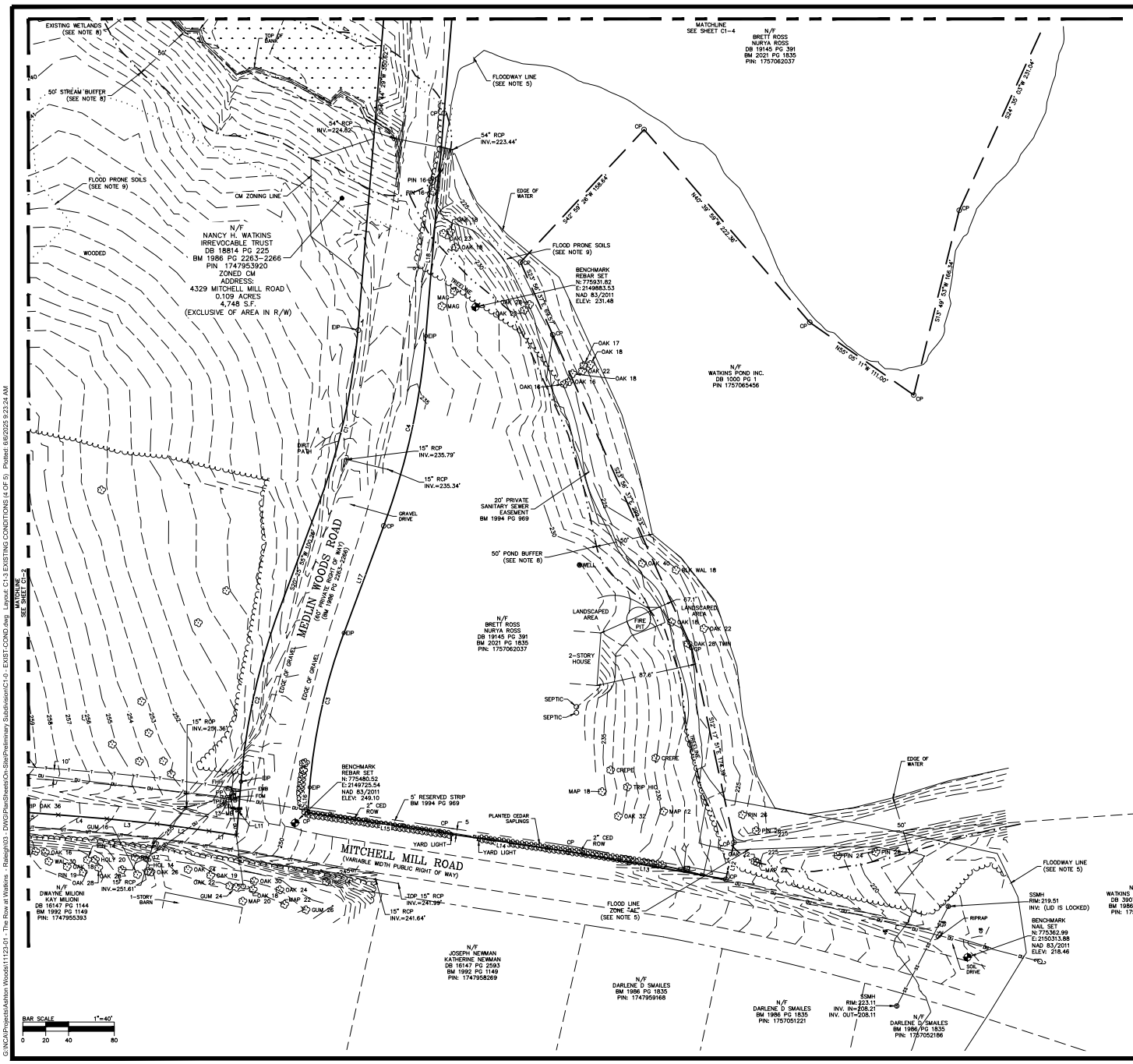

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N.C. GRID NORTH NAD83/2011

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TREE LEGEND

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THE ROW AT WATKINS
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EXISTING CONDITIONS SURVEY (4 OF 5)

[redacted]

C1-3

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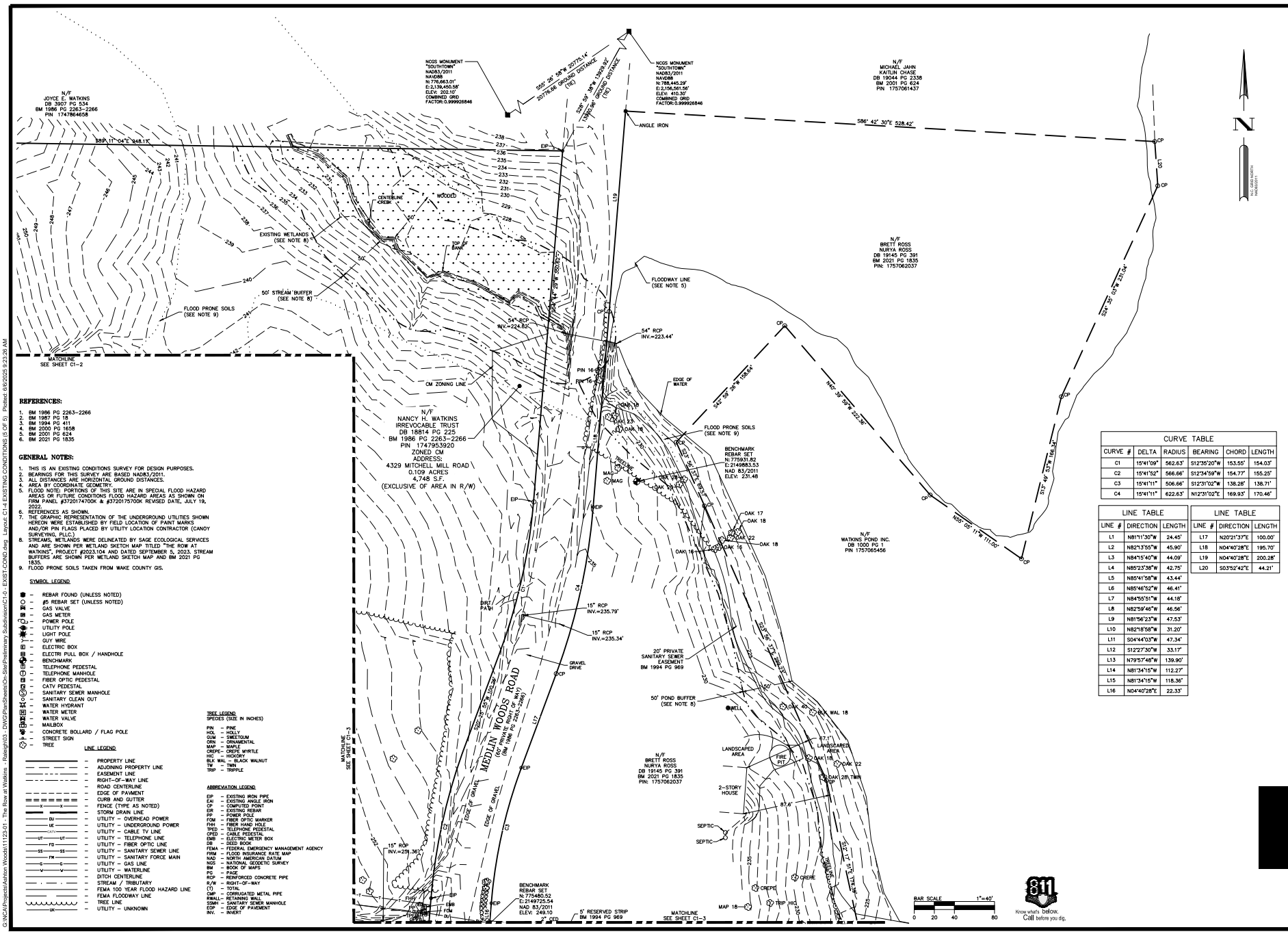

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CURVE TABLE

CURVE #	DELTA	RADIUS	BEARING	CHORD	LENGTH
C1	15°41'09"	562.63'	S12°35'20"W	153.55'	154.03'
C2	15°41'52"	566.66'	S12°34'59"W	154.77'	155.25'
C3	15°41'11"	506.66'	S12°31'02"W	138.28'	138.71'
C4	15°41'11"	622.63'	N12°31'02"E	169.93'	170.46'

LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N81°11'30"W	24.45'
L2	N82°13'55"W	45.90'
L3	N84°15'40"W	44.09'
L4	N85°23'38"W	42.75'
L5	N85°41'58"W	43.44'
L6	N85°46'52"W	46.41'
L7	N84°55'51"W	44.18'
L8	N82°59'46"W	46.56'
L9	N81°56'23"W	47.53'
L10	N82°18'58"W	31.20'
L11	S04°44'03"W	47.34'
L12	S12°27'30"W	33.17'
L13	N79°57'48"W	139.90'
L14	N81°34'15"W	112.27'
L15	N81°34'15"W	118.36'
L16	N04°40'28"E	22.33'

LINE TABLE

LINE #	DIRECTION	LENGTH
L17	N20°21'37"E	100.00'
L18	N04°40'28"E	195.70'
L19	N04°40'28"E	200.28'
L20	S03°52'42"E	44.21'

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C1-4

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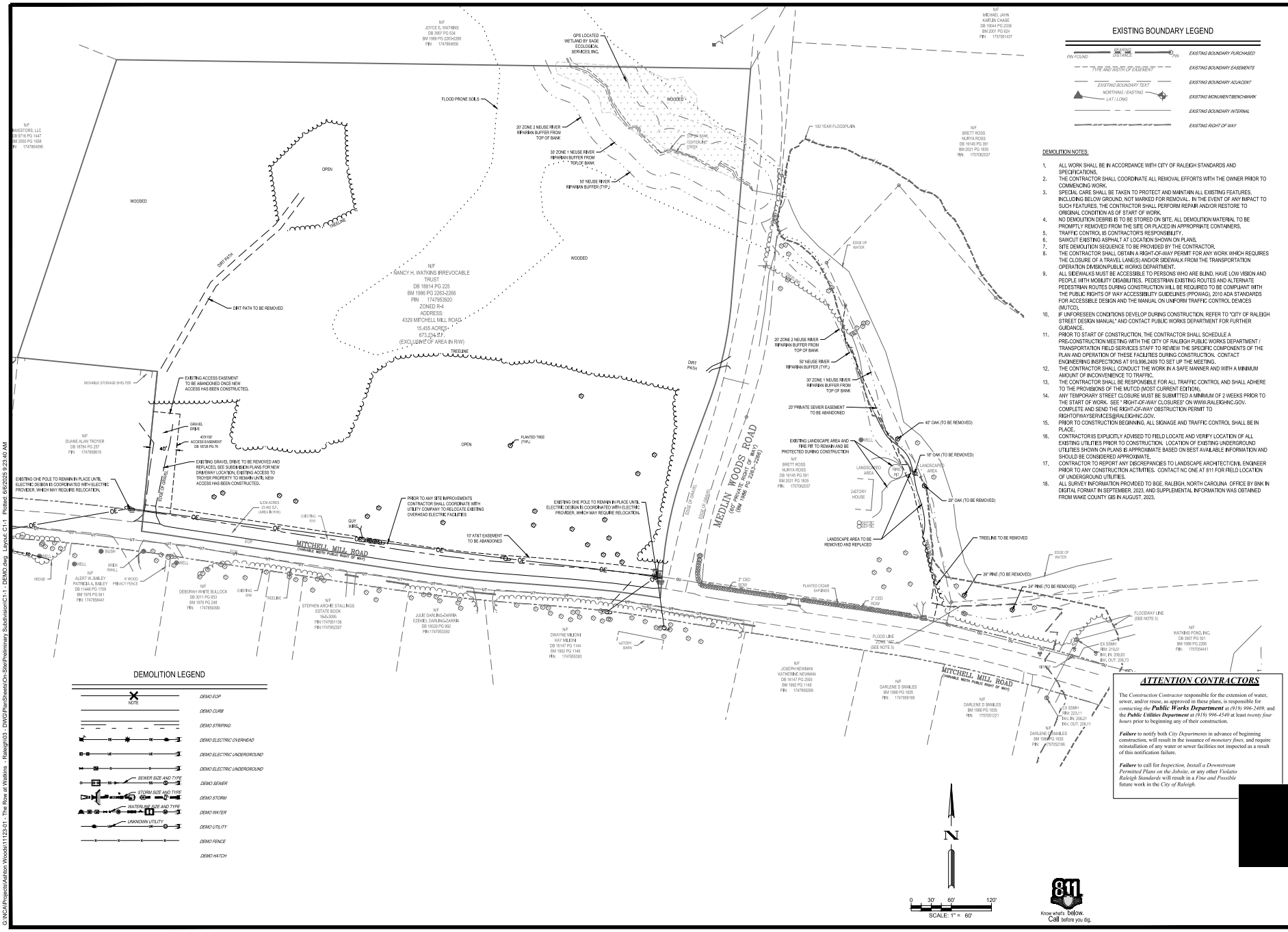

EXISTING BOUNDARY LEGEND

PIN FOUND — BEARING DISTANCE — PIN	EXISTING BOUNDARY PURCHASED
TYPE AND WIDTH OF EASEMENT	EXISTING BOUNDARY EASEMENTS
EXISTING BOUNDARY TEXT; NORTHING / EASTING; LAT / LONG	EXISTING BOUNDARY ADJACENT
	EXISTING MONUMENT/BENCHMARK
	EXISTING BOUNDARY INTERNAL
	EXISTING RIGHT OF WAY

DEMOLITION LEGEND

NOTE	DEMO EOP
	DEMO CURB
	DEMO STRIPING
	DEMO ELECTRIC OVERHEAD
	DEMO ELECTRIC UNDERGROUND
	DEMO ELECTRIC UNDERGROUND
SEWER SIZE AND TYPE	DEMO SEWER
STORM SIZE AND TYPE	DEMO STORM
WATER SIZE AND TYPE	DEMO WATER
UNKNOWN UTILITY	DEMO UTILITY
	DEMO FENCE
	DEMO HATCH

DEMOLITION NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER PRIOR TO COMMENCING WORK.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
4. NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.
5. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
6. SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
7. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
10. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
11. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
12. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
14. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES' ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
15. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
16. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
17. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
18. ALL SURVEY INFORMATION PROVIDED TO BGE, RALEIGH, NORTH CAROLINA OFFICE BY BNK IN DIGITAL FORMAT IN SEPTEMBER, 2023. AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST, 2023.

