



Administrative Approval Action

Case File / Name: SUB-0030-2023
DSLC - SCALES TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 0.71 acre parcel, identified as 1424 Scales Street, is within the Hayes Barton Subdivision and zoned R-10. The property is located east of Glenwood Avenue, west of Morrison Avenue, north of Wade Avenue and south of West Roanoke Park Drive.
- REQUEST:** The plan proposes demolishing the existing apartment building and parking areas for a conventional townhouse subdivision. The 0.71 acre parcel will be divided into 11 lots, 10 townhouse lots and 1 common lot. The townhouses will be accessible by a shared driveway and the outdoor amenity area will be located to the rear of the property.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 8, 2023 by REDEEMING DEVELOPMENT GROUP LLC..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Public Utilities

1. Condition satisfied when 12"x6" TS&V callout replacing 2" Bronze Double Strap TS&V is added to plans.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. Provide documentation indicating a Property Owner's Association has been established for the subject development.
3. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
6. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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7. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

8. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for the private sanitary sewer collection system.

Stormwater

9. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
10. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
12. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

14. A public infrastructure surety for 2 street trees along Scales Street shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Urban Forestry



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1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Scales Street.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: October 18, 2026

Record at least ½ of the land area approved.

5-Year Sunset Date: October 18, 2028

Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 10/18/2023
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

SCALES TOWNHOMES

1424 SCALES DR RALEIGH, NC
27608

CITY OF RALEIGH SUBMITTAL - PRELIMINARY SUBDIVISION SUB-0030-2023

1st SUBMITTAL: 04.30.2023
2nd SUBMITTAL: 08.04.2023
3rd SUBMITTAL: 09.08.2023



VICINITY MAP

RIGHT-OF-WAY OBSTRUCTION NOTES:

1. PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT (B) REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL INDOOR STREETS WITHIN RALEIGH'S JURISDICTION.
3. A PERMIT REQUEST WITH A TYPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
4. PRIOR TO THE START OF WORK, THE OWNER SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN AND INSURE ALL PERMITS ARE ISSUED.
5. ALL TYPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD)
 - 5.2. PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG)
 - 5.3. AMERICAN DESIGN BY ACT (ADA) REQUIREMENTS
 - 5.4. RALEIGH STREET DESIGN MANUAL (RSDM)
6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPARABLE WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, ACCIDENT AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL CITY OF RALEIGH CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER, AND PUBLIC OWNERS PRIOR TO STARTING NO LESS THAN 15 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING EXCAVATION. EXCAVATION OR ANY OTHER WORK OF CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
4. ALL SUBSURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION OBTAINED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS IN ORDER TO MEET UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL MAINTAIN VISIBILITY DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPES PRIOR TO CONCEALMENT. VALVE AND MANHOLE CHANGES AND MODIFICATIONS OR LANDSCAPE CHANGES, DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE FIRE PREVENTION FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBER CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
11. THE ENGINEER AND/OR OWNER DECLINE ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
12. ROADWAYS TEMPORARY OR PERMANENT MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (80,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
13. RESIDENTIAL BUILDING RULES DO NOT APPLY PER ZONE-020715-2023.

SOLID WASTE:

SOLID WASTE TO BE HANDLED VIA ROLL OFF CART. CARTS ARE TO BE STORED BEHIND THE UNITS AND ROLLED OUT TO CURB ALONG THE RIGHT OF WAY. APPROVAL LETTER FROM CITY OF RALEIGH SOLID WASTE SERVICES IS PROVIDED WITH THIS SUBMITTAL.

Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C5.10	SCM DETAILS
C6.00	UTILITY PLAN
L0.00	LANDSCAPE PLAN

SITE DATA

PROJECT NAME:	SCALES TOWNHOMES
SITE ADDRESS:	1424 SCALES DR RALEIGH, NC 27608
COUNTY:	WAKE
PARCEL PIN #:	170486076
PARCEL OWNER:	INEZ COKE TUDOR (RDG HAS ST UNDER CONTRACT)
TOTAL SITE GROSS AREA:	0.71 AC (30,891 SF)
RIGHT-OF-WAY DEDICATION:	0.01 AC (944 SF)
NET AREA:	0.70 AC (30,482 SF)
CURRENT ZONING:	R-40
PROPOSED ZONING:	R-40
EXISTING LAND USE:	MULTIFAMILY
PROPOSED LAND USE:	MULTIFAMILY
FLOOD PLAN DATA:	NONE
DEVELOPMENT TYPE:	TOWNHOME
MAX BUILDING HEIGHT:	45 MAX
PROPOSED BUILDING HEIGHT:	TBD
PROPOSED NUMBER OF UNITS:	11
NET SITE AREA PER UNIT PROVIDED:	3000
NET SITE AREA PER UNIT PROVIDED:	3050
TREE CONSERVATION AREA:	N/A (LESS THAN 2 AC)
TOTAL LENGTH OF DISTURBANCE:	0.00
EXISTING INFILTRATION AREA:	0.18 AC (7,937 SF)
PROPOSED INFILTRATION AREA:	0.40 AC (17,571 SF)
AMENITY AREA REQUIRED:	3000 SF (10% GROSS SITE AREA) 50% ACCESSIBLE
AMENITY AREA PROVIDED:	7,100 SF ACCESSIBLE AMENITY AREA

PARKING DATA:

REQUIRED PARKING:	0
PROPOSED PARKING:	12
TOTAL PARKING:	12
BIKE PARKING REQUIRED:	0
BIKE PARKING PROVIDED:	0



Luke Perkins | Founder
Swift Partners PLLC
E: luke.perkins@swift-partners.com | W: www.swift-partners.com
M: +1 828/7351862 | W: +1 828/7351862

SWIFT
PARTNERS



414 FAYETTEVILLE ST
RALEIGH NC 27601
FIRM LICENSE: P-2197



No.	Date	Description
1	04/30/2023	1424 SCALES DRIVE COMMUNITY DEVELOPMENT
2	08/04/2023	1424 SCALES DRIVE COMMUNITY DEVELOPMENT
3	09/08/2023	1424 SCALES DRIVE COMMUNITY DEVELOPMENT

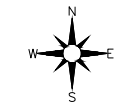
VICINITY



SCALE



ARROW



DATE: 08/08/2023
DRAWN BY: LUKA PERKINS
PROJECT: 1424 SCALES DR TOWNHOMES
PROJECT # C00031

SHEET NO.

C0.00

COVER SHEET

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCEM, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.

2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY SMT PARTNERS, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.

- EXISTING CONDITION NOTES:

1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
2. HORIZONTAL DATUM IS NAD 83/2011 AND VERTICAL DATUM IS NAVD83.
3. THIS DRAWING DOES NOT CONFORM TO NCS, GSA-300, AND THEREFORE IS NOT FOR RECORDATION.
4. UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION / MARKING SERVICES PERFORMED BY STEWART INC. AND THE AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
5. SURVEY INFORMATION COLLECTED BY NEWBONE LAND SURVEYORS P.L.L.C.
6. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
7. NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.

