

# Preliminary Subdivision Application

## Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

*NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.*

GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es):				
Recorded Deed PIN(s):				
<b>Building type(s):</b>	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
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<b>Current Property Owner(s) Names:</b>	
Company:	Title:
Address:	
Phone #:	Email:
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:

**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**

<b>Developer Contact Names:</b>	
Company:	Title:
Address:	
Phone #:	Email:

**DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION**

Gross site acreage:			
Zoning districts (if more than one, provide acreage of each):			
Overlay district(s):	Inside City Limits?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
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**NUMBER OF LOTS AND DENSITY**

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F):		

**APPLICANT SIGNATURE BLOCK**

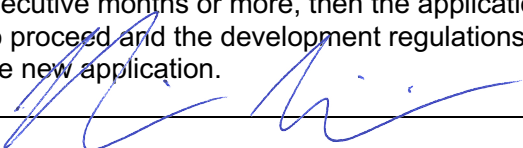
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	



# OLDE TOWNE 8-LOT ADDITION

LOT 10 & LOTS 4/5

OPEN SPACE LOT 924 (OLDE TOWNE LOTS 4 AND 5, BM2022-PG01247)  
OPEN SPACE LOT 909 (OLDE TOWNE LOT 10, BM2022-PG01497)

PROJECT NUMBER: HLE24001

DATE: MAY 22, 2024

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**DEVELOPMENT OPTIONS (UDO Chapter 2)**  
 Conventional Subdivision  Compact Development  Conservation Development  
 Cottage Court  Flag lot  Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

**GENERAL INFORMATION**  
 Scoping/sketch plan case number(s): N/A  
 Development name (subject to approval): OLDE TOWNE 8-LOT ADDITION  
 Property Address(es): 2425 Tonoloway Drive, 5024 Anamosa Street  
 Recorded Deed PIN(s): 1732122141, 1732054441

**BUILDING TYPE(S):**  Detached House  Attached House  Townhouse  Apartment  
 General Building  Mixed Use Building  Civic Building  Open Lot  Tiny House

**CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION**

Current Property Owner(s) Name: Eric Rifkin  
 Company: Olde Towne WEH LP Title: Assistant VP  
 Address: 56 Hunter Street, Suite 110, Apex, North Carolina 27502  
 Phone #: 919.387.1885 Email: erifkin@halecompanies.com

Applicant Name (if different from owner. See "who can apply" in instructions):  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
 Company: McAdams Co. Address: 2905 Meridian Parkway, Durham, NC 27713  
 Phone #: 919.361.5000 Email: williamson@mcadamscsco.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Name: Eric Rifkin  
 Company: Olde Towne WEH LP Title: Assistant Vice President  
 Address: 56 Hunter Street, Suite 110, Apex, North Carolina 27502  
 Phone #: 919.387.1885 Email: erifkin@halecompanies.com

Revision 03/01/24  
raleighnc.gov

## DEVELOPMENT TYPE + SITE DATA TABLE - ZONING INFORMATION

Gross site acreage: 2.04 acres  
 Zoning districts (if more than one, provide acreage of each):  
 R-10-CU

Overlay district(s): N/A Inside City Limits?  Yes  No Historic District/Landmark: N/A

Conditional Use District (CUD) Board of Adjustment Case # Design Alternate Case #  
 Case # Z- BOA- DA-

## STORMWATER INFORMATION

Impervious Area on Parcel(s):  
 Existing (sf) Proposed total (sf) Impervious Area for Compliance (includes right-of-way):  
 Existing (sf) Proposed total (sf)

## NUMBER OF LOTS AND DENSITY

# of Detached House Lots: 0 # of Attached House Lots: 0 # of Townhouse Lots: 8  
 # of Tiny House Lots: 0 # of Open Lots: 0 # of Other Lots (Apartment, General, Mixed Use, Civic): 0  
 Total # of Lots: 8 Total # Dwelling Units: 8  
 # of bedroom units (if known): 1br 2br 3br 4br  
 Proposed density for each zoning district (UDO 1.5.2.F):

## APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(g)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

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By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

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Signature: Date: 05/24/2024  
 Printed Name: Eric Rifkin  
 Signature: Date:  
 Printed Name:

## SPECIAL CONDITIONS OF SUBDIVISION APPROVAL

(This area is reserved for special conditions of subdivision approval. The content of this section is currently blank.)

## SITE DATA

SITE ADDRESS:	5024 ANAMOSA STREET AND 2426 TONOLOWAY DRIVE, RALEIGH NORTH CAROLINA, 27610
PARCEL PIN NUMBER:	1732054441, 1732122141
LOTS WITHIN OLDE TOWNE SUBDIVISION:	LOTS 4 AND 5, LOT 10
EXISTING ZONING:	R-10-CU (RESIDENTIAL - 10 - CONDITIONAL USE)
OVERLAY DISTRICT:	NONE APPLICABLE
BLOCK PERIMETER:	N/A; NO ROADS PROPOSED WITH THIS SITE PLAN, ONLY ADDITION OF LOTS
WATERSHED:	WALNUT CREEK
FLOODPLAIN/FIRM PANEL:	NONE APPLICABLE
SITE AREA:	LOTS 4 AND 5 AREA: 1.381 ACRES LOT 10 AREA: 0.66 ACRES GROSS SITE AREA: 2.04 ACRES
EXISTING USE:	VACANT
PROPOSED USE:	TOWNHOUSE
PROPOSED DWELLING UNITS:	8 UNITS

## ZONING CONDITIONS

ORDINANCE 53 ZC 789  
 EFFECTIVE 02/04/2020  
 TCZ-4-2019-ROCK QUARRY ROAD AND SOUTH NEW HOPE ROAD, ON SOUTH NEW HOPE ROAD AT THE NORTHEAST CORNER OF ITS INTERSECTION WITH ROCK QUARRY ROAD, EIGHTEEN (18) PROPERTIES TOTALING APPROXIMATELY 532 ACRES REZONED TO RESIDENTIAL-10-CONDITIONAL USE (R-10-CU).  
 CONDITIONS DATED: SEPTEMBER 9, 2019

- TOTAL NUMBER OF DWELLING UNITS SHALL NOT EXCEED 1,700 UNITS ON THE SUBJECT PROPERTY. THE APARTMENT BUILDING TYPE SHALL NOT BE PERMITTED ON THE SUBJECT PROPERTY EXCEPT THAT UP TO THREE HUNDRED SIXTY (360) DWELLING UNITS LOCATED WITHIN THE APARTMENT BUILDING TYPE SHALL BE PERMITTED WHERE THE APARTMENT BUILDING TYPE IS LOCATED WITHIN TWO THOUSAND FIVE HUNDRED FEET (2500') OF THE RIGHT-OF-WAY FOR ROCK QUARRY ROAD. A MINIMUM OF ONE HUNDRED (100) RESIDENTIAL UNITS, OF ANY UNIT TYPE PERMISSIBLE UNDER THE UNIFIED DEVELOPMENT ORDINANCE, SHALL BE RESTRICTED TO THOSE AGE FIFTY FIVE (55) AND OLDER, IN ACCORDANCE WITH FEDERAL LAW.
- AT THE TIME OF ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR A DWELLING UNIT, THE PROPERTY OWNER SHALL CREATE AN AREA CONTAINING AT LEAST TWENTY-FIVE (25) ACRES OF LAND IDENTIFIED BY THE PROPERTY OWNER AND LOCATED ON THE SUBJECT PROPERTY NEAR THE INTERSECTION OF THE NEW HOPE ROAD AND WALNUT CREEK (THE "PARK LAND") FOR USE AS A PUBLIC OR PRIVATE PARK. THE PROPERTY OWNER SHALL ENSURE THE PARK LAND HAS ACCESS FROM A STREET INTERNAL TO THE PROJECT.
- THE PROPERTY OWNER SHALL INSTALL GREENWAY TRAILS ON THE SUBJECT PROPERTY GENERALLY AS SHOWN ON THE ATTACHED EXHIBIT B, MEETING CITY OF RALEIGH GREENWAY TRAIL SPECIFICATIONS, TO BE COMPLETED AS FOLLOWS:  
 (A) THE "RED ROUTE" FROM "NODE 1" AT SOUTH NEW HOPE ROAD HEADING EASTWARD ACROSS THE SUBJECT PROPERTY FOR AT LEAST 1500 LINEAR FEET PRIOR TO THE CERTIFICATE OF OCCUPANCY FOR THE CLUBHOUSE FACILITY.  
 (B) THE "GREEN ROUTE" FROM THE TERMINUS OF THE "RED ROUTE" TO "NODE 2" AT BARWELL ROAD WHEN A ROADWAY CONNECTION IS MADE TO BARWELL ROAD; AND  
 (C) THE "ORANGE ROUTE" FROM "NODE 2" TO "NODE 3" NEAR WALNUT CREEK PRIOR TO THE 1500' CERTIFICATE OF OCCUPANCY.
- A MINIMUM OF TWENTY-FIVE PERCENT (25%) OF THE NET SITE AREA (SITE AREA EXCLUDING STREET RIGHT-OF-WAY) SHALL BE USED FOR PASSIVE AND ACTIVE OPEN SPACE, INCLUDING PUBLIC PARKS, PRIVATE PARKS, PUBLIC GREENWAYS, ENVIRONMENTALLY SENSITIVE AREAS, TREE CONSERVATION AREA, STORMWATER DEVICES AND OTHER OPEN SPACE.
- FOR PROPERTY DELINEATED BY WAKE COUNTY PIN 1722937105 AND IDENTIFIED AS LOT 5007 ON BOOK OF MAPS 2008, PAGE 280, WAKE COUNTY REGISTRY (THE "PROPERTY"), UNLESS A MORE RESTRICTIVE PROVISION OF THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE APPLIES, ONE OR MORE BUILDINGS SHALL BE LOCATED WITHIN ONE HUNDRED FEET (100') OF ROCK QUARRY ROAD OR AT LEAST FIFTY PERCENT (50%) OF THE LENGTH OF THE PROPERTY ALONG ROCK QUARRY ROAD, EXCLUDING PUBLIC STREET RIGHT-OF-WAY FROM LENGTH OF THE PROPERTY.

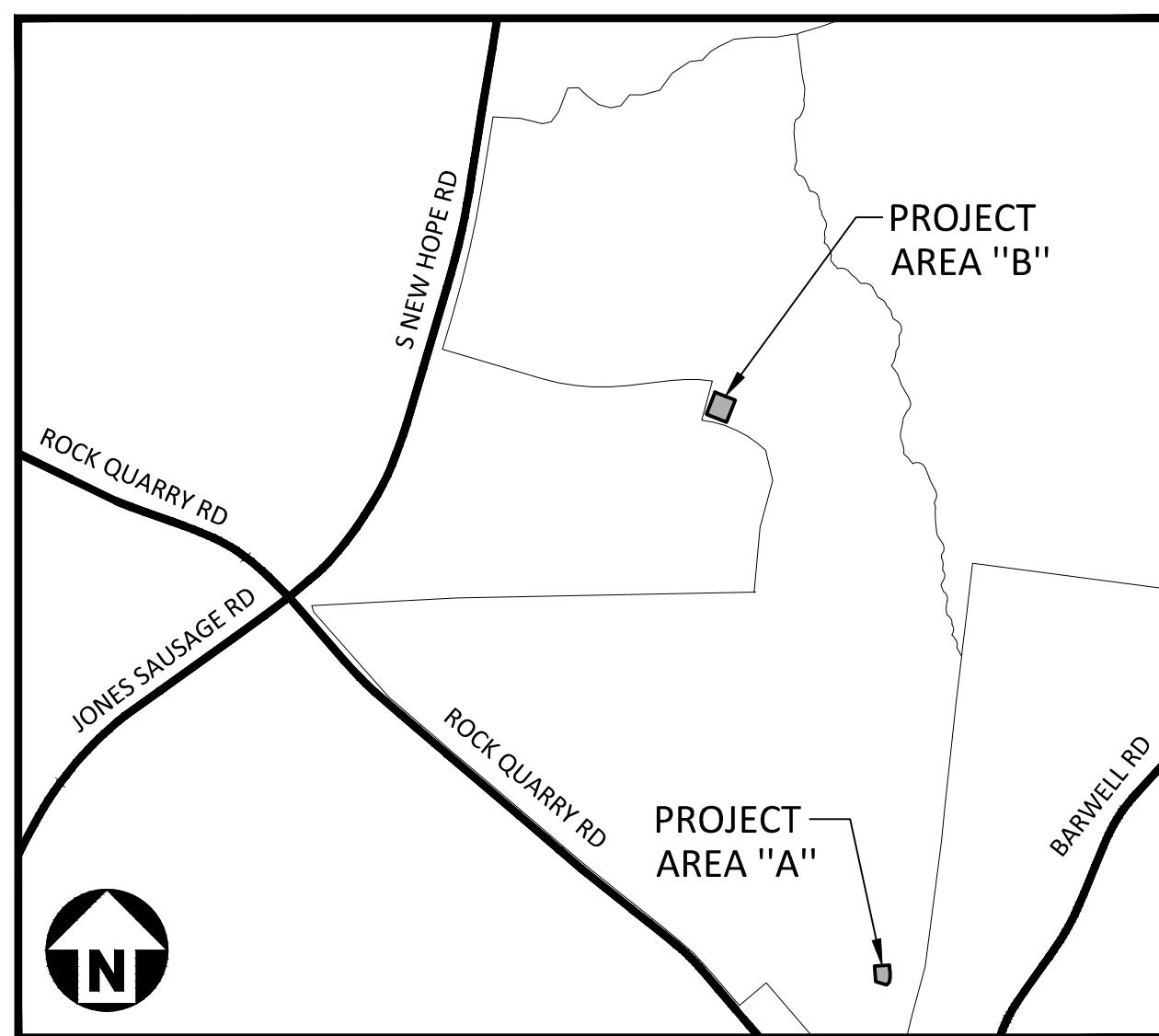
## ZONING CONDITION RESPONSES

- UNITS WITHIN THIS SUBDIVISION WILL STILL KEEP UNDER 1700 UNITS MAXIMUM (SEE COMPLIANCE TABLE BELOW).
- DEDICATION WILL OCCUR PRIOR TO THE 1ST CU, LOT 1 OF S-21-19 DEED OF TRANSFER IS WITH THE CITY ATTORNEY'S OFFICE.
- GREENWAY TRAILS SHOWN ON PROPERTY PER THIS REQUIREMENT WITHIN S-21-19, THIS SITE IS NOT SUBJECT TO GREENWAY STANDARDS.
- THIS REQUIREMENT HAS BEEN EXCEEDED (SEE TABLE BELOW).
- THIS REQUIREMENT DOES NOT APPLY TO THIS SITE, HAS BEEN MET PER ASR-0095-2019.

## SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY THE CITY OF RALEIGH.
- INDIVIDUAL ROLLOUT CARTS WILL BE PROVIDED.

**CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.**



## VICINITY MAP

1" = 1000'

## ZONING CONDITION COMPLIANCE TABLE

DWELLING UNITS:	MAXIMUM ALLOWABLE DWELLING UNITS:	1,700 UNITS
TOTAL PROPOSED UNITS:	1,700 UNITS	1,700 UNITS
ASR-0095-2019 (APARTMENTS):	360 UNITS	360 UNITS
SUB-0007-2020 (LOT 2 TOWNHOUSE):	226 UNITS	226 UNITS
SUB-0070-2020 (LOT 4 & 5 TOWNHOUSE):	305 UNITS	305 UNITS
SUB-0071-2020 (LOT 10 TOWNHOUSE):	209 UNITS	209 UNITS
SUB-0045-2021 (PHASE 2 SINGLE FAMILY):	592 UNITS	592 UNITS
SUB-0008-2024 (8-LOT ADDITION TOWNHOUSE):	8 UNITS	8 UNITS
OPEN SPACE:	GROSS SITE AREA PER SUBDIVISION CASE #S-21-19: 229.70 AC (LOTS 1-12)	0.00 AC
	LESS RIGHT OF WAY DEDICATION: 229.70 AC	
	TOTAL REQUIRED OPEN SPACE: 57.46 ACRES (25% NET SITE AREA)	70.46 AC
	TOTAL OPEN SPACE PROPOSED: 33.98 AC (100% OF LOT SITE AREA)	17.50 AC (39% OF PROJECT SITE AREA)
	LOT 6, 7, 8, 9, 12 OPEN SPACE: 17.50 AC	7.74 AC (16% OF PROJECT SITE AREA)
	LOT 4, 5 OPEN SPACE: 7.74 AC	



Know what's below.  
Call before you dig.

## SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C3.01	GRADING AND STORM DRAINAGE PLAN
C4.01	UTILITY PLAN
C6.10	EROSION CONTROL DETAILS
C6.20	NCGO1 DETAILS
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	UTILITY DETAILS
L5.01	LANDSCAPE PLAN
L5.02	LANDSCAPE NOTES AND DETAILS
L6.00	LIGHTING PERFORMANCE PLAN

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

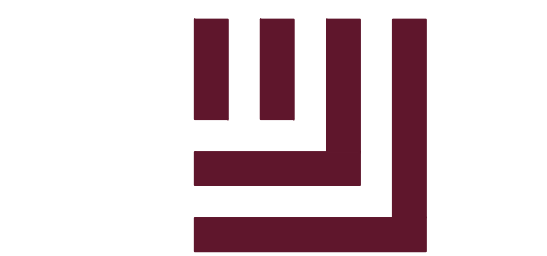
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

## ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



McADAMS

The John R. McAdams Company, Inc.  
 621 Hillsborough Street  
 Suite 500  
 Raleigh, NC 27603  
 phone 919. 361. 5000  
 fax 919. 361. 2269  
 license number: C-0293, C-187

www.mcadamsco.com

## CONTACT

NICK WILLIAMSON  
 williamson@mcadamscsco.com  
 PHONE: 919. 948. 8064

## CLIENT

HALLE BUILDING GROUP  
 56 HUNTER STREET, STE. 110  
 APEX, NC 27502  
 ERIC RIFKIN  
 PHONE: 919. 387. 1885



## PROJECT DIRECTORY

DEVELOPER  
 HALLE BUILDING GROUP  
 56 HUNTER STREET, SUITE 110  
 APEX, NORTH CAROLINA, 27502  
 PHONE: 919. 387. 1885

## REVISIONS

NO. DATE

## PRELIMINARY SUBDIVISION PLAN FOR:

OLDE TOWNE 8-LOT ADDITION  
 LOT 10 & LOT 4/5  
 PROJECT NUMBER: HLE24001

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



## SITE PLAN NOTES

- NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICH EVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCRDACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENSITIVE AREA THOROUGHFARES.
- WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDNANCED BY CITY COUNCIL APPROVAL.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
- ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 10'X20'6" (3000 PSJ) CONCRETE PAD.

## STORM DRAINAGE NOTES

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
- "KNOCK-OUT" BOXES OR HDPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY CITY OF RALEIGH STORMWATER DEPARTMENT.

## CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH A BACKWATER VALVE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 296-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

## GRADING NOTES

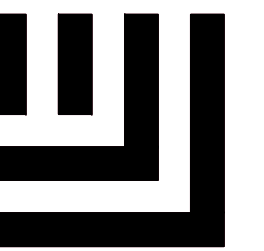
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

## RETAINING WALL NOTES

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCRDACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

## TRAFFIC CONTROL NOTES

- THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- NO WORK ON, OR BLOCKAGE OF, EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPARTMENT - TRANSPORTATION OPERATIONS DIVISION AT (919)-996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT TO OBTAIN A STREET CUT PERMIT. THE PERMIT FORM IS ON-LINE (RALEIGH.GOV) AND SHALL BE COMPLETED AND FAXED TO (919)-516-2685. THE PERMIT LASTS FOR 30 DAYS AND CAN BE EXTENDED AT NO COST IF REQUEST IS MADE PRIOR TO PERMITS EXPIRATION DATE. INQUIRIES SHALL BE MADE AT (919)-996-2430.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



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**OLDE TOWNE 8-LOT ADDITION  
PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610**

## REVISIONS

NO. DATE

## PLAN INFORMATION

PROJECT NO. HLE24001  
FILENAME HLE24001-N1  
CHECKED BY JCM  
DRAWN BY CHB  
SCALE 1"=30'  
DATE 05. 22. 2024

## SHEET

## PROJECT NOTES

**C0.01**



**CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.**





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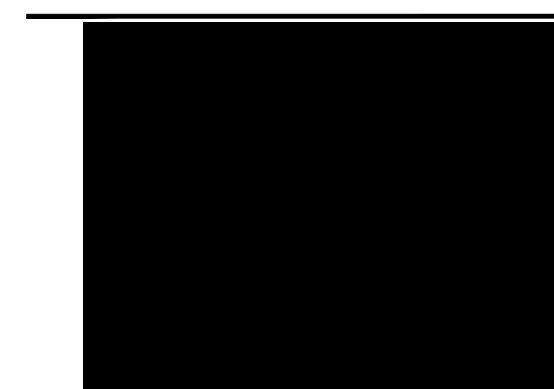
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PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610**



