



Administrative Approval Action

Case File / Name: SUB-0032-2024
DSLCL - WESTERN BLVD TOWNHOMES SUBD.

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 0.46-acre parcel is located on Western Boulevard between Interstate 440 W and Jones Franklin Road, off Moye Drive. It is zoned OX-3 and located in a Special Residential Parking Overlay District (SRPOD) and a Transit Overlay District (TOD). It is also located in a Frequent Transit Area and specifically identified as 5009 Western Boulevard.

REQUEST: The plan proposes subdividing the existing parcel into 9 lots for a townhouse development, utilizing the Conventional Development Option (not FTDO). New Lots 1 - 8 will be the townhouse lots and New Lot 9 will be a common HOA or open lot.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 16, 2024 by TRC Companies Inc..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to SPR approval, plans shall include details regarding proposed retaining walls and appropriate permits shall be issued. Retaining walls less than 5 feet in height shall be issued zoning permits.
2. On Cover Sheet, Sheet C3.1 and any other applicable plan sheet, verify the correct amount of outdoor amenity area is being provided.
3. Demonstrate compliance with the Neighborhood Transition requirements.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

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| <input checked="" type="checkbox"/> | Right of Way Deed of Easement Required |
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A fee-in-lieu for sidewalk and bike lane is paid to the City of Raleigh (UDO 8.1.10).
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
6. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.



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BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

2. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes (4) street trees along Western Blvd.
6. A public infrastructure surety for (4) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all right-of-way street trees by Urban Forestry Staff.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

Form with sections: DEVELOPMENT OPTIONS (UDO Chapter 2), GENERAL INFORMATION, CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION. Includes checkboxes for development types and owner details.

4 Revision 05.07.24 raleighnc.gov

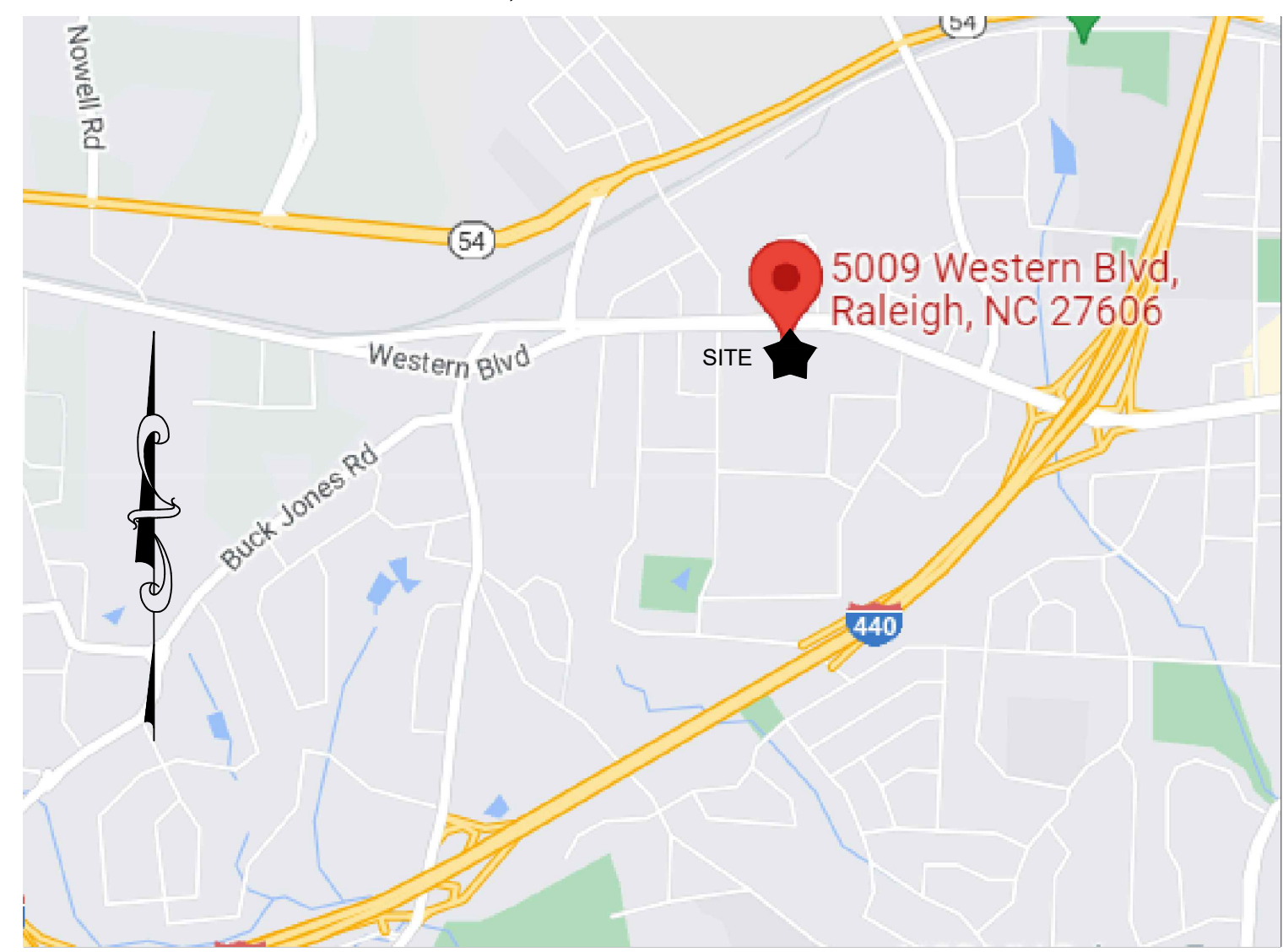
Form with sections: DEVELOPMENT TYPE + SITE DATE TABLE - ZONING INFORMATION, STORMWATER INFORMATION, NUMBER OF LOTS AND DENSITY. Includes tables for zoning and lot counts.

Form with section: APPLICANT SIGNATURE BLOCK. Includes signature lines for James Thomas Gladwell and Luke Burlage.

WESTERN BOULEVARD TOWNHOMES

SUB-0032-2024

RALEIGH, NORTH CAROLINA



VICINITY MAP NOT TO SCALE

PROJECT INFORMATION table containing details: NAME OF PROJECT, ENGINEER (TRC), ARCHITECT (GERMANO ARCHITECTURE + INTERIORS), OWNER (WESTERN BLVD TOWNHOMES LLC), PIN, DEED REFERENCE, ZONE CLASSIFICATION, GROSS SITE AREA, NET SITE AREA, FLOOD ZONE CLASS, WATERSHED CLASSIFICATION, UDO ALLOWABLE IMPERVIOUS, EXISTING IMPERVIOUS AREA, PROPOSED IMPERVIOUS AREA, PARKING SPACES PROVIDED, BUILDING SETBACK FRONT, BUILDING SETBACK SIDE, BUILDING SETBACK REAR, LIMITS OF DISTURBANCE, OUTDOOR AMENITY AREA %, REQUIRED 10% = 1,979 SF, PROVIDED 18% = 3,367 SF, BUILDING TYPE: TOWNHOME, TOTAL NUMBER OF BUILDINGS: (8) UNITS, DEVELOPMENT OPTION: CONVENTIONAL SUBDIVISION, OVERLAY AND SPECIAL DISTRICT: TOD, RALEIGH SUBDIVISION PLAN #: SUB-0032-2024, SITE DEMOLITION PERMIT #: DEMO-040798-2022



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY IAN SPURLOCK, PE ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

2024.12.24 11:23:24-05'00'

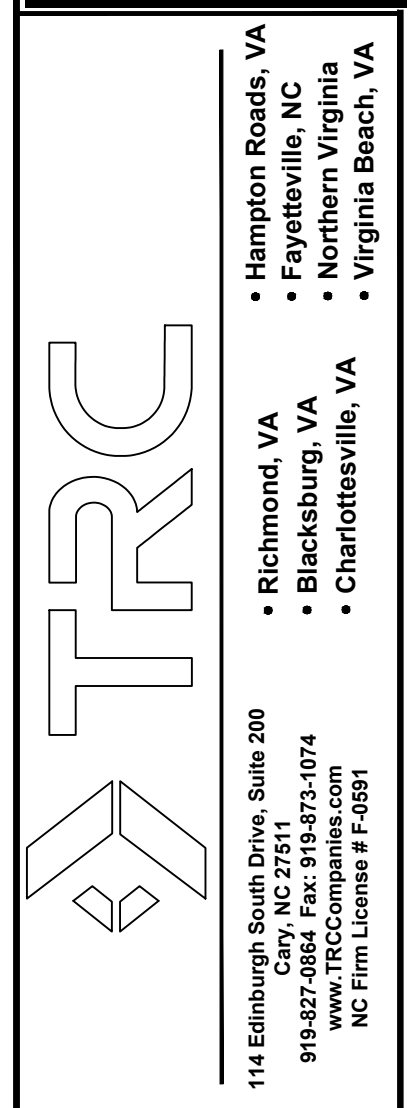
TRC REVIEW

THESE PLANS HAVE BEEN SUBJECTED TO TECHNICAL AND QUALITY REVIEWS BY:

Table listing reviewers: JULIA CATLIN (PROJECT DESIGNER), IAN SPURLOCK, P.E. (PROJECT MANAGER), NICK WILHELM, E.I. (QUALITY REVIEWER) with their signatures and dates.

Sheet List Table with columns: Sheet Number, Sheet Title. Lists sheets from CIVIL COVER to C7.5.

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



COVER SHEET
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
RALEIGH, NC

REVISIONS table with 3 entries: 2024-09-12 CITY COMMENTS, 2024-11-14 CITY COMMENTS, 2024-12-16 CITY COMMENTS.

Table with fields: DESIGNED BY: IUS, DRAWN BY: MNM, CHECKED BY: CTC JR, SCALE: NONE, DATE: 11/14/2024, PROJECT NUMBER: 495905.

CIVIL COVER

SUB-0032-2024 ISSUED FOR PERMITTING NOT FOR CONSTRUCTION

CONSTRUCTION SEQUENCE

- EROSION AND SEDIMENT CONTROL (E&S) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES (INCLUDING TIMBERING AND DEMOLITION) OCCUR. (OWNER COMPLETED TASK) A COPY OF THE E&S PERMIT, THE COC, AND A HARD COPY OF THE PLANS MUST BE KEPT ON SITE FOR INSPECTION.
- THE CONTRACTOR SHALL NOTIFY NC STATE ENVIRONMENTAL AFFAIRS PRIOR TO BEGINNING CONSTRUCTION AND CONTACT DEMLR RALEIGH REGIONAL OFFICE AT LEAST 48 HOUR PRIOR TO COMMENCING THE LAND DISTURBING ACTIVITY AT 919-791-4200.
- INSTALL TREE PROTECTION FENCE, SILT FENCE, AND SILT FENCE OUTLETS PRIOR TO AN LAND DISTURBING ACTIVITIES. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES AS SPECIFIED ON THE APPROVED PLAN SHEET. INSTALL ALL OTHER EROSION CONTROL MEASURES AS REQUIRED BY NCDCEQ INCLUDING SEDIMENT BASINS, BARRIERS, AND DIVERSION DITCHES AS NEEDED. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. INSTALL DITCH LINERS AS NOTED ON PLANS TO TOP OF BANK. SEED TEMPORARY DIVERSIONS, BERMS, AND BASINS IMMEDIATELY AFTER INSTALLATION. INSTALL COIR WATTLES OR CHECK DAMS IN TEMPORARY DIVERSIONS BEGIN DEMOLITION ACTIVITIES AS SPECIFIED ON THE DEMOLITION PLAN.
- COMPLETE INSTALLATION OF STORM SEWER AS FIRST MEASURE TO DIVERT CLEAN WATER AROUND SITE. PROTECT EACH INSTALLED INLET WITH INLET PROTECTION AFTER INSTALLATION. UTILITY TRENCHES SHALL BE DEWATERED THROUGH SILT BAG. SLOPES OF SEDIMENT BASINS WILL BE COVERED WITH A SUITABLE RECP AFTER SEEDING.
- SEED, MULCH, AND TACK ANY BARE AREAS BETWEEN THE PERIMETER MEASURES AND THE DIVERSIONS AND BASINS IMMEDIATELY AFTER INSTALLATION.
- BEGIN GRADING OF PARKING LOT. ALL SLOPES ARE TO BE TRACKED AND ALL DITCHES WILL BE LINED TO TOP OF BANK.
- BEGIN BUILDING CONSTRUCTION.
- COMPLETE FINE GRADING AND PAVING ACTIVITIES OF PARKING LOT.
- INSTALL LANDSCAPE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ONLY AFTER ALL UPSTREAM AREAS HAVE BEEN STABILIZED SEDIMENT BASINS SHALL BE DEWATERED THROUGH SILT BAG AND REMOVED. DEQ APPROVAL IS REQUIRED PRIOR TO REMOVAL.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT.
- STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
- SITE STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOWABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGH THE SITE, WITH NO LARGE BARE PATCHES OR EVIDENCE OF EROSION.
- WHEN THE PROJECT IS COMPLETE, THE PERMITTEE SHALL CONTACT DEMLR TO CLOSE OUT THE E&S PLAN. (OWNER COMPLETED TASK)
- PER NPDES REQUIREMENTS, A RAIN GAUGE, SELF-INSPECTIONS RECORDS, PERMIT, CERTIFICATE OF COVERAGE, AND S&E PLAN ARE REQUIRED TO BE MAINTAINED ON SITE AND ACCESSIBLE DURING INSPECTION. IT IS RECOMMENDED THAT THESE ITEMS BE PLACED IN A PERMITS BOX AT THE BEGINNING OR ENTRANCE OF THE PROJECT.
- SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF GREATER THAN 1 INCH. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED. ALL ESC MEASURES SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAUGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING.
- PERIMETER MEASURES MUST BE LEFT IN PLACE UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED. AFTER SITE IS PERMANENTLY STABILIZED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND PROVIDE PERMANENT SEEDING WHERE TEMPORARY MEASURES HAVE BEEN REMOVED AND GROUND COVER IS NOT ADEQUATE. SEDIMENT BASINS MAY NOT BE REMOVED OR CONVERTED TO PERMANENT SCMS UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED.

CONSTRUCTION SEQUENCE

ENGINEERED FILL

- ALL CONTROLLED FILL ZONES ARE TO BE MONITORED BY A FULL TIME GEOTECHNICAL ENGINEERING SERVICES FIRM.
- ENGINEERED FILLS SHALL BE PROPERLY PLACED ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- ALL SUMMARY REPORTS FROM THE GEOTECHNICAL ENGINEER REPRESENTING THE PROJECT MUST STATE HIS PROFESSIONAL OPINION ON THE SATISFACTORILY COMPLETED PHASES OF CONSTRUCTION SUCH AS: SLOPE CUTS, SUBDRAINAGE SYSTEMS, PREPARATION OF SUBGRADES AND COMPACTION OF EARTH FILLS.
- NO FILLS SHALL HAVE ZONES THAT EXCEED TWO (2) FEET IN ELEVATION WITHOUT CONDUCTING COMPACTION TEST AND OBTAINING RESULTS OF 95% OR GREATER.
- THE GEOTECHNICAL ENGINEER MUST SUBMIT A DETAILED ANALYSIS, ITEMIZING THE FIELD DENSITY TEST RESULTS. THIS REPORT SHALL BE ACCOMPANIED WITH A COPY OF THE SITE PLAN SHEET AND INDICATE THE TEST LOCATIONS AND ELEVATIONS. THE GEOTECHNICAL ENGINEER MUST PROVIDE ENOUGH DESIGNATED TESTING IN ALL FILL ZONES TO ADEQUATELY EXAMINE AND CERTIFY THE INTEGRITY OF THE FILL.
- THE GEOTECHNICAL ENGINEER MUST SUBMIT A CERTIFIED BUILDING PAD REPORT FOR EACH FILL PAD LOCATION. THIS REPORT SHALL PROFILE THE FILL MATERIAL PLACEMENT AND PROVIDE THE COMPACTION TEST RESULTS. ALL REPORTS WILL BE ACCOMPANIED BY THE SITE PLAN, INDICATING THE TEST LOCATIONS AND ELEVATIONS.
- NO BUILDING PADS IN FILL ZONES WILL HAVE STRATUMS EXCEEDING TWO (2) FEET IN ELEVATION WITHOUT TEST VERIFYING DENSITY.
- THESE GEOTECHNICAL NOTES SHALL IN NO WAY LESSEN THE REQUIREMENTS OF THE SUBMITTED SOILS REPORT.

