

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

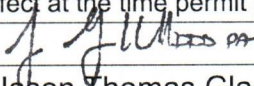
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION	
Scoping/sketch plan case number(s): TIER VERIFICATION: ZONE-010848-2023	
Development name (subject to approval): Western Blvd Townhomes	
Property Address(es): 5009 Western Blvd, Raleigh, NC 27606	
Recorded Deed PIN(s): 0784519136	
Building type(s):	<input type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Apartment
<input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House	

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: Jason Thomas Gladwell	
Company: Western Blvd Townhomes, LLC	Title: Owner
Address: 2824 Rogers Road, Ste 200 Wake Forest NC, 27587	
Phone #: 919-637-0357	Email: gladwell@gomedianc.com/shantal@gomedianc.com
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: Luke Burlage	
Company: Oak Town Builders LLC	Title: Owner
Address: 3540 Catlett Farm Road Wake Forest, NC 27587	
Phone #: 252-259-2509	Email: oaktownbuilders1@gmail.com

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION		
Gross site acreage: 0.45 acres		
Zoning districts (if more than one, provide acreage of each): Raleigh Zoning (OX-3)		
Overlay district(s): -TOD	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-

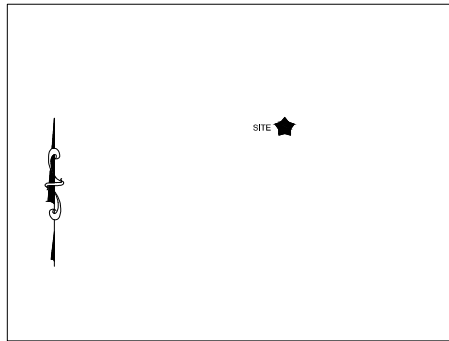
STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>15,650</u> Proposed total (sf) <u>15,109</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
NUMBER OF LOTS AND DENSITY	
# of Detached House Lots:	# of Attached House Lots: _____ # of Townhouse Lots: 8
# of Tiny House Lots:	# of Open Lots: 1 # of Other Lots (Apartment, General, Mixed Use, Civic): _____
Total # of Lots: 9	Total # Dwelling Units: 8
Proposed density for each zoning district (UDO 1.5.2.F):	

SIGNATURE BLOCK	
<p>Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.</p> <p>By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).</p> <p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.</p>	
Signature: 	Date: 06/04/2024
Printed Name: Jason Thomas Gladwell	
Signature:	Date:
Printed Name:	

WESTERN BOULEVARD TOWNHOMES

SUB- ___ - ___

RALEIGH, NORTH CAROLINA



VICINITY MAP
NOT TO SCALE

PROJECT INFORMATION

NAME OF PROJECT: WESTERN BOULEVARD TOWNHOMES
 ENGINEER: TRC
 114 EDINBURGH SOUTH DRIVE, SUITE 200
 CARY, NC 27511
 919-227-0864
 ARCHITECT: GERMANO ARCHITECTURE + INTERIORS
 PLLC
 106 N ARENDELL AVE
 ZEBULON, NC 27597
 MICHAEL GERMANO
 919-404-8000
 OWNER: WESTERN BLVD TOWNHOMES LLC
 5100 UNICION DR, SUITE 104
 WAKE FOREST, NC 27587
 LINK Bldg
 252-259-2509
 PIN: D784519136
 DEED REFERENCE: PLAT 1978 SLIDE 340
 ZONE CLASSIFICATION: OX3
 SITE AREA: 0.46 ACRES
 FLOOD ZONE CLASS: ZONE X, FIRM 3720078400K, EFF. 2022
 WATERSHED CLASSIFICATION: BUSHY BASIN
 UDO ALLOWABLE IMPERVIOUS: 85% (EXEMPT DUE TO REDEVELOPMENT)
 EXISTING IMPERVIOUS AREA: 0.36 ACRES (78.1%)
 PROPOSED IMPERVIOUS AREA: 0.19 PAVED ACRES (41.4%)
 0.15 BLDG ACRES (34.0%)
 = 0.26 ACRES (76.4% TOTAL)
 PARKING SPACES PROVIDED: 4 (1 ADA)
 BUILDING SETBACK FRONT: 10'
 BUILDING SETBACK SIDE: 10'
 BUILDING SETBACK REAR: 20'
 LIMITS OF DISTURBANCE: 0.46 ACRES
 OUTDOOR AMENITY AREA %
 REQUIRED 10% = 1,979 SF
 PROVIDED 25% = 7,800 SF
 BUILDING TYPE: TOWNHOME
 TOTAL NUMBER OF BUILDINGS: (8) UNITS
 DEVELOPMENT OPTION: CONVENTIONAL SUBDIVISION
 OVERLAY AND SPECIAL DISTRICT: TOD
 RALEIGH SUBDIVISION PLAN #: SUB- ___ - ___
 SITE DEMOLITION PERMIT #: DEMO-040786-2022

811
Know what's below.
Call before you dig.

North Carolina One-Call Center

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY IAN SPURLOCK, PE ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
 Digitally signed by
 Ian U. Spurlock
 Date: 2024.06.06
 13:37:00-04'00'

TRC REVIEW

THESE PLANS HAVE BEEN SUBJECT TO TECHNICAL AND QUALITY REVIEWS BY:

NAME: JULIA CATLIN	DATE: 06/05/2024
PROJECT DESIGNER	SIGNATURE: <i>J. Catlin</i>
NAME: IAN SPURLOCK, P.E.	DATE: 06/05/2024
PROJECT MANAGER	SIGNATURE: <i>I. Spurlock</i>
NAME: TYRUS CLAYTON, P.E.	DATE: 06/05/2024
QUALITY REVIEWER	SIGNATURE: <i>T. Clayton</i>

Sheet List Table

Sheet Number	Sheet Title
CIVIL COVER	COVER SHEET
C1.0	NOTES
C2.0	EXISTING CONDITIONS PLAN
C3.0	SITE FIRE PLAN
C4.0	SITE LAYOUT AND LANDSCAPE PLAN
C5.0	SITE UTILITY PLAN
C6.0	GRADING AND DRAINAGE PLAN
C7.3	SITE DETAILS
C7.4	SITE DETAILS
C7.5	SITE DETAILS

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department at (919) 996-2409**, and the **Public Utilities Department at (919) 996-4540** at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

TRC
 114 Edinburgh South Drive, Suite 200
 Cary, NC 27511
 919-227-0864 Fax: 919-227-0874
 NC Firm License # 15039

- Hampton Roads, VA
- Fayetteville, NC
- Blacksburg, VA
- Virginia Beach, VA
- Richmond, VA
- Charlottesville, VA

COVER SHEET
 WESTERN BLVD TOWNHOMES
 SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

