



# Administrative Approval Action

Case File / Name: SUB-0034-2020

DSLCL - Biltmore Heights Townhomes Sunset Ext. Revision

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of Rush Street, west of Garner Road at 2613 Garner Rd.

**REQUEST:** THIS IS A SUNSET EXTENSION TO PREVIOUSLY APPROVED DEVELOPMENT PLAN, SUB-0034-2020.

Development of a vacant 8.04-acre tract zoned R-10, with 5,532 sf of right-of-way dedication along Garner Rd, leaving a net area of 7.92 acres into a proposed 64-unit townhomes development. This subdivision will create a total of 64 townhome lots and six common lots.

Note this plan shows offsite improvements. The offsite access easement and bridge are to be finalized through separate applications and permits as applicable

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 12, 2024 by Thompson and Associates.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Applicant revises the min/max build-to boundaries and calculations, as shown on sheet 11 of the subdivision plans set, for the Lots 1-12, to be dimensioned from Garner Road (Primary Street).
2. A detail diagram for the short-term bicycle parking spacing & maneuverability shall be included with the Site Permit Plans set demonstrating compliance with Raleigh Street Design Manual B.20-01.
3. The build-to line setbacks and calculations table are revised, for units 1-12, on the Site Permit Review, per the corrected & revised primary street designation of Garner Rd.



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4. Prior to SPR approval, remove the old Administrative Approval (AA) from the Site Permit Review (SPR) plan set and replace it with the updated AA with the sunset extension.

## Engineering

5. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
6. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

## Stormwater

7. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
9. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
10. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

## Urban Forestry

11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
12. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Easement Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required

<input checked="" type="checkbox"/>	Slope Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General



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1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. Provide documentation indicating a Property Owner's Association has been established for the subject development.

## Engineering

3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. A fee-in-lieu for 1' width sidewalk is paid to the City of Raleigh (UDO 8.1.10).
7. A fee-in-lieu for 3.5' width of back to back curb section shall be paid to the City of Raleigh (UDO 8.1.10) for length of property frontage along Garner Road.
8. A fee-in-lieu for 114' length of road section (Neighborhood Yield Section) is paid to the City of Raleigh (UDO 8.1.10).
9. A slope easement deed of easement shall be approved by City staff and the location(s) of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
10. A Public Access deed of easement be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.

## Stormwater

11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.



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12. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
13. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
14. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
15. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

16. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.792 acres of tree conservation area.
17. A public infrastructure surety for 27 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. At BLDNR submittal, each block of townhomes units demonstrate compliance with Average Grade and Most Restrictive Grade per Sec.1.5.7.A & TC-17-16.

## Urban Forestry

2. Tree impact permits must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 11 street trees along Garner Road, 6 street trees along Portugal Drive, and 10 street trees along Algarve Trail for a total of 27 street trees.

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of tree conservation areas and right-of-way street trees by Urban Forestry Staff.





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**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: June 12, 2027**

**Record at least ½ of the land area approved.**

**5-Year Sunset Date: June 12, 2029**

**Record entire subdivision.**

I hereby certify this administrative decision.

**Signed:** \_\_\_\_\_ *Jermont Purifoy* **Date:** 06/12/2024

Development Services Dir/Designee

**Staff Coordinator: Jermont Purifoy**





THOMAS & ANNE LEE-JONES  
PIN: 1702-00-2041  
ZONED: R-10  
0.91 AC  
SINGLE FAMILY RESIDENTIAL

COMO DR  
EX. 50' PUBLIC R/W

TYLER & ALAN OSBORNE  
PIN: 1702-00-3728  
ZONED: R-10  
0.29 AC  
SINGLE FAMILY RESIDENTIAL

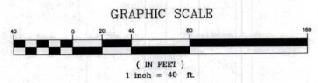
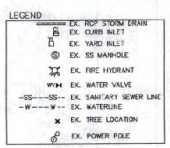
MAP CONSTRUCTION & TRUSSING LLC  
PIN: 1702-00-3731  
ZONED: R-10  
0.37 AC  
SINGLE FAMILY RESIDENTIAL

LOUIS & SANDRA SOLOMON  
PIN: 1702-00-2068  
ZONED: R-10  
1.03 AC  
SINGLE FAMILY RESIDENTIAL

PAKISE CHW  
PIN: 1702-00-3346  
ZONED: R-10  
0.99 AC  
4 FAMILY APARTMENT

GARNER ROAD  
VAR. WIDTH PUBLIC R/W

TANNER DR  
EX. 50' PUBLIC R/W



TRACY & AZZ E.LABIDA  
 PH: 1702-95-7943  
 ZONED: R-10  
 2.4 AC  
 SINGLE FAMILY RESIDENTIAL

LOT 1 BILTMORE HEIGHTS TOWNHOMES  
BM 2003 PG 73  
DB 9720 PG. 178E  
PIN:1702 95 3547

MIAMI SOLANGE PAXU  
PIN: 1702-95-5383  
ZONED: R-10  
0.23 AC  
SINGLE FAMILY RESIDENTIAL

CARL JOHNS  
 PN: 1702-95-7234  
 ZONED: R-10  
 291 AC  
 SINGLE FAMILY RESIDENTIAL

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

REFERENCES:  
BOUNDARY INFORMATION, TOPO, AND TREE LOCATION  
FROM A SURVEY BY THIS OFFICE  
"THOMPSON AND ASSOCIATES"  
"CONTOUR INTERVAL 1"  
  
GREENWAY AND NEUSE RIVER BUFFER DESIGNATION  
AND SEWER EASEMENT FROM SURVEY TITLED:  
"GREENWAY DEDICATION, RECOMBINATION, AND SANITARY  
SEWER EASEMENT FOR LOT 1 AND LOT 82 BILMORE  
HEIGHTS TOWNHOUSES"  
BY NIAL GILLESPIE, PLS DATED 1-16-2003

*SHEET 1*

EXISTING CONDITIONS PLAN  
BILTMORE HEIGHTS TOWNHOMES  
2613 GARNER ROAD - RALEIGH, NC



**THOMPSON & ASSOCIATES, PA**  
1143 EXECUTIVE CIRCLE  
SUITE C, UNIT 2  
CARY, NC 27511  
919-465-1556  
FAX (919) 465-1585  
USC# C-0343

CITY OF RALEIGH		OWNER: J. DEVELOPMENT	
WAKE COUNTY	NORTH CAROLINA	ZONED R-10	
DATE 6-6-17	DRAWN MTH	JOB NO.	
SCALE 1" = 40'	SURVEYED	DRAWING	
REVISIONS 4/30/20 7/9/20		PN 1702-95-8547	



NOTE:  
GARNER ROAD IS AN EXISTING 47' 8" CURB & GUTTER SECTION WITH 5' EXISTING SIDEWALK INSIDE VARIOUS RIGHT OF WAY. THE 2-1/2' UTILITY SECTION FOR GARNER ROAD IS A 2-LANE DIVIDED AVENUE WITH CENTER TURN LANE AROUND 4' 8" SECTION WITH 4' PLANNING AREA, 4' SIDEWALK WITH 2' MAINTENANCE STOP AND 5' UTILITY EASEMENT INSIDE 70' R/W. EXISTING UTILITY SHALL BE MAINTAINED AND NOT RELOCATED. NEW R/W PROJECT 500' AND R/W A-FEE-IN-USE FOR 1" W/TH OF NEW CONCRETE SIDEWALK TO ATTAIN 6' SIDEWALK WIDTH.

NOTE:  
ALL CONSTRUCTION & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS AND NOT.

NOTE:  
MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

SIGHT DISTANCE NOTE:  
WITHIN THE AREA OF BURNED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, SQUARE BEAM, OR OTHER OBSTACLE BETWEEN THE PROPOSED 50' INCHES AND 50' FEET ABOVE THE CURB LINE ELEVATION OF THE NEAREST TRAVELED WAY & NO CORNER LIGHTS.

NOTE ON RETAINING WALLS

RETAINING WALLS 1, 2, AND 6 ARE "KEYSTONE" STACKED WALLS WITH MAX 2' HT AND PERMITTING ISSUANCE AS PART OF ZONING (SEE DETAIL THIS SHEET). RETAINING WALLS 3, 4, AND 5 WILL BE POURED IN PLACED REINFORCED CONCRETE WALLS (NO GEO GRID). CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS FOR RETAINING WALLS 3, 4, AND 5 INSTALLATION. PERMITTING ISSUANCE AS PART OF BUILDING PERMIT.