ROAD SUBGRADE

- INSPECTION AND APPROVAL OF THE SUBGRADE WILL BE REQUIRED PRIOR TO THE PLACEMENT OF THE APPROVED PAVEMENT SECTION MATERIAL.
- ANY CLAY DEPOSITS IN THE TOP TWO FEET OF THE SUBGRADE MUST BE REMOVED OR ADDRESSED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- SUBGRADE APPROVAL SHALL BE ACCOMPANIED BY THE SUPPORTING DOCUMENTATION VERIFYING DENSITY TEST RESULTS OF 95% OR GREATER.
- THE ENTIRE SUBGRADE WILL HAVE BEEN PROOFROLLED IN THE PRESENCE OF THE SITE INSPECTOR AND GEOTECHNICAL REPRESENTATIVE. PROOFROLLING SHALL BE A RUBBER TIRE VEHICLE SUCH AS A LOADED TEN (10) TON TRUCK OF APPROVED COMPACTION EQUIPMENT.
- THE FINAL SUBGRADE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND SITE INSPECTOR BEFORE PLACEMENT OF PAVEMENT SECTION MATERIALS.

GENERAL NOTES

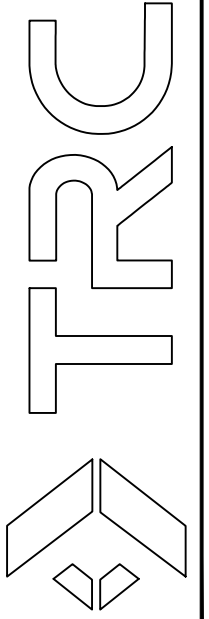
- DIMENSIONS AND RADII ARE TO FACE OF CURB, WHERE APPLICABLE, UNLESS OTHERWISE INDICATED.
- DIMENSIONS AT BUILDING ARE TO OUTSIDE FACE, UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM THE LOCAL AND STATE AGENCIES.
- ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- ALL PAVING MATERIALS AND DRAINAGE STRUCTURES SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- THE LOCATION OF EXISTING SEWER, WATER OR GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS. FOR ASSISTANCE IN LOCATING EXISTING UTILITIES CALL "NO ONE CALL", DIAL 811.
- ALL WATER AND SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- WHERE PAVEMENT IS BEING REMOVED, THE CONTRACTOR SHALL REMOVE AGGREGATE BASE MATERIAL TO SUB-GRADE.
- DAMAGE TO UTILITIES (INCLUDING UNDERGROUND) OR PROPERTY OF OTHERS BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY CONTRACTOR AT NO COST TO OWNER.
- EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO LIKE-NEW CONDITION.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
- THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY INSPECTORS.
- PARKING SPACES SHALL BE DELINEATED BY FOUR INCH WIDE WHITE TRAFFIC PAINT.
- LANDSCAPING AND SITE IMPROVEMENTS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS WITHIN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS.
- THE CONTRACTOR SHALL NOTIFY THE ALL APPLICABLE REGULATORY AGENCIES AND THE ENGINEER AT LEAST 24 HOURS PRIOR TO STARTING WORK ON THIS PROJECT.
- ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).
- VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
- DEVIATIONS FROM, OR CHANGES TO THESE PLANS WILL NOT BE ALLOWED.
- MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. REPAIR AT YOUR OWN EXPENSE. ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION, IF A UTILITY IS DAMAGED DURING CONSTRUCTION, STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.

GENERAL UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR, USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT. EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSSCONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

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NOTES
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
RALEIGH, NC

REVISIONS

- | |
|------------------------------|
| 2024-09-12: CITY COMMENTS |
| 2024-11-14: CITY COMMENTS |
| 2024-12-16: CITY COMMENTS |

DESIGNED BY:

IJS

DRAWN BY:

MNM

CHECKED BY:

CTC JR

SCALE:

NONE

DATE:

11/14/2024

PROJECT NUMBER:

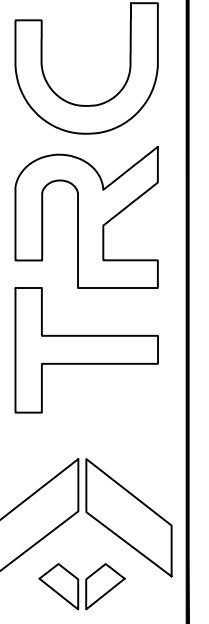
495905

C1.0

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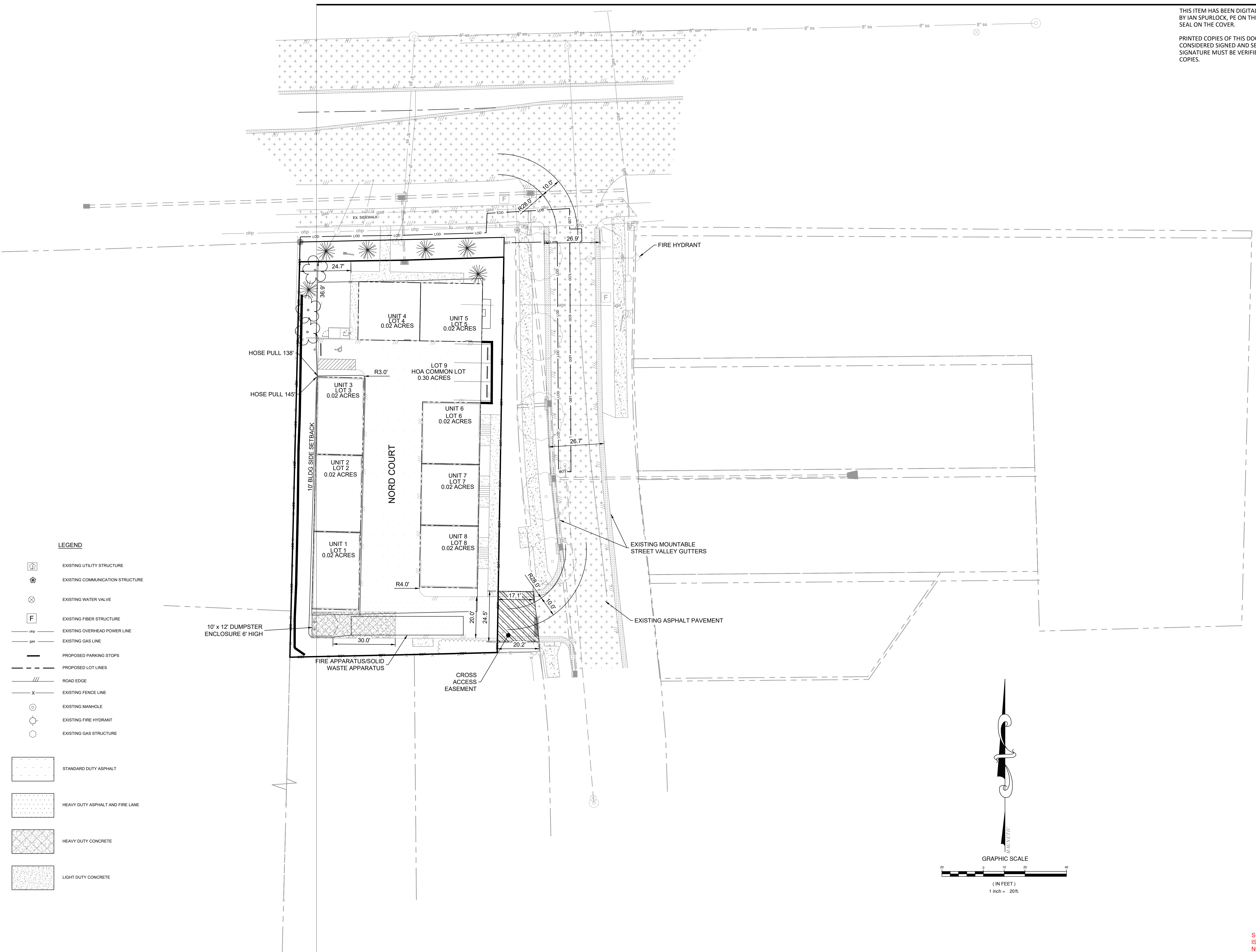
SITE FIRE PLAN
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
 RALEIGH, NC

| REVISIONS | |
|-----------|---------------------------|
| △ | 2024-09-12: CITY COMMENTS |
| △ | 2024-11-14: CITY COMMENTS |
| △ | 2024-12-16: CITY COMMENTS |

| | |
|-----------------|------------|
| DESIGNED BY: | IJS |
| DRAWN BY: | MNM |
| CHECKED BY: | CTC JR |
| SCALE: | 1" = 20' |
| DATE: | 11/14/2024 |
| PROJECT NUMBER: | 495905 |

C3.0

SUB-0032-2024
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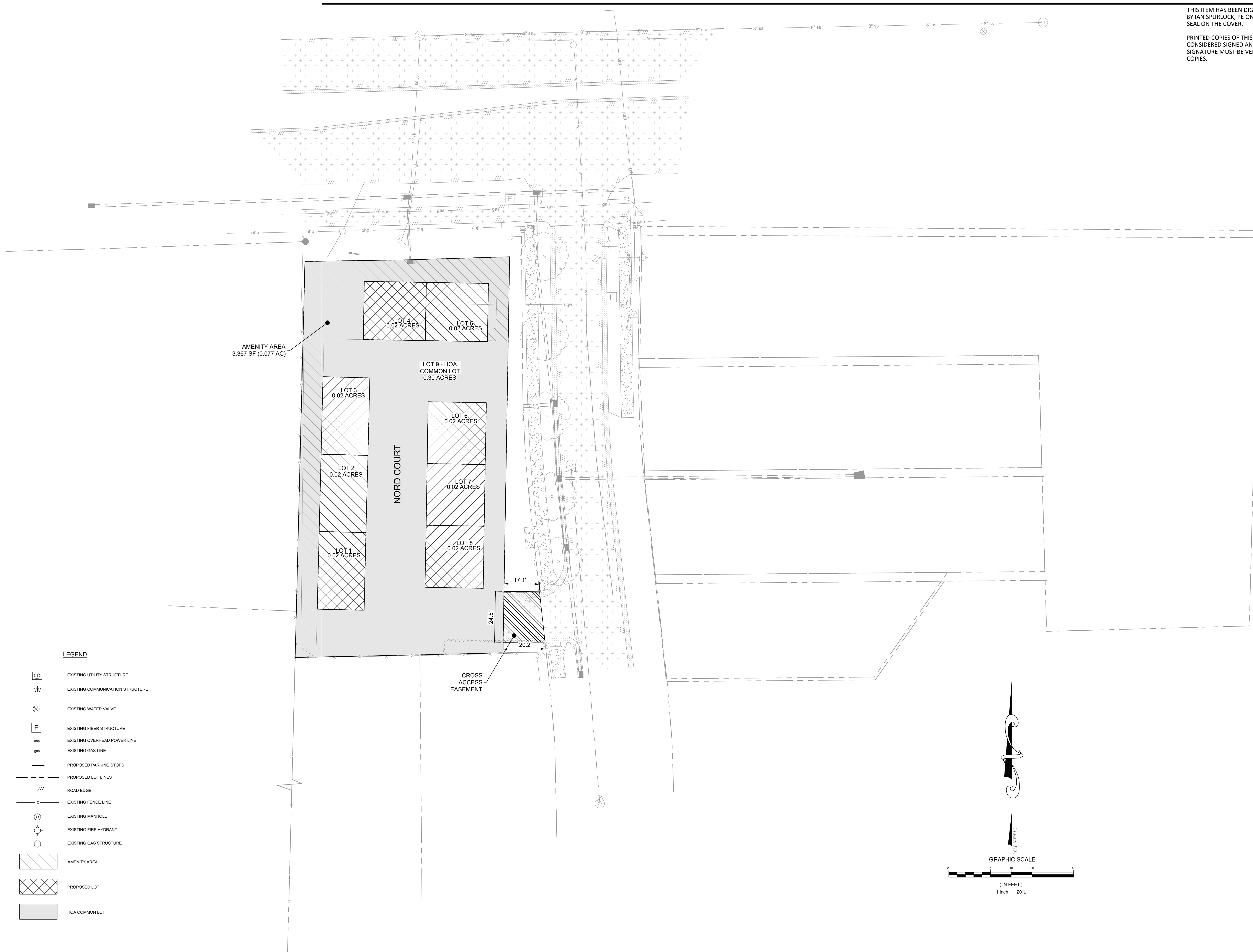


LEGEND





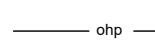
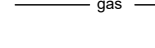

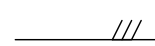
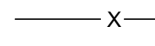






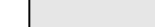
- EXISTING UTILITY STRUCTURE
- EXISTING COMMUNICATION STRUCTURE
- EXISTING WATER VALVE
- EXISTING FIBER STRUCTURE
- EXISTING OVERHEAD POWER LINE
- EXISTING GAS LINE
- PROPOSED PARKING STOPS
- PROPOSED LOT LINES
- ROAD EDGE
- EXISTING FENCE LINE
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS STRUCTURE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT AND FIRE LANE
- HEAVY DUTY CONCRETE
- LIGHT DUTY CONCRETE

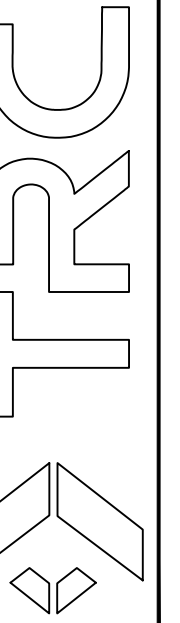
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LEGEND

-  EXISTING UTILITY STRUCTURE
-  EXISTING COMMUNICATION STRUCTURE
-  EXISTING WATER VALVE
-  EXISTING FIBER STRUCTURE
-  EXISTING OVERHEAD POWER LINE
-  EXISTING GAS LINE
-  PROPOSED PARKING STOPS
-  PROPOSED LOT LINES
-  ROAD EDGE
-  EXISTING FENCE LINE
-  EXISTING MANHOLE
-  EXISTING FIRE HYDRANT
-  EXISTING GAS STRUCTURE
-  AMENITY AREA
-  PROPOSED LOT
-  HOA COMMON LOT



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LOTS & EASEMENTS LAYOUT
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

-  2024-09-12: CITY COMMENTS
-  2024-11-14: CITY COMMENTS
-  2024-12-16: CITY COMMENTS

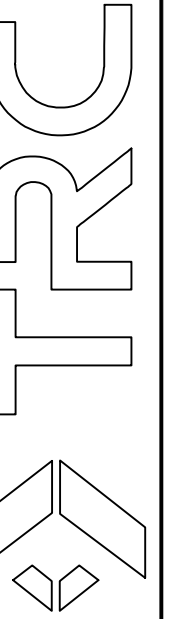
DESIGNED BY: IUS
 DRAWN BY: MNM
 CHECKED BY: CTC JR
 SCALE: 1" = 20'
 DATE: 11/14/2024
 PROJECT NUMBER: 495905

C3.1

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SITE LAYOUT
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
RALEIGH, NC