DEVELOPED BY: BUS
 DRAWN BY: MNM
 CHECKED BY: CTC JR
 SCALE: NONE
 DATE: 06/05/2024
 PROJECT NUMBER: 495905

CIVIL COVER

CONSTRUCTION SEQUENCE

1. EROSION AND SEDIMENT CONTROL (ES&C) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES INCLUDING TIMBERING AND DEMOLITION OCCUR. (OWNER COMPLETED TASK) A COPY OF THE ESC PERMIT, COC, AND A HARD COPY OF THE PLANS MUST BE KEPT ON SITE FOR INSPECTION.
2. THE CONTRACTOR SHALL NOTIFY NC STATE ENVIRONMENTAL AFFAIRS PRIOR TO BEGINNING CONSTRUCTION AND CONTACT DEPT OF RALEIGH REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO COMMENCING THE LAND DISTURBING ACTIVITY AT 919-791-4200.
3. INSTALL TREE PROTECTION FENCE, SILT FENCE, AND SILT FENCE OUTLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES. CLEAR ONLY AS NECESSARY TO INSTALL THE APPROVED PLAN SHEET. INSTALL ALL OTHER EROSION CONTROL MEASURES AS REQUIRED BY NCEG INCLUDING SEDIMENT BASINS, BARRIERS, AND DIVERSION DITCHES AS NEEDED. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. INSTALL DITCH LINERS AS NOTED ON PLANS TO TOP OF BANK. SEED TEMPORARY DIVERSIONS, BARRIERS, AND BASINS IMMEDIATELY AFTER DEMOLITION. INSTALL CORE WALLS OR CHECK DAMS IN TEMPORARY DIVERSIONS. BEGIN DEMOLITION ACTIVITIES AS SPECIFIED ON THE DEMOLITION PLAN.
4. COMPLETE INSTALLATION OF STORM SEWER AS FIRST MEASURE TO DIVERT CLEAN WATER AROUND SITE. PROTECT EACH INSTALLED INLET WITH INLET PROTECTION. AFTER INSTALLATION, UTILITY TRENCHES SHALL BE DEWATERED THROUGH SILT BAG. SLOPES OF SEDIMENT BASINS WILL BE COVERED WITH A SUITABLE RECAP AFTER SEEDING.
5. SEED MULCH AND TACKLE BARE AREAS BETWEEN THE PERIMETER SEWER AND THE DIVERSIONS AND BASINS IMMEDIATELY AFTER INSTALLATION.
6. BEGIN GRADING OF PARKING LOT. ALL SLOPES ARE TO BE TRACKED AND ALL DITCHES WILL BE LINED TO TOP OF BANK.
7. BEGIN BUILDING CONSTRUCTION.
8. COMPLETE FINE GRADING AND PAVING ACTIVITIES OF PARKING LOT.
9. INSTALL LANDSCAPE IN ACCORDANCE WITH LANDSCAPE PLAN.
10. ONLY AFTER ALL UPSTREAM AREAS HAVE BEEN STABILIZED SEDIMENT BASINS SHALL BE DEWATERED THROUGH SILT BAG AND REMOVED. DEQ APPROVAL IS REQUIRED PRIOR TO REMOVAL.
11. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT.
12. SITE STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
13. STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MINIMUM HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE SITE, WITH NO LARGE BARE PATCHES OR EVIDENCE OF EROSION.
14. WHEN THE PROJECT IS COMPLETE, THE PERMITTEE SHALL CONTACT DEPT OF TO CLOSE OUT THE ESC&C PLAN, (OWNER COMPLETED TASK)
15. PER NPDES REQUIREMENTS, A RAIN GAUGE, SELF-INSPECTIONS RECORDS, PERMIT, CERTIFICATE OF COVERAGE, AND S&E PLAN ARE REQUIRED TO BE MAINTAINED ONSITE AND ACCESSIBLE DURING INSPECTION. IT IS RECOMMENDED THAT THESE ITEMS BE PLACED IN A PERMITS BOX AT THE BEGINNING OR ENTRANCE OF THE PROJECT.
16. SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF GREATER THAN 1 INCH. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED. ALL ESC MEASURES SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAUGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING.
17. PERIMETER MEASURES MUST BE LEFT IN PLACE UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED. AFTER SITE IS PERMANENTLY STABILIZED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND PROVIDE PERMANENT SEEDING WHERE TEMPORARY MEASURES HAVE BEEN REMOVED AND GROUND COVERS IS NOT ADEQUATE. SEEDINGS MAY NOT BE REMOVED OR CONVERTED TO PERMANENT SOUS UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED.

CONSTRUCTION SEQUENCE

ENGINEERED FILL

1. ALL CONTROLLED FILL ZONES ARE TO BE MONITORED BY A FULL TIME GEOTECHNICAL ENGINEERING SERVICES FIRM.
2. ENGINEERED FILLS SHALL BE PROPERLY PLACED ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. ALL SUMMARY REPORTS FROM THE GEOTECHNICAL ENGINEER REPRESENTING THE PROJECT MUST STATE HIS PROFESSIONAL OPINION ON THE SATISFACTORILY COMPLETED PHASES OF CONSTRUCTION SUCH AS: SLOPE CUTS, SUBDRAINAGE SYSTEMS, PREPARATION OF SUBGRADES AND COMPACTION OF EARTH FILLS.
3. NO FILLS SHALL HAVE ZONES THAT EXCEED TWO (2) FEET IN ELEVATION WITHOUT CONDUCTING COMPACTION TEST AND OBTAINING RESULTS OF 95% OR GREATER.
4. THE GEOTECHNICAL ENGINEER MUST SUBMIT A DETAILED ANALYSIS, ITEMIZING THE FIELD DENSITY TEST RESULTS. THIS REPORT SHALL BE ACCOMPANIED WITH A COPY OF THE SITE PLAN SHEET AND INDICATE THE TEST LOCATIONS AND ELEVATIONS. THE GEOTECHNICAL ENGINEER MUST PROVIDE ENOUGH DESIGNATED TESTING IN ALL FILL ZONES TO ADEQUATELY EXAMINE AND CERTIFY THE INTEGRITY OF THE FILL.
5. THE GEOTECHNICAL ENGINEER MUST SUBMIT A CERTIFIED BUILDING PAD REPORT FOR EACH FILL PAD LOCATION. THIS REPORT SHALL PROFILE THE FILL MATERIAL, PLACEMENT AND PROVIDE THE COMPACTION TEST RESULTS. ALL REPORTS WILL BE ACCOMPANIED BY THE SITE PLAN, INDICATING THE TEST LOCATIONS AND ELEVATIONS.
6. NO BUILDING PADS IN FILL ZONES WILL HAVE STRATUMS EXCEEDING TWO (2) FEET IN ELEVATION WITHOUT TEST VERIFYING DENSITY.
7. THESE GEOTECHNICAL NOTES SHALL IN NO WAY LESSEN THE REQUIREMENTS OF THE SUBMITTED SOILS REPORT.

ROAD SUBGRADE

1. INSPECTION AND APPROVAL OF THE SUBGRADE WILL BE REQUIRED PRIOR TO THE PLACEMENT OF THE APPROVED PAVEMENT SECTION MATERIAL.
2. ANY CLAY DEPOSITS IN THE TOP TWO FEET OF THE SUBGRADE MUST BE REMOVED OR ADDRESSED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
3. SUBGRADE APPROVAL SHALL BE ACCOMPANIED BY THE SUPPORTING DOCUMENTATION VERIFYING DENSITY TEST RESULTS OF 95% OR GREATER.
4. THE ENTIRE SUBGRADE WILL HAVE BEEN PROOFROLLED IN THE PRESENCE OF THE SITE INSPECTOR AND GEOTECHNICAL REPRESENTATIVE. PROOFROLLING SHALL BE A RUBBER TIRE VEHICLE SUCH AS A LOADED TEN (10) TON TRUCK OF APPROVED COMPACTION EQUIPMENT.
5. THE FINAL SUBGRADE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND SITE INSPECTOR BEFORE PLACEMENT OF PAVEMENT SECTION MATERIALS.