1. REFER TO SHEET C3.00 FOR GENERAL NOTES

2. REFER TO SPLIT SHEET FOR GENERAL NOTES.
3. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.
4. THE CONTRACTOR SHALL SAWCUT EXPOSED ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
5. CLEANSWATER AND WATER VALVES LOCATIONS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE CITY OF NORTH CAROLINA OR LOCAL AGENCIES.
6. ANY UTILITY SERVICES BOUND TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE CITY OF NORTH CAROLINA OR LOCAL AGENCIES.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NORTH CAROLINA OR LOCAL AGENCIES SHALL ADVISE AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION OF ANY UTILITIES TO BE REMOVED OR RELOCATED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NORTH CAROLINA OR LOCAL AGENCIES.
8. CLEANSWATER AND WATER VALVES SHALL BE IDENTIFIED. CONTRACTOR OF THESE SICKS SHALL BE PERFORMED & CARRIED OUT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
9. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS SPECIFICALLY IDENTIFIED BY THE CONTRACT DOCUMENTS.
10. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE ACCORDING TO ORDINANCES NOTED ON THIS PLAN.
11. REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.
12. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR ORDINANCES.
13. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION.
14. CONTRACTOR PERMIT SHALL BE OBTAINED AND REVENUED PRIOR TO BEGINNING DEMOLITION.
15. ITEMS DESIGNATED TO BE SALVAGED AND/OR REUSED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.
16. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE CHANNEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN EXISTING EROSION CONTROL MEASURES AND PREVENT THE EROSION OF THE SITE. PROTECTORS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
17. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITY (SEWER, VENTS, ETC.) SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN EXISTING EROSION CONTROL MEASURES AND PREVENT THE EROSION OF THE SITE. PROTECTORS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING SURROUNDING. PAYING THE COST OF ANY DAMAGE TO THE EXISTING SURROUNDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL MATERIALS FURNISHED, UTILITIES AND PROTECTORS THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND/OR REMOVED SHALL REMAIN IN PLACE AND BE PROTECTED THROUGHOUT THE CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
19. WHERE UTILITIES ARE SHOWN TO BE REMOVED, CONTRACTOR SHALL INCLUDE NECESSARY PLUGS OR VALVES TO MAINTAIN EXISTING EROSION CONTROL MEASURES AND PREVENT THE EROSION OF THE SITE. CONTRACTOR SHALL REMAIN WITH THE LOCAL JURISDICTION OF UTILITY OWNERS.
20. CONTRACTOR SHALL PROVIDE DEFENSES/INDEMNITY FOR ALL TO ALL EXISTING BUILDINGS, PARKING LOTS AND

1. ABBREVIATIONS FOR SPECIFIC HARDCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SET'S HARDCAPE & FURNISHINGS PLANS, PAVING PATTERN PLANS AND SITE DETAILS.
2. REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR OTHER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE.
3. CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCK-UPS FOR ALL CAST-IN PLACE CONCRETE FOR APPROVAL BY LANDSCAPE ARCHITECT.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CURB, GUTTER, SIDEWALK, DRIVEWAY, AND PARKING SURFACES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REPAIR OF THE CONSTRUCTION LAYOUT AREA PERIMETER FENCE AND THE CONSTRUCTION LAYOUT AREA PERIMETER FENCE.
2. THE CONTRACTOR SHALL FURNISH THE DESIGN PLANS FOR SIDEWALKS, CURB LOCATIONS, AND DRIVEWAYS. THE CONTRACTOR SHALL FURNISH THE DESIGN PLANS FOR SIDEWALKS, CURB LOCATIONS, AND DRIVEWAYS. THE CONTRACTOR SHALL FURNISH THE DESIGN PLANS FOR SIDEWALKS, CURB LOCATIONS, AND DRIVEWAYS. THE CONTRACTOR SHALL FURNISH THE DESIGN PLANS FOR SIDEWALKS, CURB LOCATIONS, AND DRIVEWAYS.
3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM _____ STREET(S) _____, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TURNING SPACE AND TURNING RADIUS FOR ALL TURNING POINTS OF ACCESS.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
5. ALL INTERSECTIONS ARE IN DEEDLINE FEET TO OUTSIDE FACE OF BUILDINGS. TO ENTER/LEAVE AND/OR FACE CURBS USE THE FOLLOWING NOTES:
6. THE CONTRACTOR SHALL MAINTAIN ALL SIDEWALKS AND COORDINATES AND REPAIR DISCREPANCIES. THE CONTRACTOR REPRESENTATIVE PAYS FOR ANY CONSTRUCTION.
7. ALL WALKWAYS DOWNSHALL SHALL PREVENT, NOT STOP TRAFFIC FROM DRIVING.
8. ALL UTILITY TIE-INS SHALL BE LOCATED OUTSIDE THE PAVING PLANTATION AND SHALL BE LOCATED OUTSIDE THE PAVING PLANTATION. THE CONTRACTOR SHALL MAINTAIN THE UTILITY TIE-INS.
9. ALL WALKWAYS ARE 60 FEET WIDE UNLESS OTHERWISE NOTED.
10. ALL WALKWAYS SHALL BE 60 FEET WIDE UNLESS OTHERWISE NOTED.
11. ALL WALKWAYS SHALL BE 60 FEET WIDE UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERS FOR ALL UTILITY TIE-INS.
13. ALL CURB LOCATIONS ARE 30 FEET FROM UNLESS OTHERWISE NOTED ON PLAN.
14. WHERE THERE IS A CURB LOCATIONS EXISTING, PROVIDE EXPANSION JOINTS AT THE FACE OF THE CURB LOCATIONS EXISTING. PROVIDE EXPANSION JOINTS AT THE FACE OF THE CURB LOCATIONS EXISTING. PROVIDE EXPANSION JOINTS AT THE FACE OF THE CURB LOCATIONS EXISTING.
15. MAXIMUM RUNNING SLOPE FOR SIDEWALK SURFACES CANNOT BE GREATER THAN 1/8 IN. CROSS SLOPES SHALL BE GREATER THAN 1/4 IN. WALKWAY SURFACE SLOPES CANNOT BE GREATER THAN 1/8 IN. CROSS SLOPES SHALL BE GREATER THAN 1/4 IN.
16. SIGHT TRIANGLES, NOTHING OTHER THAN CURB SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.
17. THE STREET SHALL BE FULLY STABILIZED PRIOR TO CONSTRUCTION TO RESUME A QUALITY CERTIFICATE.
18. WALKWAY RAMPING SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND AMERICAN INSTITUTE OF ARCHITECTS (AIA) 1991. THE CONTRACTOR SHALL MAINTAIN THE WALKWAY RAMPING.
19. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR SHALL MAINTAIN THE ASPHALT. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR SHALL MAINTAIN THE ASPHALT.