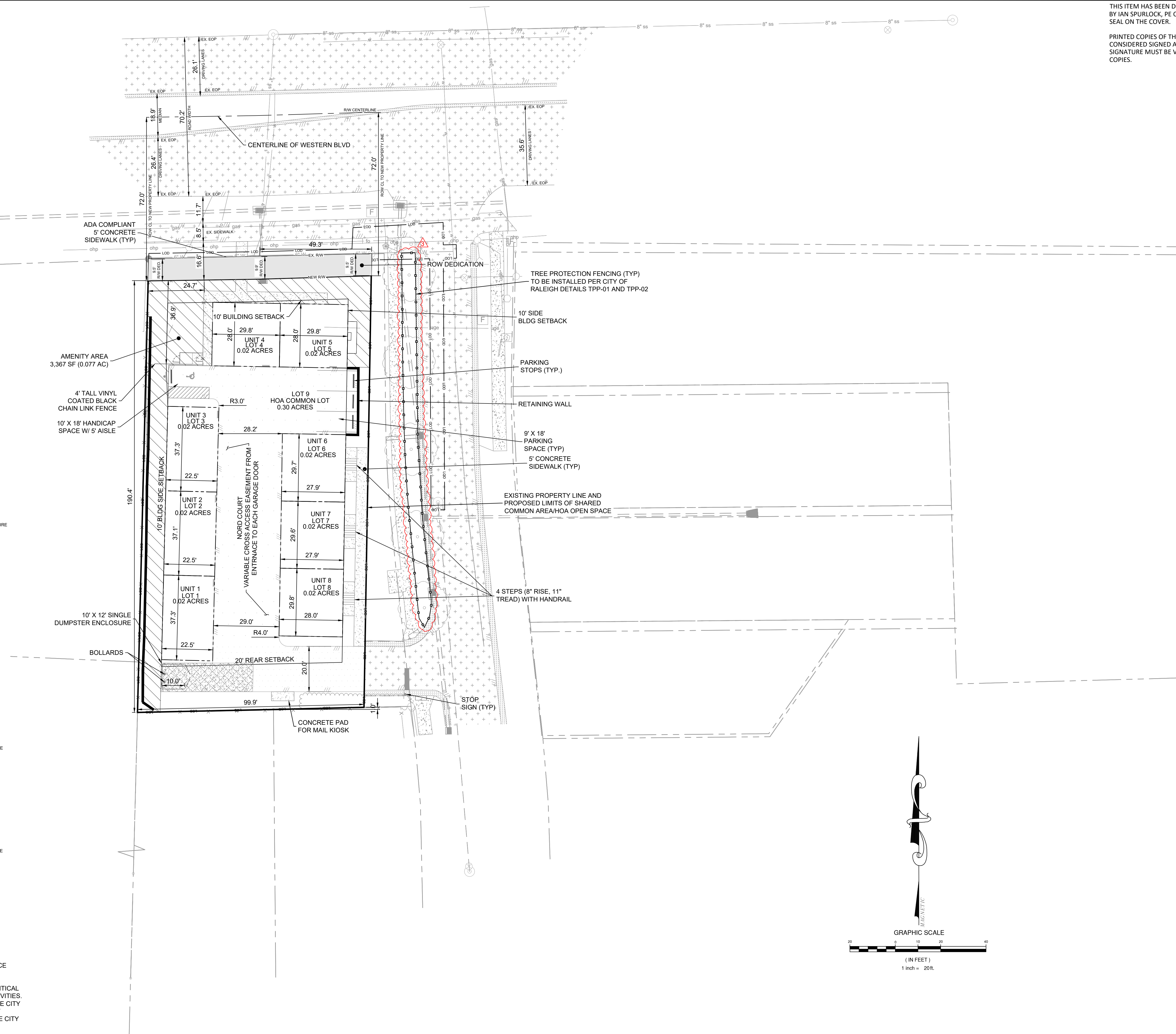
REVISIONS

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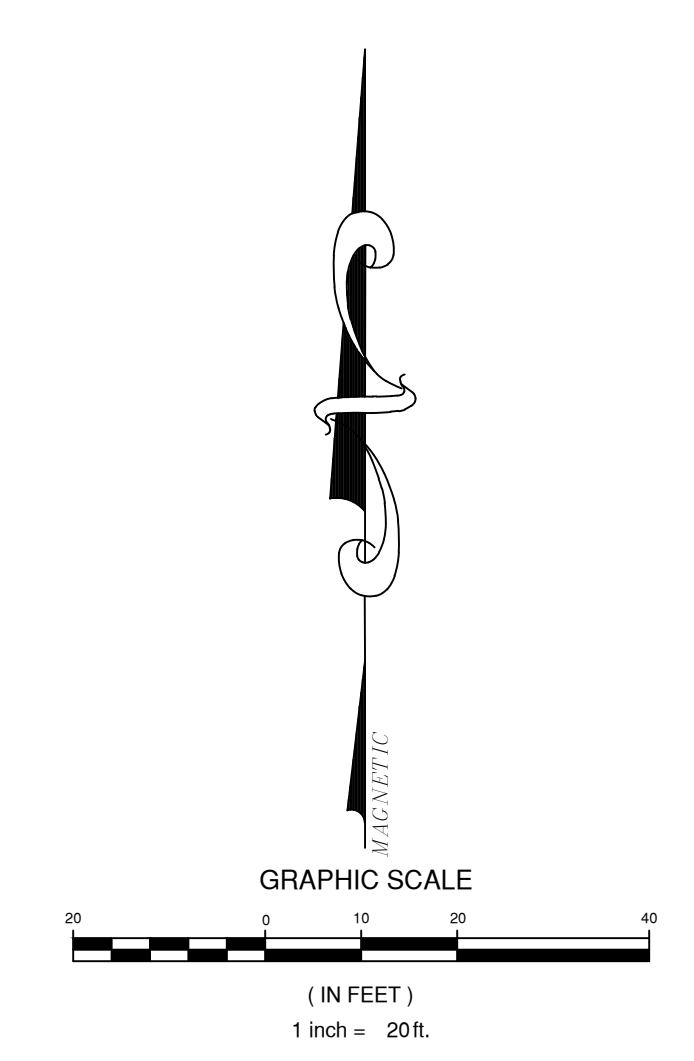
C4.0

SUB-0032-2024
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- LEGEND**
- EXISTING UTILITY STRUCTURE
 - EXISTING COMMUNICATION STRUCTURE
 - EXISTING WATER VALVE
 - EXISTING FIBER STRUCTURE
 - EXISTING OVERHEAD POWER LINE
 - EXISTING GAS LINE
 - EXISTING DROP INLET
 - PROPOSED PAVEMENT EDGE
 - EXISTING FENCE LINE
 - EXISTING FIRE HYDRANT
 - EXISTING GAS STRUCTURE
 - EXISTING MANHOLE
 - PROPOSED STOP SIGN
 - PROPOSED PARKING STOPS
 - PROPOSED LOT LINES
 - PROPOSED TREE PROTECTION FENCE
 - LIMITS OF DISTURBANCE
 - AMENITY AREA
 - STANDARD DUTY ASPHALT
 - HEAVY DUTY ASPHALT AND FIRE LANE
 - HEAVY DUTY CONCRETE
 - LIGHT DUTY CONCRETE

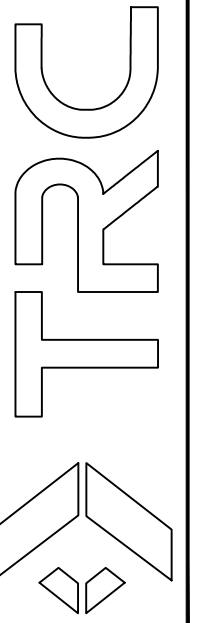
NOTE:
1. BUILDING SETBACKS ARE SHOWN FOR REFERENCE ONLY.
2. CONTRACTOR TO REPLACE STREET TREES IF CRITICAL ROOT ZONE IS DISTURBED BY CONSTRUCTION ACTIVITIES. TREE REPLACEMENT SHALL BE DETERMINED BY THE CITY OF RALEIGH URBAN FORESTRY AND REPLACEMENT TYPE/SPECIES SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH TREE MANUAL.



P:\2023\TRC\495905\501\240\495905\495905_SITELAYOUT.dwg, December 16, 2024 9:58:09 AM

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LANDSCAPE PLAN
 WESTERN BLVD TOWNHOMES
 SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

- 2024-09-12: CITY COMMENTS
- 2024-11-14: CITY COMMENTS
- 2024-12-16: CITY COMMENTS

DESIGNED BY:

IJS

DRAWN BY:

MNM

CHECKED BY:

CTC JR

SCALE:

1" = 20'

DATE:

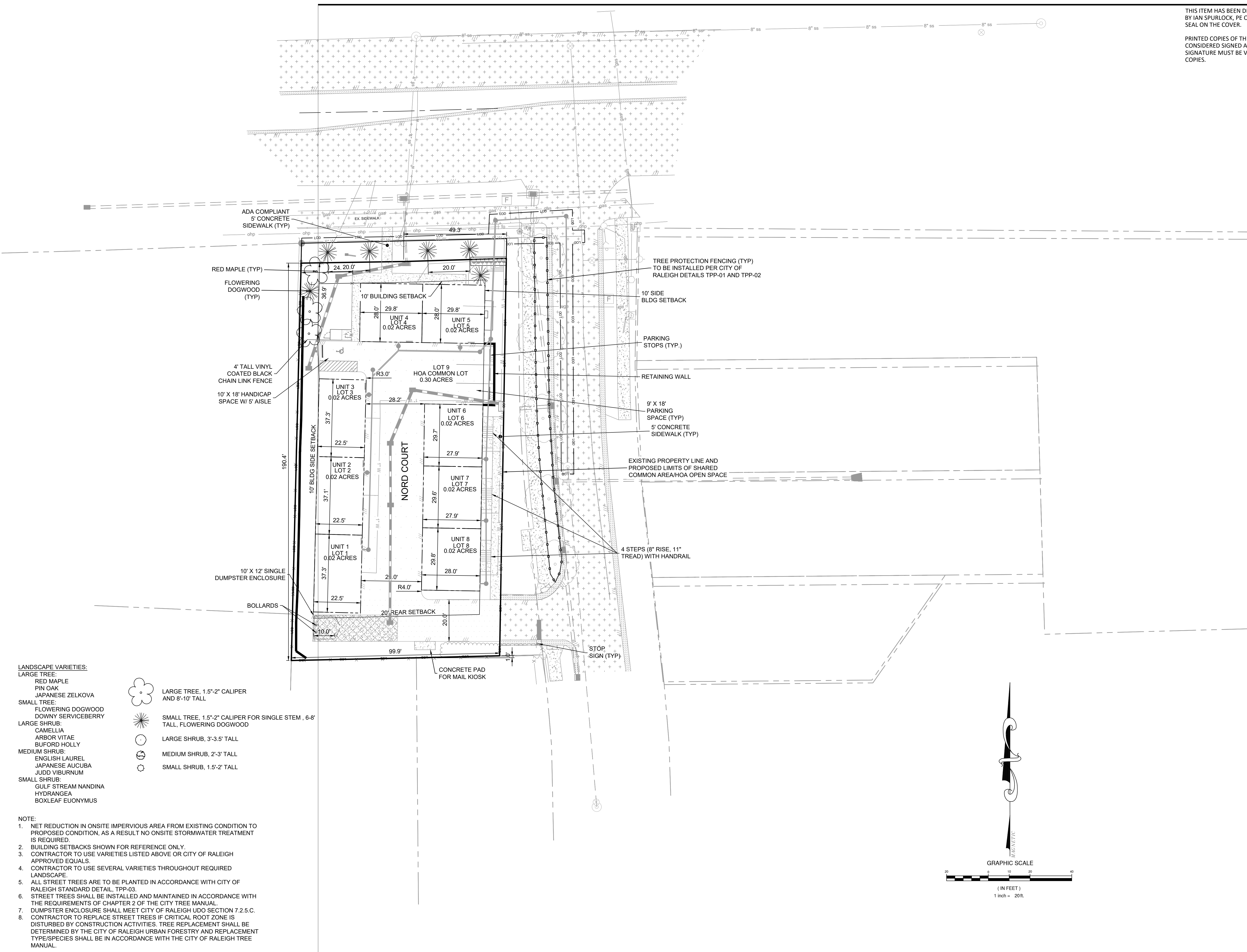
11/14/2024

PROJECT NUMBER:

495905

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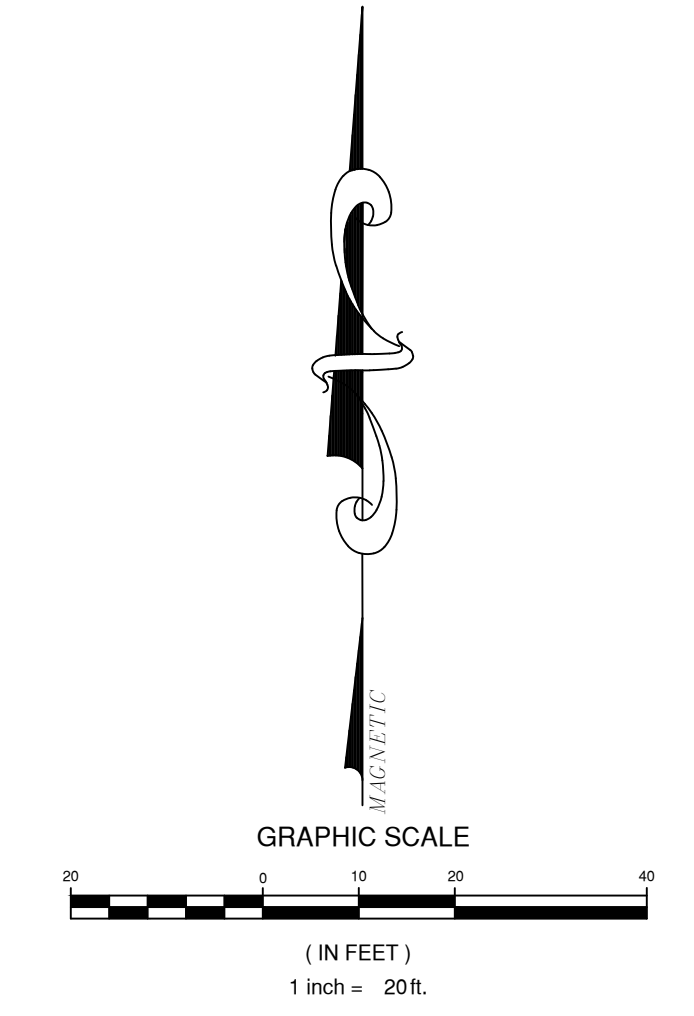


LANDSCAPE VARIETIES:

- LARGE TREE:**
 RED MAPLE
 PIN OAK
 JAPANESE ZELKOVA
- SMALL TREE:**
 FLOWERING DOGWOOD
 DOWNY SERVICEBERRY
- LARGE SHRUB:**
 CAMELLIA
 ARBOR VITAE
 BUFORD HOLLY
- MEDIUM SHRUB:**
 ENGLISH LAUREL
 JAPANESE AUCUBA
 JUDD VIBURNUM
- SMALL SHRUB:**
 GULF STREAM NANDINA
 HYDRANGEA
 BOXLEAF EUONYMUS

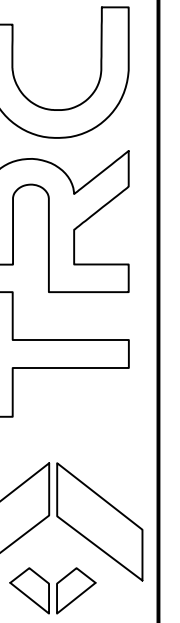
- LARGE TREE, 1.5"-2" CALIPER AND 8'-10' TALL
- SMALL TREE, 1.5"-2" CALIPER FOR SINGLE STEM, 6'-8' TALL, FLOWERING DOGWOOD
- LARGE SHRUB, 3'-3.5' TALL
- MEDIUM SHRUB, 2'-3' TALL
- SMALL SHRUB, 1.5'-2' TALL

- NOTE:
- NET REDUCTION IN ONSITE IMPERVIOUS AREA FROM EXISTING CONDITION TO PROPOSED CONDITION, AS A RESULT NO ONSITE STORMWATER TREATMENT IS REQUIRED.
 - BUILDING SETBACKS SHOWN FOR REFERENCE ONLY.
 - CONTRACTOR TO USE VARIETIES LISTED ABOVE OR CITY OF RALEIGH APPROVED EQUALS.
 - CONTRACTOR TO USE SEVERAL VARIETIES THROUGHOUT REQUIRED LANDSCAPE.
 - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 - DUMPSTER ENCLOSURE SHALL MEET CITY OF RALEIGH UDO SECTION 7.2.5.C.
 - CONTRACTOR TO REPLACE STREET TREES IF CRITICAL ROOT ZONE IS DISTURBED BY CONSTRUCTION ACTIVITIES. TREE REPLACEMENT SHALL BE DETERMINED BY THE CITY OF RALEIGH URBAN FORESTRY AND REPLACEMENT TYPE/SPECIES SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH TREE MANUAL.