**REVISIONS**

NO. DATE

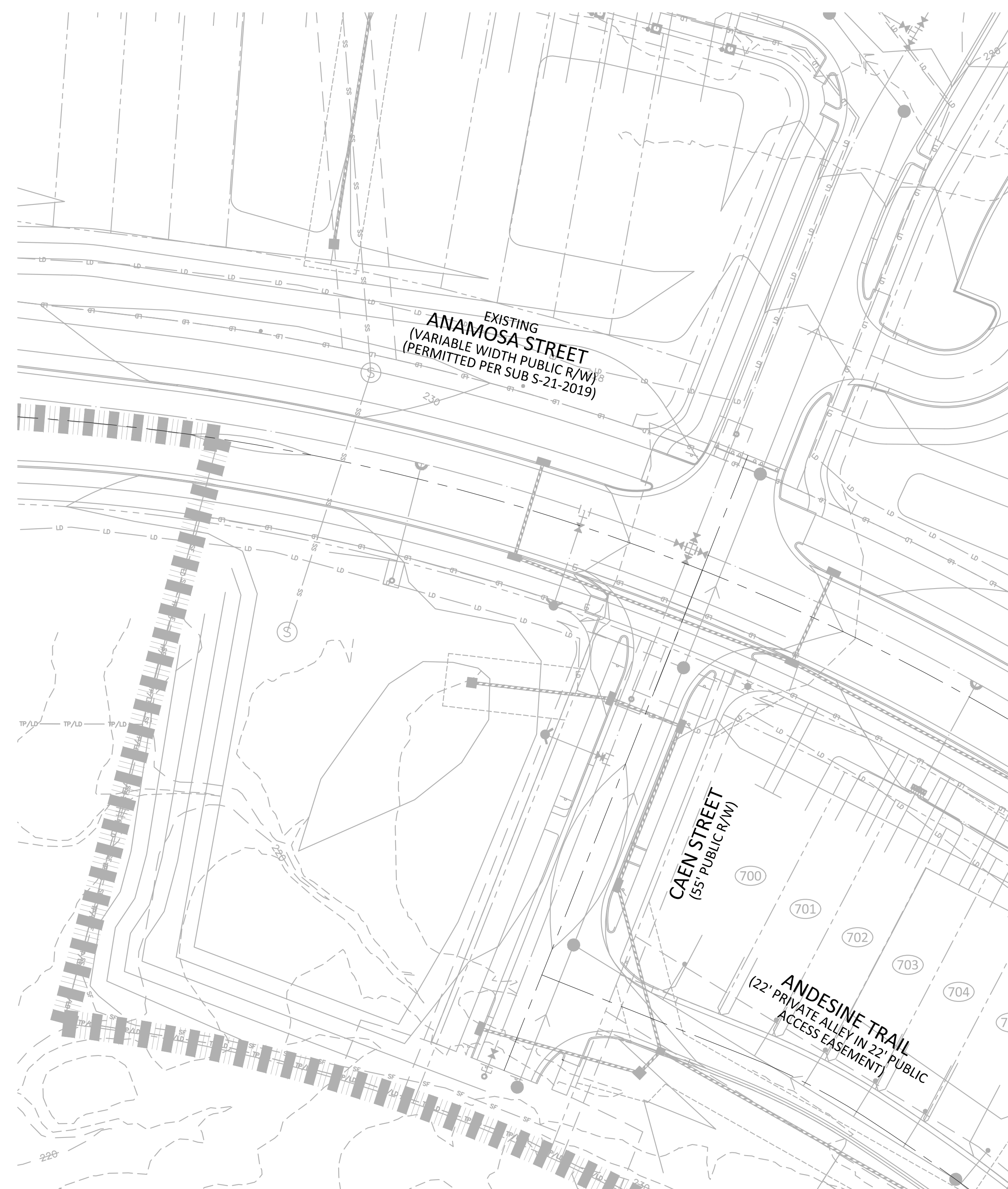
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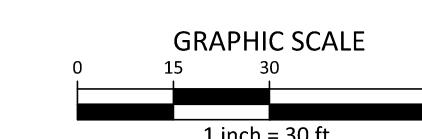
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**EXISTING CONDITIONS**

**C1.00**



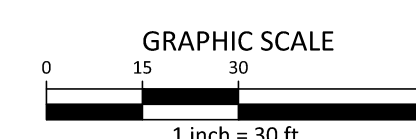
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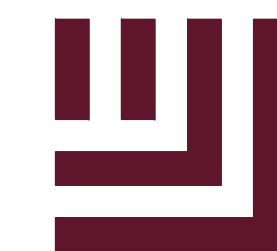


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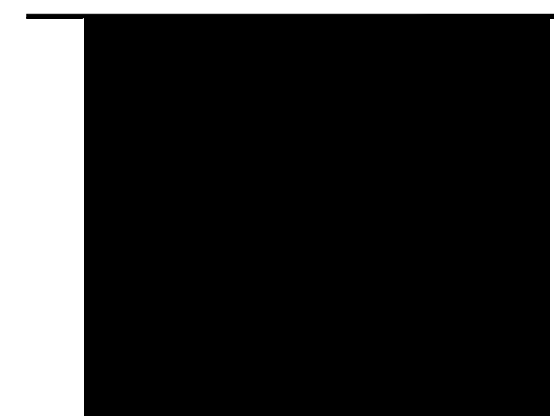
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NO. DATE

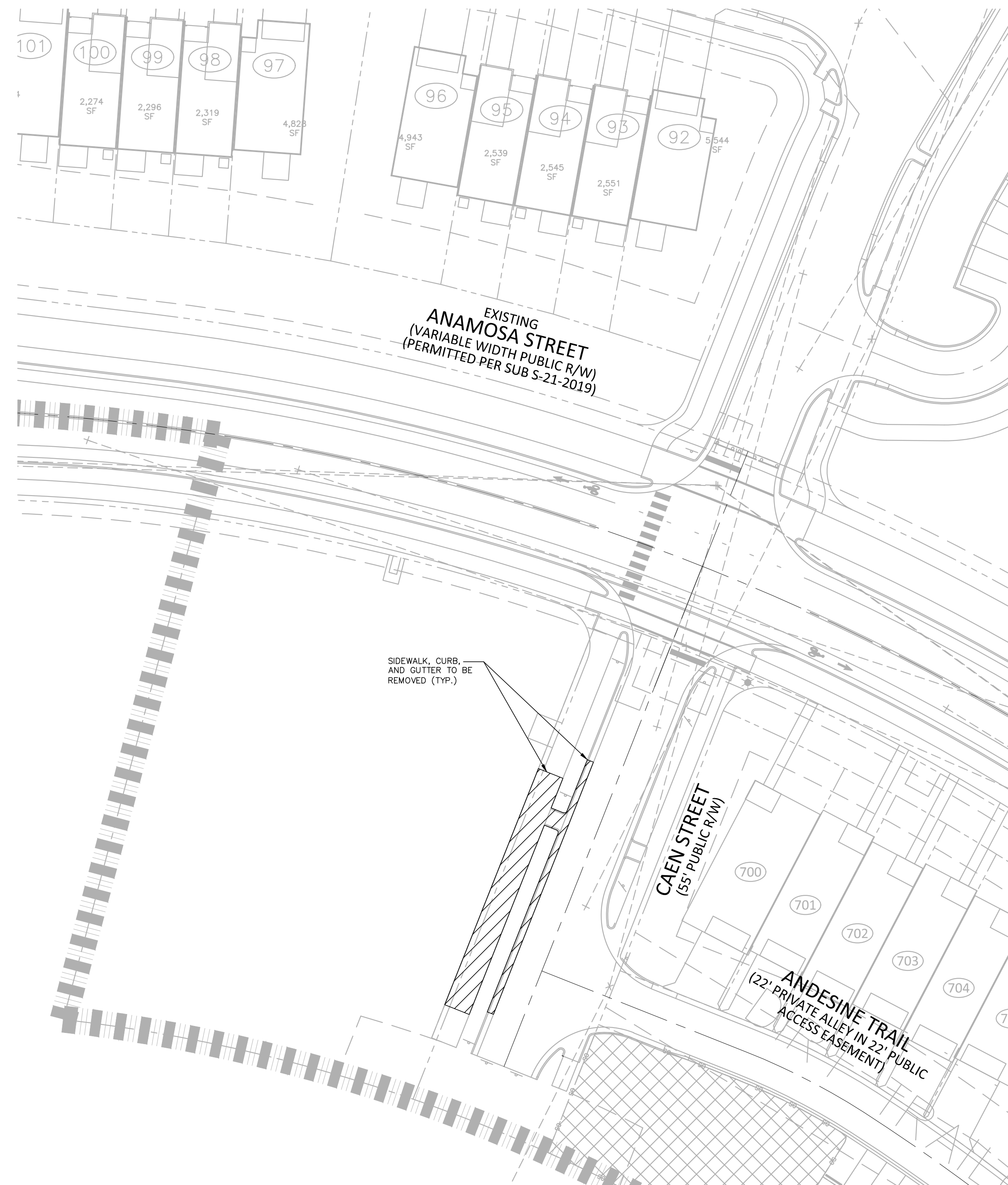
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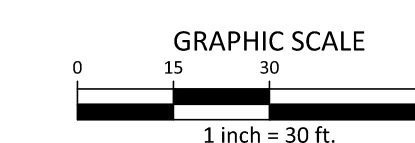
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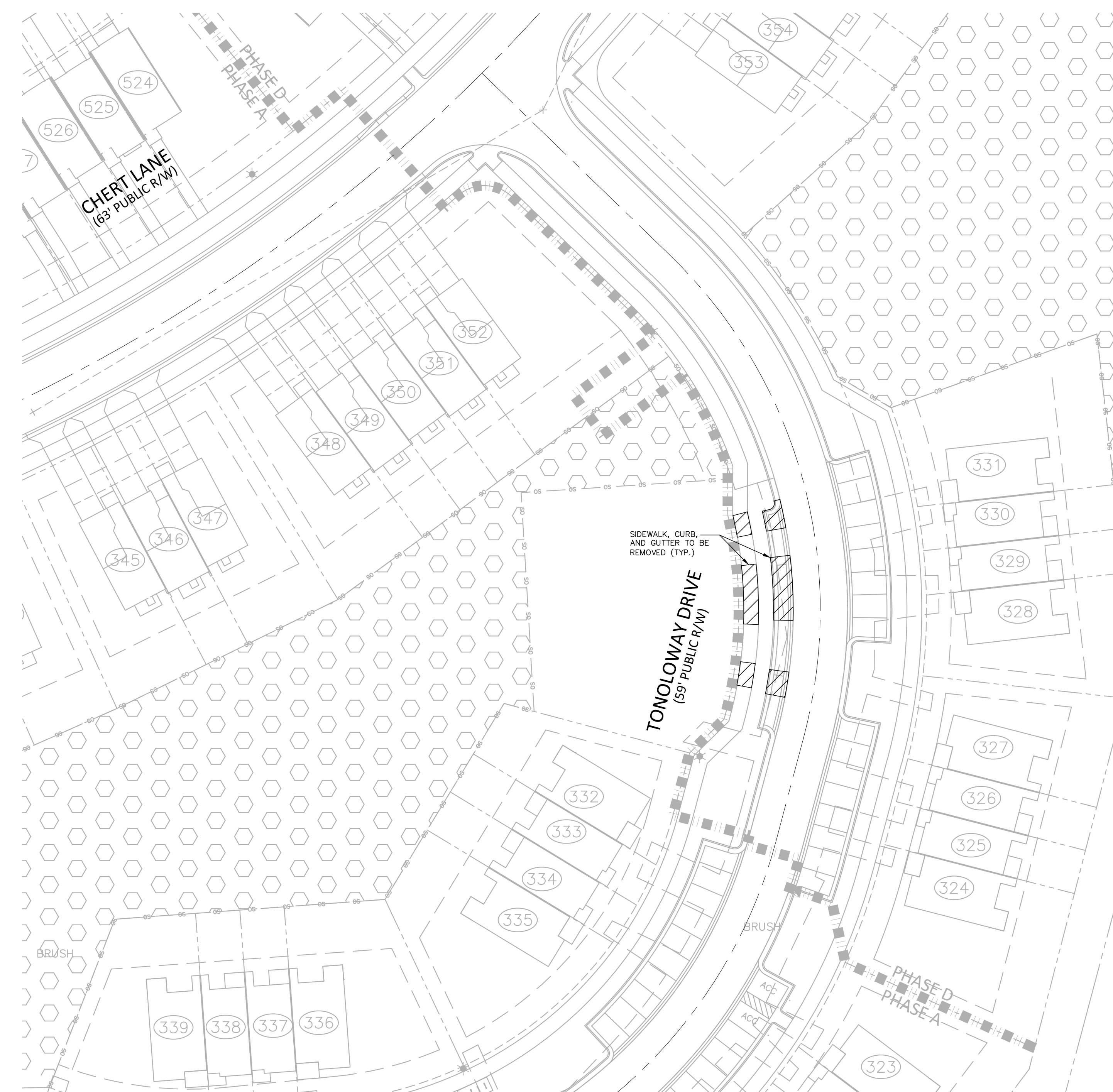
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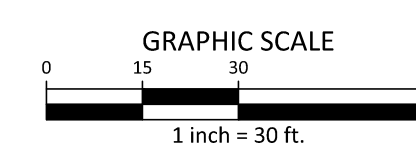
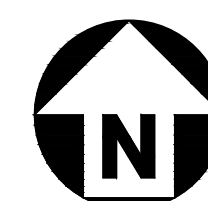
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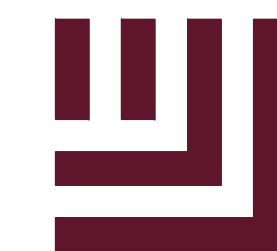


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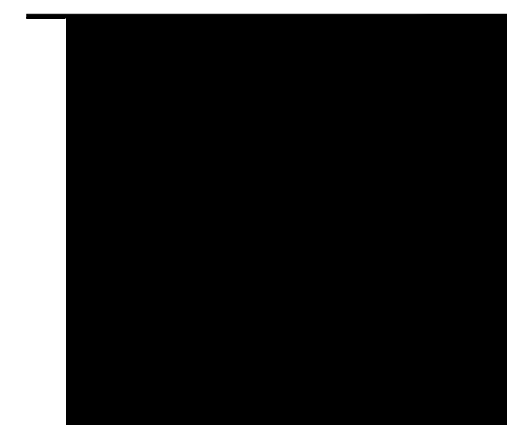
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**OLDE TOWNE 8-LOT ADDITION  
PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610**



**REVISIONS**

NO. DATE

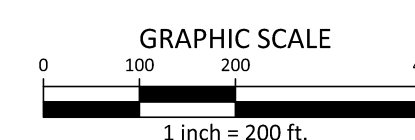
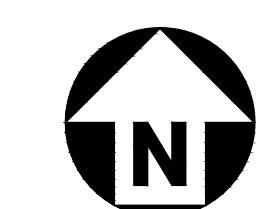
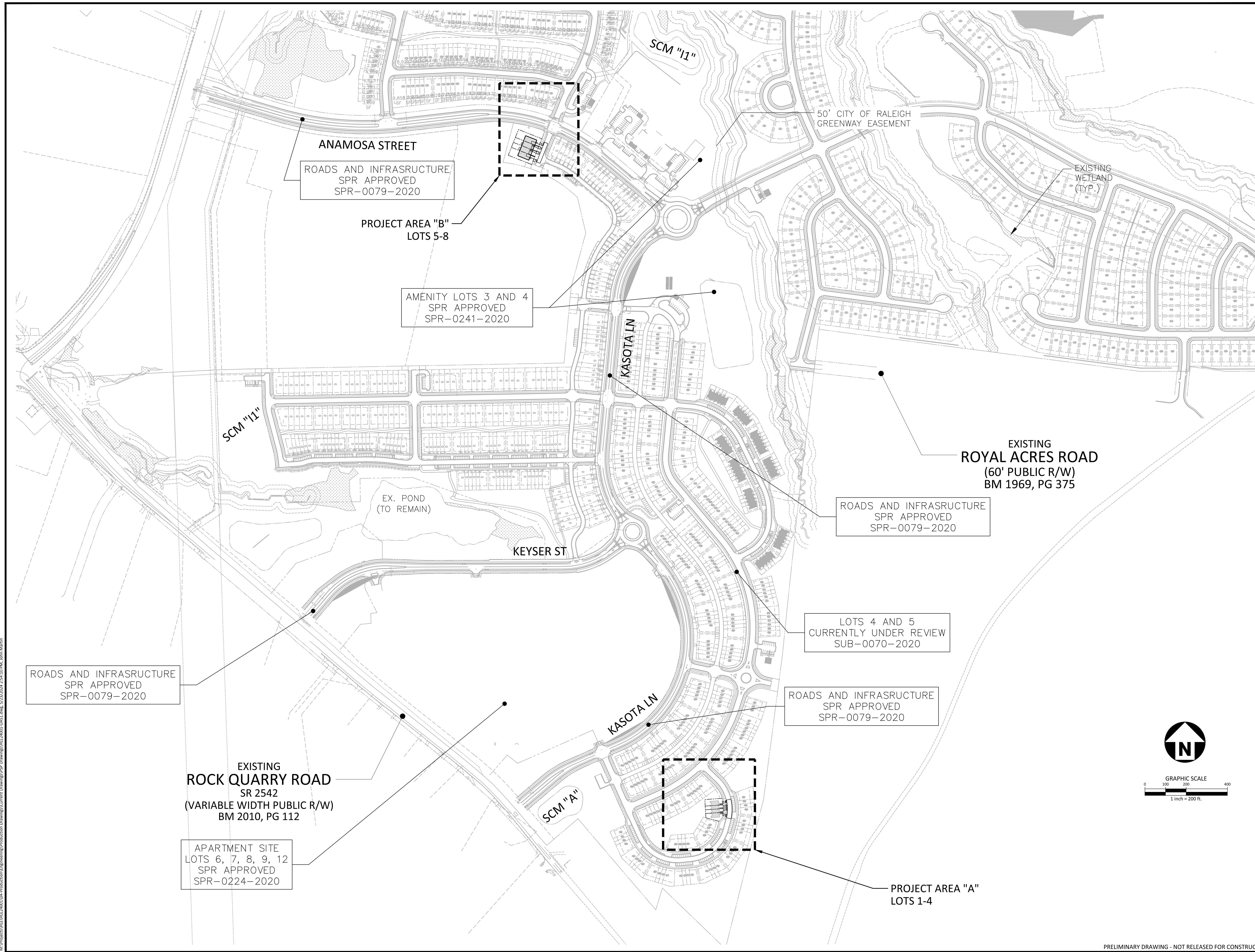
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DATE 05. 22. 2024

**SHEET**

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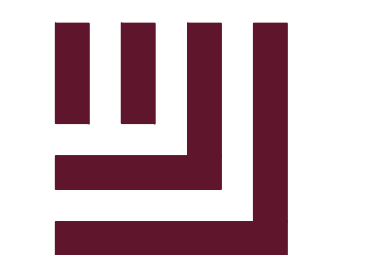
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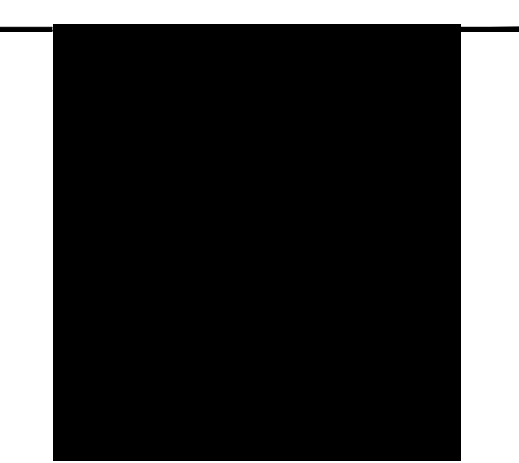
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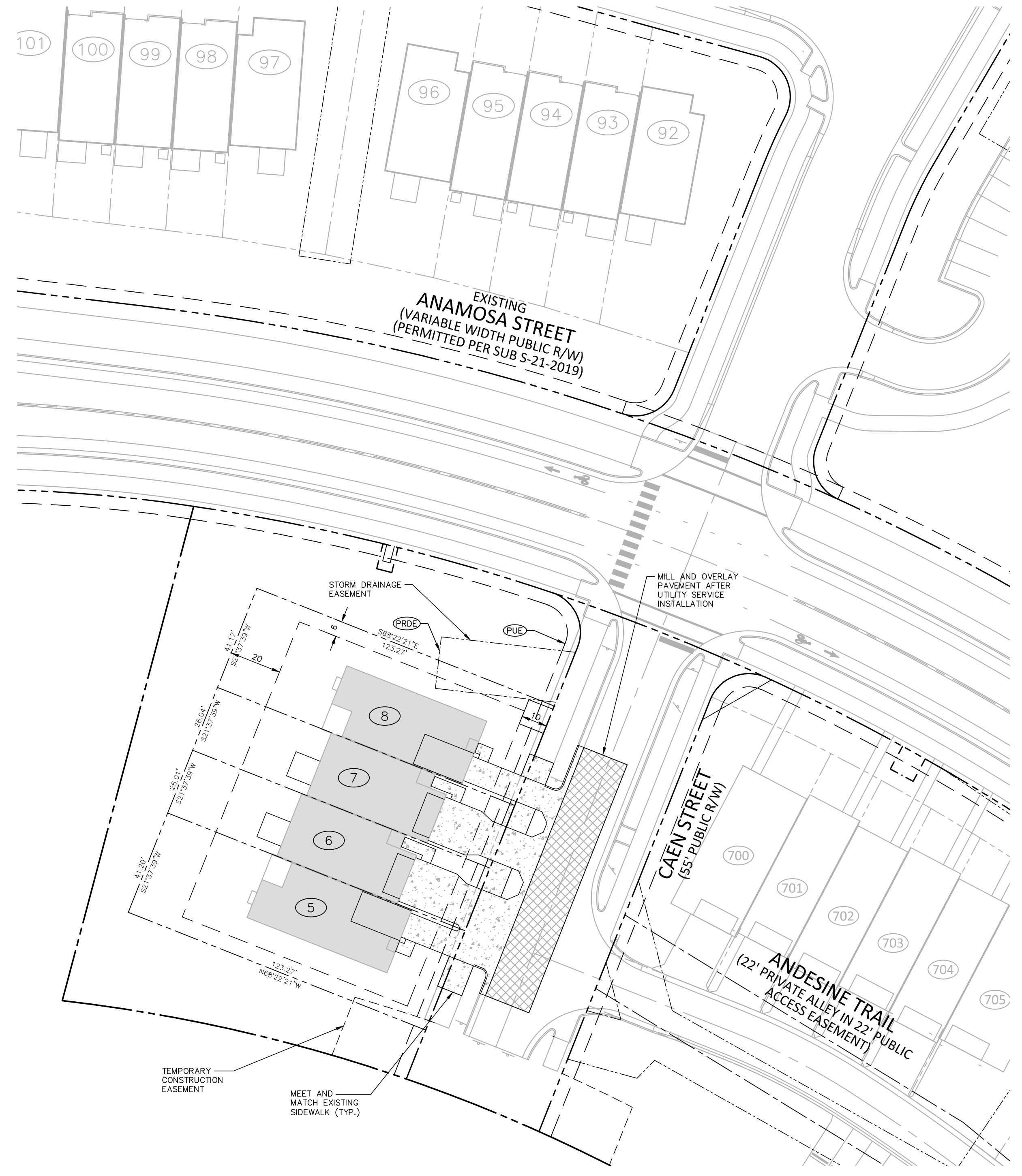
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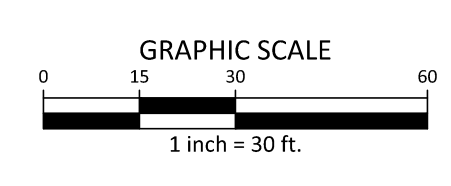
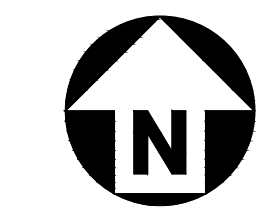
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**EASEMENT LEGEND**  
PUE 5' UTILITY PLACEMENT EASEMENT  
PRDE PRIVATE STORM DRAINAGE EASEMENT