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Failure to notify both *City Departments* in advance of beginning construction, will result in the issuance of *monetary fines,* and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

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DESIGNED BY: CT
DRAWN BY: KB
REVIEWED BY: RF

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RALEIGH | NC | 27607

THE ROW AT WATKINS
CORP PROJECT NO.
SUB-0026-2024
4329 MITCHELL MILL ROAD
RALEIGH | NC | 27587

OVERALL DEMOLITION PLAN

[redacted]

C1-5

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plan\Sheets\On-Site\Preliminary Subdivision\C1-1 - DEMO.dwg Layout: C1-1 Plotted: 6/6/2025 9:23:40 AM

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plans\Sheets\On-Site\Preliminary Subdivision\C2-0 - OVERALL SUBDIVISION PLAN.dwg Layout: C2-0 Plotted: 6/6/2025 9:24:05 AM

PARCEL LINE AND CURVE DATA TABLE			
LINE # / CURVE #	LENGTH	BEARING / DELTA	RADIUS
C1	88.40	33.77	150.00
C2	93.15	35.58	150.00
C3	161.25	61.63	150.00
C4	9.45	3.61	150.00
C5	29.35	11.21	150.00
C6	75.06	28.68	150.00
C7	66.48	25.39	150.00
C8	49.50	18.91	150.00
L1	143.58	S5° 39' 14.11"W	
L2	25.86	S39° 25' 11.11"W	
L3	203.98	S15° 48' 55.80"W	
L4	63.21	S19° 45' 56.18"E	
L5	196.20	S81° 23' 41.81"E	
L6	286.43	S85° 00' 14.33"E	
L7	192.57	S73° 47' 42.24"E	
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L10	56.00	S85° 53' 53.21"E	
L11	27.16	S9° 51' 14.80"W	
L12	92.05	S25° 45' 45.27"W	

SITE PLAN LEGEND

- BEARING / DISTANCE
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- PROPOSED EASEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED STRIPING
- PROPOSED STANDARD DUTY CONCRETE PAVMT
- PROPOSED STANDARD DUTY ASPHALT PAVMT
- PROPOSED BARRICADE STRIPING
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- PROPOSED HANDICAP PAVEMENT MARKING
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- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- 20' TYPE B1 TRANSITIONAL PROTECTIVE YARD

STREET TABLE			
STREET NAME	TYPE	R/W WIDTH	B-B WIDTH
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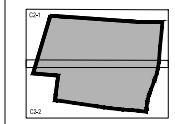
WILLOWSHADE LANE	NEIGHBORHOOD YIELD	55'	27'

MAX IMPERVIOUS AREA PER LOT	
SMALL TOWNHOME	LARGE TOWNHOME
2000 SF	2400 SF

KEY PLAN

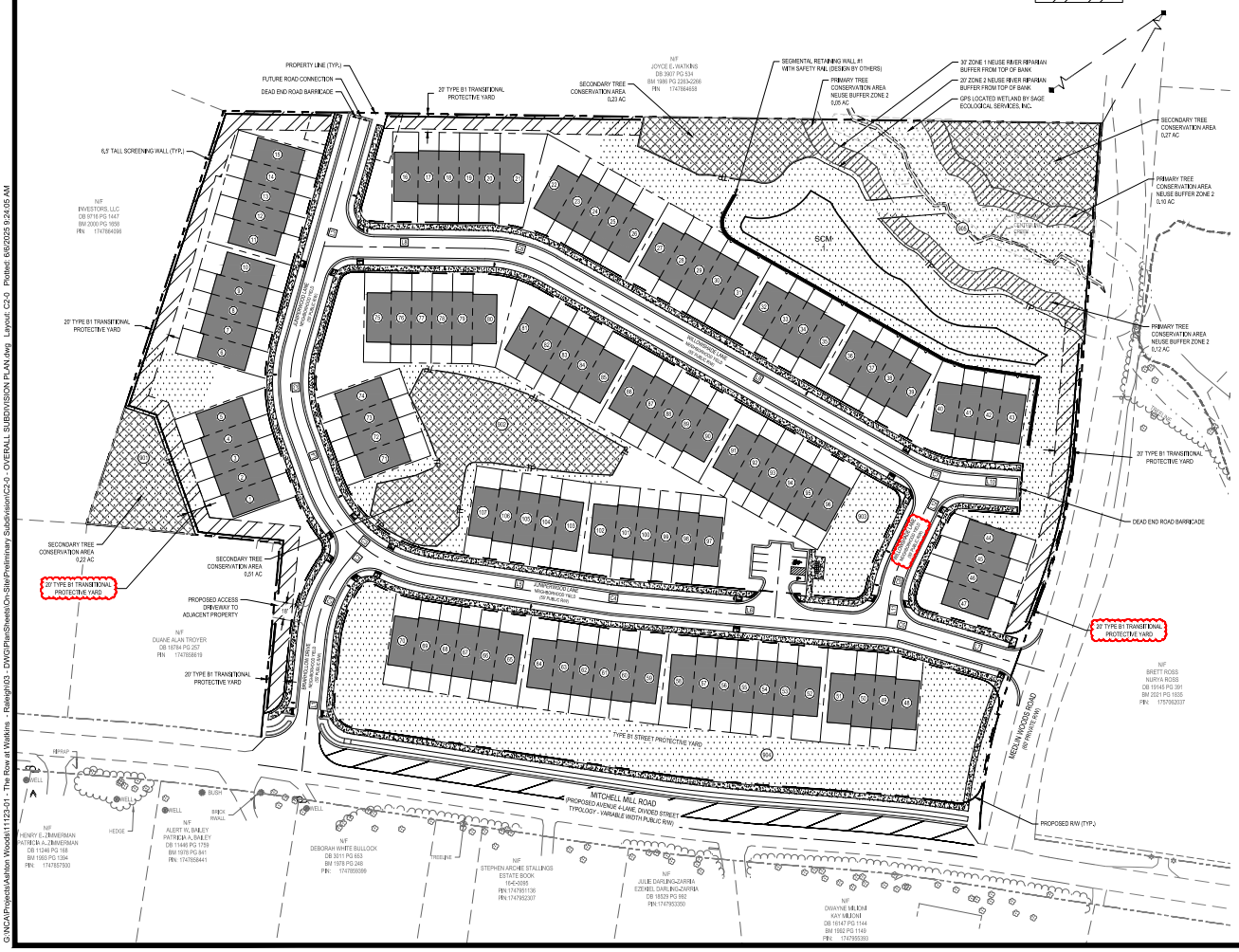


GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
5. ALL SURVEY INFORMATION PROVIDED BY BGE, RALEIGH, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN SEPTEMBER, 2023, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN SEPTEMBER, 2023.
6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
7. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
10. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
11. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
12. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
13. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
14. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
15. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS. NO DRIVEWAYS SHALL ENCROACH ON THE MINIMUM CORNER CLEARANCE.
16. WHEELCHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
17. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
18. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
19. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
20. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
21. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
22. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
24. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
25. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

NOTES:

1. MEDLIN WOODS ROAD IS A 60' PRIVATE RIGHT-OF-WAY AS SHOWN ON THE REFERENCED PLAT. CITY OF RALEIGH STREET PLAN IDENTIFIES THE ROAD AS NEIGHBORHOOD STREET TYPOLOGY, DUE TO IT BEING PRIVATE, THIS PROJECT IS PROPOSING THE DEDICATION OF 2' OF RIGHT-OF-WAY, BUT NO IMPROVEMENTS TO THE ROAD. JUNIPERWOOD LANE CONNECTIONS PER DEEDED ACCESS BEING ALLOWED FOR SUBJECT PROPERTY.
2. BUILDING FOOTPRINTS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.



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DESIGNED BY: CT
DRAWN BY: KB
REVIEWED BY: RF

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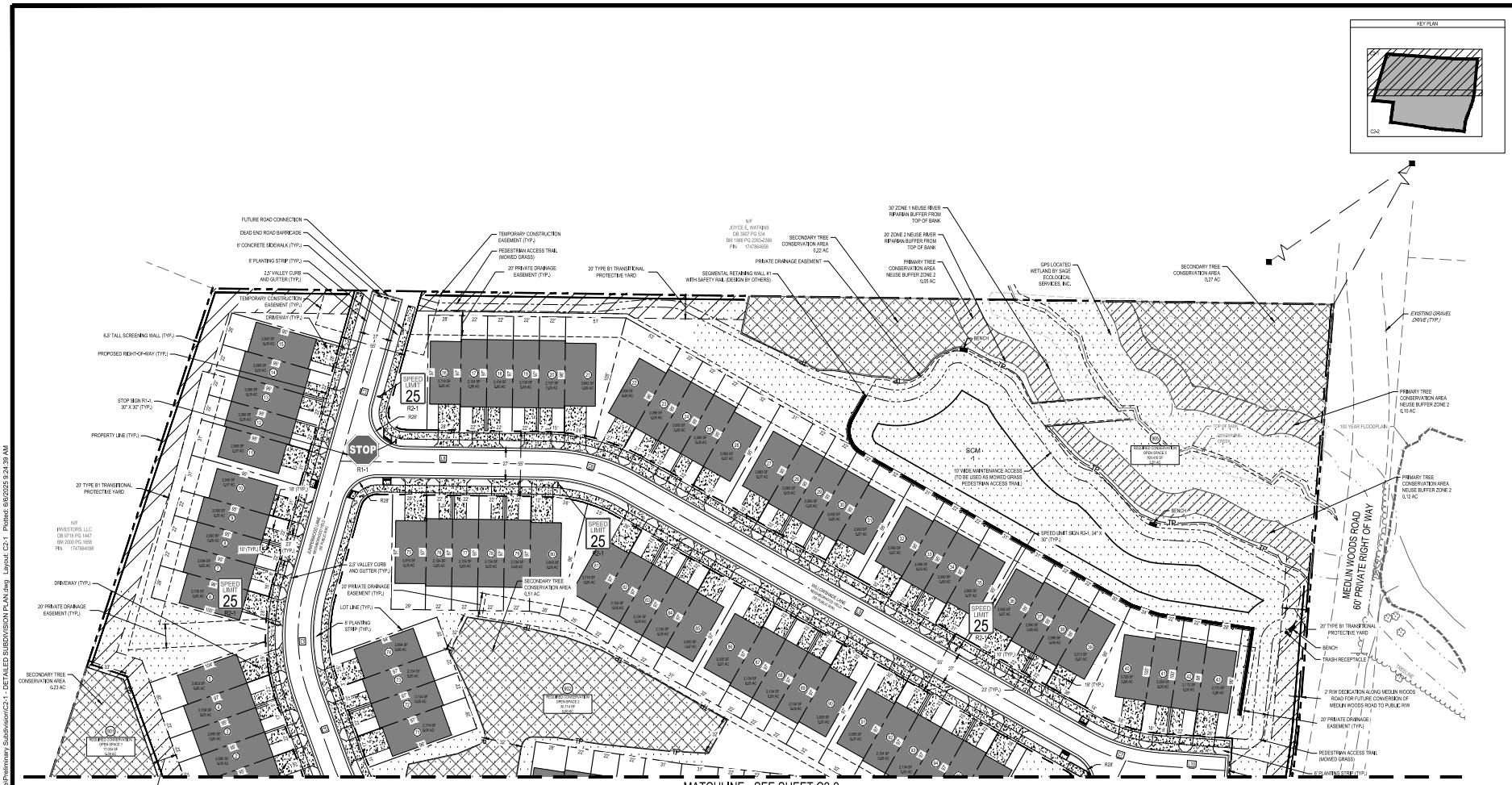
THE ROW AT WATKINS
CORP PROJECT NO.
SUB-0026-2024
4228 MITCHELL MILL ROAD
RALEIGH | NC | 27616

OVERALL SUBDIVISION PLAN

C2-0



MATCHLINE - SEE SHEET C2-2

ROADWAY CENTERLINE LINE AND CURVE DATA TABLE			
LINE # / CURVE #	LENGTH	BEARING / DELTA	RADIUS
C1	88,40	33,77	150,00
C2	93,15	35,58	150,00
C3	161,26	61,63	150,00
C4	9,45	3,61	150,00
C5	29,35	11,21	150,00
C6	75,09	28,69	150,00
C7	66,48	25,39	150,00
C8	49,20	18,81	150,00
L1	143,58	S5° 39' 14,11"W	
L2	25,48	S39° 28' 11,11"W	
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SITE PLAN LEGEND

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- EXISTING WETLANDS DELINEATED BY SAGE ECOLOGICAL SERVICES, INC. ON DATE 9-5-23
- PRIMARY TREE CONSERVATION AREA
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- 20' TYPE B1 TRANSITIONAL PROTECTIVE YARD

STREET TABLE			
STREET NAME	TYPE	R/W WIDTH	B-B WIDTH
BRIARHOLLOW DRIVE	NEIGHBORHOOD YIELD	55'	27'
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NOTE:
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N

0 20' 40' 80'
SCALE: 1" = 40'