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SITE UTILITY PLAN
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
 RALEIGH, NC

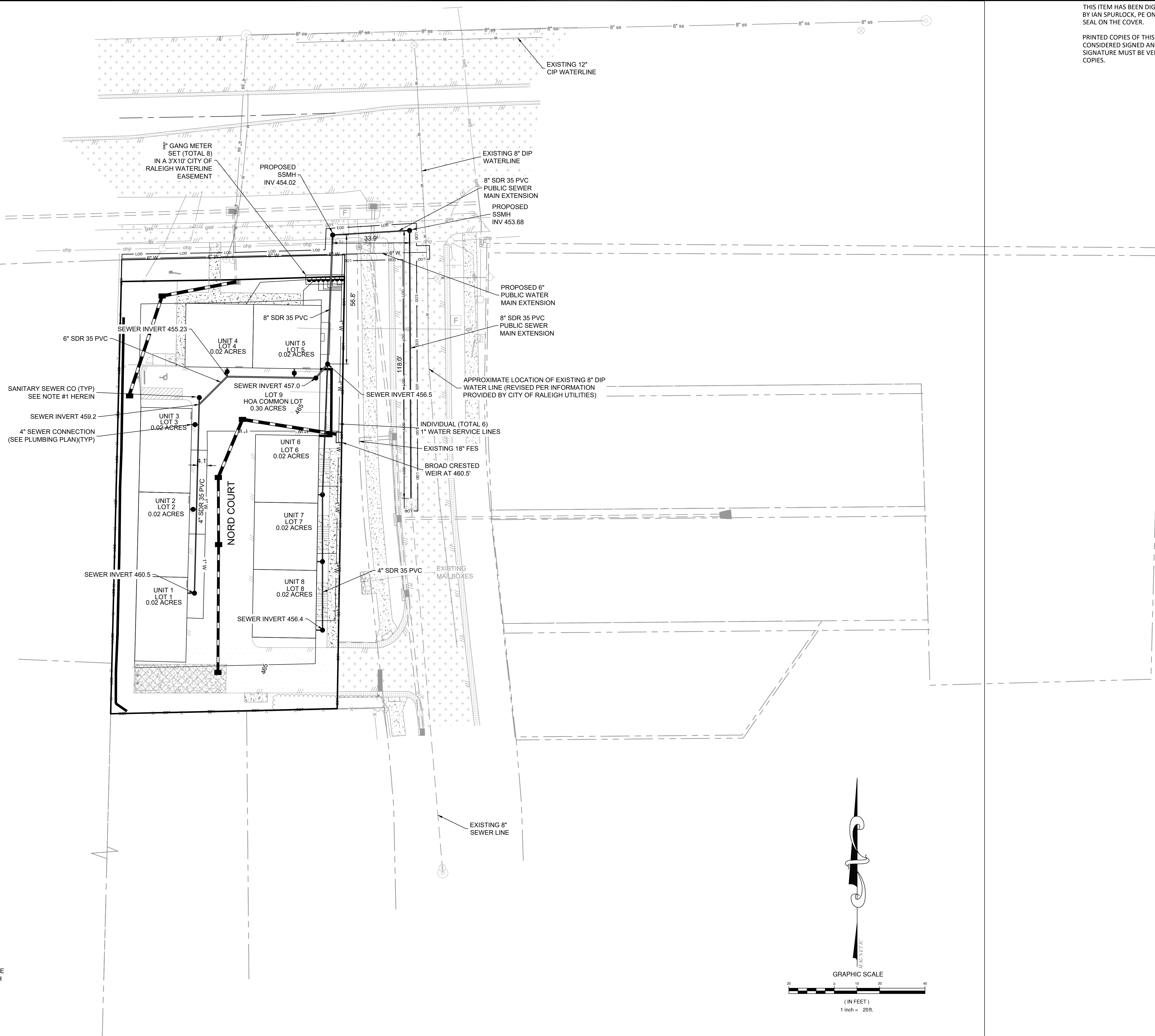
REVISIONS

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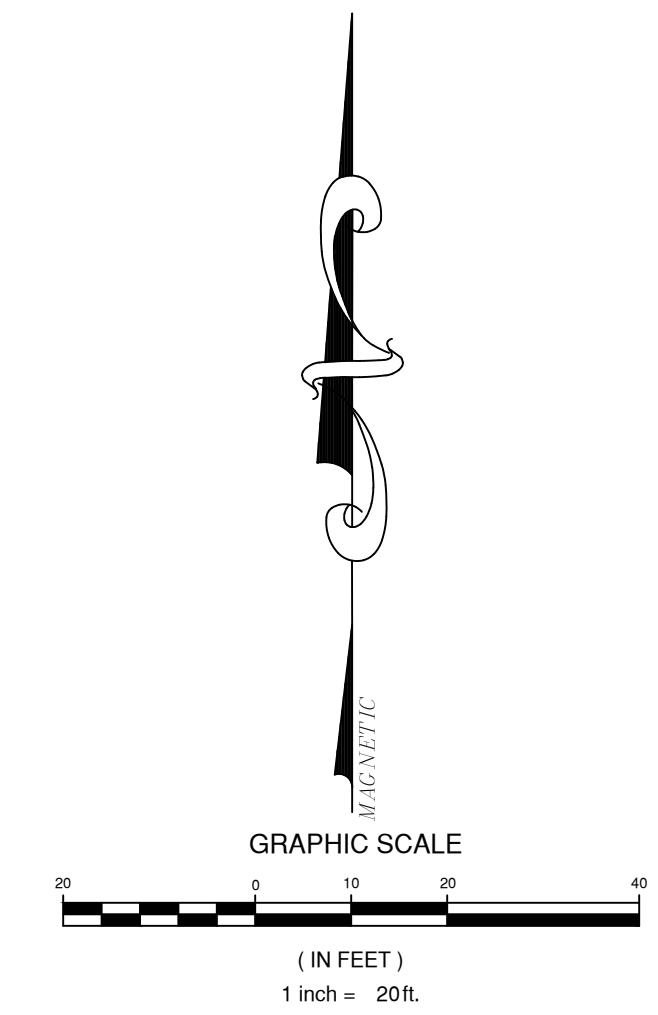
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LEGEND

- PROPOSED 1/2" WATER METER
- PROPOSED SEWER CLEANOUT
- PROPOSED SEWER LINE
- PROPOSED WATERLINE
- EXISTING UTILITY STRUCTURE
- EXISTING COMMUNICATION STRUCTURE
- ⊗ EXISTING WATER VALVE
- EXISTING FIBER STRUCTURE
- ohp EXISTING OVERHEAD POWER LINE
- gas EXISTING GAS LINE
- EXISTING DROP INLET
- /// PROPOSED ROAD EDGE
- X — EXISTING FENCE LINE
- EXISTING FIRE HYDRANT
- EXISTING GAS STRUCTURE
- EXISTING MANHOLE
- ⊕ PROPOSED STOP SIGN
- PROPOSED PARKING STOPS
- PROPOSED LOT LINES
- LOD LIMITS OF DISTURBANCE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT AND FIRE LANE
- HEAVY DUTY CONCRETE
- LIGHT DUTY CONCRETE

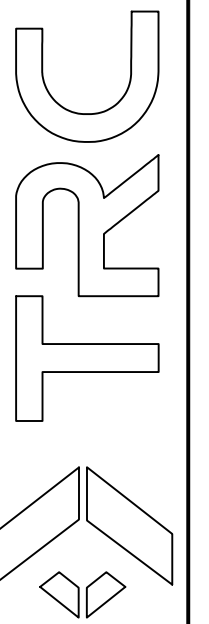
NOTE:
 1. ALL CLEANOUTS FOR THE SEWER ARE ON THE ROW LINE AND ENSURE A SEWER CLEANOUT IS LOCATED AT EACH DIRECTIONAL CHANGE IN THE LINE.



P:\2024\495905\03 2024\DWG\495905-05005_UPL.dwg Date: 11/14/2024 4:58:17 PM

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GRADING AND DRAINAGE PLAN
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
RALEIGH, NC

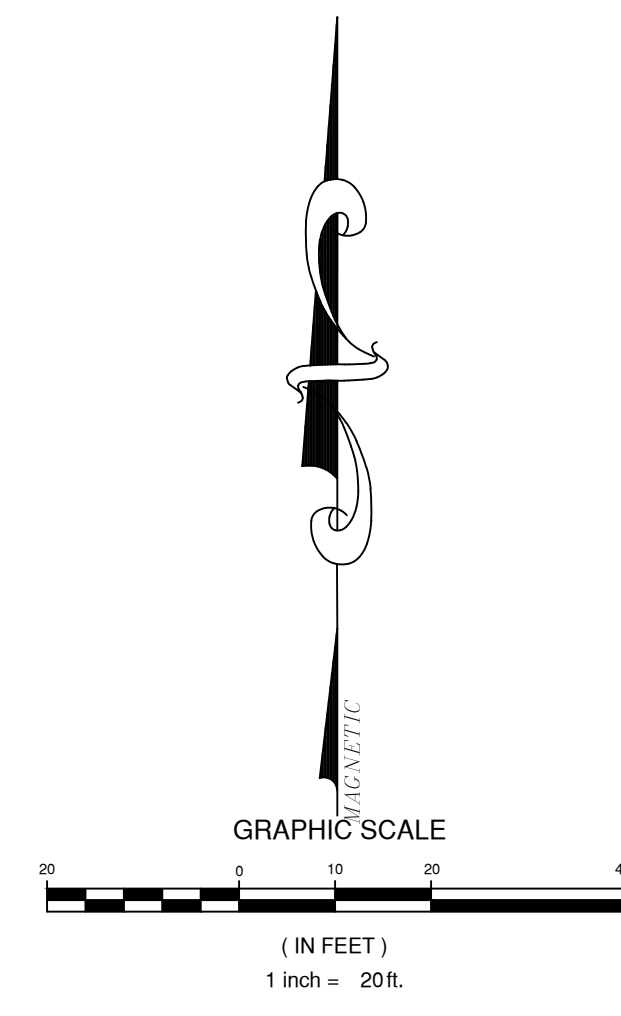
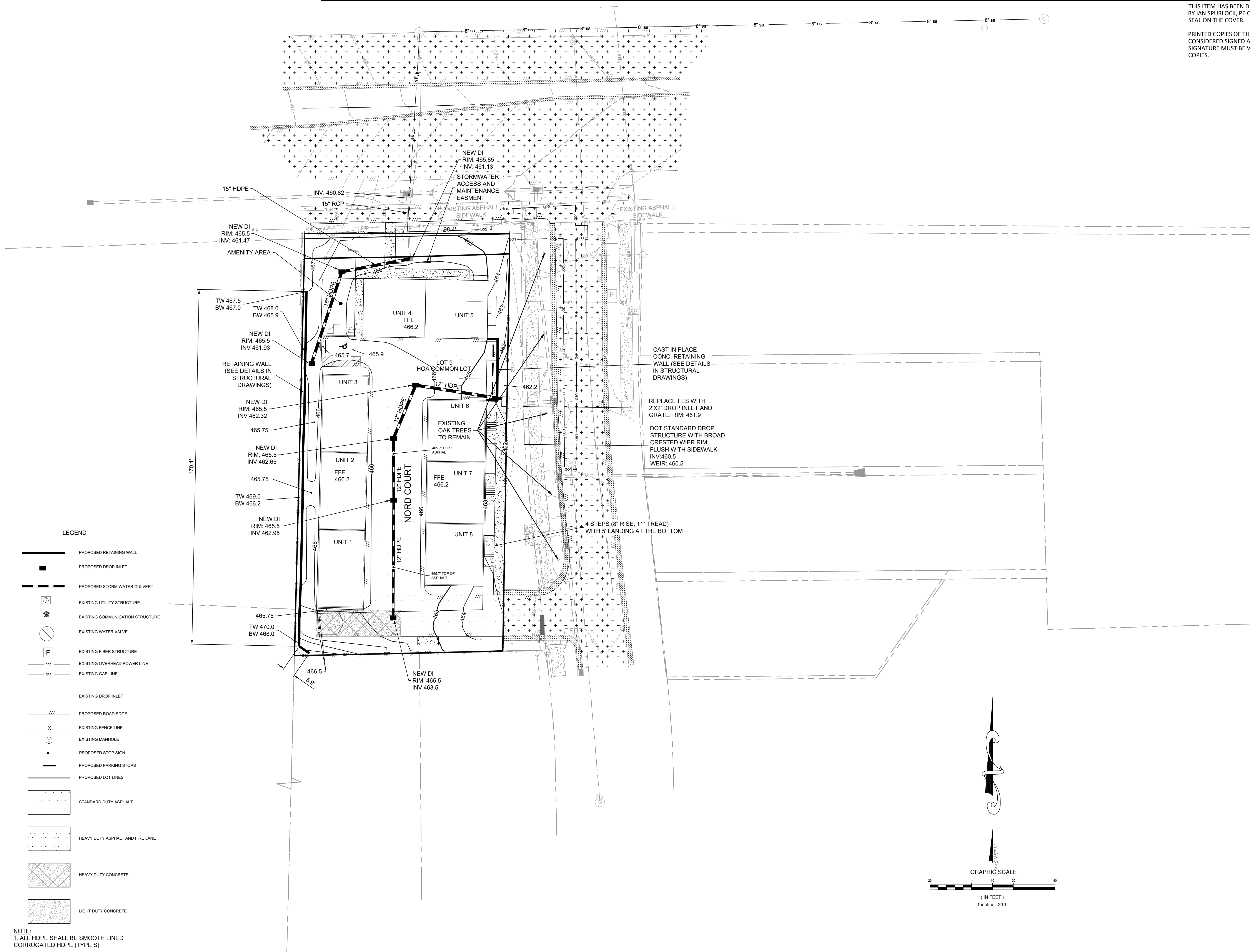
REVISIONS

- 2024-09-12: CITY COMMENTS
- 2024-11-14: CITY COMMENTS
- 2024-12-16: CITY COMMENTS

DESIGNED BY: IUS
DRAWN BY: MNM
CHECKED BY: CTC JR
SCALE: 1" = 20'
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PROJECT NUMBER: 495905