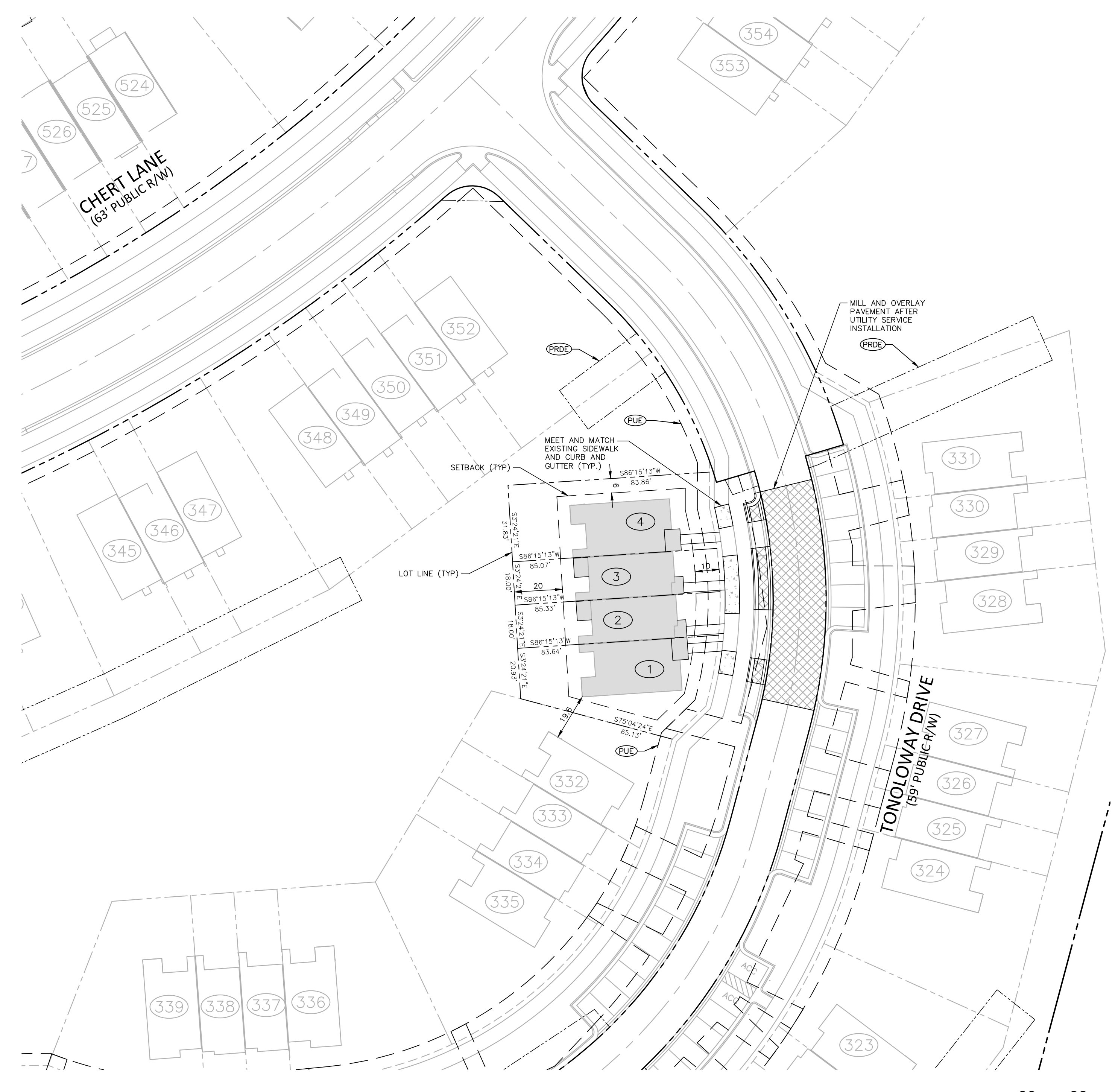
**SITE LEGEND**  
SIGNAGE  
ACC VAN  
VAN ACCESSIBLE PARKING STALL  
PARKING SPACE COUNT  
ACCESSIBLE RAMPS  
ACCESSIBLE ROUTE  
PHASE LINE  
PROPERTY LINE  
RIGHT-OF-WAY LINE  
LOT LINE  
EASEMENT LINE  
CENTERLINE



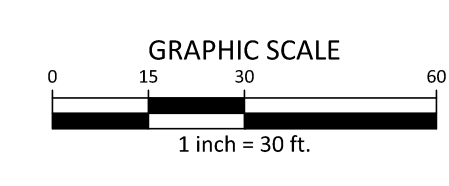
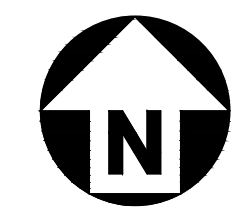
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

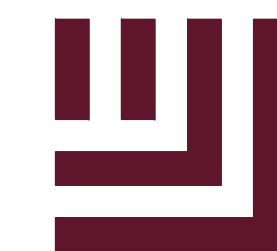


**AREA "A"**



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**OLDE TOWNE 8-LOT ADDITION  
PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610**



**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	HLE24001
FILENAME	HLE24001-G1
CHECKED BY	JCM
DRAWN BY	CHB
SCALE	1"=30'
DATE	05.22.2024

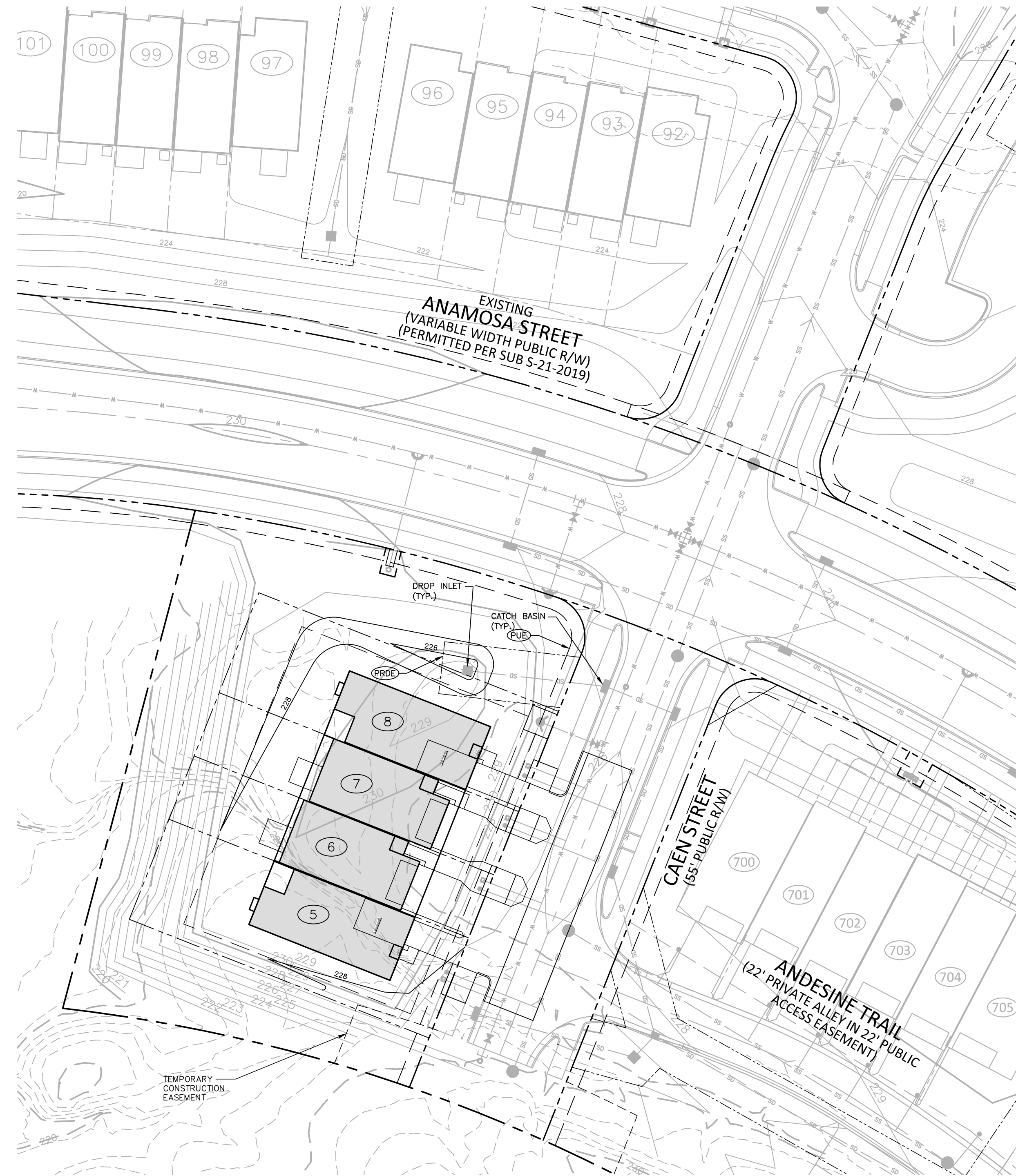
**SHEET**

**GRADING AND STORM DRAINAGE PLAN**

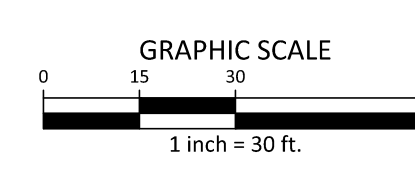
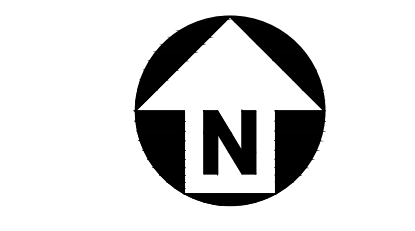
**C3.01**

**EASEMENT LEGEND**

- 5' UTILITY PLACEMENT EASEMENT
- PRIVATE STORM DRAINAGE EASEMENT



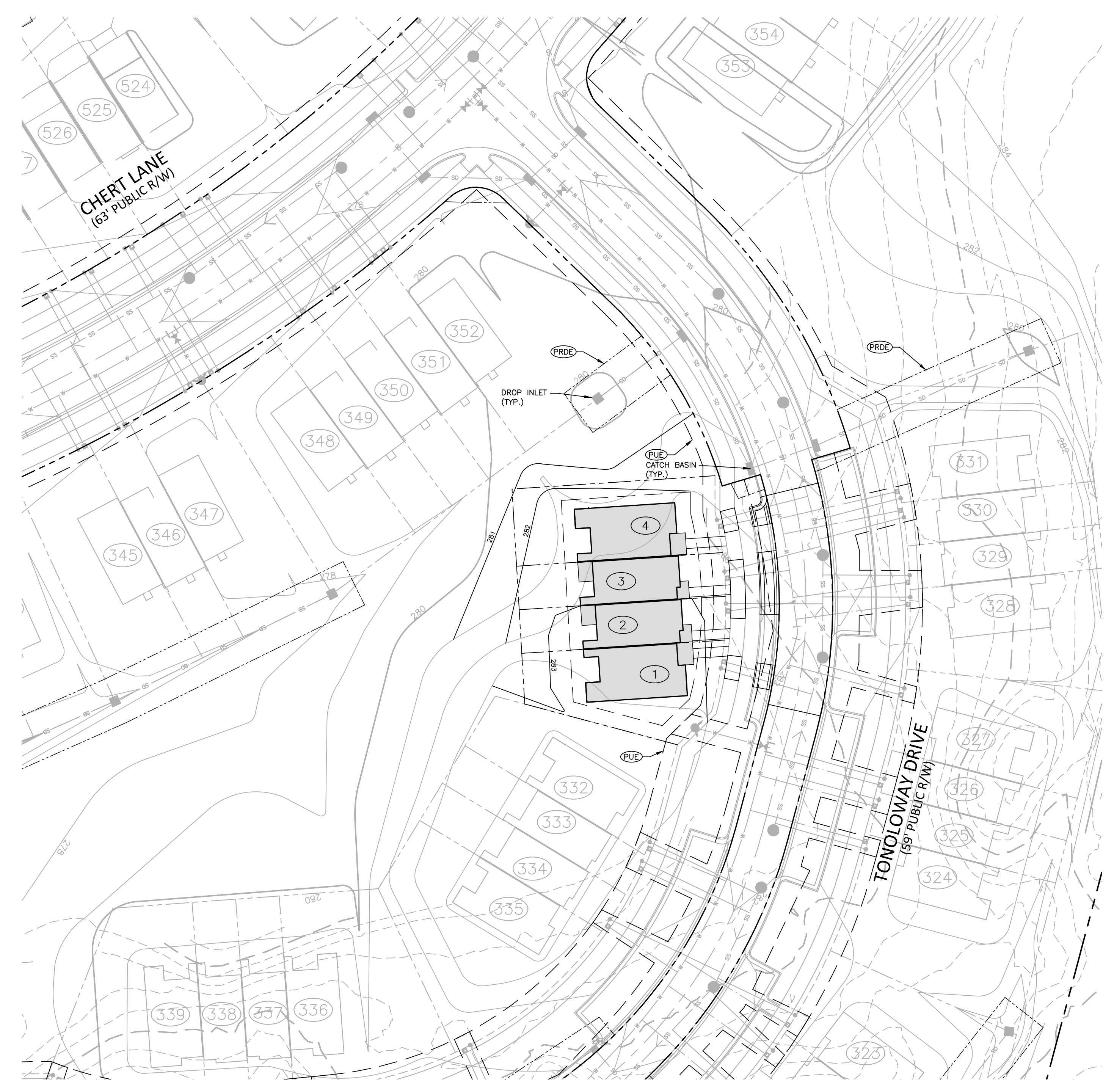
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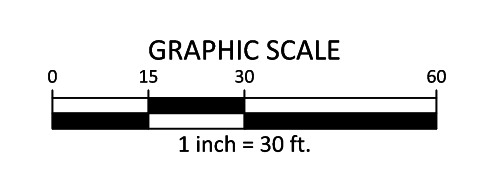
**GRADING LEGEND**

	FLARED END SECTION		SPOT ELEVATION
	ENDWALL SECTION		STORM DRAINAGE
	CATCH BASIN		STORM SERVICE LINE
	DROP INLET		TREE PROTECTION FENCE
	STORM SERVICE INLET		LIMITS OF DISTURBANCE
	STORM SERVICE ROOF-RAIN		WOODED AREA
	JUNCTION BOX		MAJOR CONTOUR
	DRAINAGE FLOW ARROW		MINOR CONTOUR
	LINE BREAK SYMBOL		EXISTING MAJOR CONTOUR
	TOP & BOTTOM CURB ELEVATIONS		EXISTING MINOR CONTOUR
	TOP OF WALL ELEVATION		EASEMENT LINE
	BOTTOM OF WALL ELEVATION		ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)

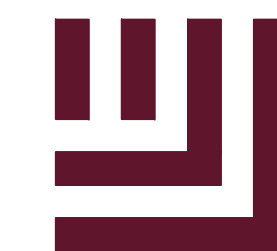


**AREA "A"**



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LOT 10 AND LOTS 4/5  
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**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. HLE24001  
FILENAME HLE24001-U1  
CHECKED BY JCM  
DRAWN BY CHB  
SCALE 1"=30'  
DATE 05.22.2024

**SHEET**

**UTILITY PLAN**

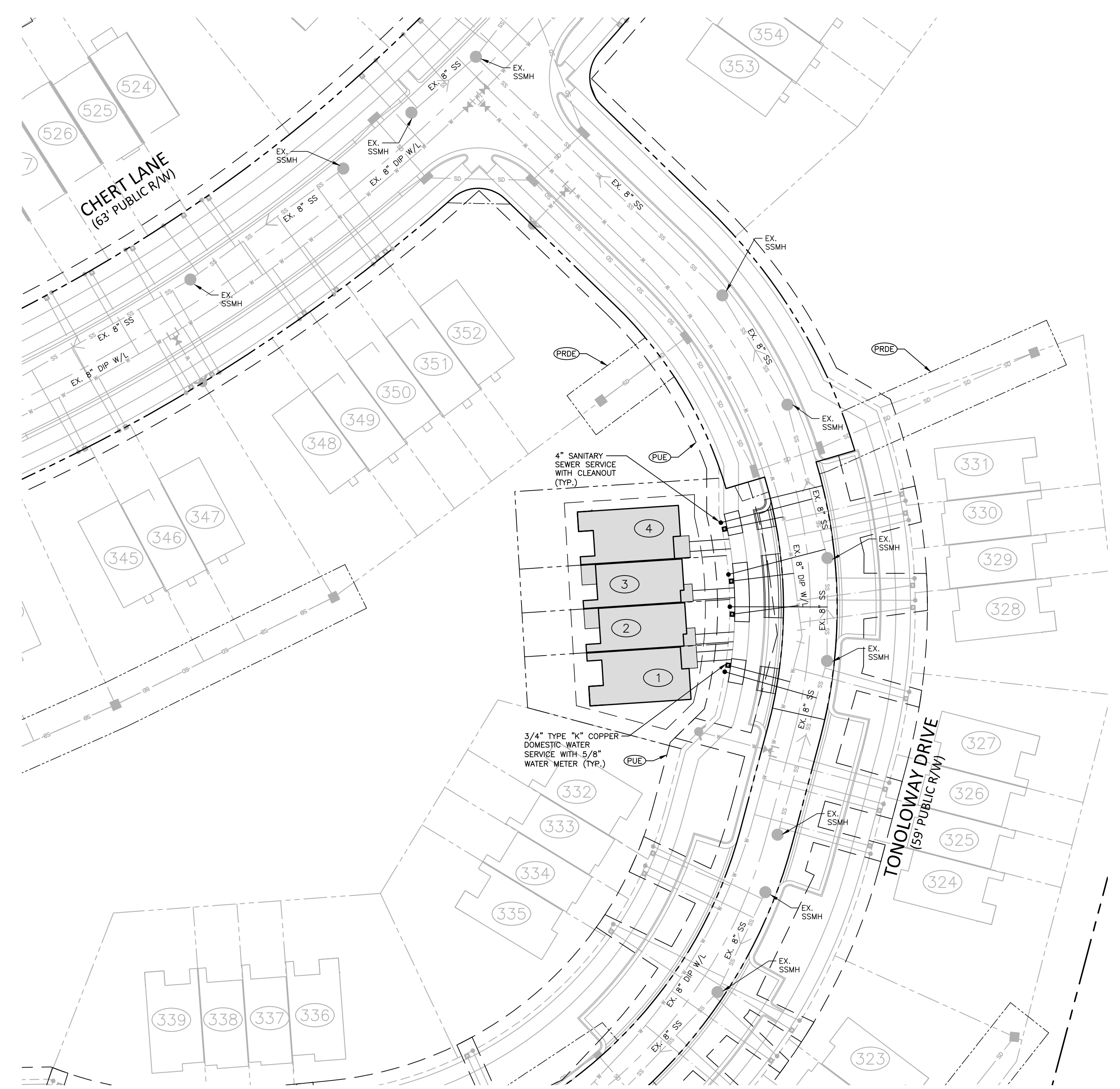
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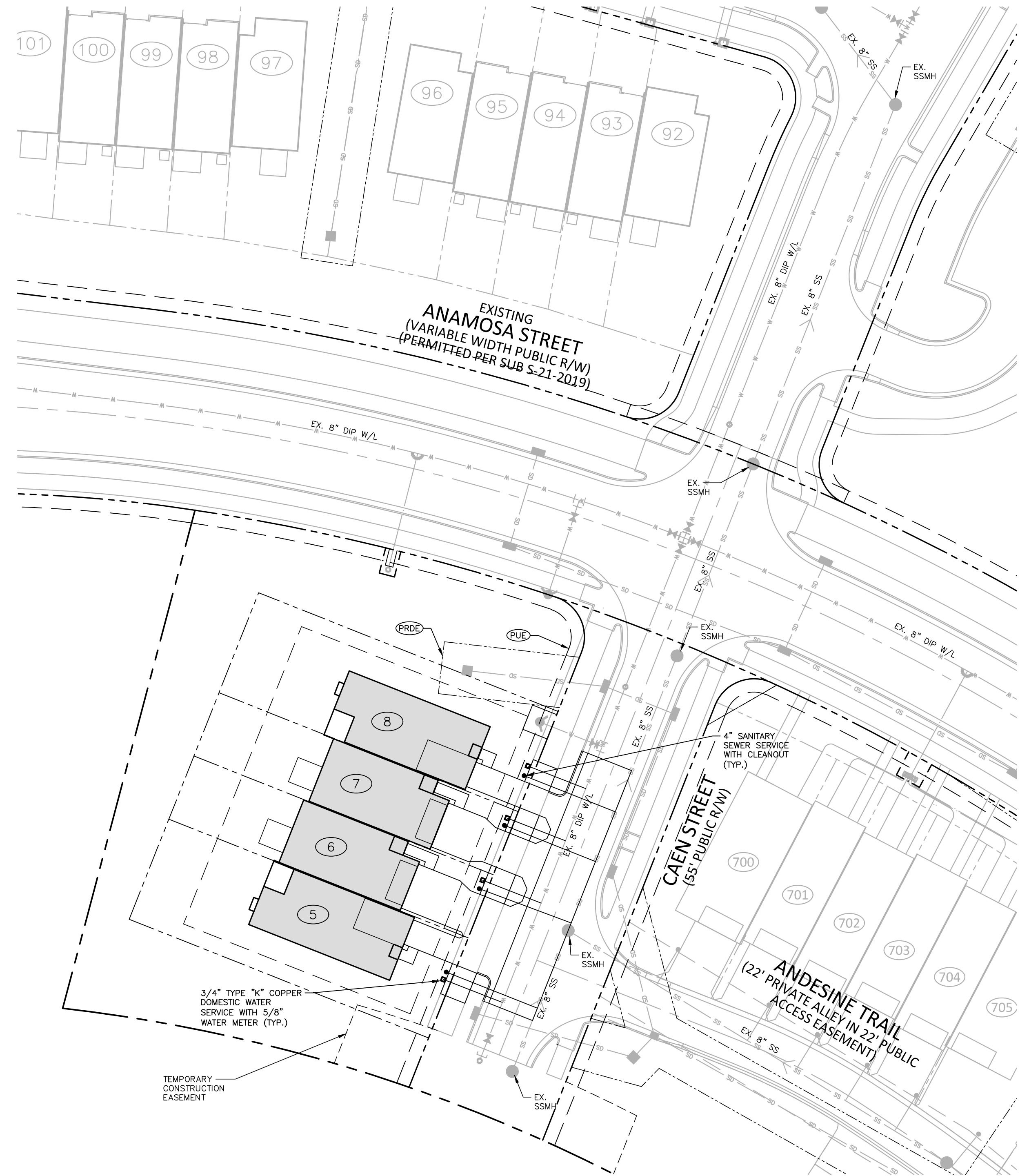
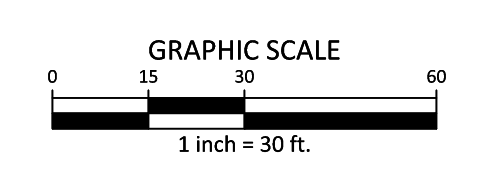
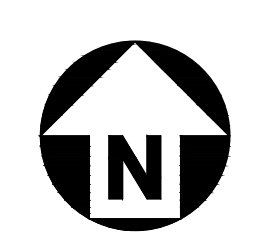
- 5' UTILITY PLACEMENT EASEMENT
- PRIVATE STORM DRAINAGE EASEMENT

