



Administrative Approval Action

Case File / Name: SUB-0035-2023
DSLCL - Running Fox Townhomes

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** The 13.20 acre site (PIN 0779501481) is located on the southern extension of Running Fox Ln, south of the intersection of Kendall Ridge Ct and Running Fox Ln. This site is within Durham County and inside the Raleigh City Limits.
- REQUEST:** Development to subdivide a property zoned R-6-CU into 72 Townhome lots in addition to 5 HOA common lots. A total of 77 lots will be created. Public streets and infrastructure will be extended throughout the site. The eastern boundary will have a bicycle and pedestrian access pathway/easement, stream buffer, and a tree conservation area. Existing buildings on site will be demolished.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 18, 2024 by Eastwood Homes.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Retaining Wall Permits: Prior to Site Permit Review approval retaining walls will be permitted separately
2. The SPR plan set shall include the following note on the cover sheet and the site plan sheet. "The proposed 10' wide trail as required by Zoning Ordinance (2023) 471 ZC 853 and as shown on the preliminary subdivision plan shall be constructed prior to issuance of any certificate of occupancy associated with this development."

Public Utilities

3. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.
4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
5. Review and revise plans with the recommendations in the SUB-0035-2023 case.



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Stormwater

6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

9. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The bicycle and greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
2. Street names for this development shall be approved by the Raleigh GIS Division and by the Cour
3. Provide documentation indicating a Property Owner's Association has been established for the subject development.
4. A demolition permit shall be issued and this building permit number shown on all maps for recording.
5. The final subdivision map shall be reviewed by both the City of Raleigh review officer and the Durham County review officer before being recorded in the Durham County registry. A copy of the recorded subdivision map shall be returned to the City of Raleigh.
6. The 20' x 110' Fire Access easement as shown on the preliminary plan shall be shown on all final plats for recording.

Engineering



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7. A pedestrian and bicycle deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Durham County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
9. A sight distance easement shall be approved by the Transportation Department for recording in the Durham County Registry and shown on a plat approved for recordation.
10. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Durham County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
11. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Durham County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

12. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
13. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
14. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.



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15. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
16. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
17. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
18. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.65 acres of tree conservation area.
20. A public infrastructure surety for 26 street trees along Running Fox Ln, 46 street trees along Aberdeen Chase Way, 6 street trees along Huntley Chase Way, totaling 78 street trees. shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Durham County Register of Deeds office for all utility easement dedications.

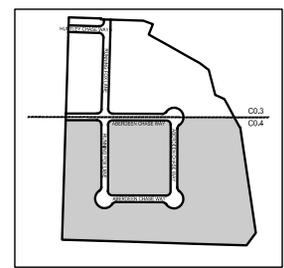
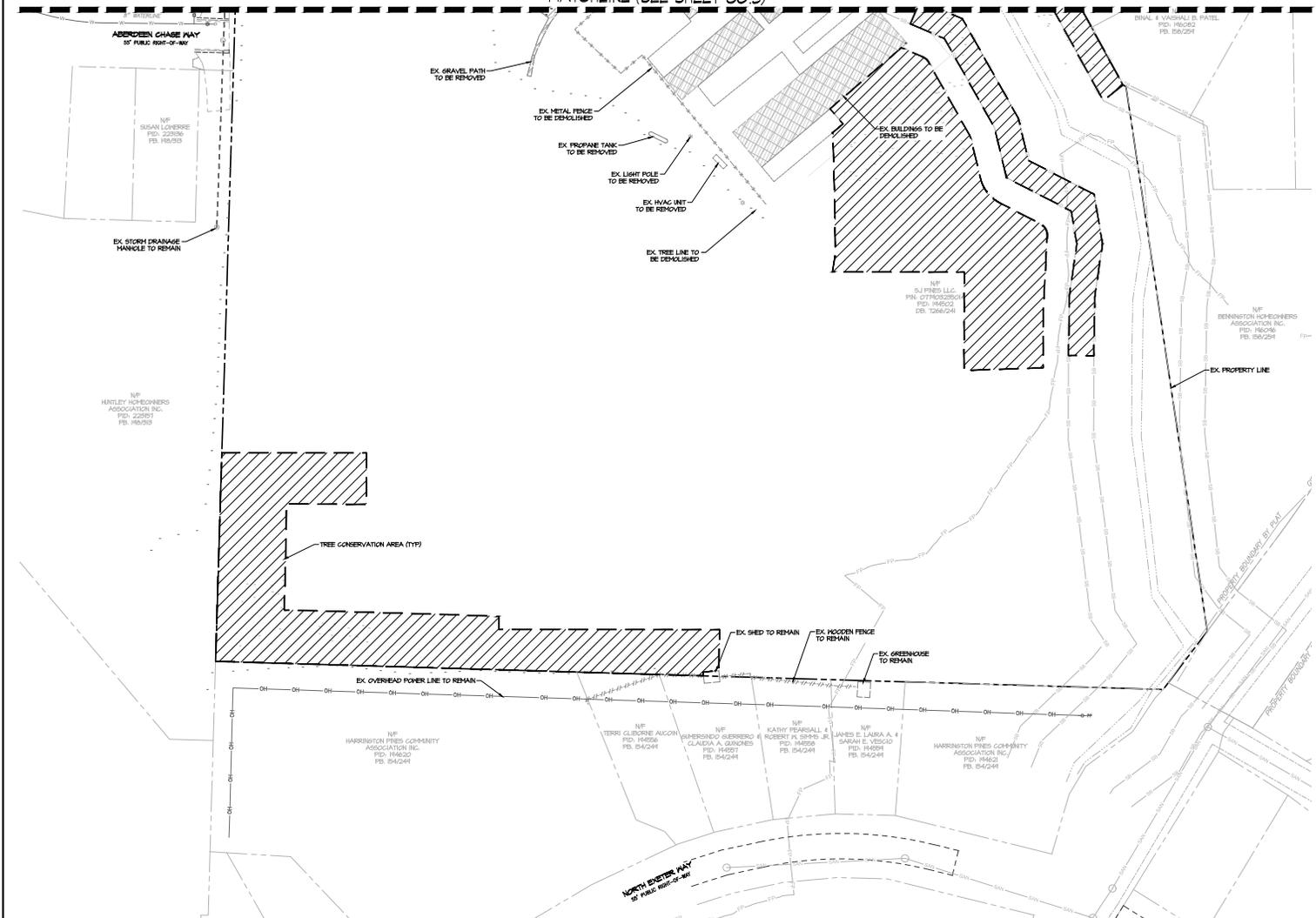
Stormwater

2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 26 street trees along Running Fox Ln, 46 street trees along Aberdeen Chase Way, 6 street trees along Huntley Chase Way.
4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

MATCHLINE (SEE SHEET CO.3)



KEY PLAN
NOT TO SCALE

TREE AREA LEGEND



LEGEND

- PR. RIGHT OF WAY
- PR. LIGHT RAIL PARCEL LINE
- PR. BUILDING FOOTPRINT
- PR. EASEMENT
- PR. CURB & GUTTER
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB RADIUS
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- EX. 5' CONTOUR
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 15' ANNUAL CHANCE FLOODPLAIN
- EX. STREAM BUTTER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. STREAM/POND
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATER LINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

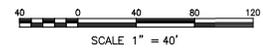
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCOT STANDARDS AND SPECIFICATIONS.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



Know what's below.
Call before you dig.

PROJECT YOURSELF, ONE SHIRT AT A TIME.
BEHIND ZERO ADVICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY CONSTRUCTION FOR UNDERGROUND UTILITY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE CITY OF RALEIGH'S UTILITIES REGULATIONS. THE CITY OF RALEIGH WILL BE RESPONSIBLE FOR THE RESULTS THERE TO APPEARANCE.