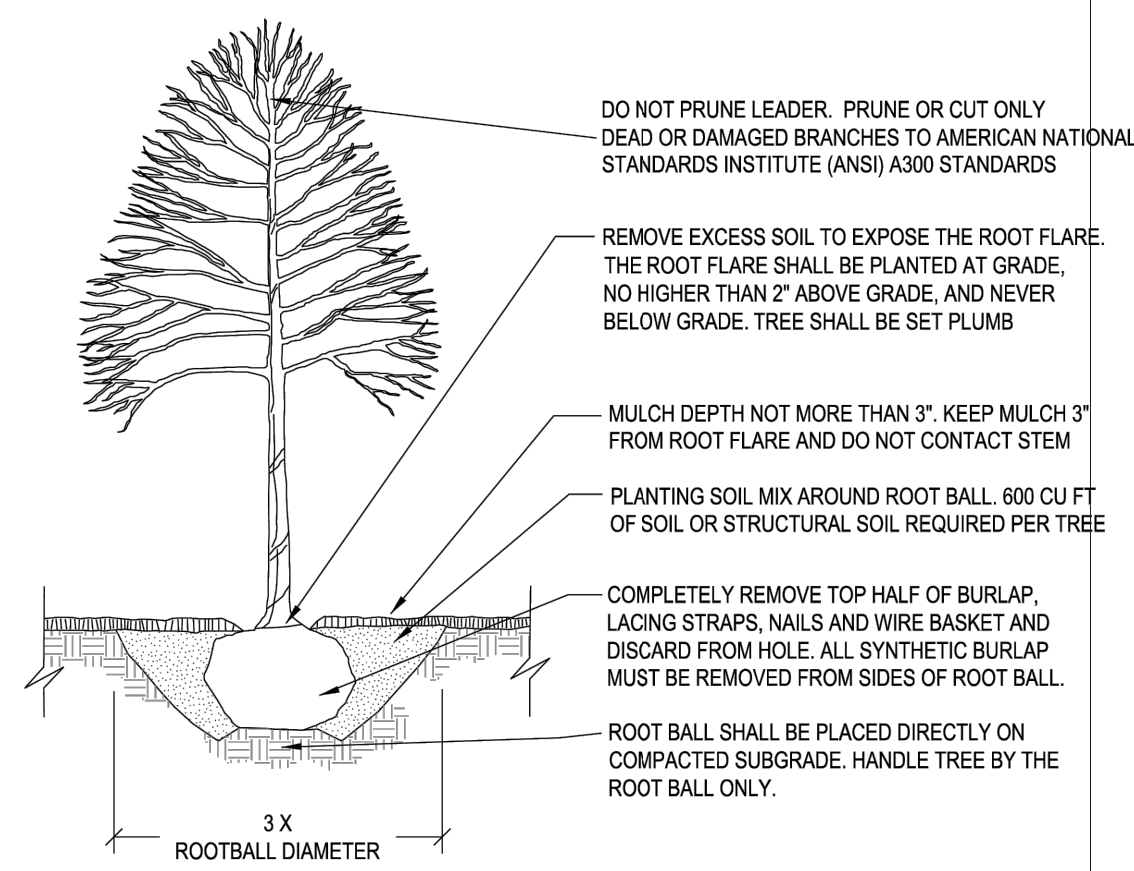
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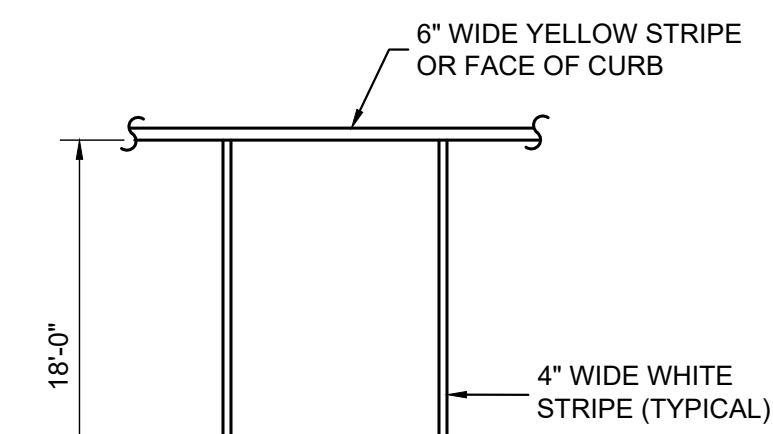
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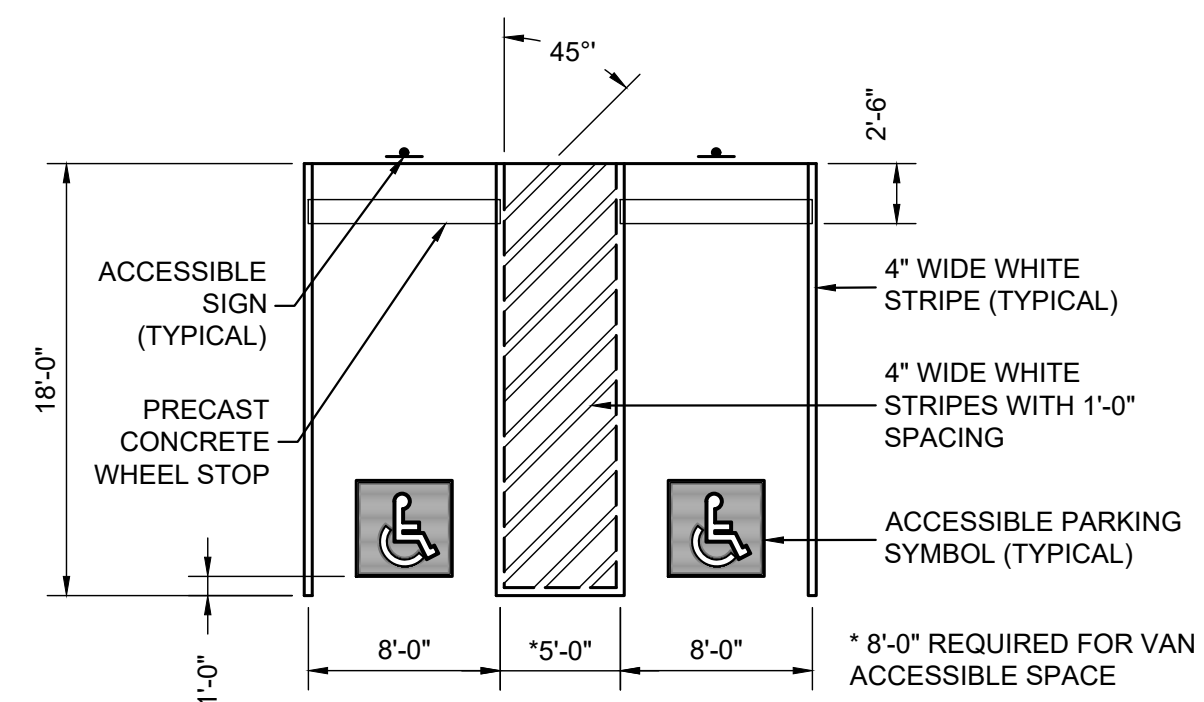
CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

| CITY OF RALEIGH STANDARD DETAIL | | |
|---------------------------------|------|----------------------|
| REVISIONS | DATE | NOT TO SCALE |
| 192019 | | |
| | | TREE PLANTING DETAIL |
| TPP-03 | | |

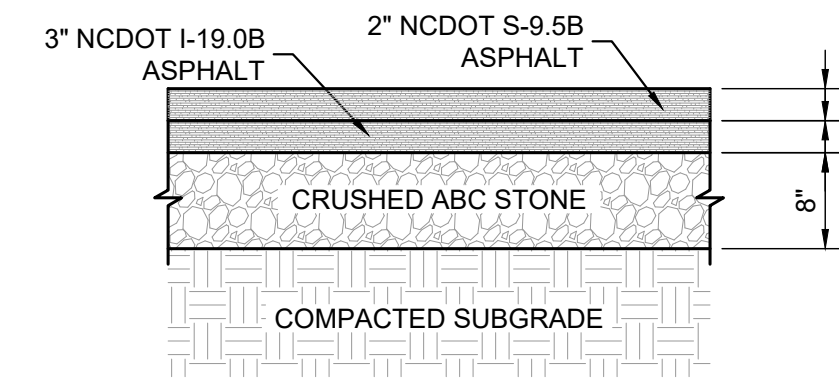


STRIPING PATTERN FOR SINGLE PARKING STALL

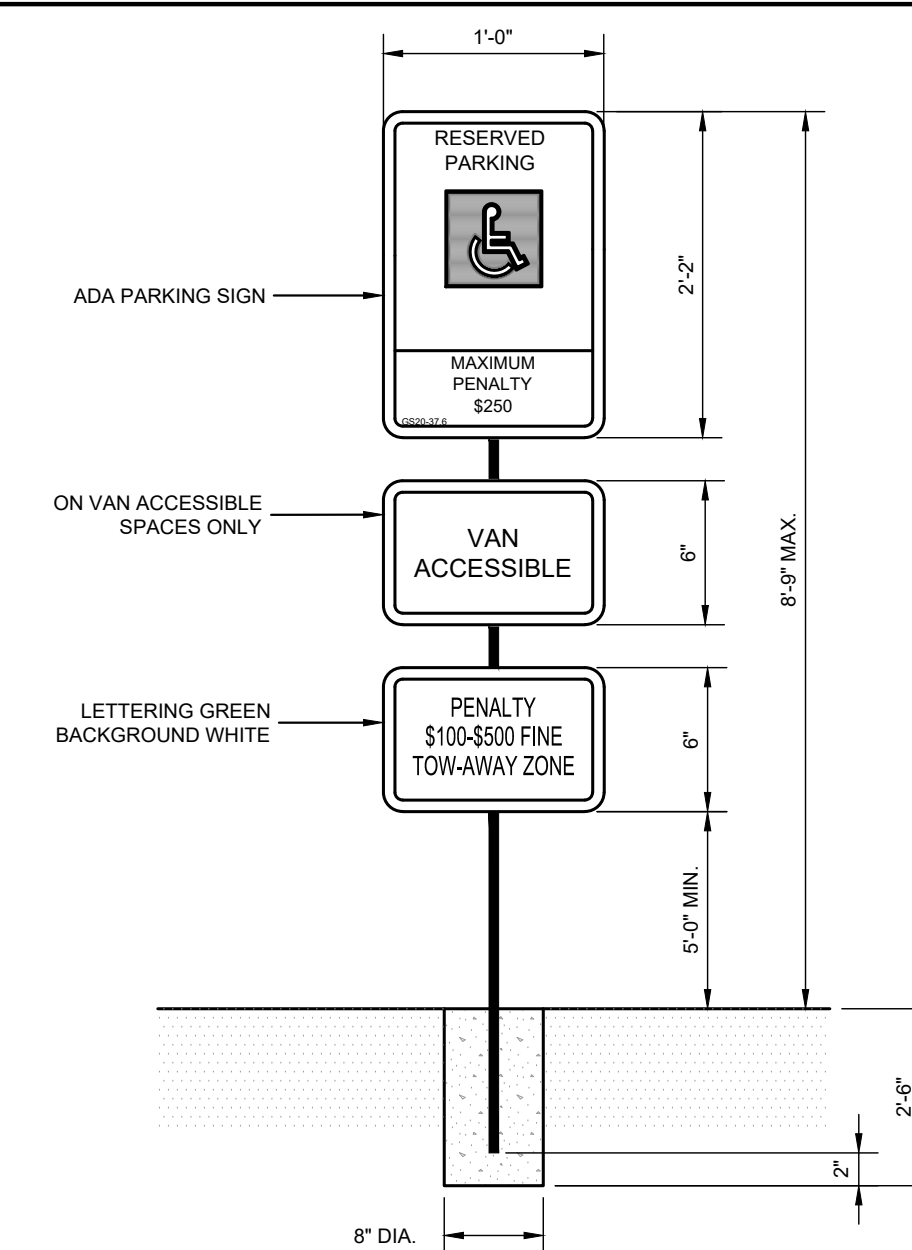


TYPICAL ACCESSIBLE PARKING SPACES

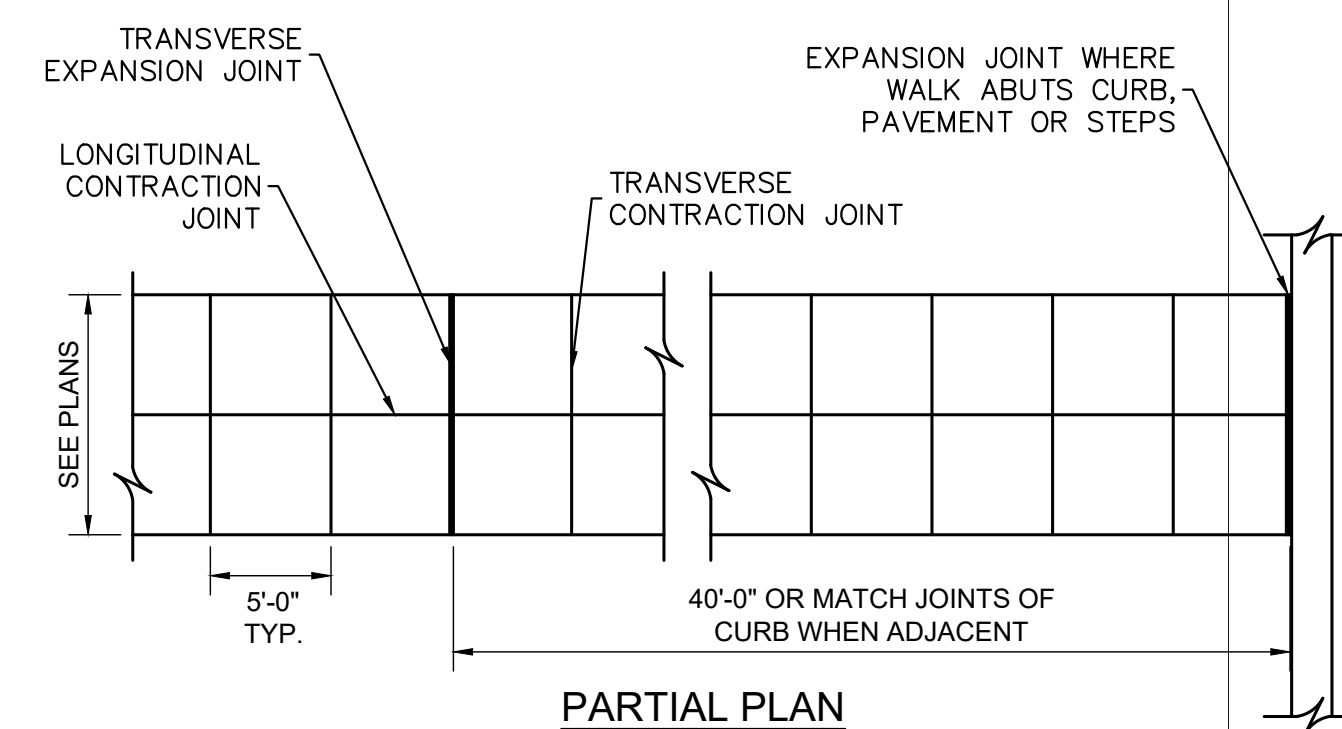
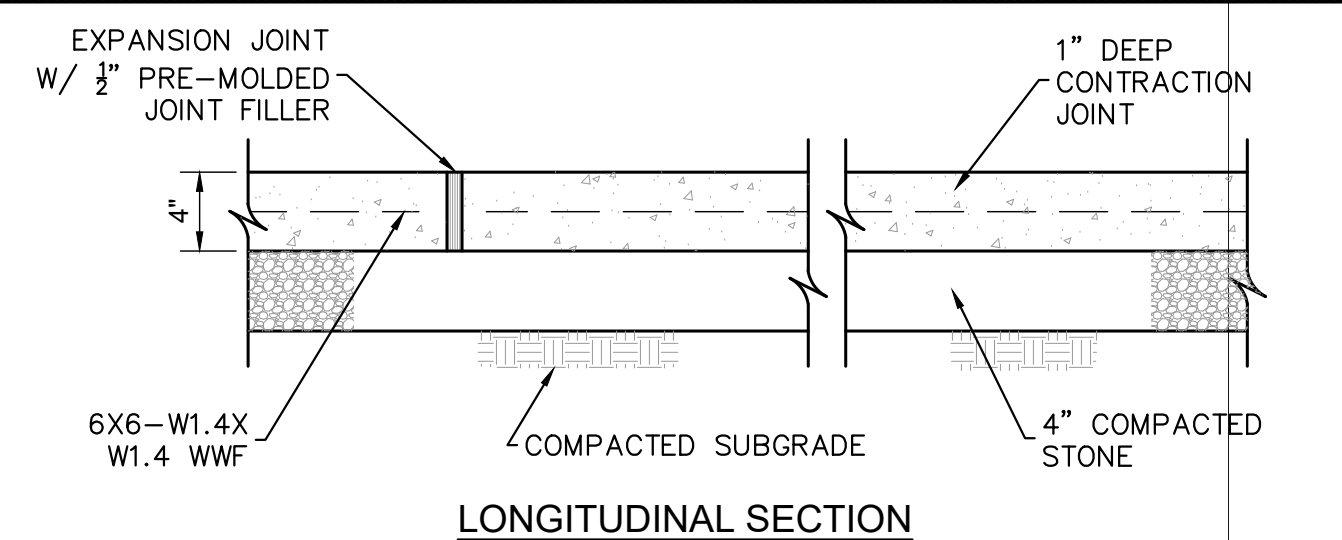
2 PAVEMENT MARKING DETAILS
Sheet C7.1 NOT TO SCALE