GENERAL NOTES

1. DIMENSIONS AND RADII ARE TO FACE OF CURB, WHERE APPLICABLE, UNLESS OTHERWISE INDICATED.
2. DIMENSIONS TO BE SHOWN TO THE FACE, UNLESS OTHERWISE INDICATED.
3. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM THE LOCAL AND STATE AGENCIES.
4. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARISING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
5. ALL PAVING MATERIALS AND DRAINAGE STRUCTURES SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
6. THE LOCATION OF EXISTING SEWER, WATER OR GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THE SHOWN HEREIN. WHERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS, FOR ASSISTANCE IN LOCATING EXISTING UTILITIES CALL "NO ONE CALL", DIAL 811.
7. ALL WATER AND SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
8. WHERE PAVEMENT IS BEING REMOVED, THE CONTRACTOR SHALL REMOVE AGGREGATE BASE MATERIAL TO SUB-GRADE, DAMAGE TO UTILITIES (INCLUDING UNDERGROUND) OR PROPERTY OF OTHERS BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY CONTRACTOR AT NO COST TO OWNER.
9. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
11. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY INSPECTORS.
12. PARKING SPACES SHALL BE DELINEATED BY FOUR INCH WIDE WHITE TRAFFIC PAINT.
13. LANDSCAPING AND SITE IMPROVEMENTS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS WITHIN THE PARKING AREA AND AT ENTRANCEMENT LOCATIONS.
14. THE CONTRACTOR SHALL NOTIFY ALL THE APPLICABLE REGULATORY AGENCIES AND THE ENGINEER AT LEAST 24 HOURS PRIOR TO STARTING WORK ON THIS PROJECT.
15. EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).
16. VERIFY THE PROJECT LOCATION WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
17. EXCAVATIONS PRIOR TO CONSTRUCTION SHALL BE TO THE PLANS AND NOT TO BE ALLOWED.
18. MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. REPAIR AT YOUR OWN EXPENSE. ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION, IF A UTILITY IS DAMAGED DURING CONSTRUCTION, STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.

GENERAL UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR, USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL, OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT, EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5/8" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER, & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AOR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3/8" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4/8" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
8. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 5' IN BREAK FIVE MAXIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM MCDM, USACE, AOR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
12. NCDOT /RAILROAD ENDOCKMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-6516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPROVAL OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-6523 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

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NOTES
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
RALEIGH, NC

REVISIONS

DETERMINED BY:	IBS
DRAWN BY:	MM
CHECKED BY:	CTC JR
SCALE:	NONE
DATE:	06/05/2024
PROJECT NUMBER:	495005

C1.0

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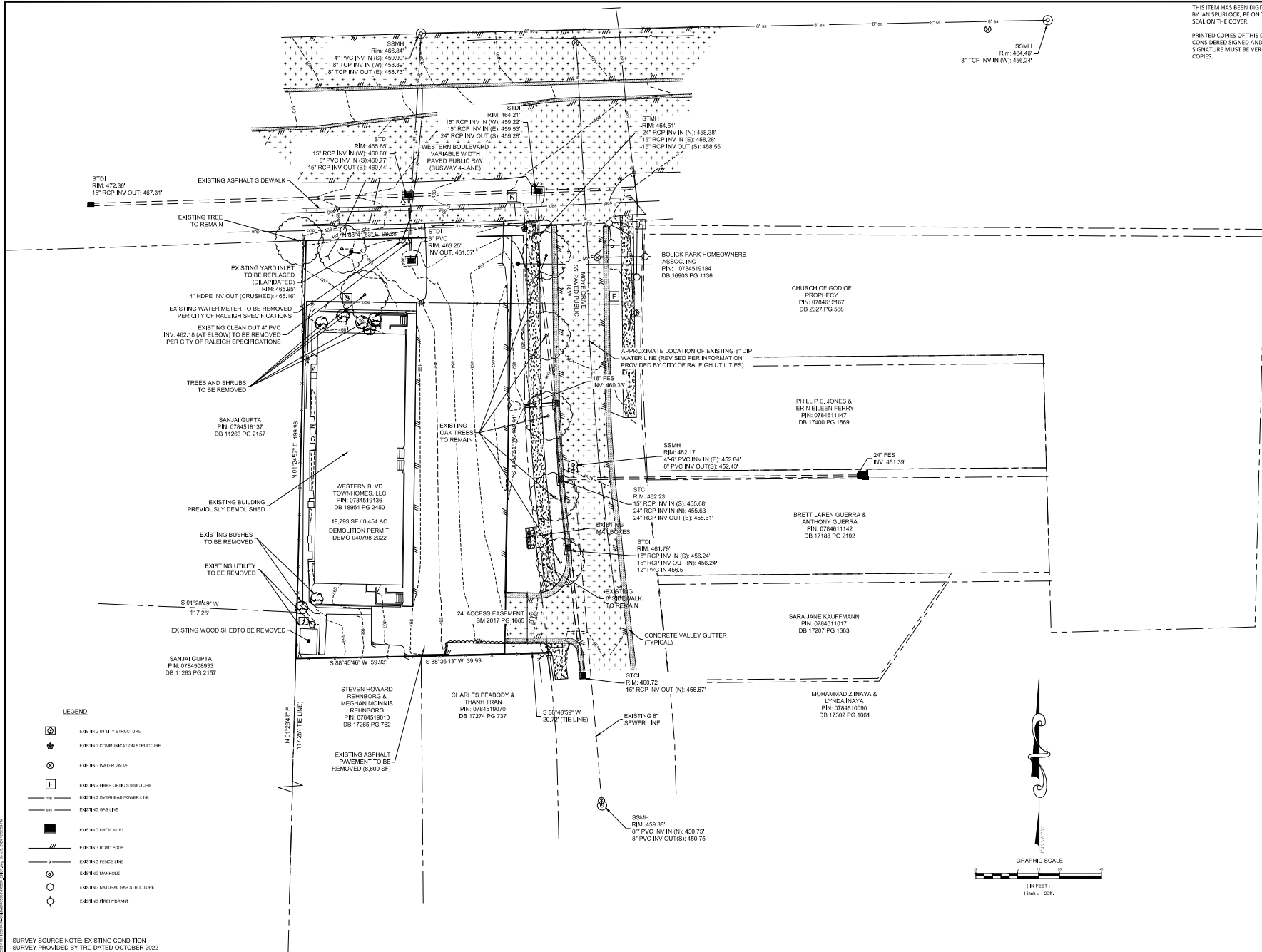
EXISTING CONDITIONS PLAN
 WESTERN BLVD TOWNHOMES
 SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

DESIGNED BY:	ILS
DRAWN BY:	MMM
CHECKED BY:	CTC JR
SCALE:	1" = 20'
DATE:	08/05/2024
PROJECT NUMBER:	495905

C2.0

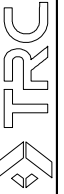
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SURVEY SOURCE NOTE: EXISTING CONDITION
 SURVEY PROVIDED BY TRC DATED OCTOBER 2022