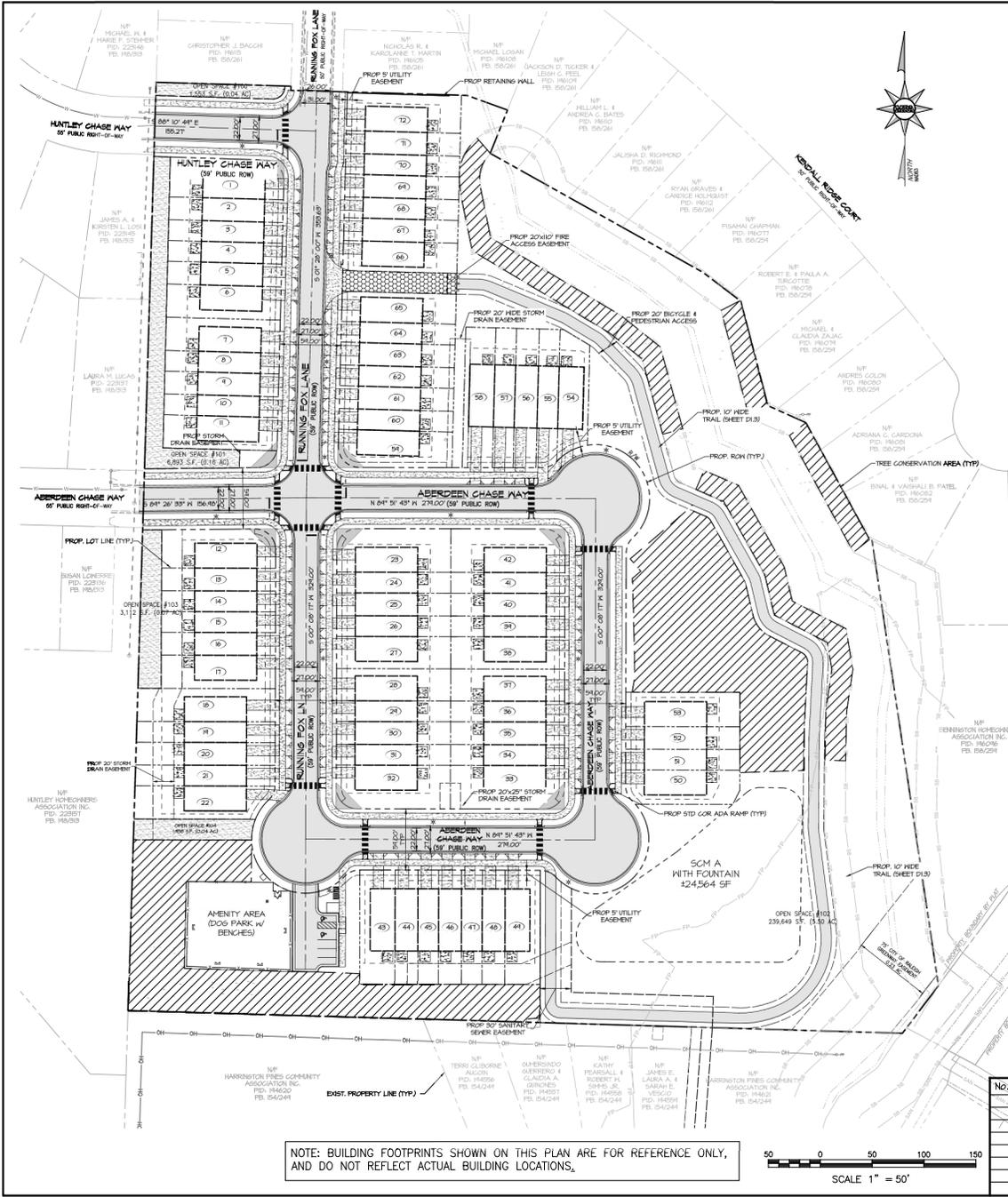
No.	DATE	REVISIONS



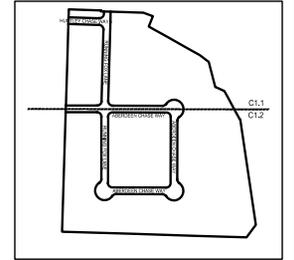
DEMOLITION PLAN SOUTH
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH, DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON FOND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
LICENSE # C-4182
WWW.MRANCA.ORG

STATUS: PRELIMINARY NOT FOR CONSTRUCTION SHEET: CO.4



LOT AREA TABLE			LOT AREA TABLE				
LOT #	AREA (SF)	AREA (AC)	MAX IMP(SF)	LOT #	AREA (SF)	AREA (AC)	MAX IMP(SF)
1	4,101	0.09	1,835	43	3,740	0.08	1,800
2	2,420	0.06	1,715	44	2,420	0.06	1,680
3	2,200	0.05	1,595	45	2,200	0.05	1,560
4	2,200	0.05	1,595	46	2,420	0.06	1,680
5	2,420	0.06	1,715	47	2,200	0.05	1,600
6	3,520	0.08	1,835	48	2,420	0.06	1,600
7	3,520	0.08	1,835	49	3,740	0.09	1,560
8	2,200	0.05	1,595	50	3,524	0.08	1,680
9	2,420	0.06	1,715	51	2,200	0.05	1,560
10	2,200	0.05	1,595	52	2,420	0.06	1,800
11	3,520	0.08	1,835	53	3,637	0.08	1,840
12	4,027	0.09	1,835	54	3,202	0.07	1,720
13	2,420	0.06	1,715	55	2,643	0.06	1,800
14	2,200	0.05	1,595	56	2,895	0.07	1,720
15	2,200	0.05	1,595	57	2,691	0.06	1,600
16	2,420	0.06	1,715	58	3,818	0.09	1,720
17	3,520	0.08	1,835	59	3,810	0.09	1,840
23	4,534	0.10	1,955	60	3,200	0.05	1,835
28	3,410	0.08	1,715	61	2,420	0.06	1,995
29	2,200	0.05	1,835	62	2,200	0.05	1,715
30	2,420	0.06	1,715	63	2,420	0.06	1,715
31	2,200	0.05	1,940	64	2,200	0.05	1,835
32	4,534	0.10	1,810	65	3,190	0.07	1,840
34	2,200	0.05	1,570	66	3,190	0.07	1,820
35	2,420	0.06	1,690	67	2,420	0.06	1,850
36	2,200	0.05	1,570	68	2,200	0.05	1,830
37	3,410	0.08	1,810	69	2,420	0.06	2,075
38	3,410	0.08	1,810	70	2,200	0.05	1,820
39	2,200	0.05	1,570	71	2,420	0.06	1,580
40	2,420	0.06	1,690	72	4,967	0.09	1,700
41	2,200	0.05	1,570				
42	4,534	0.10	1,810				



KEY PLAN
NOT TO SCALE

- TREE AREA LEGEND**
- TREE CONSERVATION AREA
 - OPEN SPACE AREA



Know what's below.
Call before you dig.

PROTECT YOURSELF AND YOUR BUSINESS. CALL 811 BEFORE YOU DIG. IT'S THE EASY WAY TO FIND OUT WHERE UNDERGROUND UTILITIES ARE LOCATED. IT'S THE ONLY WAY TO AVOID ACCIDENTS, INJURIES, AND DEATHS. IT'S THE ONLY WAY TO AVOID COSTLY DAMAGE TO YOUR BUSINESS AND PROPERTY.

- LEGEND**
- PROP. RIGHT OF WAY
 - PROP. LOT LINE/PARCEL LINE
 - PROP. SIDEWALK CENTERLINE
 - PROP. EASEMENT
 - PROP. BOUNDARY
 - PROP. CURB & GUTTER
 - PROP. RETAINING WALL
 - PROP. ROAD CENTER LINE
 - PROP. HEAVY DUTY PAVEMENT
 - PROP. LIGHT DUTY PAVEMENT

NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, DROP INLETS, ETC., AFFECT PLACEMENT. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALKS IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/FT (2.1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSLIP SURFACE. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
- ALL BUILDINGS ARE WITHIN 150 FEET OF ACCESS FOR DETERMINING FIRE APPARATUS COVERAGE.
- PUBLIC WATER SERVICE BY THE CITY OF RALEIGH.
- PUBLIC SEWER SERVICE BY THE CITY OF RALEIGH.
- UNIT SPACES DEFICIT THE PROPOSED RESIDENTIAL LOTS.
- GRASS PAVERS MAY BE USED WITHIN THE FIRE ACCESS EASEMENT AS AN ALTERNATIVE MEANS AND METHODS.
- ALL CURB RAMPS SHALL BE CITY OF RALEIGH TYPE N-2 UNLESS OTHERWISE NOTED. CURB RAMPS SHALL BE TIED INTO THE CURB AND SIDEWALK USING THE MOST RECENT CITY OF RALEIGH STANDARDS AND DETAILS.