3 HEAVY DUTY ASPHALT
C4.0 C7.1 NOT TO SCALE

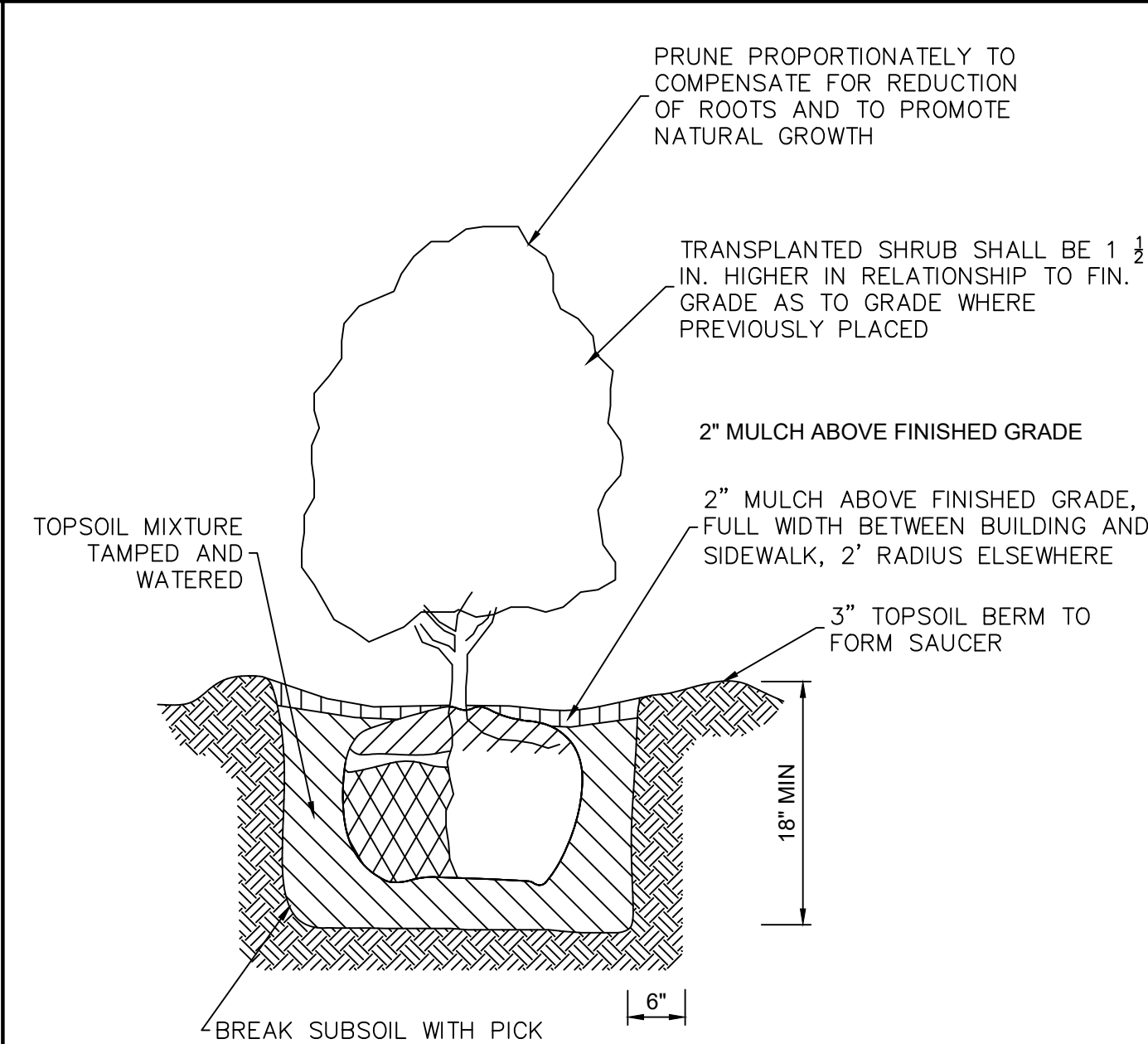


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C4.0 C7.1 NOT TO SCALE

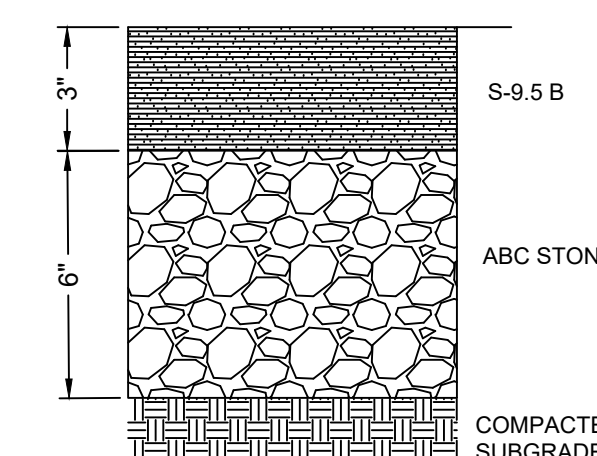


| WALK WIDTH | LONGITUDINAL CONTRACTION JOINT |
|----------------|--------------------------------|
| < 5'-11" | NONE |
| 6'-0" - 7'-11" | ONE ALONG WALK AT CENTERLINE |
| 8'-0" - 12'-0" | TWO ALONG WALK AT THIRD POINTS |

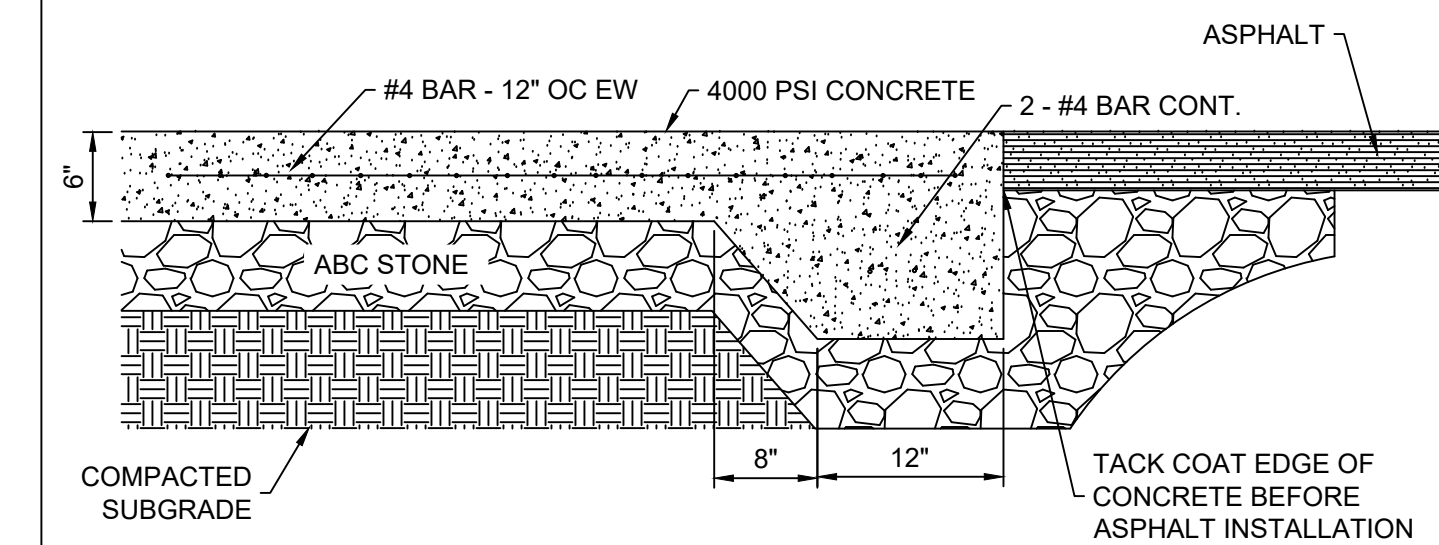
5 SIDEWALK
C4.0 C7.1 NOT TO SCALE



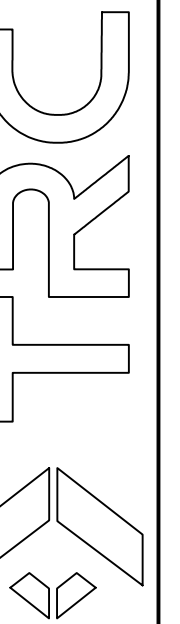
6 SHRUB PLANTING
Ref. C7.1 NOT TO SCALE



7 STANDARD DUTY ASPHALT
Ref. C7.1 NOT TO SCALE



8 HEAVY DUTY CONCRETE
Ref. C7.1 NOT TO SCALE



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SITE DETAILS
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
RALEIGH, NC

| REVISIONS | |
|------------|---------------|
| 2024-09-12 | CITY COMMENTS |
| 2024-11-14 | CITY COMMENTS |
| 2024-12-16 | CITY COMMENTS |

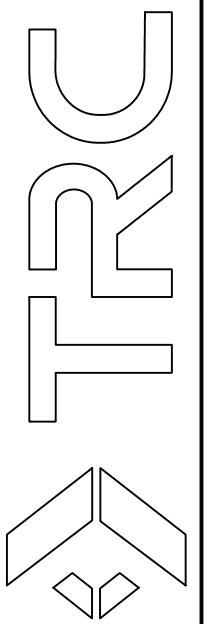
DESIGNED BY: CTC/SJR
DRAWN BY: MNM
CHECKED BY: CTC JR
SCALE: NONE
DATE: 11/14/2024
PROJECT NUMBER: 495905

