Administrative Approval Action

Case File / Name: SUB-0034-2023
DSLC - Yardly Buffaloe Village

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The project is located on the southeast corner of Buffaloe Road and Forestville Road and is approximately 37.1 acres in size (22.74 ac zoned CX-3-CU and 14.36 ac zoned RX-3-CU). Single-family dwellings, zoned R-6, border the southern boundary line. This site is outside the city limits.

REQUEST: The project is requesting approval of a subdivision to create seven Open Lots which will eventually be developed with a total of 222 dwelling units as well as a public and private street system.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:
ASR-0059-2023: DSLC - Administrative Site Review [ASR]/Administrative Site Review
ASR-0060-2023: DSLC - Administrative Site Review [ASR]/Administrative Site Review
ASR-0061-2023: DSLC - Administrative Site Review [ASR]/Administrative Site Review
ASR-0067-2023: DSLC - Administrative Site Review [ASR]/Administrative Site Review

FINDINGS: **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 6, 2024 by TM BTR of Carolinas LLC.**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. A segment of Primary Tree Conservation Area - Neuse Buffer Zone 2 (0.24 acres) narrows to a width less than 20' which is impermissible per UDO 9.1.4.D.1. Prior to SPR, remove the portion of Primary Tree Conservation Area - Neuse Buffer Zone 2 (0.24 acres) that is less than 20' wide, adjust the acreage provided in the standardized label, and update the Tree Conservation Plan Data Shee

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

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3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

4. Review and adjust SPR plans according to recommendations.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑	Stormwater Maintenance Covenant Required
☑	Sidewalk Deed of Easement Required

☑	Right of Way Deed of Easement Required

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

3. A recombination map shall be recorded prior to or in conjunction with the recording of lots.

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Engineering

4. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

7. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

8. A Water and/or Sewer Assessment fee shall be paid to the Assessment Specialist in the City of Raleigh Engineering Services Department.

9. SPR (Construction Drawings) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

10. Wake County approval for any required Well or Septic Permits shall be shown on the map for recordation. Or note on SPR "To be abandoned according to Wake County Standards"

Stormwater

11. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

12. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

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13. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

14. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

15. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

16. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

17. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

18. A public infrastructure surety for 65 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion. A public infrastructure surety for 89 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 3.05 acres of tree conservation area.

☑ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-27-22 and TCZ-28-22.

2. A demolition permit shall be obtained.

Engineering

3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

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4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 16 street trees along Buffaloe Rd, 49 street trees along Forestville Rd, and 89 street trees along Yardly Village Ln.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: March 20, 2027
Record at least ½ of the land area approved.

5-Year Sunset Date: March 20, 2029
Record entire subdivision.

I hereby certify this administrative decision.

Signed: _____ Date: 03/20/2024
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

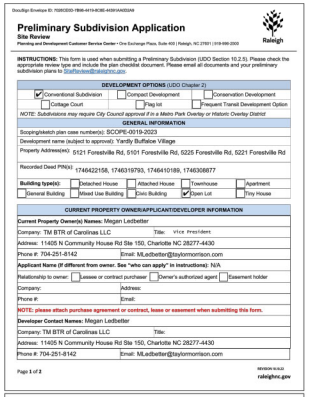
PRELIMINARY SUBDIVISION PLANS FOR

YARDLY BUFFALOE VILLAGE

BUFFALOE ROAD

RALEIGH, WAKE COUNTY, NORTH CAROLINA

SUB-0034-2023



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Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2600

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReviews@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)

☑ Conventional Subdivision ☐ Compact Development ☐ Conservation Development
☐ Cottage Court ☐ Flag lot ☐ Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/sketch plan case number(s): SCOPE-0019-2023

Development name (subject to approval): Yardly Buffaloe Village

Property Address(es): 5121 Forestville Rd, 5101 Forestville Rd, 5225 Forestville Rd, 5221 Forestville Rd

Recorded Deed PIN(s): 1746422158, 1746319793, 1746410189, 1746308877

Building type(s): ☐ Detached House ☐ Attached House ☐ Townhouse ☐ Apartment ☐ General Building ☐ Mixed Use Building ☐ Civic Building ☑ Open Lot ☐ Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names: Megan Ledbetter

Company: TM BTR of Carolinas LLC Title: Vice President

Address: 11405 N Community House Rd Ste 150, Charlotte NC 28277-4430

Phone #: 704-251-8142 Email: MLedbetter@taylormorrison.com

Applicant Name (If different from owner. See "who can apply" in instructions): N/A

Relationship to owner: ☐ Lessee or contract purchaser ☐ Owner's authorized agent ☐ Easement holder

Company: Address:

Phone #: Email:

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names: Megan Ledbetter

Company: TM BTR of Carolinas LLC Title:

Address: 11405 N Community House Rd Ste 150, Charlotte NC 28277-4430

Phone #: 704-251-8142 Email: MLedbetter@taylormorrison.com

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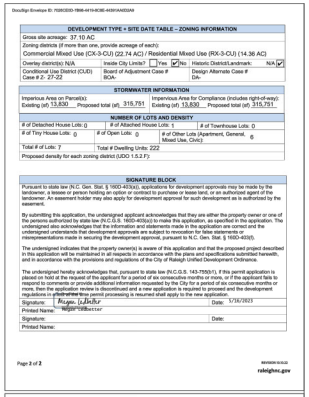

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DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage: 37.10 AC

Zoning districts (if more than one, provide acreage of each):

Commercial Mixed Use (CX-3-CU) (22.74 AC) / Residential Mixed Use (RX-3-CU) (14.36 AC)

Overlay district(s): N/A | Inside City Limits? ☐ Yes ☑ No | Historic District/Landmark: N/A ☑

Conditional Use District (CUD) Case # Z- 27-22 | Board of Adjustment Case # BOA- | Design Alternate Case # DA-

STORMWATER INFORMATION

Impervious Area on Parcel(s): Existing (sf): 13,830 Proposed total (sf): 315,751

Impervious Area for Compliance (includes right-of-way): Existing (sf): 13,830 Proposed total (sf): 315,751

NUMBER OF LOTS AND DENSITY

# of Detached House Lots: 0	# of Attached House Lots: 1	# of Townhouse Lots: 0
# of Tiny House Lots: 0	# of Open Lots: 0	# of Other Lots (Apartment, General, Mixed Use, Civic): 6
Total # of Lots: 7	Total # Dwelling Units: 222	

Proposed density for each zoning district (UDO 1.5.2.F):

SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in this application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(c)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Date: 1/16/2023

Printed Name: Megan Ledbetter

Signature: Date:

Printed Name:

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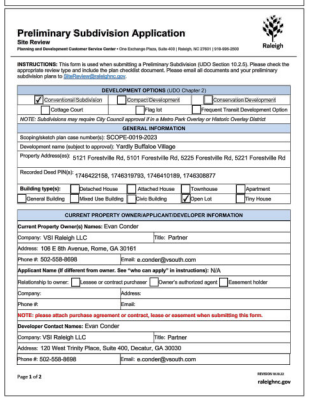

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Current Property Owner(s) Names: Evan Conder

Company: VSI Raleigh LLC Title: Partner

Address: 106 E 8th Avenue, Rome, GA 30161

Phone #: 502-558-8698 Email: e.conder@vsouth.com

Applicant Name (If different from owner. See "who can apply" in instructions): N/A

Relationship to owner: ☐ Lessee or contract purchaser ☐ Owner's authorized agent ☐ Easement holder

Company: Address:

Phone #: Email:

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Developer Contact Names: Evan Conder

Company: VSI Raleigh LLC Title: Partner

Address: 120 West Trinity Place, Suite 400, Decatur, GA 30030

Phone #: 502-558-8698 Email: e.conder@vsouth.com

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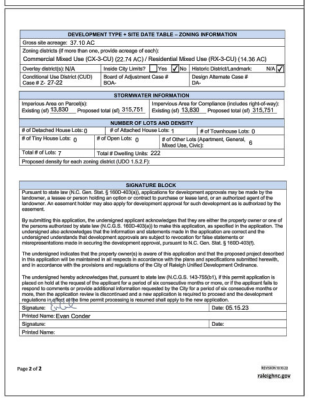

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Signature: Date: 05.15.23

Printed Name: Evan Conder

Signature: Date:

Printed Name:

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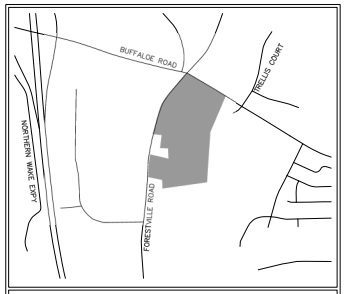


SITE LOCATION MAP

1" = 1000'

KIMLEY-HORN SHALL HAVE NO LIABILITY WHATSOEVER FOR ANY COSTS ARISING OUT OF THE CLIENT'S DECISION TO OBTAIN BIDS OR PROCEED WITH CONSTRUCTION BEFORE KIMLEY-HORN HAS ISSUED FINAL, FULLY-APPROVED PLANS AND SPECIFICATIONS. THE CLIENT ACKNOWLEDGES THAT ALL PRELIMINARY PLANS ARE SUBJECT TO SUBSTANTIAL REVISION UNTIL PLANS ARE FULLY APPROVED AND ALL PERMITS OBTAINED.

Sheet List Table

Sheet Number	Sheet Title
C001	COVER SHEET
C002	ZONING CONDITIONS
C100	EXISTING CONDITIONS
C101	OVERALL DEMOLITION PLAN
C200	OVERALL PRELIMINARY SUBDIVISION PLAN
C201	PRELIMINARY SUBDIVISION PLAN
C202	PRELIMINARY SUBDIVISION PLAN
C203	PRELIMINARY SUBDIVISION PLAN
C204	PRELIMINARY SUBDIVISION PLAN
C205	OFFSITE ROADWAY IMRPOVEMENTS
C206	PRELIMINARY SUBDIVISION PLAT
C300	OVERALL PRELIMINARY GRADING AND DRAINAGE PLAN
C301	PRELIMINARY GRADING AND DRAINAGE PLAN
C302	PRELIMINARY GRADING AND DRAINAGE PLAN
C303	PRELIMINARY GRADING AND DRAINAGE PLAN
C304	PRELIMINARY GRADING AND DRAINAGE PLAN
C400	OVERALL PRELIMINARY UTILITY PLAN
C401	PRELIMINARY UTILITY PLAN
C402	PRELIMINARY UTILITY PLAN
C403	PRELIMINARY UTILITY PLAN
C404	PRELIMINARY UTILITY PLAN
C500	SCM DETAILS - WET POND 1
C501	SCM DETAILS - WET POND 2
L000	OVERALL TREE CONSERVATION PLAN
L001	TREE CONSERVATION PLAN
L002	TREE CONSERVATION PLAN
L003	TREE CONSERVATION PLAN
L004	TREE CONSERVATION PLAN
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLANS
L102	LANDSCAPE PLANS
L103	LANDSCAPE PLANS
L104	LANDSCAPE PLANS
L105	LANDSCAPE DETAILS

SITE DATA TABLE

PROPERTY INFORMATION

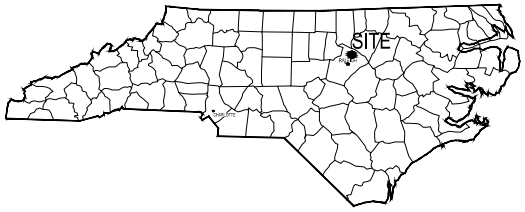
EXISTING ZONING:	CX-3-CU
	RX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	
	PRIMARY STREET = 10 FEET
	SIDE STREET = 10 FEET
	REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	
	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	
	LOT 1: 94 SPACES
	LOT 2: 16 SPACES
	LOT 3: 8 SPACES

PROJECT DATA

PIN #:	1746-42-2158
	1746-31-9793
	1746-41-4189
	1746-30-8877
PROPOSED # OF LOTS:	7
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.12 AC (309,954 SF)
NET SITE AREA:	29.98 AC (1,306,078 SF)
PROPOSED LOT AREAS:	
	LOT 1 (VACANT): 22.14 AC (964,237 SF)
	LOT 2 (VACANT): 1.37 AC (59,778 SF)
	LOT 3 (VACANT): 0.99 AC (43,040 SF)
	LOT 4 (VACANT): 1.64 AC (71,583 SF)
	LOT 5 (VACANT): 1.14 AC (49,953 SF)
	LOT 6 (VACANT): 0.90 AC (39,252 SF)
	LOT 7 (VACANT): 1.80 AC (78,232 SF)

Digitally signed by jeff.caines@raleighnc.gov
DN: E=jeff.caines@raleighnc.gov, CN=jeff.caines@raleighnc.gov
Reason: I am approving this document
Date: 2024.03.20 14:24:21-04'00'

jeff.caines@raleighnc.gov



PROJECT OWNER AND CONSULTANT INFORMATION

DEVELOPER:	DEVELOPER:	ENGINEER:	SURVEYOR:	PROJECT OWNER:
TAYLOR MORRISON 11405 N COMMUNITY HOUSE ROAD CHARLOTTE, NC 28277 PHONE (704) 251-8142 CONTACT: MEGAN LEDBETTER	VSI RALEIGH, LLC 106 E 8TH AVE ROME, GEORGIA 30161 PHONE (502) 558-8698 CONTACT: EVAN CONDER	KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET SUITE 212 HOLLY SPRINGS, NORTH CAROLINA 27540 (984) 275-3559 TEL CONTACT: KATIE WITT, P.E.	ESP ASSOCIATES, INC. 2200 GATEWAY CENTRE BLVD SUITE 216 MORRISVILLE, NC 27607 PHONE (919) 678-1070 FAX (919) 677-1252 WATTS B. FEARRINGTON, JR.	TAYLOR MORRISON 11405 N COMMUNITY HOUSE ROAD CHARLOTTE, NC 28277 VSI RALEIGH, LLC 106 E 8TH AVE ROME, GEORGIA 30161

NOT FOR CONSTRUCTION

GEOMETRIC CONTROL

HORIZONAL DATUM: NAD 83 (2011)

VERTICAL DATUM: NAVD 88

DRAWING UNITS: U.S. SURVEY FEET

811 Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	10/20/2023	SML
4	CITY COMMENTS	07/26/2023	JMC

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PRELIMINARY NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

COVER SHEET

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C001

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Plotted By Lanson, Sydney: Sheet Set:Yardly Buffaloe Village, Layout:C001 - COVER SHEET, February 06, 2024 05:14:10pm K:\CIVIL_PN\017270 Taylor Morrison\019 Raleigh-Buffaloe\02 - CIVIL\Plan\Sheets\2.0 - C001 - COVER SHEET.dwg

ZONING CONDITIONS:

TCZ-28-22 - 0 BUFFALOE ROAD, LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926. APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) [MODIFIED CONDITIONS].

AMENDED CONDITIONS DATED: APRIL 13, 2022

A. CONDITION: THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINS) 1746-42-7078 (DEED BOOK I 6 I 05, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-6877 (DEED BOOK 9050, PAGE 759, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.

MEANS OF COMPLIANCE: A 50 FEET PRINCIPAL BUILDING SETBACK HAS BEEN PROVIDED ADJACENT TO THESE PROPERTIES.

B. CONDITION: PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:
i. DORMITORY, FRATERNITY, SORORITY;
ii. ADULT ESTABLISHMENTS;
iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
iv. FUNERAL HOME;
v. ANIMAL CARE (INDOOR);
vi. VETERINARY CLINIC/HOSPITAL;
vii. DETENTION CENTER, JAIL, PRISON;
viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
ix. EMERGENCY SHELTER - TYPE B;
x. BOWLING ALLEY;
xi. MINI-WAREHOUSE STORAGE FACILITY.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

C. CONDITION: THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.11.C.3. UDO SECTIONS 6.4.11.C.3.A.I - IX SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

D. CONDITION: THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) U E SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

E. CONDITION: NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS. AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORDING ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

F. CONDITION: OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

G. CONDITION: RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

H. CONDITION: NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7. AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

I. CONDITION: POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE. NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.

MEANS OF COMPLIANCE: PROPOSED LIGHTING IS LESS THAN 35 FEET IN HEIGHT. NO LIGHTING PROPOSED IN BUFFER AREAS OR PROTECTIVE YARDS.

J. CONDITION: PRIOR TO LOT RECORDATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA. THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.

MEANS OF COMPLIANCE: N/A - NO LOTS ARE BEING RECORDED OR BUILDINGS PROPOSED WITH THIS SUBDIVISION.

K. CONDITION: UNTIL THE THREE LANES ON THE BUFFALOE ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

L. CONDITION: DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.

1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALOE ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALOE ROAD.

MEANS OF COMPLIANCE: PARKING IS NOT PROPOSED ALONG THE FRONTAGE OF BUFFALOE ROAD WITH THIS SUBDIVISION PLAN.

2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE LEST (25') OF THE RIGHT-OF- WAY OF EITHER BUFFALOE ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30") WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.

MEANS OF COMPLIANCE: N/A - NO PARKING PROPOSED WITH THIS SUBDIVISION WITHIN 25 FEET OF RIGHT-OF-WAY OF BUFFALOE ROAD OR FORESTVILLE ROAD.

3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED ALONG PUBLIC AND PRIVATE INTERNAL STREET NETWORK.

4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.

MEANS OF COMPLIANCE: SIDEWALKS ALONG PUBLIC AND PRIVATE ROADWAY NETWORK ARE A MINIMUM OF 6 FEET WIDE.

M. CONDITION: AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

Z-27-22 - 5221 AND 5225 FORESTVILLE ROAD, ON ITS EAST SIDE, LOCATED ONE THIRD OF A MILE SOUTH OF ITS INTERSECTION WITH BUFFALOE ROAD, BEING WAKE COUNTY PINS 1746308877 & 1746410189. APPROXIMATELY 14.6 ACRES REZONED TO RESIDENTIAL MIXED USE-3 STORIES- CONDITIONAL USE (RX-3-CU).

CONDITIONS DATED: OCTOBER 10, 2022

1. RESIDENTIAL DENSITY SHALL BE LIMITED TO 204 UNITS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

2. AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

3. THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4. THAT ARE PERMITTED, LIMITED OR SPECIAL USES IN THE RX- DISTRICT SHALL BE PROHIBITED:
(I) CEMETERY;
(II) SCHOOL, PUBLIC OR PRIVATE (K-12);
(III) DAY CARE CENTER; (IV) HEALTH CLUB;
(V) MEDICAL; OFFICE;
(VI) OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (250 SEATS);
(VIII) BED AND BREAKFAST;
(IX) HOSPITALITY HOUSE;
(X) PARKING FACILITY;
(XI) COPY CENTER;
(XII) OPTOMETRIST;
(XIII) EATING ESTABLISHMENT;
(XIV) RETAIL SALES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

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1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	6/05/2023	SML
4	CITY COMMENTS	07/26/2023	JMC

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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

ZONING CONDITIONS

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C002

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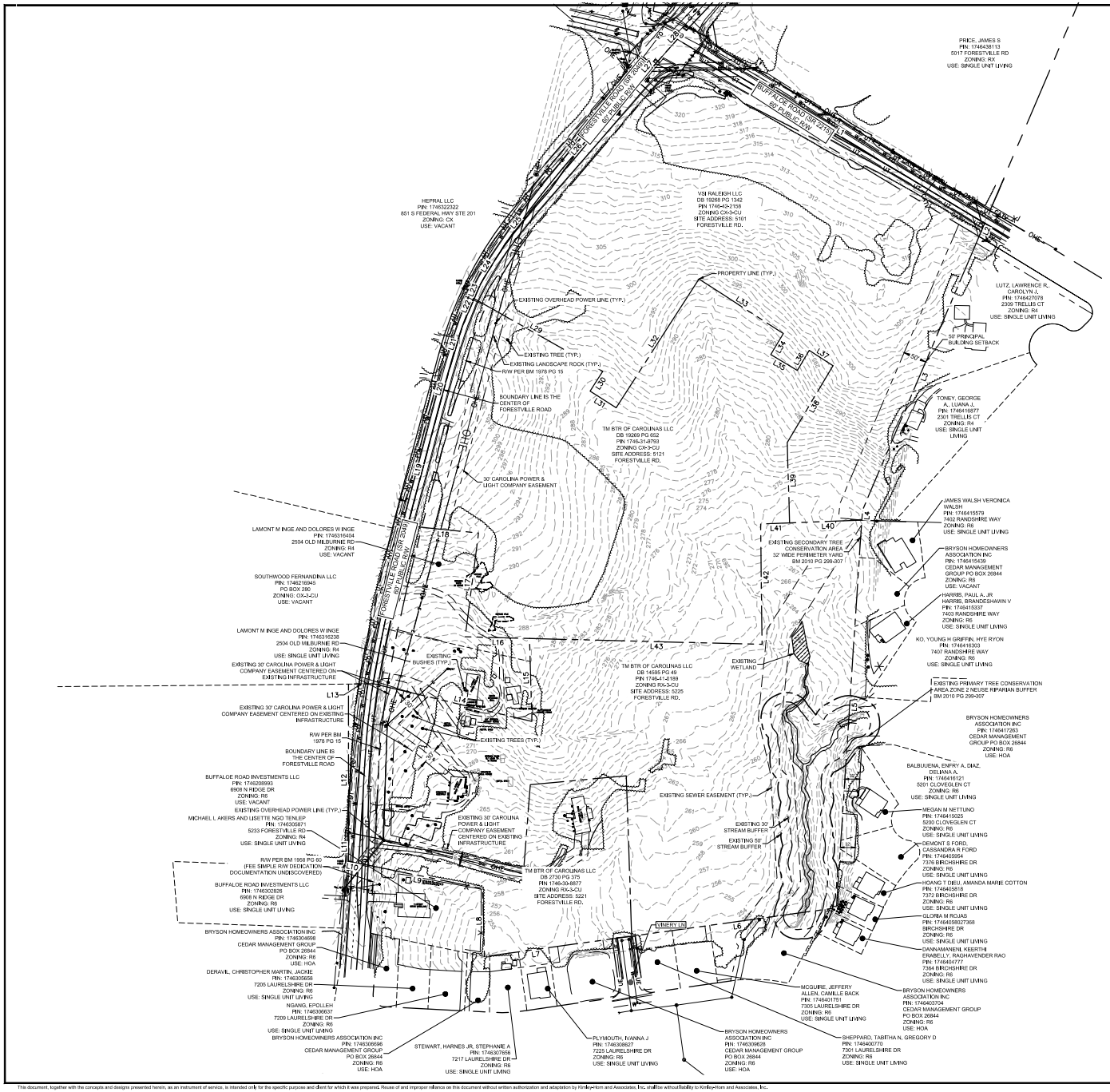
Plotted By Lanson, Sydney - Sheet Set:Yardly Buffaloe Village Layout:C002 ZONING CONDITIONS February 08, 2024 05:14:12pm K:\CHL_PR\017270 Taylor Morrison\019 Raleigh-Buffaloe\02 - DWG\Plansheets\C - C001 - COVER SHEET.dwg



LEGEND

EXISTING IRON PIN	EIP
EXISTING REBAR	EIR
NO POINT SET	NPS
IRON REBAR SET	IRS
CABLE PEDESTAL	
TELEPHONE MANHOLE	
TELEPHONE PEDESTAL	
FLOOD LIGHT	
GUY WIRE	
LIGHT POLE	
ELECTRIC MANHOLE	
ELECTRIC METER	
ELECTRIC TRANSFORMER	
UTILITY POLE	
BOLLARD	
GAS METER	
GAS VALVE	GV
SEWER CLEAN OUT	
SEWER MANHOLE	
SIGN	
CATCH BASIN	CB
CURB INLET	CI
DROP \ YARD INLET	DI / YI
FLARED END SECTION	
STORM MANHOLE	
HANDICAP	
FIRE HYDRANT	
WATER MANHOLE	
WATER METER	
WATER VALVE	WV
WELL	
MANHOLE	MH
PRESSURE INDICATOR VALVE	PIV
TREE	
RIGHT-OF-WAY	R/W
CONCRETE MONUMENT	CM
CHORD	CH
SIGHT EASEMENT	SE
DEED BOOK	DB
PLAT BOOK	PB
CURB AND GUTTER	C&G
REINFORCED CONC PIPE	RCP
CORRUGATED METAL PIPE	CMP
CORRUGATED PLASTIC PIPE	CPP
BOUNDARY LINE	
RIGHT-OF-WAY LINE	
UNSURVEYED PROPERTY LINE	
SANITARY SEWER LINE	SS
UNDERGROUND ELECTRIC LINE	UE UN
ELECTRIC LINE	E UN
TREE LINE	
WATER LINE	W W
FENCE LINE	X
EDGE OF GRAVEL	EG
EDGE OF PAVEMENT	EP
TELEPHONE LINE	T UN
UNDERGROUND TELEPHONE LINE	UT UN
OVERHEAD UTILITY	OHU
EASEMENT	
UNDERGROUND FIBER OPTICS	FO UN