1. REFER TO SHEET C300 FOR GENERAL NOTES.

2. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.

3. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5% AND SHALL NOT EXCEED 2.2% CROSS SLOPE. HANDICAP RAMPINGS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1:12. A 5% MAXIMUM CROSS SLOPE OF 1:20 SHALL BE INDICATED. ALL HANDICAP RAMPINGS SHALL HAVE 112" MINIMUM CLEARANCE OF THE LANDING AND 48" MINIMUM TOP OF RAMP.

4. ALL PROPOSED ELEVATIONS SHOWN ARE CODE OF PAYMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND EXISTING STORM DRAINAGE SYSTEMS REMAIN FREE OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION OF THE ENTIRE DRAINAGE SYSTEM TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE PROVIDED THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.

- FOR THE PURPOSES OF A BIDDING OR CONTRACT OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION TO THE STATIONER BEFORE THE STATIONER ISSUES A BIDDING OR CONTRACT. THE STATIONARY WILL BE REVIEWED AND ACCEPTED BY THE LOCAL AGONY PRIOR TO THE BIDDING OR CONTRACT.
7. REFER TO THE REDBORN CONTROL DETAIL SHEET FOR THE SPECIFICATIONS OF CONSTRUCTION
8. INTERIOR GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES UTILIZED FOR THE PROTECTION OF THE STATIONER FROM DAMAGE CAUSED BY SETTLEMENT, LANDSLIDE, MOVEMENT, UNDERMINING, AND WINDSTORM.
9. INTERIOR GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT FLOODING OF THE STATIONER. THE GRADING SHALL BE SUFFICIENT TO PREVENT FLOODING OF THE STATIONER AND POSTAL WAREHOUSE WHEN POURED ON DRAINAGE PLANS, WHERE ROAD SLOPES DRAIN AT AN ANGLE OF 1% TO 2%.
10. MINIMUM SLOPE ACROSS ANY HORIZONTAL PLACING SURFACE AND REUSE SHALL NOT EXCEED 1% IN ANY DIRECTION.
11. PROPOSED CONTOURS ARE APPROPRIATE, SLOPE GRADIENTS AND ROADWAY PROFILES SHALL BE USED AS DERIVED THEREFROM.
12. PLACE BARRIERS AND MATERIALS LAYERS NOT MORE THAN 2 INCHES IN CLOSE DIRECTION FOR MATERIALS TO BE PLACED IN THE STATIONER. THE BARRIERS SHALL BE PLACED IN THE STATIONER AND MATERIALS LAYERS COMPACTED BY HAND-POWERED COMPACTOR. PLACE BARRIERS AND MATERIALS LAYERS NOT MORE THAN 2 INCHES IN CLOSE DIRECTION FOR MATERIALS TO BE PLACED IN THE STATIONER. THE BARRIERS SHALL BE PLACED IN THE STATIONER AND MATERIALS LAYERS COMPACTED BY HAND-POWERED COMPACTOR. PLACE BARRIERS AND MATERIALS LAYERS NOT MORE THAN 2 INCHES IN CLOSE DIRECTION FOR MATERIALS TO BE PLACED IN THE STATIONER. THE BARRIERS SHALL BE PLACED IN THE STATIONER AND MATERIALS LAYERS COMPACTED BY HAND-POWERED COMPACTOR.
13. FOR EACH LAYER OF BARRIERS OR FILL MATERIAL, TWO FEET OF 10-MESH GEOTEXTILE, COMPACTED TO 95% OF MAXIMUM DRY WEIGHT, SHALL BE PLACED BETWEEN EACH LAYER OF BARRIERS OR FILL MATERIAL.
14. SITE GRADING SHALL BE SUFFICIENT TO PREVENT FLOODING OF THE STATIONER. THE GRADING SHALL BE SUFFICIENT TO PREVENT FLOODING OF THE STATIONER AND POSTAL WAREHOUSE WHEN POURED ON DRAINAGE PLANS, WHERE ROAD SLOPES DRAIN AT AN ANGLE OF 1% TO 2%.
15. CONTRACTOR SHALL SLOPE GRADIENTS TO ASSURE PROPER STORMWATER FLOW TO KEEP WATER FROM POOLING AGAINST CURBS AND WALLS.
16. TOP OF WALL GRADING SHALL BE THE STATIONER AT THE TOP OF THE WALL. SLOPES OTHER THAN 1% SHALL BE USED AS DERIVED THEREFROM.

2. END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF PAVING UNLESS OTHERWISE NOTED. USE OVERLAP PATTERN WHEN PATTERNS ARE ON A LINE SMALLER THAN HALF BEDS.
3. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS SHALL BE COORDINATED ON THE PLAN. REFERENCE LAYOUT DIMENSIONS FOR FURTHER PAVING AND JOINT INFORMATION.
4. PAVING ABUTTING TRUNCATED DOWNS SHALL BE A CONTRACTING NOTE.
5. ALIGN ALL TRUNCATED DOME PAVING JOINTS WITH ABUTTING PAVING JOINTS.
6. PROVIDE CONTINUOUS EXPANSION JOINTS BETWEEN BACK OF CURB AND ADJOINING PAVEMENT.
7. PROVIDE CONTINUOUS EXPANSION JOINT BETWEEN ALL VERTICAL SURFACES AND ADJOINING PAVEMENT.
8. ALL DIMENSIONS MEASURED TO CENTERLINE OF JOINTS.
9. ALL WRITTEN DIMENSIONS SHALL PREVAILE. DO NOT SCALE FROM DRAWINGS.
10. ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.
11. ALIGN ALL JOINTS, CORNERS AND EDGES AS SHOWN.
12. FINAL LAYOUTS TO BE APPROVED BY LANDSCAPE ARCHITECT.

1. ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING OUT TO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY PER DOT STANDARDS
2. ALL PAVEMENT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS AND DIMENSIONS SHALL CONFORM TO ADOPTED STANDARDS AND SPECIFICATIONS. PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT.
3. CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS WILL BE EASY TO SEE. HANDICAPPED/PEDESTRIAN ASSESS POINTS OR PERPENDICULAR TO THE ROADWAY OR DRIVE LANE.
4. ADA SYMBOLS SHOWN THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE

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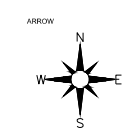
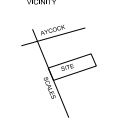
1. WATER MAINS SHALL BE LAYED AT LEAST 10 FEET HORIZONTAL FROM EXISTING OR PROPOSED BENCHMARKS, UNLESS LOCAL CODES OR AGENCIES PERMIT A TIGHTER HORIZONTAL SEPARATION IN ANY CASE.
2. THE WATER MAIN LAY IN A SEPARATE TRENCH WITH THE ELEVATION OF THE BOTTOM OF THE TRENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
3. THE WATER MAIN LAY IN THE SAME TRENCH AS THE SEWER WITH THE MAIN LAY LOCATED OVER THE SEWER WITH THE MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
4. CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, THE CROSSING SHALL BE MADE BY A PIPE OR PIPE ARCH OVER THE SEWER. THE MARKERS PERMITTED ON AN 18 INCH TRENCH SEPARATION IN ANY CASE BOTH THE WATER MAIN AND SEWER SHALL BE PROTECTED BY A 12 INCH CONCRETE SLAB WITH 4 INCH REINFORCING BARS PERIODIC TO MEET WATER MAIN STANDARDS FOR A DEPTH OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
5. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, THE CROSSING SHALL BE MADE BY A PIPE OR PIPE ARCH UNDER THE SEWER. THE MARKERS PERMITTED ON AN 18 INCH TRENCH SEPARATION IN ANY CASE BOTH THE WATER MAIN AND SEWER SHALL BE PROTECTED BY A 12 INCH CONCRETE SLAB WITH 4 INCH REINFORCING BARS PERIODIC TO MEET WATER MAIN STANDARDS FOR A DEPTH OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN SHALL BE CENTERED AT THE POINT OF CROSSING.
6. SEPARATION OF SANITARY SEWERS AND STORM SEWERS:
 - a. A 30" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWERS AND SANITARY SEWERS AT ALL POINTS OF THE SEWERAGE AND THE BOTTOM SLABS SHALL BE CONSTRUCTED OF FERROUS MATERIAL.

1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY CAST IRON BEARING
2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.
3. MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE.
4. MANHOLES LOCATED IN GRASS, SOFT SOILS, OR WOODED AREAS SHALL HAVE THE RISE RINGS REINCHED ABOVE THE SURROUNDING GRADE. MANHOLES SET ABOVE POSSIBLE WATER INFLTRATION
5. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
 - 1" SEWER SERVICE - 1.0% SLOPE
 - 6" SEWER SERVICE - 1.0% SLOPE
 - 8" SEWER SERVICE - 1.0% SLOPE
6. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER CLEANOUTS AT ALL HORISONTAL OR VERTICAL CHANGES OF DIRECTION, MANHOLE SPRING BETWEEN CLEANOUTS SHALL BE 7' TO 11'.
7. SEWER LINES LESS THAN 14" IN DIAMETER SHALL BE CLASS 400 DUCTILE IRON PIPE. SEWER LINES WITH 14" AND OVER IN DIAMETER SHALL BE CLASS 500 DUCTILE IRON PIPE.
 - 1" SEWER SERVICE - SCH 40
 - 6" SEWER SERVICE - SCH 40
 - 8" SEWER SERVICE - SCH 40
8. SEWER SERVICE LINES SHALL BE PROTECTED FROM EXCESSIVE DEGRADATION BY ALL CONTAMINANTS ENTERING THE NEW SYSTEM, A MINIMUM FLOW SHALL BE MAINTAINED THROUGH THE SYSTEM TO PREVENT DRYING OF THE LINES AND TO PREVENT DAMAGE TO THE LINING. THE EXISTING SYSTEM, EXISTING STRUCTURES, PIPES AND APPURTENANCES SHALL BE PROTECTED FROM EXCESSIVE DEGRADATION BY ALL CONTAMINANTS ENTERING THE NEW SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO CONSTRUCTION TO CLEAR THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO CONSTRUCTION
9. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

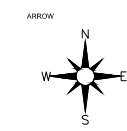
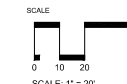
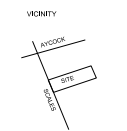
4. AS INDICATED, ALL WATERLINES SHALL BE LOCATED BY PNEUMATIC METHODS THE REQUIREMENTS OF ARIZONA GAS COMPANY PRESSURE CLASS 300 OR GOVT. COVER PER 1910 PSI ASTM B31. IF PVC WATERLINE IS INDICATED ON THE PLANS IT SHALL MEET THE REQUIREMENTS OF AWWA C400, CLASS 250.
5. ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
6. TESTING NOTES:
 - TESTING PRESSURE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE WORKING PRESSURE SPECIFIED IN AWWA C400.
 - TESTING PRESSURE SHALL BE 150 PSI FOR DUCTILE IRON AND 200 PSI FOR THE PROTECTION.
 - TESTING SHALL BE DONE AFTER BACTERIOLOGICAL SAMPLING HAS BEEN COLLECTED AT LEAST 24 HOURS AFTER A CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING SHALL BE CONDUCTED IMMEDIATELY.
7. THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER DISPOSAL.
8. POINT VALVE COVERS, FIRE HYDRANTS AND OTHER APPROPRIATE TO MEET THE LOCAL JURISDICTION REQUIREMENTS.



No.	Date	Description
-1-	06AUG2023	QOB-1ST REVIEW COMMENT
-2-	08AUG2023	QOB-1ST REVIEW COMMENT
-3-	09AUG2023	QOB-1ST REVIEW COMMENT
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No.	Date	Description
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18	08/08/2023	ISSUED FOR REVIEW COMMENTS
19	08/08/2023	ISSUED FOR REVIEW COMMENTS
20	08/08/2023	ISSUED FOR REVIEW COMMENTS



SURVEY LEGEND:

- △ SURVEY CONTROL POINT
- EP EXISTING IRON PIPE
- EXCM EXISTING CONCRETE MONUMENT
- ▲ COMPUTED POINT
- ⊕ STORM DRAIN MANHOLE
- ⊖ STORM DRAIN CURB INLET
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ SANITARY FORCEMAIN VALVE
- ⊙ HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ WATER MANHOLE
- ⊙ WATER VAULT
- ⊙ WELL
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PREDESTAL
- ⊙ TV MANHOLE
- ⊙ TV PREDESTAL
- ⊙ FIBER OPTIC WITNESS POST
- ⊙ FIBER OPTIC BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC BOX
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ LIGHT POLE
- ⊙ MANHOLE
- ⊙ TRAFFIC SIGNAL BOX
- ⊙ TRAFFIC SIGNAL POST
- ⊙ MONITORING WELL
- ⊙ BORING LOCATION
- ⊙ ROLLARD
- ⊙ SIGN
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ DECIDUOUS TREE
- ⊙ EVERGREEN TREE
- ⊙ BUSH
- ⊙ WIND FENCE
- ⊙ CHAIN LINK FENCE
- ⊙ UNDERGROUND TELEPHONE LINE
- ⊙ UNDERGROUND FIBER OPTIC LINE
- ⊙ UNDERGROUND GAS LINE
- ⊙ UNDERGROUND ELECTRIC LINE
- ⊙ UNDERGROUND WATER LINE
- ⊙ SANITARY SEWER LINE
- ⊙ STORM DRAIN LINE
- ⊙ OVERHEAD WIRE
- ⊙ UNDERGROUND DRAIN LINE
- ⊙ UNKNOWN DESTINATION
- ⊙ CONCRETE SURFACE
- ⊙ DUCTILE IRON PIPE
- ⊙ POLYETHYLENE GLASS FIBER PIPE
- ⊙ REINFORCED CONCRETE PIPE
- ⊙ CORRUGATED METAL PIPE
- ⊙ CATCH BASIN