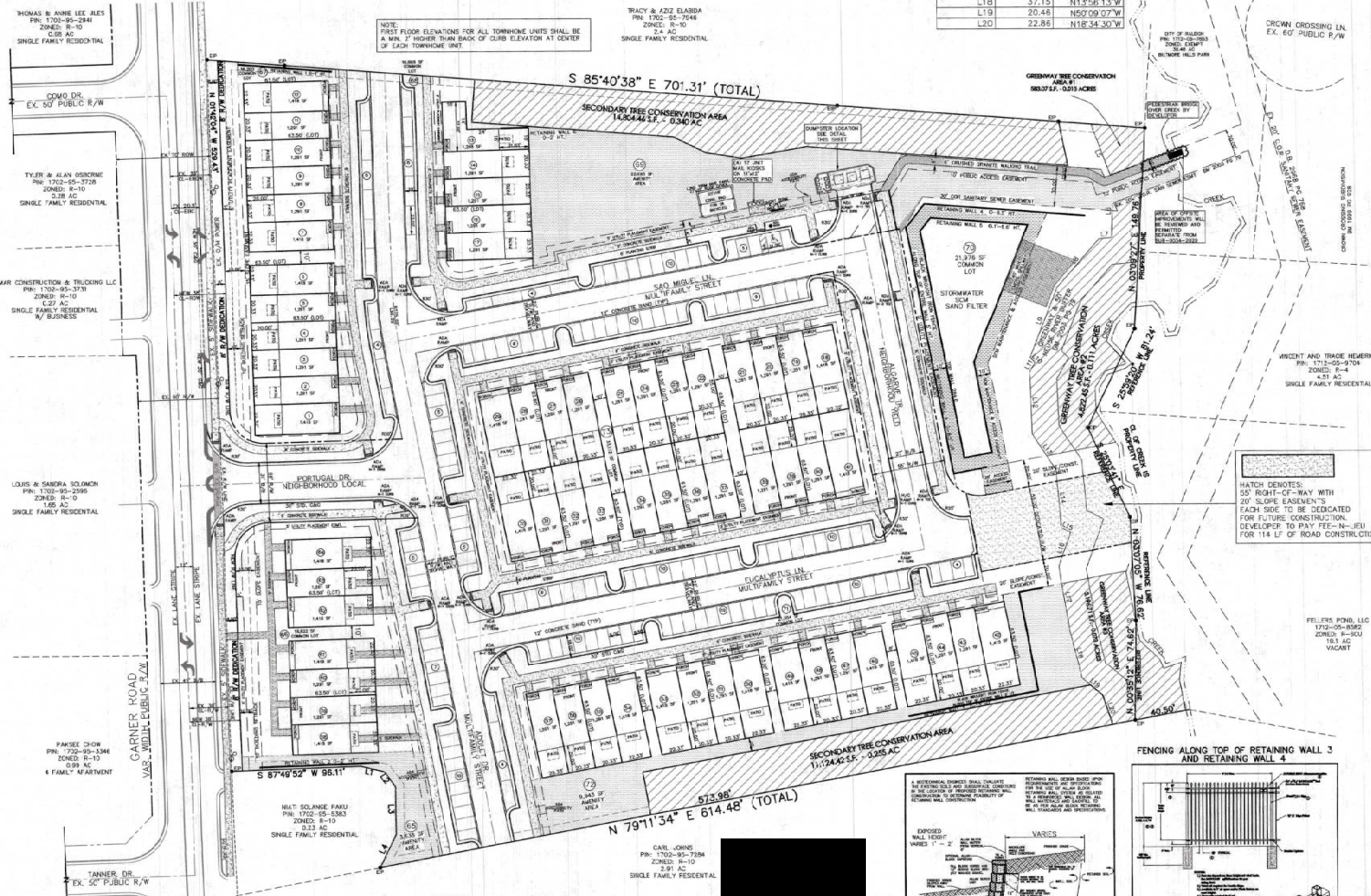
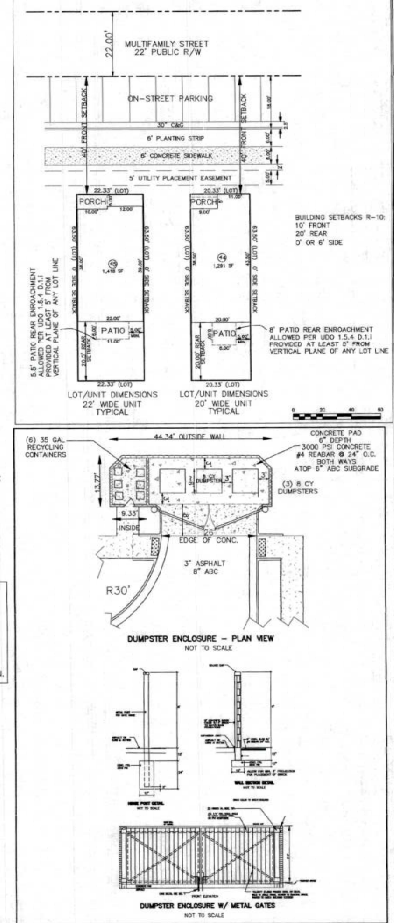
NOTE:  
FIRST FLOOR ELEVATIONS FOR ALL TOWNHOME UNITS SHALL BE A MIN. 1" HIGHER THAN BACK OF CURB ELEVATION AT CENTER OF EACH TOWNHOME UNIT.

WALLY & A232 ELABRA  
PRN 1702-85-7046  
ZONED: R-10  
2.4 AC  
SINGLE FAMILY RESIDENTIAL

BOUNDARY		
LINE	LENGTH	BEARING
L1	18.55'	S75°31'52"E
L2	13.75'	S32°32'51"E
L3	35.36'	S70°34'28"E
L4	27.61'	S26°45'58"W

GREENWAY EASEMENT		
L5	48.04'	N20°51'57"W
L6	36.85'	N2°55'07"E
L7	9.46'	N84°49'58"E
L8	47.81'	N41°10'49"E
L9	55.31'	N21°18'47"E
L10	5.09'	N45°03'09"W
L11	8.34'	N42°55'42"E
L12	48.08'	N20°24'48"W
L13	31.40'	N35°30'46"W
L14	43.35'	N04°59'03"W
L15	7.82'	N63°01'02"W
L16	26.47'	N18°25'32"E
L17	47.96'	N02°28'40"W
L18	37.15'	N13°56'13"W
L19	20.48'	N52°09'07"W
L20	22.86'	N18°34'30"W

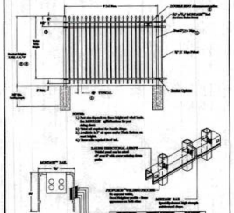
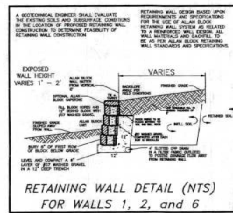
TYPICAL LOT/TOWNHOME UNIT  
DIMENSIONS AND SETBACKS



- LEGEND:
- EX. SANITARY SEWER MANHOLE
  - EX. WATER METER
  - EX. FIRE HYDRANT
  - EX. WATER VALVE
  - EX. POWER POLE
  - EX. SIX WIRE
  - EX. TELEPHONE PEDESTAL
  - EASEMENT
  - CENTERLINE
  - RIGHT OF WAY
  - CREAK
  - AMENITY AREA
  - TCA
  - CONCRETE SIDEWALK

PRELIMINARY LAYOUT  
DO NOT USE FOR CONSTRUCTION

FIRE PROTECTION NOTES:  
1. ALL INTERSECTION CURB RADIUS ARE 30' (25' MIN. REQUIRED).  
2. ALL FIRE HYDRANTS SHOWN ON UTILITY SHEET ARE PUBLIC.  
3. COMPLY WITH ALL FIRE SAFETY REQUIREMENTS DURING CONSTRUCTION/DEMOLITION.  
4. COMPETE 12" DRAINAGE PIPES PER A-141 AND CHAPTER 31.206 NC BOLD CODES.  
5. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS (AFC 507.3).  
6. SHOWING AVAILABLE FIRE FLOW AT HYDRANT AND THE MIN. REQUIRED FIRE FLOW CALCULATION FROM 2019 NC APPENDIX B OR OTHER APPROVED METHOD.