LINE TABLE

LINE	LENGTH	BEARING
L1	764.47	S59°07'26.29"E
L2	30.74	S23°04'05.37"W
L3	633.07	S23°04'05.37"W
L4	22.92	S5°35'15.40"W
L5	829.16	S3°44'26.30"W
L6	441.17	S82°07'45.05"W
L7	317.26	S82°07'45.05"W
L8	145.02	N1°30'57.28"W
L9	267.29	N78°28'48.79"W
L10	24.61	N78°28'48.79"W
L11	61.24	N0°06'44.21"W
L12	316.88	N0°03'25.12"W
L13	53.29	N89°11'38.92"E
L14	347.80	S76°36'46.72"E
L15	177.16	N1°40'30.84"W
L16	137.39	N88°33'19.34"W
L17	223.42	N7°20'34.02"E
L18	151.91	N84°13'36.96"W
L19	240.47	N14°49'18.12"E
L20	100.00	N15°07'33.71"E
L21	100.00	N16°52'33.71"E
L22	100.00	N22°56'33.71"E

LINE TABLE

LINE	LENGTH	BEARING
L23	100.00	N22°56'33.71"E
L24	100.00	N31°35'33.71"E
L25	100.00	N37°54'33.71"E
L26	314.09	N40°02'33.71"E
L27	148.75	N41°36'33.71"E
L28	7.50	N42°21'03.71"E
L29	315.05	S60°29'33.00"E
L30	50.00	S32°43'57.00"W
L31	66.00	S57°16'03.00"E
L32	326.73	N32°43'57.00"E
L33	214.52	S57°09'15.00"E
L34	52.29	S30°51'36.00"W
L35	66.00	S59°08'24.00"E
L36	50.00	N30°51'36.00"E
L37	60.37	S57°09'15.00"E
L38	190.71	S30°51'36.00"W
L39	171.81	S1°40'31.00"E
L40	216.19	S87°47'15.59"W
L41	216.19	S87°47'15.59"W
L42	256.75	S0°42'03.96"E
L43	496.49	N88°33'19.34"W

GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

811
Know what's below.
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PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTR
DRAWN BY
CHECKED BY KLW

EXISTING CONDITIONS

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C100

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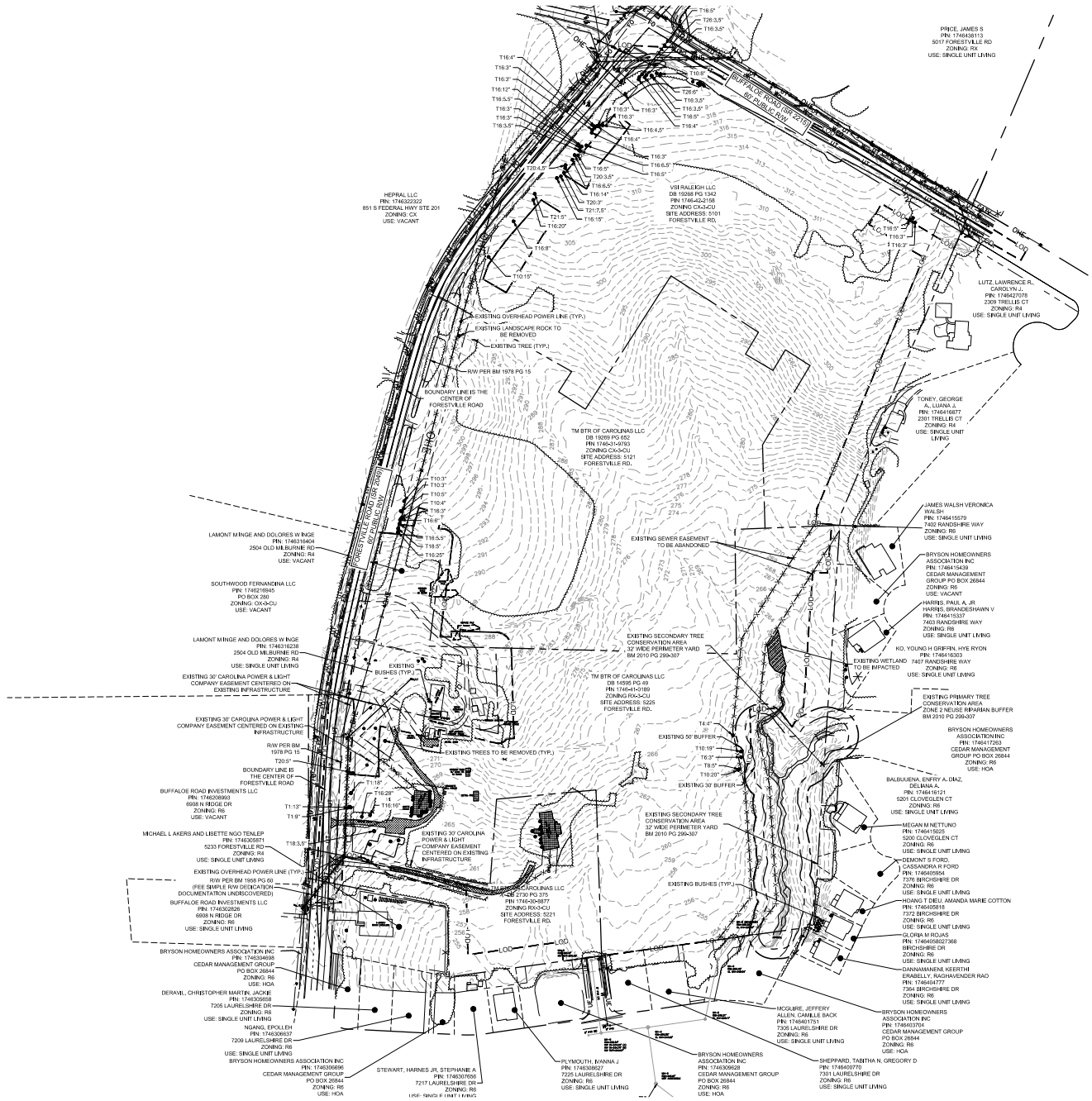

DEMOLITION LEGEND

— — — —	EXISTING PROPERTY LINE
—X—X—X—X—X—X—	EXISTING LINEAR ITEM TO BE REMOVED
—— ?? ——	TREE PROTECTION FENCE
LOD	LIMITS OF DISTURBANCE (LOD)
⊗	EXISTING ITEM TO BE REMOVED

NOTES:

1. ALL SEPTIC TANKS/WELLS TO BE ABANDONED ACCORDING TO WAKE COUNTY STANDARDS.

TREE LEGEND

LABEL	COMMON NAME
T1	RED MAPLE
T2	SILVER MAPLE
T3	AMERICAN HORNBEAM
T4	PIGNUT HICKORY
T5	PECAN
T6	MOCKERNUT HICKORY
T7	FLOWERING DOGWOOD
T8	AMERICAN HOLLY
T9	EASTERN RED CEDAR
T10	SWEETGUM
T11	TULIP POPLAR
T12	RED MULBERRY
T13	BLACK GUM
T14	SOURWOOD
T15	SHORTLEAF PINE
T16	LOBLOLLY PINE
T17	AMERICAN SYCAMORE
T18	BLACK CHERRY
T19	WHITE OAK
T20	SOUTHERN RED OAK
T21	BLACKJACK OAK
T22	WATER OAK
T23	WILLOW OAK
T24	NORTHERN RED OAK
T25	POST OAK
T26	WINGED ELM
T27	AMERICAN ELM

GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

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PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

OVERALL DEMOLITION PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C101

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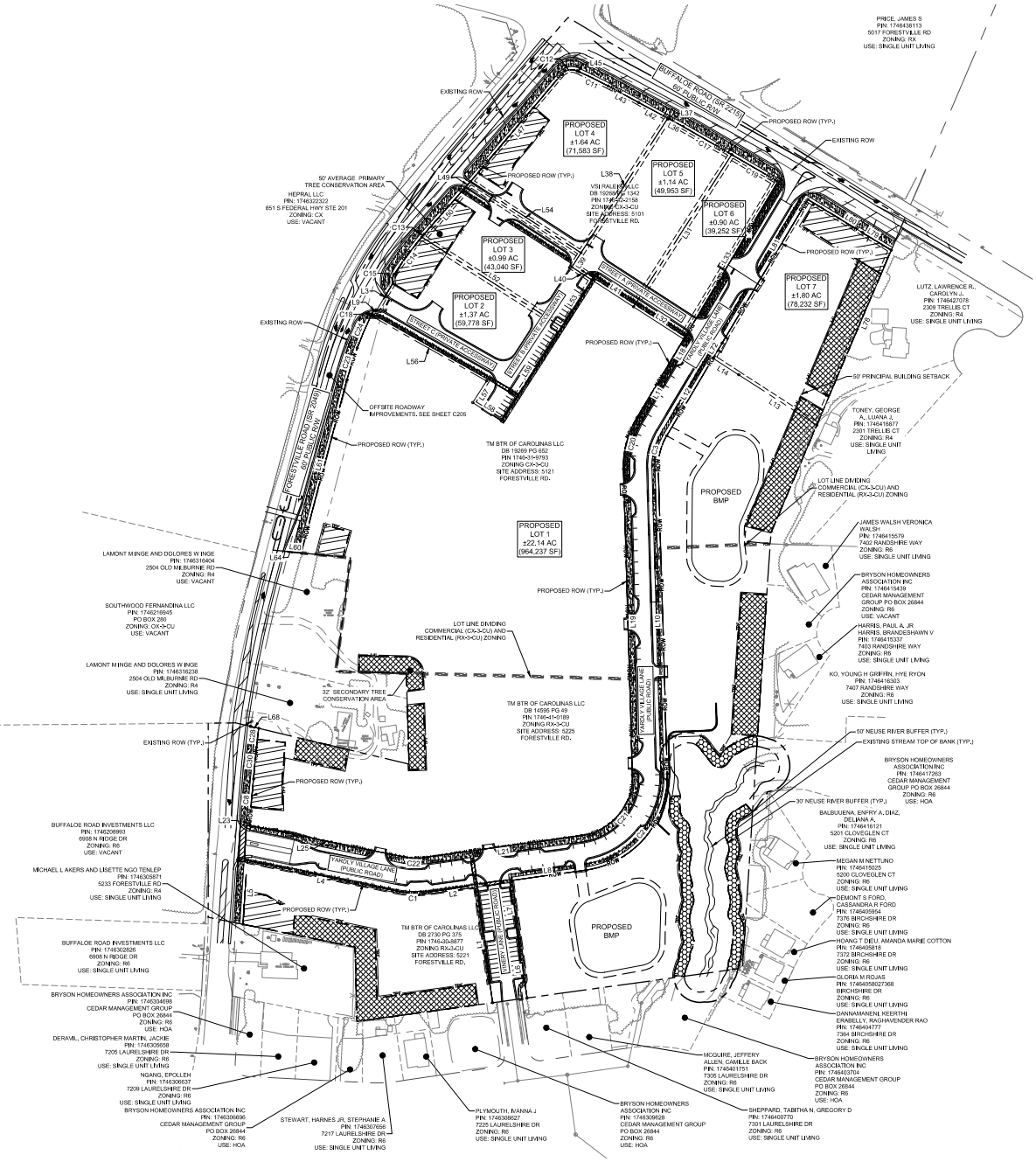
Plotted By:Lanson, Sydney Sheet Set:Yardly Buffaloe Village Layout:C101 OVERALL DEMOLITION PLAN February 08, 2024 05:14:50pm K:\CIVIL_NC\017270019 Taylor Morrison\016 Raleigh-Buffaloe\02 - CD\WD\Plan Sheets\D-C101 - DEMO.dwg



PROPOSED IMPROVEMENTS LEGEND

EXISTING PROPERTY BOUNDARY	ROW — PROPOSED RIGHT-OF-WAY
PROPOSED PROPERTY BOUNDARY	TOP OF BANK
50' NEUSE RIVER BUFFER	50' NEUSE RIVER BUFFER
BUILDING SETBACK	WETLAND
CURB AND GUTTER	PRIMARY TREE CONSERVATION AREA
TRAFFIC ARROWS	SECONDARY TREE CONSERVATION AREA
STOP BAR, "STOP" MARKING & SIGN	NEUSE RIVER BUFFER CONSERVATION AREA
SIGNS - SINGLE / DOUBLE	CONCRETE SIDEWALK
SIGNS - MONUMENT / PYLON	HEAVY DUTY CONCRETE
SITE LIGHTING	AMENITY AREA
RETAINING WALL	
PARKING COUNT	

SITE DATA TABLE

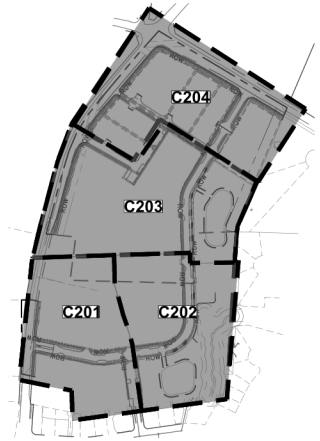
PROPERTY INFORMATION

EXISTING ZONING:	CX-3-CU RX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	
	PRIMARY STREET = 10 FEET
	SIDE STREET = 10 FEET
	REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	
	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	
	LOT 1: 94 SPACES
	LOT 2: 16 SPACES
	LOT 3: 8 SPACES

PROJECT DATA

PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-20-8877
PROPOSED # OF LOTS:	7
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.12 AC (309,954 SF)
NET SITE AREA:	29.98 AC (1,306,078 SF)
PROPOSED LOT AREAS:	
	LOT 1 (VACANT): 22.14 AC (964,237 SF)
	LOT 2 (VACANT): 1.37 AC (59,778 SF)
	LOT 3 (VACANT): 0.99 AC (43,040 SF)
	LOT 4 (VACANT): 1.64 AC (71,583 SF)
	LOT 5 (VACANT): 1.14 AC (49,953 SF)
	LOT 6 (VACANT): 0.90 AC (39,252 SF)
	LOT 7 (VACANT): 1.80 AC (78,232 SF)

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET 0 50 100 200

NORTH

811 Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
A	CITY COMMENTS	02/06/2024	SML
B	CITY COMMENTS	01/05/2024	SML
C	CITY COMMENTS	01/05/2024	SML
D	CITY COMMENTS	07/26/2023	JMC

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PRELIMINARY NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KJW

OVERALL PRELIMINARY SUBDIVISION PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C200

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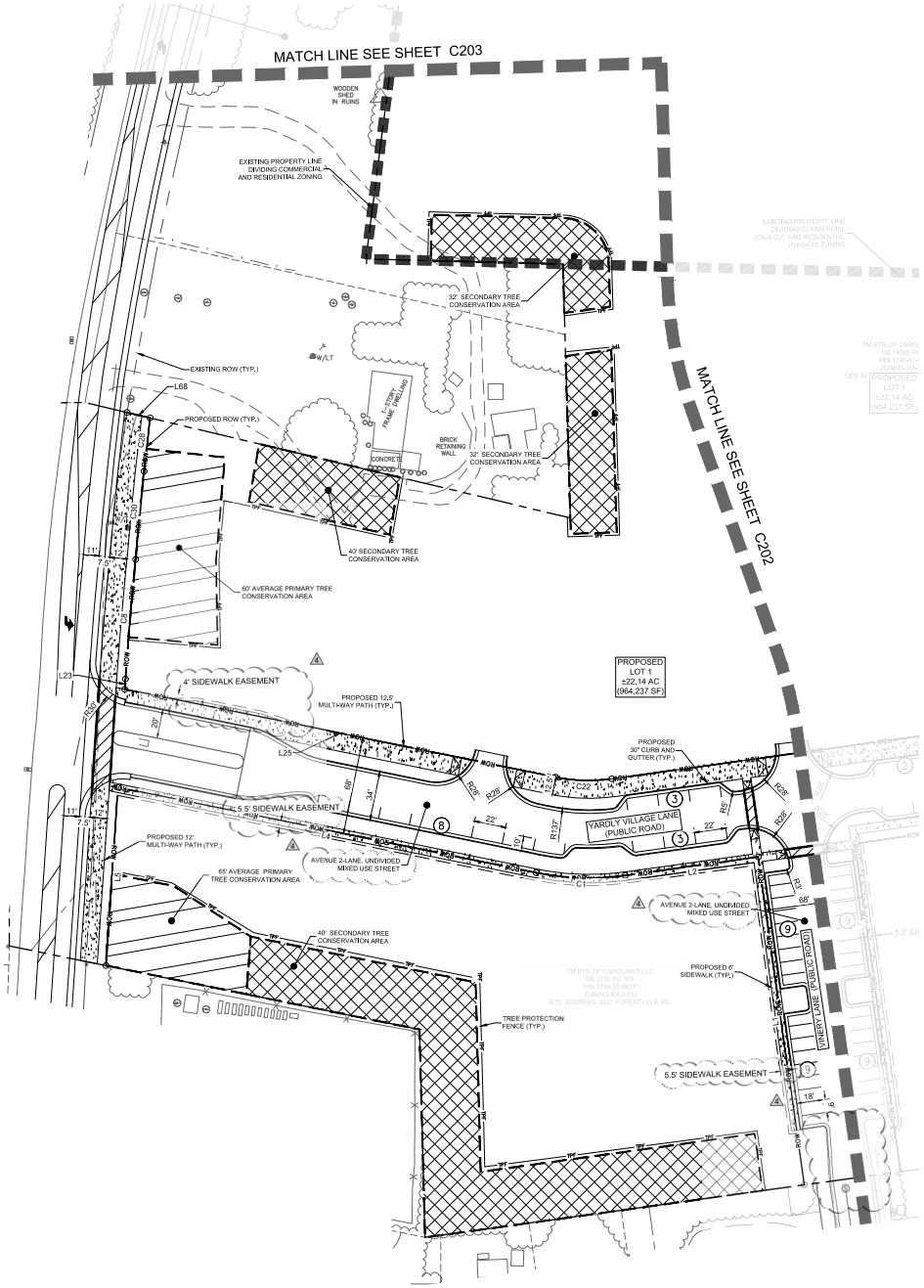
Plotted By:Lawson, Sydney Sheet Set:Yardly Buffaloe Village Layout:C200 OVERALL PRELIMINARY SUBDIVISION PLAN Xrefs:Monroe/019 Raleigh-Buffaloe/02 - DWG/Plan Sheets/2.2-C200 = PREL PRIMARY SUBDIVISION PLAN.dwg



PROPOSED IMPROVEMENTS LEGEND

EXISTING PROPERTY BOUNDARY	ROW — PROPOSED RIGHT-OF-WAY
PROPOSED PROPERTY BOUNDARY	TOP OF BANK
30' NEUSE RIVER BUFFER	50' NEUSE RIVER BUFFER
BUILDING SETBACK	WETLAND
CURB AND GUTTER	PRIMARY TREE CONSERVATION AREA
TRAFFIC ARROWS	SECONDARY TREE CONSERVATION AREA
STOP BAR, "STOP" MARKING & SIGN	NEUSE RIVER BUFFER CONSERVATION AREA
SIGNS - SINGLE / DOUBLE	CONCRETE SIDEWALK
SIGNS - MONUMENT / PYLON	HEAVY DUTY CONCRETE
SITE LIGHTING	AMENITY AREA
RETAINING WALL	
PARKING COUNT	

SITE DATA TABLE

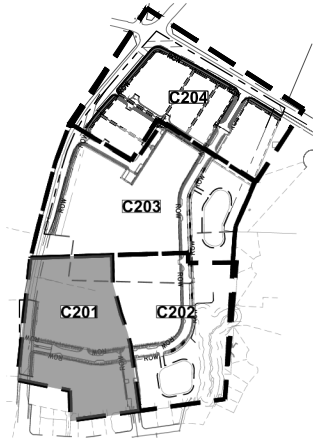
PROPERTY INFORMATION

EXISTING ZONING:	CX-3-CU RX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	LOT 1: 94 SPACES LOT 2: 16 SPACES LOT 3: 8 SPACES

PROJECT DATA

PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-20-8877
PROPOSED # OF LOTS:	7
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.12 AC (309,954 SF)
NET SITE AREA:	29.98 AC (1,306,078 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 22.14 AC (964,237 SF) LOT 2 (VACANT): 1.37 AC (59,778 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 1.64 AC (71,583 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF)

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

811
Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
A	CITY COMMENTS	02/06/2024	SML
B	CITY COMMENTS	01/05/2024	SML
C	CITY COMMENTS	07/25/2023	SML
D	CITY COMMENTS	07/26/2023	AMC

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PRELIMINARY
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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY SUBDIVISION PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C201

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Plotted By:Larson, Sydney Sheet Set:Yardly Buffaloe Village Layout:C201 PRELIMINARY SUBDIVISION PLAN February 06, 2024 03:15:19pm K:\CIVIL_NC\017270 Taylor Morrison\019 Raleigh\Buffaloe\02 - DWG\Plans\Sheets\2.0 - C200 - PRELIMINARY SUBDIVISION PLAN.dwg

PROPOSED IMPROVEMENTS LEGEND

EXISTING PROPERTY BOUNDARY	PROPOSED RIGHT-OF-WAY
PROPOSED PROPERTY BOUNDARY	TOP OF BANK
30' NEUSE RIVER BUFFER	50' NEUSE RIVER BUFFER
BUILDING SETBACK	WETLAND
CURB AND GUTTER	PRIMARY TREE CONSERVATION AREA
TRAFFIC ARROWS	SECONDARY TREE CONSERVATION AREA
STOP BAR, "STOP" MARKING & SIGN	NEUSE RIVER BUFFER CONSERVATION AREA
SIGNS - SINGLE / DOUBLE	CONCRETE SIDEWALK
SIGNS - MONUMENT / PYLON	HEAVY DUTY CONCRETE
SITE LIGHTING	AMENITY AREA
RETAINING WALL	
PARKING COUNT	

SITE DATA TABLE

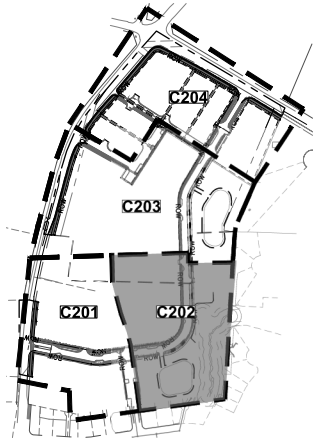
PROPERTY INFORMATION

EXISTING ZONING:	CX-3-CU RX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	LOT 1: 94 SPACES LOT 2: 16 SPACES LOT 3: 8 SPACES

PROJECT DATA

PIN #:	1746-43-2158 1746-31-9793 1746-41-0189 1746-35-8877
PROPOSED # OF LOTS:	7
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.12 AC (309,954 SF)
NET SITE AREA:	29.98 AC (1,306,078 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 22.14 AC (964,237 SF) LOT 2 (VACANT): 1.37 AC (59,778 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 1.64 AC (71,583 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF)

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

811
Know what's below.
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No.	REVISIONS	DATE	BY
A	CITY COMMENTS	02/06/2024	SML
A	CITY COMMENTS	01/05/2024	SML
A	CITY COMMENTS	10/26/2023	SML
A	CITY COMMENTS	07/26/2023	AMC

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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY SUBDIVISION PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C202

Plotted By:Larrson, Sydney Sheet Set:Yardly Buffaloe Village Layout:C202 PRELIMINARY SUBDIVISION PLAN February 06, 2024 02:15:29pm K:\CIVIL_DR\017270 Taylor Morrison\019 Raleigh\Buffaloe\02 - DWG\Plans\Sheets\2.0 - C200 - PRELIMINARY SUBDIVISION PLAN.dwg