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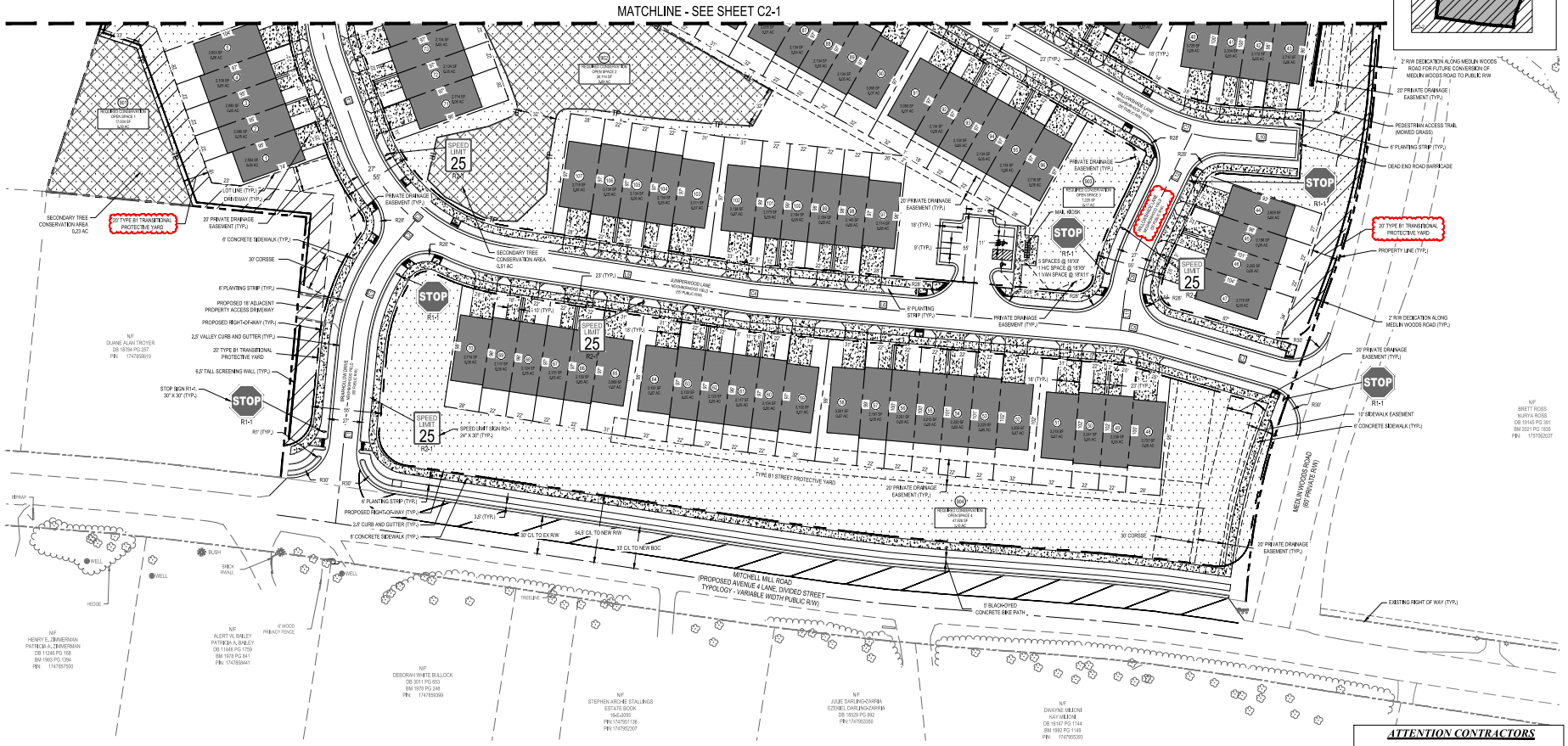
THE ROW AT WATKINS
CORP PROJECT NO. SUB-0208-2024
4328 MITCHELL MILL ROAD
RALEIGH / NC / 27607

SUBDIVISION PLAN
(1 OF 2)

[redacted]

C2-1

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plans\Sheets\On-Site\Preliminary Subdivision\C2-1 - DETAILED SUBDIVISION PLAN.dwg Layout: C2-1 Plotted: 6/6/2025 9:24:39 AM



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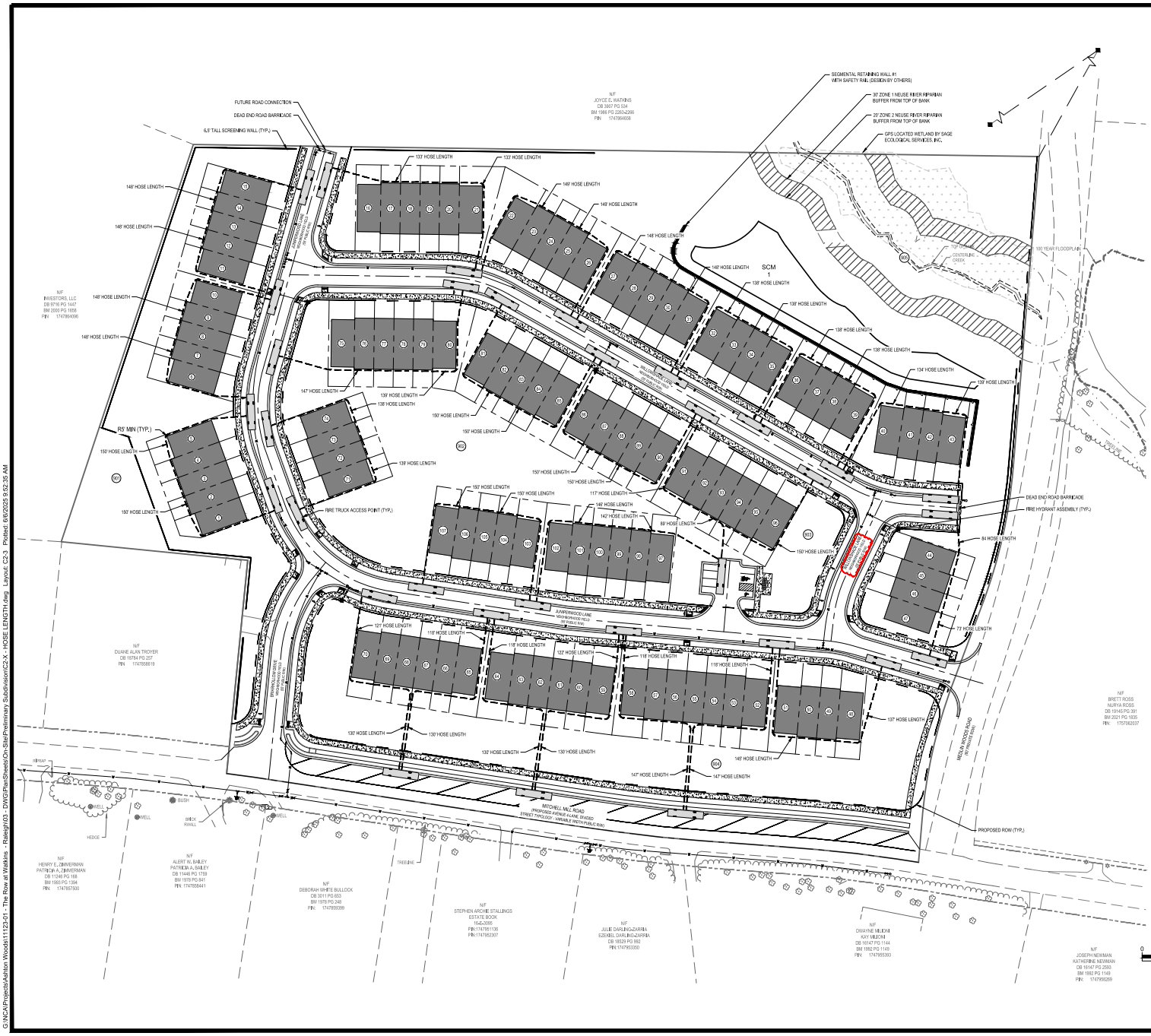
RALEIGH | NC | 27607

SUBDIVISION PLAN
(2 OF 2)

[redacted]

C2-2

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plans\Sheets\On-Site\Preliminary Subdivision\C2-1 - DETAILED SUBDIVISION PLAN.dwg Layout: C2-2 Plotted: 6/6/2025 9:50:05 AM



LEGEND

HOSE LENGTH FROM CURB

NOTE:

1. BUILDING FOOTPRINTS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.

RESIDENTIAL

A. FIRE HYDRANT SHALL BE SPACED NOT MORE THAN 600' ALONG NAMED ROADS. ALTERNATE SIDES ON DIVIDED ROADS.
B. FIRE HYDRANTS SHALL BE AT EVERY NAMED STREET.
C. ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED BY FIRE DEPARTMENT.

FIRE DEPARTMENT VEHICLE ACCESS

1. ALL BUILDINGS AND FACILITIES SHALL REQUIRE FIRE DEPARTMENT VEHICLE ACCESS COMPLYING WITH NORTH CAROLINA FIRE PREVENTION (NCFPC), CHAPTER 5, AND ALL COR GUIDES AND HANDBOOKS. SOME EXAMPLES ARE SHOWN IN APPENDIX D OF NCFPC.
2. MINIMUM UNOBSTRUCTED STREET WIDTH OF 20 FEET (BACK TO BACK CURB) MUST BE MAINTAINED THE ENTIRE TRAVEL ROUTES OF THE FIRE TRUCK. ENTRANCES, GATED ENTRANCES, ISLANDS AND TRAFFIC CIRCLES ARE OF SPECIAL CONCERN. SEE ALTERNATIVE ACCESS FOR ENTRIES WITH GUARD SHACKS (FP-29).
3. MINIMUM INSIDE TURNING RADIUS OF 28 FEET MUST BE MAINTAINED THROUGHOUT THE SITE PLAN FOR ANY ACCESS LANES THAT WOULD COMMONLY BE USED BY FIRE APPARATUS.
4. FIRE DEPARTMENT ACCESS LANES MUST ALLOW FIRE APPARATUS TO DRIVE 150 FEET OF ALL PORTIONS OF THE FIRST FLOOR. BUILDINGS THAT DO NOT COMPLY SHALL BE REQUIRED TO INSTALL FIRE SPRINKLERS (SEE TECH BULLETIN 12).
5. DEAD END STREETS AND ACCESS LANES 150 FEET OR MORE SHALL HAVE AN APPROVED FIRE APPARATUS TURN-A-ROUND PROVIDED.
6. APPARATUS ACCESS ROAD GRADE SHALL NOT EXCEED 12 PERCENT IN GRADE, EXCEPT AS APPROVED BY THE FIRE CHIEF (PROHIBIT USE OF DRIVING ON GRAVEL)

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0 25' 50' 100'
SCALE: 1" = 50'

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4	06/05/2025	CITY OF RALEIGH COMMENTS - FOURTH REVIEW
3	02/21/2025	CITY OF RALEIGH COMMENTS - THIRD REVIEW
2	11/19/2024	CITY OF RALEIGH COMMENTS - SECOND REVIEW
1	07/05/2024	CITY OF RALEIGH COMMENTS - FIRST REVIEW

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DRAWN BY: KB
REVIEWED BY: RF

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HOSE LENGTH PLAN

[redacted]

C2-3

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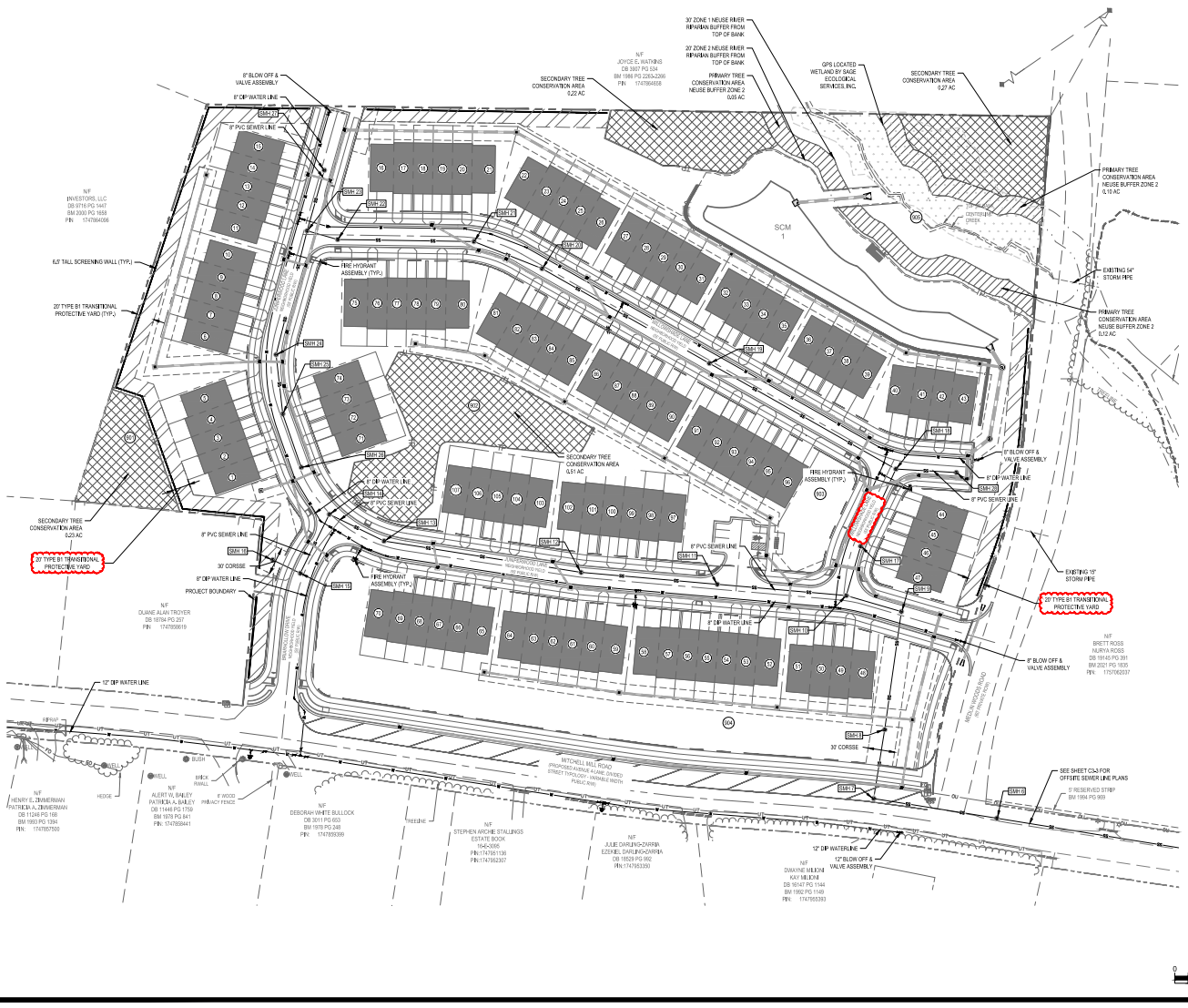

PROPOSED UTILITY LEGEND

- PROPOSED SANITARY
- PROPOSED STORM
- PROPOSED DOMESTIC WATER

KEY PLAN

C3-1

C3-2

STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
   a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
   b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10', IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
   c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANY TIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
   d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
   e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
   f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS, 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
8. INSTALL ¾" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT, NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
9. INSTALL 4" PVC² SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDEQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
12. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT, CONTACT (919) 996-6016 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT, CONTACT (919) 996-3823 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION
15. NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS $250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.
16. ALL PROPOSED WATER MAINS SHOWN ON THESE PLANS SHALL BE 8" DUCTILE IRON PIPE (AWWA C-150) PER CITY OF RALEIGH STANDARDS UNLESS OTHERWISE NOTED.
17. POTABLE WATER MAINS MAXIMUM ALLOWABLE JOINT DEFLECTION IS 5°, RADII ARE PRODUCED BY A SUCCESSION OF NOMINAL LENGTH OF PIPE FULLY DEFLECTED.
18. 8" DIP POTABLE WATER MAIN SHOWN HERE TO BE INSTALLED AT MINIMUM 3' BURY AND COVER DEPTH PER CITY OF RALEIGH STANDARDS.
19. PIPE JOINTS SHALL BE MECHANICAL OR "PUSH ON" MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C-111.
20. A 12" DUCTILE IRON WATER PIPE (AWWA C-150) SHALL BE INSTALLED WITHIN MITCHELL MILL ROAD PER CITY OF RALEIGH STANDARDS UNLESS OTHERWISE NOTED.
21. ALL PROPOSED SANITARY SEWER MAINS SHOWN ON THESE PLANS SHALL BE 8" PVC ASTM D-3034-08 (SDR-35) UNLESS OTHERWISE NOTED.