SUB-0034-2020 SHEET 2

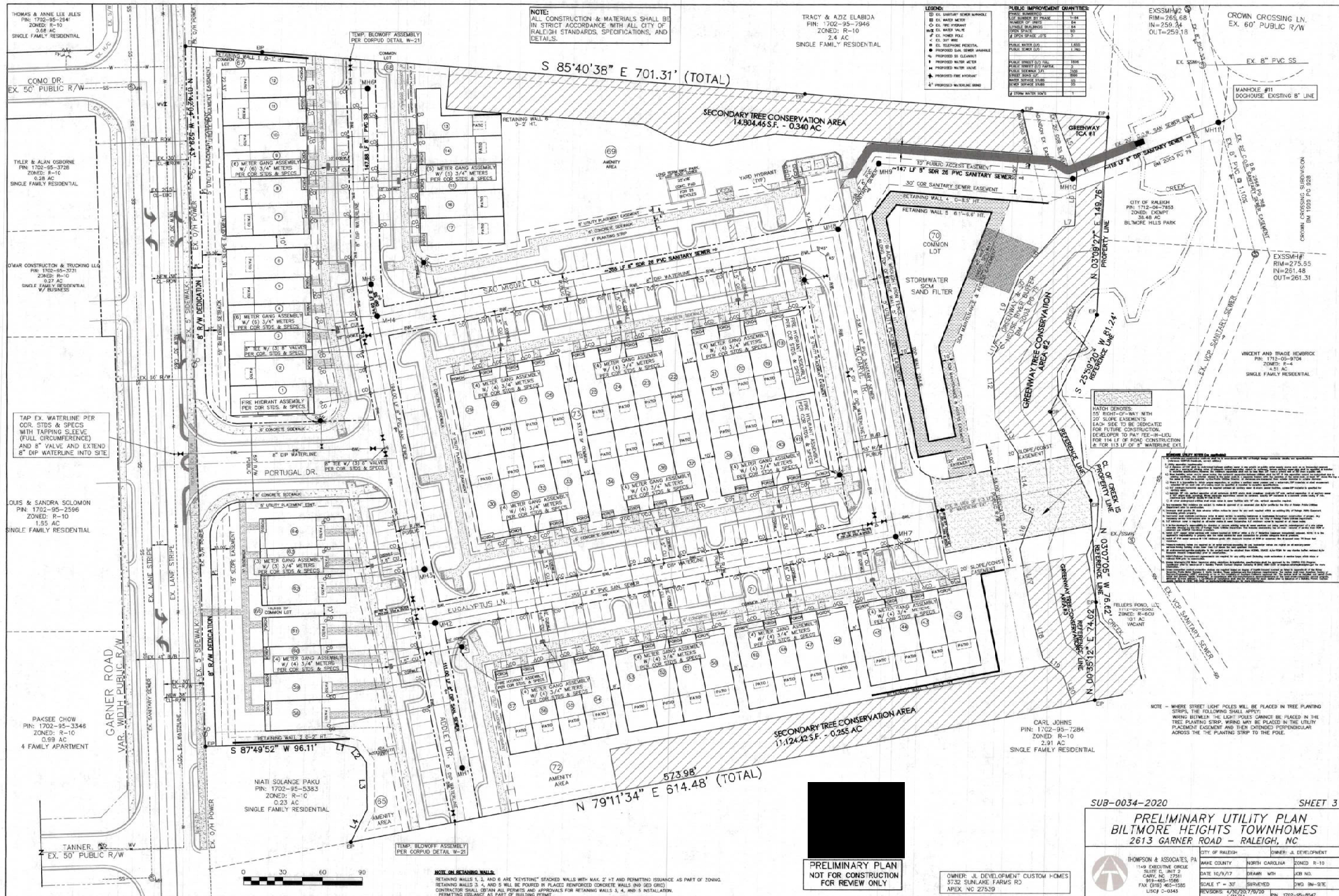
PRELIMINARY SUBDIVISION PLAN  
BILTMORE HEIGHTS TOWNHOMES  
2613 GARNER ROAD - RALEIGH, NC

THOMPSON & ASSOCIATES, P.A.  
1149 EXECUTIVE CIRCLE  
SUITE D, UNIT 2  
CARY, NC 27511  
919-485-1556  
FAX (919) 485-1565  
USCP C-0343

CITY OF RALEIGH  
PLANNING DEPARTMENT  
DATE 10/9/17  
SCALE 1" = 40'  
REVISIONS: 4/20/2017/07/20  
1/3/24

OWNER: J. DEVELOPMENT  
CITY NO. 27511  
DRAWN: MTH  
JOB NO. 27511  
DATE 10/9/17  
SCALE 1" = 40'  
REVISIONS: 4/20/2017/07/20  
1/3/24





PRELIMINARY PLAN  
NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

OWNER: J.L. DEVELOPMENT CUSTOM HOMES  
3732 SUNLAKE FARMS RD  
APEX, NC 27519

SUB-0034-2020 SHEET 3

**PRELIMINARY UTILITY PLAN**  
**BILTMORE HEIGHTS TOWNHOMES**  
**2613 GARNER ROAD - RALEIGH, NC**

THOMPSON & ASSOCIATES, PA 1149 EXECUTIVE OFFICE SUITE C, UNIT 2 CARY, NC 27513 TEL: (919) 465-1585 FAX: (919) 465-1586 LISCY © 2014	CITY OF RALEIGH NAME: COUNTY DATE: 10/14/17 SCALE: 1" = 30' REVISIONS: 1/2/2017/7/2017/10/2017	OWNER: J.L. DEVELOPMENT ZONE: R-10 DATE: 10/14/17 DRAWN: MTH CHECK: JLN-37E DATE: 10/14/17 PLOT: 1702-95-0547
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# GENERAL PROJECT NOTES

ALL WORK AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.

CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH TO REFER TO DURING CONSTRUCTION OF THE PROJECT.

CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING ABOVE AND BELOW GROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION AND COORDINATE RELOCATION, IF NEEDED, OF THESE UTILITIES WITH THE APPROPRIATE AUTHORITIES. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH EROSION CONTROL STANDARDS AND SPECIFICATIONS.

# EROSION CONTROL NOTES

ALL CITY OF RALEIGH EROSION CONTROL ORDINANCES SHALL BE CONFORMED TO DURING CONSTRUCTION.

ALL DRAINAGE STRUCTURES AND PIPES SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH. LOCATION, PLACEMENT, LOCATION AND QUANTITY OF EROSION CONTROL STRUCTURES AND DRAINAGE STRUCTURES MAY ALSO BE BETTER CONFORM TO EXISTING FIELD CONDITIONS IF APPROVED BY THE ENVIRONMENTAL INSPECTOR OF THE CITY OF RALEIGH. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AT ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY UTILITY CONFLICTS WITH THE APPROPRIATE UTILITY AUTHORITY.

# NOTE:

ALL CONSTRUCTION & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

# NOTE ON RETAINING WALLS

RETAINING WALLS 1, 2, AND 4 ARE "KEYSTONE" STAGGED WALLS WITH MAX 2' Ht AND PERMITTING EASEMENT AS PART OF EROSION CONTROL. RETAINING WALLS 3, 4, AND 5 WILL BE FOLDED IN PLACED REINFORCED CONCRETE WALLS (NO GEO GRID). CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS FOR RETAINING WALLS 3, 4, AND 5 INSTALLATION. PERMITTING EASEMENT AS PART OF BUILDING PERMIT.

# SEE SHEET 5 FOR STORMWATER DETAILS AND CALCULATIONS

BOUNDARY		
LINE	LENGTH	BEARING
L1	18.53'	S 76° 31' 52" E
L2	13.27'	S 32° 32' 52" E
L3	30.35'	S 00° 34' 28" E
L4	27.41'	S 29° 45' 58" W

# LEGEND

- FLOW DIRECTION
- TPF — TREE PROTECTION FENCE
- [340] PROPOSED GRADE
- RETAINING WALL

# LEGEND

- EX. TOP STORM DRAIN
- EX. CURB INLET
- EX. YARD RAIL
- EX. SS MANHOLE
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. SANITARY SEWER LINE
- EX. WATERLINE
- EX. TREE LOCATION
- EX. POWER POLE W/ LIGHT
- EX. HIGH POLE
- FLOW

GROUND STABILIZATION REQUIRED WITHIN 7 DAYS FOR PERIMETER AREAS AND FOR SLOPES GREATER THAN 3:1. ALL OTHER AREAS IT IS REQUIRED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

# GRADING NOTES:

PRIOR TO GRADING, A GRADING AND EROSION CONTROL PLAN SHALL BE FILED WITH APPROPRIATE AGENCY. A GRADING PERMIT SHALL BE OBTAINED AS REQUIRED. ALL GRADING AND EROSION CONTROL REQUIREMENTS OF THE SOIL AND EROSION CONTROL ORDINANCE OF THE GOVERNING AGENCY SHALL BE COMPLIED WITH.

LOCATION, PLACEMENT, AND/OR QUANTITY OF EROSION CONTROL MATERIALS AND/OR DEVICES MAY VARY TO BETTER CONFORM TO FIELD CONDITIONS.

# NOTE ON INSPECTIONS:

PROJECT WILL BE SUBJECT TO THE NORTH CAROLINA DIVISION OF LAND RESOURCES SELF INSPECTION PROGRAM. AN EROSION CONTROL INSPECTION WILL BE PERFORMED AFTER EACH PHASE OF GRADING AND THE INSPECTION SHALL BE DOCUMENTED IN WRITING. IT IS RECOMMENDED THAT THE NCDEMUR JOINT INSPECTION FORM BE UTILIZED FOR THIS AND THE REQUIRED NPDES INSPECTIONS.