C7.3

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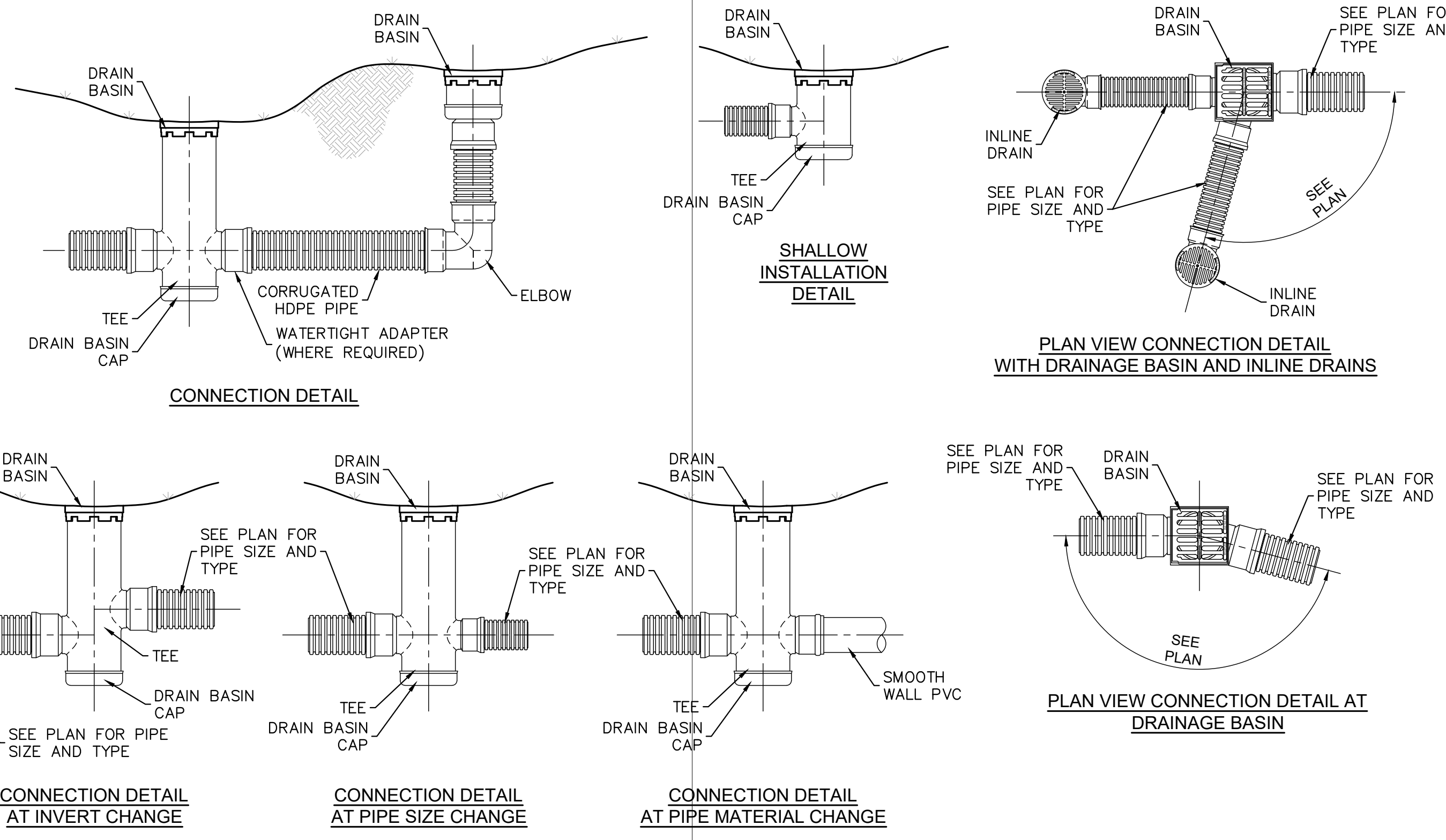
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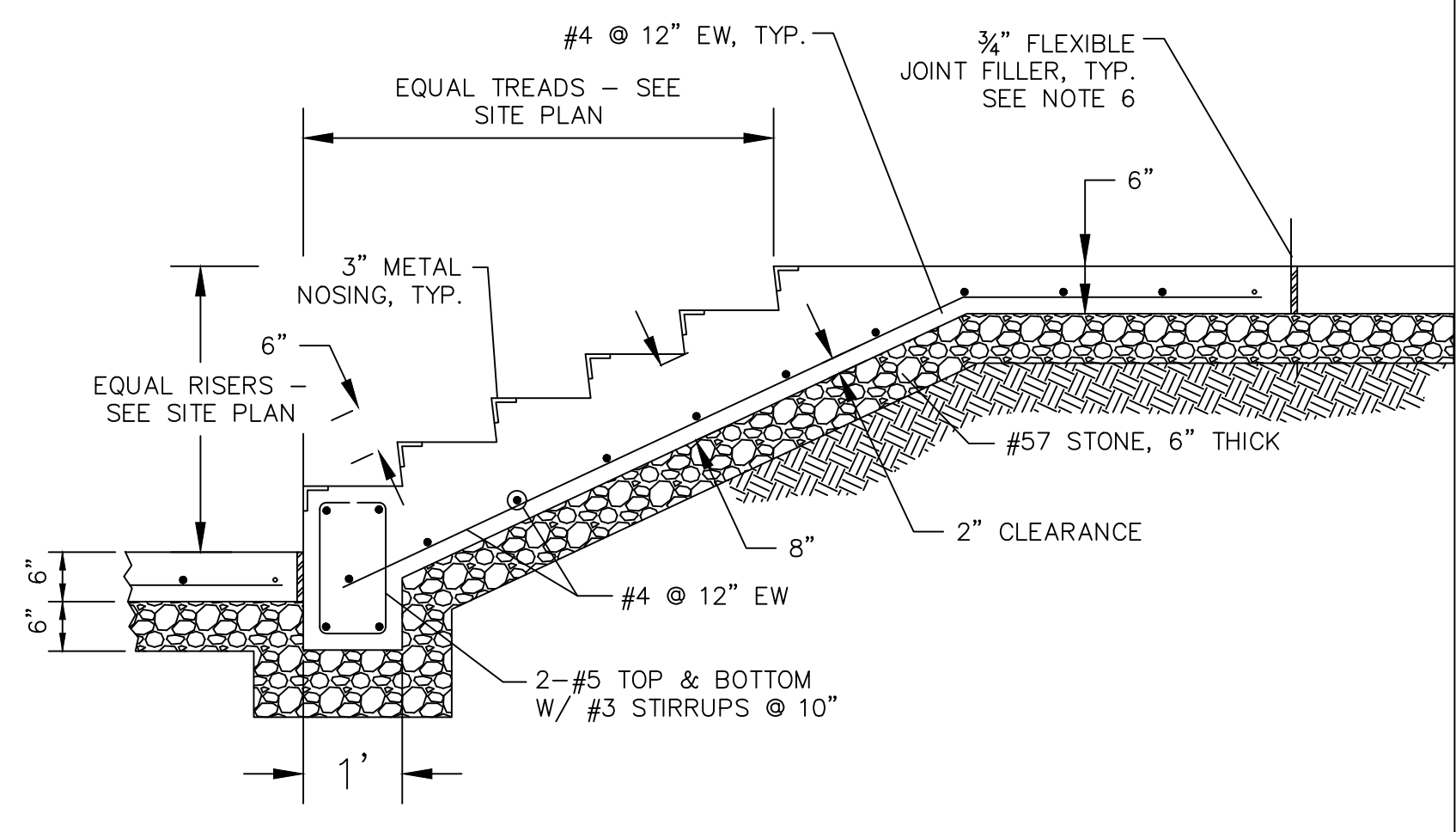
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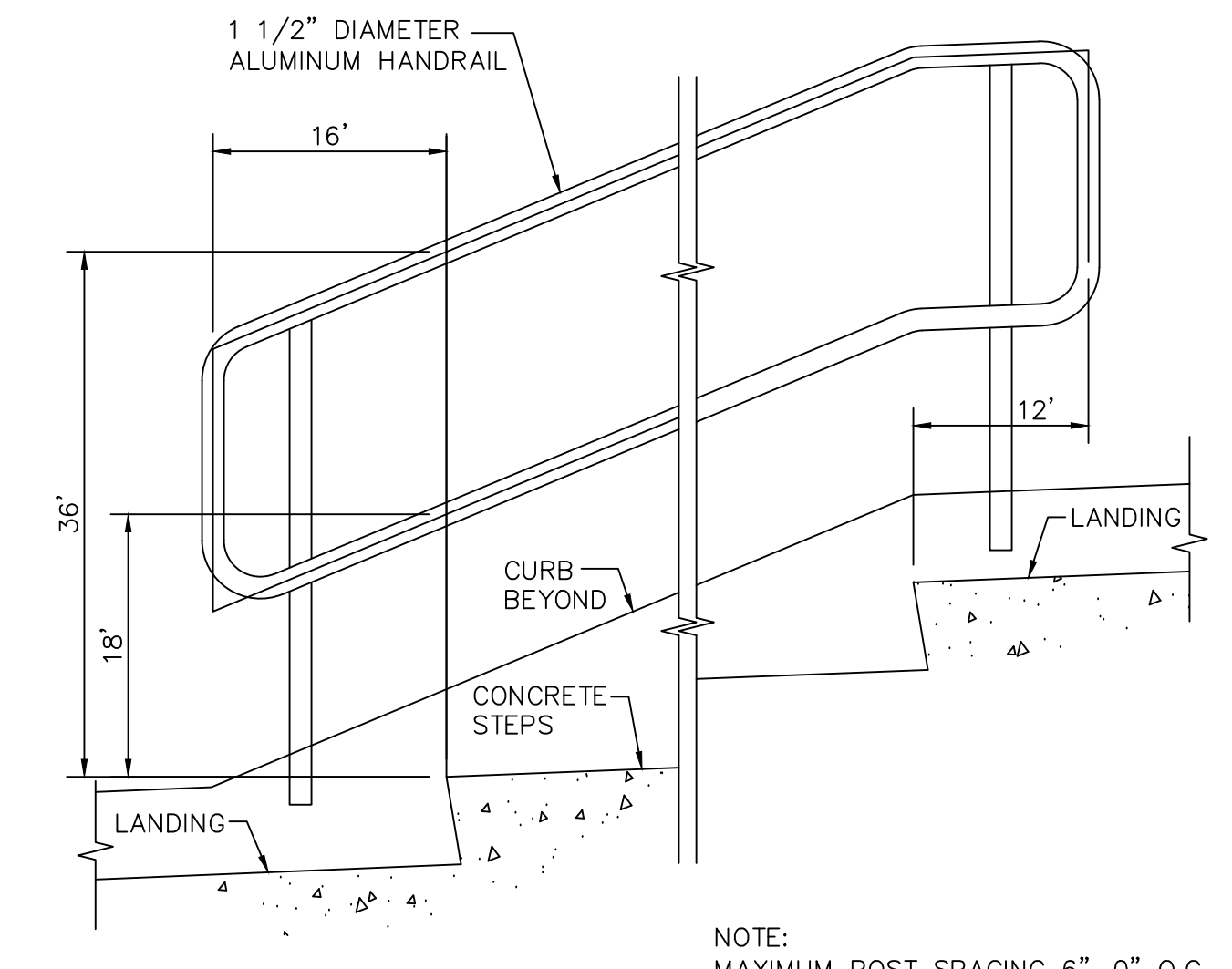
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 • Charlottesville, VA



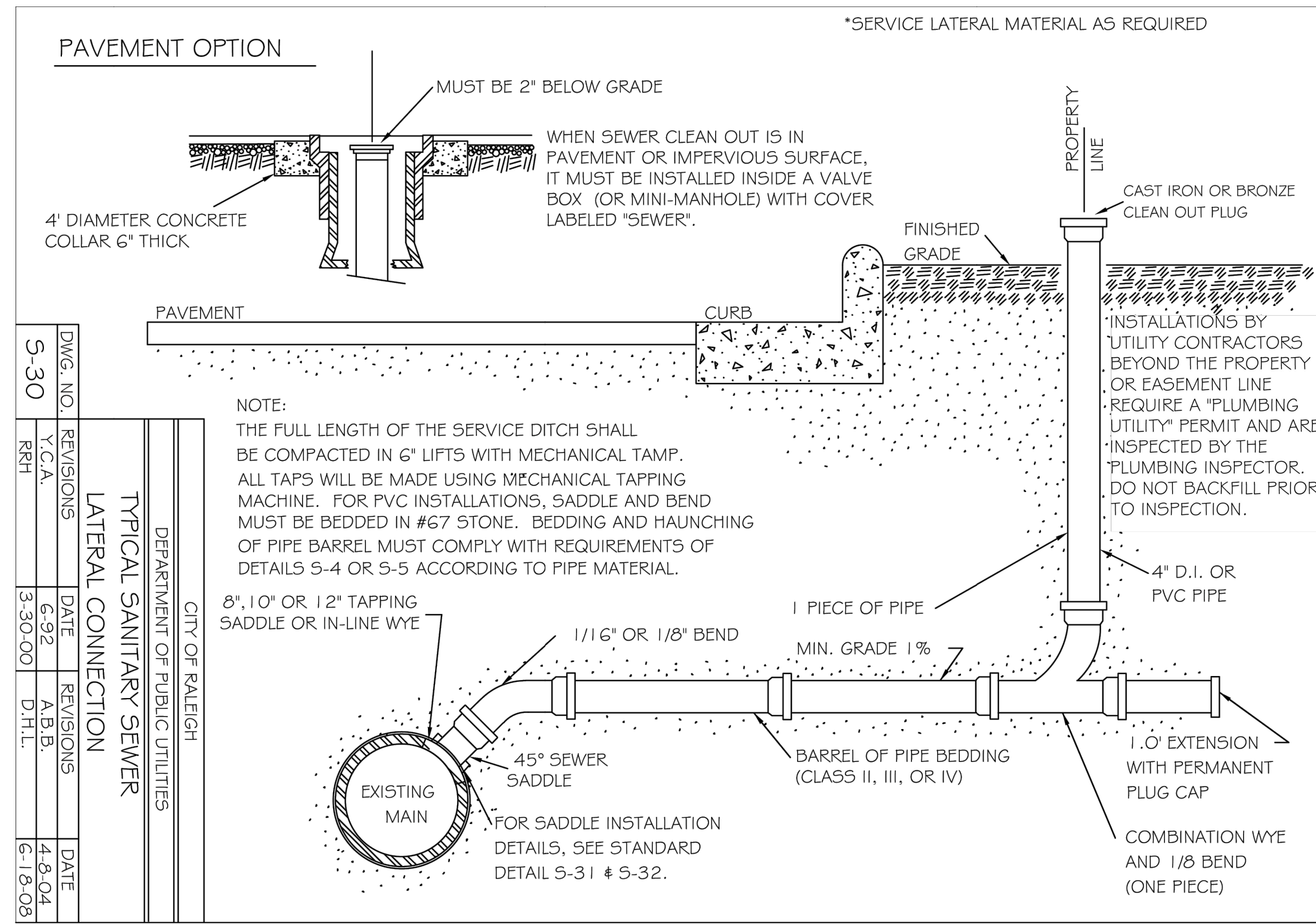
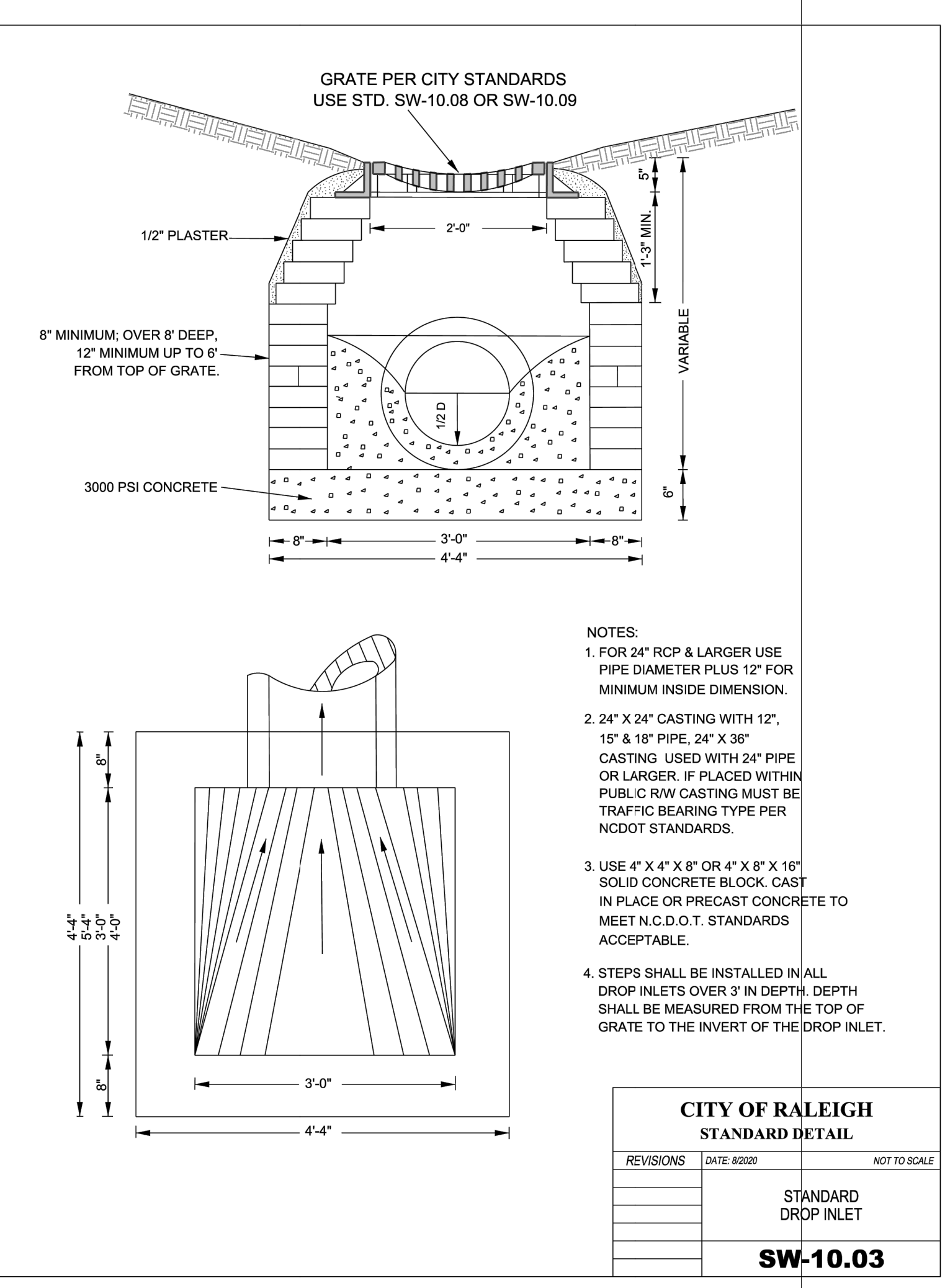
9 TYPICAL NYLOPLAST INSTALLATION DETAILS
 Sheet C7.4 NOT TO SCALE



10 TYPICAL SECTION THROUGH EXTERIOR STAIRS
 Ref. C7.4 NOT TO SCALE



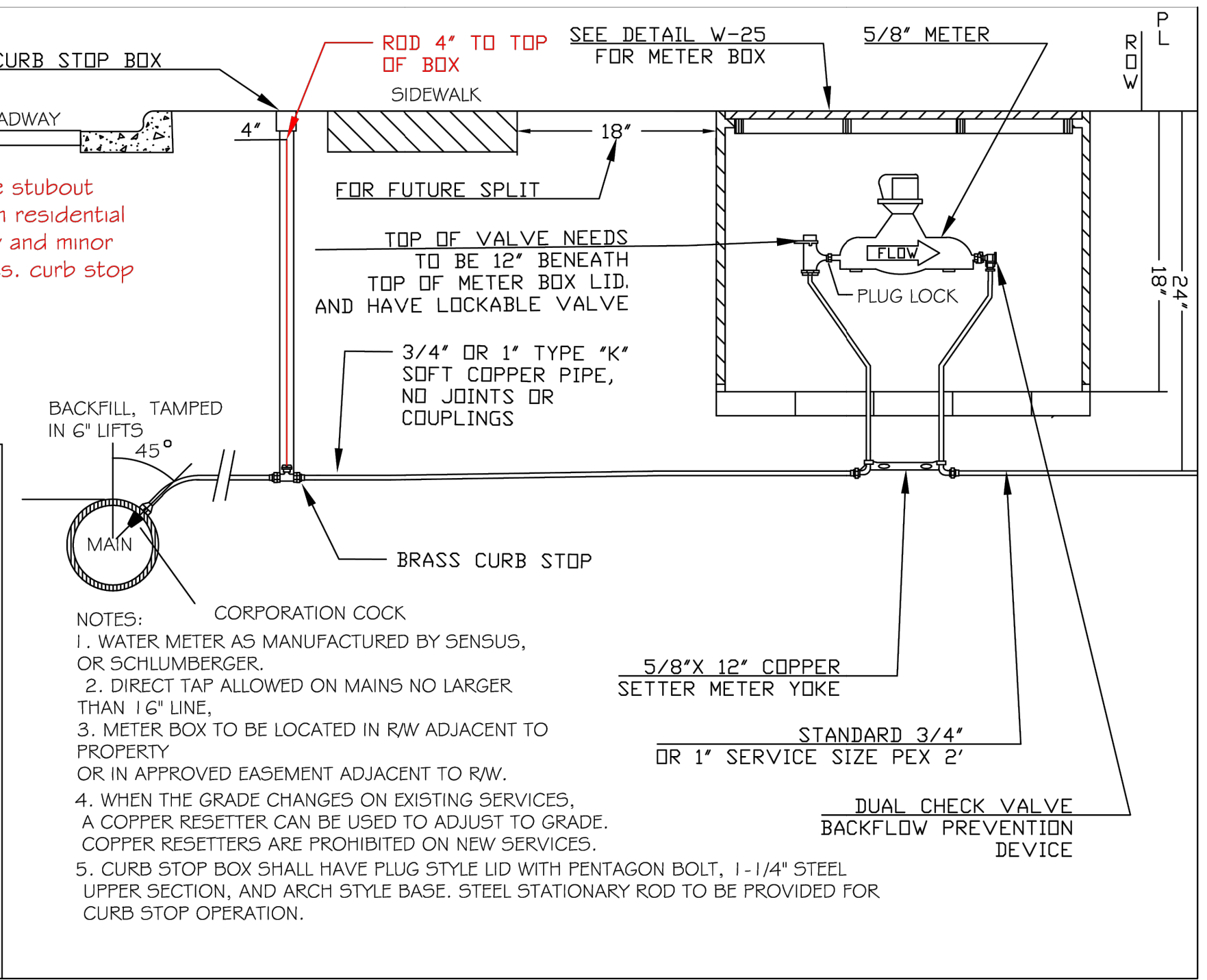
11 HANDRAIL DETAIL
 Ref. C7.4 NOT TO SCALE



| | |
|----------|---------|
| DWG. NO. | W-23 |
| REV. NO. | 1 |
| DATE | 4-6-04 |
| BY | ARB |
| CHECKED | ARB |
| DATE | 6-11-05 |
| BY | ARB |
| CHECKED | ARB |