DATE PLOTTED: 08/05/2024 10:58:33 AM USER: IAN.SPURLOCK

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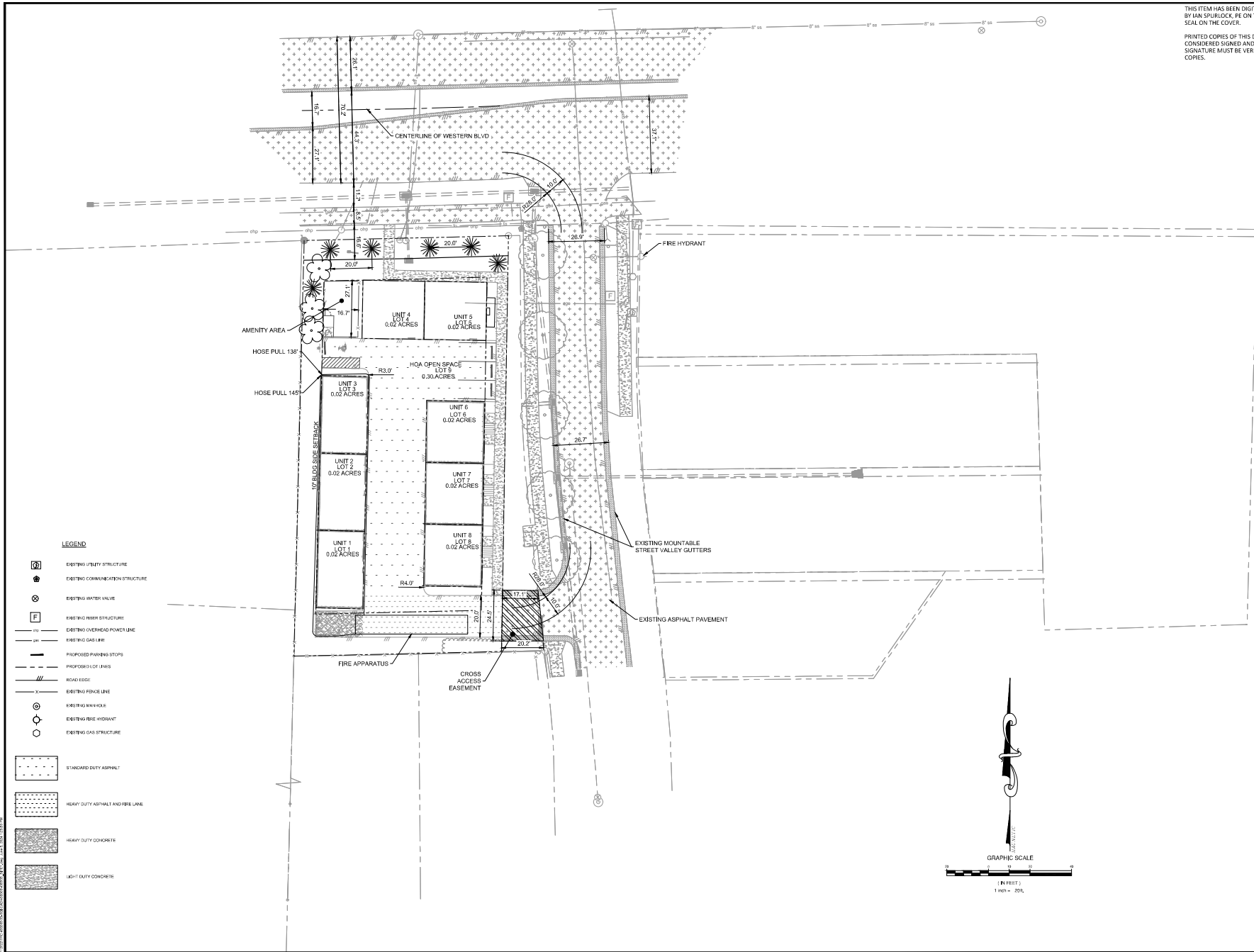
SITE FIRE PLAN
 WESTERN BLVD TOWNHOMES
 SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

DESIGNED BY: IJS
 DRAWN BY: MMM
 CHECKED BY: CTC JR
 SCALE: 1" = 20'
 DATE: 06/05/2024
 PROJECT NUMBER: 495805

C3.0

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LEGEND

- EXISTING UTILITY STRUCTURE
- EXISTING COMMUNICATION STRUCTURE
- EXISTING WATER VALVE
- EXISTING FIBER STRUCTURE
- EXISTING OVERHEAD POWER LINE
- EXISTING GAS LINE
- PROPOSED PARKING STOPS
- PROPOSED LOT LINES
- ROAD EDGE
- EXISTING FENCE LINE
- EXISTING MARKERS
- EXISTING FIRE HYDRANT
- EXISTING GAS STRUCTURE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT AND FIBER LANE
- HEAVY DUTY CONCRETE
- LIGHT DUTY CONCRETE

DATE PLOTTED: 06/05/2024 10:58:11 AM

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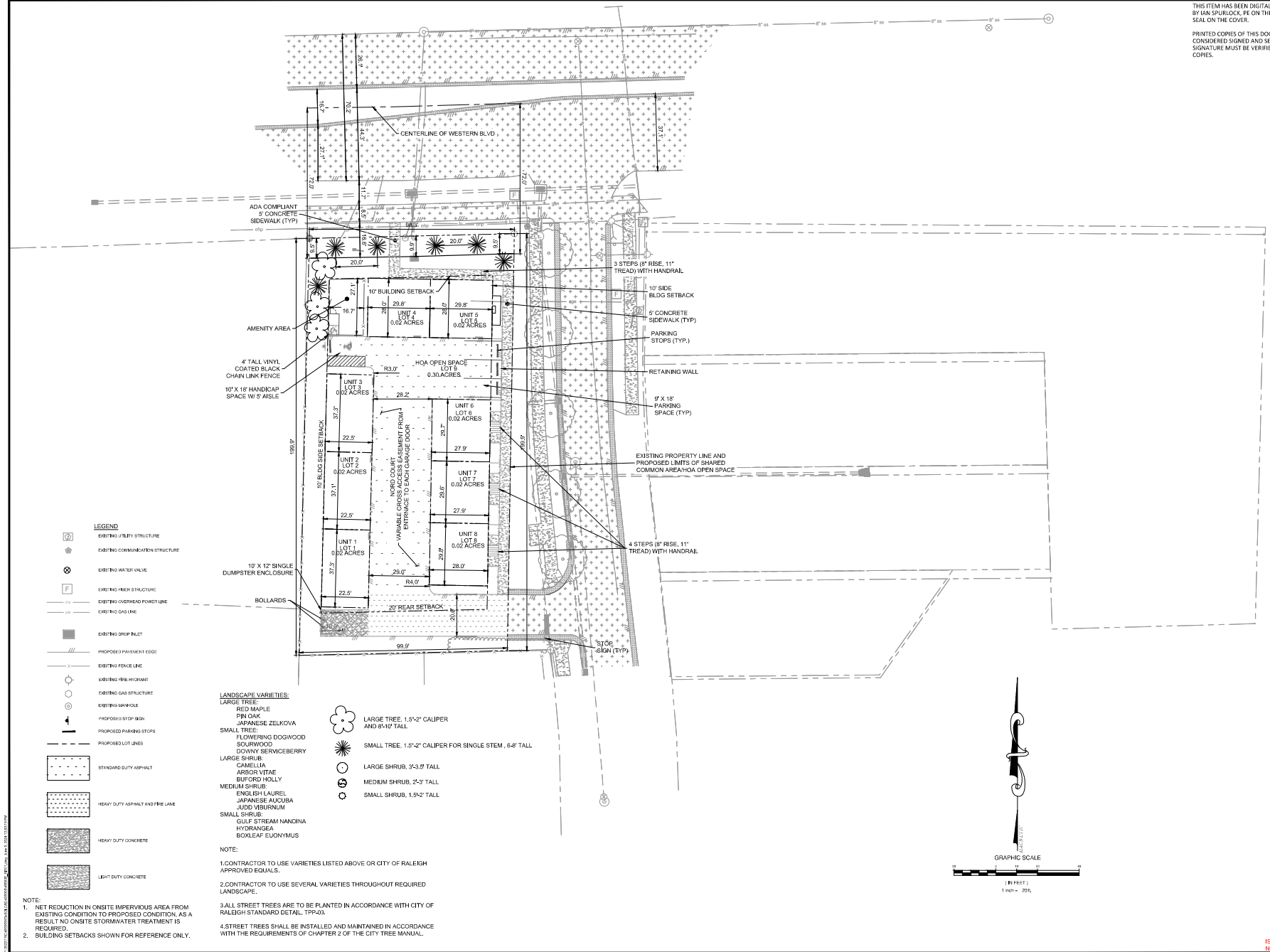
**SITE LAYOUT AND LANDSCAPE PLAN
 WESTERN BLVD TOWNHOMES
 SCHEMATIC SITE PLAN
 RALEIGH, NC**