**UTILITY LEGEND**

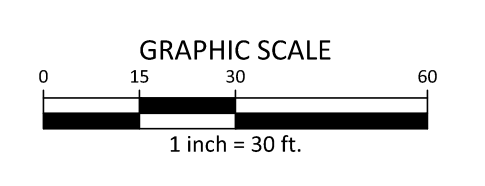
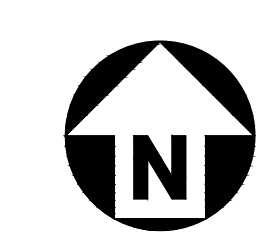
- FIRE HYDRANT ASSEMBLY
- WATER METER
- WATER VALVE
- METER & VAULT
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- SEWER FLOW DIRECTION
- ARROW
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



**AREA "A"**



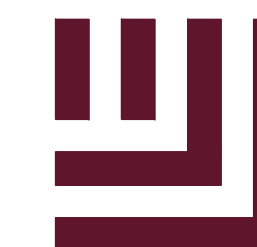
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610**



**REVISIONS**

NO. DATE

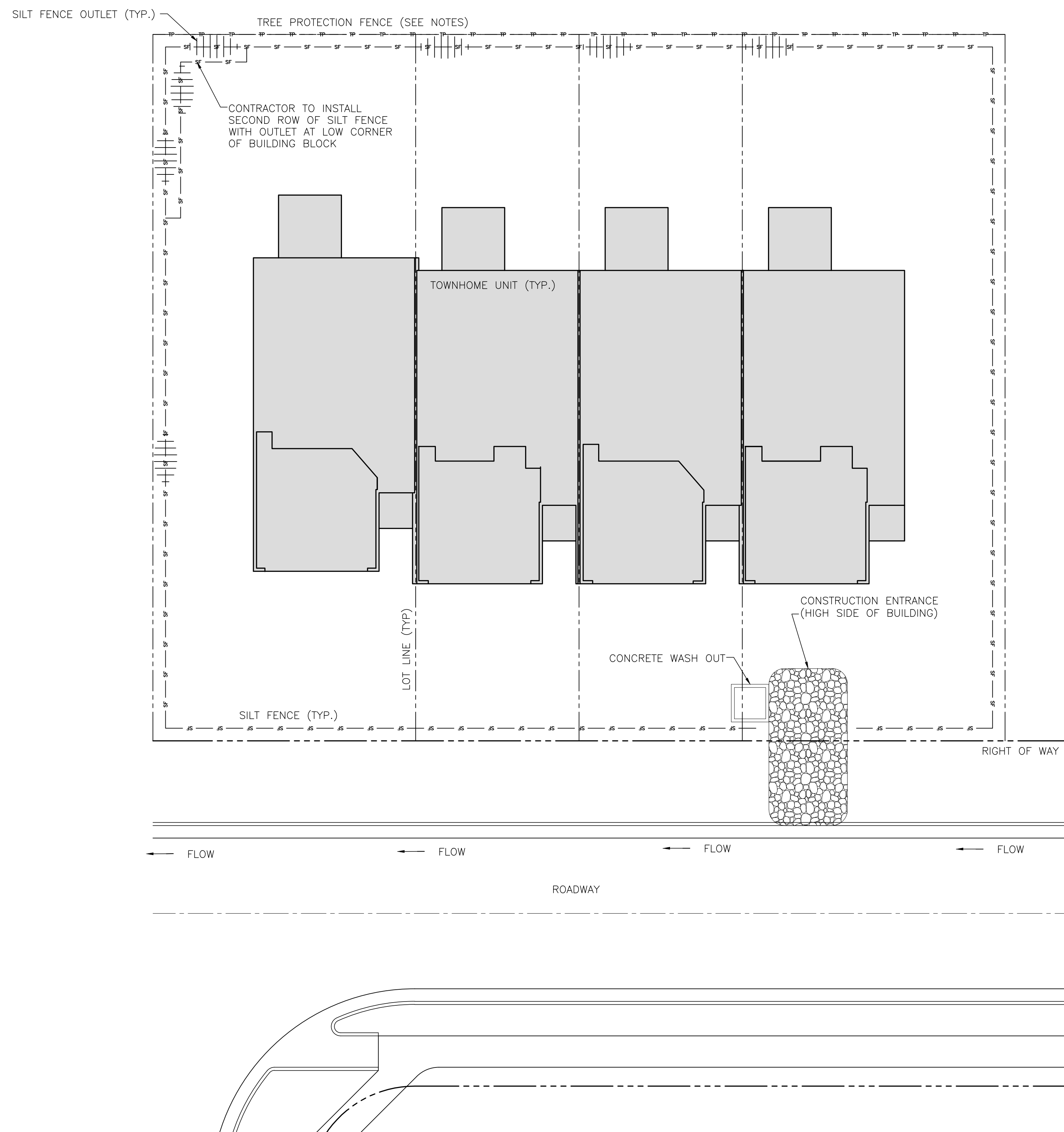
**PLAN INFORMATION**

PROJECT NO. HLE24001  
FILENAME HLE24001-EC1  
CHECKED BY JCM  
DRAWN BY CHB  
SCALE 1"=30'  
DATE 05. 22. 2024

**SHEET**

**EROSION CONTROL  
DETAILS**

**C6.10**



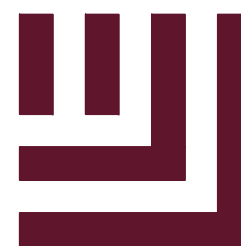
**NOTES:**

1. TREE PROTECTION FENCE SHOULD BE INSTALLED ALONG REAR PROPERTY LINES WHEN ADJACENT TO RIPARIAN BUFFER ZONES, WETLANDS AND/OR 25 FT. TREE AND VEGETATION PROTECTION ZONE.
2. WRAP EACH GROUP OF LOTS, FOR ONE TOWNHOME BUILDING WITH SILT FENCE ON ALL SIDES AND INSTALL SILT FENCE OUTLETS SHOWN ON SCHEMATIC/DIAGRAM AND AS NEEDED ON LOW SIDE OF AREA ENCOMPASSED WITH SILT FENCE.
3. CONSTRUCTION ENTRANCE SHOULD BE INSTALLED AT THE HIGH SIDE OF THE AREA ENCOMPASSED BY SILT FENCE.
4. THESE DETAILS ARE FOR ONLY AREAS WITH DISTURBED AREA LESS THAN 1 ACRE.
5. INLETS DOWNSTREAM OF THE DISTURBANCES SHOULD BE PROTECTED, STREETS SHOULD BE SWEEPED DAILY, AND MEASURES REMOVED OR DAMAGED BY SUB-CONTRACTORS OR UTILITIES SHALL BE RE-INSTALLED AT THE END OF THE WORK DAY.
6. DETAILS FOR SILT FENCE, SILT FENCE OUTLET, CONSTRUCTION ENTRANCE AND OTHER MEASURES ARE PROVIDED ON OTHER SHEETS.
7. SILT FENCE SHOULD ONLY BE INSTALLED AT THE EDGE OF THE LIMITS OF DISTURBANCE AT THE BACK OF THE LOTS.

**TOWNHOME BUILDING EROSION CONTROL DETAIL**

N.T.S.





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OLDE TOWNE 8-LOT ADDITION
PRELIMINARY SUBDIVISION PLAN
LOT 10 AND LOTS 4/5
RALEIGH, NORTH CAROLINA, 27610

REVISIONS

NO. DATE

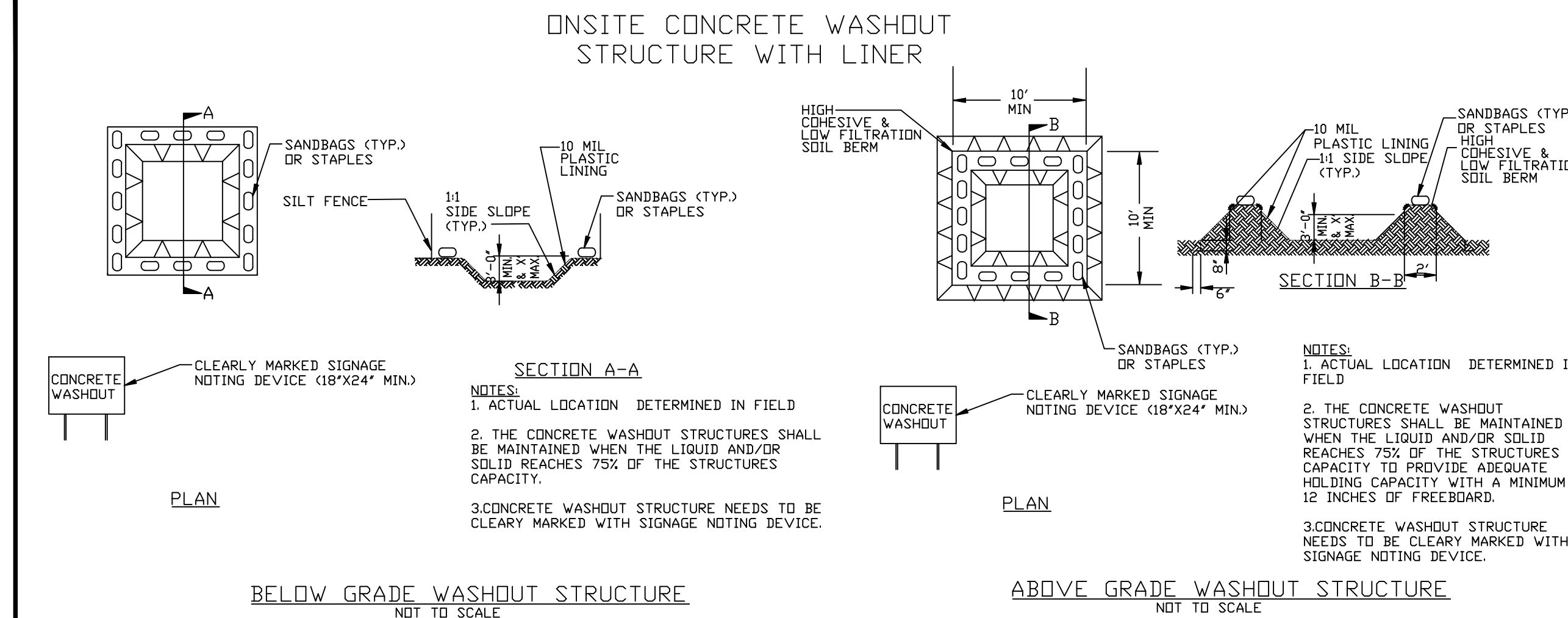
PLAN INFORMATION

PROJECT NO. HLE24001
FILENAME HLE24001-EC3
CHECKED BY JCM
DRAWN BY CHB
SCALE 1"=30'
DATE 05. 22. 2024

NCG01 DETAILS

C6.20

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively).

SECTION E: GROUND STABILIZATION

Table with 3 columns: Site Area Description, Required Ground Stabilization Timeframes, and Timeframe variations.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Table with 2 columns: Temporary Stabilization and Permanent Stabilization, listing various methods like straw, mulch, geotextile, etc.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction...
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants...
4. Provide ponding area for containment of treated stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- 1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- 1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

CONCRETE WASHOUTS

- 1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout.
8. Install at least one sign directing concrete trucks to the washout within the project limits.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility.

HERBICIDES, PESTICIDES AND RODENTICIDES

- 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- 1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection.

Table with 3 columns: Inspect, Frequency (during normal business hours), and Inspection records must include.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible.

- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur.
(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
(c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin.
(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
(f) Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S Plan Documentation
The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit.

Table with 2 columns: Item to Document and Documentation Requirements.

2. Additional Documentation to be Kept on Site
In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical.

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported
Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
(b) Oil spills if:
- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).
(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
(d) Anticipated bypasses and unanticipated bypasses.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below.

Table with 2 columns: Occurrence and Reporting Timeframes (After Discovery) and Other Requirements.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19





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OLDE TOWNE 8-LOT ADDITION
PRELIMINARY SUBDIVISION PLAN
LOT 10 AND LOTS 4/5
RALEIGH, NORTH CAROLINA, 27610

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. HLE24001
FILENAME HLE24001-D1
CHECKED BY JCM
DRAWN BY CHB
SCALE 1"=30'
DATE 05.22.2024

SHEET

SITE DETAILS

C8.00

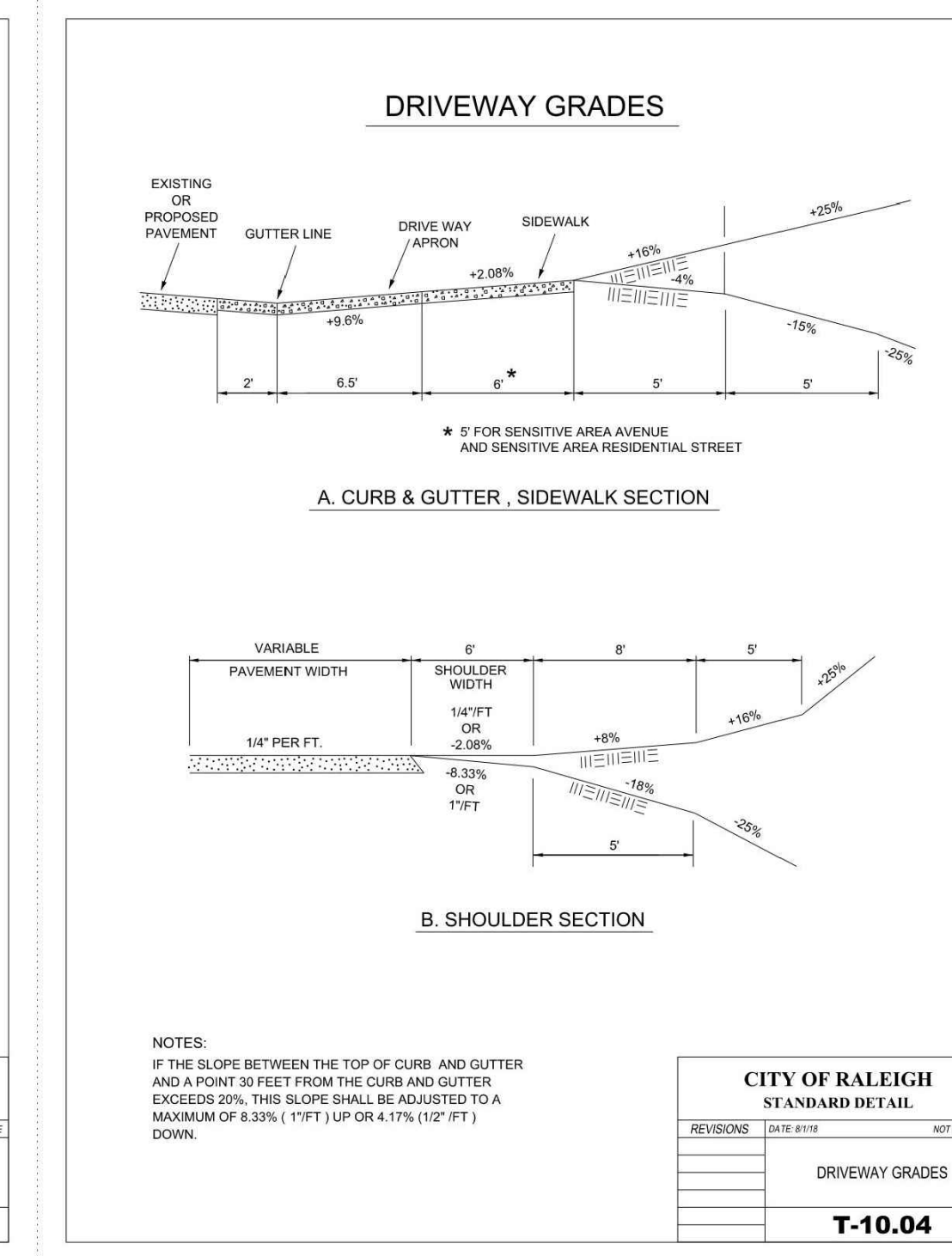


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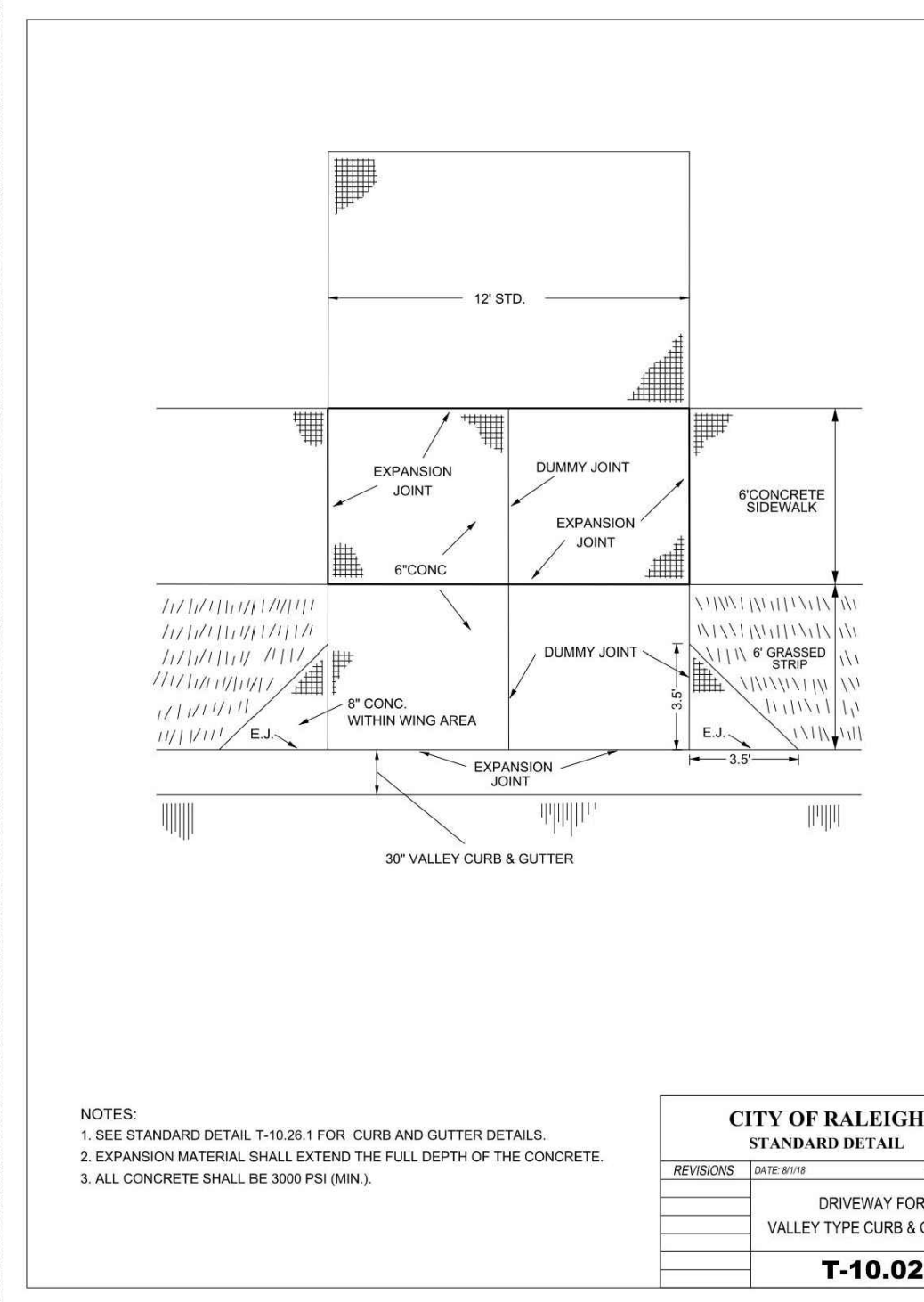


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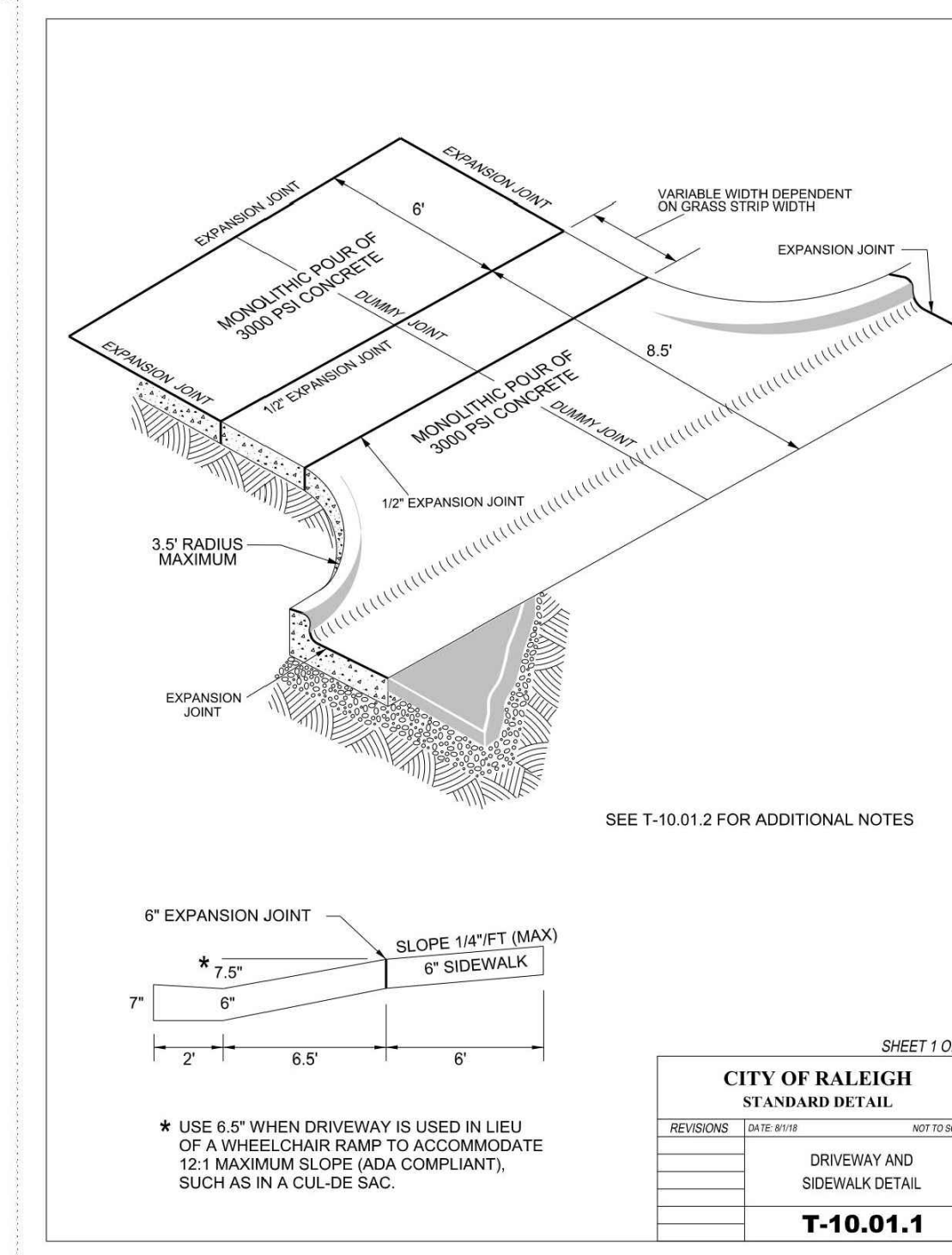