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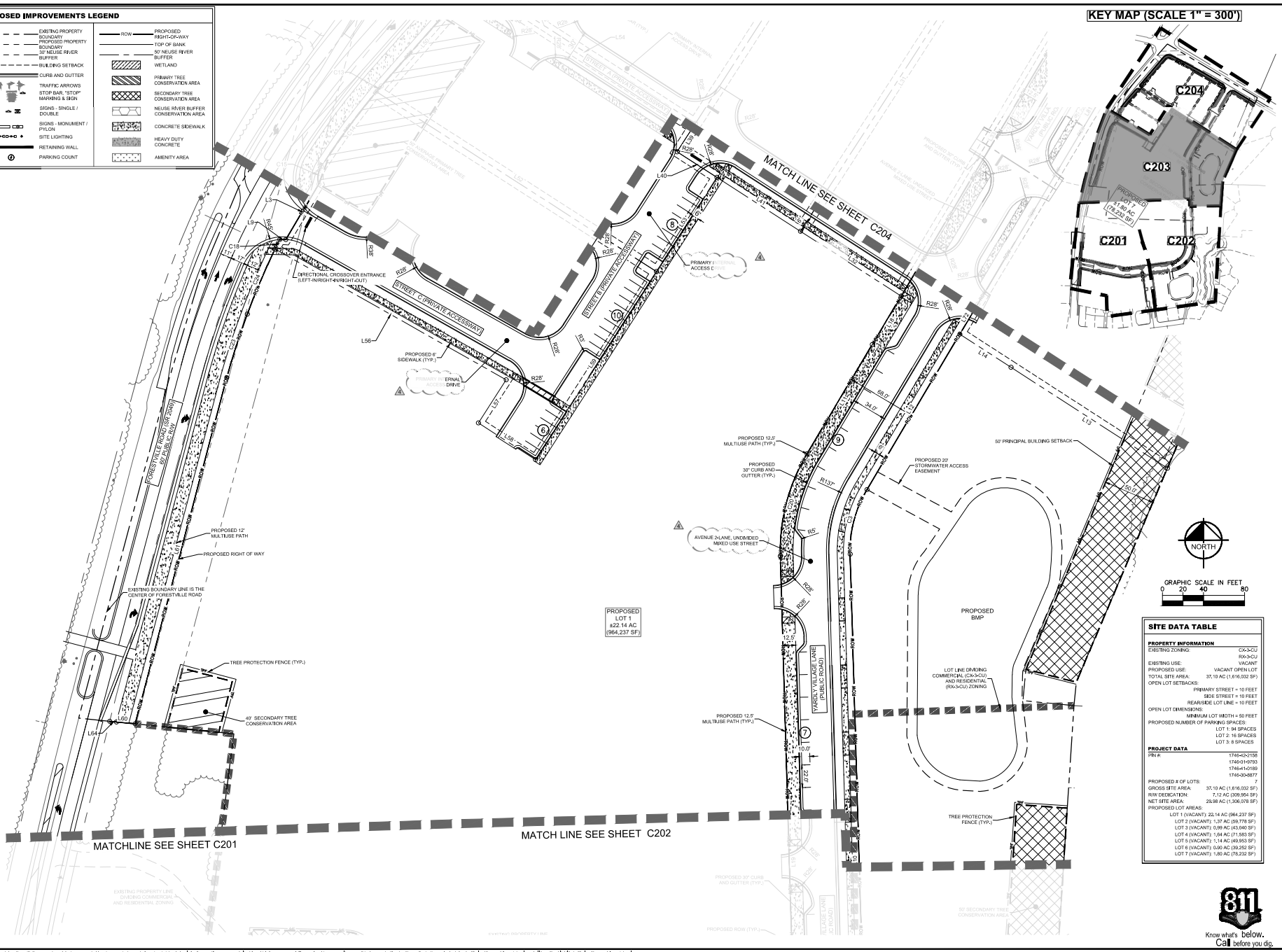
PROPOSED IMPROVEMENTS LEGEND

EXISTING PROPERTY BOUNDARY	ROW — PROPOSED RIGHT-OF-WAY
PROPOSED PROPERTY BOUNDARY	TOP OF BANK
30' NEUSE RIVER BUFFER	50' NEUSE RIVER BUFFER
BUILDING SETBACK	WETLAND
CURB AND GUTTER	PRIMARY TREE CONSERVATION AREA
TRAFFIC ARROWS	SECONDARY TREE CONSERVATION AREA
STOP BAR, "STOP" MARKING & SIGN	NEUSE RIVER BUFFER CONSERVATION AREA
SIGNS - SINGLE / DOUBLE	CONCRETE SIDEWALK
SIGNS - MONUMENT / PYLON	HEAVY DUTY CONCRETE
SITE LIGHTING	AMENITY AREA
RETAINING WALL	
PARKING COUNT	



SITE DATA TABLE

PROPERTY INFORMATION

EXISTING ZONING:	CX-3-CU RX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	LOT 1: 94 SPACES LOT 2: 16 SPACES LOT 3: 8 SPACES

PROJECT DATA

PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-30-9877
PROPOSED # OF LOTS:	7
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.12 AC (309,954 SF)
NET SITE AREA:	29.98 AC (1,306,078 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 22.14 AC (964,237 SF) LOT 2 (VACANT): 1.37 AC (59,778 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 1.64 AC (71,553 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF)

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No.	REVISIONS	DATE	BY
4	CITY COMMENTS	02/06/2024	SML
3	CITY COMMENTS	01/05/2024	SML
2	CITY COMMENTS	01/26/2023	MJM
1	CITY COMMENTS	07/26/2022	AMC

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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY SUBDIVISION PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C203

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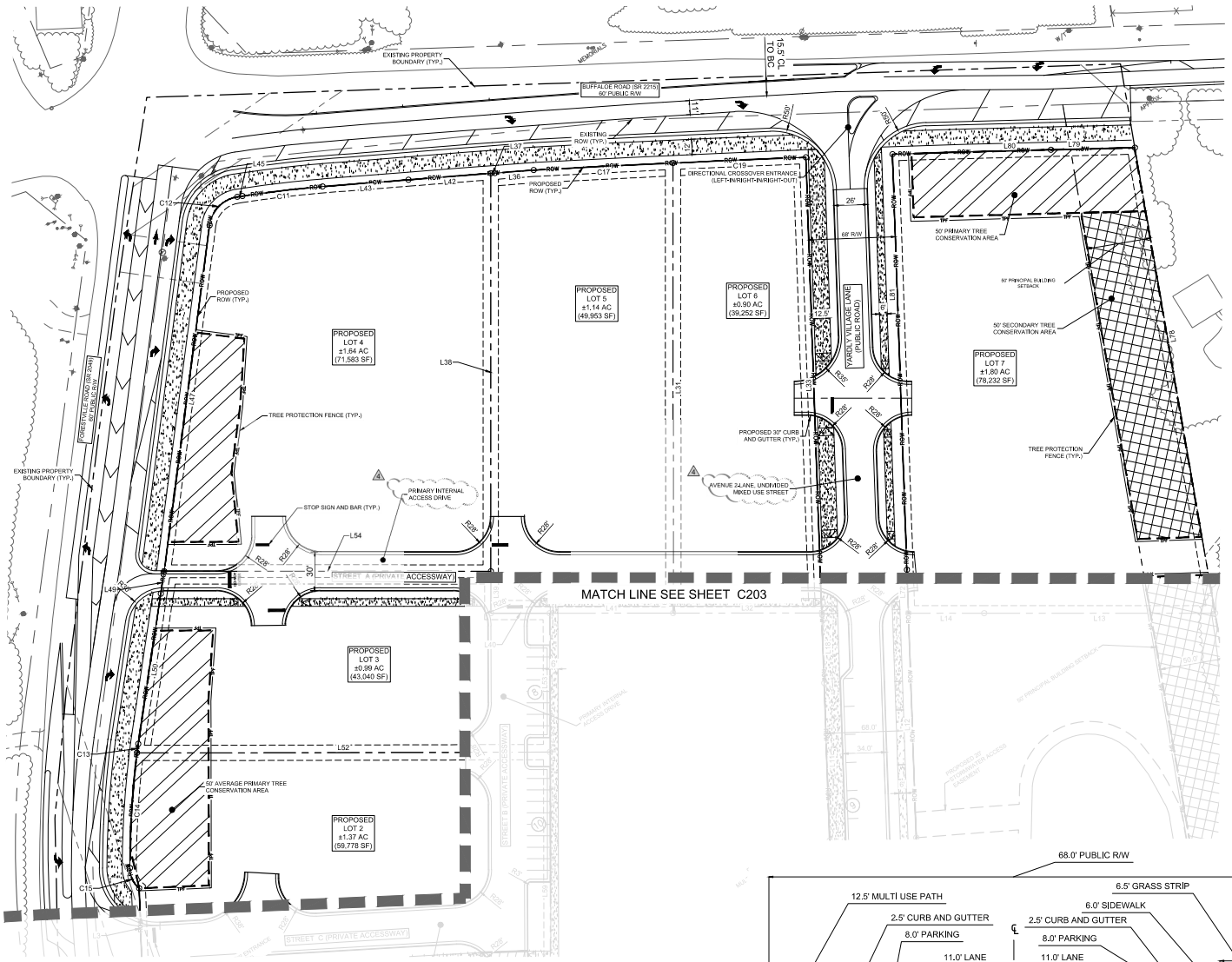
Plotted By:Larrson, Sydney Sheet Set:Yardly Buffaloe Village Layout:C203 PRELIMINARY SUBDIVISION PLAN February 06, 2024 03:15:46pm K:\CIVIL_RD\017270-Taylor Morrison\019 Raleigh\Buffaloe\02 - CIVIL\Dwg\Sheets\2.0 - C200 - PRELIMINARY SUBDIVISION PLAN.dwg



PROPOSED IMPROVEMENTS LEGEND

EXISTING PROPERTY BOUNDARY	PROPOSED RIGHT-OF-WAY
PROPOSED PROPERTY BOUNDARY	TOP OF BANK
50' NEUSE RIVER BUFFER	50' NEUSE RIVER BUFFER
BUILDING SETBACK	WETLAND
CURB AND GUTTER	PRIMARY TREE CONSERVATION AREA
TRAFFIC ARROWS	SECONDARY TREE CONSERVATION AREA
STOP BAR, "STOP" MARKING & SIGN	NEUSE RIVER BUFFER CONSERVATION AREA
SIGNS - SINGLE / DOUBLE	CONCRETE SIDEWALK
SIGNS - MONUMENT / PYLON	HEAVY DUTY CONCRETE
SITE LIGHTING	AMENITY AREA
RETAINING WALL	
PARKING COUNT	

SITE DATA TABLE

PROPERTY INFORMATION

EXISTING ZONING:	CX-3-CU RX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
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PROJECT DATA

PIN #:	1746-43-2158 1746-31-9793 1746-41-0189 1746-30-8877
PROPOSED # OF LOTS:	7
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
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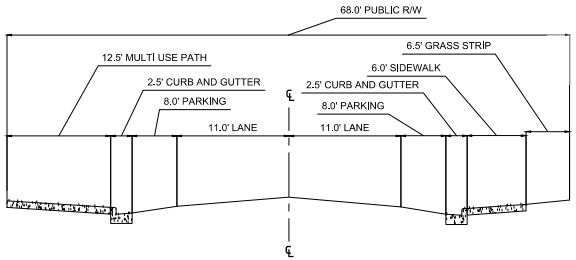
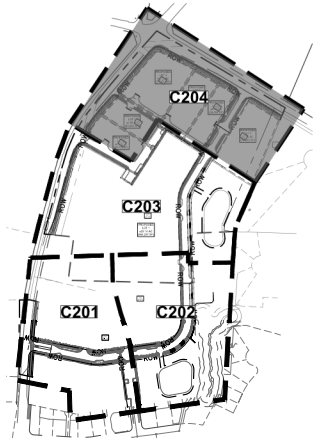


CROSS SECTION A: CITY OF RALEIGH 2 LANE UNDIVIDED AVENUE
(MODIFIED TO INCLUDE PARALLEL PARKING)
YARDLY VILLAGE LANE
N.T.S.

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

811 Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
A	CITY COMMENTS	02/06/2024	SML
B	CITY COMMENTS	01/05/2024	SML
C	CITY COMMENTS	07/25/2023	SML
D	CITY COMMENTS	07/25/2023	AMC

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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY SUBDIVISION PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C204

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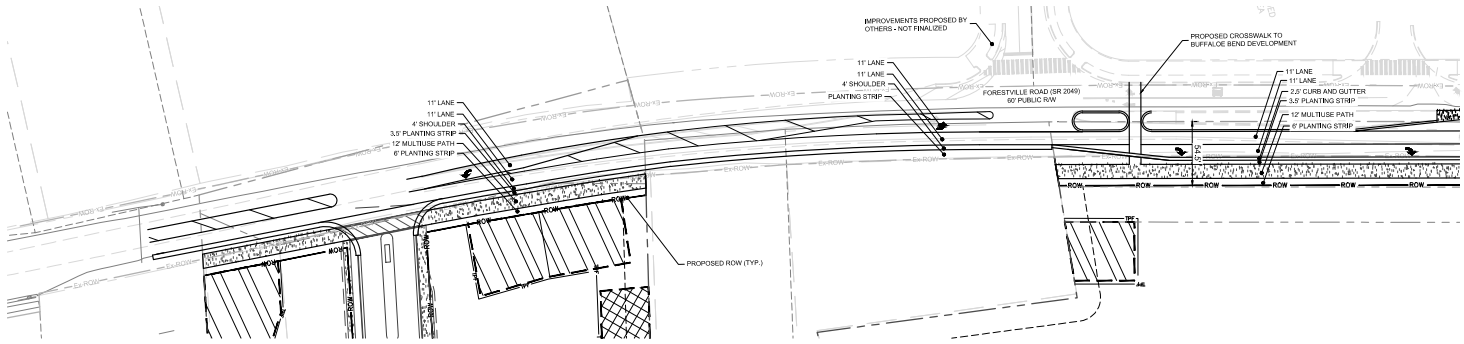
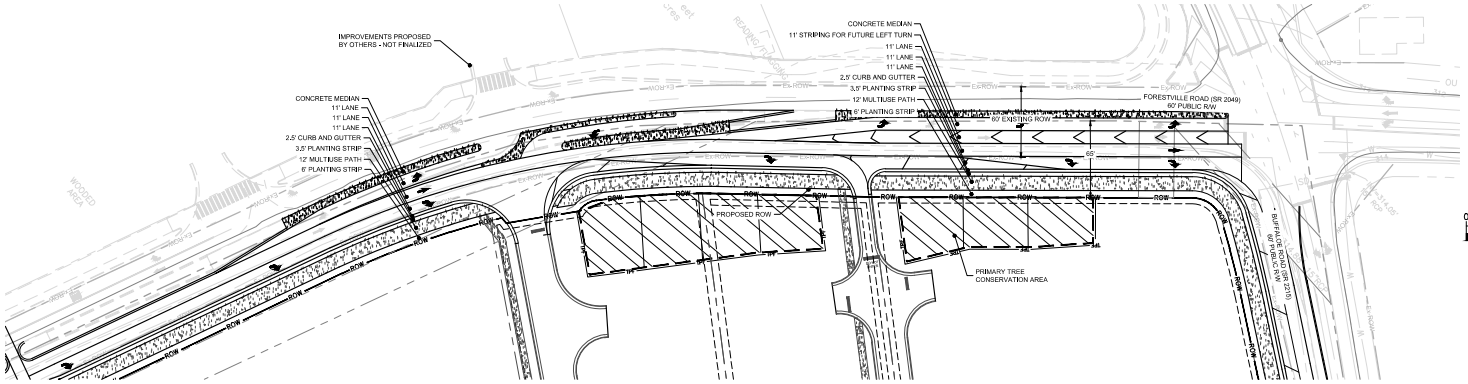
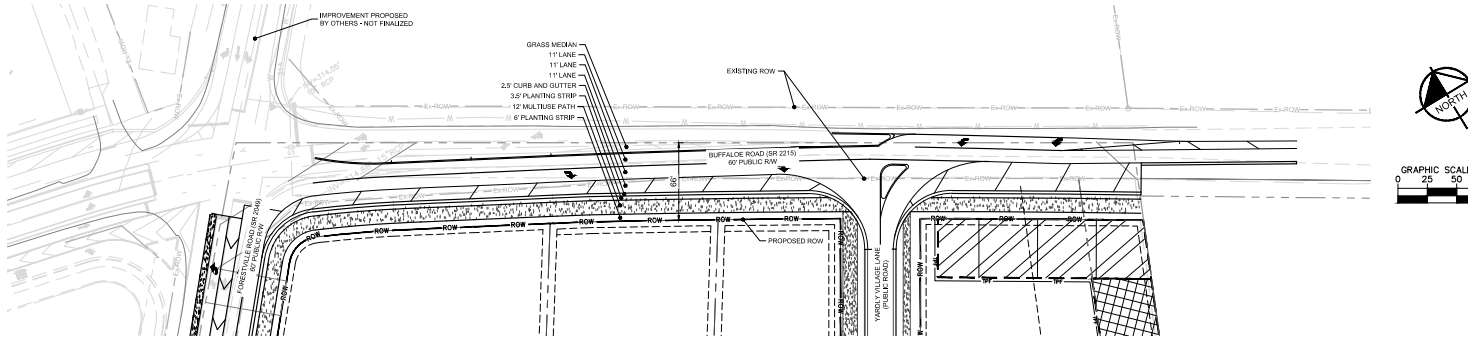
Plotted By:Larrson, Sydney Sheet Set:Yardly Buffaloe Village Layout:C204 PRELIMINARY SUBDIVISION PLAN February 06, 2024 03:16:00pm K:\CIVIL_PR\017270 Taylor Morrison\019 Raleigh\Buffaloe\02 - DWG\Plan Sheets\2.0 - C200 - PRELIMINARY SUBDIVISION PLAN.dwg







Know what's **below.**
Call before you dig.

No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	10/02/2023	SML
4	CITY COMMENTS	07/26/2023	JMC

Kimley»Horn

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NC LICENSE #F-0102

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KH PROJECT
017270019

DATE	02/06/24
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	
CHECKED BY	KLW

OFFSITE ROADWAY IMRPOVEMENTS

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
C205

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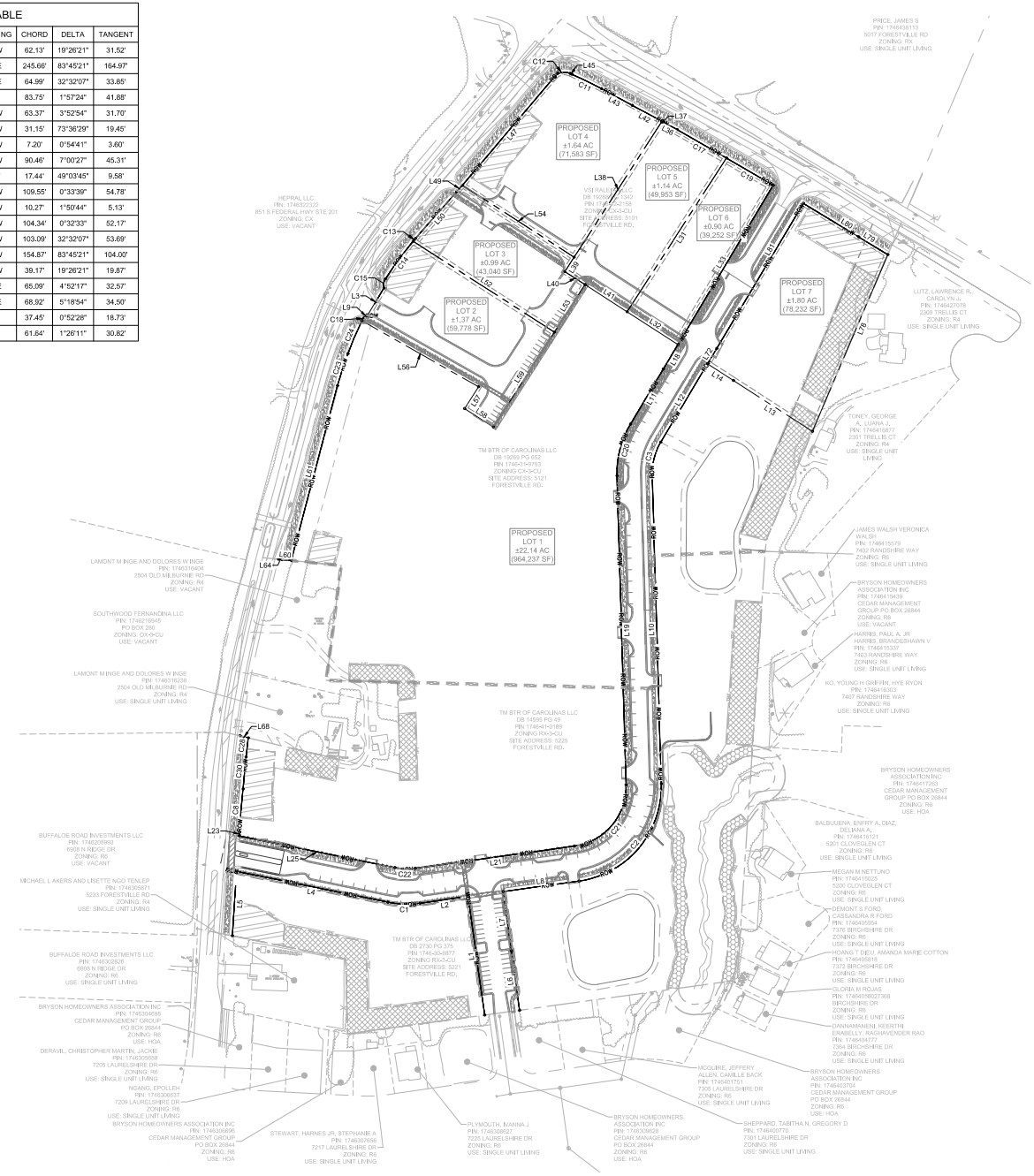
Plotted By:Lanson, Sydney - Sheet Set:Yardly Buffaloe Village Layout:C205 OFFSITE ROADWAY IMRPOVEMENTS February 08, 2024 05:18:21pm K:\CIVIL_RD\017270-Taylor Morrison\019-Yardly-Buffaloe\02 - CIVIL\Sheet Sheets\C2 - C205 OFFSITE ROADWAY IMRPOVEMENTS.dwg

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	184.00'	62.43'	N88°11'59"W	62.13'	19°26'21"	31.52'
C2	184.00'	268.97'	N40°12'10"E	245.66'	83°45'21"	164.97'
C3	116.00'	65.87'	N14°35'33"E	64.99'	32°32'07"	33.85'
C8	2452.50'	83.75'	N4°52'57"E	83.75'	1°57'24"	41.88'
C11	935.60'	63.39'	N63°55'12"W	63.37'	3°52'54"	31.70'
C12	26.00'	33.40'	S77°07'06"W	31.15'	73°36'29"	19.45'
C13	452.41'	7.20'	S40°08'51"W	7.20'	0°54'41"	3.60'
C14	740.08'	90.51'	S36°21'57"W	90.46'	7°00'27"	45.31'
C15	21.00'	17.98'	S8°19'54"W	17.44'	49°03'45"	9.58'
C17	11192.35'	109.55'	N60°02'54"W	109.55'	0°33'39"	54.78'
C18	318.79'	10.27'	S26°24'22"W	10.27'	1°50'44"	5.13'
C19	11022.00'	104.34'	N59°36'49"W	104.34'	0°32'33"	52.17'
C20	184.00'	104.48'	S14°35'33"W	103.09'	32°32'07"	53.69'
C21	116.00'	169.57'	S40°12'10"W	154.87'	83°45'21"	104.00'
C22	116.00'	39.36'	N88°11'59"W	39.17'	19°26'21"	19.87'
C23	765.76'	65.11'	N17°56'40"E	65.09'	4°52'17"	32.57'
C24	743.24'	68.95'	N23°04'20"E	68.92'	5°18'54"	34.50'
C28	2453.84'	37.45'	N6°34'13"E	37.45'	0°52'28"	18.73'
C30	2458.58'	61.64'	N5°24'50"E	61.64'	1°26'11"	30.82'

LINE TABLE

LINE	LENGTH	BEARING
L1	230.98	N7°55'09.57"W
L2	93.66	S82°04'50.43"W
L3	62.93	S31°02'02.83"W
L4	297.52	N78°28'48.79"W
L5	124.48	S3°54'15.50"W
L6	115.49	N7°55'09.57"W
L7	115.49	N7°55'09.57"W
L8	147.96	N82°04'50.43"E
L9	5.59	S89°19'33.59"W
L10	596.38	N1°40'30.84"W
L11	123.82	S30°51'36.10"W
L12	177.66	N30°51'36.10"E
L13	181.30	N57°09'09.79"W
L14	59.37	N57°07'14.08"W
L18	54.98	S30°51'36.10"W
L19	596.38	S1°40'30.84"E
L21	309.62	S82°04'50.43"W
L23	7.17	N3°54'15.50"E
L25	306.61	N78°28'48.79"W
L31	353.11	S32°50'45.40"W
L32	116.64	S57°12'39.51"E
L33	357.69	N30°51'36.10"E
L36	30.56	N61°28'42.50"W
L37	3.06	N61°37'21.21"W
L38	312.14	S32°50'45.40"W
L39	33.04	S32°50'45.40"W
L40	46.06	S57°12'41.15"E
L41	96.88	S57°12'40.61"E
L42	64.89	N61°37'21.21"W
L43	67.64	N61°39'00.52"W
L45	4.01	N65°57'35.96"W
L47	273.72	S40°18'41.79"W
L49	17.84	S41°38'44.82"W
L50	119.13	S41°23'58.85"W
L52	323.97	S57°16'02.81"E
L53	108.94	N32°43'57.00"E
L54	256.33	S57°09'14.61"E
L56	258.59	S60°29'32.89"E
L57	49.99	S32°44'33.00"W
L58	66.00	S57°16'03.00"E
L59	217.79	N32°43'57.00"E
L60	24.87	S84°19'09.00"E
L61	348.72	N14°49'18.12"E
L64	24.87	S84°19'09.00"E
L68	16.56	N76°36'46.72"W
L72	34.16	N30°51'36.10"E
L78	370.62	S23°04'05.37"W
L79	65.92	S58°30'37.53"E
L80	124.37	S58°47'09.15"E
L81	326.15	N30°51'36.10"E



PROPOSED IMPROVEMENTS LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- 50' NEUSE RIVER BUFFER
- BUILDING SETBACK
- CURB AND GUTTER
- TRAFFIC ARROWS
- STOP BAR, "STOP" MARKING & SIGN
- SIGNS - SINGLE / DOUBLE
- SIGNS - MONUMENT / PYLON
- SITE LIGHTING
- RETAINING WALL
- PARKING COUNT
- ROW — PROPOSED RIGHT-OF-WAY
- TOP OF BANK
- 50' NEUSE RIVER BUFFER
- WETLAND
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- NEUSE RIVER BUFFER CONSERVATION AREA
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE
- AMENITY AREA