NOTE:

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SCALE: 1" = 60'

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DRAWN BY: KB

REVIEWED BY: RF

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OVERALL UTILITY PLAN

C3-0

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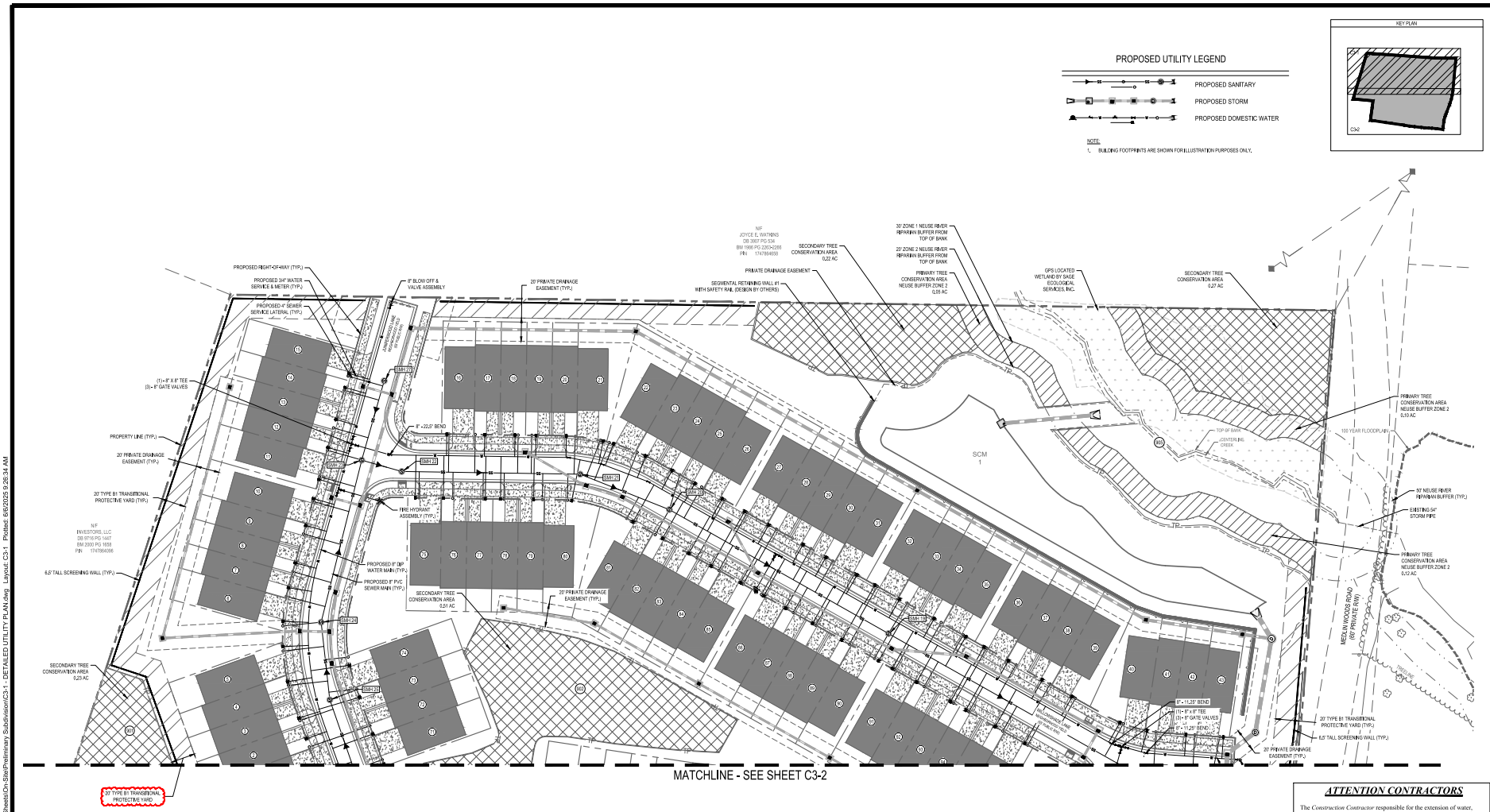

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UTILITY PLAN
(1 OF 2)

[redacted]

C3-1

NOTE:
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PROPOSED UTILITY LEGEND

- PROPOSED SANITARY
- PROPOSED STORM
- PROPOSED DOMESTIC WATER

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UTILITY PLAN (2 OF 2)

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C3-2

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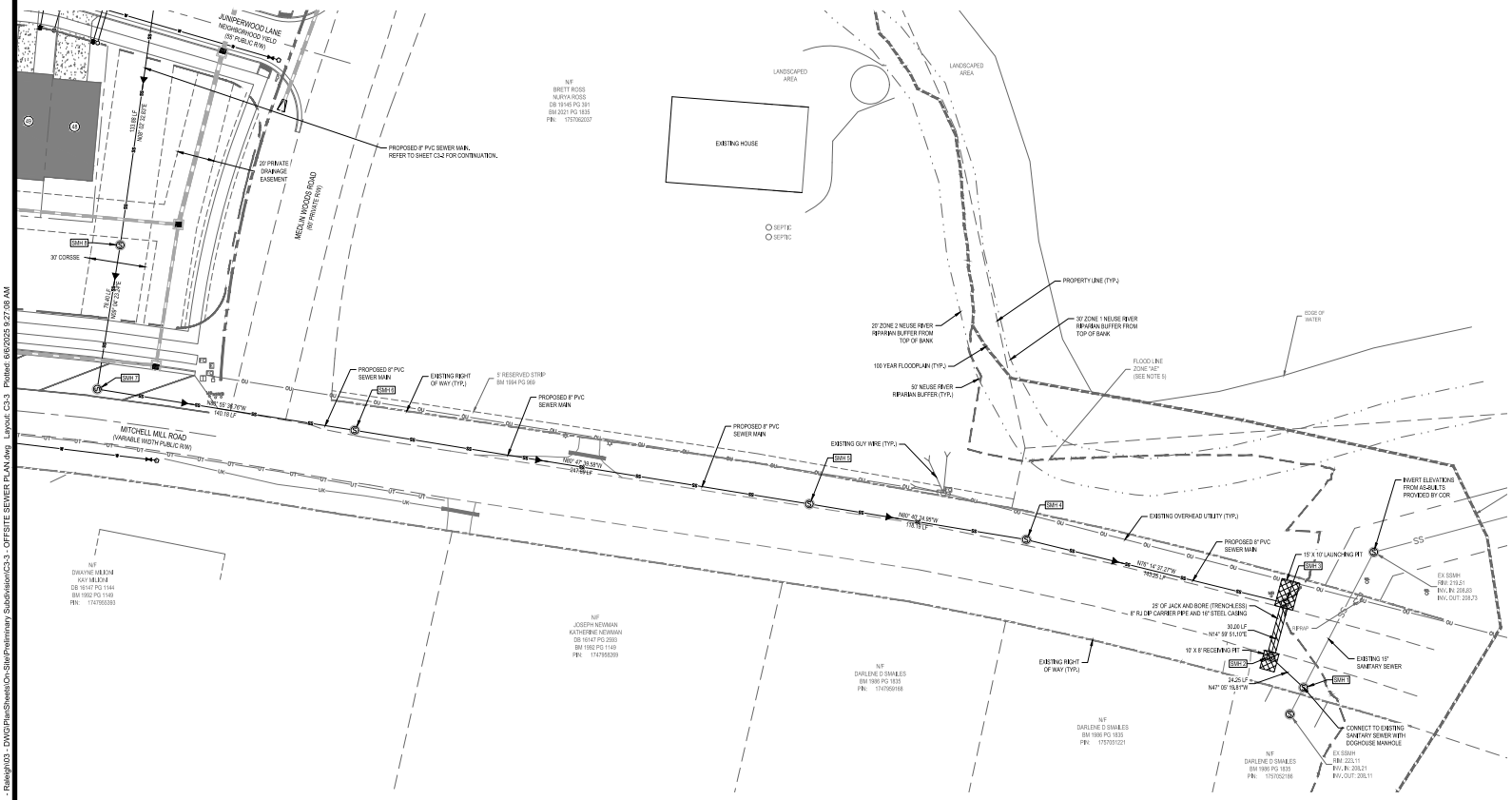

PROPOSED UTILITY LEGEND

PROPOSED SANITARY

PROPOSED STORM

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OFFSITE SEWER PLAN

C3-3

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PROPOSED UTILITY LEGEND

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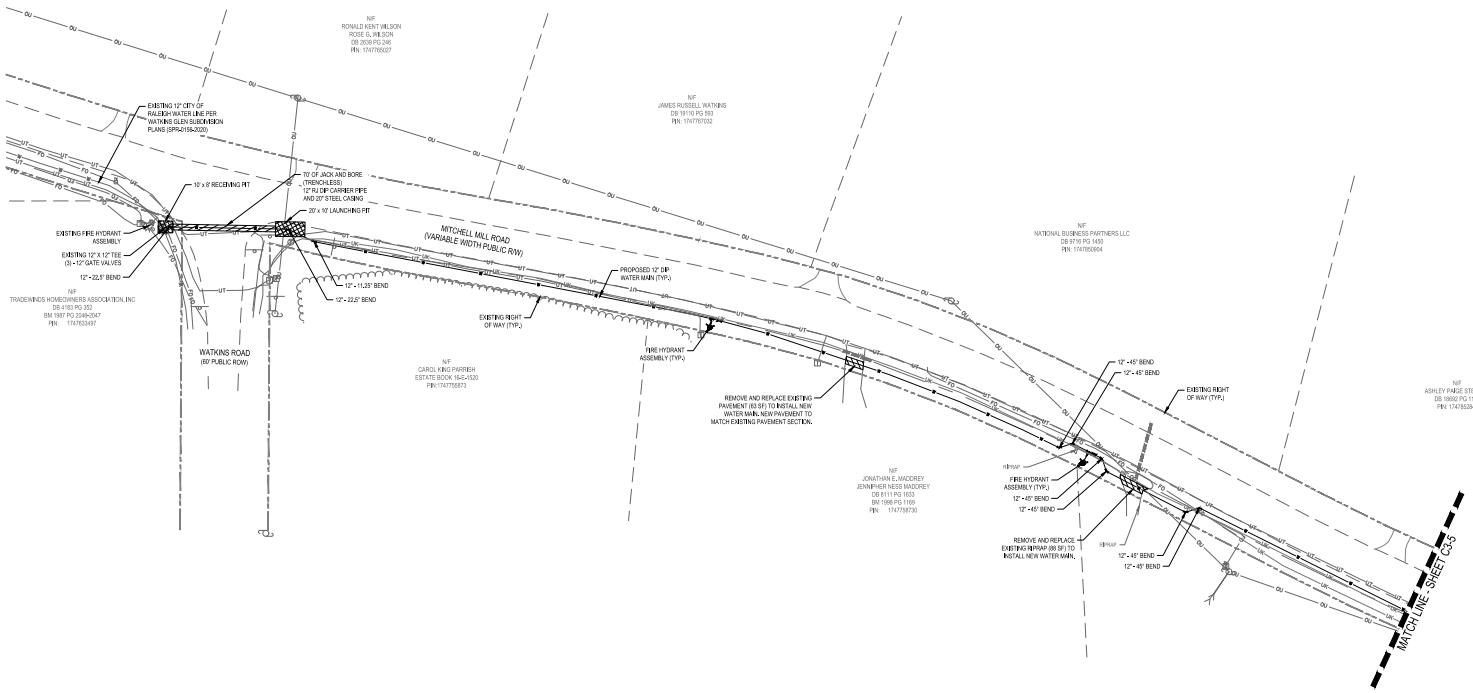
- PROPOSED STORM
- PROPOSED DOMESTIC WATER



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N

0 20' 40' 80'
SCALE: 1" = 40'

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OFFSITE WATER PLAN (1 OF 2)