# STORM DRAIN PIPE SCHEDULE

PIPE STRUCTURE	IN-PIPE IN	IN-PIPE OUT	LENGTH	SIZE	TYPE
A	~311.20	~312.80	~24 LF	15"	HDPE
B	~310.30	~310.10	~9 LF	15"	HDPE
C	~310.20	~309.90	~54 LF	15"	HDPE
D	~305.80	~309.00	~147 LF	18"	HDPE
E	~305.90	~308.00	~77 LF	18"	HDPE
F	~305.40	~306.60	~98 LF	18"	HDPE
G	~305.90	~309.60	~60 LF	15"	HDPE
H	~305.50	~295.70	~150 LF	15"	HDPE
I	~294.80	~294.40	~55 LF	24"	HDPE
J	~294.30	~290.60	~39 LF	24"	HDPE
K	~285.50	~289.30	~24 LF	24"	HDPE
L	~315.60	~315.30	~51 LF	15"	HDPE
M	~315.20	~314.70	~86 LF	15"	HDPE
N	~314.60	~314.20	~74 LF	18"	HDPE
O	~314.10	~313.80	~60 LF	18"	HDPE
P	~313.30	~313.10	~34 LF	15"	HDPE
Q	~313.70	~313.40	~46 LF	18"	HDPE
R	~313.30	~313.10	~35 LF	18"	HDPE
S	~315.50	~315.60	~70 LF	15"	HDPE
T	~315.50	~313.60	~56 LF	15"	HDPE
U	~313.00	~302.00	~198 LF	24"	HDPE
V	~301.90	~301.50	~56 LF	24"	HDPE
W	~301.40	~295.30	~87 LF	24"	HDPE
X	~295.20	~291.40	~51 LF	24"	HDPE
Y	~285.00	~288.60	~72 LF	15"	HDPE
Z	~285.50	~288.30	~37 LF	15"	HDPE
AA	~285.20	~288.00	~29 LF	15"	HDPE
BB	~287.90	~287.70	~39 LF	15"	HDPE
CC	~288.70	~287.70	~98 LF	30"	HDPE
DD	~291.80	~291.30	~17 LF	15"	HDPE
EE	~291.00	~290.80	~31 LF	15"	HDPE
FF	~290.90	~298.50	~24 LF	15"	HDPE
GG	~295.10	~298.50	~34 LF	30"	HDPE
II	~316.80	~313.10	~24 LF	15"	HDPE
HH	~287.50	~281.00	~37 LF	36"	RCP

# GREENWAY EASEMENT

L5	48.04	N 20° 51' 57" W
L6	39.25	N 02° 55' 07" E
L7	9.46	N 84° 45' 08" E
L8	47.81	N 41° 10' 49" E
L9	55.91	N 21° 16' 47" E
L10	5.39	N 45° 03' 00" W
L11	8.34	N 29° 59' 42" E
L12	46.06	N 02° 24' 49" W
L13	31.40	N 33° 30' 46" W
L14	43.35	N 04° 59' 03" W
L15	7.82	N 63° 01' 02" W
L16	26.47	N 19° 35' 30" E
L17	47.36	N 09° 28' 40" W
L18	37.15	N 13° 56' 37" W
L19	20.46	N 50° 09' 07" W
L20	22.86	N 18° 34' 30" W

# ENERGY DISSIPATOR SCHEDULE

DISSIPATOR NUMBER	OUTLET PIPE (FPS)	V/D (FT.)	Ld (FT.)	W SIZE (IN.)	D50 STONE (IN.)	MK. LINING THICK. (IN.)	APRON MATERIAL
A	8" RCP	9.00	10	12	6	18	CLASS E' STONE

USE SPECIFIED STONE FOR EROSION CONTROL. PLACE DISSIPATOR AS PER CITY OF RALEIGH STANDARD DETAIL. AS REQUIRED PLACE UNDERLIER BELOW DISSIPATOR.

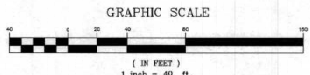
PRELIMINARY DRAINAGE DO NOT USE FOR CONSTRUCTION

SUB-0034-2020

SHEET 4

PRELIMINARY  
GRADING/STORM DRAINAGE PLAN  
BILTMORE HEIGHTS TOWNHOMES  
2813 GARNER ROAD - RALEIGH, NC

THOMPSON & ASSOCIATES, PA		OWNER: J. DEVELOPMENT	
1149 EXECUTIVE CIRCLE	DATE: 10-1-17	NORTH CAROLINA	ZONED: R-10
SUITE B, UNIT 2	DATE: 10-1-17	BRANCH	JOB NO.
919-465-1560	SCALE: 1" = 40'	SURVEYED	DRAWING
1240-465-1560	REVISIONS: 1-18-18-28-20	DATE: 10-1-17	DATE: 10-1-17
JSCG C-0343	DATE: 10-1-17	DATE: 10-1-17	DATE: 10-1-17



OWNER:  
J. DEVELOPMENT CUSTOM HOMES  
3732 SUNLAKE FARMS ROAD  
APEX, NC 27539  
(919) 427-4135

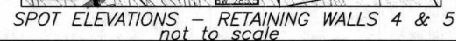


ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH SEDIMENT AND EROSION CONTROL STANDARDS AND SPECIFICATIONS.


ALL CITY OF RALEIGH EROSION CONTROL ORDINANCES SHALL BE CONFORMED TO DURING CONSTRUCTION.  
ALL DRAINAGE STRUCTURES AND PIPES SHALL CONFORM TO THE DIMENSIONS AND SPECIFICATIONS OF THE CITY OF RALEIGH.  
LOCATION, LOCATION AND QUANTITY OF EROSION CONTROL DEVICES AND DRAINAGE STRUCTURES MAY ALTER TO BETTER CONFORM TO EXISTING FIELD CONDITIONS IF APPROVED BY THE ENVIRONMENTAL INSPECTOR OF THE CITY OF RALEIGH.  
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.  
CONTRACTOR SHALL VERIFY THE LOCATION AT ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO THE START OF CONSTRUCTION.  
CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO THE START OF CONSTRUCTION.  
RELOCATION OF ANY UTILITY CONFLICTS WITH THE APPROPRIATE UTILITY AUTHORITY.

ALL CONSTRUCTION & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

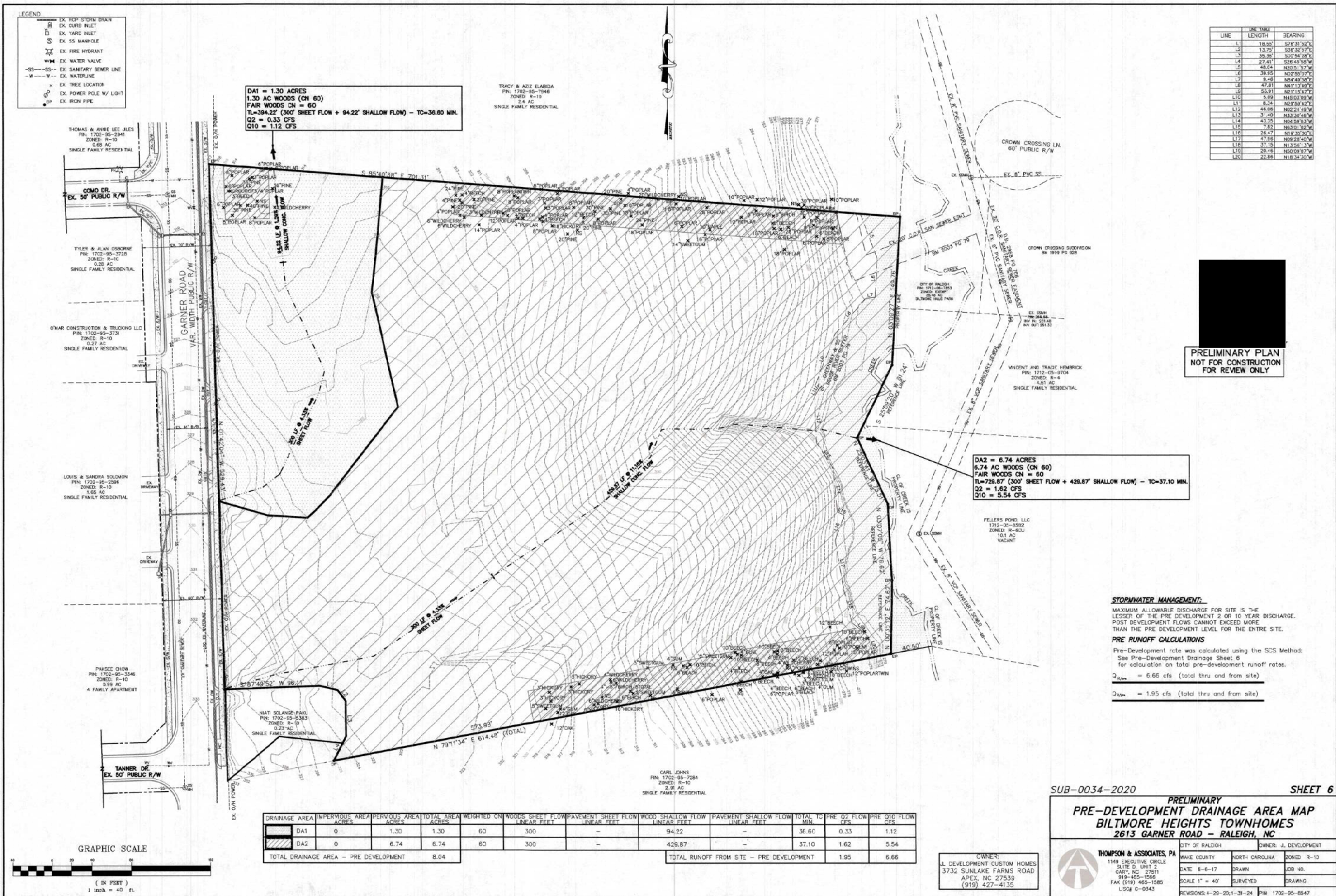
NC DED STORMWATER DESIGN MANUAL  
 SAND FILTER MEDIA DESIGN CRITERIA  
 MOC 1. SUMP SEPARATION  
 TEST PIT IN AREA OF SUMP WAS EXCAVATED 18" BELOW BOTTOM OF SUMP AND FOUND NOT SHOT  
 SUMP WILL HAVE 2 CHAMBERS: A SEDIMENT CHAMBER W/ ORIFICES AT A SAND CHAMBER  
 SEDIMENT AND SAND CHAMBERS CHAINING  
 SEDIMENT PLUS SAND CHAMBER CHAINING  
 BYPASS DEVICES ARE PLACED ABOVE THE REQUIRED PONDING DEPTH  
 MOC 2. MAXIMUM PONDING DEPTH  
 SUMP WILL HAVE A MAXIMUM PONDING DEPTH OF 38" (2100) + 6" MAX.  
 FLOW DISTRIBUTION  
 SUMP HAS A UNDERPRESSURE DISPATCH TO ACHIEVE A SUMP FLOW ACROSS SAND FILTER  
 MOC 3. SAND FILTER SPECIFICATIONS  
 SUMP TO HAVE A SAND THAT MEETS ASTM C31 REQUIREMENTS  
 MEDIA DEPTH  
 SUMP WILL HAVE A SAND MEDIA DEPTH OF 18"  
 MAINTENANCE OF MEDIA  
 SUMP SAND MEDIA SHALL BE MAINTAINED TO ENSURE A FLOW THRU THE MEDIA @ 2" PER SEC  
 CLEAN OUT PIPES  
 SUMP SHALL HAVE AN UNDERDRAIN SYSTEM WITH CLEAN OUT PIPES