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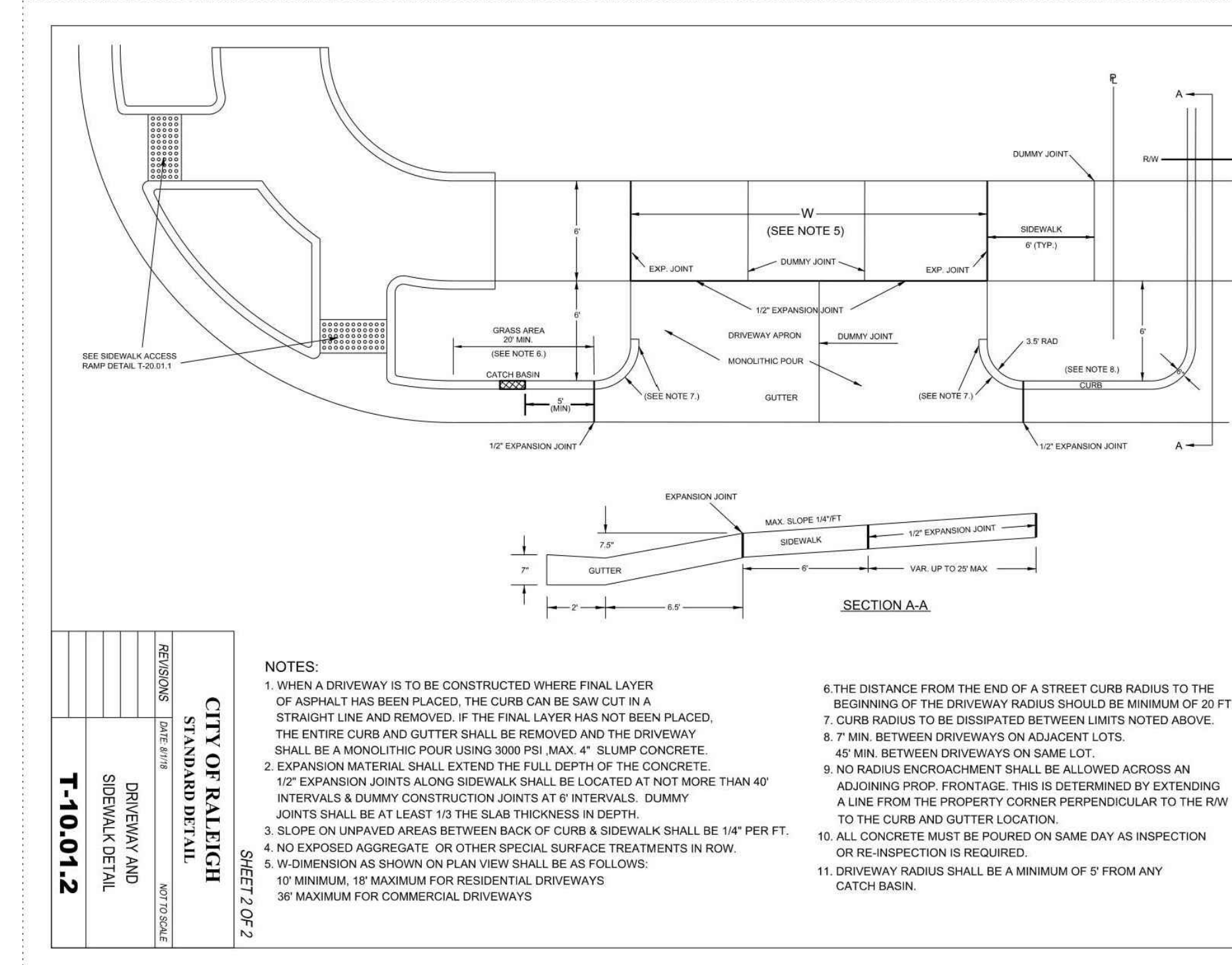


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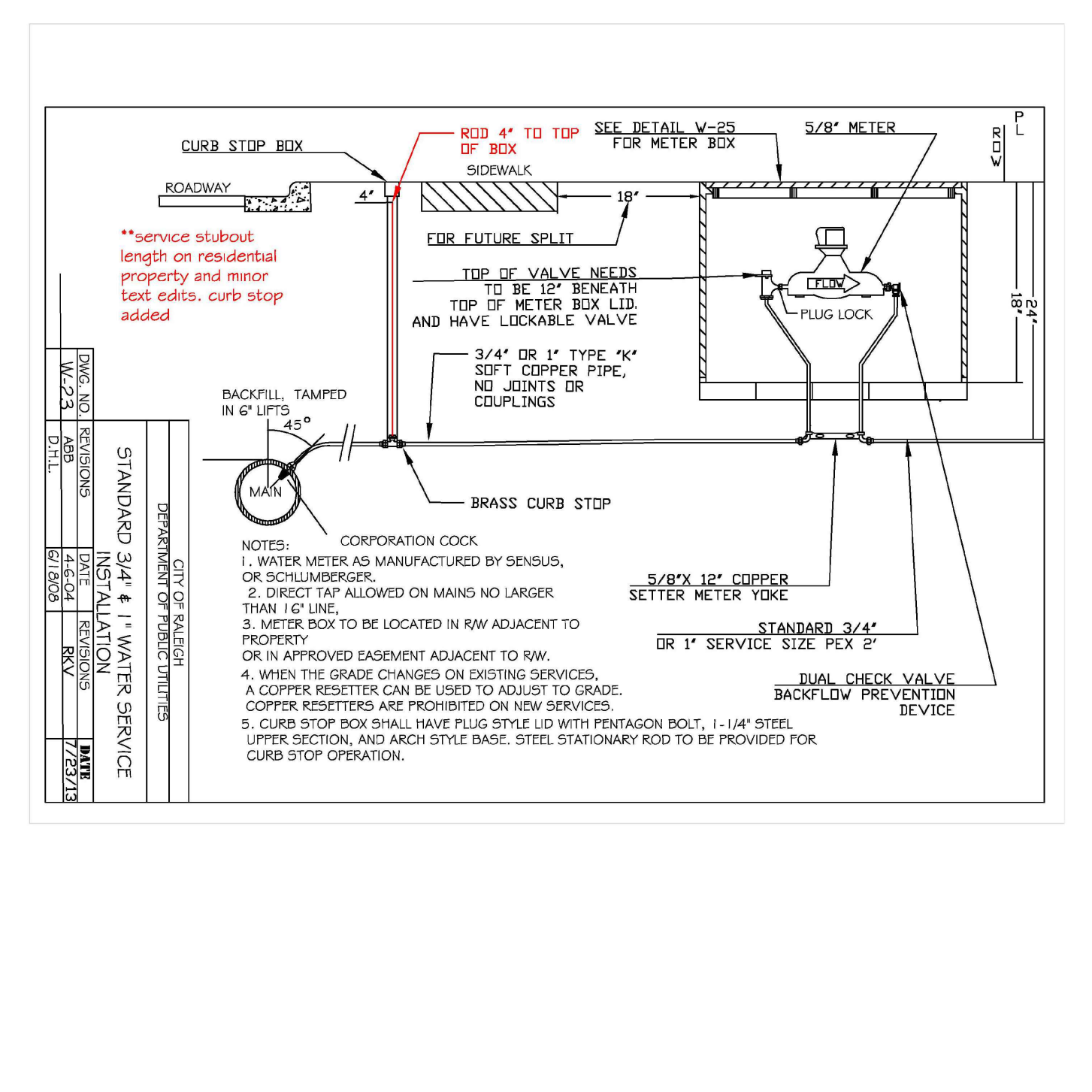


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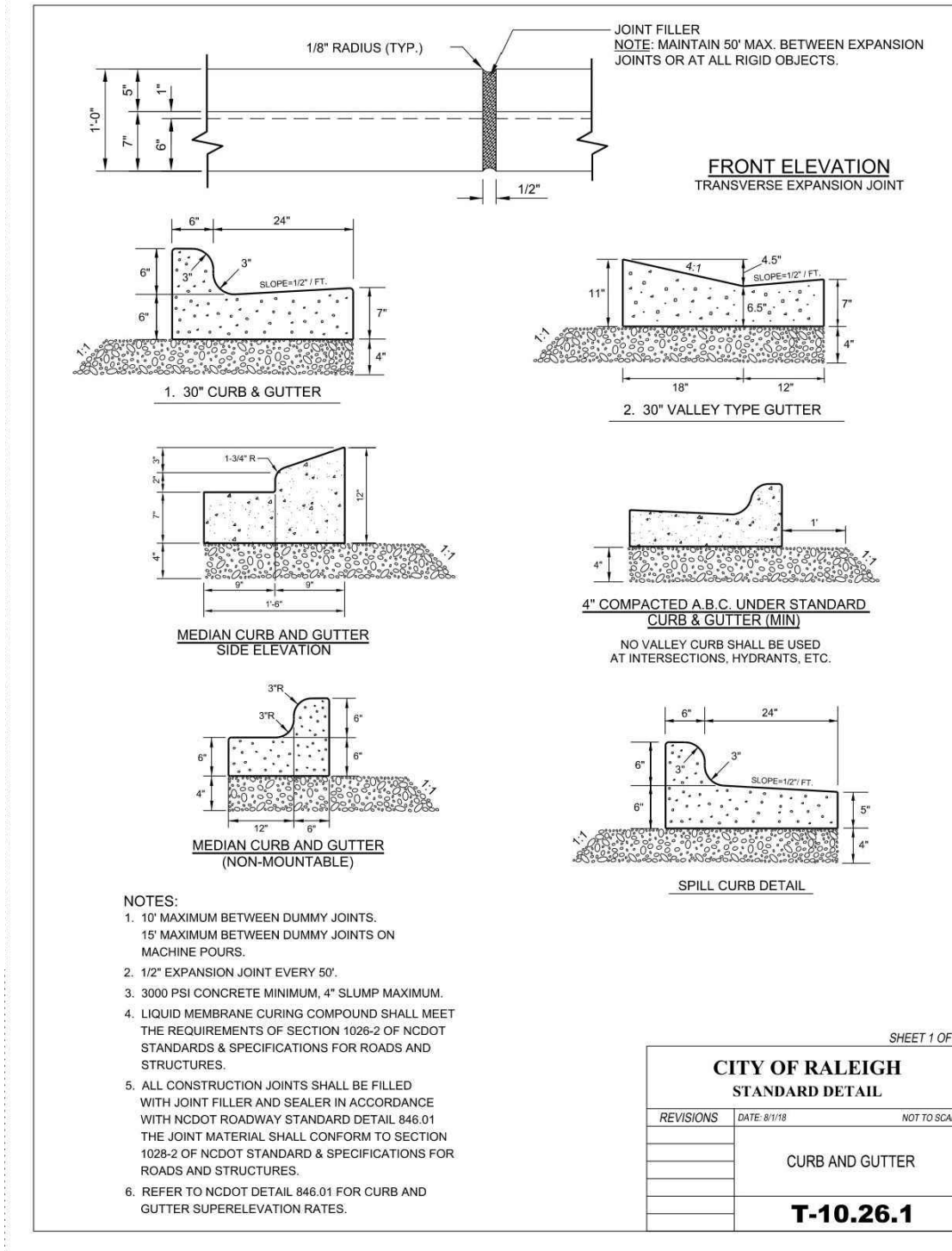


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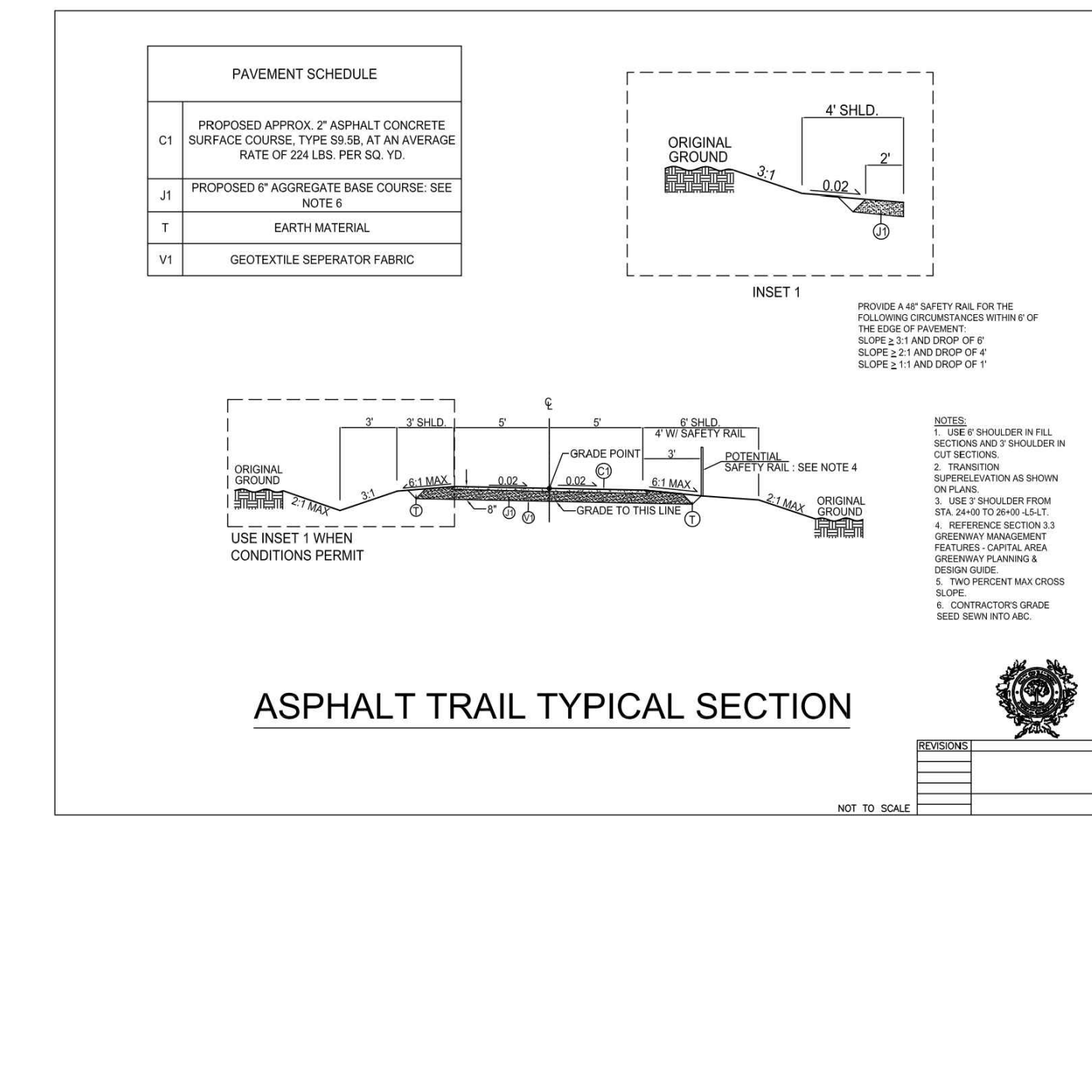
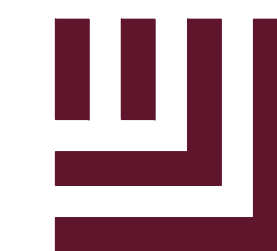