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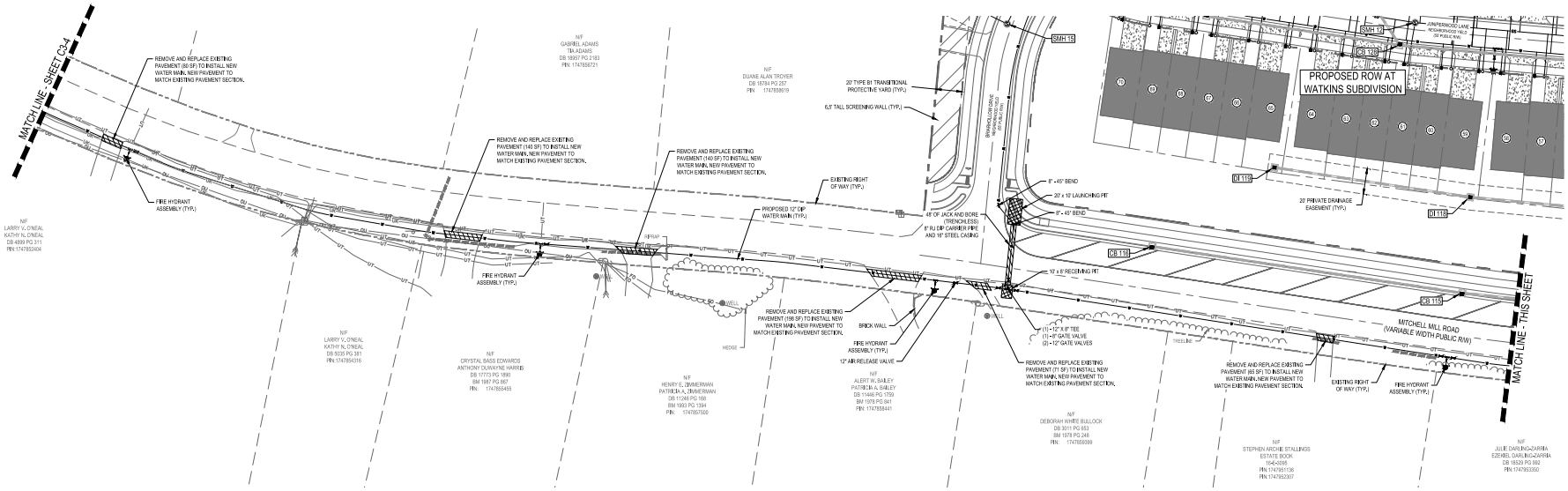
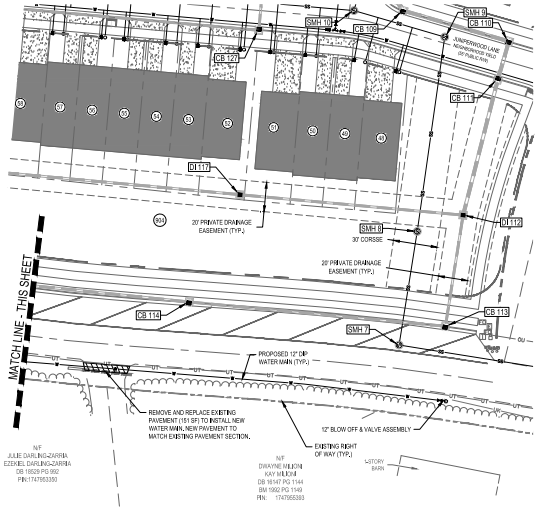
C3-4





PROPOSED UTILITY LEGEND

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OFFSITE WATER PLAN (2 OF 2)

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C3-5

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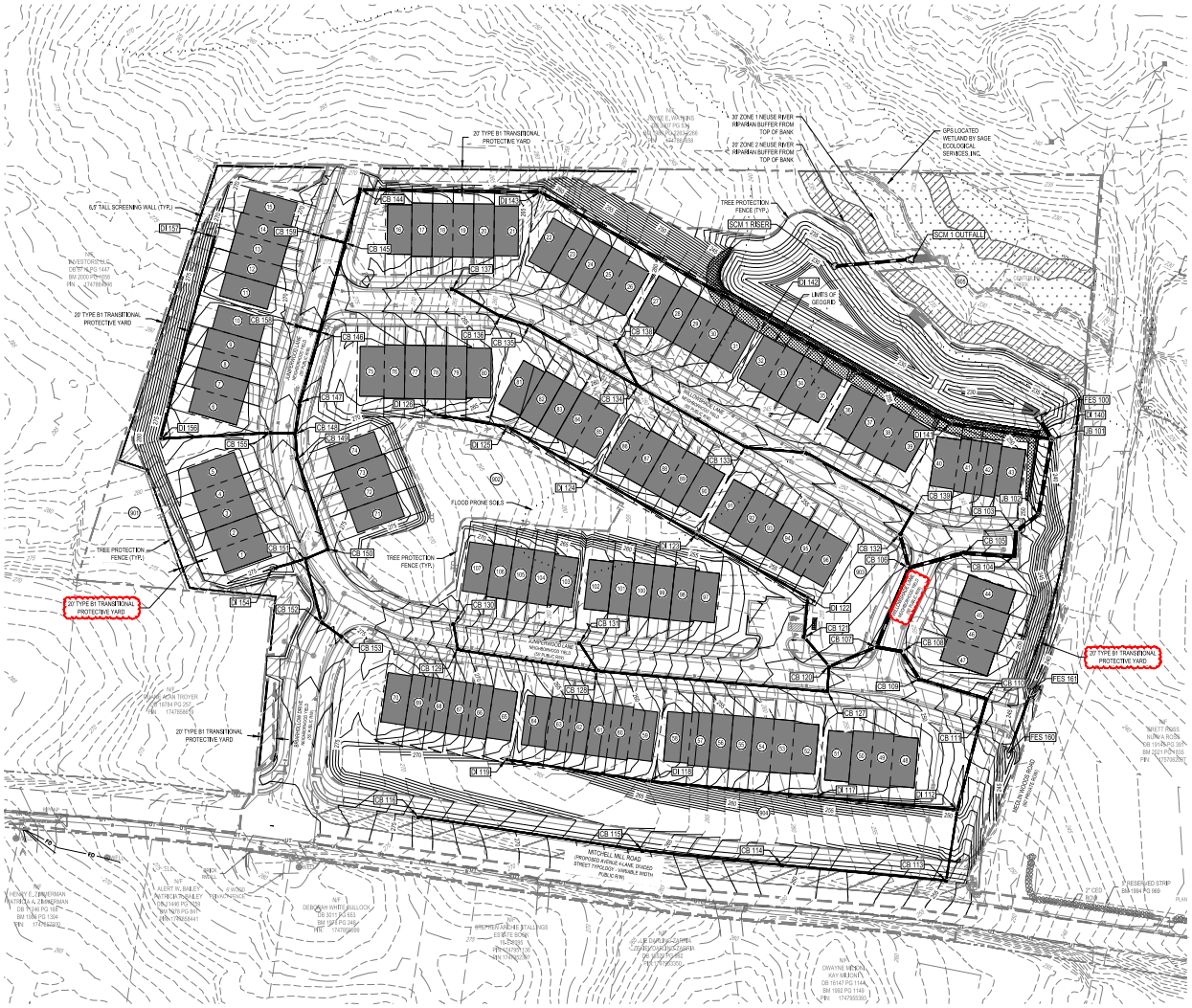
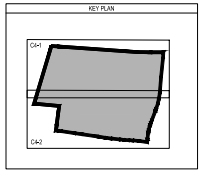
Impervious Area Per Lot Summary Table

Lot Number	Impervious Area (SF)	Lot Number	Impervious Area (SF)	Lot Number	Impervious Area (SF)	Lot Number	Impervious Area (SF)	Lot Number	Impervious Area (SF)	Lot Number	Impervious Area (SF)	Lot Number	Impervious Area (SF)
1	2200	17	1900	33	1900	49	2000	65	2200	81	2200	97	2200
2	1900	18	1900	34	1900	50	2000	66	1900	82	1900	98	1900
3	1900	19	1900	35	2200	51	2300	67	1900	83	1900	99	1900
4	1900	20	1900	36	2200	52	2200	68	1900	84	1900	100	1900
5	2200	21	2300	37	1900	53	1900	69	1900	85	2200	101	1900
6	2200	22	2200	38	1900	54	1900	70	2200	86	2200	102	2200
7	1900	23	1900	39	2200	55	1900	71	2200	87	1900	103	2200
8	1900	24	1900	40	2300	56	1900	72	1900	88	1900	104	1900
9	1900	25	1900	41	1900	57	1900	73	1900	89	1900	105	1900
10	2200	26	2100	42	1900	58	2200	74	2200	90	2200	106	1900
11	2200	27	2200	43	2200	59	2200	75	2200	91	2200	107	2200
12	1900	28	1900	44	2200	60	1900	76	1900	92	1900		
13	1900	29	1900	45	2000	61	1900	77	1900	93	1900		
14	1900	30	1900	46	2000	62	1900	78	1900	94	1900		
15	2200	31	2200	47	2400	63	1900	79	1900	95	1900		
16	2200	32	2200	48	2300	64	2200	80	2200	96	2200		





PROPOSED GRADING AND DRAINAGE LEGEND

B-X	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED GRADING LIMITS
450	PROPOSED MAJOR CONTOUR
449	PROPOSED MINOR CONTOUR
TP	PROPOSED TREE PROTECTION FENCE
100.XX 100.XX	PROPOSED SPOT
H.V. X.X%	PROPOSED GRADING ARROW
	PROPOSED STORM
01-FES 02-CB	PROPOSED STORM SYMBOL
100.XX 100.XX	PROPOSED BUILDING SPOT
	20' TYPE B1 TRANSITIONAL PROTECTIVE YARD

STRUCTURES ABBREVIATIONS:

AD	AREA DRAIN (NYOPLAST 12X12 DRAIN)
BE	BUILDING ENTRY
CO	CLEANOUT
CB	CATCH BASIN
DI	DROP INLET
EX-CB	EXISTING CATCH BASIN TO REMAIN
EX-JB	EXISTING JUNCTION BOX TO REMAIN
FES	FLARED END SECTION
HW	HEADWALL
MH	MANHOLE

GRADING ABBREVIATIONS:

HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
BL	BOTTOM OF LANDING
TL	TOP OF LANDING
BS	BOTTOM OF STAIRS
TS	TOP OF STAIRS
TW	TOP OF RETAINING WALL
BW	BOTTOM OF RETAINING WALL

GRADING NOTES

1. SEE GENERAL NOTES AND GRADING NOTES (SHEET C0-1) FOR OVERALL PAVING, GRADING AND DRAINAGE REQUIREMENTS.
2. CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
3. ALL SPOT ELEVATIONS ALONG PAVEMENT REPRESENT FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.
4. ALL PROPOSED STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.
5. ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
6. INLET PROTECTION - CONTRACTOR SHALL PROVIDE AND MAINTAIN CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED THROUGHOUT CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
8. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
9. CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION.
10. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
11. ON ALL SLOPES 3:1 OR STEEPER, CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN (NAG) PRODUCT SC150 EROSION CONTROL MATTING. REFER TO NAG FOR INSTALLATION GUIDELINES.

NOTE:

1. BUILDING FOOTPRINTS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.

ATTENTION CONTRACTORS

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Failure to notify both *City Departments* in advance of beginning construction, will result in the issuance of *monetary fines,* and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

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N

0 30' 60' 120'
SCALE: 1" = 60'

811 Know what's below. Call before you dig.

REV	DATE	DESCRIPTION
1	06/05/2025	CITY OF RALEIGH COMMENTS - FOURTH REVIEW
2	02/21/2025	CITY OF RALEIGH COMMENTS - THIRD REVIEW
3	11/19/2024	CITY OF RALEIGH COMMENTS - SECOND REVIEW
4	07/05/2024	CITY OF RALEIGH COMMENTS - FIRST REVIEW

DESIGNED BY: CT
DRAWN BY: KB
REVIEWED BY: RF

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THE ROW AT WATKINS
CDP PROJECT NO. SUB-0026-2024
4229 MITCHELL MILL ROAD
RALEIGH | NC | 27616

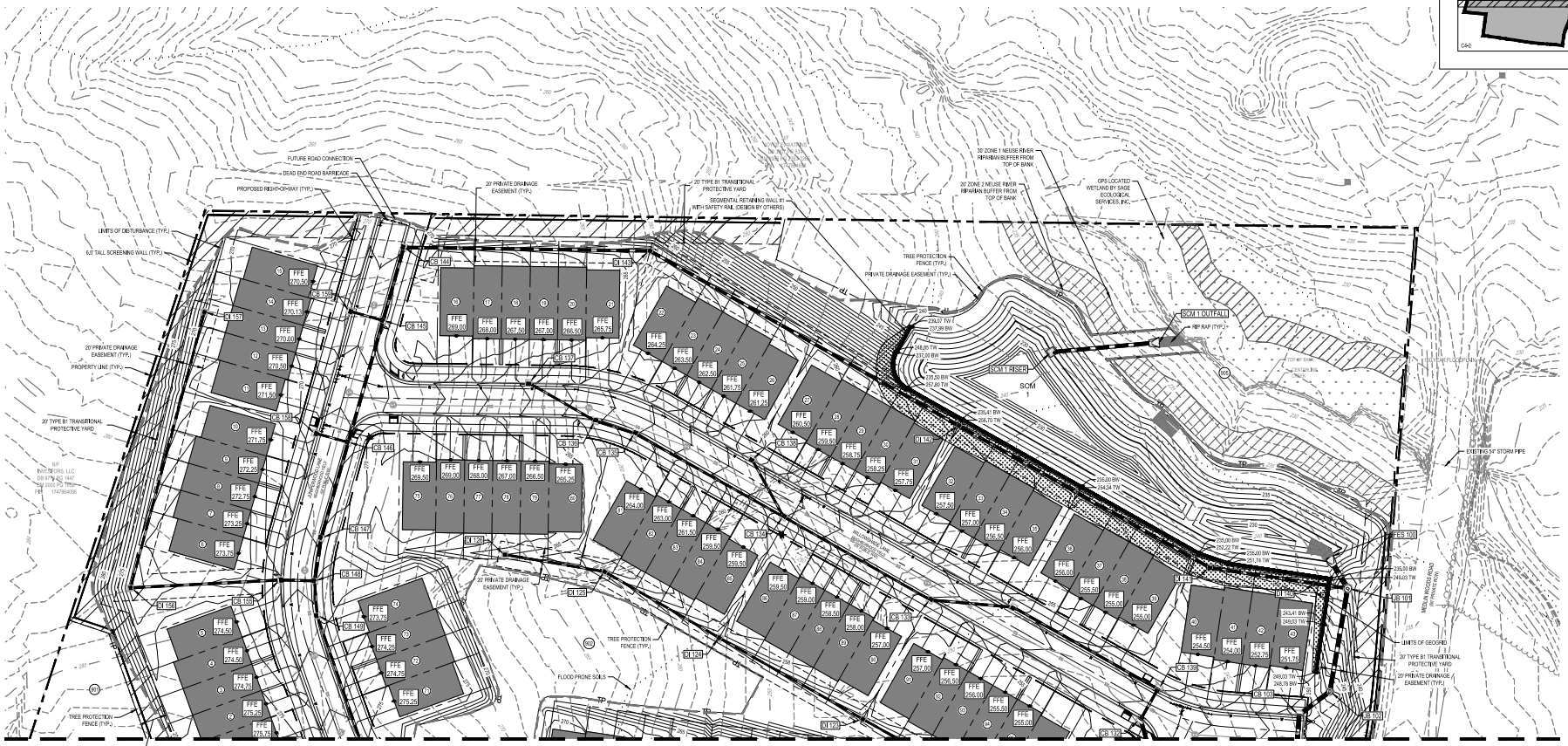
OVERALL GRADING AND DRAINAGE PLAN

[redacted]