SITE DATA TABLE

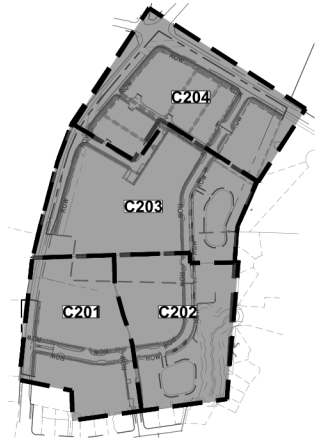
PROPERTY INFORMATION

EXISTING ZONING:	CX->CU RX->CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	
	PRIMARY STREET = 10 FEET
	SIDE STREET = 10 FEET
	REARSIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	
	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	
	LOT 1: 94 SPACES
	LOT 2: 16 SPACES
	LOT 3: 8 SPACES

PROJECT DATA

PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-30-8877
PROPOSED # OF LOTS:	7
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.12 AC (309,954 SF)
NET SITE AREA:	29.98 AC (1,306,078 SF)
PROPOSED LOT AREAS:	
	LOT 1 (VACANT): 22.14 AC (964,237 SF)
	LOT 2 (VACANT): 1.37 AC (59,778 SF)
	LOT 3 (VACANT): 0.99 AC (43,040 SF)
	LOT 4 (VACANT): 1.64 AC (71,583 SF)
	LOT 5 (VACANT): 1.14 AC (49,953 SF)
	LOT 6 (VACANT): 0.90 AC (39,252 SF)
	LOT 7 (VACANT): 1.80 AC (78,232 SF)

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET 0 50 100 200

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No.	REVISIONS	DATE	BY
4	CITY COMMENTS	02/06/2024	SML
3	CITY COMMENTS	01/05/2024	SML
2	CITY COMMENTS	10/26/2023	SML
1	CITY COMMENTS	07/26/2023	JMC

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PRELIMINARY NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY SUBDIVISION PLAT

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C206

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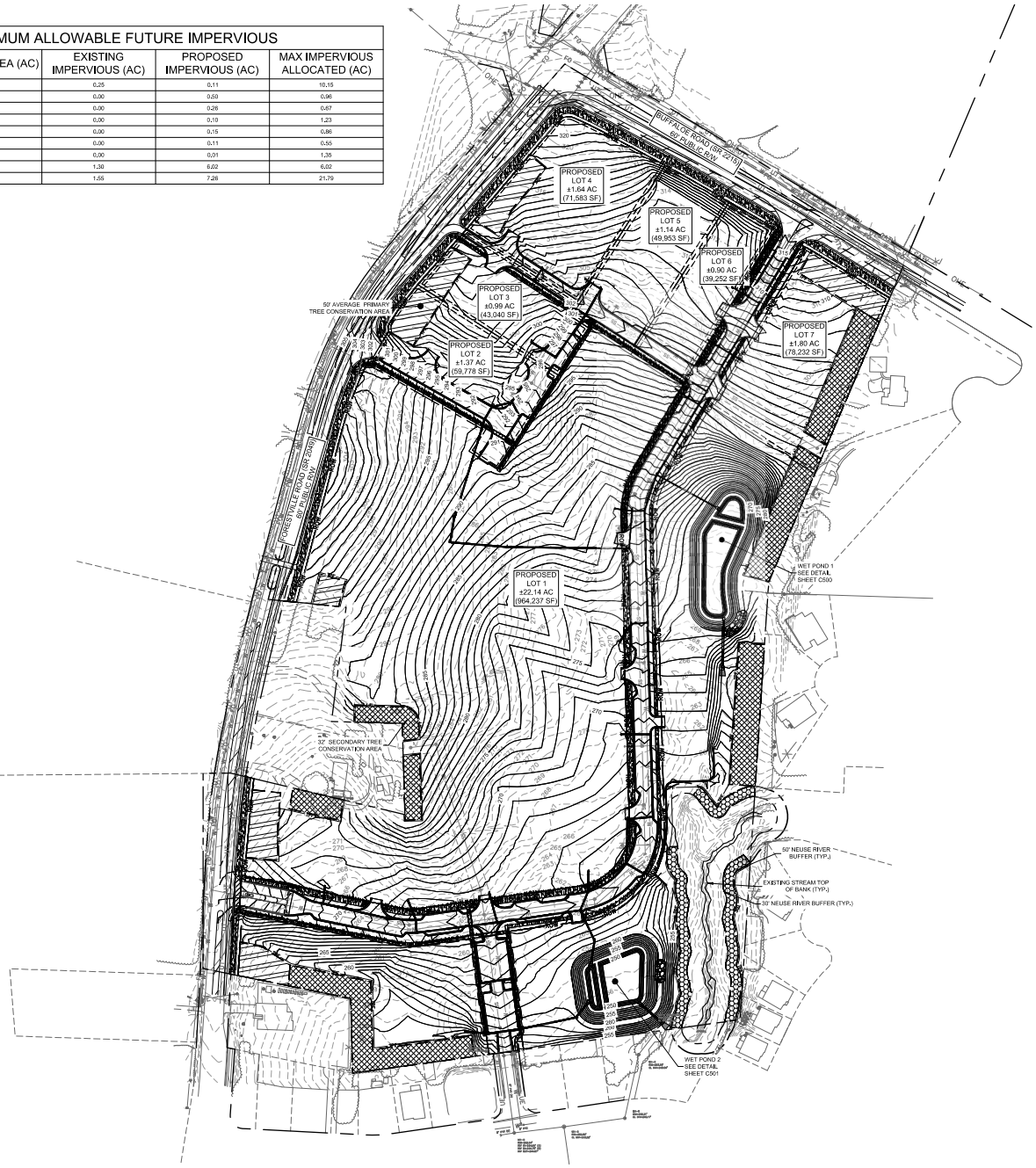
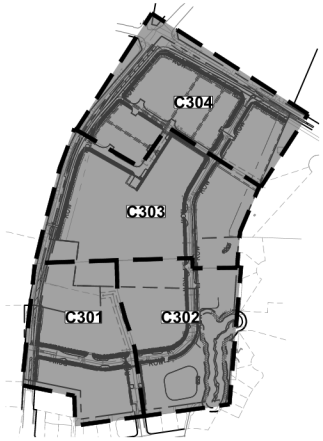
MAXIMUM ALLOWABLE FUTURE IMPERVIOUS				
LOT	TOTAL AREA (AC)	EXISTING IMPERVIOUS (AC)	PROPOSED IMPERVIOUS (AC)	MAX IMPERVIOUS ALLOCATED (AC)
LOT 1	22.14	0.25	0.11	10.15
LOT 2	1.37	0.00	0.50	0.96
LOT 3	0.99	0.00	0.26	0.67
LOT 4	1.64	0.00	0.10	1.23
LOT 5	1.14	0.00	0.15	0.86
LOT 6	0.90	0.00	0.11	0.55
LOT 7	1.80	0.00	0.01	1.35
PUBLIC ROW	7.12	1.30	6.02	6.02
TOTAL	37.10	1.55	7.26	21.79



GRADING AND DRAINAGE LEGEND

	PROPERTY BOUNDARY	ROW	RIGHT-OF-WAY
	CURB AND GUTTER		STORM DRAIN
450	PROPOSED MAJOR CONTOUR	450	EXISTING MAJOR CONTOUR
451	PROPOSED MINOR CONTOUR	451	EXISTING MINOR CONTOUR
826.00	SPOT ELEVATION	LOD	LIMITS OF DISTURBANCE
	CATCH BASIN (CB)		PRIMARY TREE CONSERVATION AREA
D	MANHOLE (SDMH)		SECONDARY TREE CONSERVATION AREA
	RETAINING WALL		AMENITY AREA

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
0 50 100 200

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2	CITY COMMENTS	01/05/2024	SAL
3	CITY COMMENTS	01/29/2023	MM
4	CITY COMMENTS	07/26/2022	AKC

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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KJW

OVERALL PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C300

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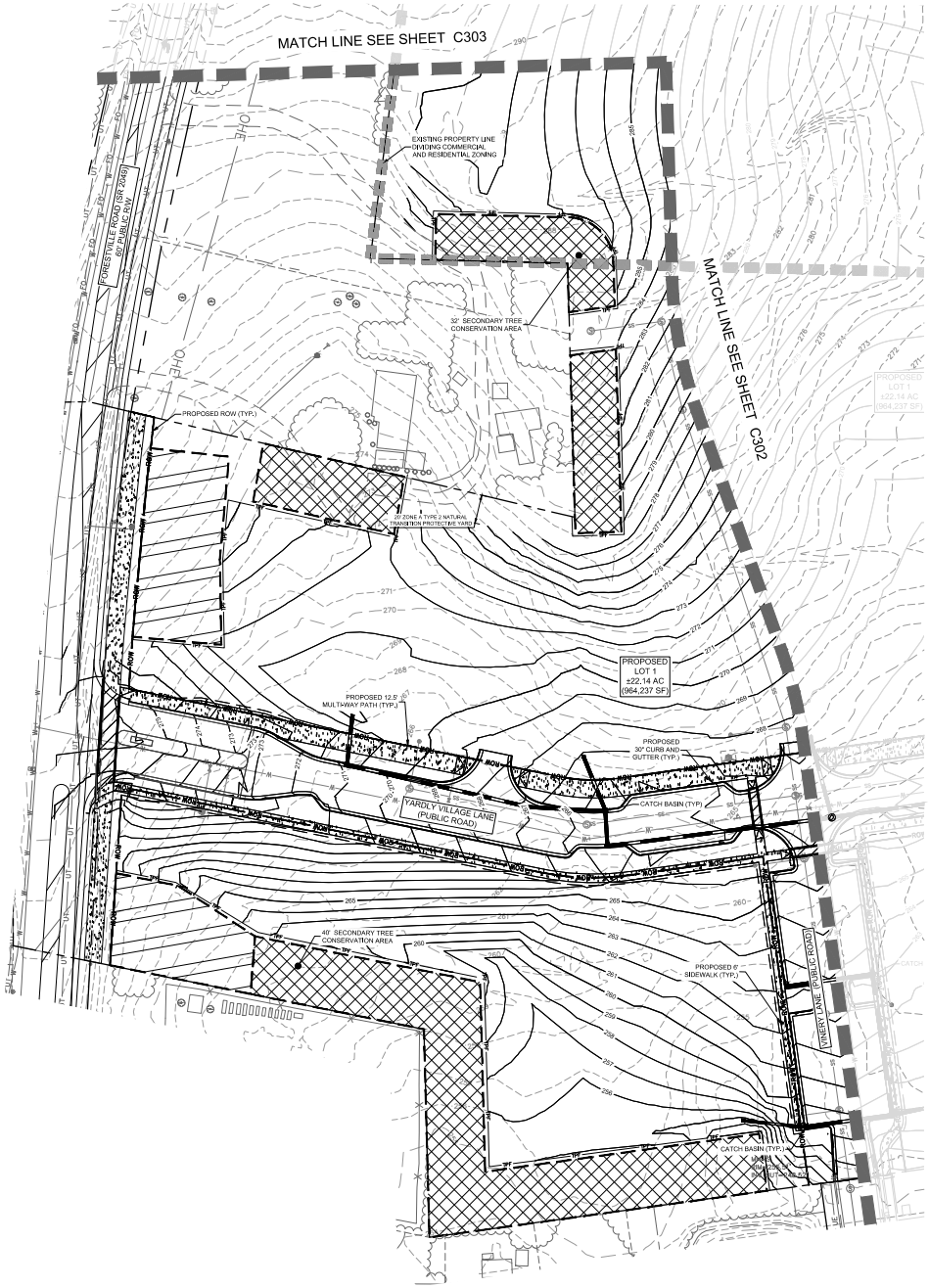
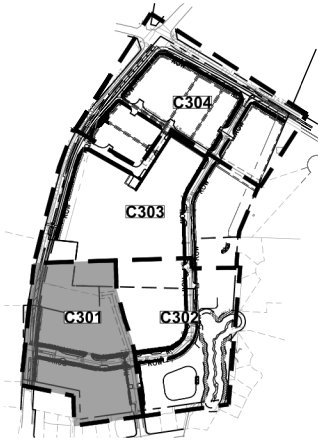


GRADING AND DRAINAGE LEGEND

	PROPERTY BOUNDARY	ROW	RIGHT-OF-WAY
	CURB AND GUTTER		STORM DRAIN
450	PROPOSED MAJOR CONTOUR	450	EXISTING MAJOR CONTOUR
451	PROPOSED MINOR CONTOUR	451	EXISTING MINOR CONTOUR
826.00	SPOT ELEVATION	LOD	LIMITS OF DISTURBANCE
	CATCH BASIN (CB)		PRIMARY TREE CONSERVATION AREA
D	MANHOLE (SDMH)		SECONDARY TREE CONSERVATION AREA
	RETAINING WALL		AMENITY AREA

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

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No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	07/25/2023	SML
4	CITY COMMENTS	07/26/2023	AMC

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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C301

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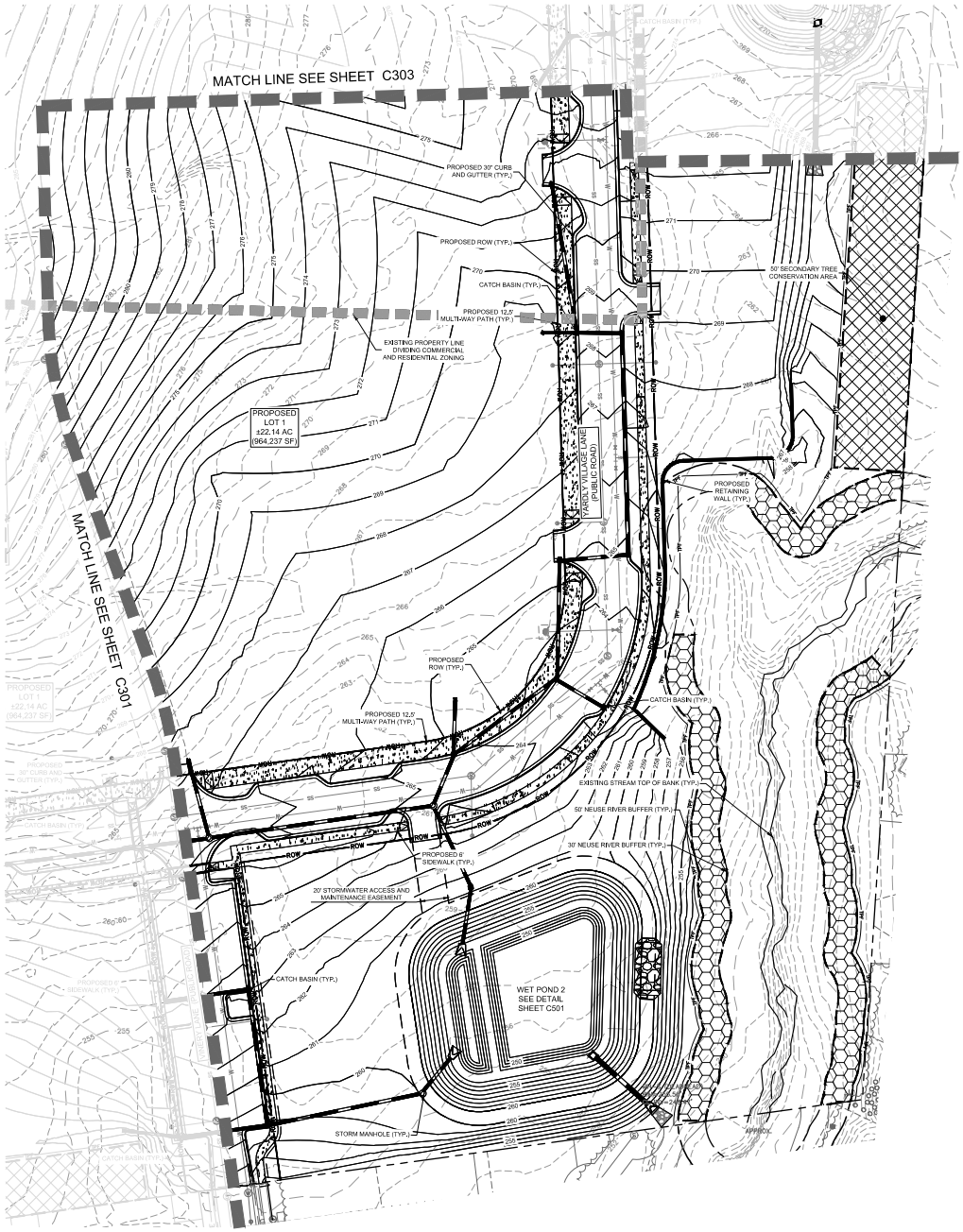
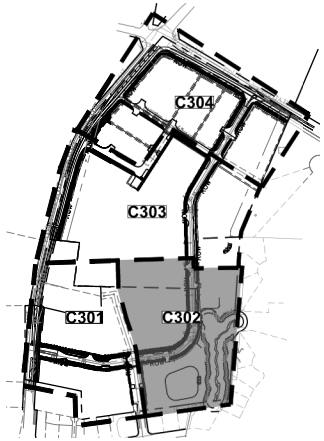
Drafted by Lanson, Sydney Sheet Set:Yardly Buffaloe Village Layout:C301 PRELIMINARY GRADING AND DRAINAGE PLAN February 06, 2024 09:17:44am K:\CIVIL_NC\017270-Taylor Morrison\019\Grading\drawings\02 - DWG\Plan\Sheets\02 - CD\C-PREL BINARY GRDNG DRNG PLAN.dwg



GRADING AND DRAINAGE LEGEND

	PROPERTY BOUNDARY	ROW	RIGHT-OF-WAY
	CURB AND GUTTER		STORM DRAIN
450	PROPOSED MAJOR CONTOUR	450	EXISTING MAJOR CONTOUR
451	PROPOSED MINOR CONTOUR	451	EXISTING MINOR CONTOUR
826.00	SPOT ELEVATION	LOD	LIMITS OF DISTURBANCE
	CATCH BASIN (CB)		PRIMARY TREE CONSERVATION AREA
D	MANHOLE (SDMH)		SECONDARY TREE CONSERVATION AREA
	RETAINING WALL		AMENITY AREA

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
0 20 40 80

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No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	07/26/2023	SML
4	CITY COMMENTS	07/26/2023	AMC

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DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C302

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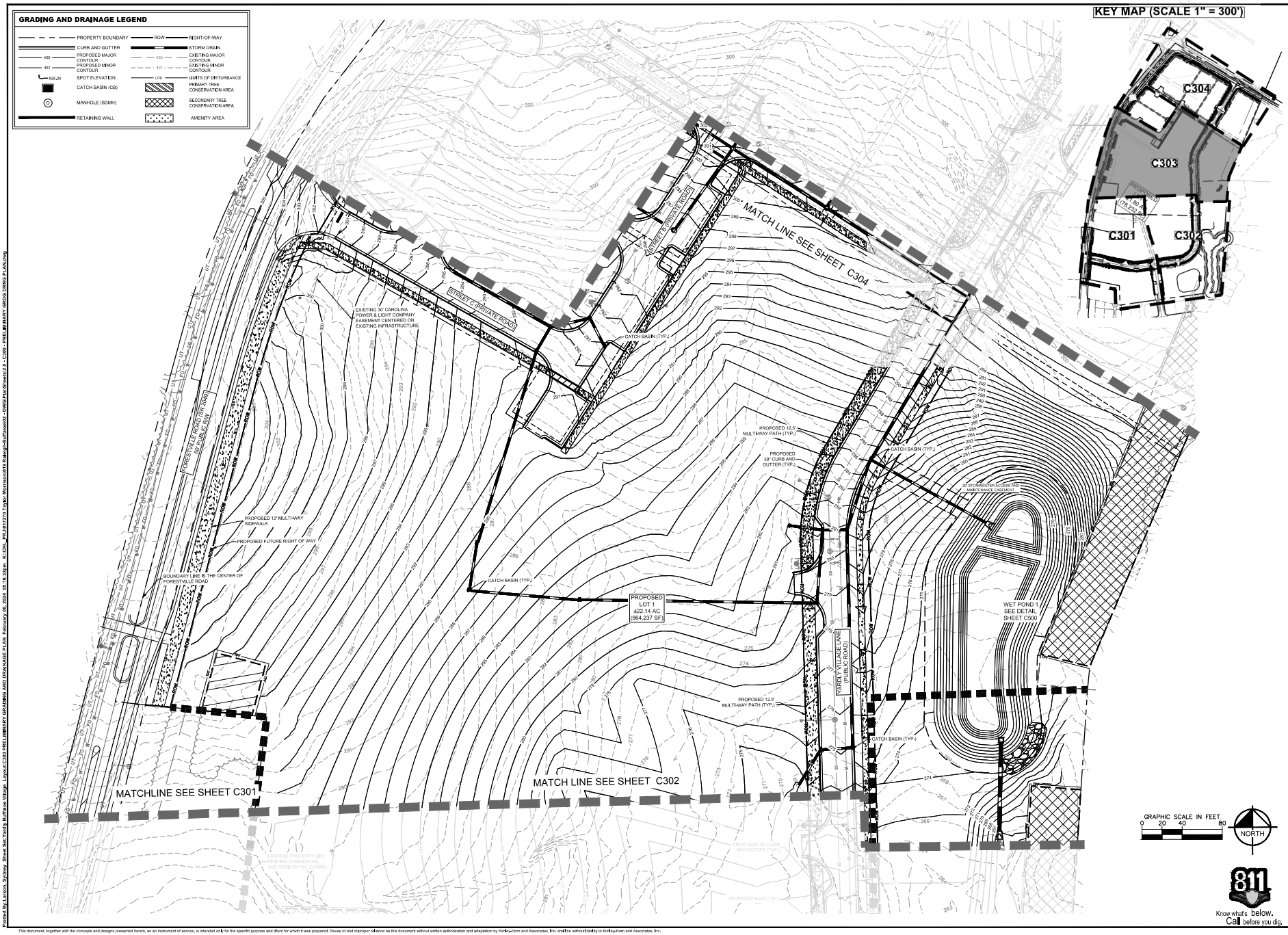

No.	REVISIONS	DATE	BY
A	CITY COMMENTS	02/06/2024	SML
A	CITY COMMENTS	01/05/2024	SML
A	CITY COMMENTS	07/26/2023	SML
A	CITY COMMENTS	07/26/2023	JMC

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PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
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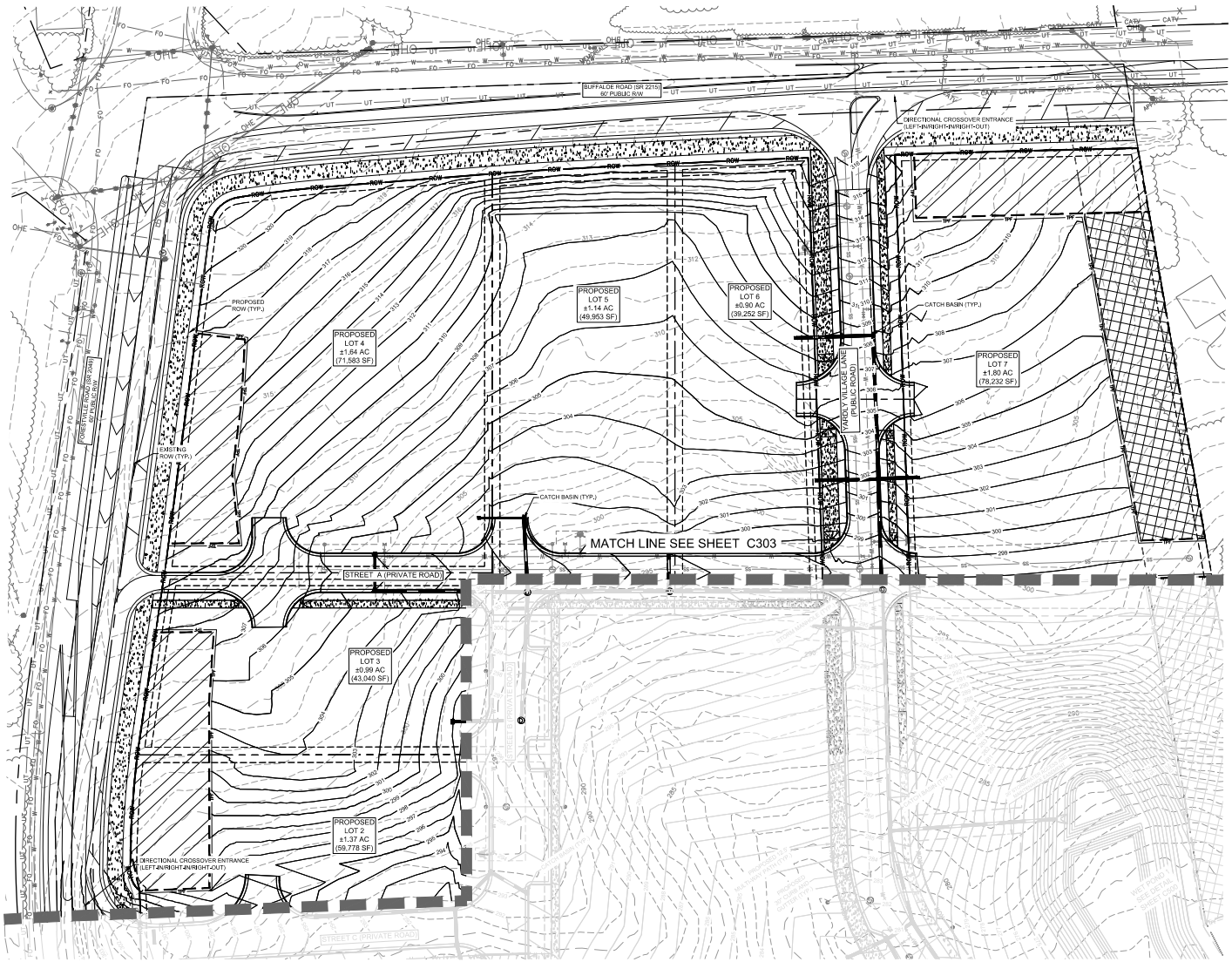
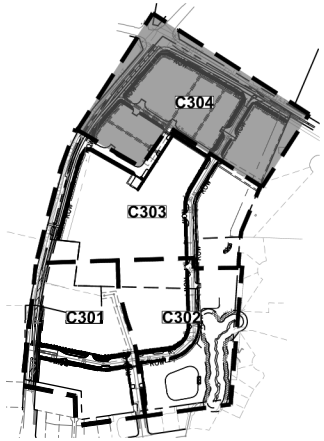


GRADING AND DRAINAGE LEGEND

PROPERTY BOUNDARY		ROW	RIGHT-OF-WAY
CURB AND GUTTER		STORM DRAIN	
450	PROPOSED MAJOR CONTOUR	450	EXISTING MAJOR CONTOUR
451	PROPOSED MINOR CONTOUR	451	EXISTING MINOR CONTOUR
826.00	SPOT ELEVATION	LOD	LIMITS OF DISTURBANCE
	CATCH BASIN (CB)		PRIMARY TREE CONSERVATION AREA
D	MANHOLE (SDMH)		SECONDARY TREE CONSERVATION AREA
	RETAINING WALL		AMENITY AREA

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
0 20 40 80

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3	CITY COMMENTS	01/05/2024	SML
2	CITY COMMENTS	07/26/2023	SML
1	CITY COMMENTS	07/26/2023	AMC

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DATE 02/06/24
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DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C304

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STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).