STANDARD 3/4" # 1" WATER SERVICE INSTALLATION

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES



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WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
 RALEIGH, NC

REVISIONS

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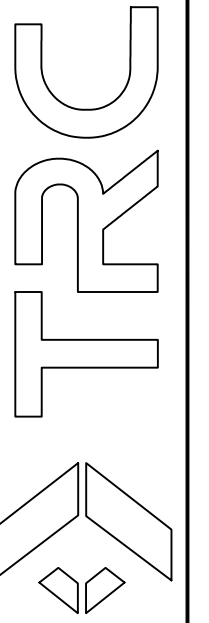
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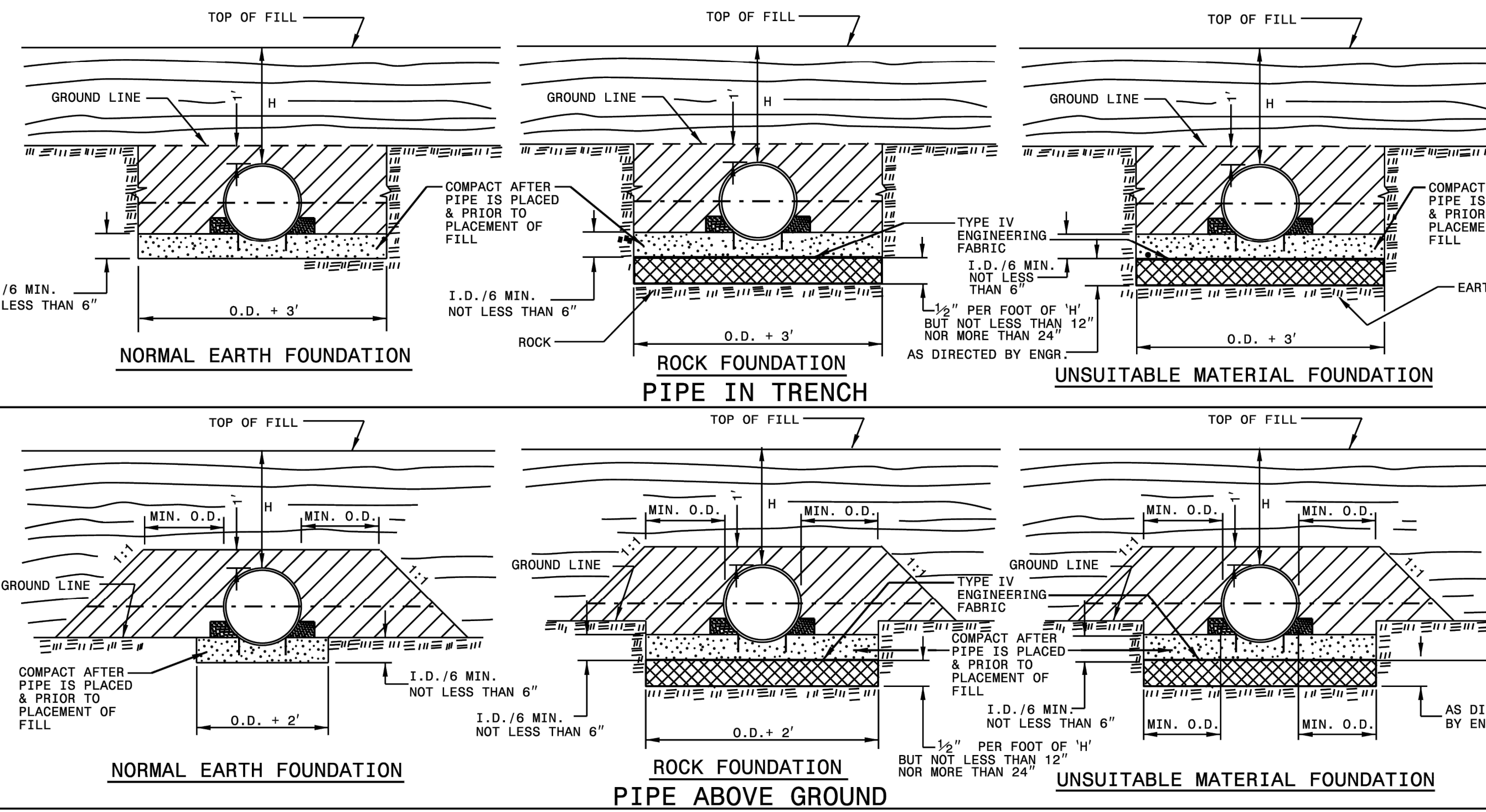


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STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
METHOD OF PIPE INSTALLATION
 FLEXIBLE PIPE



GENERAL NOTES:

I.D. = THE MAXIMUM HORIZONTAL INSIDE DIAMETER DIMENSION.
 O.D. = THE MAXIMUM HORIZONTAL OUTSIDE DIAMETER DIMENSION.
 H = THE FILL HEIGHT MEASURED VERTICALLY AT ANY POINT ALONG THE PIPE FROM THE TOP OF THE PIPE TO THE TOP OF THE EMBANKMENT AT THAT POINT.

TAKE CARE TO FULLY COMPACT HAUNCH ZONE OF PIPE BACKFILL.
 LOOSELY PLACED SELECT MATERIAL CLASS III OR CLASS II, TYPE 1 FOR PIPE BEDDING. LEAVE SECTION DIRECTLY BENEATH PIPE UNCOMPACTED AS PIPE SEATING AND BACKFILL WILL ACCOMPLISH COMPACTON.

DO NOT OPERATE HEAVY EQUIPMENT OVER ANY PIPE CULVERT UNTIL THE PIPE CULVERT HAS BEEN PROPERLY BACKFILLED AND COVERED WITH AT LEAST 3 FEET OF APPROVED MATERIAL.

--- SPRINGLINE OF PIPE

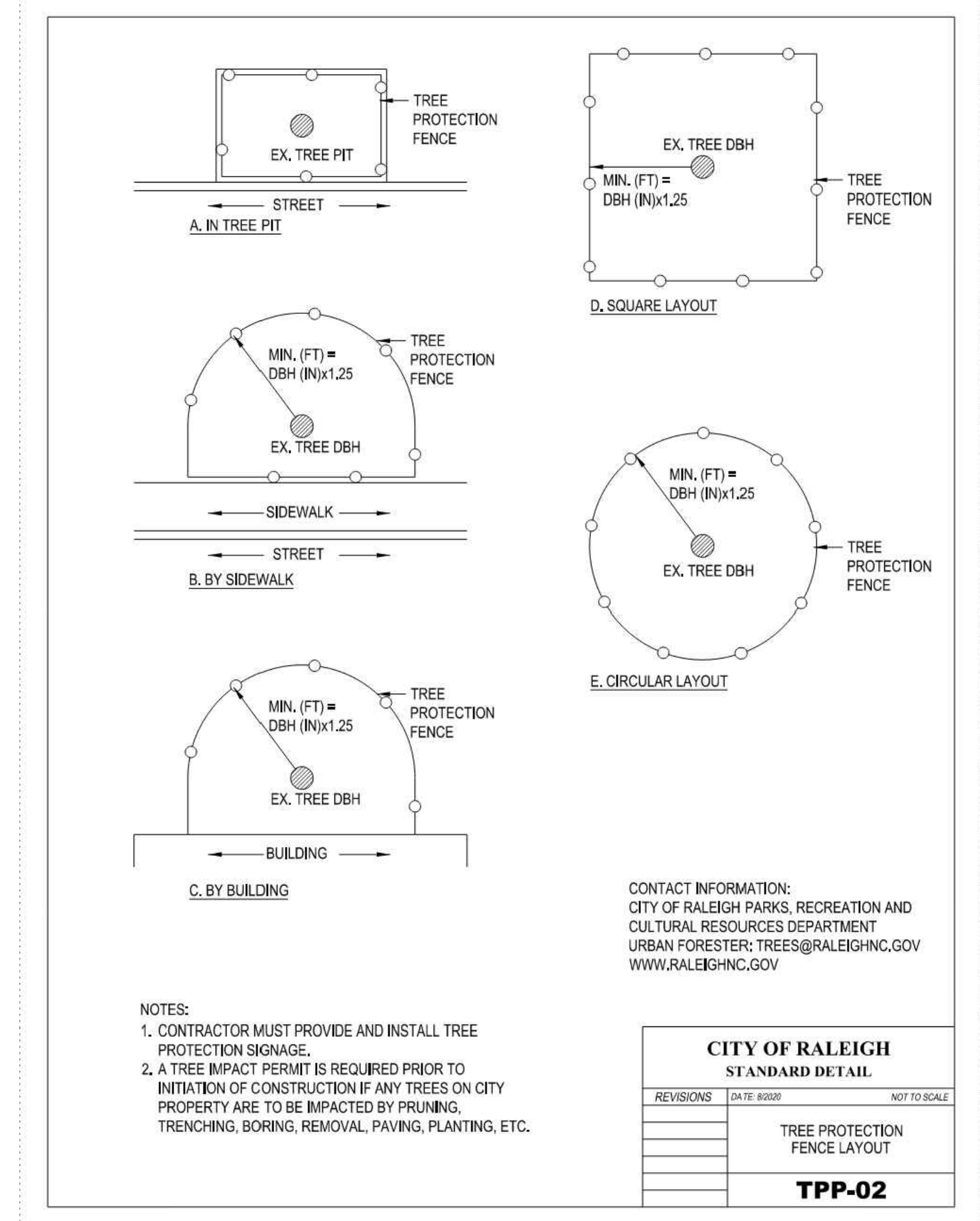
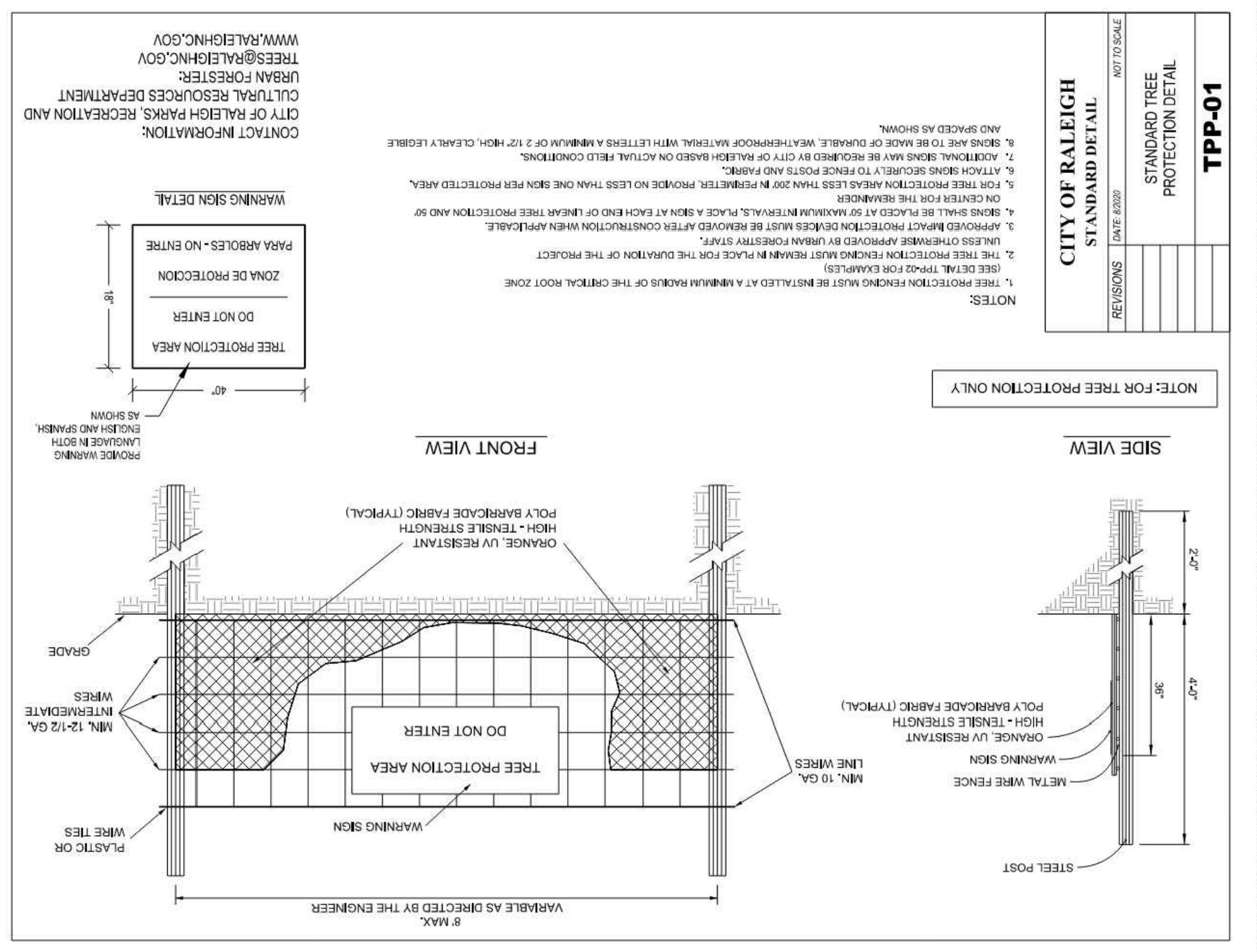
SELECT BACKFILL MATERIAL CLASS III OR CLASS II, TYPE 1 ABOVE AND BELOW SPRINGLINE.
 APPROVED SUITABLE LOCAL MATERIAL.
 UNDISTURBED EARTH MATERIAL
 SELECT MATERIAL CLASS V OR VI FOR FOUNDATION CONDITIONING. ENCAPSULATE WITH ENGINEERING FABRIC AS DIRECTED BY THE ENGINEER.

SHEET 1 OF 3
300.01

STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
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 RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
METHOD OF PIPE INSTALLATION
 FLEXIBLE PIPE

SHEET 1 OF 3
300.01



SITE DETAILS
WESTERN BLVD TOWNHOMES
SCHEMATIC SITE PLAN
 RALEIGH, NC

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