C4-0

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plans\Sheets\On-Site\Preliminary Subdivision\C4-0 - OVERALL GRADING AND DRAINAGE PLAN.dwg Layout: C4-0 Plotted: 6/6/2025 10:05:56 AM

Retaining Wall Summary Table		
Wall Number	Overall Height	Overall Length
1	22.3 LF	496 LF



MATCHLINE - SEE SHEET C4-2

PROPOSED GRADING AND DRAINAGE LEGEND

B-X	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED GRADING LIMITS
450	PROPOSED MAJOR CONTOUR
448	PROPOSED MINOR CONTOUR
TP	PROPOSED TREE PROTECTION FENCE
100.XX / 100.XX	PROPOSED SPOT
H.X% / X.X%	PROPOSED GRADING ARROW
	PROPOSED STORM
01-FES / 02-CB	PROPOSED STORM SYMBOL
100.XX / 100.XX	PROPOSED BUILDING SPOT
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA
	20' TYPE B1 TRANSITIONAL PROTECTIVE YARD

STRUCTURES ABBREVIATIONS:

AD	AREA DRAIN (NYOPLAST 12X12 DRAIN)
BE	BUILDING ENTRY
CO	CLEANOUT
CB	CATCH BASIN
DI	DROP INLET
EX-CB	EXISTING CATCH BASIN TO REMAIN
EX-JB	EXISTING JUNCTION BOX TO REMAIN
FES	FLARED END SECTION
HW	HEADWALL
MH	MANHOLE

NOTE:

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GRADING ABBREVIATIONS:

HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
BL	BOTTOM OF LANDING
TL	TOP OF LANDING
BS	BOTTOM OF STAIRS
TS	TOP OF STAIRS
TW	TOP OF RETAINING WALL
BW	BOTTOM OF RETAINING WALL

N

0 20' 40' 80'
SCALE: 1" = 40'

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DESIGNED BY: CT
DRAWN BY: KB
REVIEWED BY: RF

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THE ROW AT WATKINS
CORP PROJECT NO.
SUB-0026-2024
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RALEIGH | NC | 27607

GRADING AND DRAINAGE PLAN (1 OF 2)

[redacted]

C4-1

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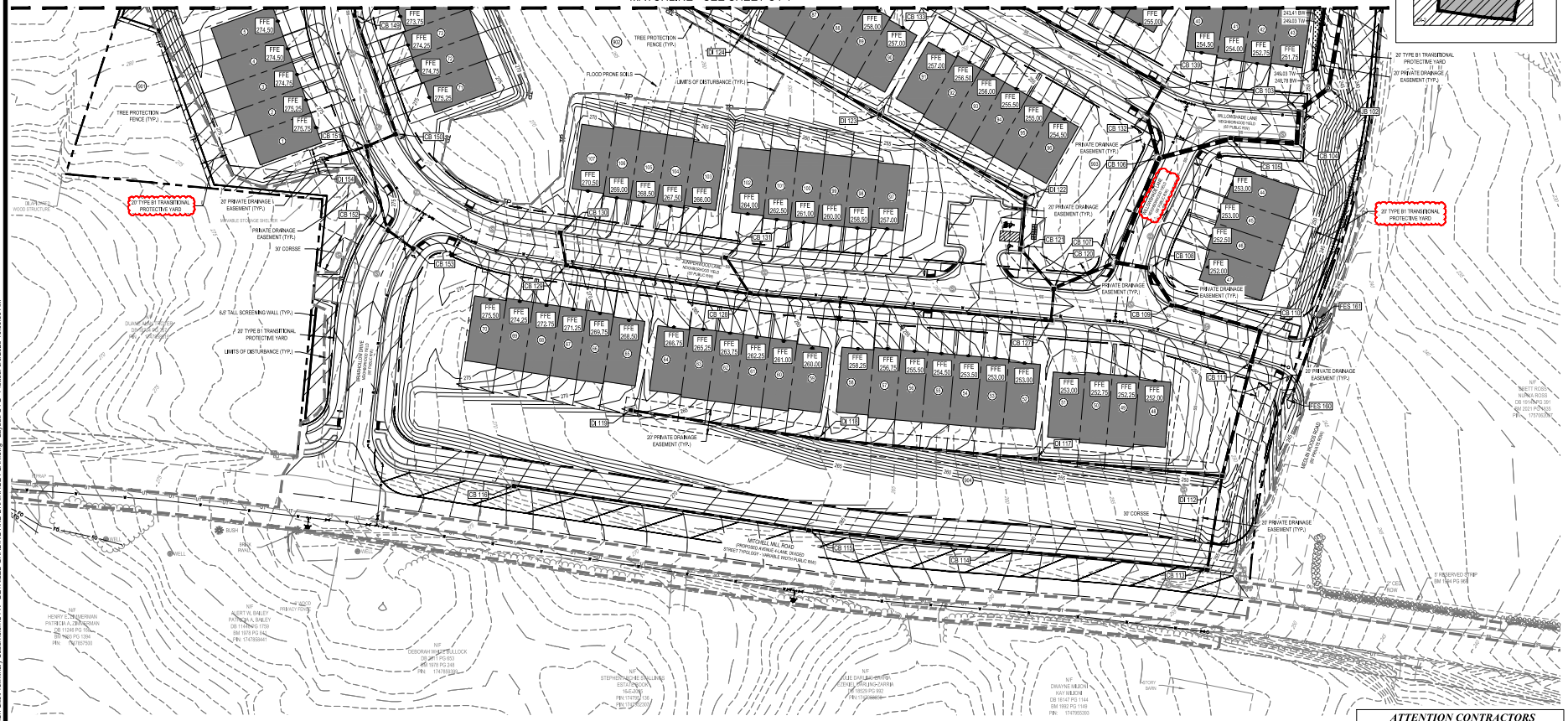

PROPOSED GRADING AND DRAINAGE LEGEND

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	PROPOSED GRADING LIMITS
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100.XX 100.XX	PROPOSED SPOT
HVY X.XX	PROPOSED GRADING ARROW
	PROPOSED STORM
01-FES 02-CB	PROPOSED STORM SYMBOL
100.XX 100.XX	PROPOSED BUILDING SPOT
	PRIMARY TREE CONSERVATION AREA
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N

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0 20' 40' 80'

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THE ROW AT WATKINS
CDP PROJECT NO.
SUB-0026-2024
4329 MITCHELL MILL ROAD
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GRADING AND DRAINAGE PLAN (2 OF 2)

[redacted]

C4-2

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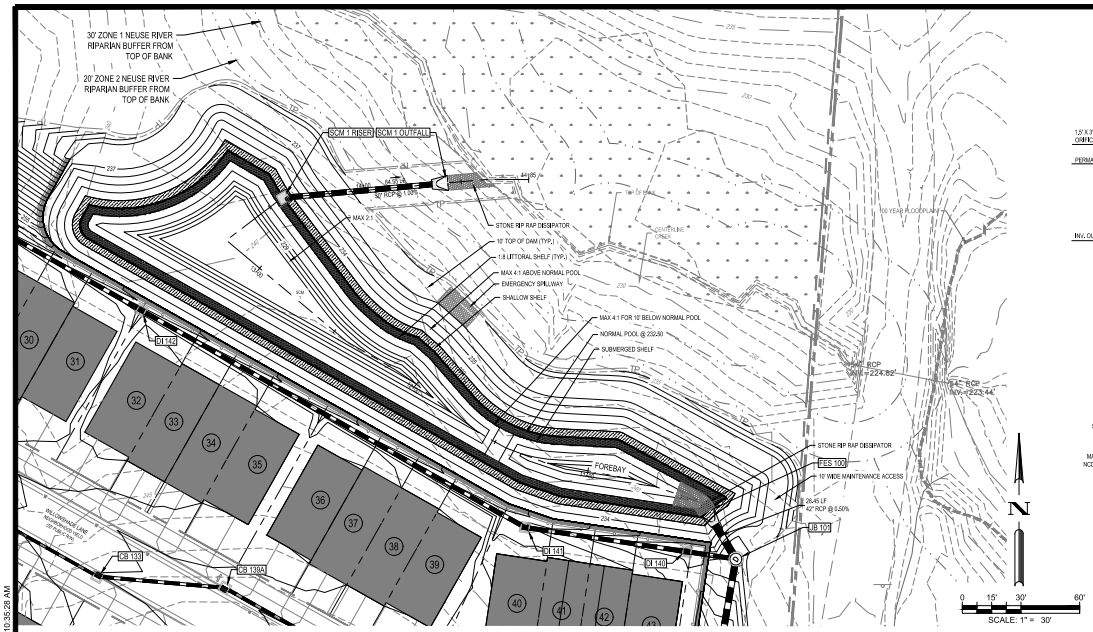
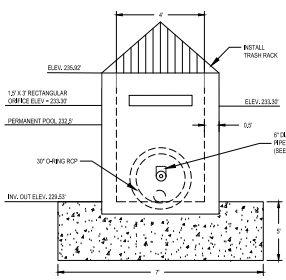
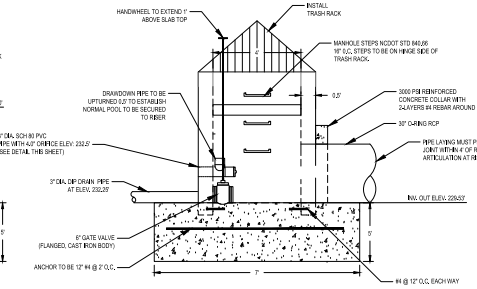
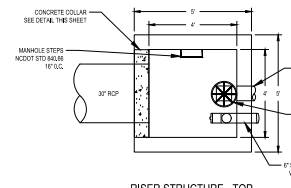




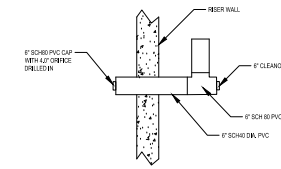
RISER STRUCTURE - WEST
N.T.S.



RISER STRUCTURE - SOUTH
N.T.S.

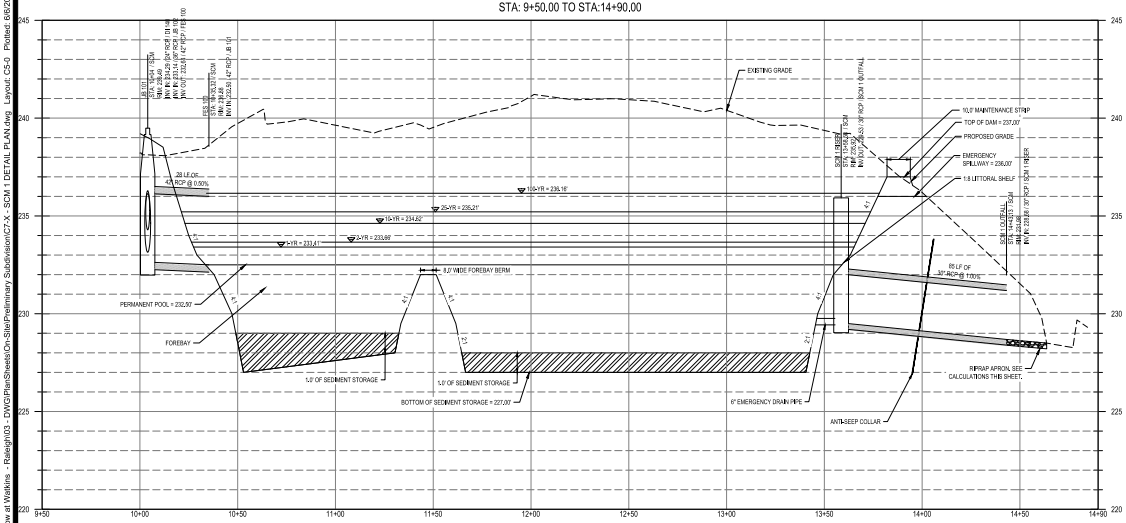


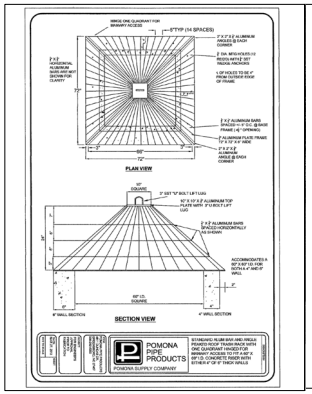
RISER STRUCTURE - TOP
N.T.S.

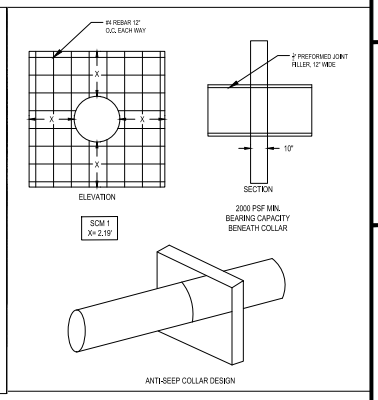


4" SCH80 UPTURNED PIPE
N.T.S.