REVISIONS

DESIGNED BY:	IBS
DRAWN BY:	MMM
CHECKED BY:	CTC JR
SCALE:	1" = 20'
DATE:	06/05/2024
PROJECT NUMBER:	495905

C4.0

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LEGEND

- EXISTING UTILITY STRUCTURE
- EXISTING COMMUNICATION STRUCTURE
- EXISTING WATER VALVE
- EXISTING METER STRUCTURE
- EXISTING OVERHEAD POWER LINE
- EXISTING GAS LINE
- EXISTING DROP INLET
- PROPOSED PAVEMENT EDGE
- EXISTING FENCE LINE
- EXISTING FIRE HYDRANT
- EXISTING GAS STRUCTURE
- EXISTING MANHOLE
- PROPOSED STOP SIGN
- PROPOSED PARKING STOPS
- PROPOSED LOT LINES
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT AND FIBER LANE
- HEAVY DUTY CONCRETE
- LIGHT DUTY CONCRETE

LANDSCAPE VARIETIES:

- LARGE TREE:**
 - RED MAPLE
 - PINK OAK
 - JAPANESE ZELKOVA
- SMALL TREE:**
 - FLOWERING DOGWOOD
 - SOURWOOD
 - DOWNY SERVICEBERRY
- LARGE SHRUB:**
 - CAMELLIA
 - ARISA VITAE
 - BUFORD HOLLY
- MEDIUM SHRUB:**
 - ENGLISH LAUREL
 - JAPANESE AUCUBA
 - JUD VIBURNUM
- SMALL SHRUB:**
 - GULF STREAM NANDINA
 - HYDRANGEA
 - BOXLEAF EUONYMUS
- LARGE TREE, 1.5"-2" CALIPER AND 8'-10' TALL
- SMALL TREE, 1.5"-2" CALIPER FOR SINGLE STEM, 6'-8' TALL
- LARGE SHRUB, 3'-3-9" TALL
- MEDIUM SHRUB, 2'-3" TALL
- SMALL SHRUB, 1.5'-2" TALL

NOTE:

1. CONTRACTOR TO USE VARIETIES LISTED ABOVE OR CITY OF RALEIGH APPROVED EQUALS.
2. CONTRACTOR TO USE SEVERAL VARIETIES THROUGHOUT REQUIRED LANDSCAPE.
3. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TTP-03.
4. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

1. NET REDUCTION IN ON-SITE IMPERVIOUS AREA FROM EXISTING CONDITION TO PROPOSED CONDITION, AS A RESULT NO ON-SITE STORMWATER TREATMENT IS REQUIRED.
2. BUILDING SETBACKS SHOWN FOR REFERENCE ONLY.

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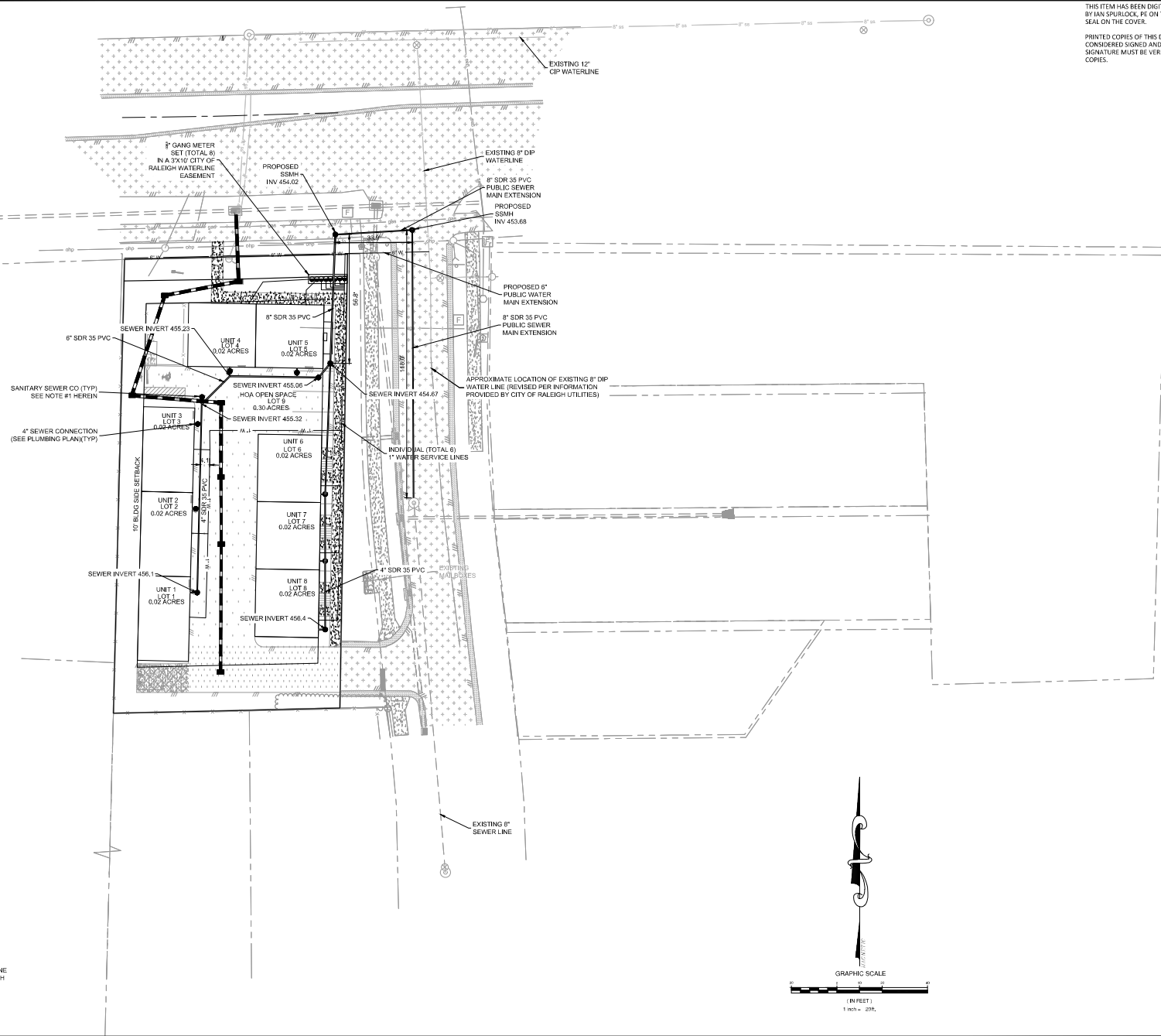
SITE UTILITY PLAN
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

DETERMINED BY: IJS
 DRAWN BY: MNM
 CHECKED BY: CTC JR
 SCALE: 1" = 20'
 DATE: 05/05/2024
 PROJECT NUMBER: 495905

C5.0

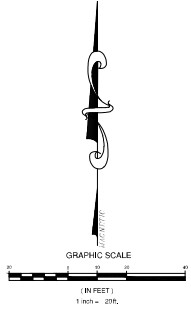
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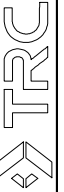
LEGEND