SITE INFORMATION

SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ PINES, LLC P.O. BOX 12472 RETHEDA, MD 20827
FIN	077901481
SITE AREA	13.20 ACRES
CURRENT ZONING	R-1-U
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'

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NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

OVERALL SITE PLAN
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH, DURHAM COUNTY, NORTH CAROLINA

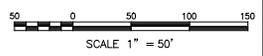
MORRIS & RITCHE ASSOCIATES OF NC, PC
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530 HIGHTON FOND ROAD, SUITE 104
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(919) 200-2109
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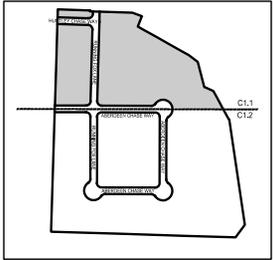
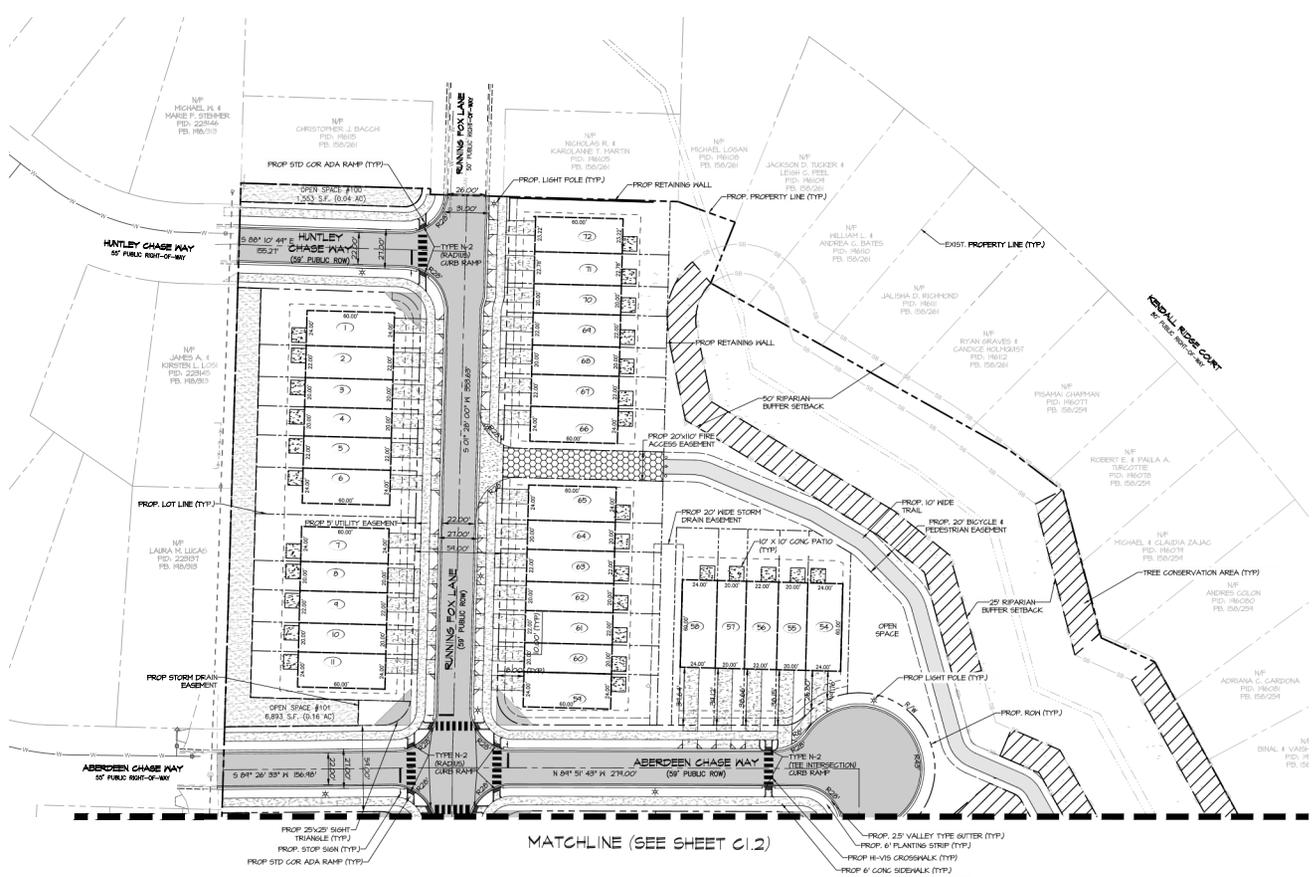


JOB NO.	21404
SCALE	AS SHOWN
DATE	04/14/23
ENGINEER	JES
DRAWN BY	RAJ
DESIGN BY	TAH
REVIEW BY	JBO

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION SHEET: **C1.0**

NOTE: BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, AND DO NOT REFLECT ACTUAL BUILDING LOCATIONS.





KEY PLAN
NOT TO SCALE

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. BUILDING SETBACK
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB ANCHORS
- PR. TREE PROTECTION FENCE
- PR. TRAILING
- PR. 1" CONTOUR
- PR. FIRE ACCESS EASEMENT
- PR. LIGHT POLE
- EX. 1" CONTOUR
- EX. 2" CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 12 ANNUAL CHANCE FLOODPLAIN
- EX. NON-TREAT METALDN
- EX. STREAM BUFFER
- EX. BUILDING
- EX. PAVEMENT/EDGE OF CUTTER
- EX. CURB
- EX. STREAM/POUND
- EX. WALK
- EX. TREE
- EX. STORM DRAIN
- EX. SAWTOOTH LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

MATCHLINE (SEE SHEET C1.2)

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
3. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, PROP. INLETS, ETC., AFFECT PLACEMENT. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/4" FT (0.1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
8. A 12" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ADJUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
10. ALL BUILDINGS ARE WITHIN 150 FEET OF ACCESS FOR DETERMINING FIRE APPARATUS COVERAGE.
11. PUBLIC WATER SERVICE BY THE CITY OF RALEIGH.
12. PUBLIC SEWER SERVICE BY THE CITY OF RALEIGH.
13. UNIT SPACES DEPCT THE PROPOSED RESIDENTIAL LOTS.
14. GRASS PAVERS MAY BE USED WITHIN THE FIRE ACCESS EASEMENT AS AN ALTERNATIVE MEANS AND METHODS.
15. ALL CURB RAMPS SHALL BE CITY OF RALEIGH TYPE N-2 UNLESS OTHERWISE NOTED. CURB RAMPS SHALL BE TIED INTO THE CURB AND SIDEWALK USING THE MOST RECENT CITY OF RALEIGH STANDARDS AND DETAILS.

NOTE: BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, AND DO NOT REFLECT ACTUAL BUILDING LOCATIONS.

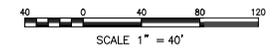
NOTE: CONTRACTOR SHALL USE 2.5' WIDE VALLEY CURB FOR THIS PROJECT. IN THE AREA OF CURB RAMPS, CONTRACTOR SHALL TRANSITION TO 6" W x 12" H UPRIGHT CURB AND TIE THEM INTO NEARBY DRIVEWAYS USING CITY OF RALEIGH DETAILS. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH DETAILS AND SPECIFICATIONS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SITE INFORMATION	
SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	51 PINES LLC, P.O. BOX 342472 BETHESDA, MD 20827
PI#	0779601481
SITE AREA	15320 ACRES
CURRENT ZONING	R-4-CU
PROPOSED ZONING	R-4-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERSEER DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'



PROTECT YOURSELF AND YOUR BUSINESS. THIS DRAWING DOES NOT INCLUDE NECESSARY COMMENTS OR CONSTRUCTION DETAILS. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE CONSTRUCTION AND INSPECTION ACT BY THE CONTRACTOR. THE CONTRACTOR HAS THE OBLIGATION TO VERIFY THE ACCURACY OF ALL INFORMATION BEFORE THE COMMENCEMENT OF ANY WORK.