SCM
STA: 9+50.00 TO STA:14+90.00







OUTLET: SCM 1 OUTFALL			OUTLET: FES 100		
Inputs:			Inputs:		
Pipe Diameter =	30	in	Pipe Diameter =	36	in
Slope =	1.00%		Slope =	1.00%	
Q =	41.01	cfs	Q =	66.70	cfs
v =	8.36	fps	v =	9.44	fps
Zone:	2		Zone:	2	
Apron Materials:			Apron Materials:		
Minimum-	Stone Filling (Light) - Cl. 'B'		Minimum-	Stone Filling (Light) - Cl. 'B'	
Proposed-	Stone Filling (Light) - Cl. 'B'		Proposed-	Stone Filling (Light) - Cl. 'B'	
Apron Dimensions:			Apron Dimensions:		
Length			Length		
To Protect Culvert (L1) =	7.5	ft	To Protect Culvert (L1) =	9	ft
To Protect Scour (L2) =	15	ft	To Protect Scour (L2) =	18	ft
Width			Width		
W =	7.5	ft	W =	9	ft
Thickness			Thickness		
Th =	18	in	Th =	18	in

BERM SOIL AND COMPACTION NOTES

1. ALL FILL SOILS FOR BERM SECTION SHALL BE CLEAN, IMPERMEABLE MATERIAL TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, AT OPTIMUM MOISTURE CONTENT. NO BLASTED MATERIALS SHALL BE USED IN THE EMBANKMENT CONSTRUCTION. SOILS SHALL NOT EXHIBIT SIGNIFICANT SHRINK / SWELL OR DISPERSIVE CHARACTERISTICS. ON-SITE GEOTECHNICAL ENGINEER SHALL APPROVE THE SOILS FOR PLACEMENT WITHIN THE BERM SECTION. THE GEOTECHNICAL ENGINEER SHALL ALSO SPECIFY THE METHODS TO BE USED FOR PLACEMENT OF FILL. IF ADDITIONAL USES PLANNED UPON THE BERM SECTION (BUILDINGS, ETC.), THE GEOTECHNICAL ENGINEER SHALL SPECIFY THE SOILS SUITABLE FOR THAT ADDITIONAL USE.
2. IN ALL FILL AREAS OF THE BERM, A SOILS COMPACTION TEST SHALL BE CONDUCTED EACH 2500 SQUARE FEET PER VERTICAL FOOT OF FILL.
3. A KEY TRENCH IS TO BE PROVIDED IN ALL FILL AREAS, TRENCH TO EXTEND A MINIMUM OF FIVE FEET BELOW EXISTING GRADE. SOILS AND COMPACTION FOR KEY TRENCH SHALL MEET ALL REQUIREMENTS OF #1 ABOVE.
4. NO TREES OF ANY KIND MAY BE LOCATED ON THE BERM SECTION.
5. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8" LIFT. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.

NOTE:
1. RISER BOX AND OUTLET PIPE SHALL BE INSTALLED PRIOR TO THE BEGINNING OF OVERALL SITE GRADING AND SHALL BE UTILIZED AS A SEDIMENT CONTROL DEVICE DURING GRADING & SITE UTILITY CONSTRUCTION. A SKIMMER SHALL BE ATTACHED TO THE DRAIN VALVE IN BOX SO BASIN FUNCTIONS AS SEDIMENT FILTER BASIN. ONCE GRADING IS COMPLETED AND SITE HAS BEEN STABILIZED, THE SKIMMER SHALL BE REMOVED AND BASIN SHALL BE CLEANED OUT AND STABILIZED.

2. OUTLET STRUCTURE WILL BE INSTALLED OVER A CONCRETE CRADLE.

3. EMERGENCY SPILLWAY TO MEET MDC STANDARDS.

4. BMPS SHALL BE DESIGNED, CONSTRUCTED, AND MAINTAINED TO CONTRIBUTE TO THE AESTHETIC VALUES OF THE DEVELOPMENT.

5. BUILDING FOOTPRINTS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.

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SCM PLAN

C7-0

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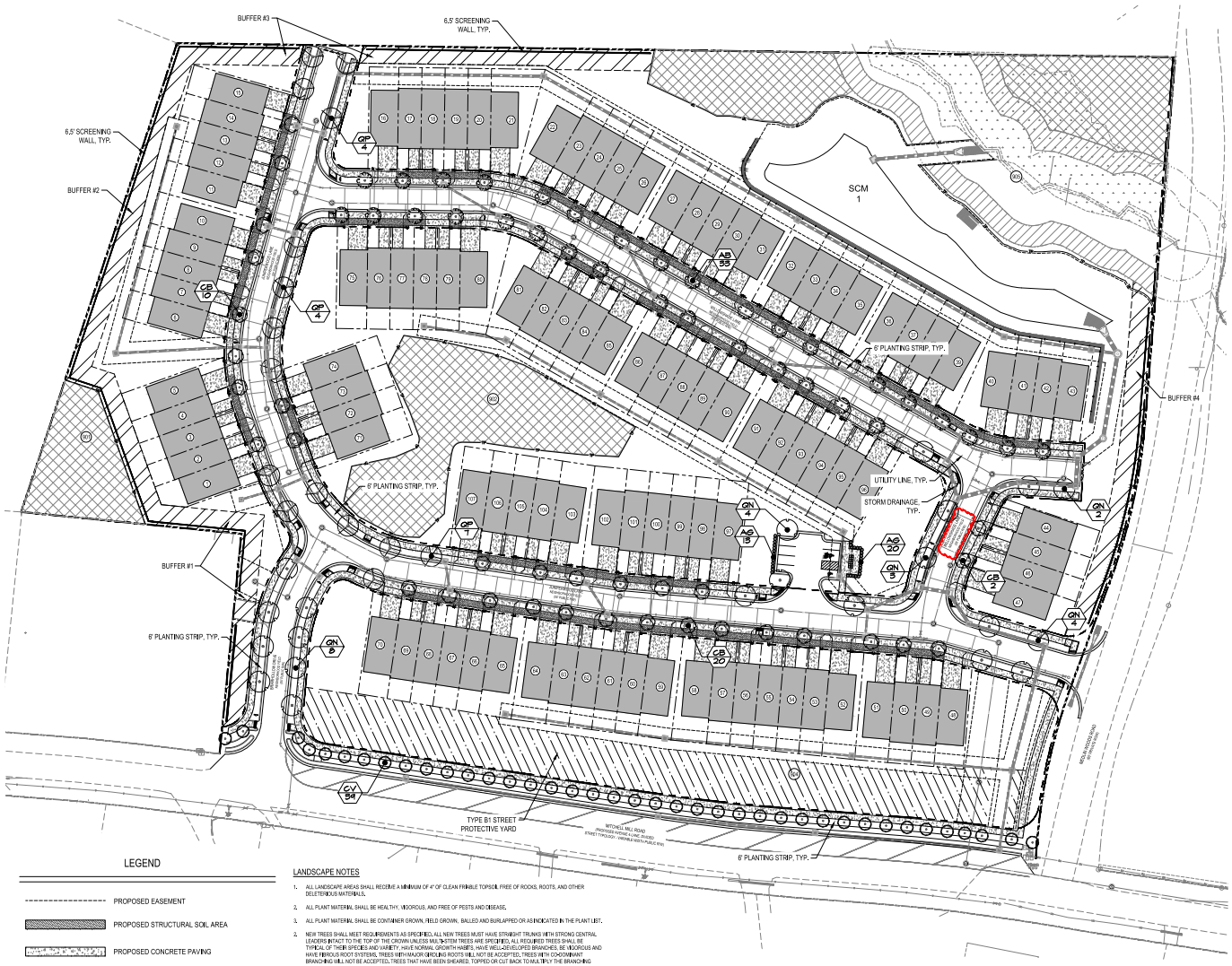


PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	HT
LARGE MATURING TREES						
	AR	57	Acer rubrum 'October Glory'	October Glory Maple	5" MIN.	10' MIN.
	GN	56	Quercus nuttallii	Nuttall Oak	5" MIN.	10' MIN.
	QP	15	Quercus palustris	Pin Oak	5" MIN.	10' MIN.
MEDIUM MATURING TREES						
	AB	55	Acer buergerianum	Trident Maple	2" MIN.	8' MIN.
	CB	52	Carpinus betulus	European Hornbeam	2" MIN.	8' MIN.
SMALL MATURING TREES						
	AM	57	Amelanchier grandiflora	Serviceberry	1.5" MIN.	6' MIN.
	CC	55	Cercis canadensis	Eastern Redbud	1.5" MIN.	6' MIN.
	CV	54	Chionanthus virginicus	American Fringetree	1.5" MIN.	6' MIN.
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT	SPR
SHRUBS						
	AG	588	Abelia grandiflora	Glossy Abelia	36" MIN.	
	CA	562	Callicarpa americana	American Beautyberry	36" MIN.	

STREET PROTECTIVE YARD REQUIREMENTS

TYPE B1, 50' WIDTH

MITCHELL MILL ROAD - 670 LF FRONTAGE
REQUIRED: 4 CANOPY TREES / 100' X 670' = 27 CANOPY TREES
4 UNDERSTORY TREES / 100' X 670' = 27 UNDERSTORY TREES
40 SHRUBS / 100' X 670' = 268 SHRUBS

PROVIDED: 27 CANOPY TREES
27 UNDERSTORY TREES
268 SHRUBS (MIN 3' HT)

TRANSITIONAL PROTECTIVE YARD REQUIREMENTS

TYPE B1, 20' WIDTH

BUFFER #1 - 277 LF
REQUIRED: 4 CANOPY TREES / 100' X 277' = 11 CANOPY TREES
4 UNDERSTORY TREES / 100' X 277' = 11 UNDERSTORY TREES
40 SHRUBS / 100' X 277' = 111 SHRUBS

PROVIDED: 11 CANOPY TREES
11 UNDERSTORY TREES
111 SHRUBS (MIN 3' HT)

BUFFER #2 - 480 LF
REQUIRED: 4 CANOPY TREES / 100' X 480' = 20 CANOPY TREES
4 UNDERSTORY TREES / 100' X 480' = 20 UNDERSTORY TREES
40 SHRUBS / 100' X 480' = 192 SHRUBS

PROVIDED: 20 CANOPY TREES
20 UNDERSTORY TREES
192 SHRUBS (MIN 3' HT)

BUFFER #3 - 392 LF
REQUIRED: 4 CANOPY TREES / 100' X 392' = 16 CANOPY TREES
4 UNDERSTORY TREES / 100' X 392' = 16 UNDERSTORY TREES
40 SHRUBS / 100' X 392' = 157 SHRUBS

PROVIDED: 16 CANOPY TREES
16 UNDERSTORY TREES
157 SHRUBS (MIN 3' HT)

BUFFER #4 - 340 LF
REQUIRED: 4 CANOPY TREES / 100' X 340' = 14 CANOPY TREES
4 UNDERSTORY TREES / 100' X 340' = 14 UNDERSTORY TREES
40 SHRUBS / 100' X 340' = 136 SHRUBS

PROVIDED: 14 CANOPY TREES
14 UNDERSTORY TREES
136 SHRUBS (MIN 3' HT)

STREET TREE REQUIREMENTS

1 CANOPY TREE EVERY 40' O.C.

BRIARHOLLOW DRIVE
REQUIRED: 285' FRONTAGE / 40' = 7 TREES

PROVIDED: 8 TREES

JUNIPERWOOD LANE
REQUIRED: 2,040' FRONTAGE / 40' = 51 TREES

PROVIDED: 51 TREES

WILLOWSHADE LANE
REQUIRED: 1,440' FRONTAGE / 40' = 36 TREES

PROVIDED: 36 TREES

MITCHELL MILL ROAD (SMALL MATURING TREES 20' O.C.)
REQUIRED: 783' FRONTAGE / 20' = 39 TREES

PROVIDED: 39 TREES

NOTES

1. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03, SEE SHEET L3-0.
2. STREET TREES SHALL BE INSTALLED AND MAINTANED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
3. TREE PROTECTION FENCE TO BE INSTALLED PER CITY OF RALEIGH DETAIL TPP-01.

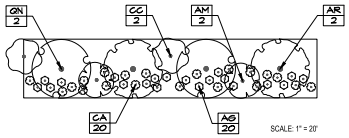
LEGEND

- PROPOSED EASEMENT
- PROPOSED STRUCTURAL SOIL AREA
- PROPOSED CONCRETE PAVING
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- EXISTING WETLANDS DELINEATED BY SAGE ECOLOGICAL SERVICES, INC. ON DATE 9-5-23
- NEUSE RIVER BUFFER
- PROPOSED SIGN

LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS SHALL RECEIVE A MINIMUM OF 4" OF CLEAN FRIABLE TOPSOIL FREE OF ROCKS, ROOTS, AND OTHER DELETERIOUS MATERIALS.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN, FIELD GROWN, BALLED AND BURLAPPED OR AS INDICATED IN THE PLANT LIST.
2. NEW TREES SHALL MEET REQUIREMENTS AS SPECIFIED. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GIRDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED.
3. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS OR PER LOCAL JURISDICTIONAL REQUIREMENTS.
5. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES "IN LEAF" SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
6. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1) AS A MINIMUM FOR QUALITY REQUIREMENTS.
7. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM OF FOUR INCHES (4") OF MULCH. MULCH SHALL BE ACQUIRED FROM A LOCAL SOURCE AND HARVESTED IN A SUSTAINABLE MANNER.
8. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVERAGE IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
9. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL PLANT COVERAGE IN ALL LANDSCAPE AREAS AS SPECIFIED IN THE PLANT SCHEDULE NOTES.
10. TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN FEET (7').
11. TREES OVERHANGING UTILITY EASEMENTS OR RIGHT-OF WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE FEET (9'). SHRUBS IN UTILITY EASEMENTS SHALL HAVE A MAXIMUM HEIGHT OF 24" AND COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS.
12. TREES OVERHANGING PUBLIC STREET PAVEMENT WILL HAVE A MINIMUM CLEAR TRUNK OF FOURTEEN FEET (14').
13. ALL TREES NOT LOCATED IN A LANDSCAPE BED ARE TO RECEIVE A FOUR FOOT (4') DIAMETER MULCH RING.
14. ALL PLANT BEDS AND LAWN AREAS SHALL HAVE A 4" V-TRENCH EDGE.

PROTECTIVE YARD TYPE B1, 20' WIDTH: TYPICAL 100' SECTION



ATTENTION CONTRACTORS

The *Construction Contractor* responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for *contacting the* ***Public Works Department*** at *(919) 996-2409*, and the ***Public Utilities Department*** at *(919) 996-4540* at least *twenty four hours* prior to beginning any of their construction.