2. UTILITY SEPARATION REQUIREMENTS:
   A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
   B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
   C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
   D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
   E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
   F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.

4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS, 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.

6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.

7. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 50 LINEAR FEET MAXIMUM.

8. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.

9. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

10. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.

11. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

12. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-8 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

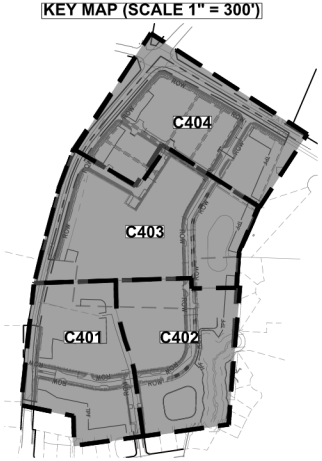
13. FIRE DEPARTMENT VEHICLE ACCESS LANE MUSTBE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 80,000 LBS, AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (NCFC 503.2.3).

14. MAXIMUM ANTICIPATED AVERAGE DAILY FLOW (SEWER) FOR THE PROJECT IS 67,000 GPD.

UTILITY LEGEND

PROPERTY BOUNDARY		ROW	RIGHT-OF-WAY
WATER LINE	W	SS	SANITARY SEWER LINE
ROOF DRAIN	RD	UE	UTILITY EASEMENT
WATER METER	M		GATE VALVE
POINT OF CONNECTION	C S		BACKFLOW PREVENTOR
PIPE TEE/BENDS		CO	SANITARY SEWER CLEANOUT (SSCO)
FIRE HYDRANT (FH)			SANITARY SEWER CLEANOUT TRAFFIC RATED
FIRE DEPARMENT CONNECTION (FDC)		S	SANITARY SEWER MANHOLE (SSMH)

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET
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1	CITY COMMENTS	07/26/2023	JMC

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PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KJW

OVERALL PRELIMINARY UTILITY PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C400

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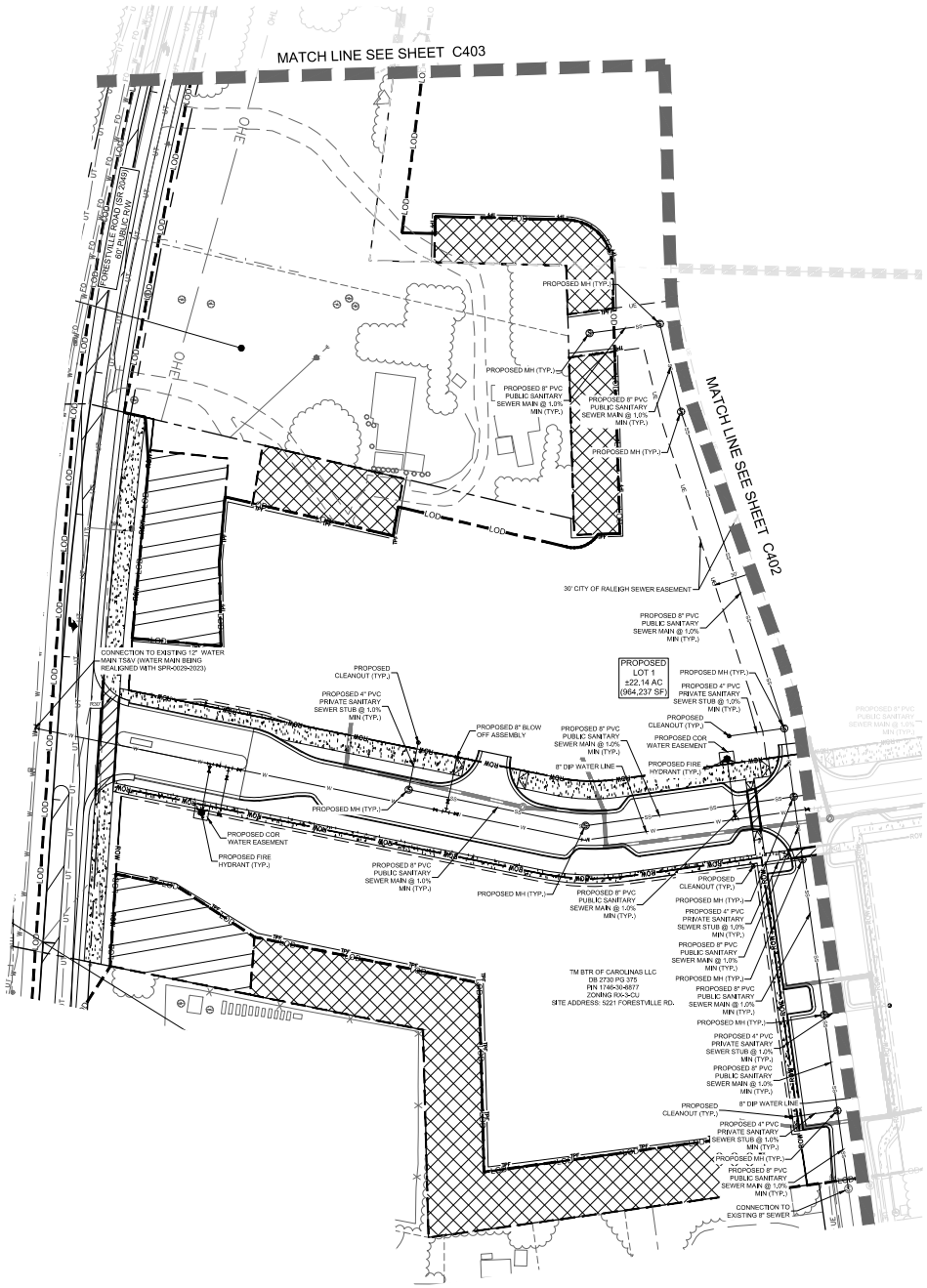
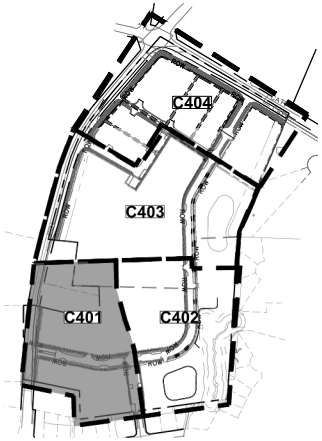


UTILITY LEGEND

— — —	PROPERTY BOUNDARY	—ROW—	RIGHT-OF-WAY
—W—	WATER LINE	—SS—	SANITARY SEWER LINE
—RD—	ROOF DRAIN	— UE —	UTILITY EASEMENT
M	WATER METER		GATE VALVE
	POINT OF CONNECTION		BACKFLOW PREVENTOR
	PIPE TEE/BENDS		SANITARY SEWER CLEANOUT (SSCO)
	FIRE HYDRANT (FH)		SANITARY SEWER CLEANOUT TRAFFIC RATED
	FIRE DEPARTMENT CONNECTION (FDC)		SANITARY SEWER MANHOLE (SSMH)

KEY MAP (SCALE 1" = 300')



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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY UTILITY PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C401

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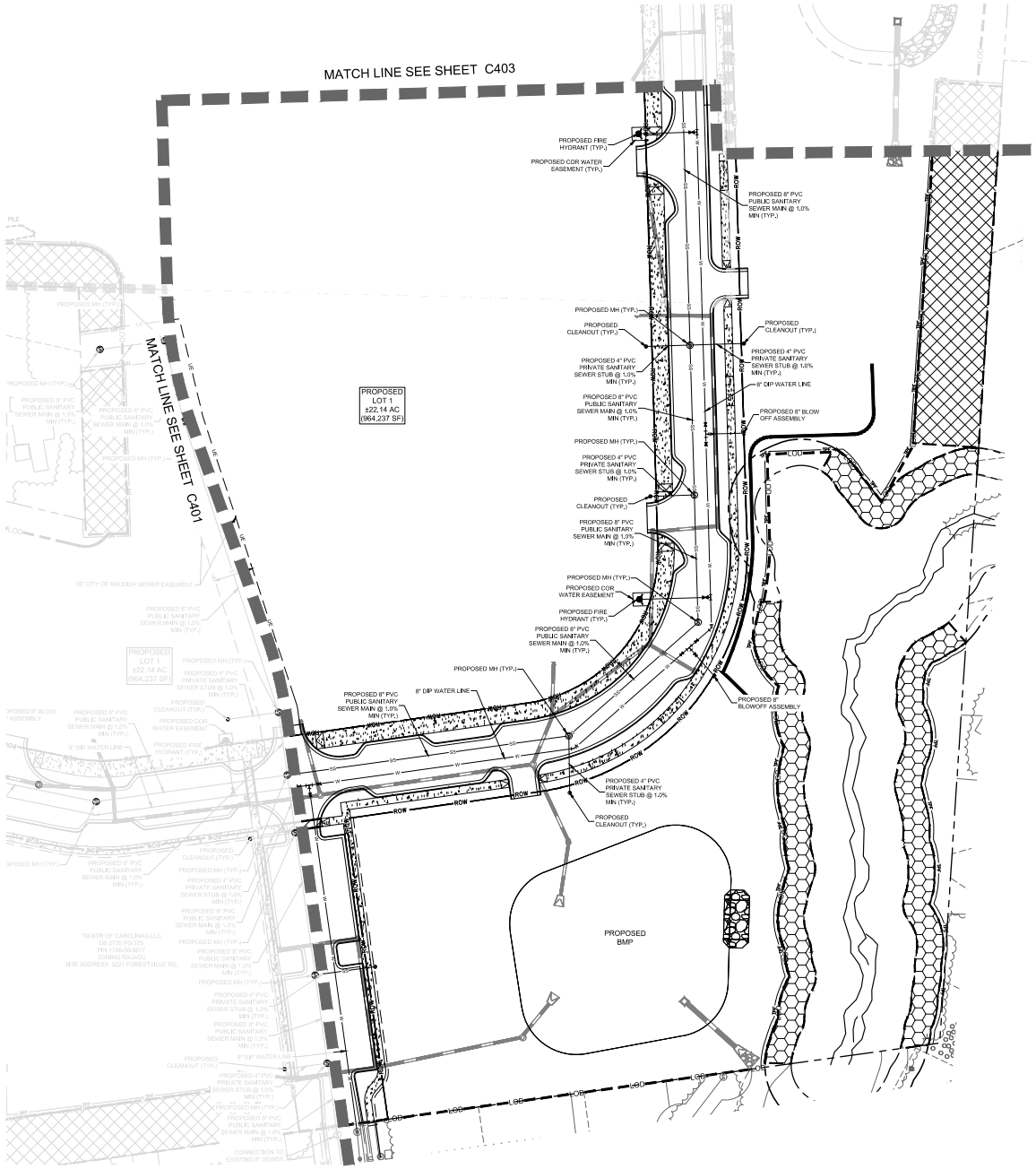
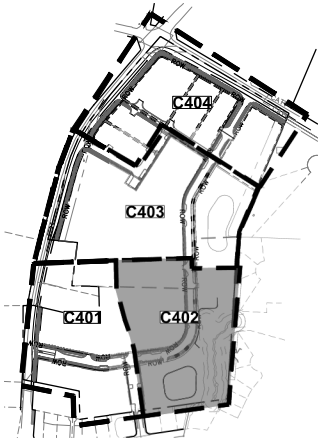


UTILITY LEGEND

PROPERTY BOUNDARY		ROW	RIGHT-OF-WAY
WATER LINE	W	SS	SANITARY SEWER LINE
ROOF DRAIN	RD	UE	UTILITY EASEMENT
WATER METER	M		GATE VALVE
POINT OF CONNECTION			BACKFLOW PREVENTOR
PIPE TEE/BENDS			SANITARY SEWER CLEANOUT (SSCO)
FIRE HYDRANT (FH)			SANITARY SEWER CLEANOUT TRAFFIC RATED
FIRE DEPARTMENT CONNECTION (FDC)			SANITARY SEWER MANHOLE (SSMH)

KEY MAP (SCALE 1" = 300')



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DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

PRELIMINARY UTILITY PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
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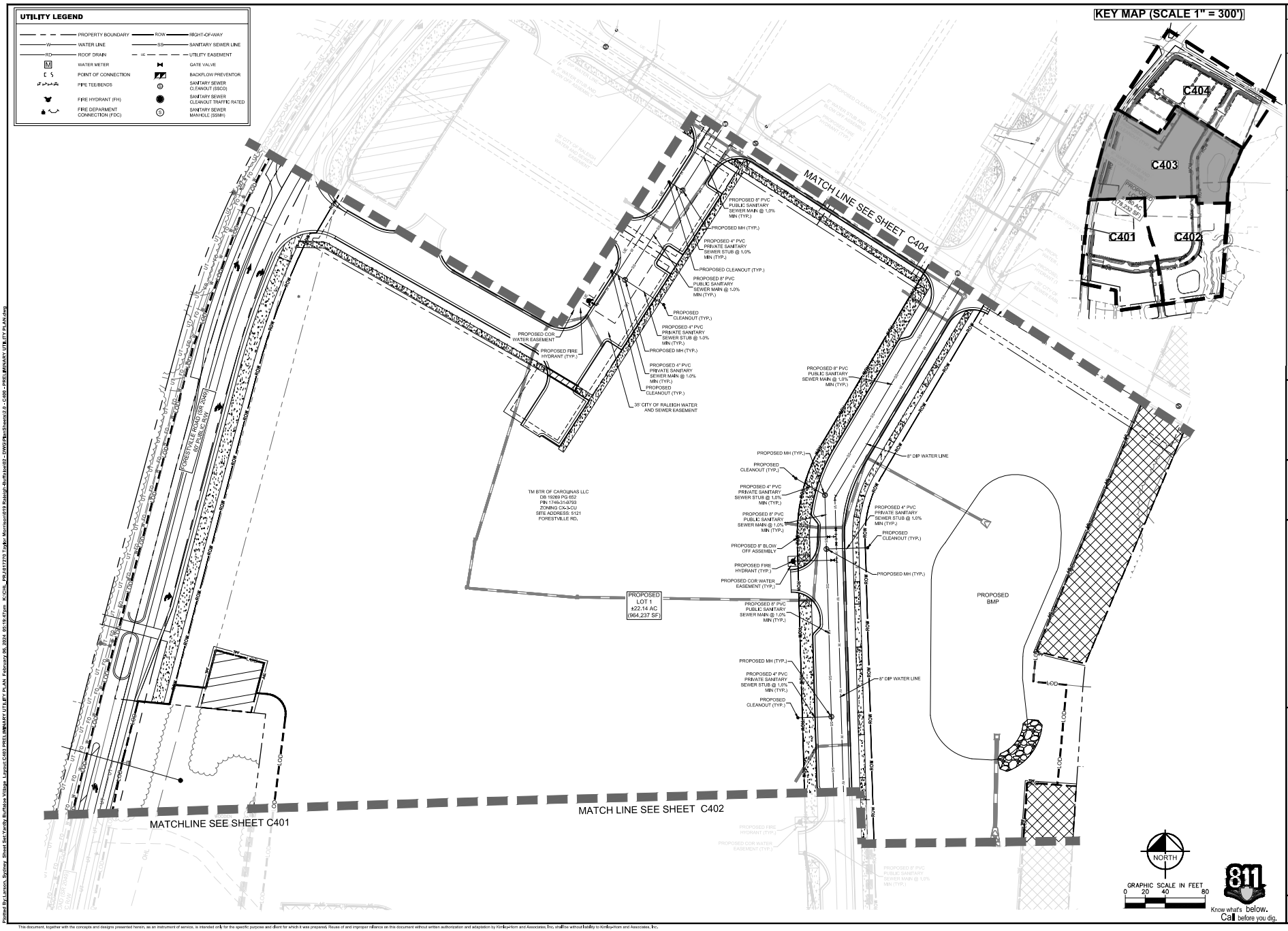

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PRELIMINARY UTILITY PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

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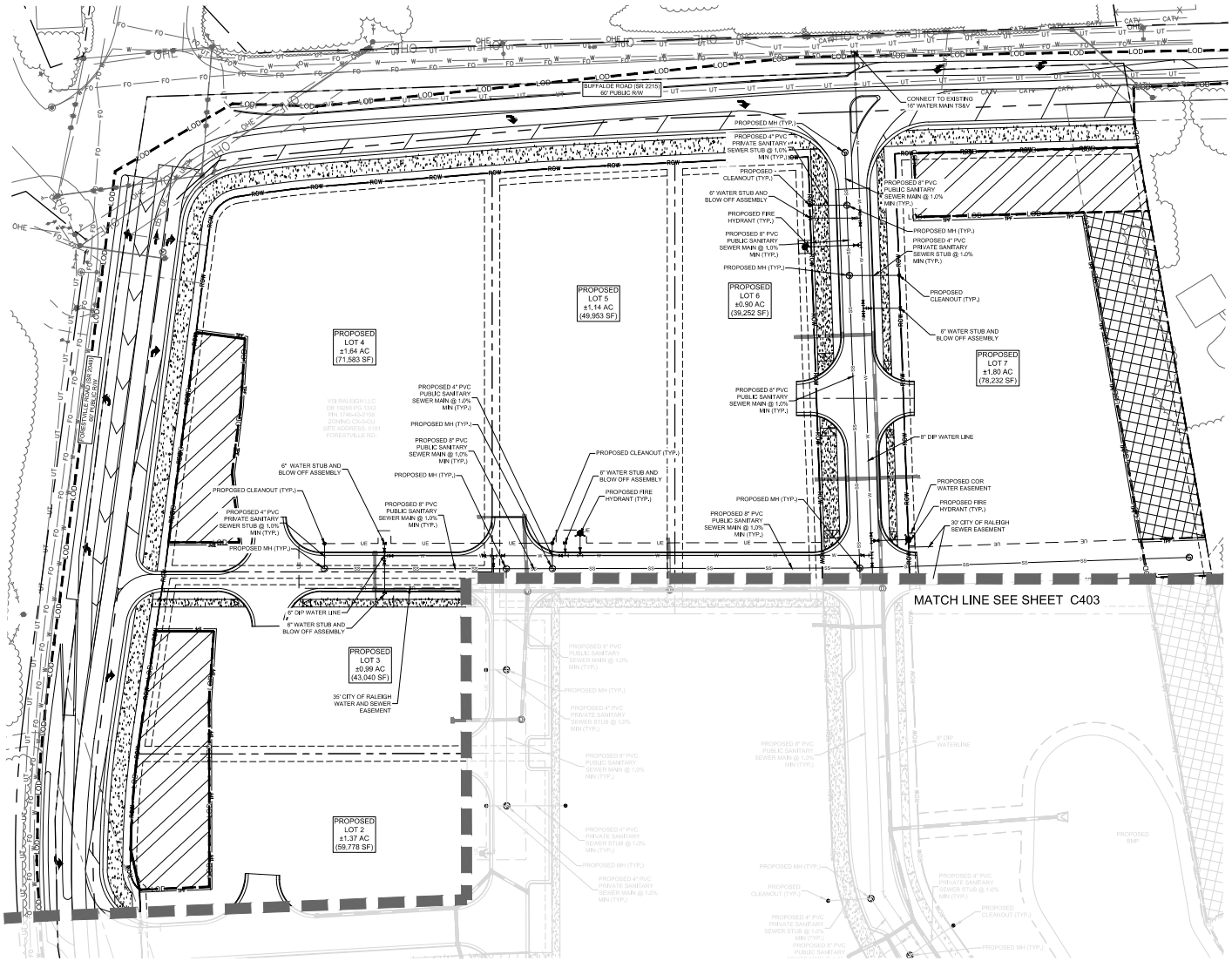

UTILITY LEGEND

PROPERTY BOUNDARY		ROW	RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE
RD	ROOF DRAIN	UE	UTILITY EASEMENT
M	WATER METER		GATE VALVE
	POINT OF CONNECTION		BACKFLOW PREVENTOR
	PIPE TIE/BENDS		SANITARY SEWER CLEANOUT (SSCO)
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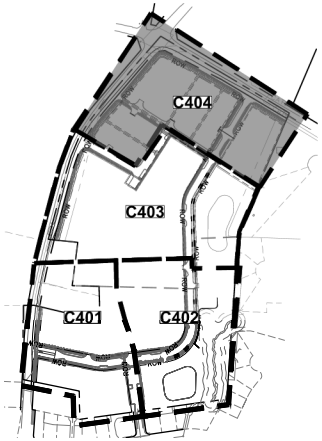
KEY MAP (SCALE 1" = 300')



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PRELIMINARY UTILITY PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

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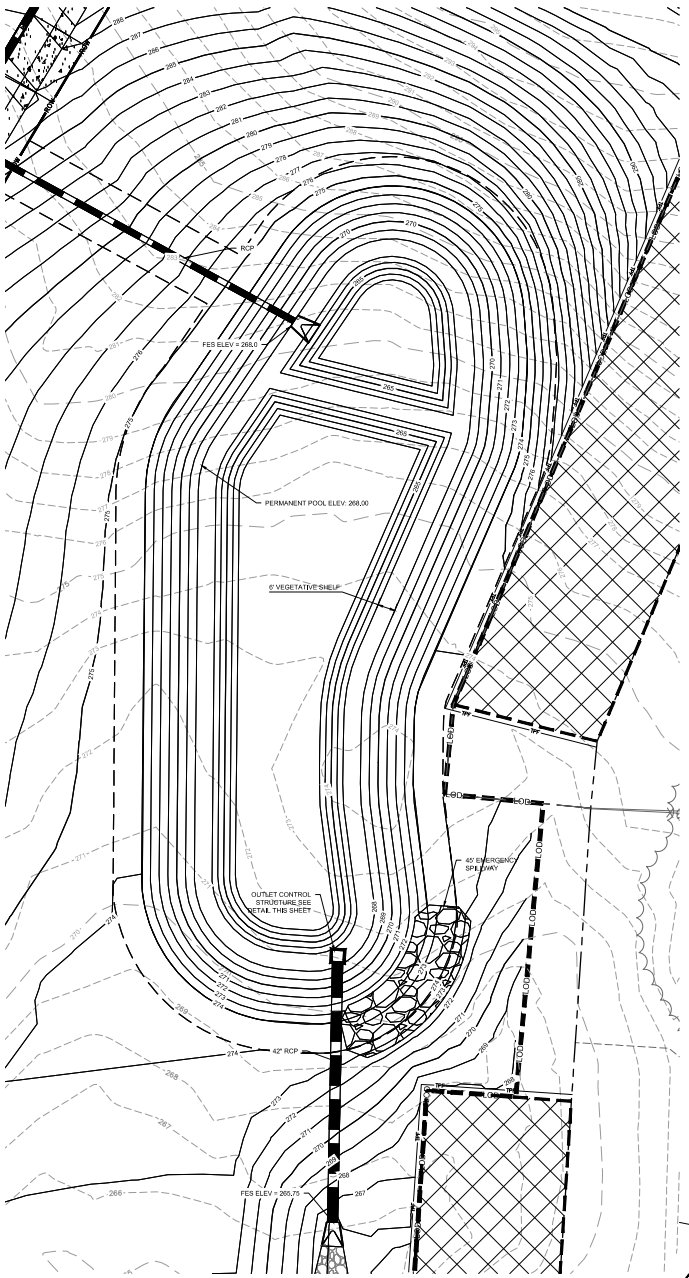

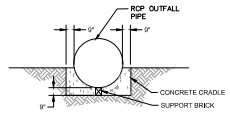

1. BRING GRADE TO SPRING LINE FOR PIPE
2. EXCAVATE TRENCH AS SHOWN AND PLACE PIPE ON SUPPORTS
3. FILL TO SPRINGLINE WITH CONCRETE
4. WRAP PIPE JOINTS WITH A NONWOVEN GEOTEXTILE
5. CONCRETE CRADLE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
6. THE CONCRETE FOR THE CRADLE SHALL BE CONSOLIDATED PRIMARILY BY INTERNAL VIBRATION, AND SHALL BE FINISHED TROUGH SO AS TO ACHIEVE A MORE ADEQUATE BOND BETWEEN THE CONCRETE IN THE CRADLE AND THE FIRST LIFT OF STRUCTURAL FILL.