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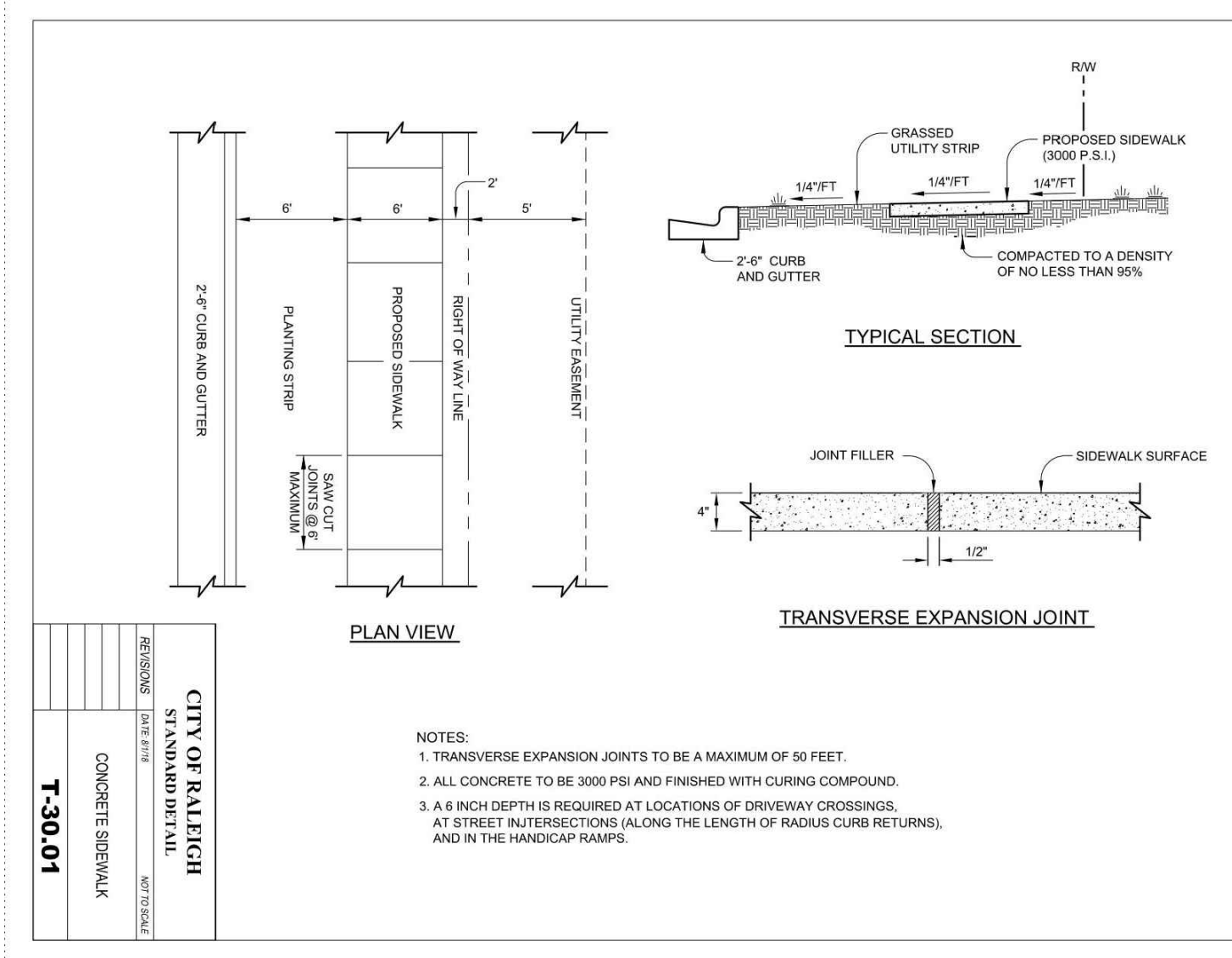
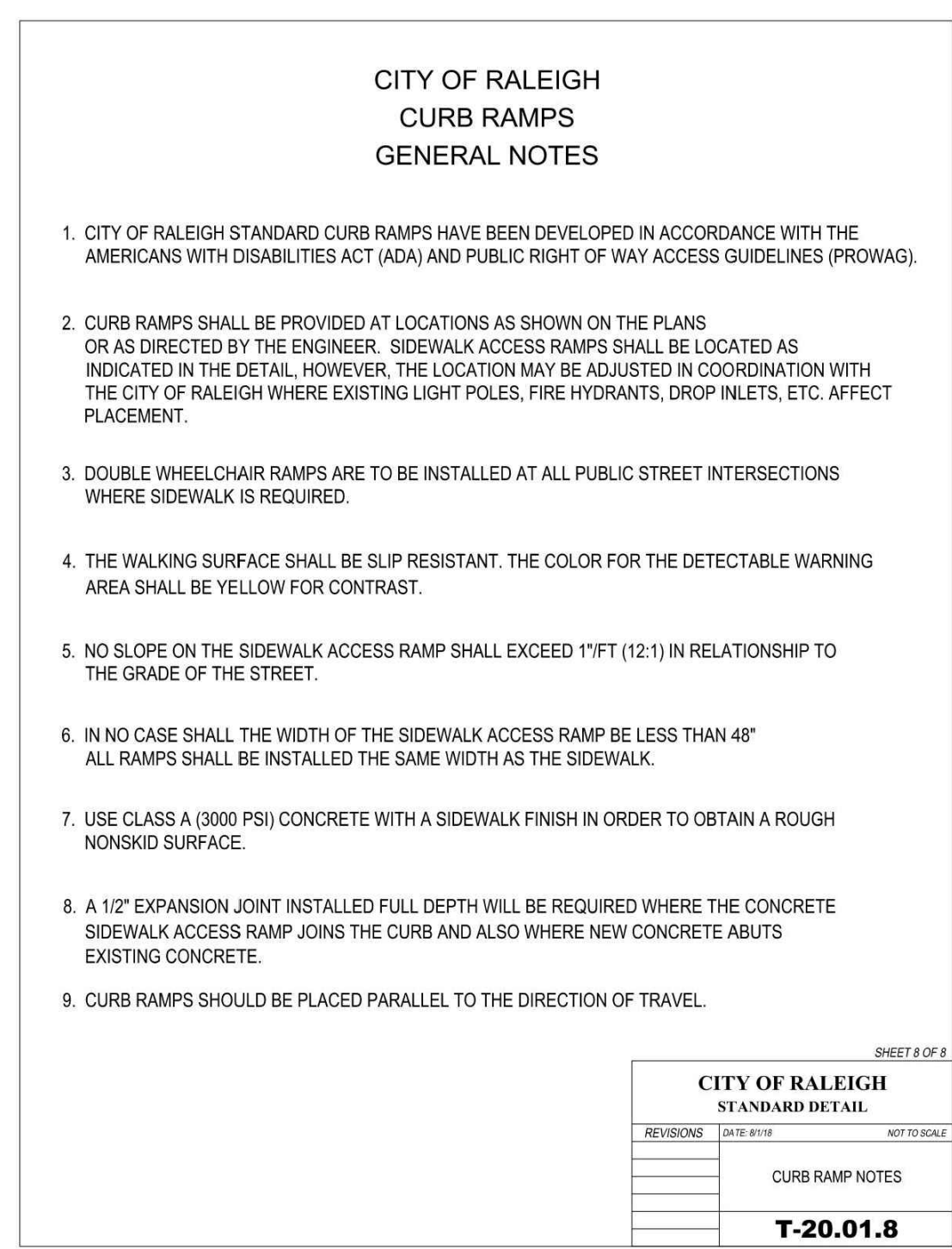
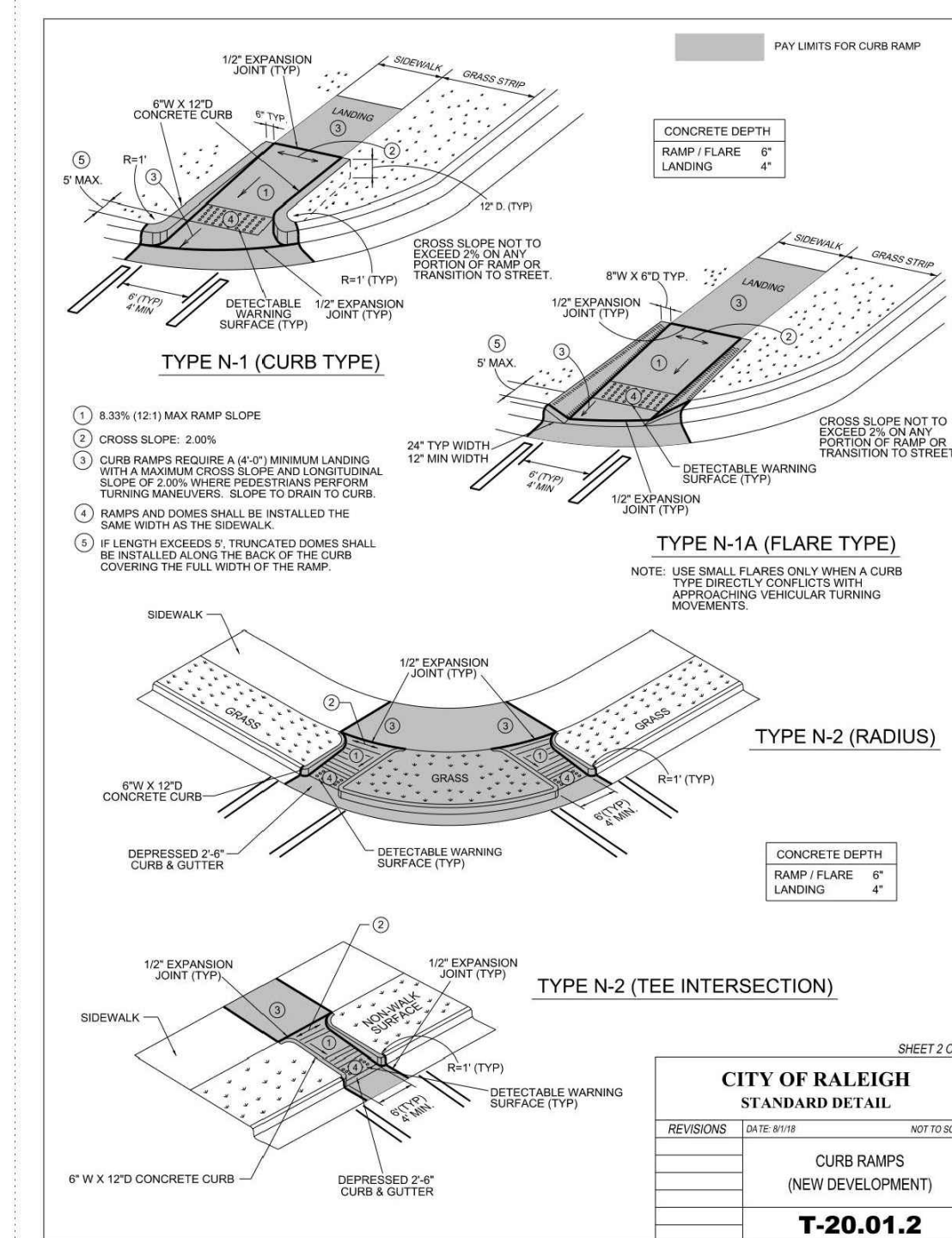
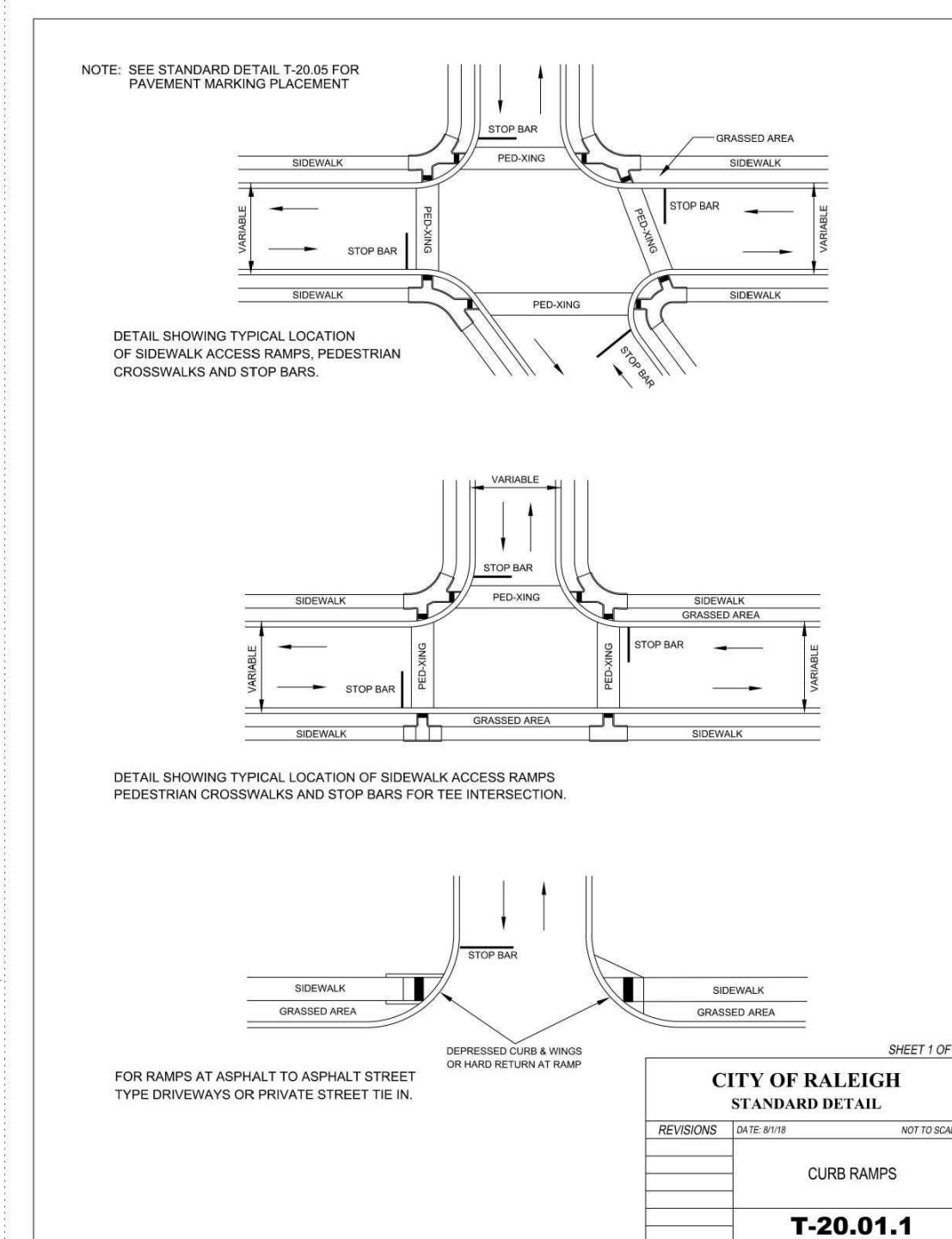
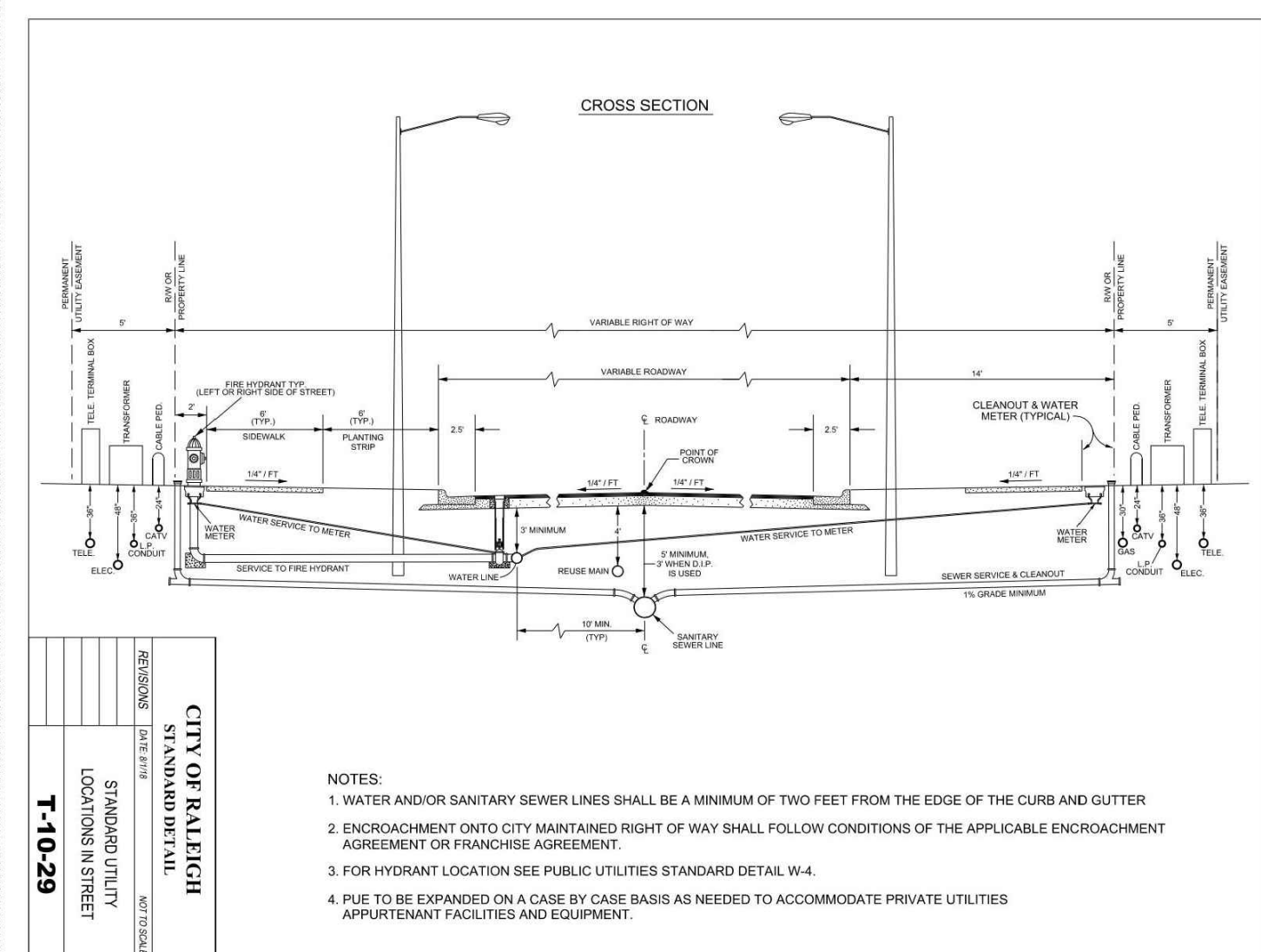
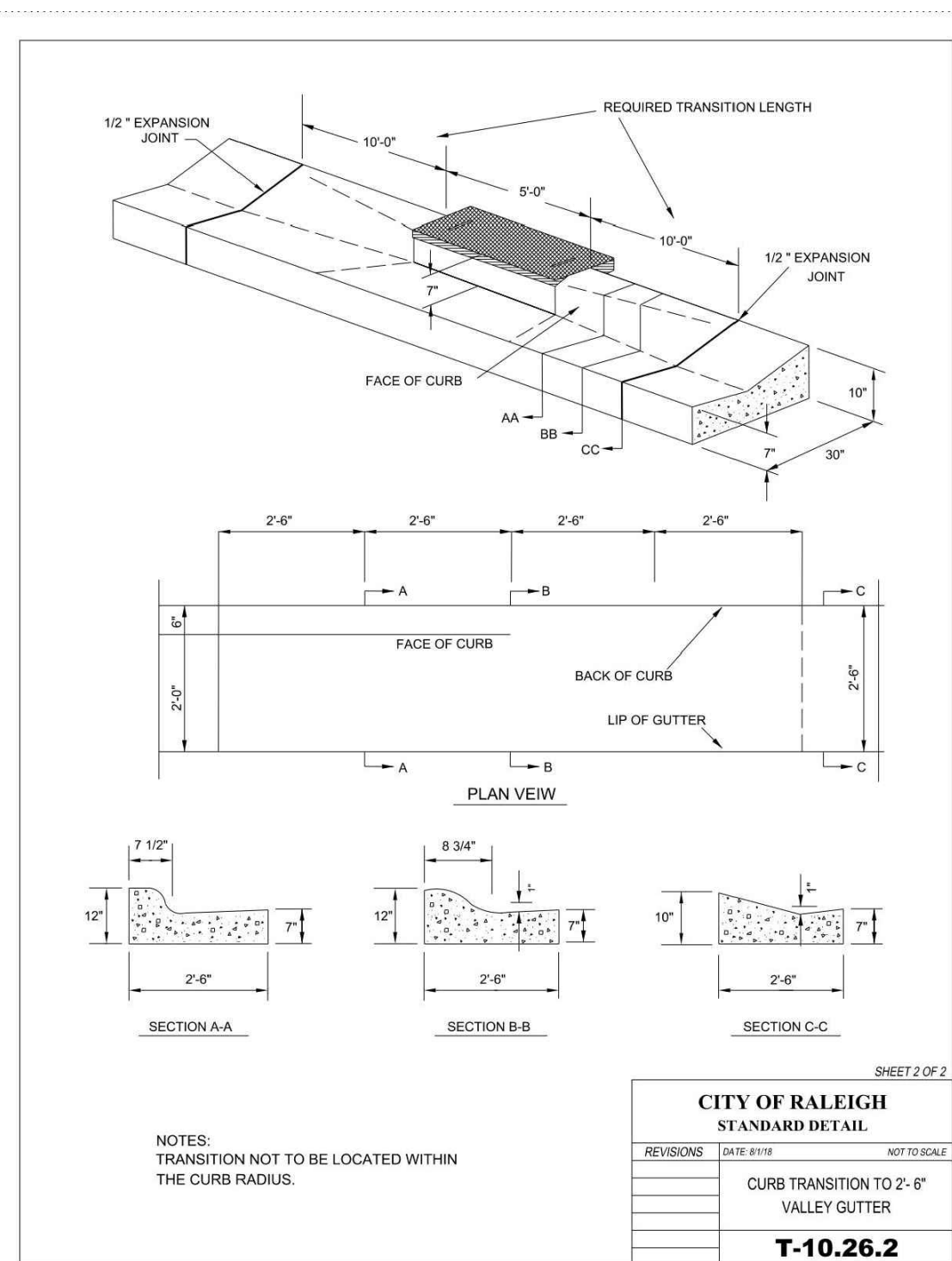
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OLDE TOWNE 8-LOT ADDITION  
PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610



REVISIONS

NO. DATE

PLAN INFORMATION

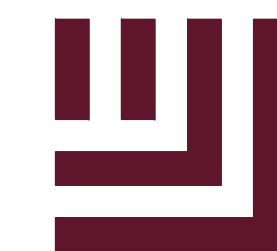
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CHECKED BY JCM  
DRAWN BY CHB  
SCALE 1"=30'  
DATE 05.22.2024