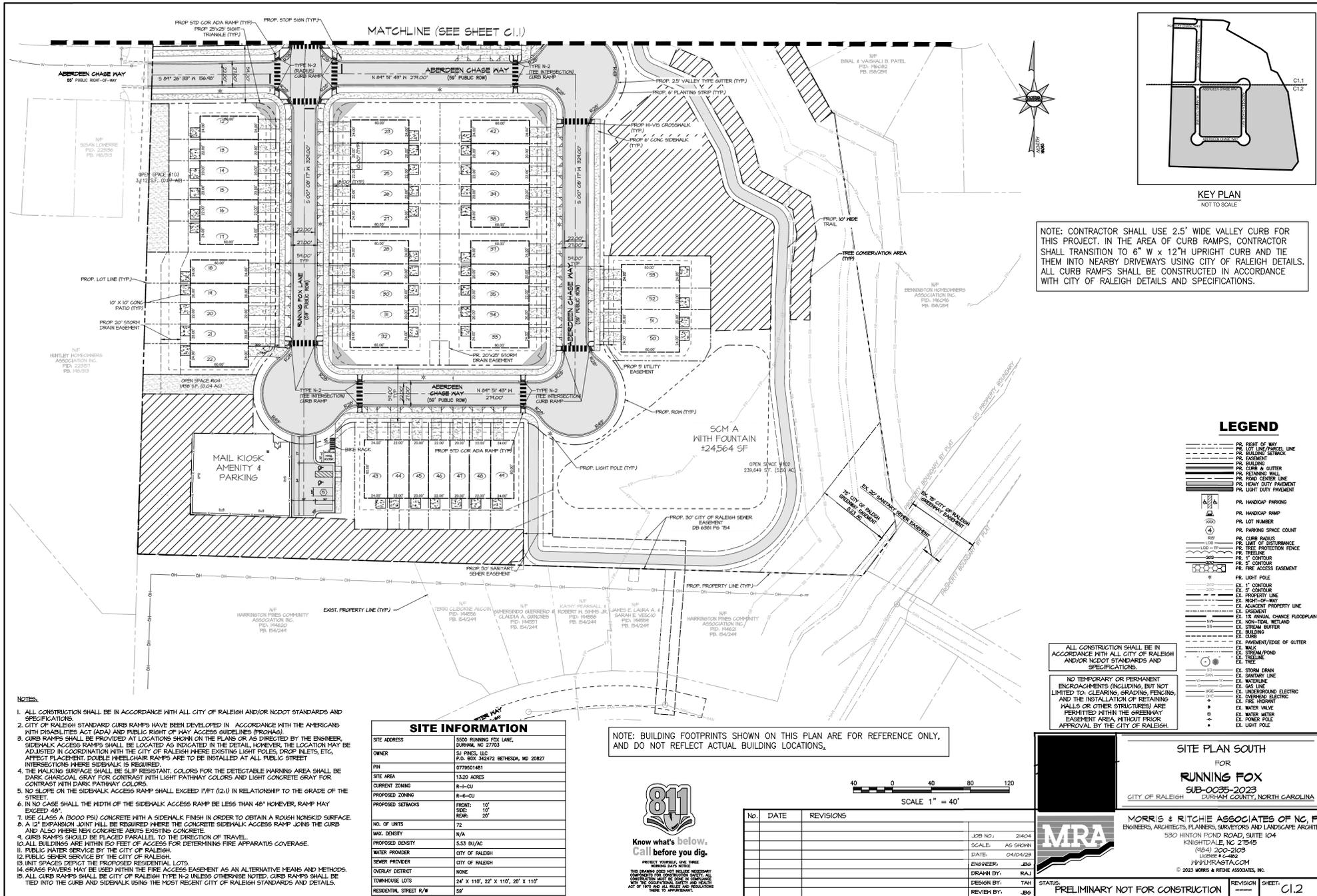
No.	DATE	REVISIONS



SITE PLAN NORTH
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON FOND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
LICENSE # C-482
WWW.MRANGA.COM
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STATUS: PRELIMINARY NOT FOR CONSTRUCTION
REVISION: ---
SHEET: C1.1



NOTE: CONTRACTOR SHALL USE 2.5' WIDE VALLEY CURB FOR THIS PROJECT. IN THE AREA OF CURB RAMPS, CONTRACTOR SHALL TRANSITION TO 6" W x 12" H UPRIGHT CURB AND TIE THEM INTO NEARBY DRIVEWAYS USING CITY OF RALEIGH DETAILS. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH DETAILS AND SPECIFICATIONS.

LEGEND

- PR. RIGHT OF WAY
- PR. BUILDING SETBACK
- PR. EASEMENT
- PR. BUILDING CURB & GUTTER
- PR. RETAINING WALL
- PR. DRIVE CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB SHOULDER
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE
- PR. 1' CONTOUR
- PR. 5' CONTOUR
- PR. FIRE ACCESS EASEMENT
- PR. LIGHT POLE
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 15' ANNUAL CHANCE FLOODPLAIN
- EX. NATIONAL METHOD
- EX. STREET BARRIER
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. STORM POND
- EX. TIE LINE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. WALK
- EX. TIE LINE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
 - CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
 - CURB RAMPS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, DROP INLETS, ETC. AFFECT PLACEMENT. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
 - THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
 - NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/8" (2.1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 - IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
 - USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE MEETS EXISTING CONCRETE.
 - CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
 - ALL BUILDINGS ARE WITHIN 50 FEET OF ACCESS FOR DETERMINING FIRE APPARATUS COVERAGE.
 - PUBLIC WATER SERVICE BY THE CITY OF RALEIGH.
 - SEWER SERVICE BY THE CITY OF RALEIGH.
 - UNIT SPACES DENOTE THE PROPOSED RESIDENTIAL LOTS.
 - PUBLIC SEWER SERVICE BY THE CITY OF RALEIGH.
 - GRASS PAVERS MAY BE USED WITHIN THE FIRE ACCESS EASEMENT AS AN ALTERNATIVE MEANS AND METHODS.
 - ALL CURB RAMPS SHALL BE CITY OF RALEIGH TYPE N-2 UNLESS OTHERWISE NOTED. CURB RAMPS SHALL BE TIED INTO THE CURB AND SIDEWALK USING THE MOST RECENT CITY OF RALEIGH STANDARDS AND DETAILS.

SITE INFORMATION

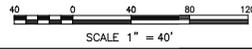
SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ PINES, LLC P.O. BOX 242472 RENEWA, NC 20827
FIN	0779201481
SITE AREA	13.50 ACRES
CURRENT ZONING	R-4-CU
PROPOSED ZONING	R-4-CU
PROPOSED SETBACKS	FRONT: 15' SIDE: 10' REAR: 25'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'

NOTE: BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, AND DO NOT REFLECT ACTUAL BUILDING LOCATIONS.



Know what's below. Call before you dig.

PROTECT YOURSELF, ONE STRIKE AT A TIME. THIS DRAWING DOES NOT INSURE NECESSARY PRECAUTIONS. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL REGULATIONS MADE THEREUNDER.



No.	DATE	REVISIONS



STATUS: PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN SOUTH
FOR
RUNNING FOX
SUB-0325-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON FOND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
LICENSE # C-482
WWW.MRANGAL.COM
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REVISION SHEET: **C1.2**

NOTE: BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, AND DO NOT REFLECT ACTUAL BUILDING LOCATIONS.



AMENITY CALCULATION	
AMENITY	SIZE
DOG PARK	8,081 SF (0.18 AC)
POND WITH FOUNTAIN	24,564 SF (0.56 AC)
TRAIL	27,730 SF (0.64 AC)
TOTAL	60,374 SF (1.38 AC)
PROJECT SIZE	574,992 SF (13.2 AC)
PERCENTAGE OF PROJECT	10.4%

NOTE: HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING THE OPEN SPACE AREAS AND PAVED TRAIL.

LEGEND

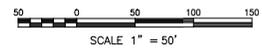
- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. BUILDING SETBACK
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB BANKS
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. FENCE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. FIRE ACCESS EASEMENT
- PR. LIGHT POLE
- EX. 1' CONTOUR
- EX. 2' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 1% ANNUAL CHANCE FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. ADJACENT/EDGE OF GUTTER
- EX. MAIL/PO BOX
- EX. TRAILING
- EX. TRAILING
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCOT STANDARDS AND SPECIFICATIONS.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



Call before you dig.