- PROPOSED WATER METER
- PROPOSED SEWER CLEANOUT
- PROPOSED SEWER LINE
- PROPOSED WATERLINE
- EXISTING UTILITY STRUCTURE
- ⊕ EXISTING COMMUNICATION STRUCTURE
- ⊙ EXISTING WATER VALVE
- ⊞ EXISTING FIBER STRUCTURE
- EXISTING OVERHEAD POWER LINE
- EXISTING GAS LINE
- EXISTING DROP INLET
- ▨ PROPOSED ROAD EDGE
- EXISTING FENCE LINE
- EXISTING FIRE HYDRANT
- EXISTING GAS STRUCTURE
- ⊙ EXISTING MANHOLE
- ⊕ PROPOSED STOP SIGN
- ⊞ PROPOSED PARKING STOPS
- PROPOSED LOT LINES
- ▨ STANDARD DUTY ASPHALT
- ▨ HEAVY DUTY ASPHALT AND TRAIL LINE
- ▨ HEAVY DUTY CONCRETE
- ▨ LIGHT DUTY CONCRETE

NOTE:
 1. ALL CLEANOUTS FOR THE SEWER ARE ON THE ROW LINE AND ENSURE A SEWER CLEANOUT IS LOCATED AT EACH DIRECTIONAL CHANGE IN THE LINE.



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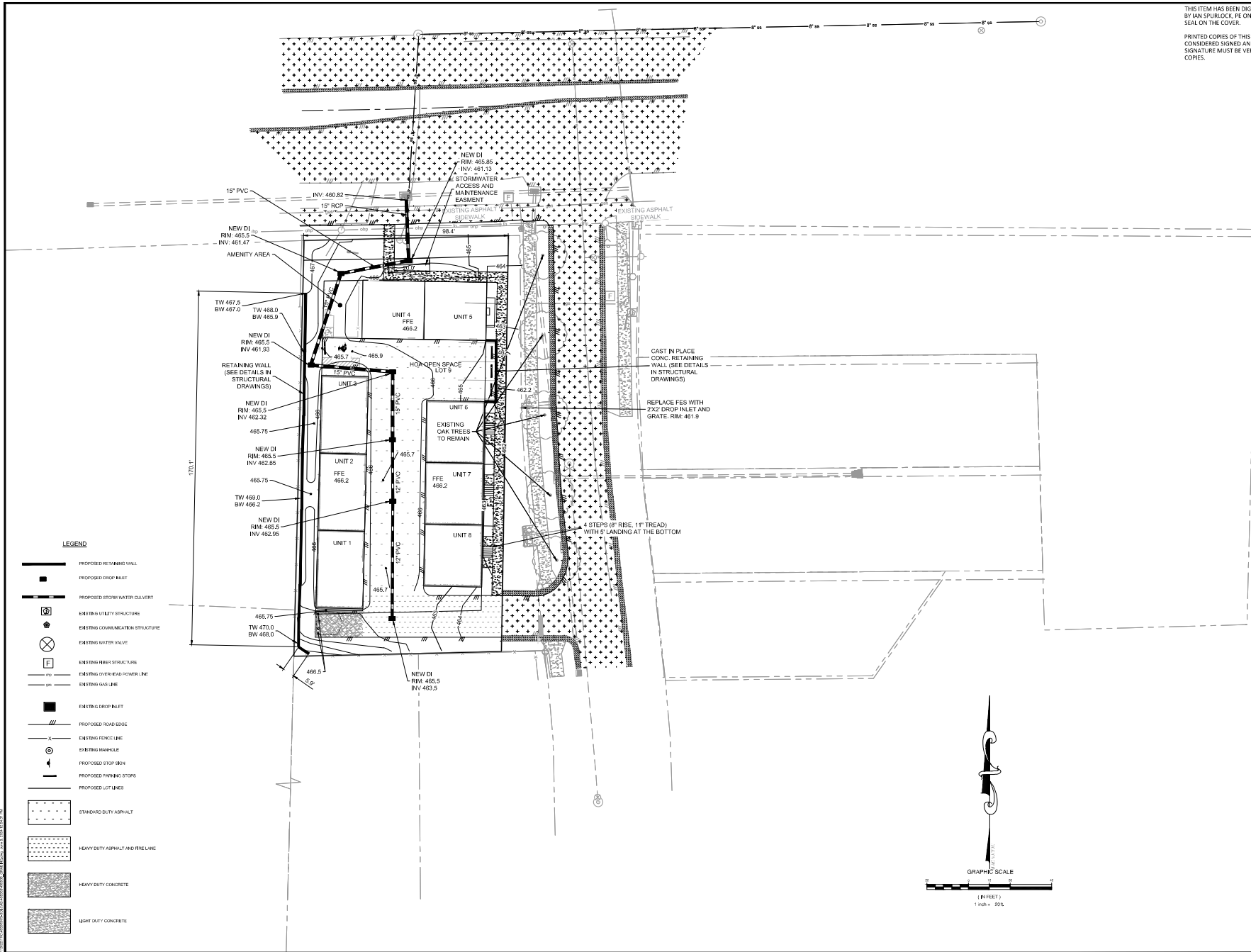
GRADING AND DRAINAGE PLAN
 WESTERN BLVD TOWNHOMES
 SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

DESIGNED BY: IJS
 DRAWN BY: MNM
 CHECKED BY: CTC JR
 SCALE: 1" = 20'
 DATE: 06/05/2024
 PROJECT NUMBER:
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C6.0

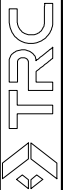
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LEGEND

- PROPOSED RETAINING WALL
- PROPOSED DROP INLET
- PROPOSED STORM WATER CULVERT
- EXISTING UTILITY STRUCTURE
- EXISTING COMMUNICATION STRUCTURE
- EXISTING WATER VALVE
- EXISTING FIBER STRUCTURE
- EXISTING OVERHEAD POWER LINE
- EXISTING GAS LINE
- EXISTING DROP INLET
- PROPOSED ROAD EDGE
- EXISTING FENCE LINE
- EXISTING MANHOLE
- PROPOSED STOP SIGN
- PROPOSED PARKING STOPS
- PROPOSED LOT LINES
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT AND FIRE LANE
- HEAVY DUTY CONCRETE
- LIGHT DUTY CONCRETE

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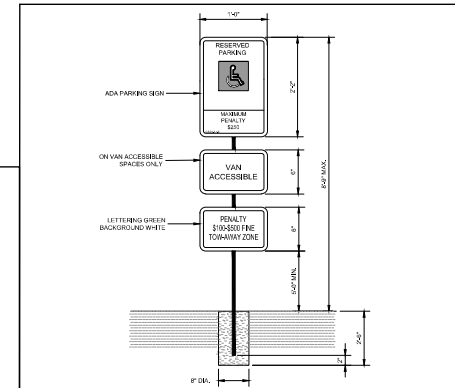
SITE DETAILS
 WESTERN BLVD TOWNHOMES
 SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

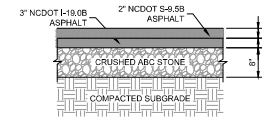
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 DRAWN BY: MNM
 CHECKED BY: CTCJR
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 DATE: 06/05/2024
 PROJECT NUMBER: 495905

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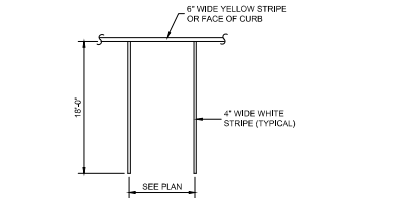
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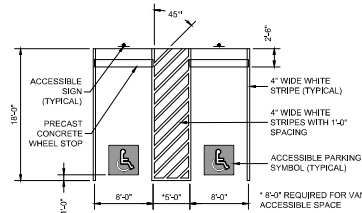
4 ADA SIGN
 NOT TO SCALE