TREE LEGEND:

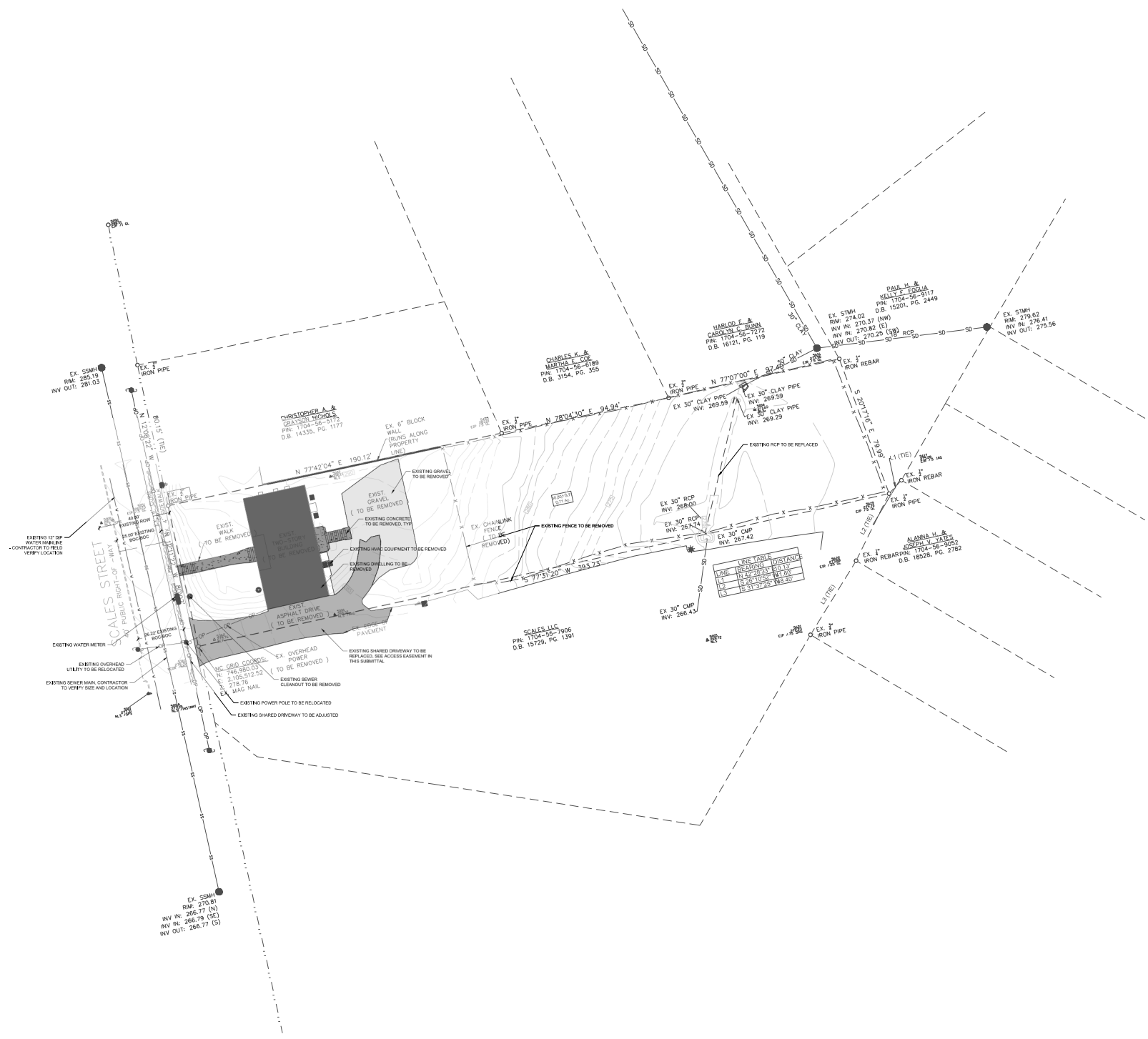
- ⊙ AMERICAN HOLLY
- ⊙ EASTERN RED CEDAR
- ⊙ CREPE MYRTLE
- ⊙ SOUTHERN MAGNOLIA
- ⊙ EASTERN SYCAMORE
- ⊙ LOROPHYLLUM
- ⊙ RED OAK
- EXAMPLE: 100' x 10' RED OAK

DEMOLITION LEGEND:

- 1 REMOVE BUILDING
- 2 REMOVE ASPHALT
- 3 REMOVE GRAVEL
- 4 REMOVE BRICK WALKWAY
- 5 REMOVE CONCRETE
- 6 REMOVE RUBRAIP
- 7 REMOVE VEGETATION
- 8 REMOVE WATER LINE
- 9 REMOVE SANITARY SEWER LINE
- 10 REMOVE STORM DRAINAGE
- 11 REMOVE FENCE
- 12 TREE PROTECTION FENCE
- 13 LIMITS OF DISTURBANCE
- 14 COORDINATE LIGHT POLE REMOVAL
- 15 REMOVE TREE
- 16 REMOVE TREE LINE
- 17 REMOVE WHEEL STOP
- 18 REMOVE CURB & GUTTER
- 19 REMOVE SIGN

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND DEMOLITION NOTES.

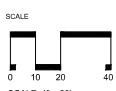
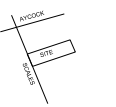




414 FAYETTEVILLE ST
RALEIGH NC 27601
PHONE: 919.219.1100

No.	Date	Description
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VICINITY



SCALE: 1" = 20'