No.	DATE	REVISIONS

AMENITY PLAN
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

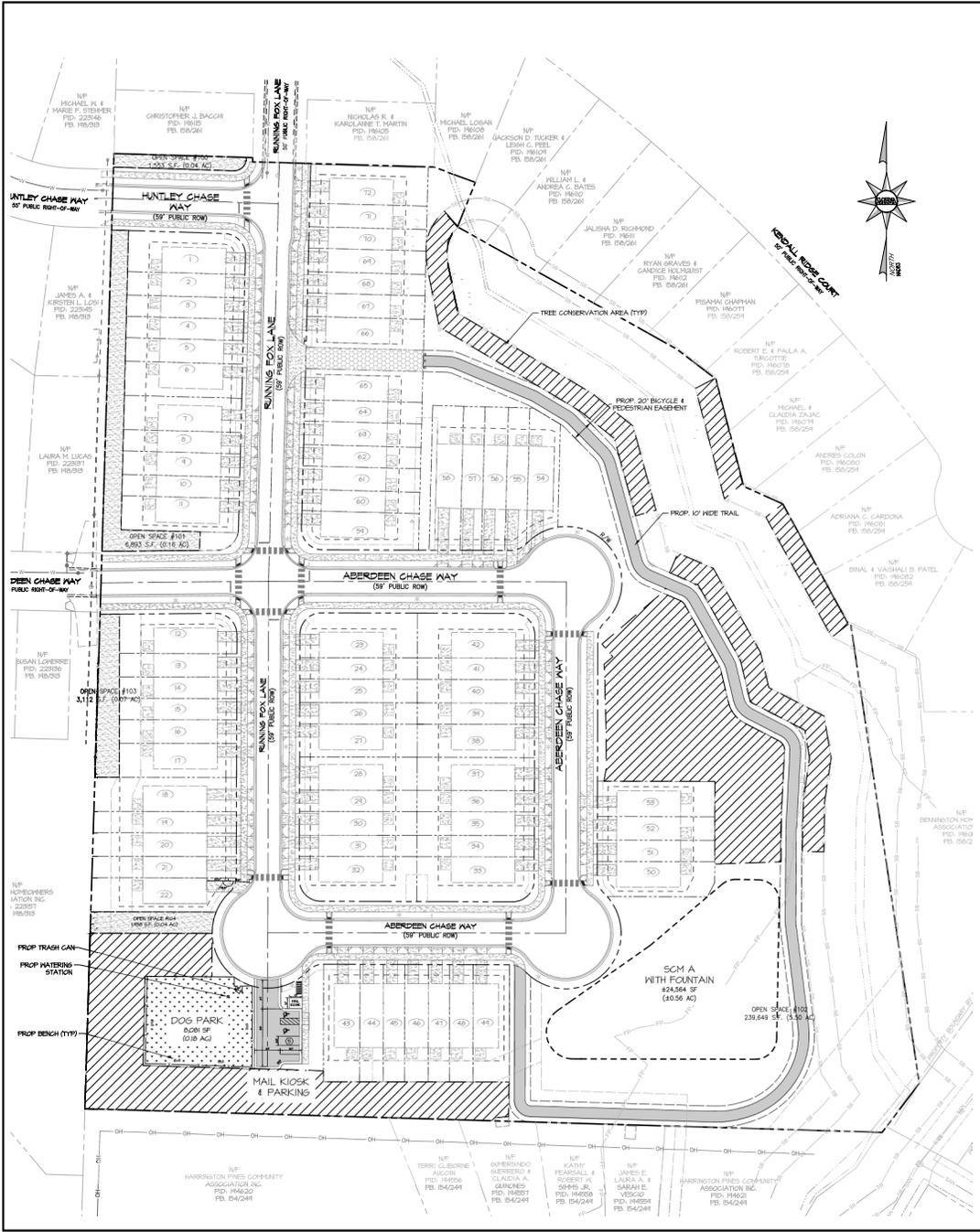
MRA

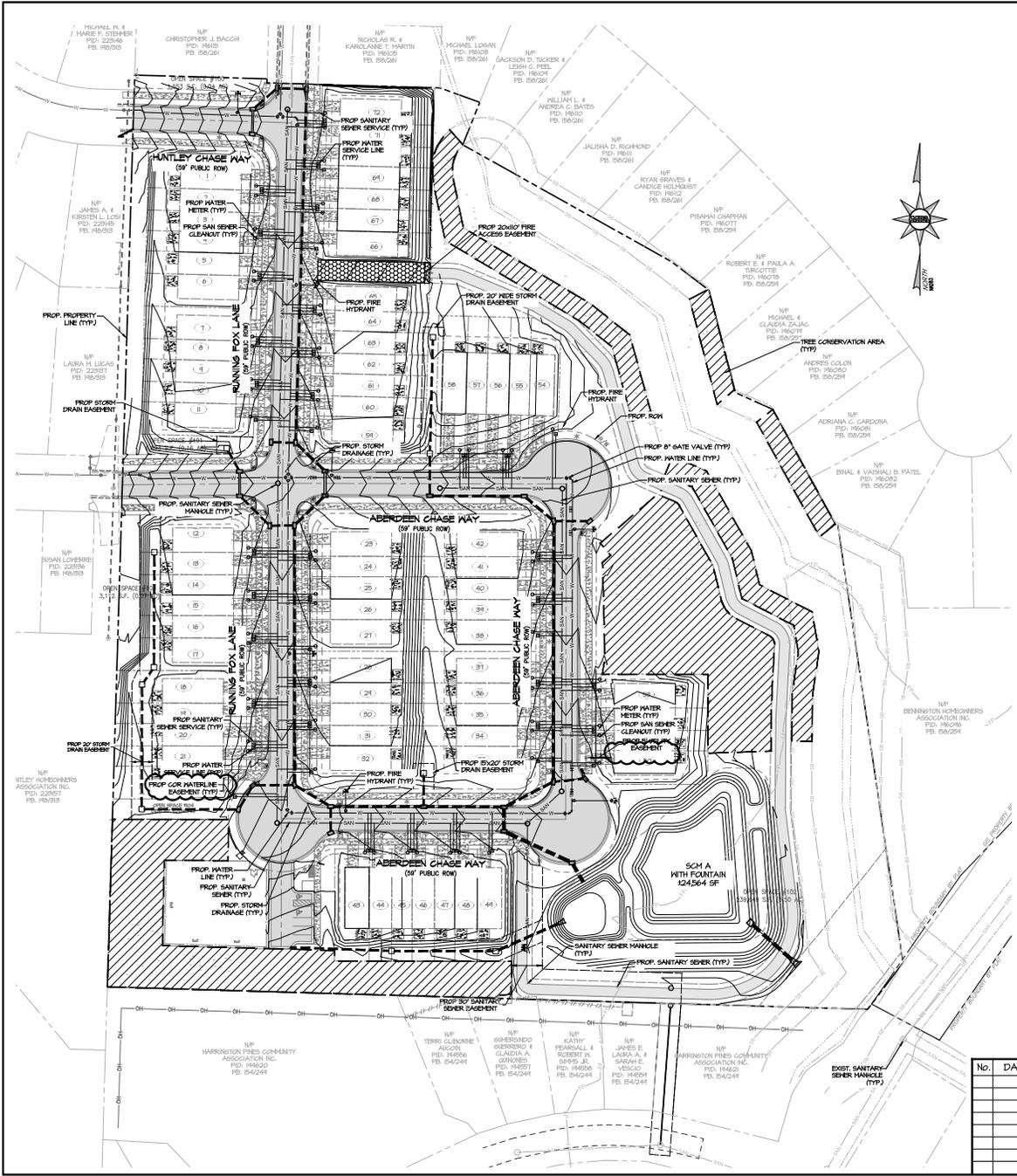
MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON FOND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
WWW.MRANGI.COM
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JOB NO.: 21404
SCALE: AS SHOWN
DATE: 04/04/23
ENGINEER: JES
DRAFTER: RAJ
DESIGN BY: TAH
REVIEW BY: JSO

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

REVISION: _____ SHEET: **C1.4**

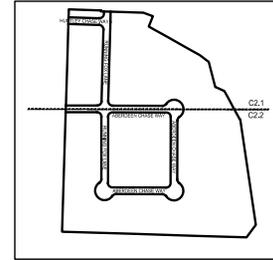




UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 1'00" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNENCLOSED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER PIPE SHALL BE A COATED & INSTALLED TO MEET SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2'00" FROM A PRIVATE WELL OR 3'00" FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIMETERS TO OUTSIDE DIMETERS.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, UNLESS ON STEEL ENCASEMENT EXTENDED 1'00" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO MEET SPECIFICATIONS.
 - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN VERTICAL SEPARATION AT ALL WATERMAIN & ROP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CROSSINGS; WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIAL MATERIALS & A CONCRETE CRADLE HAVING 8" MIN. CLEARANCE (PER CORPUS DETAILS W41 & S-49).
 - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS; 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING SWP AT MAIN & REMOVAL OF SERVICE PRIOR TO ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
8. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERTABLE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE 10'0" USTORM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCEM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
12. NCOOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE WITHIN STATE OR RAILROAD ROW) PRIOR TO CONSTRUCTION.
13. CROSS CONNECTION / 0% WATER SEPARATION USING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4616 OR FOO@RALEIGH.GOV FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
15. NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.
16. BURIED ELECTRICAL LINES FOR THE LIGHT POLES WILL BE PLACED WITHIN THE 5' UTILITY EASEMENT.

* EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE



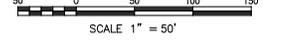
KEY PLAN
NOT TO SCALE

LEGEND

- PR. RIGHT OF WAY
- PR. LIGHT LINE PARCEL LINE
- PR. BILLBOARD SETBACK
- PR. EASEMENT
- PR. BILLBOARD
- PR. CURB & GUTTER
- PR. SIDEWALK
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PARCELS
- PR. LIGHT DUTY PARCELS
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB RADIUS
- PR. LIGHT POLE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. 1" CONTOUR
- PR. 5' CONTOUR
- EX. 1" CONTOUR
- EX. PROPERTY LINE
- PR. RIGHT OF WAY
- EX. ADJACENT PROPERTY LINE
- EX. 18" ANNUAL CHANCE FLOODPLAIN
- EX. 1% ANNUAL CHANCE FLOODPLAIN
- EX. STREAM BUFFER
- EX. CURB
- EX. CURB
- EX. WALK
- EX. SIDEWALK/PAVEMENT
- EX. TREE LINE
- EX. TRAIL
- EX. STORM DRAIN
- EX. WATERLINE
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

SITE INFORMATION

SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ PINES, LLC P.O. BOX 342472 BETHESDA, MD 20827
FIN	077600481
SITE AREA	13.20 ACRES
CURRENT ZONING	R-4-CU
PROPOSED ZONING	R-4-CU
PROPOSED SETBACKS	FRONT: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.83 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
DRAINAGE DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'



THE DRAWING DOES NOT INDICATE NECESSARY CONDUITS FOR OVERHEAD LINES. ALL CONDUITS MUST BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS, SPECIFICATIONS AND REGULATIONS ACT OF THE STATE OF NORTH CAROLINA.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

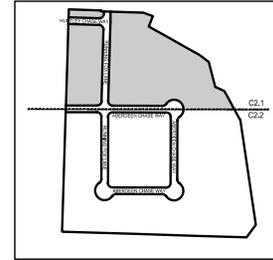
OVERALL UTILITY PLAN
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HILTON FORD ROAD, SUITE 104
KNIGHTSDALE, NC 27845
(919) 200-2109
WWW.MR&R.ATLA.COM

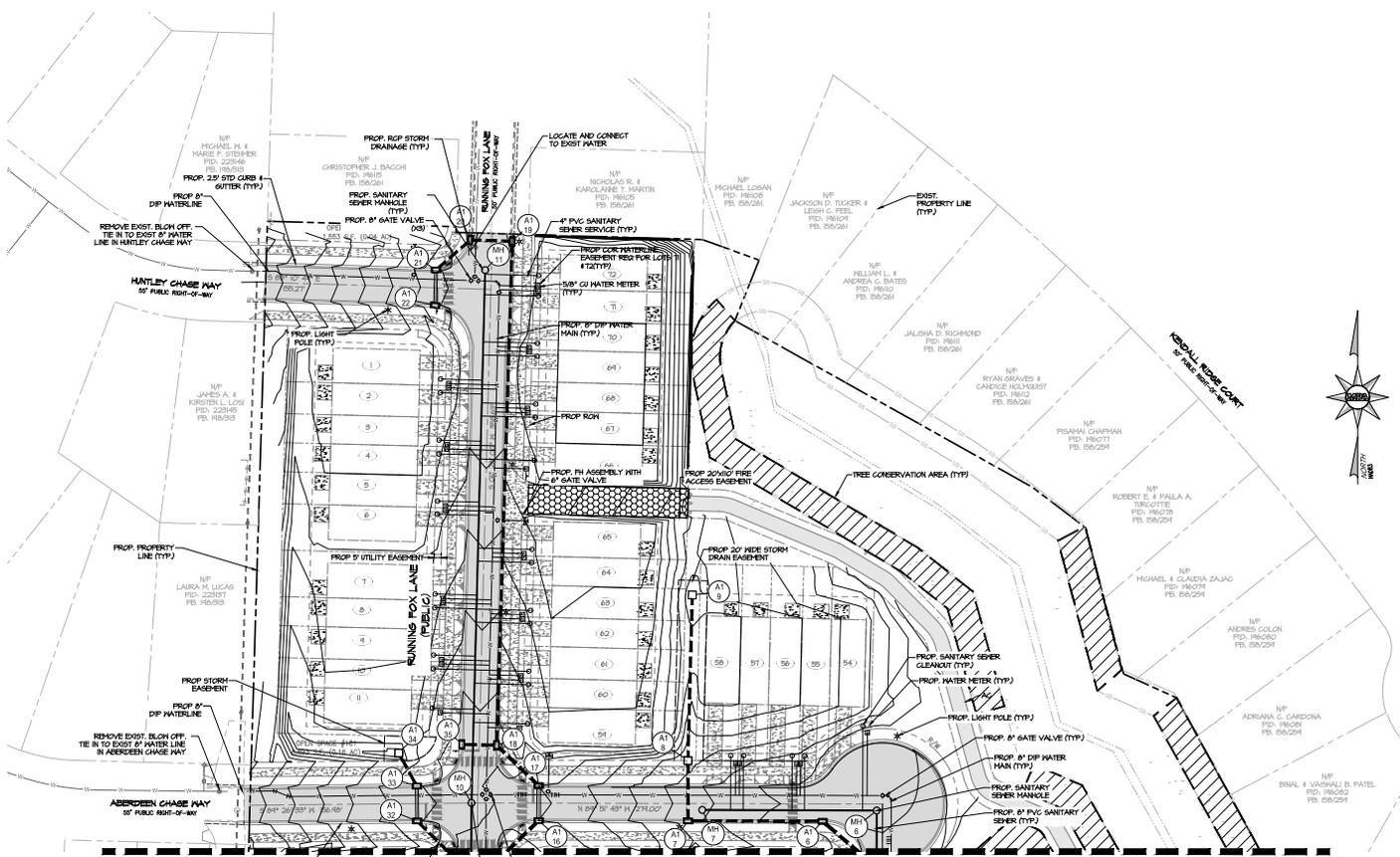


No.	DATE	REVISIONS

STATUS: PRELIMINARY NOT FOR CONSTRUCTION SHEET: C2.0



KEY PLAN
NOT TO SCALE



LEGEND

- PR. RIGHT OF WAY
- PR. CURB AND GUTTER LINE
- PR. SIDEWALK
- PR. EASEMENT
- PR. CURB & GUTTER
- PR. SIDEWALK
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB INDICES
- PR. LIGHT POLE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREELINE
- EX. 1' CONTOUR
- EX. 2' CONTOUR
- EX. 3' CONTOUR
- EX. 4' CONTOUR
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 1% ANNUAL CHANCE FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. EREILING
- EX. CURB
- EX. SIDEWALK/EDGE OF GUTTER
- EX. SIDEWALK/PAVEMENT
- EX. TREELINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

SITE INFORMATION

SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SI PINES, LLC P.O. BOX 24272, BETHESDA, MD 20827
PI	0778501481
SITE AREA	13.30 ACRES
CURRENT ZONING	R-1-CU
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	7/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'



Know what's below.
Call before you dig.

WORKER REMEMBER: ONE SHIRT
BEFORE YOU DIG. THIS MESSAGE DOES NOT RELIEVE SEWERAGE
COMMUNITY FROM CONSTRUCTION SAFETY. ALL
CONSTRUCTION SAFETY IS THE RESPONSIBILITY OF THE
ACT OF 1910 AND ALL RULES AND REGULATIONS
HERE TO APPLICABLE.



UTILITY PLAN NORTH
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA



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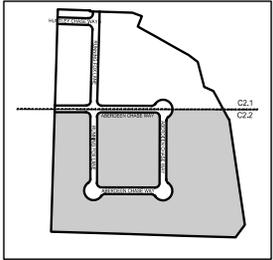
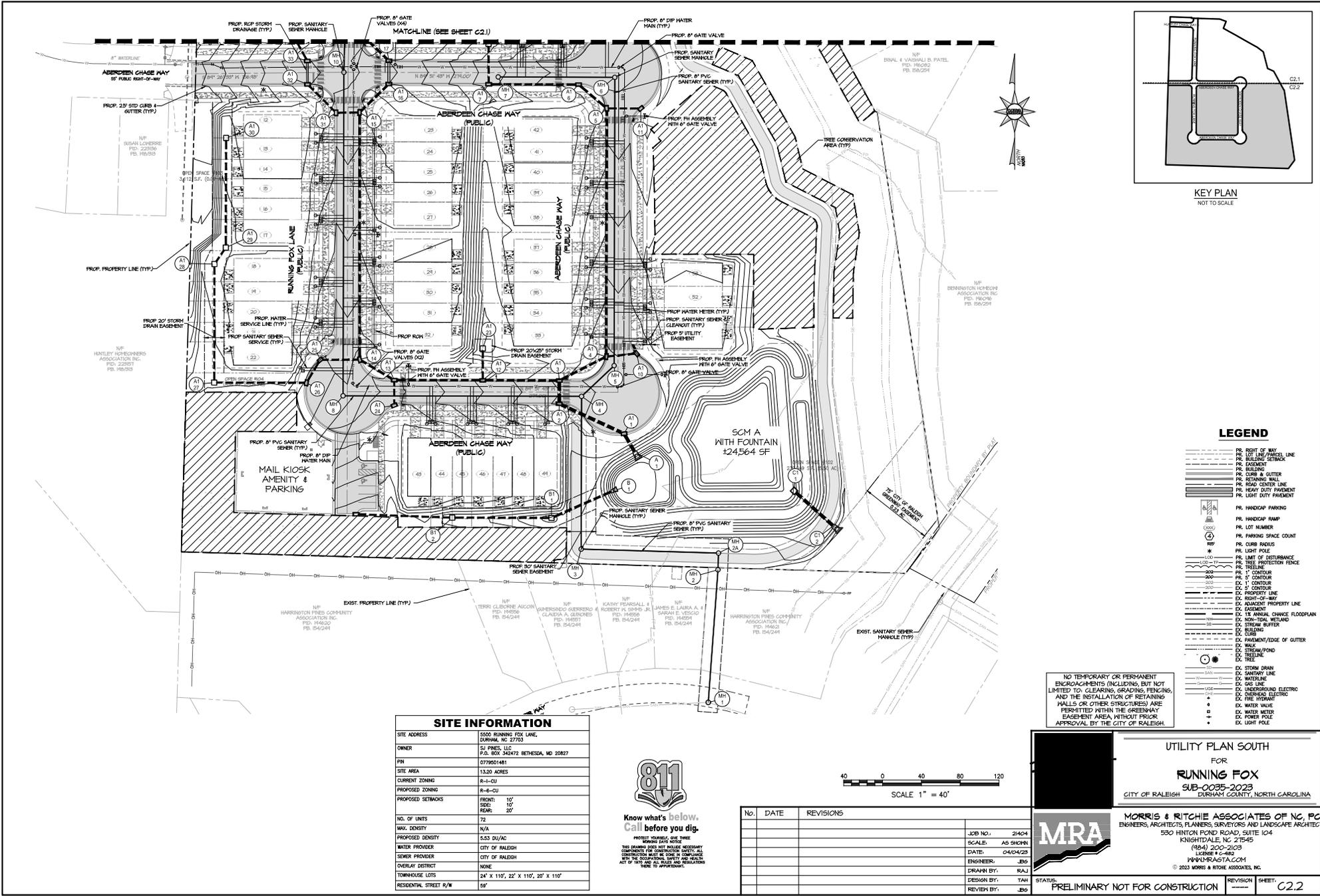
No.	DATE	REVISIONS