3 HEAVY DUTY ASPHALT
 NOT TO SCALE

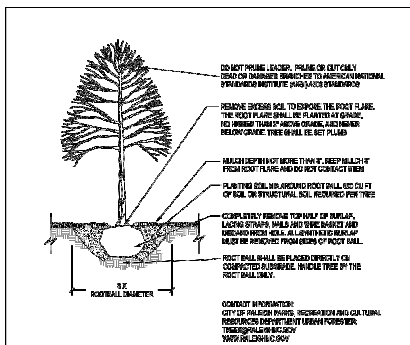


STRIPING PATTERN FOR SINGLE PARKING STALL



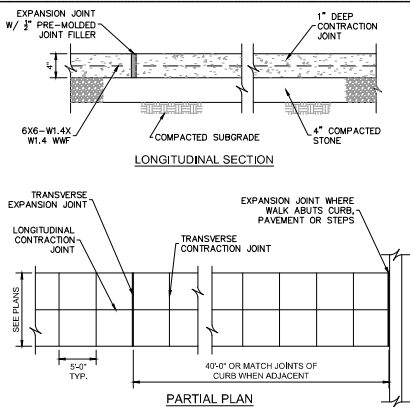
TYPICAL ACCESSIBLE PARKING SPACES

2 PAVEMENT MARKING DETAILS
 NOT TO SCALE



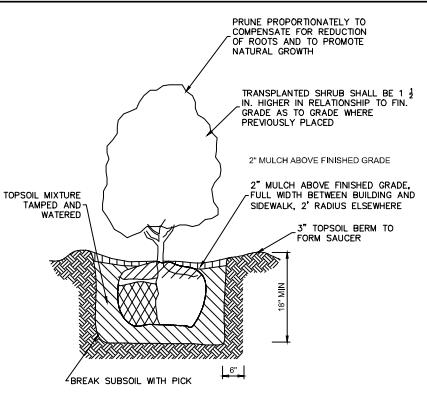
- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS W/CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS OF ALL PLANT MATERIAL. POSITIVE DRAINAGE AWAY FROM TREE.
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE WATKINSON IS REQUIRED.
 5. ELECTRICAL, OUTLETS AND OTHER UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO PLANTING. MARKING SHALL BE COMPLETED IMMEDIATELY UPON RECEIPT OF THE TREE.
 6. IF PLANTING IS ACCOMPANIED WITH THE CITY TREE MANUAL, THE STRIPING MUST BE PROVIDED WITHIN ONE YEAR.
 7. TREES WILL BE PLANTED 1 YEAR IMMEDIATELY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH			
STANDARD MANUAL			
SECTION	DATE	REVISED	BY
TPP-03			

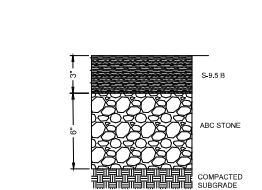


WALK WIDTH	LONGITUDINAL CONTRACTION JOINT
< 5'-11"	NONE
6'-0" - 7'-11"	ONE ALONG WALK AT CENTERLINE
8'-0" - 12'-0"	TWO ALONG WALK AT THIRD POINTS

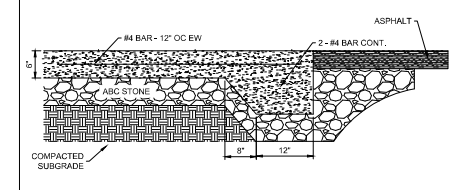
5 SIDEWALK
 NOT TO SCALE



6 SHRUB PLANTING
 NOT TO SCALE



7 STANDARD DUTY ASPHALT
 NOT TO SCALE



8 HEAVY DUTY CONCRETE
 NOT TO SCALE

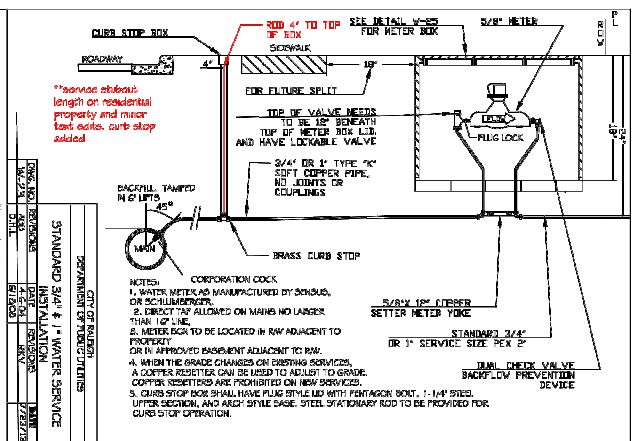
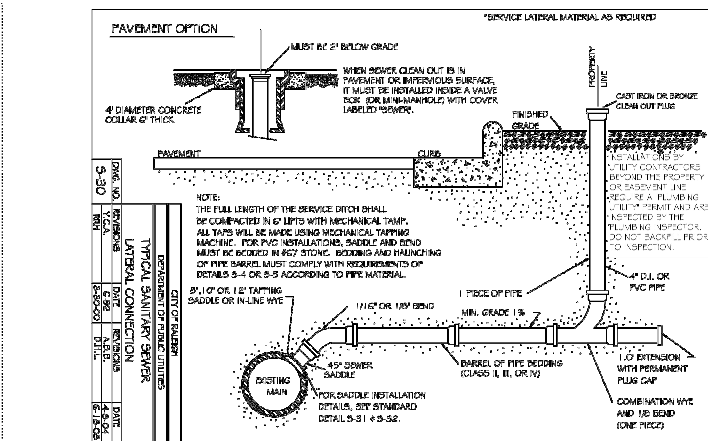
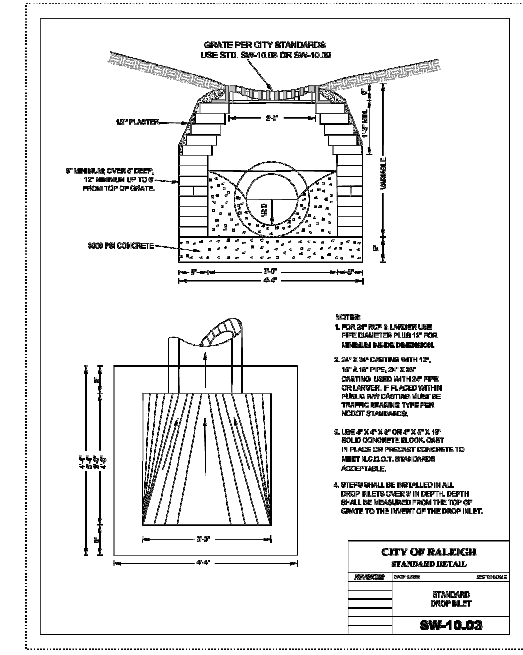
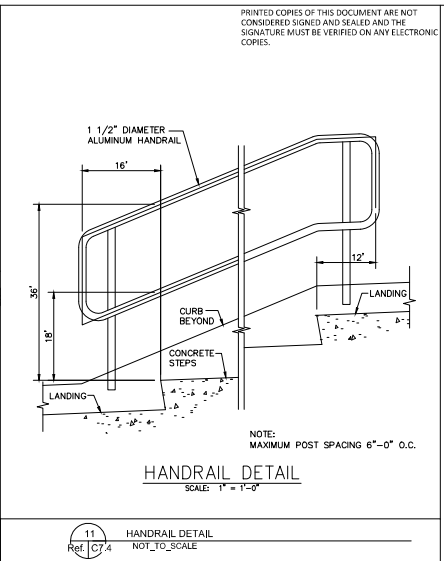
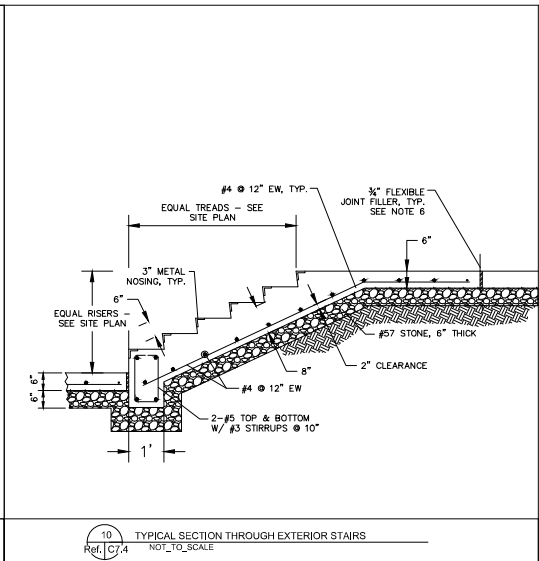
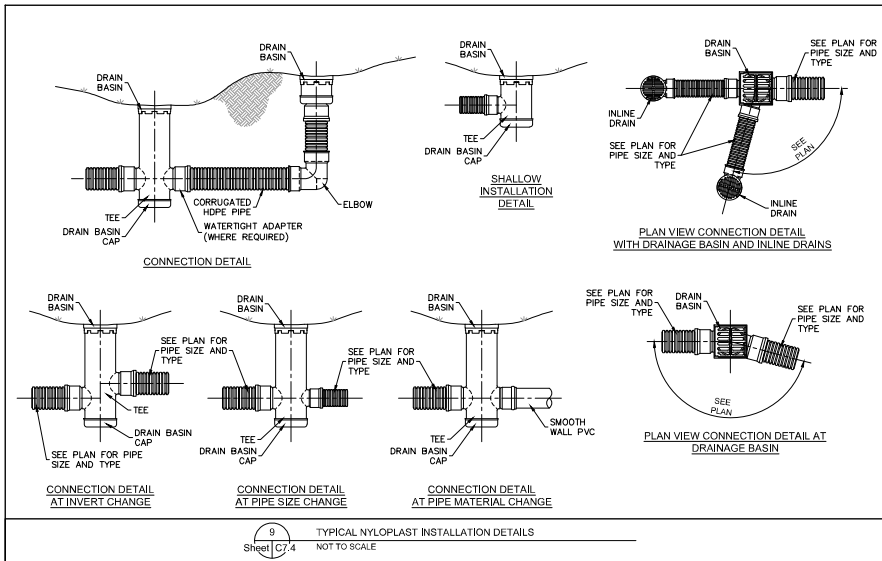
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SITE DETAILS
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