ARROW



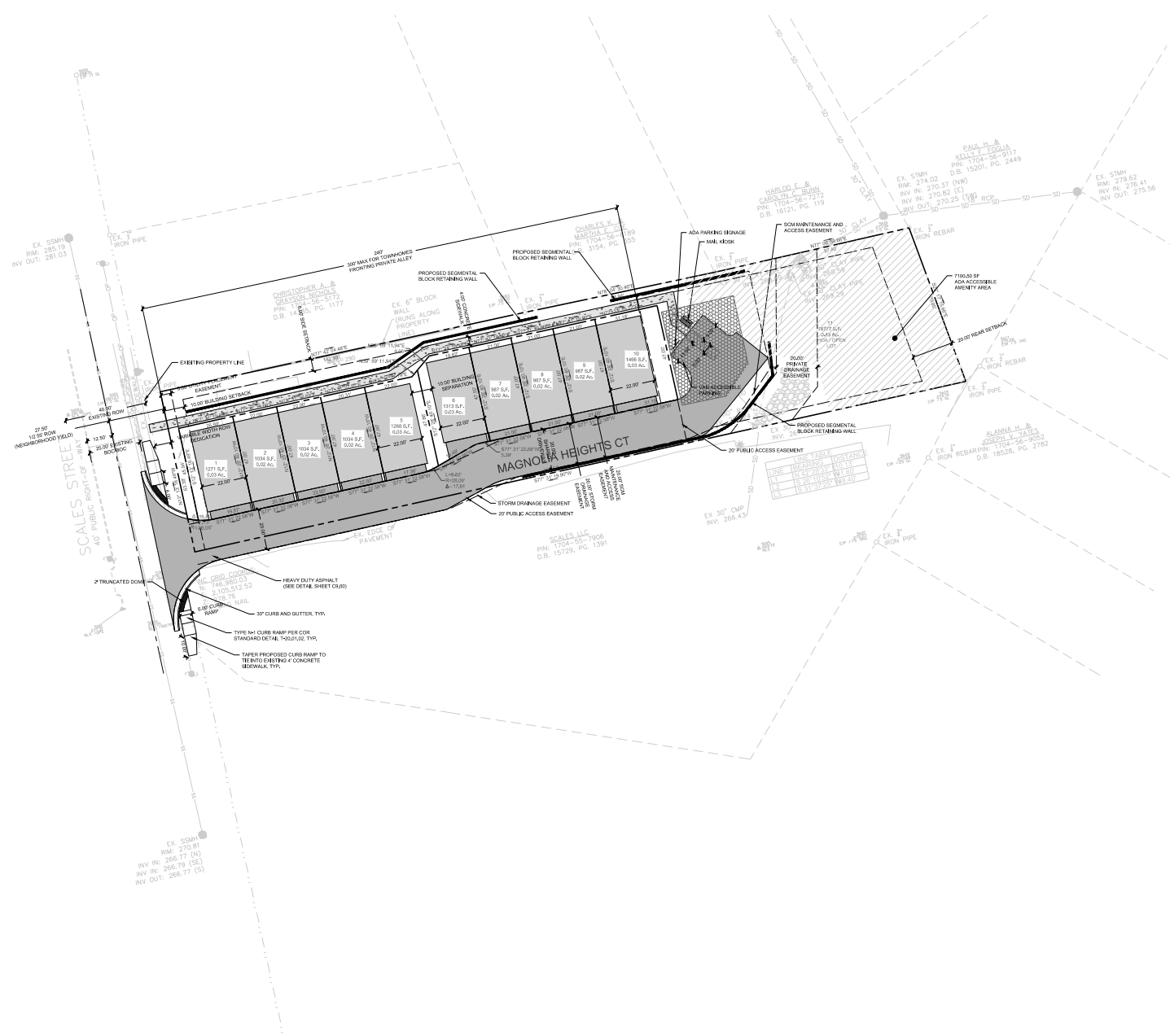
- SITE LEGEND:**
- | SYMBOL | DESCRIPTION |
|-----------|---|
| [Pattern] | PROPOSED BUILDING |
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED BRICK SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PAVEMENT |
| [Pattern] | PROPOSED CONCRETE PAVERS |
| [Pattern] | PROPOSED GRAVEL |
| [Pattern] | PROPOSED CURB & GUTTER |
| [Pattern] | PROPOSED STOP BAR |
| [Pattern] | PROPOSED CROSSWALK |
| [Pattern] | PROPOSED 6' WIDE STANDARD CROSSWALK |
| [Pattern] | PROPOSED 12' WIDE HIGH VISIBILITY CROSSWALK |
| [Symbol] | PROPOSED SIGN |
| [Symbol] | PROPOSED ADA PARKING SPACE |
| [Symbol] | PROPOSED KEYSTONE WALL |
| [Symbol] | PROPOSED CIP WALL |
| [Symbol] | PROPOSED WHEEL STOP |
| [Symbol] | PROPOSED GRAVEL TRAIL |
| [Symbol] | PROPOSED ASPHALT TRAIL |
| [Symbol] | PROPOSED TREELINE |
| [Symbol] | PROPOSED FENCE |
| [Symbol] | PROPOSED VEHICLE GATE (X' WIDE) |
| [Symbol] | PROPOSED LIGHT |
| [Symbol] | PROPOSED BENCH |
| [Symbol] | PROPOSED BOLLARD |
| [Symbol] | PROPOSED PEDESTRIAN STEEL PLATE |
| [Symbol] | LIMITS OF DISTURBANCE |

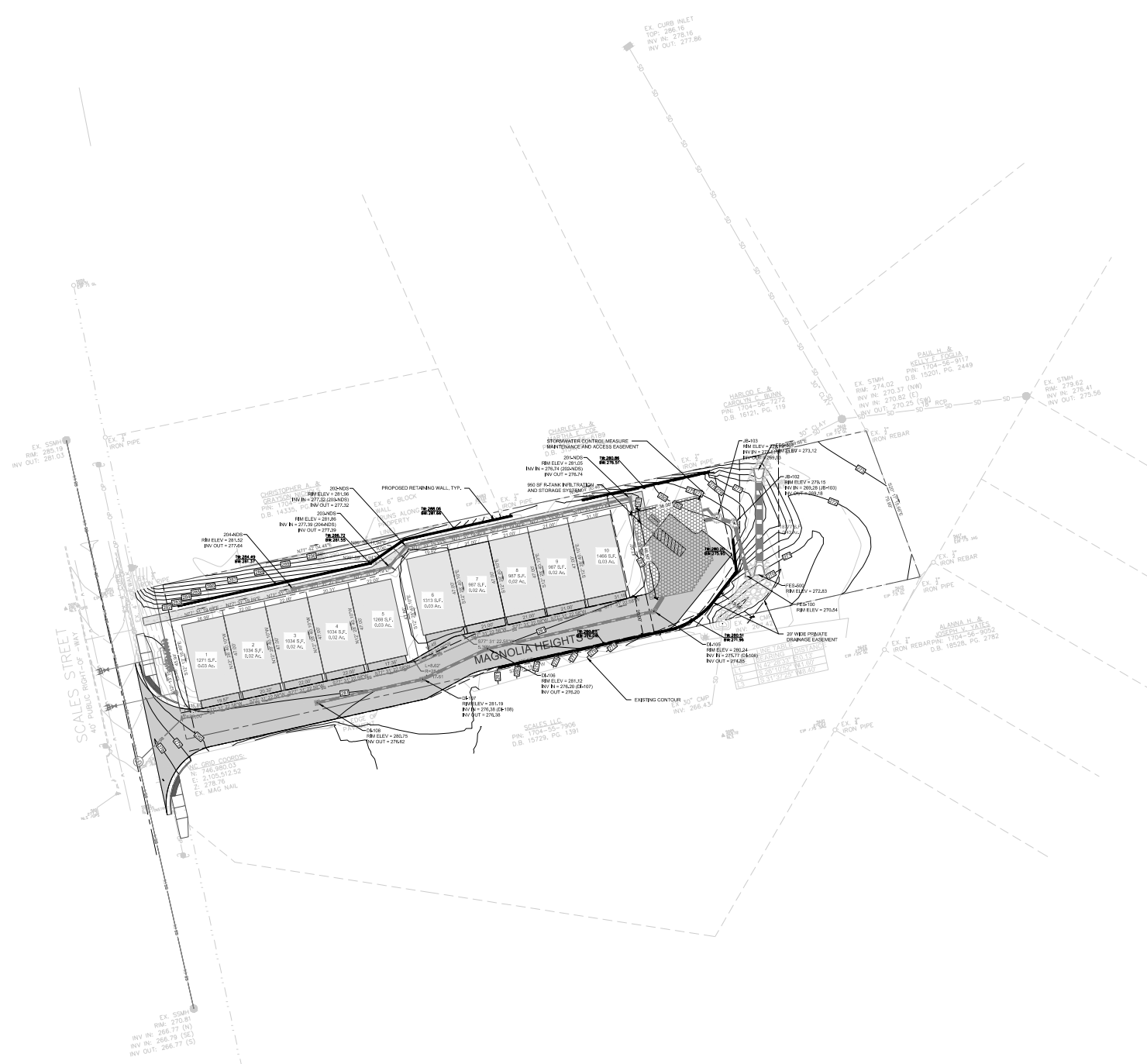
- NOTES:**
- SEE SHEET C3.01 FOR GENERAL AND SITE NOTES.
 - RESIDENTIAL MUTL RULERS DO NOT APPLY FOR 2018-2021-2022.