CONCRETE CRADLE DETAIL

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EARTHEN DAM SPECIFICATIONS

- A MAXIMUM SLOPE OF 3H:1V SHALL BE USED ON THE EMBANKMENTS TO ALLOW MAINTENANCE EQUIPMENT AND TO MAINTAIN GROUND COVER.

-TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION DEWATERING AND ROCK FOUNDATION PREPARATION (I.E., TREATMENT WITH SLURRY GROUTING, DENTAL CONCRETE, ETC.) MAY BE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.

-TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2- TO 3-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND MULCHED OR HYDROSEEDED.

- A GRASS SURFACE IS REQUIRED TO PREVENT EROSION AND RUTTING. IF VEGETATION IS USED TO STABILIZE THE EMBANKMENT, PROPER MAINTENANCE, INCLUDING MOWING, FERTILIZING, AND RESEEDING BARE-SPOTS, IS REQUIRED TO PREVENT EROSION.

-WHERE FILL IS REQUIRED TO RAISE THE EXISTING GRADES OF THE SITE TO THE NEW SUBGRADE ELEVATIONS INDICATED, SUCH FILL SHALL BE OF EARTH, PLACED COMPACTED AS SPECIFIED. ON-SITE OR OFF-SITE BORROW MATERIAL SHALL BE APPROVED BY THE INDEPENDENT TESTING LABORATORY'S GEOTECHNICAL ENGINEER PRIOR TO BEING PLACED ON PROPOSED FILL AREA.

-ALL SUBGRADE TO RECEIVE FILL SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING NEW FILL. METHODS FOR EVALUATION SHALL INCLUDE PROOF ROLLING USING TANDEM AXLE DUMP TRUCK OR SIMILAR PNEUMATIC TIRED EQUIPMENT, OR OTHER METHODS AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. ALL SOIL THAT RUTS, PUMPS, OR DEFLECTS EXCESSIVELY AS DETERMINED BY THE GEOTECHNICAL ENGINEER SHALL BE CORRECTED AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER.

-METHODS OF CORRECTION MAY INCLUDE DRYING AND COMPACTION, PLACEMENT OF AN 18 TO 24 INCH BRIDGE LIFT OF BORROW MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, STABILIZATION WITH FABRIC AND STONE, AND/OR UNDERCUTTING.

-ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.

-THE SURFACE OF THE GROUND AND MOISTURE CONTENT OF THE LOOSENED MATERIAL SHALL BE SUCH THAT IT WILL READILY BOND WITH THE FIRST LAYER OF FILL MATERIAL.

-CONTROLLED FILL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, IN THE DAM EMBANKMENT SHALL BE PLACED IN 6-INCH LOOSE LAYERS (3-INCH LOOSE LAYERS WITHIN 3-FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2-FEET OVER THE PIPE) AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698.

-ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.

-FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.

-EARTHWORK COMPACTION WITHIN 3-FEET OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINIATURE SELF-PROPELLED ROLLERS.

-SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.

-AT THE END OF EACH DAYS ACTIVITIES, CONTRACTOR SHALL SEAL SURFACE OF NEW FILL BY USE OF A SMOOTH WHEEL ROLLER AND PROVIDE POSITIVE DRAINAGE OFF OF NEW FILL SURFACE.

-THE GEOTECHNICAL ENGINEER MUST INSPECT AND APPROVE ALL SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS PERFORMED THEREON.

-FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.

-THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRYING SOILS TOO WET TO ACHIEVE COMPACTION OR STABILITY. SOILS SHALL NOT BE CONSIDERED UNSUITABLE SOLELY DUE TO MOISTURE CONTENT.

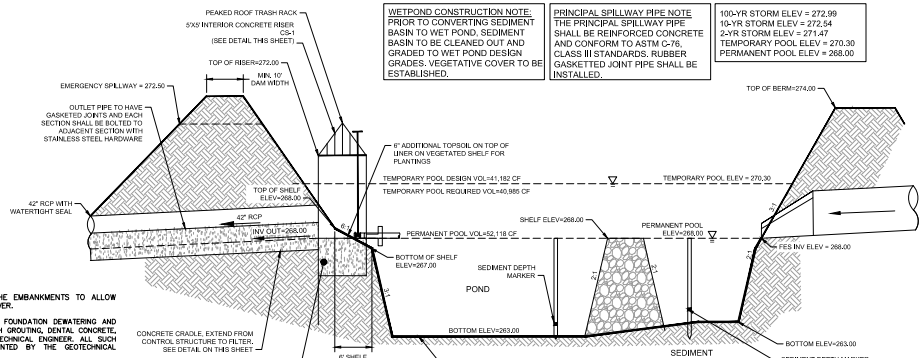
-FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.

-COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.

-HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.

-TESTS OF THE DEGREE (%) OF COMPACTION OF THE PLACED FILL IN THE DAM SHALL BE PERFORMED AS A PART OF THE CONTRACTOR'S NORMAL QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION OF THE DAM. TESTS SHALL BE CONDUCTED CONCURRENT WITH THE INSTALLATION OF THE COMPACTED FILL. AND THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE DAM SO THAT THE TESTING CAN BE COMPLETED. SHOULD THE RESULTS OF THE TESTS INDICATE THAT THE SPECIFIED DEGREE OF COMPACTION HAS NOT BEEN OBTAINED, THE PORTIONS OF THE DAM REPRESENTED BY SUCH TESTS SHALL BE REWORKED OR REBUILT. ALL PORTIONS OF THE DAM SHALL ACHIEVE THE SPECIFIED MINIMUM DEGREE OF COMPACTION.

-ALL EARTHEN FILLS SHALL BE CLEARED, GRUBBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL AND ORGANIC MATTER PRIOR TO CONSTRUCTION. FULL CONSTRUCTION SPECIFICATIONS ARE REQUIRED IN ACCORDANCE WITH CHAPTER 21 OF CITY OF DURHAM OCTOBER 1, 2013 ADDENDA.



WETPOND CONSTRUCTION NOTE:
PRIOR TO CONVERTING SEDIMENT BASIN TO WET POND, SEDIMENT BASIN TO BE CLEANED OUT AND GRADED TO WET POND DESIGN GRADES. VEGETATIVE COVER TO BE ESTABLISHED.

PRINCIPAL SPILLWAY PIPE NOTE
THE PRINCIPAL SPILLWAY PIPE SHALL BE REINFORCED CONCRETE AND CONFORM TO ASTM C-76, CLASS III STANDARDS. RUBBER GASKETTED JOINT PIPE SHALL BE INSTALLED.

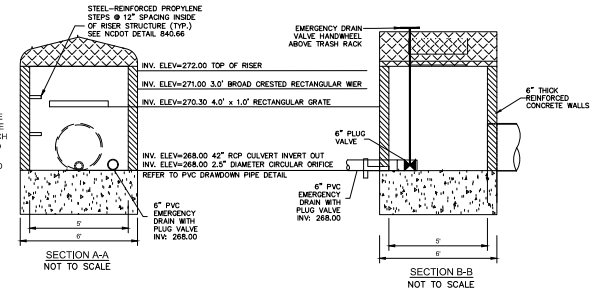
100-YR STORM ELEV = 272.99
10-YR STORM ELEV = 272.54
2-YR STORM ELEV = 271.47
TEMPORARY POOL ELEV = 270.30
PERMANENT POOL ELEV = 268.00

WET DETENTION POND

NOT TO SCALE

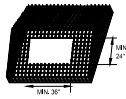
NOTES:

1. RISER STRUCTURES CONSTRUCTED WITH MULTIPLE BARREL SECTIONS SHALL HAVE WATERTIGHT JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS AND HARDWARE.



CS-1 CONCRETE RISER CONTROL STRUCTURE

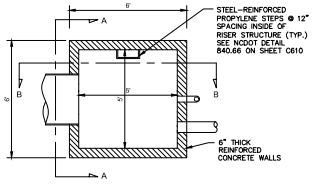
NOT TO SCALE

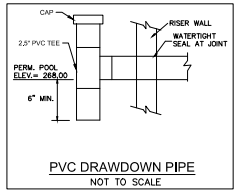


NOTES:
- MUST HAVE A MINIMUM ROOF SLOPE OF 2:1.
- SHALL INCLUDE A ACCESS HATCH WITH A MINIMUM CLEAR SPACE OPENING OF 2'x3'.
- THE ACCESS HATCH SHALL ALIGN WITH THE ACCESS STEPS INSIDE THE STRUCTURE.
- HATCH MAY BE SECURED BY LOCK AND CHAIN.
- SHALL BE BOLTED TO THE TOP OF THE STRUCTURE WITH STAINLESS STEEL BOLTS. (BOLTS IN SHEAR SHALL BE PROHIBITED).
- RACK TO BE MADE OF ALUMINUM AND HAVE A MINIMUM DESIGN LIFE OF 75 YEARS.

ROOF RACK DETAIL

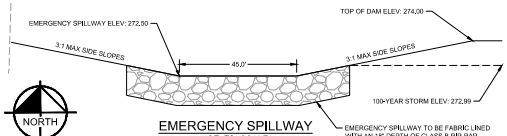
NOT TO SCALE





PVC DRAWDOWN PIPE

NOT TO SCALE



EMERGENCY SPILLWAY

NOT TO SCALE

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No.	REVISIONS	DATE	BY
4	CITY COMMENTS	02/06/2024	SML
3	CITY COMMENTS	01/05/2024	SML
2	CITY COMMENTS	07/25/2023	SML
1	CITY COMMENTS	07/20/2023	AMC

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NC LICENSE #F-0102

PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT 0172770019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

SCM DETAILS - WET POND 1

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C500

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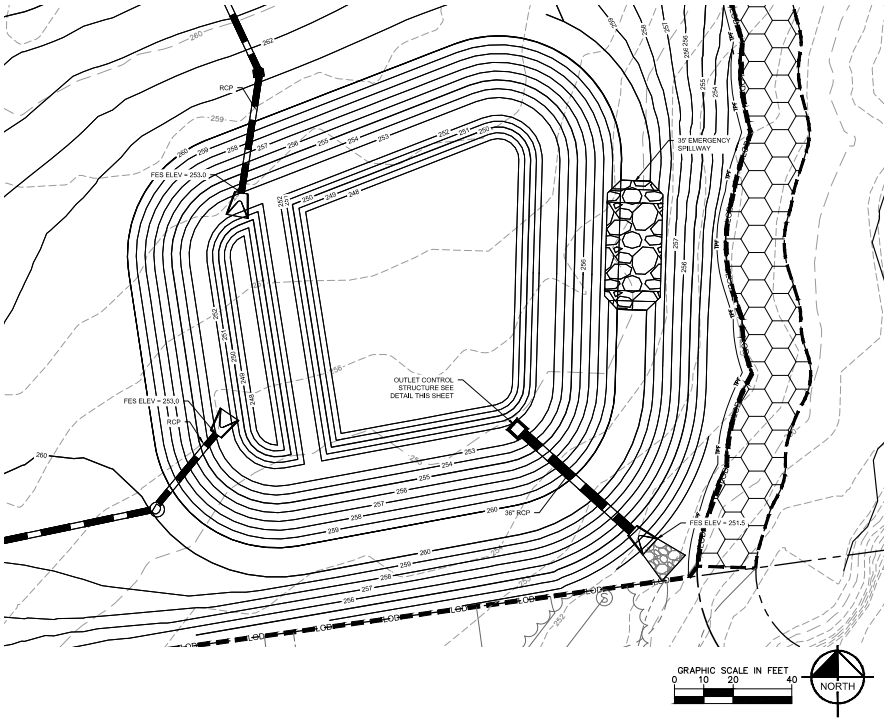
Plotted By:Larrison, Sydney Sheet Set:Yardly Buffaloe Village Layout:SCM DETAILS - WET POND 1 February 06, 2024 08:39:33am K:\CIVIL PR\017270 Taylor Morrison\019 Raleigh-Buffaloe\02 - DWG\Landscape\C2.0 - C500 - SCM DT1-8.dwg



EARTHEN DAM SPECIFICATIONS

-A MAXIMUM SLOPE OF 3H:1V SHALL BE USED ON THE EMBANKMENTS TO ALLOW MAINTENANCE EQUIPMENT AND TO MAINTAIN GROUND COVER.

-TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION DEWATERING AND ROCK FOUNDATION PREPARATION (I.E., TREATMENT WITH SLUSH GROUTING, DENTAL CONCRETE, ETC.) MAY BE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.

-TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2- TO 3-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND MULCHED OR HYDROSEEDED.

-A GRASS SURFACE IS REQUIRED TO PREVENT EROSION AND RUTTING. IF VEGETATION IS USED TO STABILIZE THE EMBANKMENT, PROPER MAINTENANCE, INCLUDING MOWING, FERTILIZING, AND RESEEDING BARE-SPOTS, IS REQUIRED TO PREVENT EROSION.

-WHERE FILL IS REQUIRED TO RAISE THE EXISTING GRADES OF THE SITE TO THE NEW SUBGRADE ELEVATIONS INDICATED, SUCH FILL SHALL BE OF EARTH, PLACED COMPACTED AS SPECIFIED. ON-SITE OR OFF-SITE BORROW MATERIAL SHALL BE APPROVED BY THE INDEPENDENT TESTING LABORATORY'S GEOTECHNICAL ENGINEER PRIOR TO BEING PLACED ON PROPOSED FILL AREA.

-ALL SUBGRADE TO RECEIVE FILL SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING NEW FILL. METHODS FOR EVALUATION SHALL INCLUDE PROOF ROLLING USING TANDEM AXLE DUMP TRUCK OR SIMILAR PNEUMATIC TIRED EQUIPMENT, OR OTHER METHODS AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. ALL SOIL THAT RUTS, PUMPS, OR DEFLECTS EXCESSIVELY AS DETERMINED BY THE GEOTECHNICAL ENGINEER SHALL BE CORRECTED AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER.

-METHODS OF CORRECTION MAY INCLUDE DRYING AND COMPACTION, PLACEMENT OF AN 18 TO 24 INCH BRIDGE LIFT OF BORROW MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, STABILIZATION WITH FABRIC AND STONE, AND/OR UNDERCUTTING.

-ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.

-THE SURFACE OF THE GROUND AND MOISTURE CONTENT OF THE LOOSENED MATERIAL SHALL BE SUCH THAT IT WILL READILY BOND WITH THE FIRST LAYER OF FILL MATERIAL.

-CONTROLLED FILL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, IN THE DAM EMBANKMENT SHALL BE PLACED IN 6-INCH LOOSE LAYERS (3-INCH LOOSE LAYERS WITHIN 3-FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2-FEET OVER THE PIPE) AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698.

-ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.

-FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.

-EARTHWORK COMPACTION WITHIN 3-FEET OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINIATURE SELF-PROPELLED ROLLERS.

-SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.

-AT THE END OF EACH DAYS ACTIVITIES, CONTRACTOR SHALL SEAL SURFACE OF NEW FILL BY USE OF A SMOOTH WHEEL ROLLER AND PROVIDE POSITIVE DRAINAGE OFF OF NEW FILL SURFACE.

-THE GEOTECHNICAL ENGINEER MUST INSPECT AND APPROVE ALL SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS PERFORMED THEREON.

-FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.

-THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRYING SOILS TOO WET TO ACHIEVE COMPACTION OR STABILITY. SOILS SHALL NOT BE CONSIDERED UNSUITABLE SOLELY DUE TO MOISTURE CONTENT.

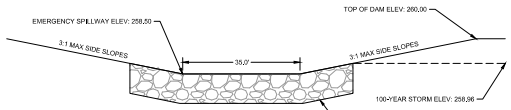
-FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS. IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.

-COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.

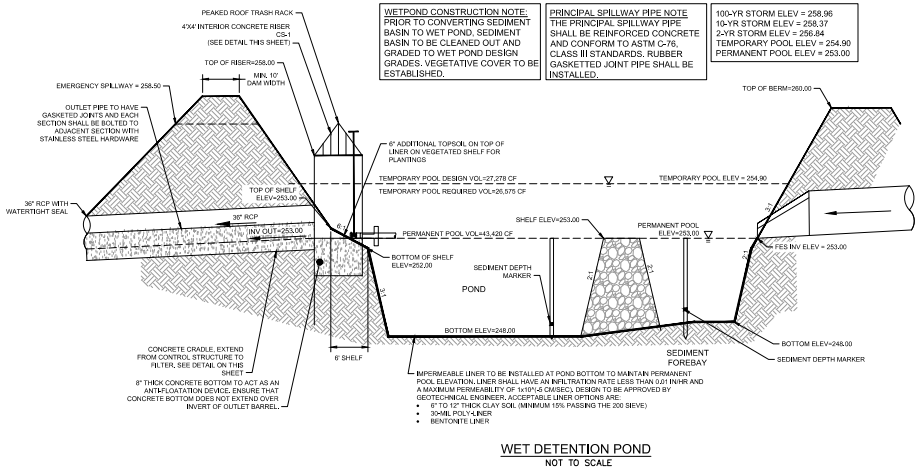
-HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.

-TESTS OF THE DEGREE (%) OF COMPACTION OF THE PLACED FILL IN THE DAM SHALL BE PERFORMED AS A PART OF THE CONTRACTOR'S NORMAL QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION OF THE DAM. TESTS SHALL BE CONDUCTED CONCURRENT WITH THE INSTALLATION OF THE COMPACTED FILL, AND THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE DAM SO THAT THE TESTING CAN BE COMPLETED. SHOULD THE RESULTS OF THE TESTS INDICATE THAT THE SPECIFIED DEGREE OF COMPACTION HAS NOT BEEN OBTAINED, THE PORTIONS OF THE DAM REPRESENTED BY SUCH TESTS SHALL BE REWORKED OR REBUILT. ALL PORTIONS OF THE DAM SHALL ACHIEVE THE SPECIFIED MINIMUM DEGREE OF COMPACTION.

-ALL EARTHEN FILLS SHALL BE CLEARED, GRUBBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL AND ORGANIC MATTER PRIOR TO CONSTRUCTION. FULL CONSTRUCTION SPECIFICATIONS ARE REQUIRED IN ACCORDANCE WITH CHAPTER 21 OF CITY OF DURHAM OCTOBER 1, 2013 ADDENDA.



EMERGENCY SPILLWAY
NOT TO SCALE

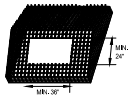


WETPOND CONSTRUCTION NOTE:
PRIOR TO CONVERTING SEDIMENT BASIN TO WET POND, SEDIMENT BASIN TO BE CLEANED OUT AND GRADED TO WET POND DESIGN GRADES. VEGETATIVE COVER TO BE ESTABLISHED.

PRINCIPAL SPILLWAY PIPE NOTE
THE PRINCIPAL SPILLWAY PIPE SHALL BE REINFORCED CONCRETE AND CONFORM TO ASTM C-76, CLASS III STANDARDS. RUBBER GASKETTED JOINT PIPE SHALL BE INSTALLED.

100-YR STORM ELEV = 258.96
10-YR STORM ELEV = 258.37
2-YR STORM ELEV = 256.84
TEMPORARY POOL ELEV = 254.90
PERMANENT POOL ELEV = 253.00

WET DETENTION POND
NOT TO SCALE



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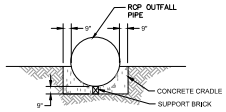
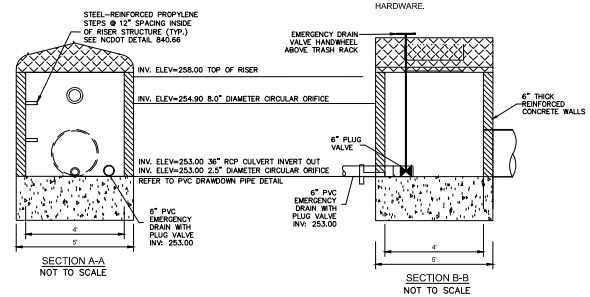


1. BRING GRADE TO SPRING LINE FOR PIPE
2. EXCAVATE TRENCH AS SHOWN AND PLACE PIPE ON SUPPORTS
3. FILL TO SPRINGLINE WITH CONCRETE
4. WRAP PIPE JOINTS WITH A NONWOVEN GEOTEXTILE
5. CONCRETE CRADLE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
6. THE CONCRETE FOR THE CRADLE SHALL BE CONSOLIDATED PRIMARILY BY INTERNAL VIBRATION, AND SHALL BE FINISHED 'ROUGH' SO AS TO ACHIEVE A MORE ADEQUATE BOND BETWEEN THE CONCRETE IN THE CRADLE AND THE FIRST LIFT OF STRUCTURAL FILL.

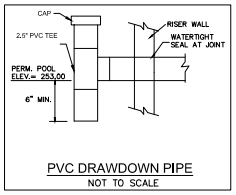
CONCRETE CRADLE DETAIL
NOT TO SCALE

NOTES:

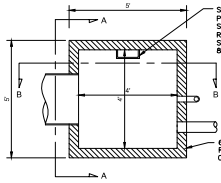
1. RISER STRUCTURES CONSTRUCTED WITH MULTIPLE BARREL SECTIONS SHALL HAVE WATERTIGHT JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS AND HARDWARE.



CS-2 CONCRETE RISER CONTROL STRUCTURE
NOT TO SCALE



PVC DRAWDOWN PIPE
NOT TO SCALE



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4	CITY COMMENTS	07/25/2023	AMC

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PRELIMINARY
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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

SCM DETAILS - WET POND 2

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C501

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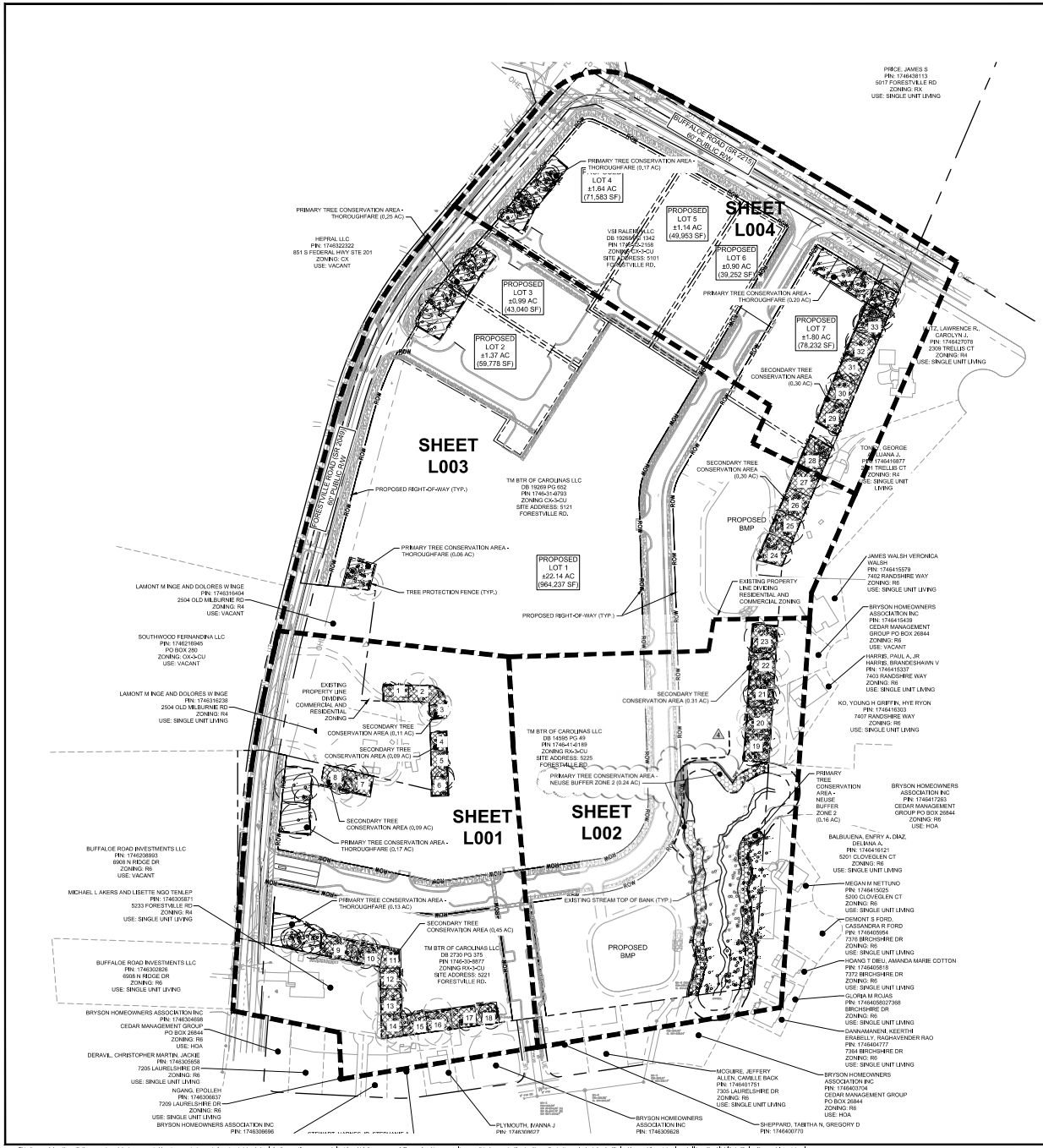
Plotted By:Lunsford, Sydney Sheet Set:Yardly Buffaloe Village Layout:SCM DETAILS - WET POND 2 February 06, 2024 08:39:47pm K:\CIVIL_PR\017270 Taylor Morrison\019 Raleigh Buffaloe\02 - DWG\Plansheets\2.0 - C500 - SCM 0713.dwg



Tree Conservation Plan Data

Net Project Area - 29.99 AC (after ROW dedication)

29.99 Total Acres (10% = 2.99 AC Required for TCA)

	Number of Acres	Percentage of Tract
Primary Tree Conservation Areas		
Primary Tree Conservation Area - Thoroughfare	0.99	3.30%
Primary Tree Conservation Area - Neuse River Zone 2	0.39	1.31%
	Number of Acres	**Percentage of Tract**
Secondary Tree Conservation Areas		
Secondary Tree Conservation Areas	1.67	5.57%
Total Tree Conservation Area	**3.05**	**10.18%**

THOROUGHFARE TCA CALCULATION

Location	*Requirement*	*Calculation**	*Provided*
BUFFALO ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	175 LF x 50' = **0.20 ACRES**	**0.20 ACRES** (CONSISTENT 50' WIDTH)
FORESTVILLE ROAD		679 LF x 50' = **0.78 ACRES**	**0.78 ACRES** (WIDTH VARIES FROM 38.6' TO 100')

*LINEAR FOOTAGE OF REQUIRED TREE CONSERVATION AREA EXCLUDES AREAS WITHOUT EXISTING VEGETATION AND PROPOSED DRIVEWAY WIDTHS

TREE SURVEY LEGEND

Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pignut hickory
T5	pecan
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	tulip poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

TREE CONSERVATION NOTES:

1. A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
2. A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
3. PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
   A.) TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO 9.1.5.A.2.
4. NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
5. TREE PROTECTION FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
6. CRZ = CRITICAL ROOT ZONE
5. TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
6. TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
7. SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
8. TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM TREE SURVEYS PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED MAY 10, 2023.
9. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWIRE STATED.
10. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).