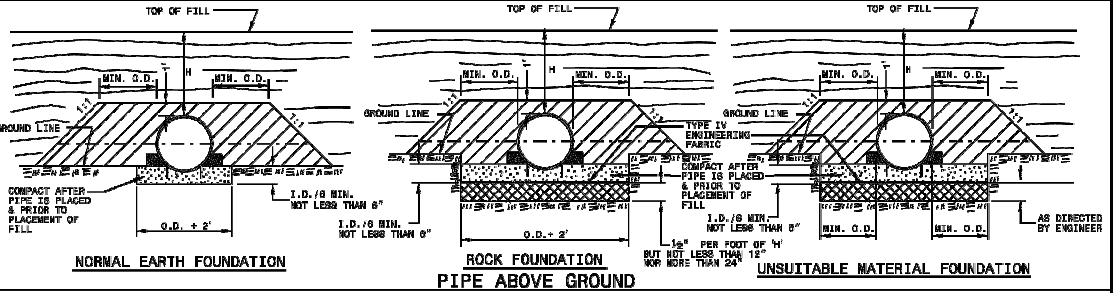
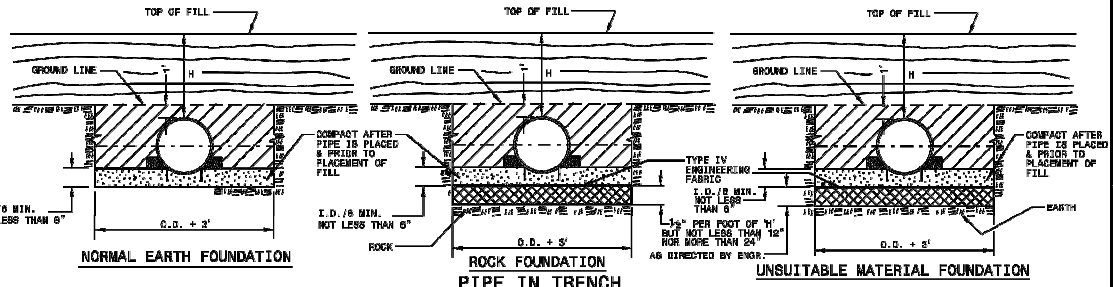
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STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

ENGLISH STANDARD DRAWING FOR
METHOD OF PIPE INSTALLATION
FLEXIBLE PIPE



GENERAL NOTES:

I.D. = THE MAXIMUM HORIZONTAL INSIDE DIAMETER DIMENSION.
O.D. = THE MAXIMUM HORIZONTAL OUTSIDE DIAMETER DIMENSION.
H = THE FILL HEIGHT MEASURED VERTICALLY AT ANY POINT ALONG THE PIPE FROM THE TOP OF THE PIPE TO THE TOP OF THE EMBANKMENT AT THAT POINT.
TAKE CARE TO FULLY COMPACT HAUNCH ZONE OF PIPE BACKFILL.
LOOSELY PLACED SELECT MATERIAL CLASS III OR CLASS II, TYPE I FOR PIPE BEDDING. LEAVE SECTION DIRECTLY BENEATH PIPE UNCOMPACTED AS PIPE SEATING AND BACKFILL WILL ACCOMPLISH COMPACTON.

DO NOT OPERATE HEAVY EQUIPMENT OVER ANY PIPE CULVERT UNTIL THE PIPE CULVERT HAS BEEN PROPERLY BACKFILLED AND COVERED WITH AT LEAST 3 FEET OF APPROVED MATERIAL.

- - - - - SPRINGLINE OF PIPE

SELECT BACKFILL MATERIAL CLASS III OR CLASS II, TYPE 1 ABOVE AND BELOW SPRINGLINE.

APPROVED SUITABLE LOCAL MATERIAL.

UNDISTURBED EARTH MATERIAL.

SELECT MATERIAL CLASS V OR VI FOR FOUNDATION CONDITIONING. ENCAPSULATE WITH ENGINEERING FABRIC AS DIRECTED BY THE ENGINEER.

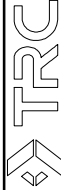
SHEET 1 OF 3
300.01

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

ENGLISH STANDARD DRAWING FOR
METHOD OF PIPE INSTALLATION
FLEXIBLE PIPE

SHEET 1 OF 3
300.01

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SITE DETAILS
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
RALEIGH, NC

REVISIONS

DETERMINED BY: IJS
DRAWN BY: MNM
CHECKED BY: CTC_JR
SCALE: NONE
DATE: 05/05/2024
PROJECT NUMBER: 495905

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