OWNER:  
JL DEVELOPMENT, CUSTOM HOMES  
3732 SUNLAKE FARMS ROAD  
APEX, NC 27539  
(919) 427-4135

 <b>THOMPSON &amp; ASSOCIATES, PA</b> 1146 ELEVING CIRCLE SUITE D, UNIT 2 CARY, NC 27511 919-465-1568 FAX (919) 465-1585 LIC# C-0343	CITY OF RALEIGH		OWNER: J. DEVELOPMENT
	WAKE COUNTY	NORTH CAROLINA	ZONED R-10
	DATE: 01-17	DRAWN JOE. NC	
	SCALE: NTS	SURVEYED	DRAWING
	REVISIONS: 1-12-14-29-20 2-28-20 1-31-21		











GARNER ROAD STREET TREE CALCULATIONS:  
3.5' EX. PLANTING STRIP  
528 LF FRONTAGE = 59 LF OF RIGHT OF WAY = 476 LF  
476/40 = 11.75 (11 TREES) REQUIRED  
11 TREES PROVIDED

#### GARNER ROAD STREET TREE PLANT LEGEND:

COMMON	TYPE	#	SCIENTIFIC	CALL. HT.	NATURE HT./CROWN SPREAD	NOTE
SHADE	11	"TRENT" MAPLE	ACER BURSARUM	17'	40-50'	25'
						SINGLE STEM ONLY

#### PARKING AREA PLANTING REQUIREMENTS:

INTERIOR LANDSCAPE ISLANDS: 11 ISLANDS PROPOSED  
1 TREE PER ISLAND = 11 TREES REQUIRED  
11 TREES PROVIDED  
26,560 SF PARKING AREA PROPOSED:  
1 TREE PER 2000 SF REQUIRED  
26,560/2000 = 13.28 (13 TREES) REQUIRED  
13 TREES PROVIDED

NOTE:  
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.

#### PARKING AREA AND PARKING ISLAND PLANT LIST:

COMMON	TYPE	#	SCIENTIFIC	CALL. HT.	NATURE HT./CROWN SPREAD	NOTE
SHADE	24	SHAWNY MAPLE	ACER SACHARINUM	17'	40'	30-50'
			RIVER BIRCH			SINGLE STEM ONLY

CHOOSE FROM  
NOTE: SAWTOOTH OAK (QUERCUS ACUTISSIMA)  
NOT TO BE USED

TRACY & ADIE ELABIDA  
PIN: 1702-95-2841  
ZONED: R-10  
2.4 AC  
SINGLE FAMILY RESIDENTIAL

GREENWAY TREE CONSERVATION  
AREA #1  
580.57 ACRES

CROWN CROSSING IN  
EX. 60' PUBLIC R/W

#### STREET TREE CALCULATIONS: (INTERIOR STREETS)

STREET 1 FRONTAGE: 140 LF (BOTH SIDES) = 140/40 = 3.5 (3) TREES REQUIRED PER SIDE  
REQUIRED: 6 TREES  
PROVIDED: 6 TREES  
STREET 2 FRONTAGE (RIGHT SIDE): 427 LF  
427/40 = 10.67 (11) TREES REQUIRED  
LEFT SIDE: 533 LF  
533/40 = 13.3 (13) TREES REQUIRED  
TOTAL REQUIRED TREES: 24  
PROVIDED: 24 TREES

STREET 3 317 LF (LEFT SIDE) = 317/40 = 7.92 (8) TREES REQUIRED  
383 LF (RIGHT SIDE) = 383/40 = 9.58 (10) TREES REQUIRED  
TOTAL REQUIRED TREES: 18  
PROVIDED: 18 TREES

STREET 4 FRONTAGE: RIGHT SIDE 286 LF  
286/40 = 7.1 (7) TREES REQUIRED  
STREET D FRONTAGE: LEFT SIDE 286 LF  
286/40 = 7.1 (7) TREES REQUIRED  
TOTAL REQUIRED TREES: 14  
PROVIDED: 14 TREES

STREET 5 FRONTAGE: LEFT SIDE 179 LF  
179/40 = 4.47 (4) TREES REQUIRED  
STREET "E" FRONTAGE: RIGHT SIDE 210 LF  
210/40 = 5.25 (5) TREES REQUIRED  
TOTAL REQUIRED TREES: 10  
PROVIDED: 10 TREES

TOTAL STREET TREES REQUIRED (INTERIOR STREETS): 72  
PROVIDED: 72

#### INTERIOR STREET TREE PLANT LEGEND:

COMMON	TYPE	#	SCIENTIFIC	CALL. HT.	NATURE HT./CROWN SPREAD	NOTE
SHADE	71	SUGAR MAPLE	ACER SACHARINUM	17'	40'	30-50'
			SHAWNY MAPLE			SINGLE STEM ONLY

CHOOSE FROM  
NOTE: SAWTOOTH OAK (QUERCUS ACUTISSIMA)  
NOT TO BE USED AS STREET TREE

NOTE - WHERE STREET LIGHT POLES WILL BE PLACED IN TREE PLANTING STRIPS, THE FOLLOWING SHALL APPLY:  
WRING BETWEEN THE LIGHT POLES CANNOT BE PLACED IN THE TREE PLANTING STRIP. WRING MAY BE PLACED IN THE UTILITY PLACEMENT EASEMENT AND THEN EXTENDED PERPENDICULAR ACROSS THE PLANTING STRIP TO THE POLE.

#### HVAC SCREENING REQUIREMENTS

HVAC TO BE SCREENED BY SOLID 4' HT WOODEN FENCE EACH LOT.

SEE TYPICAL UNIT DETAIL AND FENCE DETAIL THIS SHEET.

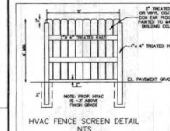
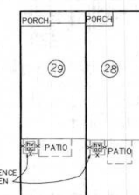
BMP SCREEN  
CONTINUOUS SCREEN AT LEAST 75% EVERGREEN REQUIRED AS SHOWN.