GRAPHIC SCALE IN FEET 0 50 100 200

NORTH

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DATE 02/06/24
SCALE AS SHOWN
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DRAWN BY MTH
CHECKED BY KLW

OVERALL TREE CONSERVATION PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER L000

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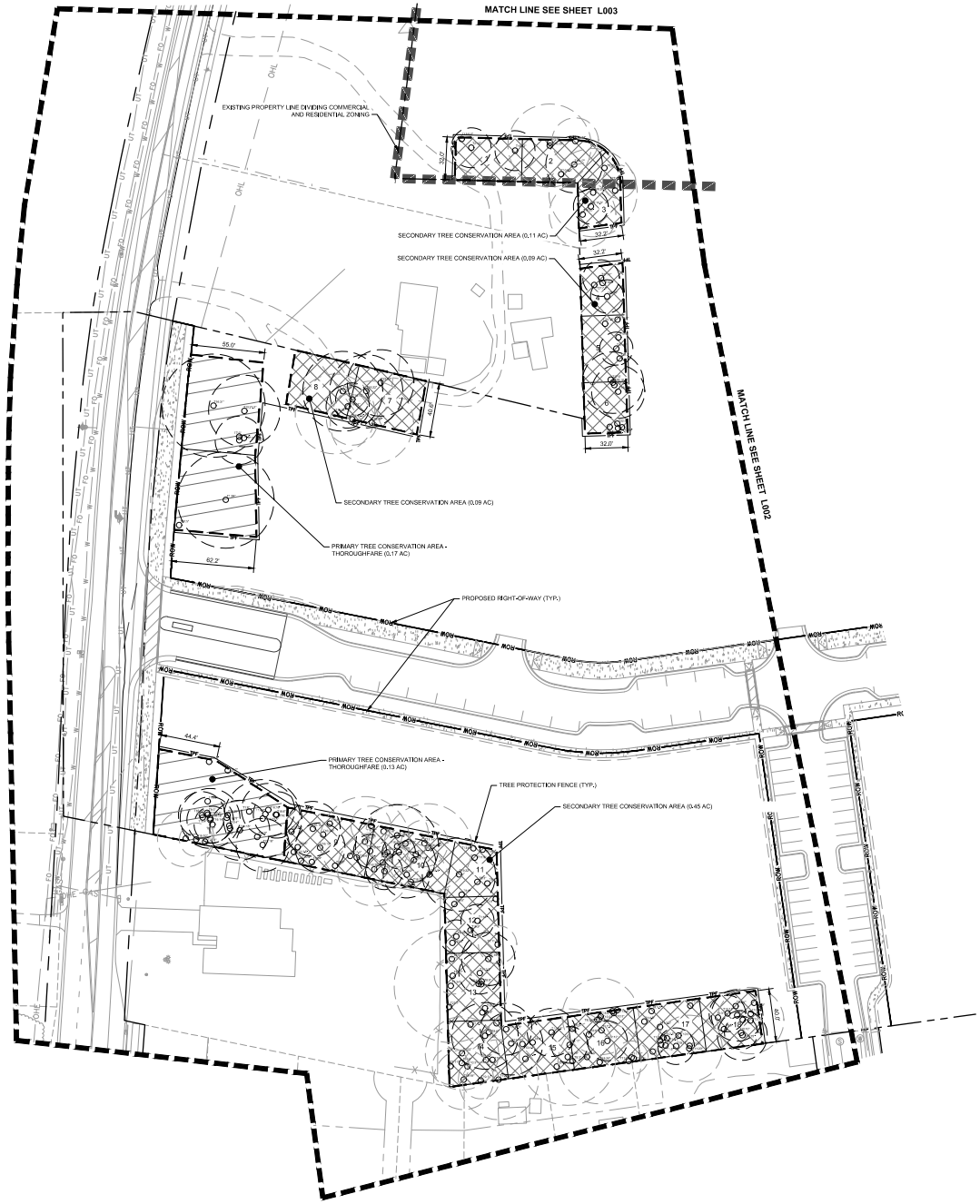

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GRAPHIC SCALE IN FEET
0 20 40 80

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300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540
PHONE: 984-275-5659
WWW.KIMLEYHORN.COM
NC LICENSE #F-0102

PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY
CHECKED BY KLW

TREE CONSERVATION PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
L001

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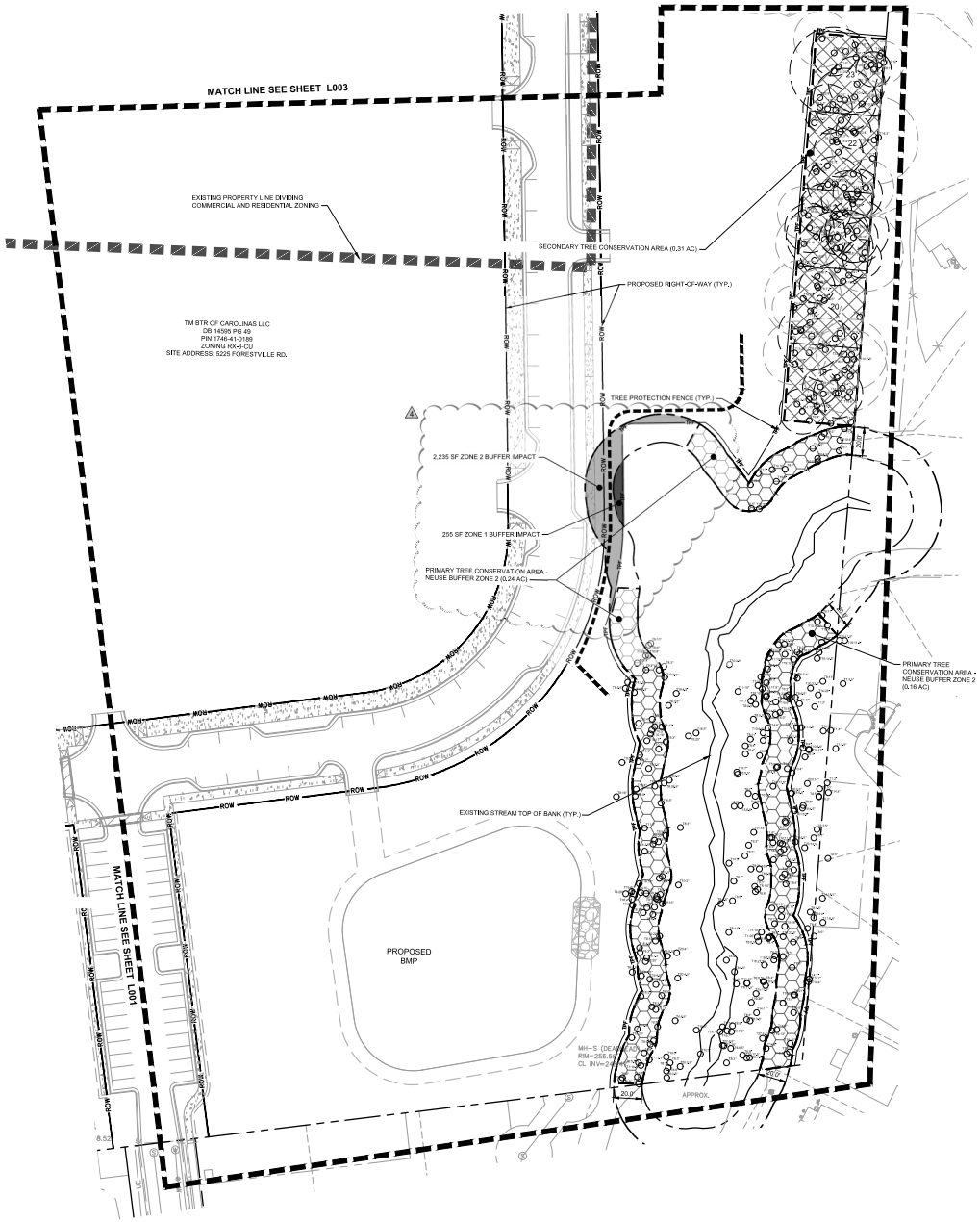

TREE SURVEY LEGEND	
Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pignut hickory
T5	pecan
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	tulip poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TPF — TREE PROTECTION FENCE
- LOD — LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

GRAPHIC SCALE IN FEET 0 20 40 80

NORTH

811 Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
A	CITY COMMENTS	02/06/2024	SML
B	CITY COMMENTS	01/05/2024	SML
C	CITY COMMENTS	10/26/2023	SML
D	CITY COMMENTS	07/26/2023	JMC

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TREE CONSERVATION PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L002

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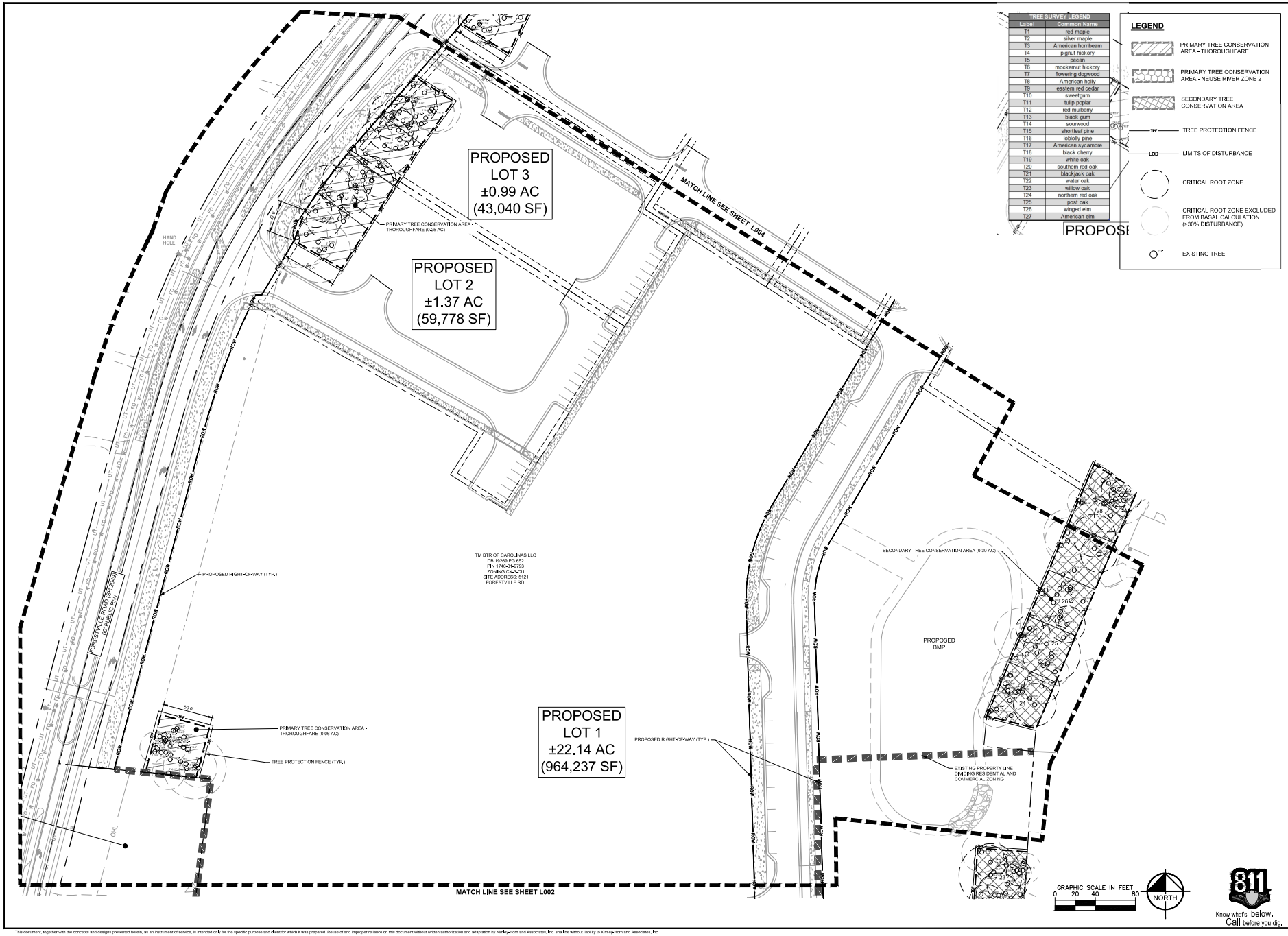

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Label	Common Name
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T5	pecan
T6	mockernut hickory
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T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	tulip poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TPF — TREE PROTECTION FENCE
- LOD — LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	10/20/2023	SML
4	CITY COMMENTS	07/26/2023	JMC

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CHECKED BY KLW

TREE CONSERVATION PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L003

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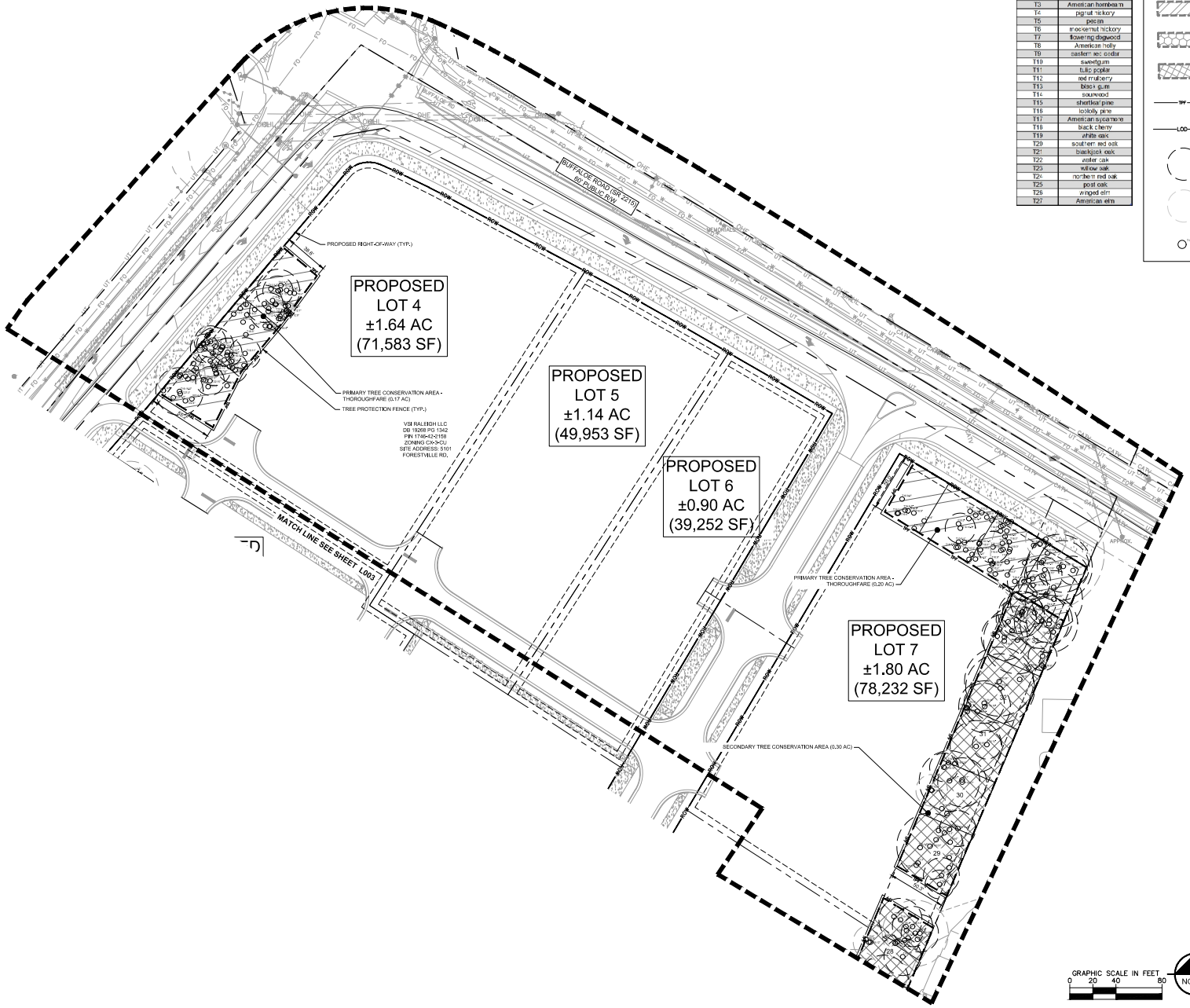

TREE SURVEY LEGEND	
Label	Common Name
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T13	black gum
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T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TPF — TREE PROTECTION FENCE
- LOD — LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

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No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	01/05/2023	SML
4	CITY COMMENTS	07/26/2023	JMC

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PRELIMINARY
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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY
CHECKED BY KLW

TREE CONSERVATION PLAN

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L004

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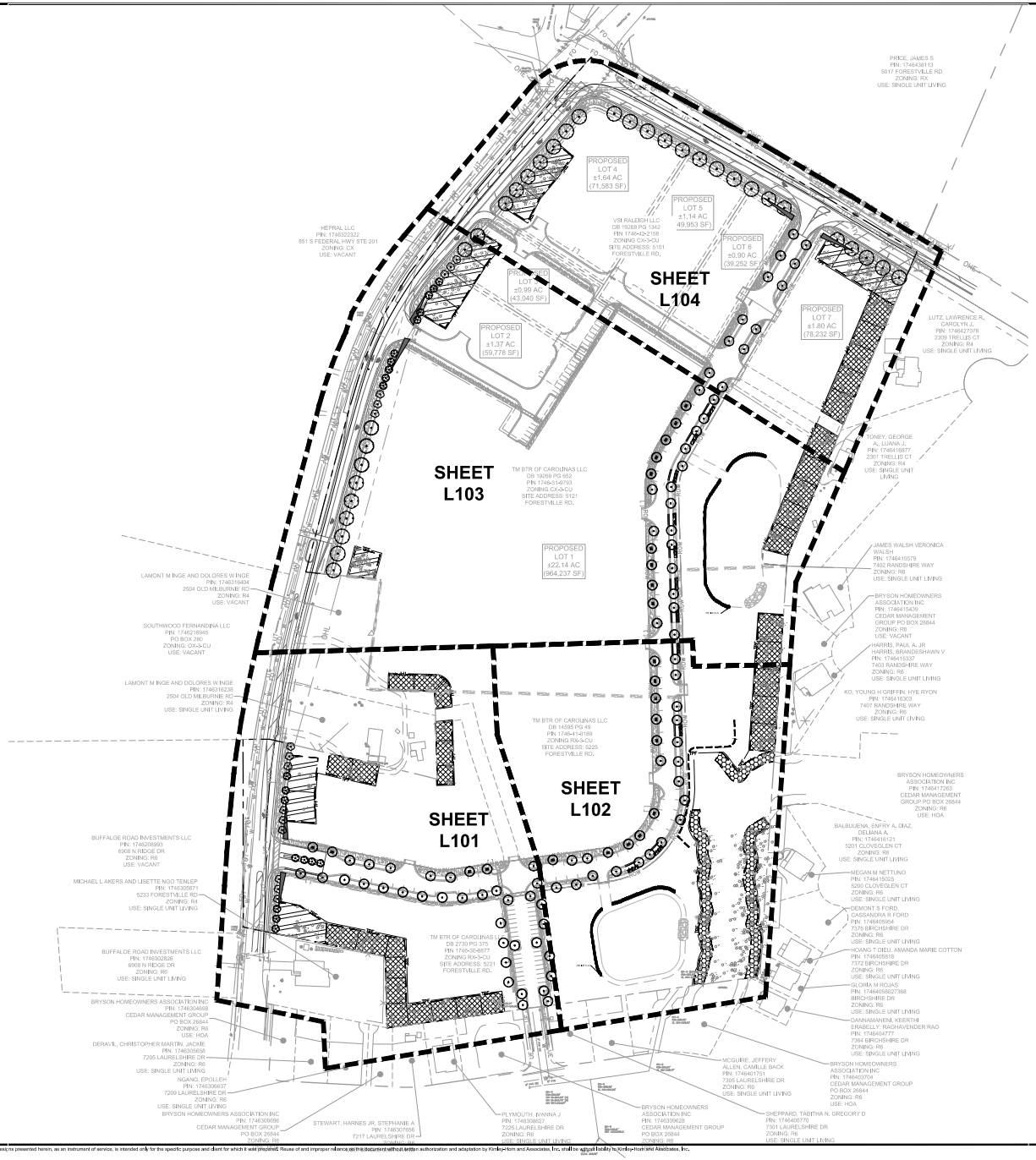

GROUNDCOVER NOTES:

1. ESTABLISH SOD IN ALL DISTURBED AREAS. SEE SPECIFICATIONS FOR MORE INFORMATION.
2. ALL AREAS WITH PROPOSED LANDSCAPE MATERIAL SHALL RECEIVE A MINIMUM THREE (3) INCHES OF SHREDDED HARDWOOD MULCH. SEE LANDSCAPE PLAN FOR MULCH BOUNDARY LINES. SEE LANDSCAPE DETAILS FOR TYPICAL MULCH AREA DIMENSIONS.