SHEET

SITE DETAILS

C8.01





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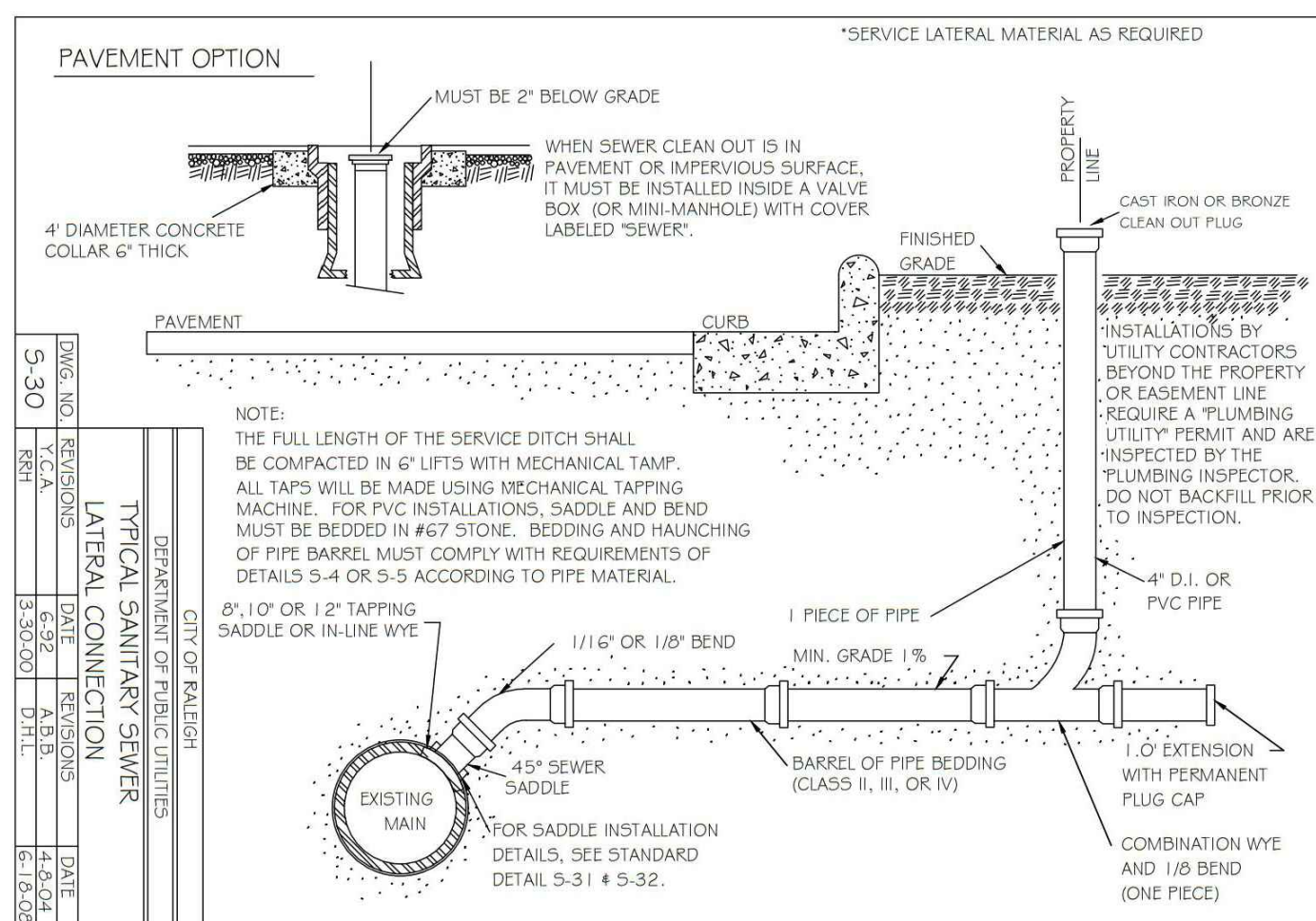
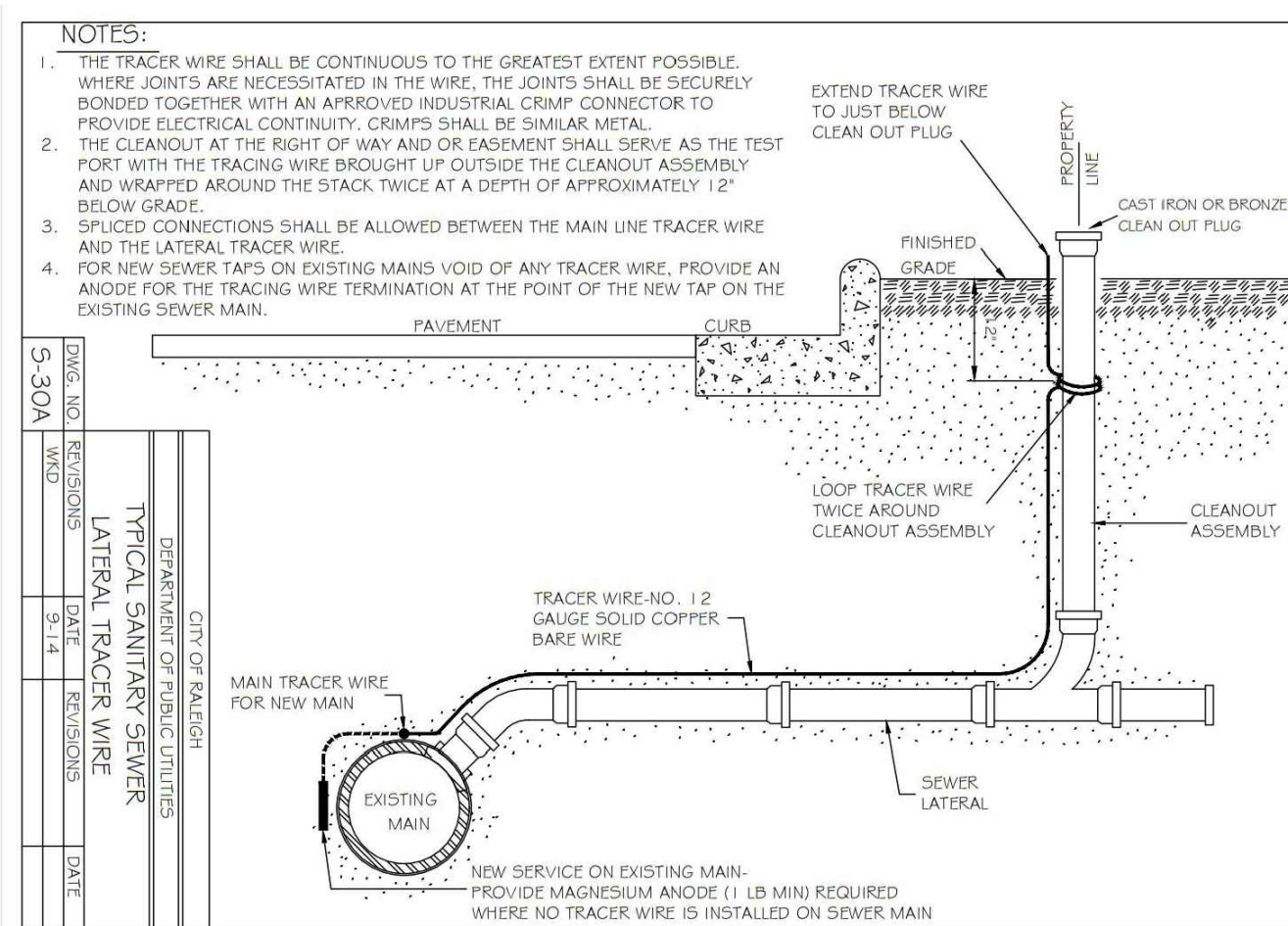
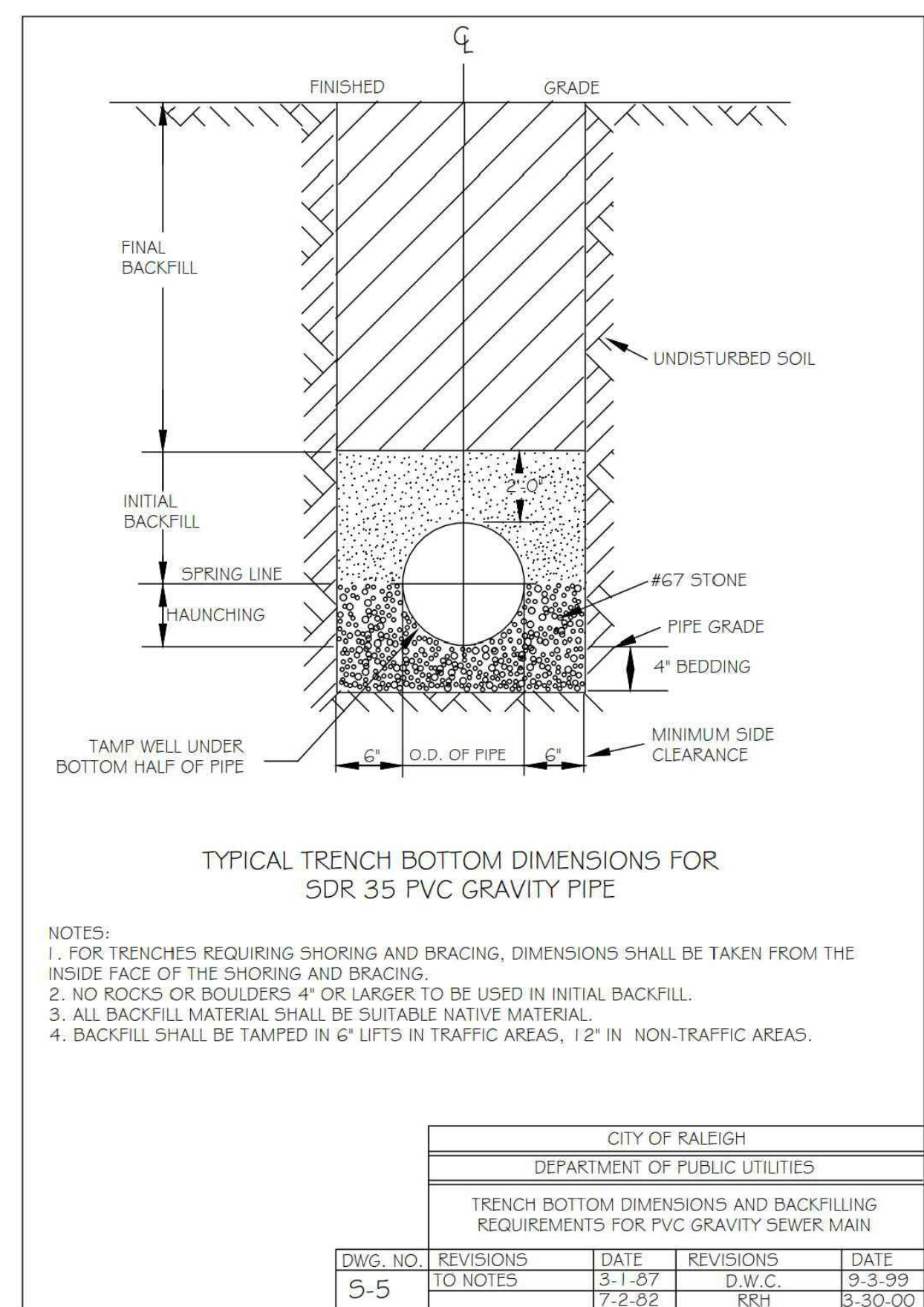
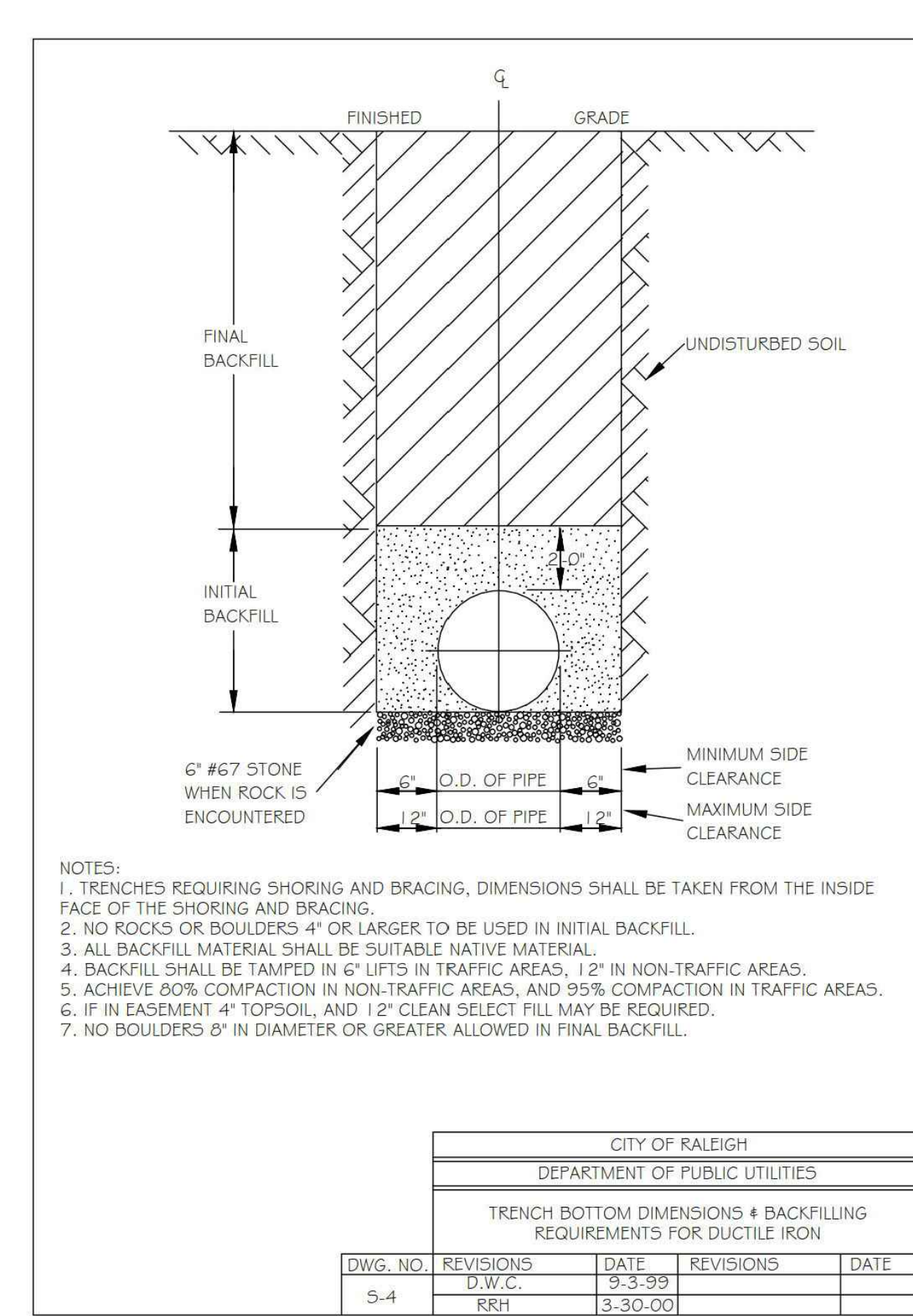
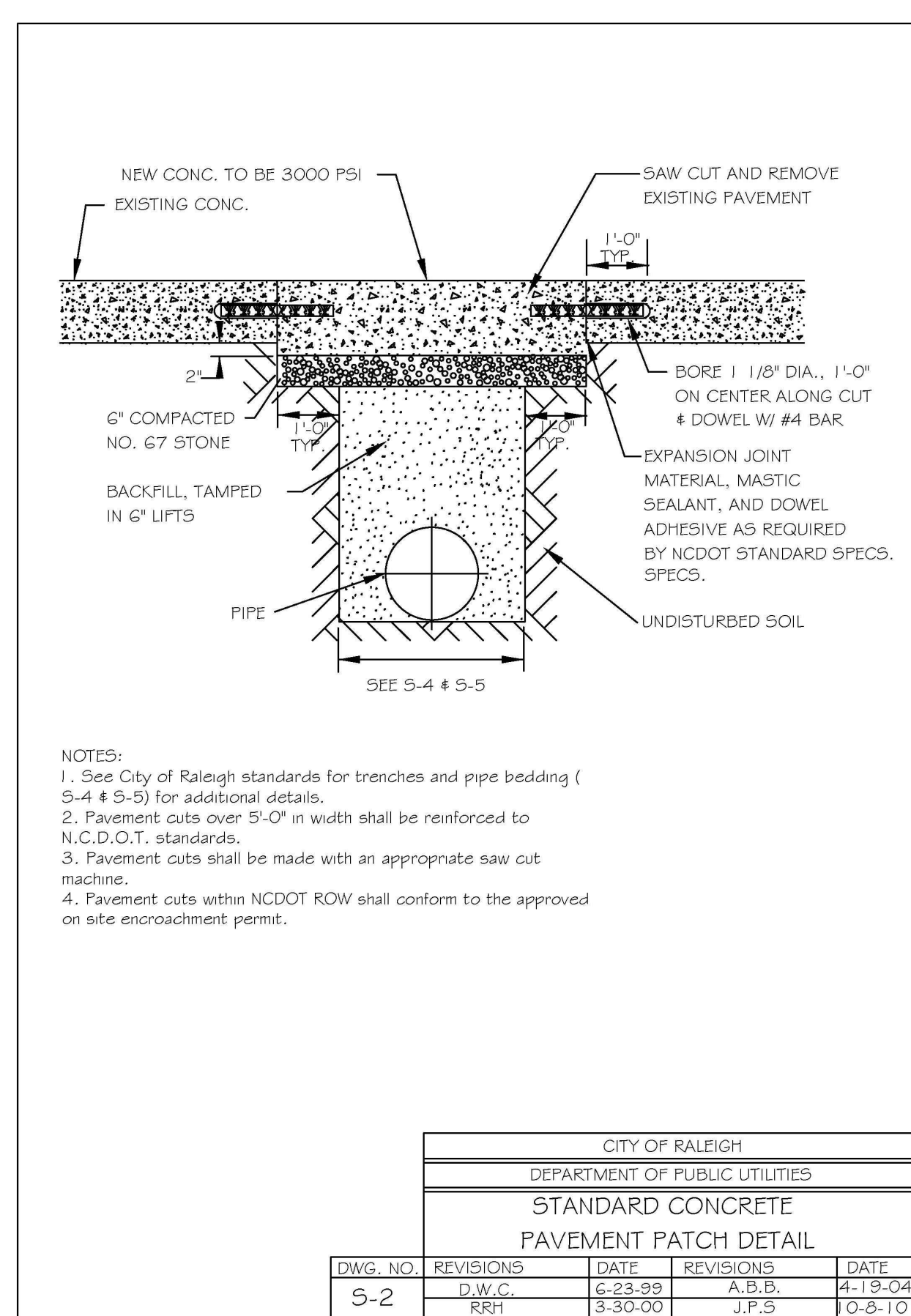
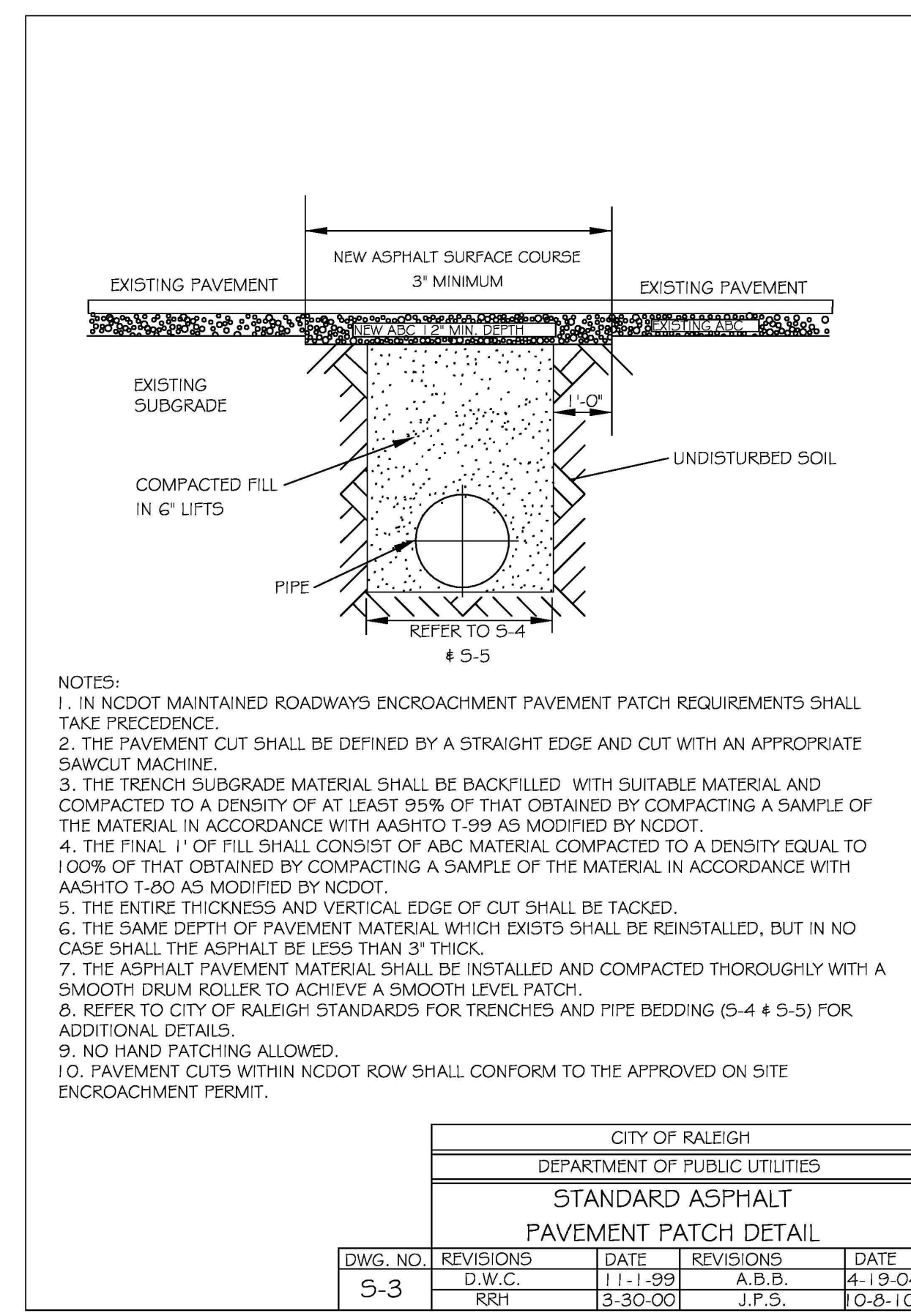
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**OLDE TOWNE 8-LOT ADDITION  
PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610**



**REVISIONS**

NO.	DATE

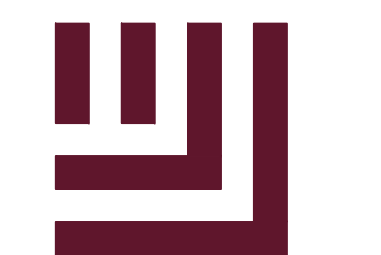
**PLAN INFORMATION**

PROJECT NO.	HLE24001
FILENAME	HLE24001-D1
CHECKED BY	JCM
DRAWN BY	CHB
SCALE	1"=30'
DATE	05. 22. 2024

**SHEET**

**UTILITY DETAILS**  
**C8.02**





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**OLDE TOWNE 8-LOT ADDITION  
PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610**



**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	HLE24001
FILENAME	HLE24001-LS1
CHECKED BY	JCM
DRAWN BY	CHB
SCALE	1"=30'
DATE	05. 22. 2024

**SHEET**

**LANDSCAPE PLAN**

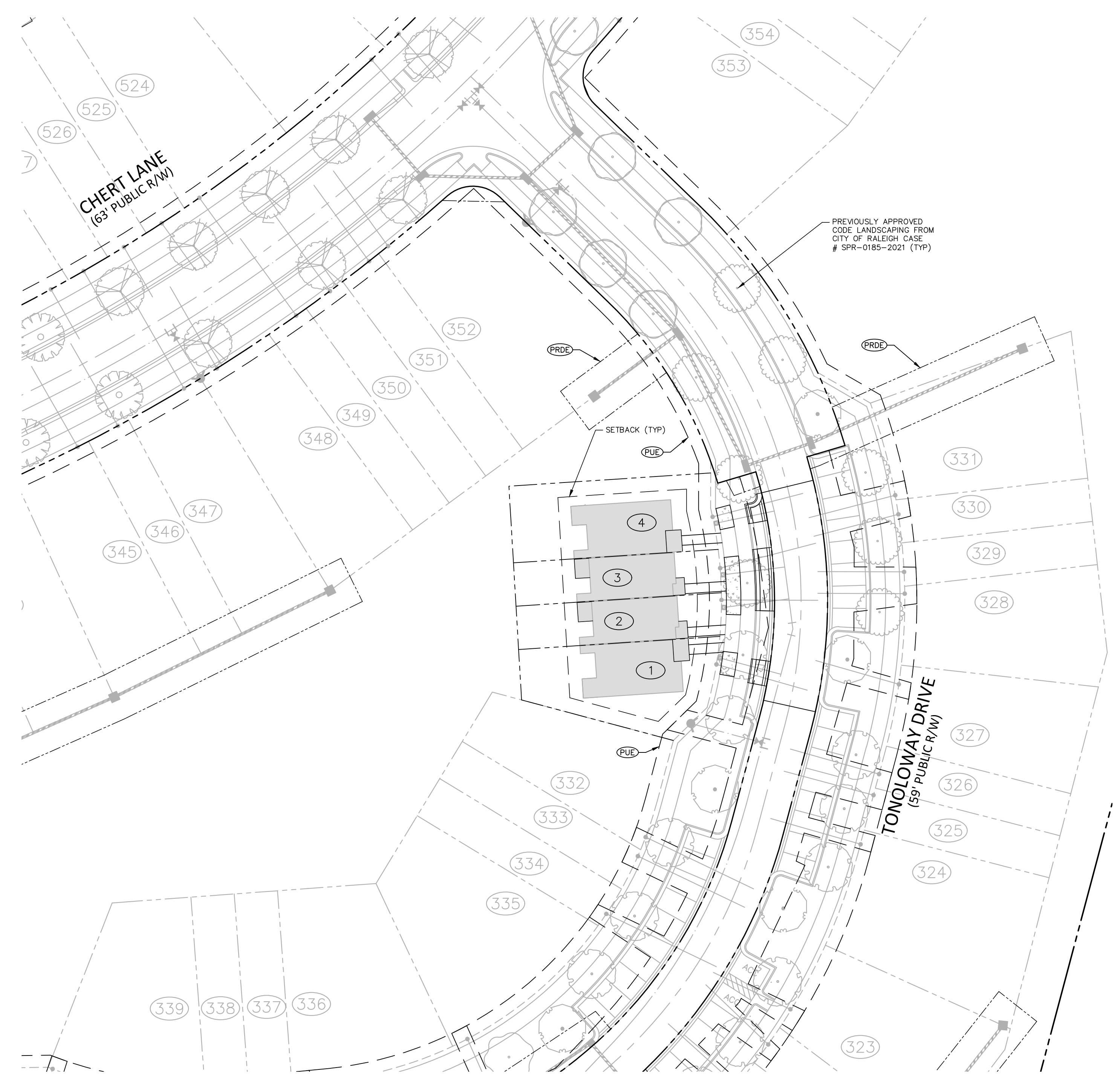
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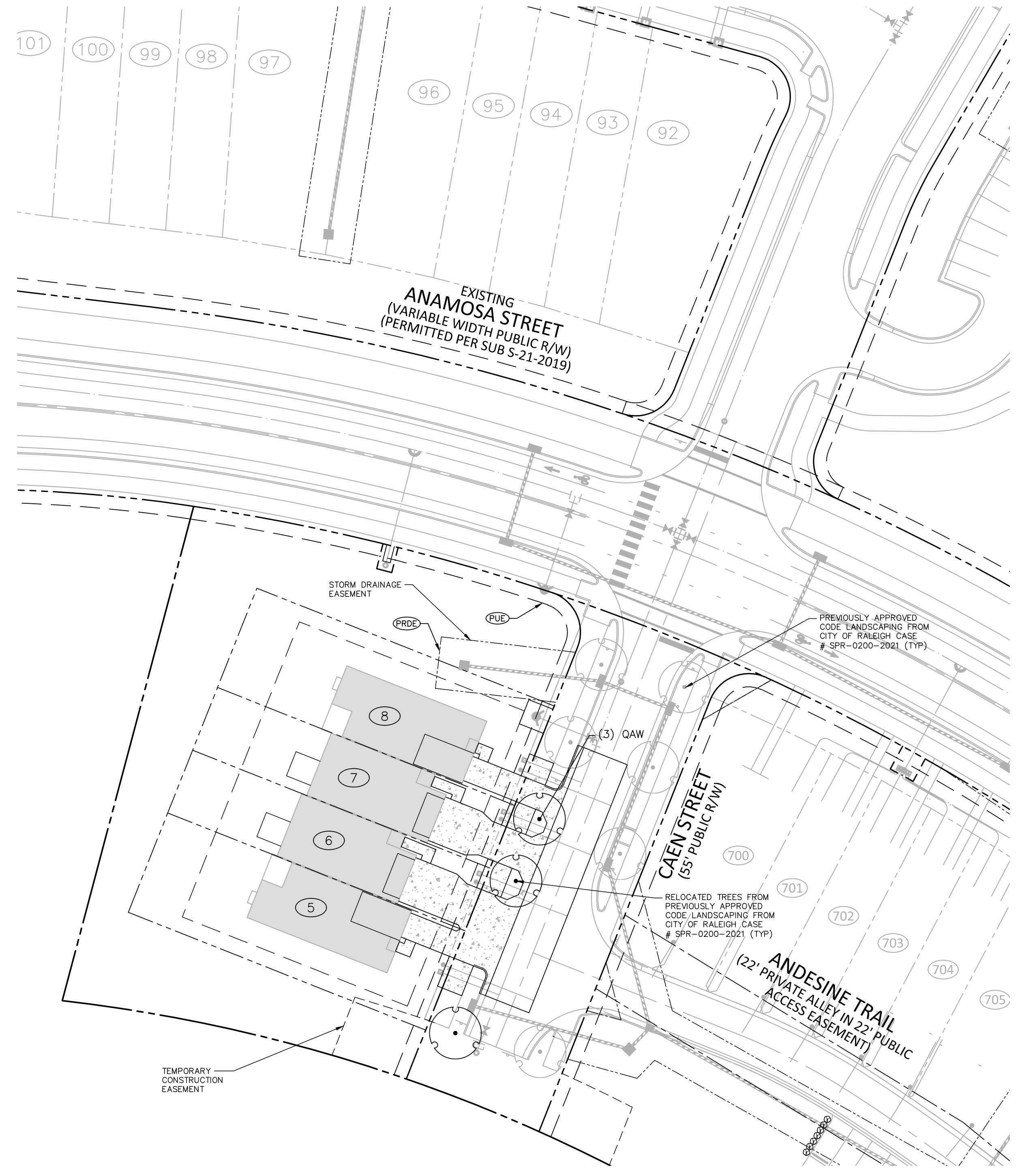
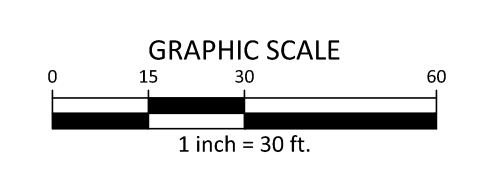
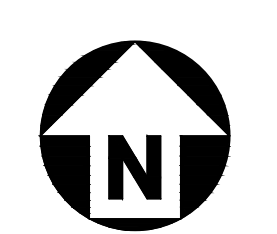
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- PRIVATE STORM DRAINAGE EASEMENT