FELLERS POLE, LLC  
1702-95-8862  
ZONED: R-10  
10.1 AC  
VACANT

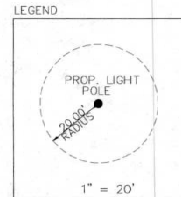
COMMON	TYPE	#	SCIENTIFIC	CALL. HT.	NATURE HT./CROWN SPREAD	NOTE
SHADE	3	RIVER BIRCH	BETULA NIGRA	17'	40'	30'
						RAB

COMMON	TYPE	#	SCIENTIFIC	CALL. HT.	NATURE HT./CROWN SPREAD	NOTE
EVERGREEN	112	DRUM BURNING HOLLY	ILEX CORNUTA 'BURFORD WAVE'	24'	8-10'	8-10' WIDTH
						3 CAL

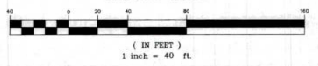
HVAC FENCE SCREEN  
SEE DETAIL THIS SHEET  
TYPICAL ALL LOTS



4' HT. WOODEN FENCE  
AS HVAC SCREEN



#### GRAPHIC SCALE



NOTE:  
ALL CONSTRUCTION & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

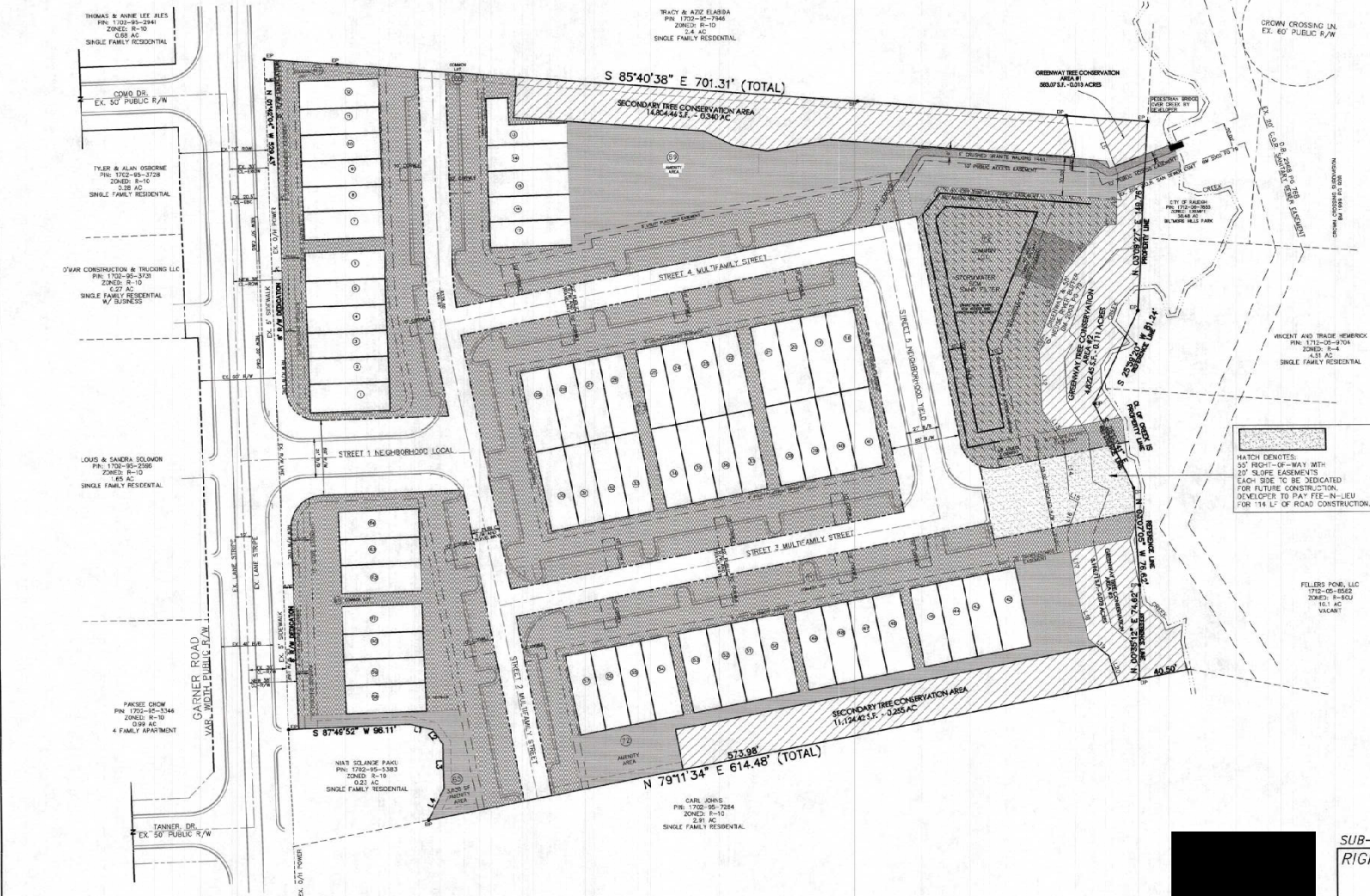
SUB-C034-2020

SHEET 8

#### PRELIMINARY LANDSCAPE PLAN BILTMORE HEIGHTS TOWNHOMES 2613 GARNER ROAD - RALEIGH, NC

OWNER: J. DEVELOPMENT	DATE: 9/15/17	SCALE: 1" = 40'	REVISIONS: 4/30/20 7/9/20 11-24
DESIGNER: THOMPSON & ASSOCIATES, PA	DATE: 9/15/17	SCALE: 1" = 40'	REVISIONS: 4/30/20 7/9/20 11-24
PROJECT: BILTMORE HEIGHTS TOWNHOMES	DATE: 9/15/17	SCALE: 1" = 40'	REVISIONS: 4/30/20 7/9/20 11-24
PROJECT: BILTMORE HEIGHTS TOWNHOMES	DATE: 9/15/17	SCALE: 1" = 40'	REVISIONS: 4/30/20 7/9/20 11-24

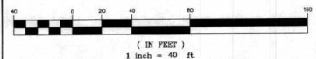




COMMON LOT	
AMENITY AREA	
SCM MAINT. & DRAINAGE ESM	
TCA	

HATCH DENOTES:  
35' RIGHT-OF-WAY WITH  
20' SLOPE EASEMENTS  
EACH SIDE TO BE DEDICATED  
FOR FUTURE CONSTRUCTION.  
DOWNGRADER TO PAY FEE-IN-LIEU  
FOR 14' L' OF ROAD CONSTRUCTION.