Failure to notify both *City Departments* in advance of beginning construction, will result in the issuance of *monetary fines*, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for *Inspection, Install a Downstream Permitted Plans on the Jobsite*, or any other *Violatio Raleigh Standards* will result in a *Fine and Possible* future work in the *City of Raleigh*.

811 Know what's below. Call before you dig.

0 25' 50' 100'
SCALE: 1" = 50'

REV	DATE	DESCRIPTION
4	06/05/2025	CITY OF RALEIGH COMMENTS - FOURTH REVIEW
3	02/21/2025	CITY OF RALEIGH COMMENTS - THIRD REVIEW
2	11/19/2024	CITY OF RALEIGH COMMENTS - SECOND REVIEW
1	07/05/2024	CITY OF RALEIGH COMMENTS - FIRST REVIEW

DESIGNED BY: MC
DRAWN BY: MC
REVIEWED BY: JW

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5438 WADE PARK BLVD, SUITE 401
RALEIGH NC 27607
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NC LICENSE #C-4037
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ASHTON WOODS
4025 LANE BOONE TRAIL, SUITE 200
RALEIGH / NC / 27607

THE ROW AT WATKINS
CDP PROJECT NO. SUB-0026-2024
4029 MITCHELL MILL ROAD
RALEIGH / NC / 27616

LANDSCAPE PLAN

[redacted]

L1-0

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plan\Sheets\On-Site\Preliminary Subdivision\L1-1 - LS PLAN.dwg Layout: L1-0 Plotted: 6/6/2025 10:38:12 AM

LEGEND

- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- LIMIT OF CONSTRUCTION
- TREE PROTECTION FENCING
- EXISTING WETLANDS DELINEATED BY SAGE ECOLOGICAL SERVICES, INC, ON DATE 9-5-23

Tree Conservation Plan Data Sheet

UDO Article 9.1 Tree Conservation

(Include applicable information on the plan sheet)

Project Name: The Row at Watkins

Gross Site Acres:	15.46	ac
Right-of-way to be dedicated with this project:	3.39	ac
Net Site Acres:	12.07	ac

	Number of Acres		Percent of Tract	
UDO 9.1.4.A. Primary Tree Conservation Areas				
1. Primary Tree Conservation Area - SHOD 1		ac		%
1. Primary Tree Conservation Area - SHOD 2		ac		%
2. Primary Tree Conservation Area - Parkway Frontage		ac		%
3. Primary Tree Conservation Area - CM		ac		%
4. Primary Tree Conservation Area - MPOD		ac		%
5. Primary Tree Conservation Area - Champion Tree .XX" dbh species		ac		%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.27	ac	2.24	%
7. Primary Tree Conservation Area - 45% Slopes		ac		%
8. Primary Tree Conservation Area -Thoroughfare		ac		%
Subtotal of Primary Tree Conservation Areas:		ac		%
UDO 9.1.4.D.2 Tree Conservation Area - Greenway		ac		%
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Include perimeter buffers and their alternate compliance areas)	1.23	ac	10.19	%
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (Include individual trees and their alternate compliance areas)		ac		%
Subtotal of Secondary Tree Conservation Areas:	1.23	ac	10.19	%
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	1.50	ac	12.43	%
UDO 9.1.9. Watershed Protection Overlay Districts				
UWPOD - Wooded Area (preserved)		ac		%
UWPOD - Wooded Area (planted)		ac		%
FWPOD - Wooded Area (preserved)		ac		%
FWPOD - Wooded Area (planted)		ac		%
SWPOD - Wooded Area (preserved)		ac		%
SWPOD - Wooded Area (planted)		ac		%

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DESIGNED BY: MC
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REVIEWED BY: JW

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ASHTON WOODS
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RALEIGH / NC / 27607

THE ROW AT WATKINS
CDP PROJECT NO. SUB-0026-2024
4329 MITCHELL MILL ROAD
RALEIGH / NC / 27607

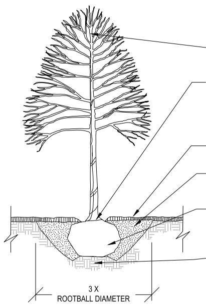
TREE CONSERVATION PLAN

[redacted]

L2-0

G:\NCA\Projects\Ashton Woods\11123-01 - The Row at Watkins - Raleigh\03 - DWG\Plan\Sheets\On-Site\Preliminary Subdivision\L2-0 - TCA PLAN.dwg Layout: L2-0 Plotted: 6/6/2025 9:30:05 AM

TREE PLANTING DETAIL (TPP-03)



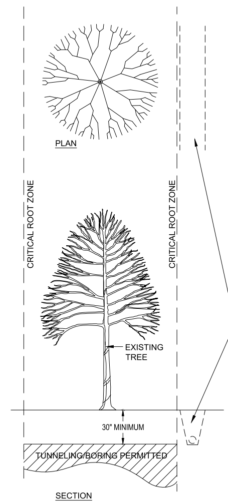
CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

NOTES:

1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
4. A TREE IMPACT PERMIT IS REQUIRED.
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

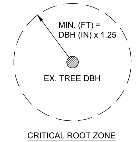
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2020	NOT TO SCALE
10/2019	TREE PLANTING DETAIL	
	TPP-03	

TRENCHING/TUNNELING NEAR EXISTING TREES (TPP-04)



NOTES:
1. THE CRITICAL ROOT ZONE (CRZ) IS DEFINED AS A RADIUS EXTENDING FROM THE TRUNK OF A TREE 1.25 FEET PER INCH OF DBH.
2. TRENCHING SHALL OCCUR OUTSIDE THE CRZ
   - 2.1. TUNNELING AND BORING IS PERMITTED WITHIN THE CRZ AS LONG AS IT IS 30 INCHES DEEP OR GREATER. EXCAVATIONS AND HAND HOLES SHALL BE OUTSIDE THE CRZ.
   - 2.2. ENCROACHMENT INTO THE CRZ REQUIRES APPROVAL FROM THE URBAN FORESTER
3. ROOTS MUST BE PRUNED TO A CLEAN CUT. CUTTING OR PRUNING OF ROOTS 2" OR LARGER IS PROHIBITED.
4. IF EXCAVATION CAUSES PRUNED ROOTS OVER 1.5" IN DIAMETER TO REMAIN EXPOSED FOR MORE THAN 24 HOURS, ROOTS ON TREE SIDE MUST BE KEPT MOIST.
5. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRENCHING, BORING, REMOVAL, PAVING, PLANTING, ETC.

TRENCHING IS PERMITTED OUTSIDE OF THE CRZ

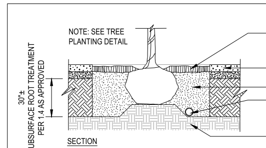


CRITICAL ROOT ZONE

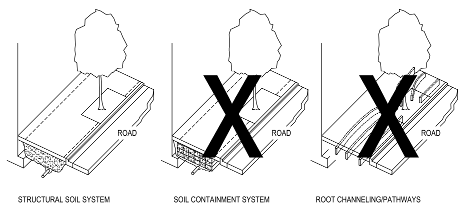
CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER: TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2020	NOT TO SCALE
	TRENCHING/TUNNELING NEAR EXISTING TREES	
	TPP-04	

STRUCTURAL SOIL DETAIL (SEE PLAN FOR LOCATIONS)



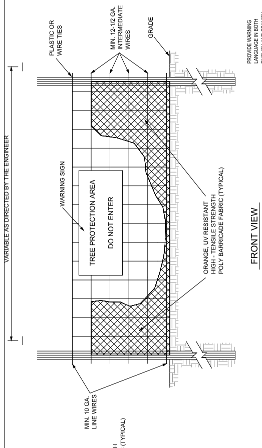
NOTES:
1. A SITE SPECIFIC PLAN MUST BE DEVELOPED TO ENSURE THAT:
   - 1.1. EACH TREE IS PROVIDED A MIN. ROOT-ACCESSIBLE SOIL VOLUME OF 600 CUBIC FEET.
   - 1.2. THE TREE ROOT AREA BENEATH THE SIDEWALK IS EXPANDED TO MAXIMIZE ROOT ACCESSIBLE SOIL SPACE UNDER THE PAVEMENT.
   - 1.3. CONNECT SOIL SPACE FOR ROOT EXPANSION WHERE POSSIBLE TO ALLOW ROOT SYSTEMS OF TREES TO OVERLAP AND COLONIZE A SHARED SOIL SPACE.
   - 1.4. ANY COMBINATION OF STRUCTURAL SOILS, SOIL CONTAINMENT SYSTEM (e.g., SILVA CELL), OR ROOT CHANNELING (e.g., SOIL STRIP DRAIN/AERATION SYSTEM) THAT PERFORMS AS SPECIFIED IS ACCEPTABLE.
3. 40' X 6' WIDTH MINIMUM APPLIES TO BOTH STRUCTURAL SOILS AND SUBSURFACE SOIL CONTAINMENT SYSTEMS.
4. SUBSURFACE APPLICATION SHALL BE REVIEWED AND APPROVED BY CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES URBAN FORESTRY DIVISION PRIOR TO INSTALLATION.

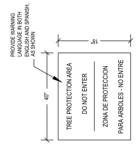


CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT
URBAN FORESTER: TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2020	NOT TO SCALE
	TREE PLANTING IN SIDEWALK WITHIN ROW	
	TPP-07	

STANDARD TREE PROTECTION DETAIL (TPP-01)





CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT
URBAN FORESTER:
TREES@RALEIGHNC.GOV
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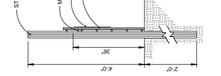
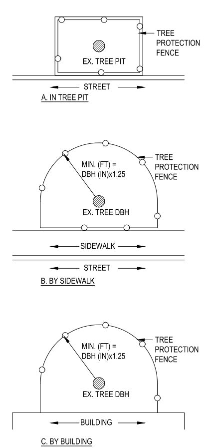


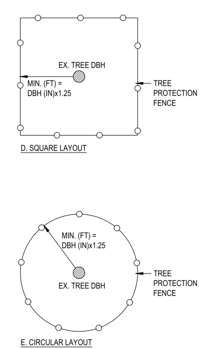
NOTE: FOR TREE PROTECTION ONLY

NOTES:
1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TPP-02 FOR EXAMPLES)
2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
3. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
4. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER
5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
7. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
8. SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2020	NOT TO SCALE
	STANDARD TREE PROTECTION DETAIL	
	TPP-01	

TREE PROTECTION FENCE LAYOUT (TPP-02)





CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT
URBAN FORESTER: TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

NOTES:
1. CONTRACTOR MUST PROVIDE AND INSTALL TREE PROTECTION SIGNAGE.
2. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRENCHING, BORING, REMOVAL, PAVING, PLANTING, ETC.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2020	NOT TO SCALE
	TREE PROTECTION FENCE LAYOUT	
	TPP-02	

GENERAL NOTES:

1. PRIOR TO CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITY LINES ADJACENT TO WORK AREAS. CONTRACTOR SHALL PROTECT ALL UTILITY LINES IN AND ADJACENT TO THE WORK AREA DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, OR OTHER SITE APPURTENANCES, WHICH OCCUR AS A RESULT OF WORK PERFORMED BY THE CONTRACTOR, OR ANY OF THEIR SUBCONTRACTORS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULE OF DELIVERY AND PROTECTION OF PLANT MATERIALS TO MAINTAIN HEALTHY PLANT CONDITIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING ALL OF THE PLANT MATERIALS AND LAWN FOR THE FULL MAINTENANCE PERIOD OF THE CONTRACT. THIS SHALL INCLUDE, BUT MAY NOT BE LIMITED TO: WATERING, MULCHING, PEST CONTROL AND FERTILIZING.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
5. PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE FOR ANY DISTURBED AREA. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND ANY ADDITIONAL FILL REQUIRED TO ACHIEVE FINISH GRADE PRIOR TO PLANTING IN ALL AREAS.
7. ANY PLANT MATERIAL WHICH IS DISEASED, INFESTED, DISTRESSED, DEAD, OR OTHERWISE REJECTED, PRIOR TO SUBSTANTIAL COMPLETION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY.
8. THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
9. PRIOR TO PLANTING, SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ACROSS THE SITE, AND LAB TESTED, TO CONFIRM PROPER SOIL CONDITION AND NUTRIENT LOAD FOR THE ESTABLISHMENT OF THE SPECIFIED PLANT MATERIALS. IF UNACCEPTABLE PH OR INADEQUATE SOIL NUTRIENTS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER'S AGENT. REFER TO PLANTING MIX NOTES.
10. FINAL GRADING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE IN THE FIELD PRIOR TO PLANTING.
11. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO LAYING SOD.
12. THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.

ATTENTION CONTRACTORS

The *Construction Contractor* responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for *contacting the* ***Public Works Department*** at *(919) 996-2409,* and the ***Public Utilities Department*** at *(919) 996-4540* at least *twenty four hours* prior to beginning any of their construction.

Failure to notify both *City Departments* in advance of beginning construction, will result in the issuance of *monetary fines,* and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for *Inspection, Install a Downstream Permitted Plans on the Jobsite,* or any other *Violatio Raleigh Standards* will result in a *Fine and Possible* future work in the *City of Raleigh.*

Know what's below. Call before you dig.

REV	DATE	DESCRIPTION
5		
4	06/05/2025	CITY OF RALEIGH COMMENTS - FOURTH REVIEW
3	02/21/2025	CITY OF RALEIGH COMMENTS - THIRD REVIEW
2	11/19/2024	CITY OF RALEIGH COMMENTS - SECOND REVIEW
1	07/05/2024	CITY OF RALEIGH COMMENTS - FIRST REVIEW

DESIGNED BY: MC
DRAWN BY: MC
REVIEWED BY: JW

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RALEIGH NC 27607
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NC LICENSE #C-4397
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ASHTON WOODS
4025 LAKE BOONE TRAIL, SUITE 200
RALEIGH / NC / 27607

THE ROW AT WATKINS
COR PROJECT NO. SUB-0028-2024
4329 MITCHELL MILL ROAD
RALEIGH / NC / 27587

LANDSCAPE DETAILS

[redacted]

L3-0

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