SITE DATA

PROJECT NAME:	SCALES TOWNHOMES
SITE ADDRESS:	1404 SCALES DR RALEIGH NC 27608
COUNTY:	WAKE
PARCEL PIN #:	170488076
PARCEL OWNER:	WAKE CONE TUDOR (REG HAS ST UNDER CONTRACT)
TOTAL SITE GROSS ACREAGE:	0.71 AC / 30,801 SF
RIGHT-OF-WAY DEDICATION:	0.01 AC / 844 SF
NET ACREAGE:	0.70 AC / 30,482 SF
CURRENT ZONING:	R-40
PROPOSED ZONING:	R-40
EXISTING LAND USE:	MULTI-UNIT LIVING
PROPOSED LAND USE:	MULTI-UNIT LIVING
FLOOD PLAIN DATA:	NONE
WETLANDS:	NONE
DEVELOPMENT TYPE:	TOWNHOME
MAX BUILDING HEIGHT:	45 MAX
PROPOSED BUILDING HEIGHT:	TBD
PROPOSED NUMBER OF LOTS:	11
NET SITE ACREAGE PER UNIT PROVIDED:	3600
TREE CONSERVATION AREA:	N/A (LESS THAN 2 AC)
TOTAL LIMITS OF DISTURBANCE:	0.00
EXISTING IMPERVIOUS AREA:	0.18 AC / 7,837 SF
PROPOSED IMPERVIOUS AREA:	0.40 AC / 17,571 SF
AMENITY AREA REQUIRED:	3000 SF (10% GROSS SITE AREA) (80% ACCESSIBLE)
AMENITY AREA PROVIDED:	7,100 SF ACCESSIBLE AMENITY AREA

PARKING DATA:	
REQUIRED PARKING:	0
PROPOSED PARKING:	12
TOTAL PARKING:	12
WVE PARKING REQUIRED:	0
WVE PARKING PROVIDED:	0






GRADING LEGEND:

SYMBOL	DESCRIPTION
[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	PROPOSED STORM DRAINAGE
[Symbol]	PROPOSED JUNCTION BOX
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	PROPOSED AREA DRAIN
[Symbol]	RIPRAP DISSECTOR
[Symbol]	FLOW DIRECTION
[Symbol]	PROPOSED ELEVATION
[Symbol]	TOP/BOTTOM OF CURB
[Symbol]	TOP/BOTTOM OF WALL

NOTES:

1. SEE SHEET C3.10 FOR GENERAL AND GRADING NOTES.


SWIFT PARTNERS




414 FAYETTEVILLE ST
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description
1	10/1/2023	ISSUED FOR PERMIT
2		
3		
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20		

VICINITY

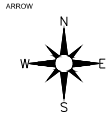


SCALE



SCALE: 1" = 20'

ARROW



PROJECT INFORMATION

DATE: 10/01/2023
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT # C28031

SHEET TITLE

GRADING AND DRAINAGE PLAN

SHEET NO.

C5.00



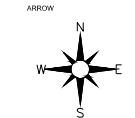
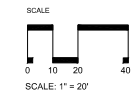
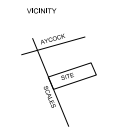
- UTILITY LEGEND:
- | SYMBOL | DESCRIPTION |
|--------|-------------------------------------|
| — | EXISTING WATER LINE |
| — | PROPOSED WATER LINE |
| — | EXISTING SANITARY SEWER LINE |
| — | PROPOSED SANITARY SEWER LINE |
| — | PROPOSED FIRE HYDRANT |
| — | PROPOSED WATER VALVE |
| — | EXISTING SANITARY SEWER MANHOLE |
| — | PROPOSED SANITARY SEWER MANHOLE |
| — | PROPOSED CLEANOUT |
| — | PROPOSED FDC |
| — | PROPOSED BACKFLOW METER |
| — | PROPOSED POST INDICATOR VALVE (PIV) |
| — | GREASE INTERCEPTOR |
| — | 300' HYDRANT COVERAGE CIRCLE |
| — | LIMITS OF DISTURBANCE |

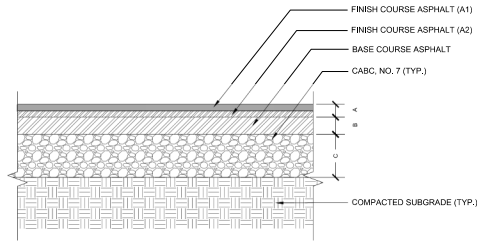
NOTES:

1. SEE SHEET C6.10 FOR GENERAL AND UTILITY NOTES.

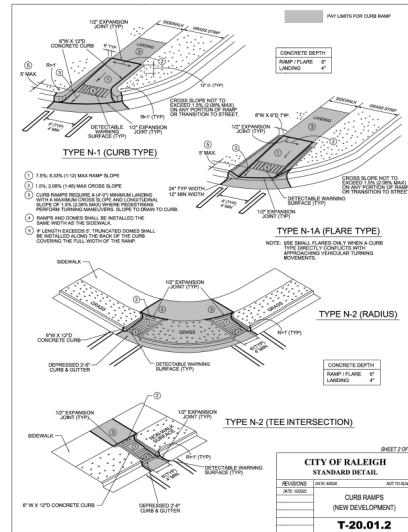


No.	Date	Description
1	10/1/2020	ISSUED FOR PERMIT
2	10/1/2020	ISSUED FOR PERMIT
3	10/1/2020	ISSUED FOR PERMIT
4	10/1/2020	ISSUED FOR PERMIT
5	10/1/2020	ISSUED FOR PERMIT
6	10/1/2020	ISSUED FOR PERMIT
7	10/1/2020	ISSUED FOR PERMIT
8	10/1/2020	ISSUED FOR PERMIT
9	10/1/2020	ISSUED FOR PERMIT
10	10/1/2020	ISSUED FOR PERMIT
11	10/1/2020	ISSUED FOR PERMIT
12	10/1/2020	ISSUED FOR PERMIT
13	10/1/2020	ISSUED FOR PERMIT
14	10/1/2020	ISSUED FOR PERMIT
15	10/1/2020	ISSUED FOR PERMIT
16	10/1/2020	ISSUED FOR PERMIT
17	10/1/2020	ISSUED FOR PERMIT
18	10/1/2020	ISSUED FOR PERMIT
19	10/1/2020	ISSUED FOR PERMIT
20	10/1/2020	ISSUED FOR PERMIT





HEAVY DUTY ASPHALT PAVEMENT
N.T.S.



No.	Date	Description
1	1/1/20	1" FL. 1" MIN. MAX. SLOPE. 1" FL. 1" MIN. MAX. SLOPE SHALL BE 1" FL. 1" MIN. MAX. SLOPE. 1" FL. 1" MIN. MAX. SLOPE SHALL BE 1" FL. 1" MIN. MAX. SLOPE. 1" FL. 1" MIN. MAX. SLOPE SHALL BE 1" FL. 1" MIN. MAX. SLOPE.

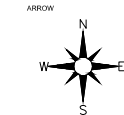
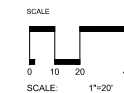
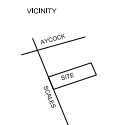
VICINITY



SCALE

ARROW

No.	Date	Description
1	10/1/2023	ISSUED FOR PERMIT
2	10/1/2023	REVISIONS
3	10/1/2023	REVISIONS
4	10/1/2023	REVISIONS
5	10/1/2023	REVISIONS
6	10/1/2023	REVISIONS
7	10/1/2023	REVISIONS
8	10/1/2023	REVISIONS
9	10/1/2023	REVISIONS
10	10/1/2023	REVISIONS
11	10/1/2023	REVISIONS
12	10/1/2023	REVISIONS
13	10/1/2023	REVISIONS
14	10/1/2023	REVISIONS
15	10/1/2023	REVISIONS
16	10/1/2023	REVISIONS
17	10/1/2023	REVISIONS
18	10/1/2023	REVISIONS
19	10/1/2023	REVISIONS
20	10/1/2023	REVISIONS



- SITE LEGEND:**
- | SYMBOL | DESCRIPTION |
|-----------|---|
| [Pattern] | PROPOSED BUILDING |
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED BRICK SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PAVEMENT |
| [Pattern] | PROPOSED CONCRETE PAVERS |
| [Pattern] | PROPOSED GRAVEL |
| [Pattern] | PROPOSED CURB & GUTTER |
| [Pattern] | PROPOSED STOP BAR |
| [Pattern] | PROPOSED CROSSWALK |
| [Pattern] | PROPOSED 6' WIDE STANDARD CROSSWALK |
| [Pattern] | PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK |
| [Symbol] | PROPOSED SIGN |
| [Symbol] | PROPOSED ADA PARKING SPACE |
| [Symbol] | PROPOSED KEYSTONE WALL |
| [Symbol] | PROPOSED CIP WALL |
| [Symbol] | PROPOSED WHEEL STOP |
| [Symbol] | PROPOSED GRAVEL TRAIL |
| [Symbol] | PROPOSED ASPHALT TRAIL |
| [Symbol] | PROPOSED FENCE |
| [Symbol] | PROPOSED VEHICLE GATE (K' WIDE) |
| [Symbol] | PROPOSED LIGHT |
| [Symbol] | PROPOSED BIKE RACK |
| [Symbol] | LIMITS OF DISTURBANCE |

- NOTES:**
- SEE SHEET C10.10 FOR GENERAL AND SITE NOTES.
 - THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH UNIFIED DEVELOPMENT CODE SECTION 5.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
 - THE SITE WILL BE CONFORMING TO THE EXEMPTION OF CROSS ACCESS THROUGH THE CITY OF RALEIGH UNIFIED DEVELOPMENT CODE SECTION 5.1.3.4.1 TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY NEWCOMB LAND SURVEYORS PLLC.
 - PROPERTY BELONGING TO OTHERS IS DETERMINED TO BE OUTSIDE THE 5% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEMA MAP NUMBER 17051-T001 DATED MAY 7, 2006.
 - NO ON-SITE WETLANDS OR STREAMS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- LANDSCAPING REQUIREMENTS:**
- SCALES ST (NEIGHBORHOOD YIELD)
- REQUIREMENT: 1 UNDERSTORY TREE PER 25 LF + 40 LF / 25 LF + 4 TREES (3 TREES PROVIDED)
- PROVIDED: 3 TREES PROVIDED DUE TO SPACING CONSTRAINTS

- TREE CONSERVATION AND LANDSCAPING NOTES:**
- THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT CODE SECTION 5.1.3.4.1 TREE CONSERVATION APPLICABILITY.
 - THE TREE BRANCH PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.
- LANDSCAPING NOTES:**
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, THIRMS.
 - STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
 - ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE RESEED AND WATERED.
 - SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
 - ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3"; KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.
 - A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
 - MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 10" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
 - ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH TS SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE FULFURGED FINE BARK, PEAT MOSS OR SHREDDED COMPOSTED LEAVES.
 - CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
 - CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
 - ALL PLANTS ARE TO BE THOROUGHLY WATERED BY THE SAME DAY AS PLANTED.
 - THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
 - COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AND SOIL SHALL BE COMPACTED.
 - ALL TREES WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
 - LANDSCAPING SHOWN MEETS REQUIREMENTS.
 - ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
 - ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTING NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING	CONTAINER	MATURE
		UNDERSTORY TREES				
DW	4	CORNUS SPP.	DOGWOOD	10'-4"	1.5B"	8B6 15'-4" 35'-4"

*ALL TREES ARE TO BE SINGLE STEMMED PER COR STANDARDS