GRAPHIC SCALE



SUB-0034-2020

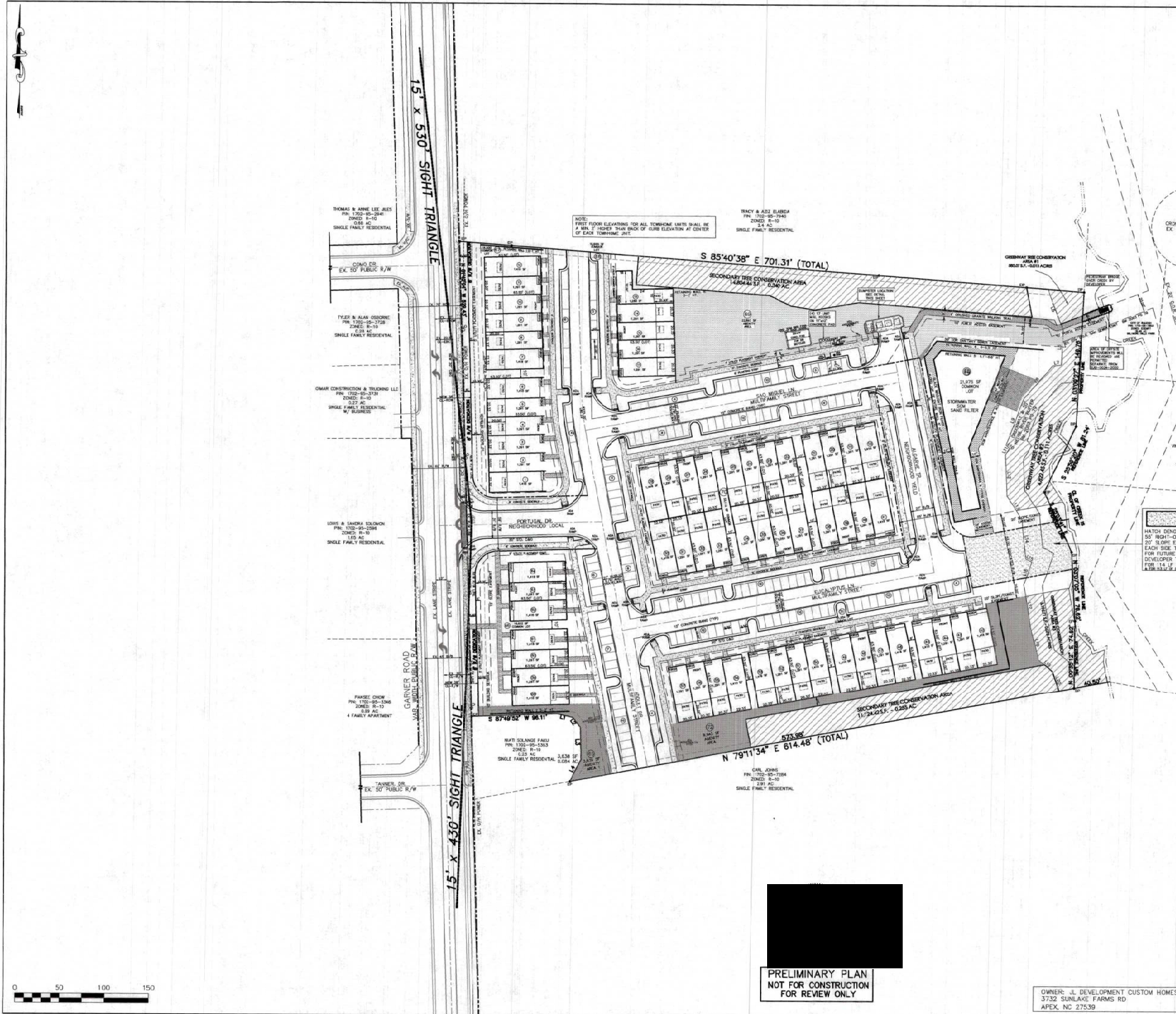
SHEET 9

RIGHT-OF-WAY, EASEMENT, COMMON LOT,  
AND AMENITY AREA EXHIBIT  
BILTMORE HEIGHTS TOWNHOMES

THOMPSON & ASSOCIATES, PA  
1149 EXECUTIVE CIRCLE  
SUITE 200, UNIT 2  
CAPE, NC 27511  
919-465-1569  
FAX (919) 465-1585  
LISC# C-0343

CITY OF RALEIGH		OWNER: J.A. DEVELOPMENT
NAME	COUNTY	ZONE
DATE	12/9/17	NORTH CAROLINA
DRAWN	MTH	ZONE
SCALE	1" = 40'	1702-95-0547
SURVEYED	1/2/2024	
REVISIONS	4/30/2017	





PRELIMINARY PLAN  
NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

OWNER: J. DEVELOPMENT CUSTOM HOMES  
3732 SUNLAKE FARMS RD  
APEX, NC 27539

SUB-0034-2020

**SIGHT TRIANGLE EXHIBIT  
BILTMORE HEIGHTS TOWNHOMES**  
2613 GARNER ROAD - RALEIGH, NC

THOMPSON & ASSOCIATES, PA  
1149 EXECUTIVE DRIVE  
CARY, NC 27511  
919-465-1561  
FAX (919) 465-1585  
USC# C-0343

CITY OF RALEIGH		OWNER: J. DEVELOPMENT
WAKE COUNTY	NORTH CAROLINA	ZONING
DATE 10/9/17	DRAWN: MTH	JOB
SCALE 1" = 50'	SURVEYED	DWG
REVISIONS 4/30/2019-29-29		REV 1702-05
1/23/24		



BUILD-TO 10'-55' (R-10 ZONING)  
PERCENT FACADE REQUIRED IN BUILD TO 70%

# PRIMARY STREET DESIGNATION

GARNER ROAD EAST SIDE  
SOUTH PROPERTY LINE TO INTERSECTION PORTUGAL DR.  
LOTS 35-64

GARNER ROAD EAST SIDE  
INTERSECTION PORTUGAL DR. TO NORTH PROPERTY LINE  
LOTS 1-12

ADOLET DR. (EAST SIDE)  
INTERSECTION SAG MUEL LN. TO STUB @ NORTH PROPERTY LINE  
LOTS 13-17

EUCALYPTUS LN. (NORTH SIDE)  
INTERSECTION ADOLET DR. TO INTERSECTION ALGARVE TR.  
LOTS 30-41

EUCALYPTUS LN. (SOUTH SIDE)  
INTERSECTION ADOLET DR. TO INTERSECTION ALGARVE TR.  
LOTS 42-57

SAG MUEL LN. (SOUTH SIDE)  
INTERSECTION ADOLET DR. TO INTERSECTION ALGARVE TR.  
LOTS 18-29

## BUILD TO CALCULATIONS:

LOTS 1-12 BLOCK LENGTH 291.14'	REQUIRED LENGTH: 261' 0" (70% X 370') PROPOSED LENGTH: 139' 0" + 150' 0" = 289' 0"	REQUIRED 70% MIN. PROPOSED 81.00%
LOTS 13-17 BLOCK LENGTH 166.53'	REQUIRED LENGTH: 116' 6" (70% X 166.53') PROPOSED LENGTH: 116' 52"	REQUIRED 70% MIN. PROPOSED 71.00%
LOTS 18-29 BLOCK LENGTH 303.00'	REQUIRED LENGTH: 212' 0" (70% X 303.00') PROPOSED LENGTH: 212' 0" + 83' 34" + 8' 33" + 2' 40" = 306' 7"	REQUIRED 70% MIN. PROPOSED 71.00%
LOTS 30-41 BLOCK LENGTH 319.14'	REQUIRED LENGTH: 223' 4" (70% X 319.14') PROPOSED LENGTH: 223' 4" + 83' 34" + 8' 33" + 2' 40" = 317' 51"	REQUIRED 70% MIN. PROPOSED 71.00%
LOTS 42-57 BLOCK LENGTH 370.00'	REQUIRED LENGTH: 259' 0" (70% X 370.00') PROPOSED LENGTH: 259' 0" + 83' 34" + 8' 33" + 2' 40" = 353' 7"	REQUIRED 70% MIN. PROPOSED 71.00%
LOTS 58-64 BLOCK LENGTH 193.00'	REQUIRED LENGTH: 135' 1" (70% X 193.00') PROPOSED LENGTH: 135' 1" + 45' 0" = 180' 1"	REQUIRED 70% MIN. PROPOSED 71.00%

TYLER & ALAN DESBORNE  
P/N: 1702-95-3708  
ZONED: R-10  
3.28 AC  
SINGLE FAMILY RESIDENTIAL

O'MAN CONSTRUCTION & TRUCKING LLC  
P/N: 1702-95-3721  
ZONED: R-10  
0.27 AC  
SINGLE FAMILY RESIDENTIAL  
W/ RESIDENCE

LOUIS & SANDRA SOLOMON  
P/N: 1702-95-2386  
ZONED: R-10  
1.65 AC  
SINGLE FAMILY RESIDENTIAL

PAVLEE OHN  
P/N: 1702-95-3340  
ZONED: R-10  
6.99 AC  
4 FAMILY APARTMENT

TAMER, DR.  
EX. 50' PUBLIC R/W

TRACY & ADZ ELBARA  
P/N: 1702-95-7946  
ZONED: R-10  
2.4 AC  
SINGLE FAMILY RESIDENTIAL

PELLERS POND, LLC  
P/N: 1702-95-8563  
ZONED: R-ACU  
10.1 AC  
VACANT

## GRAPHIC SCALE



PRELIMINARY DRAWING  
DO NOT USE FOR CONSTRUCTION

SUB-0034-2020

SHEET 11

## BUILD-TO EXHIBIT BILTMORE HEIGHTS TOWNHOMES 2613 GARNER ROAD - RALEIGH, NC

	CITY OF RALEIGH			OWNER: A. DEVELOPMENT	
	THOMPSON & ASSOCIATES, PA 1149 EXECUTIVE CIRCLE CARY, NC 27511	NAKE COUNTY	NORTH CAROLINA	ZONED: R-10	
	DATE: 5/22/22	DRAWN: NTH	JOB NO.		
	SCALE: 1" = 40'	SURVEYED	DWG. NO. BUILD-TO		
	OWNER: A. DEVELOPMENT CUSTOM HOMES 3732 SUNLAKE FARMS RD APEX, NC 27539	DESIGNED: 5/25/22	DATE: 5/23/22	DATE: 5/23/22	DATE: 5/23/22







NOTE:  
ALL CONSTRUCTION & MATERIALS SHALL BE  
IN STRICT ACCORDANCE WITH ALL CITY OF  
RALEIGH STANDARDS, SPECIFICATIONS, AND  
DETAILS