STATUS: PRELIMINARY NOT FOR CONSTRUCTION

REVISION: ---

SHEET: C2.1

JOB No.	21404
SCALE	AS SHOWN
DATE	04/04/23
ENGINEER	JOB
DRAWN BY	RAJ
DESIGN BY	TAH
REVIEW BY	JBO



KEY PLAN
NOT TO SCALE

LEGEND

- PR. PROP. OF WAY
- PR. LOT LINE PARCEL LINE
- PR. BUILDING SETBACK
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. NEW DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB PARKS
- PR. LIGHT POLE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1" CONTOUR
- PR. 5' CONTOUR
- PR. 10' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 1% ANNUAL CHANCE FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. WAREMENT/EDGE OF GUTTER
- EX. WALK
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATER MAIN
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SITE INFORMATION	
SITE ADDRESS	5850 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ PINES, LLC P.O. BOX 36472 BETHESDA, MD 20827
PN	0779501481
SITE AREA	13.00 ACRES
CURRENT ZONING	R-1-CU
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'



Know what's below.
Call before you dig.

PROTECT YOURSELF, USE THESE. THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION PERMITS. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE CITY OF RALEIGH'S REGULATIONS MADE TO APPLICABLE.



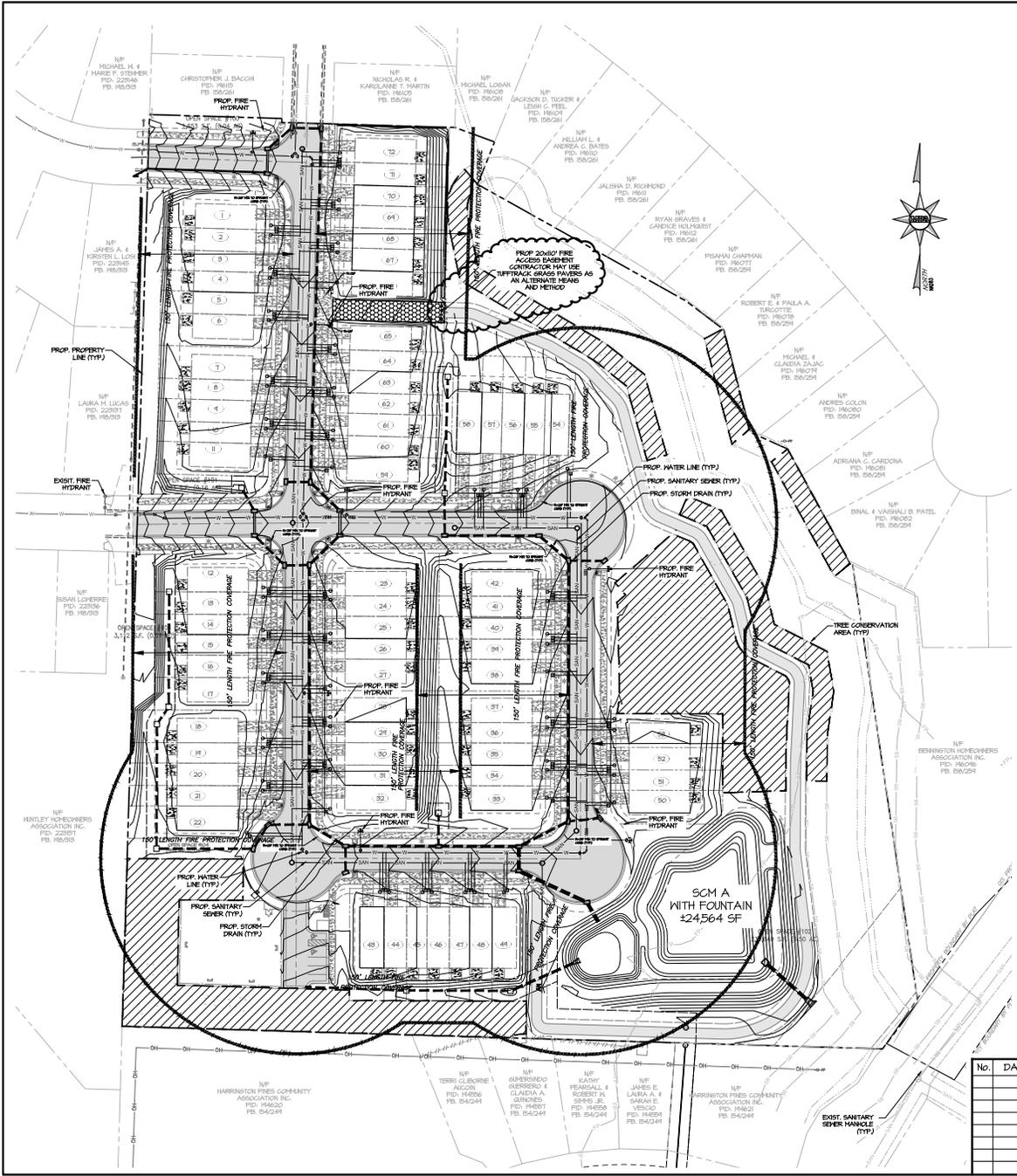
No.	DATE	REVISIONS



UTILITY PLAN SOUTH
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON FORD ROAD, SUITE 104
KNIGHTSDALE, NC 27845
(919) 200-2109
LICENSE # C-4482
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STATUS: PRELIMINARY NOT FOR CONSTRUCTION SHEET: C2.2



Raleigh Fire Department
 Office of the Fire Marshal
 210 W. Martin Street, Suite 200
 Raleigh, NC 27602
 Office: (919) 996-0282

Alternate Material, Design or Methods Application
 Transaction No. _____
 Design Professional: **Jamie Guerrero** Phone #: 984-200-2103
 Signature: *Jamie Guerrero*
 Filing Address: **5500 Running Fox Lane, Raleigh, NC**

Alternate Material, Design or Methods Application requires 10 business days for review. In accordance with 2018 NORTH CAROLINA ADMINISTRATIVE CODE AND POLICIES Section 105 Alternate Material, Design or Methods.

I am requesting review of an alternate or modifications to the provisions of Section NCCF 503.2.1 and NCCF 503.2.5 of the National Fire Code. This code section requires: A minimum 20' wide drive surface sufficient to support fire access vehicles, normally asphalt or concrete. Proposed Alternate: (Include drawings to clearly illustrate request, before and after if appropriate) Previous materials to provide a similar drive surface with alternate landscaping materials (grass pavers) for the walking trail to permit vehicles to perform a turn around maneuver within the site by crossing over a reasonable curb and utilizing a previous grid, which is capable of supporting fire vehicle loads.

Reason for Request: To allow vehicles and turning maneuvers to meet NCCF 503.2.1 and NCCF 503.2.5 requirements. Impervious limitations of the areas adjacent to residences and aesthetics in the vicinity of residential structures. Details are provided within plan set to identify a grid material which will support vehicle loads.