**SITE LEGEND**

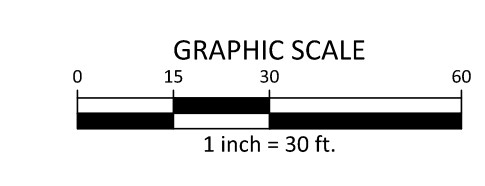
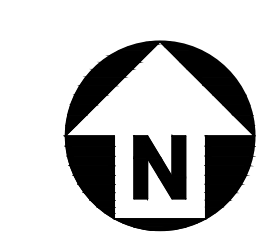
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- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE



**AREA "A"**



**AREA "B"**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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PLANT SCHEDULE – RELOCATED TREES

SYMBOL CODE QTY COMMON NAME BOTANICAL NAME CAL

TREES

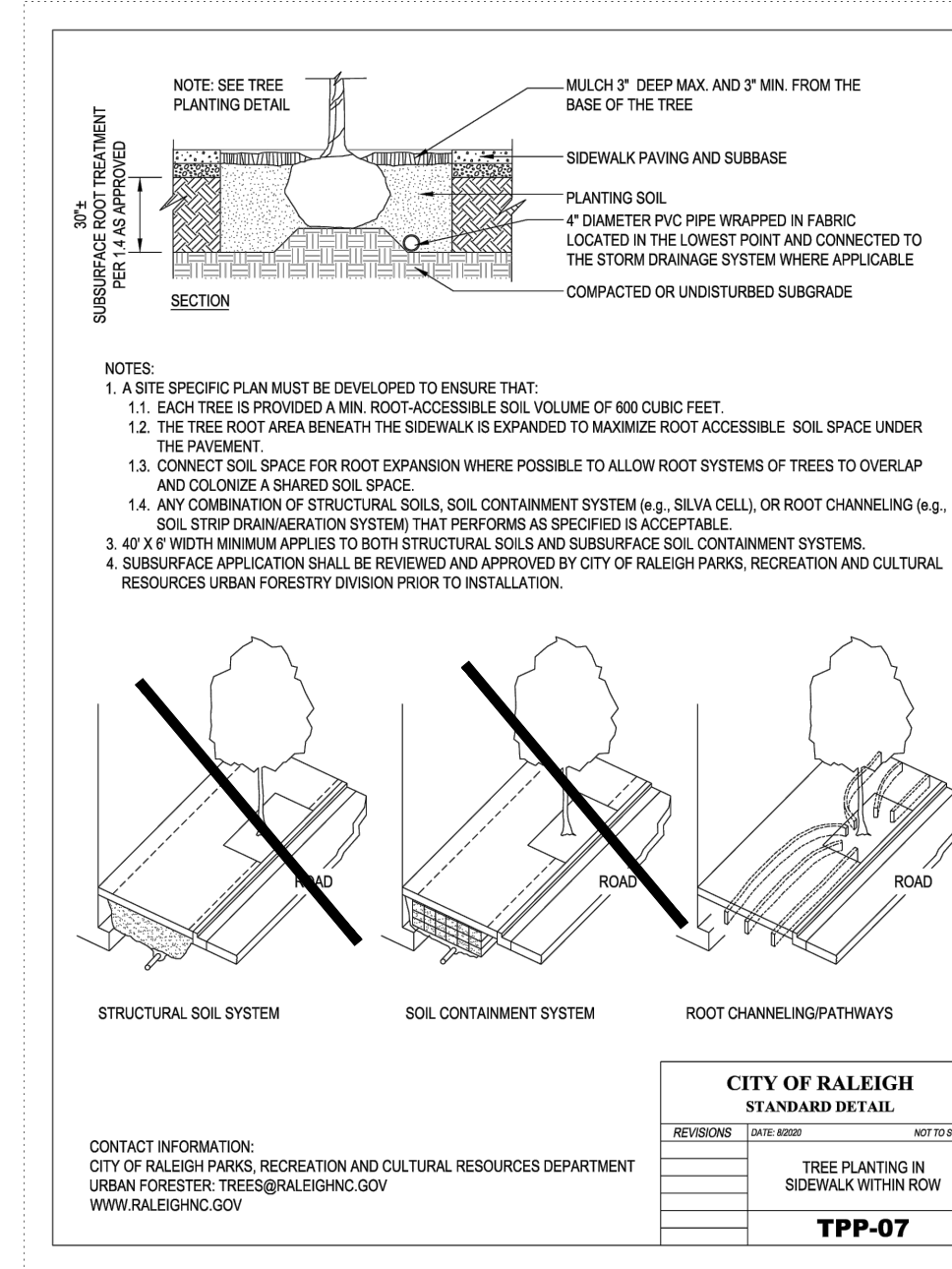
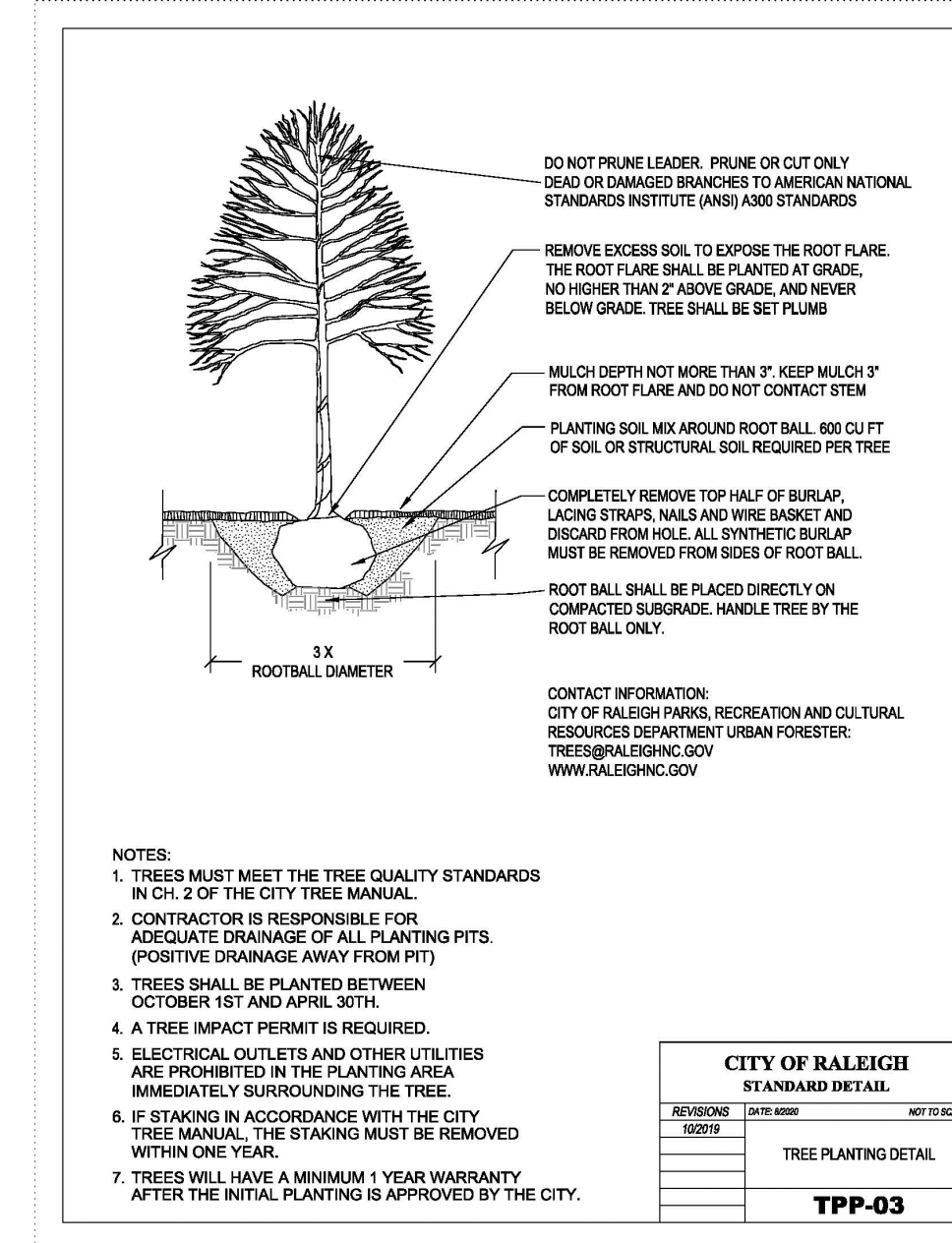
	QAW	3	White Oak	Quercus alba	3" min
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LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRILLPIPE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- ALL TREES LOCATED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A HEIGHT OF 8 FEET. HIGHER CALIPER AT INSTALLATION MAY BE NECESSARY.

NOTES

- MEDIUM, DECIDUOUS SHADE TREES ARE SHOWN IN FRONT OF TOWNHOME LOTS DUE TO LIMITED PLANTING SPACE, UTILITY CONFLICT MINIMIZATION, AND PROXIMITY TO DRIVEWAYS. LARGE, MATURING DECIDUOUS STREET TREES ARE SHOWN IN AREAS WHERE LIMITATIONS DO NOT EXIST.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- STREET TREES BETWEEN DRIVEWAYS IN FRONT OF TOWNHOMES SHALL HAVE A MINIMUM OF 600 CUBIC FEET OF SOIL VOLUME AS DESCRIBED IN CHAPTER 2 OF THE CITY TREE MANUAL. SEE CITY OF RALEIGH DETAIL TPP-07, THIS SHEET FOR THE REQUIRED UNDERGROUND ROOT CHANNELS. COORDINATE WITH UTILITY INSTALLATION AND CITY OF RALEIGH URBAN FORESTRY INSPECTIONS.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED. SEE LANDSCAPE DETAILS ON SHEET L5.03 FOR TYPICAL SCREENING REQUIREMENTS. ADDITIONAL PLANT MATERIAL WILL BE REQUIRED THAT IS NOT SHOWN ON THE PLANT SCHEDULE.
- STREET TREES SHALL BE LOCATED NO CLOSER THAN 30' FROM STOP SIGNS, 10' ON EITHER SIDE OF UTILITY PIPES, 10' FROM DRIVEWAY, 10' FROM A FIRE HYDRANT AND 20' FROM ANY LIGHT POLES. SEE RALEIGH CITY TREE MANUAL FOR ADDITIONAL MINIMUM SEPARATIONS FROM SITE ELEMENTS TO STREET TREES.
- CONTRACTOR SHALL REPLACE ANY EXISTING STREET TREE WHICH IS DAMAGED OR DESTROYED DURING CONSTRUCTION WITH AN EQUAL SPECIES AND SIZE TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR GOVERNING AGENCY.
- ALL EXISTING STREET TREES AND THEIR CRITICAL ROOT ZONES SHALL BE PROTECTED TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- ALL TREES LOCATED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A MINIMUM 8' ABOVE FINISHED GRADE.
- A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED WITHIN THE PUBLIC RIGHTS-OF-WAY AND WILL BE ISSUED WITH BUILDING PERMITS.



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**OLDE TOWNE 8-LOT ADDITION**  
PRELIMINARY SUBDIVISION PLAN  
LOT 10 AND LOTS 4/5  
RALEIGH, NORTH CAROLINA, 27610

**REVISIONS**

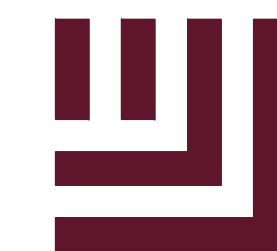
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**PLAN INFORMATION**

PROJECT NO.	HLE24001
FILENAME	HLE24001-LS1
CHECKED BY	JCM
DRAWN BY	CHB
SCALE	1"=30'
DATE	05. 22. 2024

**LANDSCAPE NOTES AND DETAILS**  
**L5.02**





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LOT 10 AND LOTS 4/5  
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**REVISIONS**

NO. DATE

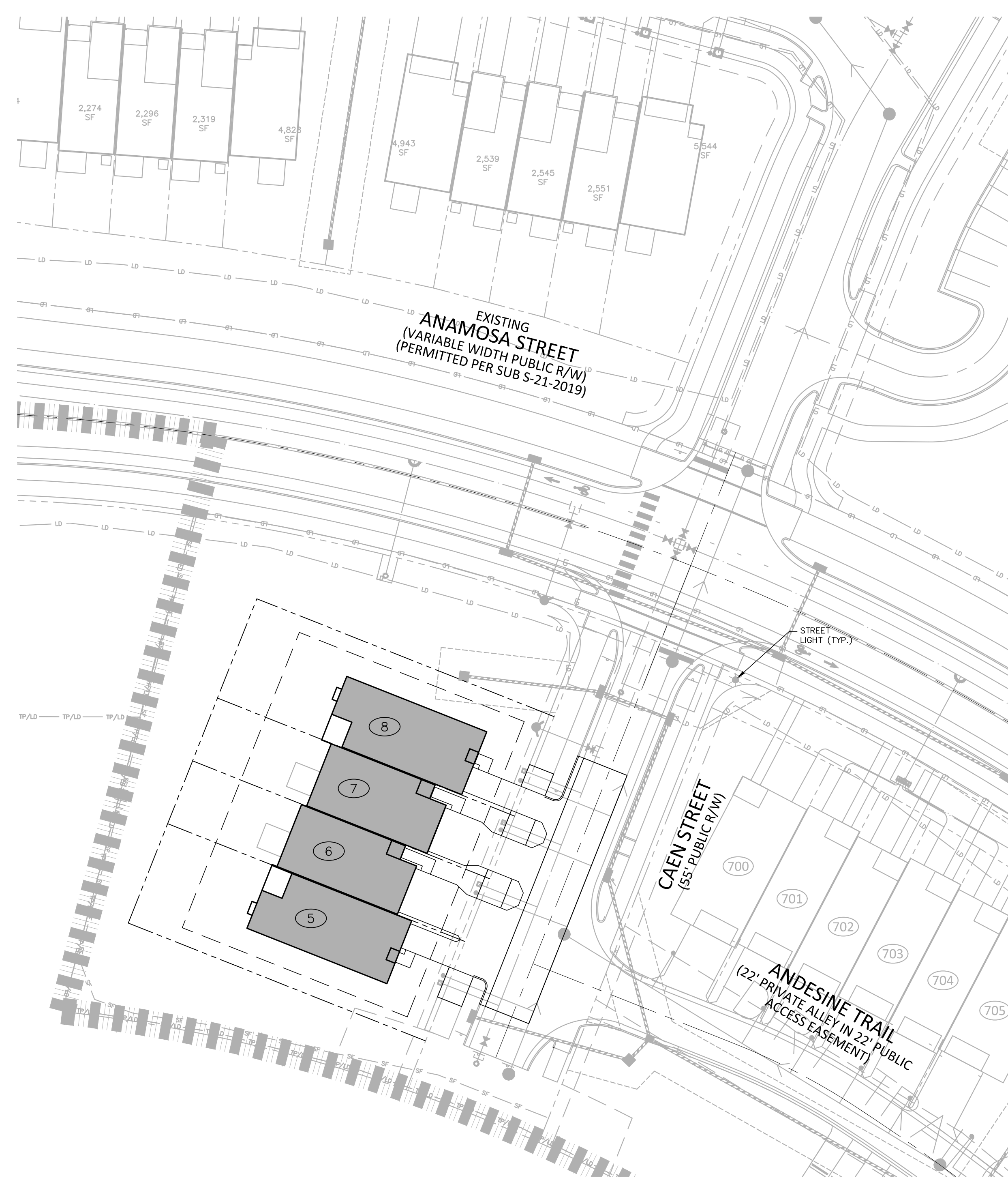
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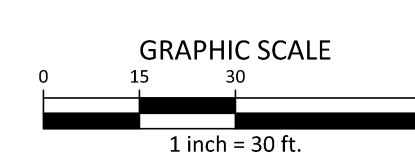
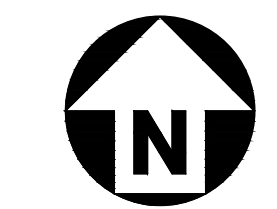
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**LIGHTING  
PERFORMANCE PLAN**

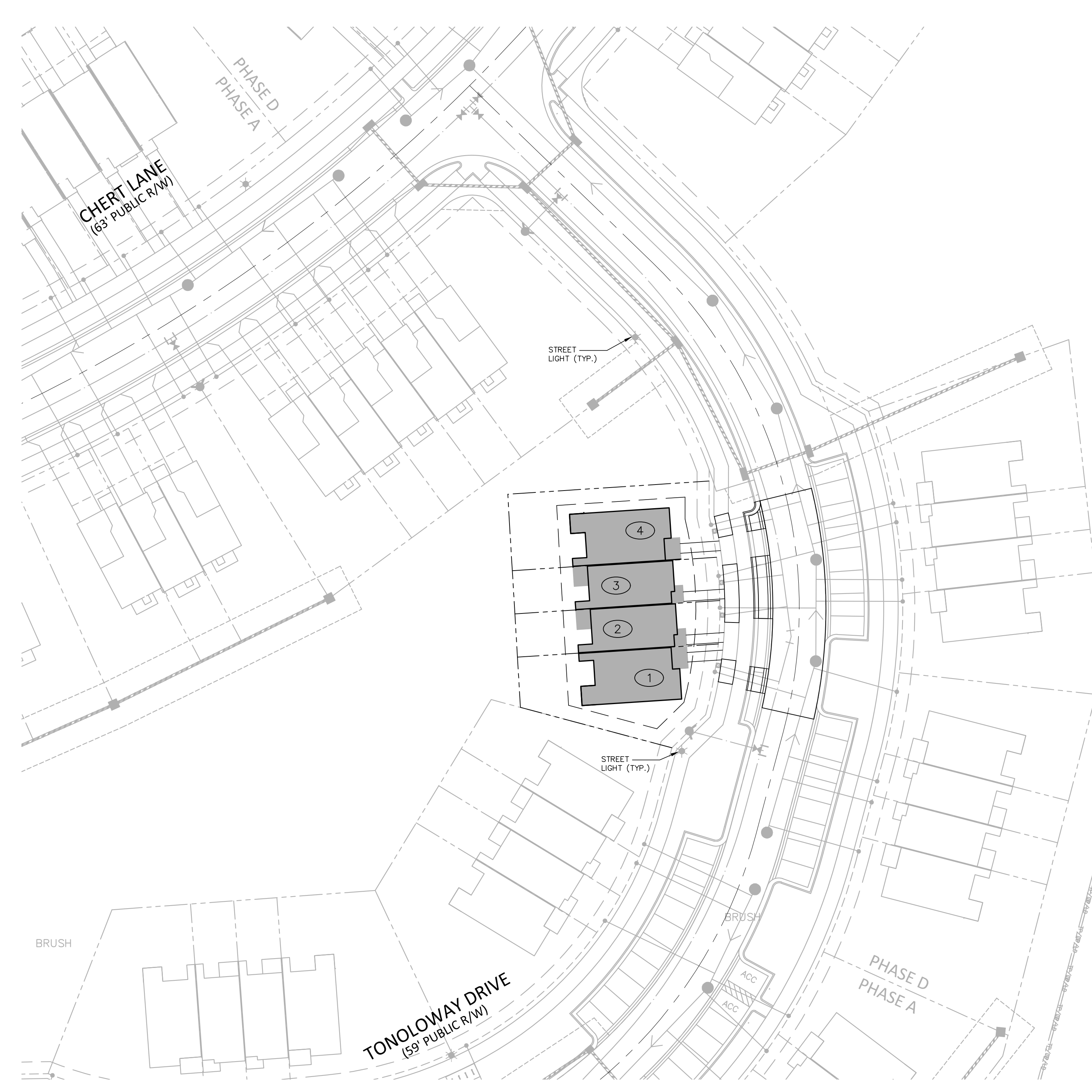
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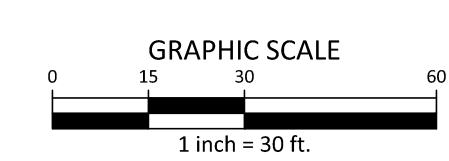
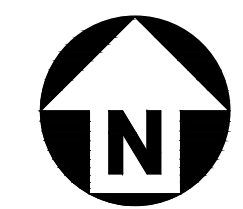
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**AREA "A"**



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