- NEUSE RIVER BUFFER CONSERVATION AREA
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA

GENERAL NOTES:

1. PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.
2. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL
3. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03

GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
4	CITY COMMENTS	02/06/2024	SML
3	CITY COMMENTS	01/05/2024	SML
2	CITY COMMENTS	07/26/2023	JMC
1	CITY COMMENTS	07/26/2023	JMC

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KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

OVERALL LANDSCAPE PLAN

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

SHEET NUMBER
L100

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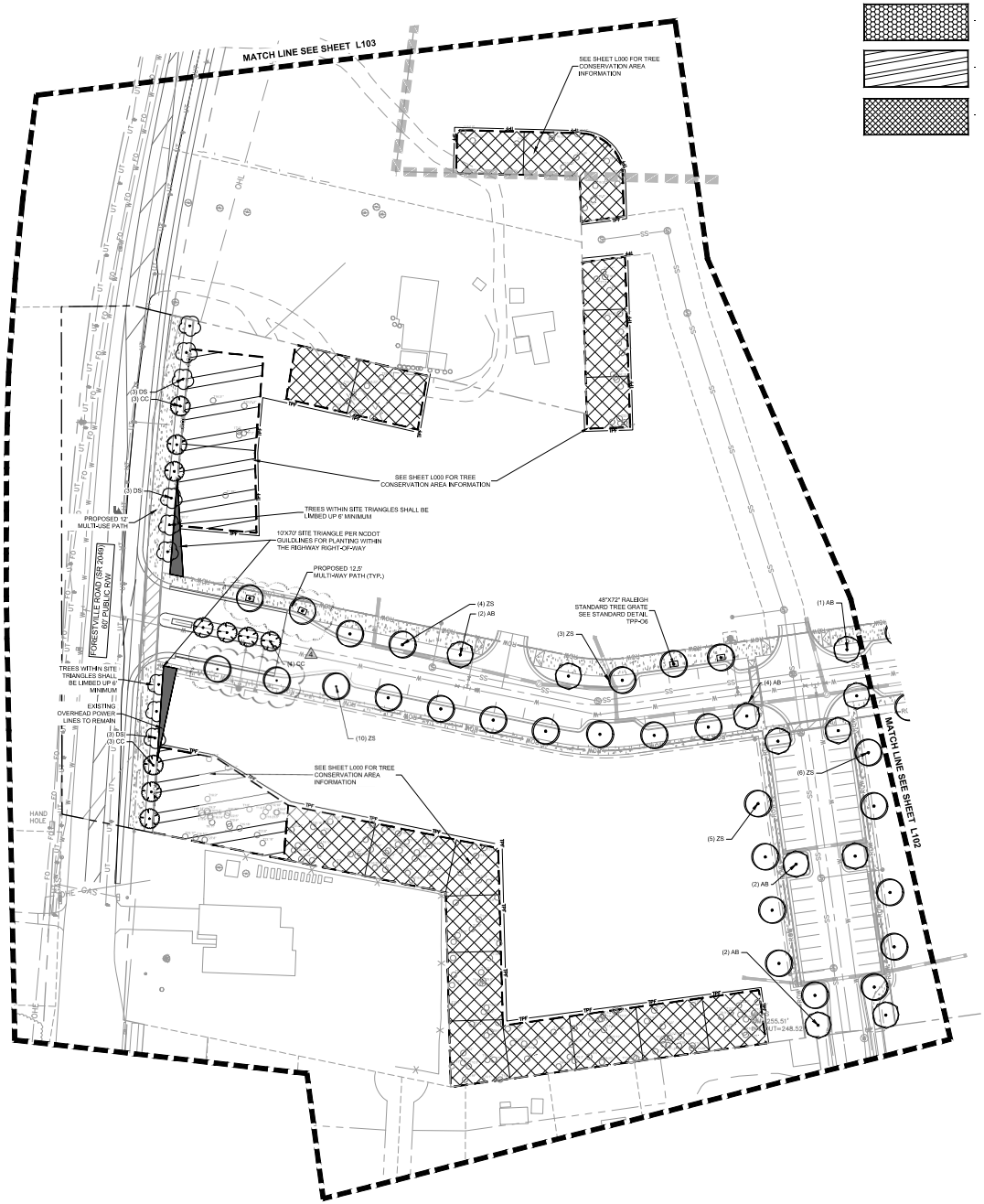
Plotted By:Lanson, Sydney Sheet Set:Yardly Buffaloe Village Layout:L100 February 06, 2024 03:21:59pm K:\CHL_RR\017270019 Yardly-Morrison\019 Raleigh-Buffaloe\02-CIVIL\Plan Sheets\7.0 - L100-LANDSCAPE.dwg



- NEUSE RIVER BUFFER CONSERVATION AREA
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA

PLANT SCHEDULE L101

TREES	QTY	BOTANICAL NAME	COMMON NAME
	12	ACER BUERGERIANUM	TRIDENT MAPLE
	14	CERCIS CANADENSIS	EASTERN RED BUD
	9	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY
	28	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA

GENERAL NOTES:

1. PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.

GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

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No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	07/25/2023	SML
4	CITY COMMENTS	07/26/2023	JMC

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LANDSCAPE PLANS

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L101

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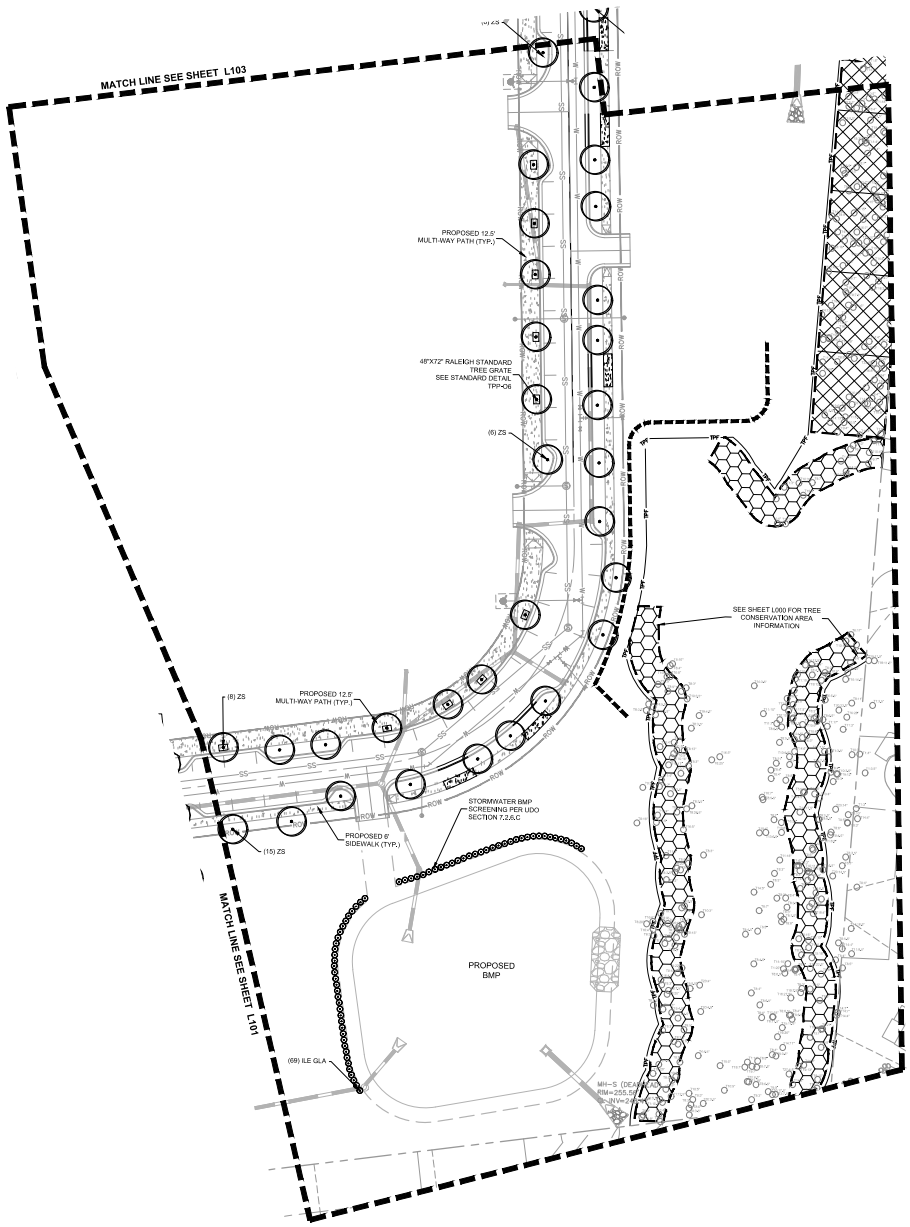

NEUSE RIVER BUFFER CONSERVATION AREA

PRIMARY TREE CONSERVATION AREA

SECONDARY TREE CONSERVATION AREA

PLANT SCHEDULE L102

TREES	QTY	BOTANICAL NAME	COMMON NAME
	29	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
	69	ILEX GLABRA	INKBERRY HOLLY

GENERAL NOTES:

1. PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.

GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

811 Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	07/26/2023	SML
4	CITY COMMENTS	07/26/2023	JMC

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DATE 02/06/24
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CHECKED BY KLW

LANDSCAPE PLANS

YARDLY BUFFALOE VILLAGE

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L102

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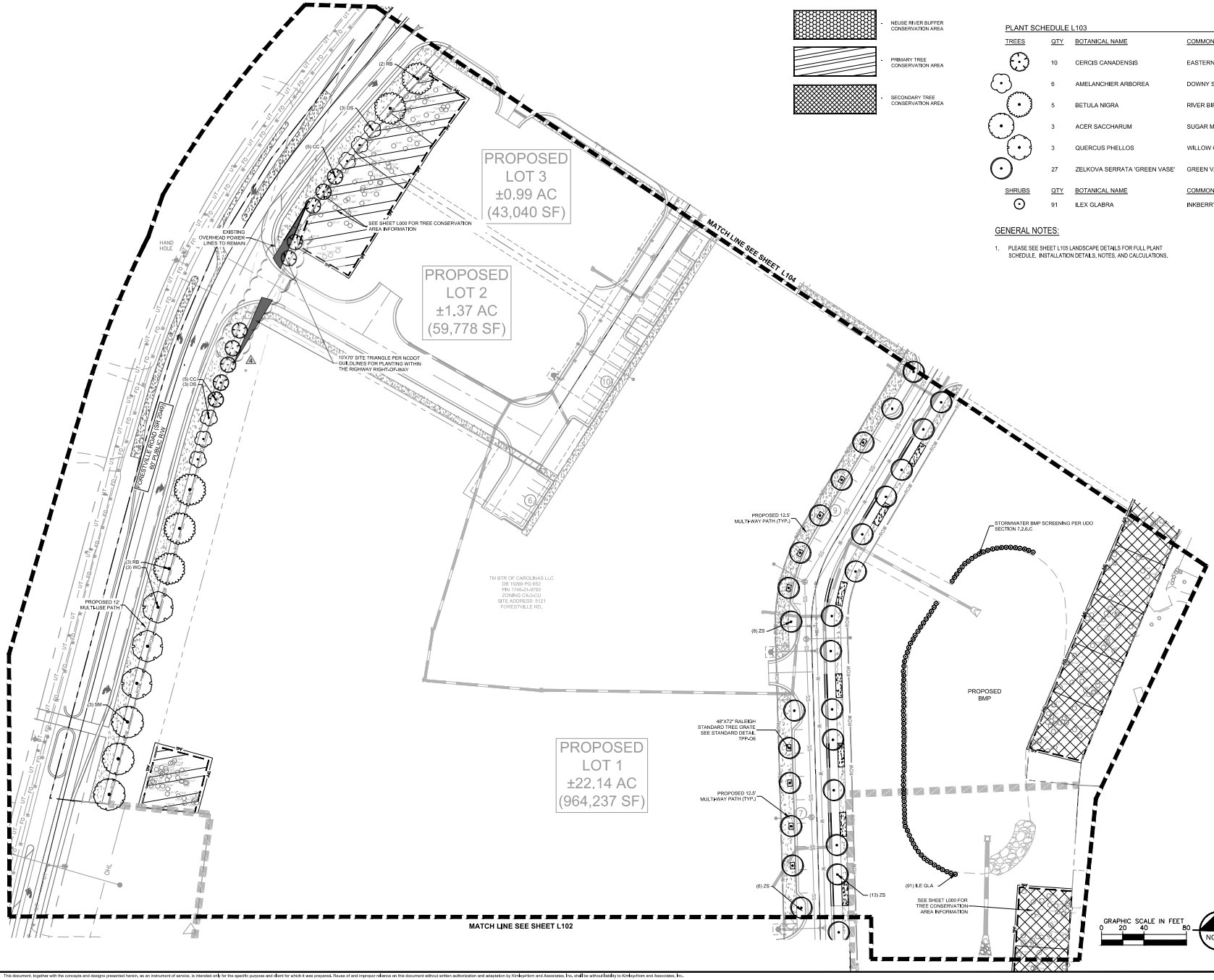
Plotted By: Brian Smith, Sydney - Sheet: E:\Architect\1\Buffaloe Village - Layout\L102 - Plan Sheet - Landscape Buffaloe Village.dwg - Layout: L102 - Date: 2/6/2024 - 10:25:22 AM



PLANT SCHEDULE L103

TREES	QTY	BOTANICAL NAME	COMMON NAME
	10	CERCIS CANADENSIS	EASTERN RED BUD
	6	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY
	5	BETULA NIGRA	RIVER BIRCH
	3	ACER SACCHARUM	SUGAR MAPLE
	3	QUERCUS PHELLOS	WILLOW OAK
	27	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
	91	ILEX GLABRA	INKBERRY HOLLY

GENERAL NOTES:

1. PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.

No.	REVISIONS	DATE	BY
4	CITY COMMENTS	02/06/2024	SML
3	CITY COMMENTS	01/05/2024	SML
2	CITY COMMENTS	10/20/2023	SML
1	CITY COMMENTS	07/26/2023	JMC

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LANDSCAPE PLANS

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L103

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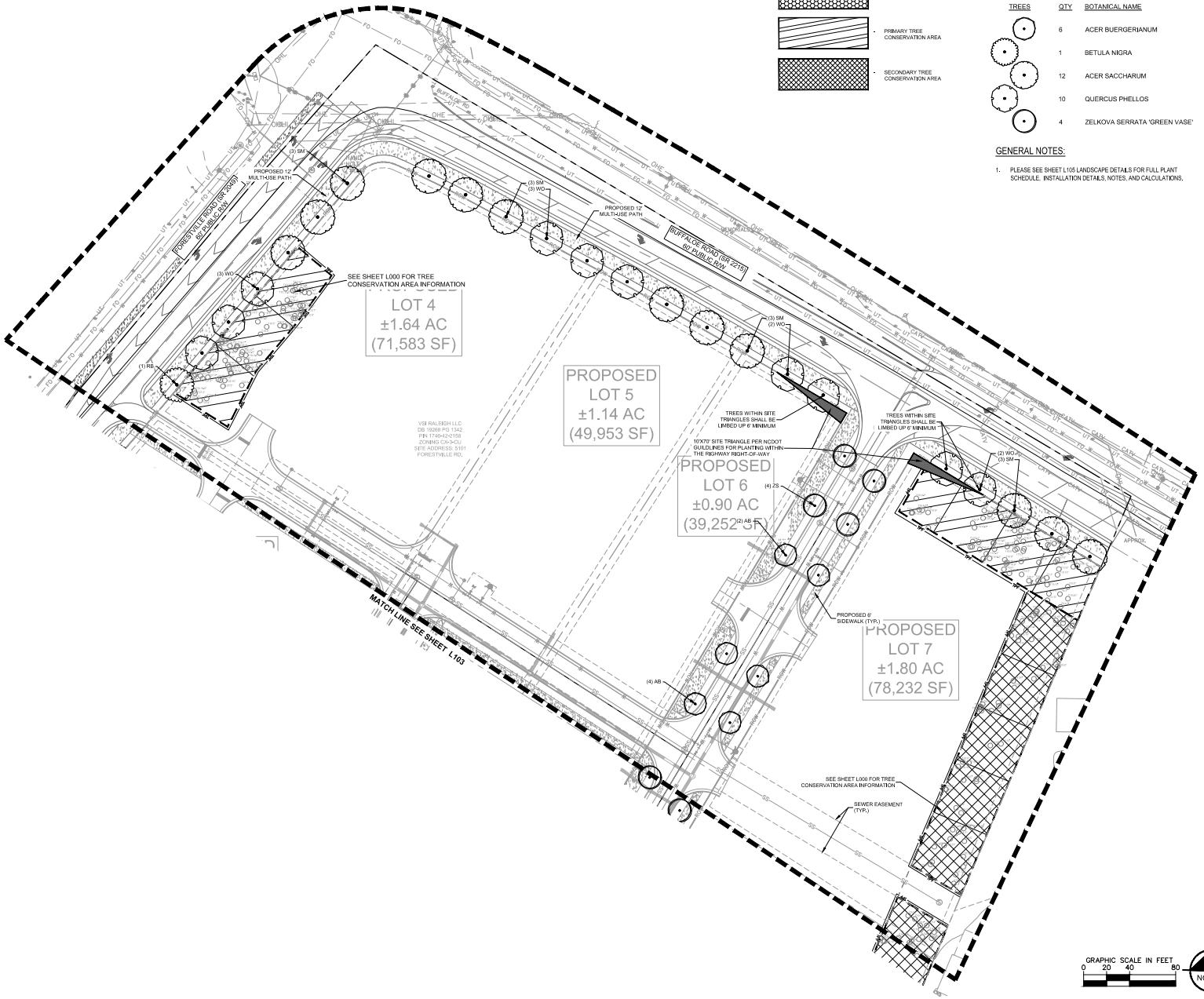
Drafted by:Lennon, Sydney Sheet Set:Yardly Buffaloe Village Layout:L103 February 06, 2024 03:22:18pm K:\CHL_RR\017270\Yardly-Morrisson\019 Raleigh-Buffaloe\02-CIVIL\Plan\Sheets\7.0 L-100-LANDSCAPE.dwg



PLANT SCHEDULE L104

TREES	QTY	BOTANICAL NAME	COMMON NAME
	6	ACER BUERGERIANUM	TRIDENT MAPLE
	1	BETULA NIGRA	RIVER BIRCH
	12	ACER SACCHARUM	SUGAR MAPLE
	10	QUERCUS PHELLOS	WILLOW OAK
	4	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA

GENERAL NOTES:

1. PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.

No.	REVISIONS	DATE	BY
1	CITY COMMENTS	02/06/2024	SML
2	CITY COMMENTS	01/05/2024	SML
3	CITY COMMENTS	6/05/2023	SML
4	CITY COMMENTS	07/26/2023	AMC

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LANDSCAPE PLANS

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YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L104

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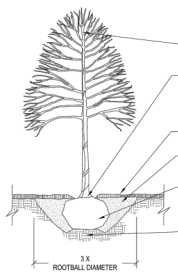
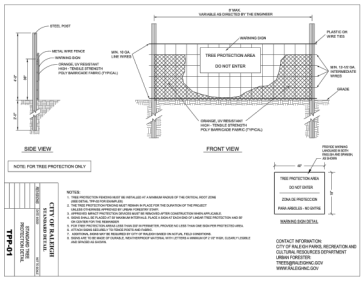


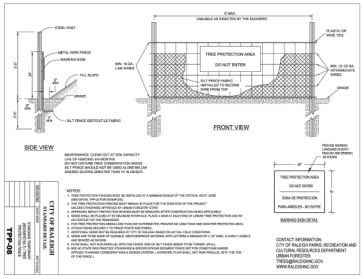
CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT | URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
4. A TREE IMPACT PERMIT IS REQUIRED.
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL	
REVISIONS: 10/20/19	NOT TO SCALE
TREE PLANTING DETAIL	
TPP-03	

1 TYPICAL TREE PLANTING
L105 SCALE: N.T.S. DETAIL





2 TYPICAL TREE PROTECTION FENCING
L105 SCALE: N.T.S. DETAIL

PLANT SCHEDULE

SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL	HEIGHT
	17	ACER BUERGERIANUM	TRIDENT MAPLE	3" CAL.	B&B	12'-14' HT.
	15	ACER SACCHARUM	SUGAR MAPLE	3" CAL.	B&B	12'-14' HT.
	13	QUERCUS PHELLOS	WILLOW OAK	3" CAL.	B&B	12'-14' HT.
	88	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	3" CAL.	B&B	12'-14' HT.

UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL	HEIGHT
	16	CERCIS CANADENSIS	EASTERN RED BUD	2" CAL.	B&B	8'-10' HT.
	15	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	2" CAL.	B&B	8'-10' HT.
	6	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	12'-14' HT.

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	
	160	ILEX GLABRA	INKBERRY HOLLY	3 GAL	24" FULL	48" o.c.

LANDSCAPE REQUIREMENTS & CALCULATIONS

Raleigh, NC

LANDSCAPE REQUIREMENTS

AREA	CODE REQUIREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	NOTES	SECTION
BUFFALOE RD. FORESTVILLE RD. PROPOSED PUBLIC RD.	**CANOPY TREES SPACED 40' (OC) AVG.** **UNDERSTORY TREES SPACED 20'(OC) AVG.**	BUFFALOE ROAD: 650 LF FORESTVILLE ROAD: 1,305 LF YARDLY VILLAGE LANE: 2,110 LF VINERY LANE: 230 LF	**BUFFALOE ROAD: 16 SHADE** **FORESTVILLE ROAD: 12 SHADE & 37 UNDERSTORY** **YARDLY VILLAGE LANE: 89 SHADE** **VINERY LANE: 16 SHADE**	STREET TREES PLANTED NO MORE THAN 40' (CANOPY) OR 20' (UNDERSTORY) ON CENTER	*Section 8.5.5*

STABILIZATION NOTES:

1. PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE AS HATCHED ON THE LANDSCAPE PLAN.
2. SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ON-SITE PRIOR TO PLANTING TO CONFIRM PROPER SOIL AMENDMENTS.
3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
4. IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO SODDING ACTIVITY.

ATTENTION CONTRACTOR/LANDSCAPER

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 704-336-3599 OR THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY CONFLICTS REGARDING SITE, SIGNS, OVERHEAD POWERLINES OR OTHER UTILITIES. NOTE: NO LIGHT/UTILITY POLES TO BE PLACED IN ISLANDS WITH NEWLY PLANTED TREES.

GENERAL LANDSCAPE NOTES:

1. THE CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE JOB, AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION REQUIREMENTS PRIOR TO BIDDING. CONTRACTOR SHALL RECYCLE OR DISPOSE OF WASTE PRODUCTS AND PLANT CONTAINERS OFF-SITE IN A RESPONSIBLE MANNER.

2. PERMITS AND FEES REQUIRED FOR WORK MUST BE OBTAINED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.

3. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT PLANTS, FACILITIES & STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER. ADJACENT STREETS & SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD & DUST-FREE.

4. EXISTING UTILITIES SHOWN ON LANDSCAPE DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE & VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER & THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.

5. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE OWNER IMMEDIATELY FOR CLARIFICATION.

6. UTILITY MANHOLE COVERS AND ACCESS BOX COVERS ARE TO BE LOCATED ENTIRELY WITHIN A PLANTED AREA OR A PAVED AREA, AND CLEAR OF ALL FENCE LINES. IF ANY CONDITION ARISES WHERE A UTILITY COVER IS TO CROSS A BOUNDARY OR FENCE LINE, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

9. ALL EXISTING SIGNAGE TO REMAIN TO BE PROTECTED IN PLACE OR STOCKPILED AND REINSTALLED UPON COMPLETION OF WORK UNLESS OTHERWISE NOTED OR SPECIFIED.

10. PLANT SPECIES ARE SELECTED FOR HARDINESS IN LOCAL CLIMATE. PERMANENT IRRIGATION IS NOT PART OF THIS CONTRACT. PLANTS ARE TO BE WATERED BY CONTRACTOR DURING ESTABLISHMENT PERIOD.

12. IF CONTRACTOR IS UNABLE TO LOCATE/PURCHASE ANY OF THE SPECIFIED PLANT MATERIAL LISTED, THE CONTRACTOR SHALL SUBMIT ANY SPECIES ALTERNATIVES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.

13. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

14. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.

PLANTING NOTES:

(SEE PLANTING PLAN)

1. ALL PLANTS PROVIDED BY CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.

2. ALL PLANTS ARE TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.

3. ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 3 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.

4. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH OWNER PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE PLANT SCHEDULE) AT THE NURSERY FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING PLANTS.

5. OWNER SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE OWNER.

6. ALL PLANTS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC, SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.

7. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE BEFORE PLANTING.

8. ALL LANDSCAPE AREAS TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN AND DRAINAGE PLANS FOR SPECIFIC GRADING INFORMATION AND PIPE INVERTS.

9. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.

10. ALL SHRUB, GROUND COVER & ANNUAL PLANTING BEDS SHALL BE FILLED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.

11. FINISH OFF 2' - 4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND ROOT FLARE.

12. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL COMPLETION OF WORK.

13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO COMPLETION OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET PLANT SPECIFICATIONS.

14. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.

15. EXISTING PLANT MATERIAL MAY BE USED TO SATISFY PERIMETER PARKING ISLAND REQUIREMENTS. EXISTING MATERIAL MUST BE IN ADEQUATE HEALTH AND MEET SIZE AND SPECIES REQUIREMENTS AS LISTED IN THE CITY OF RALEIGH UDO TO BE COUNTED. PLANT MATERIAL SHOWN ON SHEET C7.0 AS PERIMETER ISLAND PLANTINGS REPRESENT THE CORRECT NUMBER OF PLANTS TO SATISFY PERIMETER ISLAND REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO FLAG ADEQUATE PLANT MATERIAL TO PRESERVE, PRIOR TO LANDSCAPE INSTALLATION.

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No.	REVISIONS	DATE	BY
4	CITY COMMENTS	02/06/2024	SML
3	CITY COMMENTS	01/05/2024	SML
2	CITY COMMENTS	10/20/2023	SML
1	CITY COMMENTS	07/26/2023	AKC

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NC LICENSE #F-0102

PRELIMINARY NOT FOR CONSTRUCTION

KH PROJECT 017270019
DATE 02/06/24
SCALE AS SHOWN
DESIGNED BY MTH
DRAWN BY MTH
CHECKED BY KLW

LANDSCAPE DETAILS

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L105

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