PROP. HALF BLOCK NORTH  
WITH STUB STREET  
485 LF

TRACY & AZIZ ELABO  
PIN: 1702-95-7946  
ZONED: R-10  
2.4 AC  
SINGLE FAMILY RESIDENTIAL

S 85°40'38" E 701.31' (TOTAL)  
SECONDARY TREE CONSERVATION AREA  
14,804.44 S.F. - 0.340 AC

GREENWAY TREE CONSERVATION  
AREA #3  
583,073.7 - 0.013 ACRES

CROWN CROSSING LN.  
EX. 60' PUBLIC R/W

THOMAS & ANNE LEE JILES  
PIN: 1702-95-2346  
ZONED: R-10  
0.85 AC  
SINGLE FAMILY RESIDENTIAL

THOMAS & ALAN CONVERSE  
PIN: 1702-95-2718  
ZONED: R-10  
0.28 AC  
SINGLE FAMILY RESIDENTIAL

O'VAR CONSTRUCTION & TRUCKING LLC  
PIN: 1702-95-3773  
ZONED: R-10  
0.27 AC  
SINGLE FAMILY RESIDENTIAL  
W. BUSINESS

LOUIS & SANDRA SODOMI  
PIN: 1702-95-7284  
ZONED: R-10  
1.85 AC  
SINGLE FAMILY RESIDENTIAL

PARISE CHOW  
PIN: 1702-95-3346  
ZONED: R-10  
0.89 AC  
4 FAMILY APARTMENT

TANNER DR.  
EX. 50' PUBLIC R/W

CARNER ROAD  
VAR. PUBLIC R/W

PROP. HALF BLOCK SOUTH  
WITH STUB STREET  
460 LF

PROPOSED NEW INTERIOR BLOCK  
1163 LF

PROP. HALF BLOCK EAST  
WITH STUB STREET  
664 LF

CARL JONES  
PIN: 1702-95-7284  
ZONED: R-10  
0.41 AC  
SINGLE FAMILY RESIDENTIAL

SECONDARY TREE CONSERVATION AREA  
11,124.03 S.F. - 0.250 AC

GREENWAY TREE CONSERVATION  
AREA #4  
583,073.7 - 0.013 ACRES

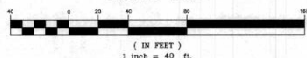
HATCH DENOTES  
25' RIGHT-OF-WAY WITH  
20' SLOPE EASEMENTS  
EACH SIDE TO BE DEDICATED  
FOR FUTURE CONSTRUCTION  
DEVELOPER TO PAY FEE-IN-LIEU  
FOR 114 LF OF ROAD CONSTRUCTION

FELLERS POND, LLC  
1712-05-8582  
ZONED: R-10  
10.1 AC  
VACANT

R-10 ZONING  
MAX. BLOCK PERIMETER 2500 LF  
ALL NEW BLOCKS MEET REQUIREMENTS

AVERAGE BLOCK PERIMETER  
INTERIOR BLOCK: 1163 SF  
HALF BLOCK SOUTH 460 LF (TIMES 2) = 920 LF  
HALF BLOCK NORTH 485 (TIMES 2) = 970 LF  
HALF BLOCK EAST 664 LF (TIMES 2) = 1,328 LF  
TOTAL LF 4381 LF/4 NEW BLOCKS CREATED = 1095.25 LF  
AVERAGE NEW BLOCK PERIMETER

GRAPHIC SCALE



SHEET 13

BLOCK PERIMETER EXHIBIT  
BILTMORE HEIGHTS TOWNHOMES  
2613 GARNER ROAD - RALEIGH, NC



THOMPSON & ASSOCIATES, PA  
1749 DUESING CIRCLE  
SUITE D, UNIT 2  
CARY, NC 27511  
919-485-1561  
FAX (919) 485-1585  
LISC# C-0343

CITY OF RALEIGH	OWNER: J. DEVELOPMENT
WAKE COUNTY	NORTH CAROLINA
DATE: 7/9/20	DRAWN: MTH
SCALE: 1" = 40'	SURVEYED
REVISIONS: 1/21/24	PIN: 1702-95-8547

OWNER: J. DEVELOPMENT CUSTOM HOMES  
3132 SUNLANE FARMS RD  
APEX, NC 27539



# TCA LINE TABLE

LINE	BEARING	DISTANCE
L40	N 85°40'38" W	143.84
L41	N 11°39'26" W	33.29
L42	S 65°40'38" E	195.00
L43	N 80°08'20" E	149.64
L44	S 80°38'28" E	27.15
L45	S 64°09'28" E	28.68
L46	S 85°40'38" E	150.00
L47	S 94°19'22" W	32.00
L48	S 79°11'31" W	350.75
L49	N 10°48'23" W	322.00
L50	N 79°11'31" E	343.00
L51	S 50°09'07" E	12.09
L52	S 18°34'30" E	22.86
L53	N 85°40'38" W	40.60
L54	N 03°09'27" E	25.71
L55	N 68°58'25" E	26.27
L56	S 29°51'57" E	40.83
L57	S 68°58'25" W	21.99
L58	N 03°09'27" E	82.79
L59	N 68°19'49" E	14.85
L60	N 42°58'08" E	19.35
L61	N 20°43'27" E	14.95
L62	N 41°27'01" W	21.79
L63	N 45°26'57" E	11.97
L64	N 71°20'19" E	14.79
L65	S 32°17'39" W	14.31
L66	S 32°17'39" W	118.36
L67	N 33°08'14" W	26.66
L68	N 79°11'31" E	352.79
L69	S 33°09'44" E	119.29
L70	S 02°44'48" E	46.06
L71	S 28°59'42" W	18.34
L72	S 43°03'09" E	15.09
L73	S 21°15'47" W	55.91
L74	S 41°19'49" W	42.81
L75	S 84°49'03" W	19.46
L76	S 07°59'03" W	20.42
L77	N 85°40'38" W	3.59
L78	S 79°11'31" W	49.38
L79	N 11°01'59" W	51.30
L80	N 44°58'45" W	21.19
L81	N 18°58'24" W	7.37
L82	S 65°59'27" W	14.13
L83	N 02°51'17" E	14.00
L84	N 09°18'53" W	0.07
L85	N 12°44'58" W	22.51
L86	N 79°11'31" E	55.77
L87	S 50°09'07" E	120.46
L88	S 13°55'13" E	37.11
L89	S 18°34'30" E	134.94

Tree Conservation Plan Data Sheet  
UDO Article 9.1 Tree Conservation  
(Include applicable information on the plan sheet)

Project Name: Baltimore Heights

Green Site Acres 0.54  
Highways to be dedicated with this project 0.12  
Net Site Acres 7.92

Number of Trees Percent of Total

## UDO 9.1.4.A. Primary Tree Conservation Areas

1. Primary Tree Conservation Area - SHOD 1	0%	0%
2. Primary Tree Conservation Area - SHOD 2	0%	0%
3. Primary Tree Conservation Area - Parkway Frontage	0%	0%
4. Primary Tree Conservation Area - Old	0%	0%
5. Primary Tree Conservation Area - MPOD	0%	0%
6. Primary Tree Conservation Area - Champion Tree 30" DBH species	0%	0%
7. Primary Tree Conservation Area - Neuse Buffer Zone 2	0%	0%
8. Primary Tree Conservation Area - 15% Slope	0%	0%
9. Primary Tree Conservation Area - Throughfare	0%	0%

Subtotal of Primary Tree Conservation Areas: 0% 0%

## UDO 9.1.4.B.2 Tree Conservation Area - Greenway

Tree Conservation Area - Greenway	0.19%	2.49%
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## UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas

(Include perimeter buffers and their alternate compliance areas)	0.59%	7.51%
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## UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas

(Include individual trees and their alternate compliance areas)	0%	0%
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Subtotal of Secondary Tree Conservation Areas: 0.59% 7.51%

TOTAL ALL TREE CONSERVATION AREAS PROVIDED: 0.78% 10.00%

## UDO 9.1.5. Watershed Protection Overlay Districts

WPOD - Wooded Area (general)	0%	0%
WPOD - Wooded Area (general)	0%	0%
WPOD - Wooded Area (general)	0%	0%
WPOD - Wooded Area (general)	0%	0%
WPOD - Wooded Area (general)	0%	0%
WPOD - Wooded Area (general)	0%	0%

1% CRZ OUTSIDE OF TCA  
1% CRZ OUTSIDE OF TCA

25% CRZ OUTSIDE OF TCA  
SECONDARY TREE CONSERVATION AREA  
14,804.46 S.F. - 0.340 AC  
23% CRZ OUTSIDE OF TCA

24% CRZ OUTSIDE OF TCA  
24% CRZ OUTSIDE OF TCA  
29% CRZ OUTSIDE OF TCA

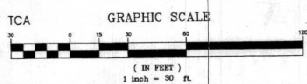
TREE CONSERVATION AREA  
-GREENWAY #1  
583.07 SF 0.013 ACRES

TREE CONSERVATION AREA  
-GREENWAY #2  
4,622.45 SF 0.111 ACRES

NOTE: A 25' WIDE SWATH HAS BEEN  
REMOVED FROM TREE CONSERVATION  
AREA-GREENWAY CALCULATIONS FOR  
FUTURE GREENWAY CONSTRUCTION

TREE CONSERVATION AREA  
-GREENWAY #3  
3,196.71 SF 0.073 ACRES

TREE CONSERVATION  
AREA-GREENWAY  
SECONDARY TREE  
CONSERVATION AREA



TREE CONSERVATION PLAN  
BALTIMORE HEIGHTS  
CUMBER ROAD  
RALEIGH, NC  
SUB-0034-2020

DRAWN BY:  
PAP  
PROJECT #  
16136

SHEET TCA 1