Request For Alternate Material, Design or Methods
 Staff Use Only
 Page 9 of 2

Date Received: 8/2/2023
 Evaluation of Proposal by: RFD Office of the Fire Marshal
 Suitability: _____
 Strength: Meets or exceeds Fire Department Load Requirements
 Effectiveness: _____
 Fire Resistance: _____
 Durability: _____
 Safety: _____
 Recommendation: APPROVE DENY By: _____

Conditions: Upon completion - Need engineer seal and existing system has been installed per manufacturer's design to meet loading standards here within.

Additional Information on Proposed Alternate:
 Please include a copy of this document and all associated supporting documents as part of your Submittal package.

Approved by: *[Signature]* Title: 8/2/2023

LEGEND

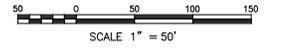
- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. TIE-UP
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP PARKING
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB RADIUS
- PR. LIGHT POLE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. 1" CONTOUR
- PR. 5' CONTOUR
- PR. 10' CONTOUR
- PR. 20' CONTOUR
- PR. PROPERTY LINE
- PR. RIGHT-OF-WAY
- PR. ADJACENT PROPERTY LINE
- PR. FENCE
- PR. 1/8" ANNUAL CHANCE FLOODPLAIN
- PR. NON-TYP. METEOD
- PR. STREAM BUFFER
- PR. BUILDING
- PR. CURB
- PR. PAVEMENT/EDGE OF CUTTER
- PR. STORM DRAIN
- PR. SWALE LINE
- PR. WATERLINE
- PR. UNDERGROUND ELECTRIC
- PR. UNDERGROUND ELECTRIC
- PR. FIRE HYDRANT
- PR. WATER VALVE
- PR. WATER METER
- PR. POWER POLE
- PR. LIGHT POLE



811
 Know what's below,
 Call before you dig.
 WHAT YOU SHOULD USE WHEN
 WORKING WITH UTILITY
 INFORMATION: THE INFORMATION
 PROVIDED FOR CONSTRUCTION PURPOSES IS
 FOR INFORMATION ONLY AND DOES NOT
 CONSTITUTE A WARRANTY OR GUARANTEE
 OF ANY KIND. THE USER SHALL BE
 RESPONSIBLE FOR VERIFYING THE
 ACT OF THIS AND ALL RULES AND REGULATIONS
 BEFORE ANY WORKING.

NO TEMPORARY OR PERMANENT
 ENCROACHMENTS (INCLUDING, BUT NOT
 LIMITED TO, CLEARING, GRADING, FENCING,
 AND THE INSTALLATION OF RETAINING
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 PERMITTED WITHIN THE GREENWAY
 EASEMENT AREA, WITHOUT PRIOR
 APPROVAL BY THE CITY OF RALEIGH.

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OWNER	SJ FINES, LLC P.O. BOX 342472 BETHESDA, MD 20827
FIN	5779501481
SITE AREA	11.530 ACRES
CURRENT ZONING	R-1-CU
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	60'



No.	DATE	REVISIONS

MRA

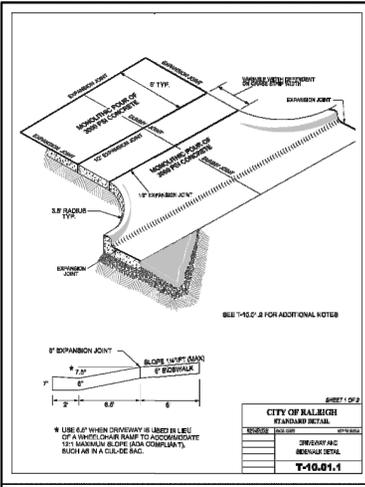
FIRE COVERAGE PLAN
 FOR
RUNNING FOX
 SUB-0035-2023
 CITY OF RALEIGH
 DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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 (919) 200-2109
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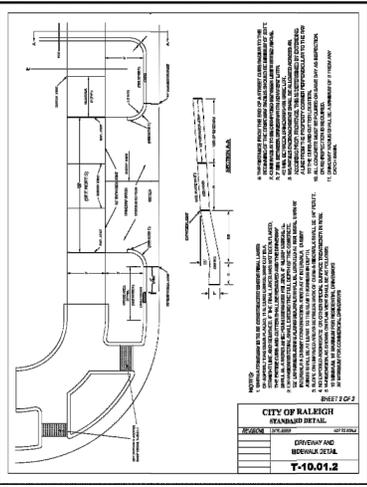
STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

JOB NO.: 21404
 SCALE: AS SHOWN
 DATE: 04/04/23
 ENGINEER: JSG
 DRAIN BY: RAJ
 DESIGN BY: TAH
 REVIEW BY: JSG

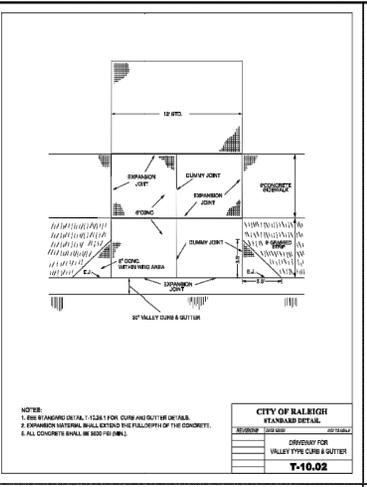
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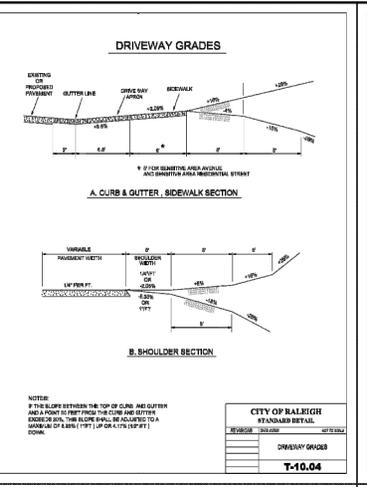
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STANDARD DETAIL	
REVISION	DATE
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CREATED BY: JAC	
CHECKED BY: JAC	
T-10.01.1	



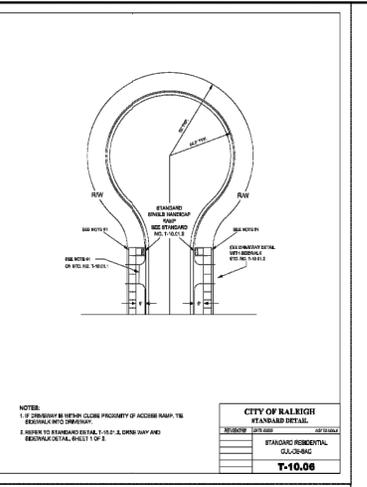
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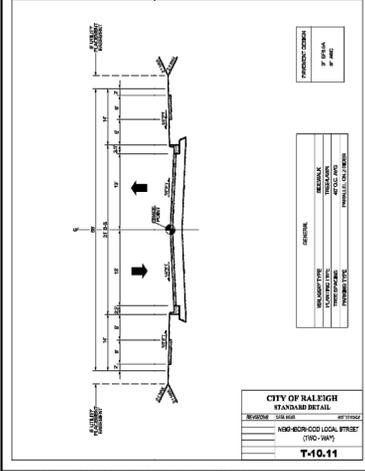
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REVISION	DATE
1	01/15/11
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CHECKED BY: JAC	
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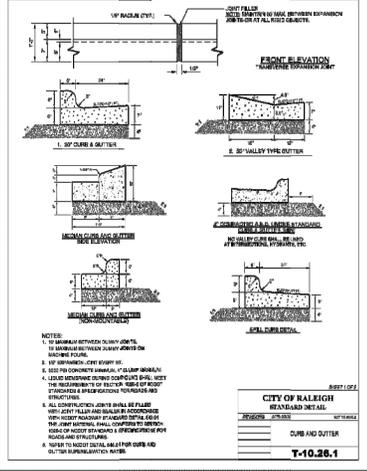
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STANDARD DETAIL	
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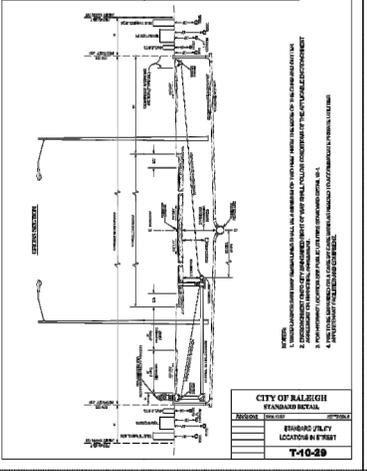
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STANDARD DETAIL	
REVISION	DATE
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CHECKED BY: JAC	
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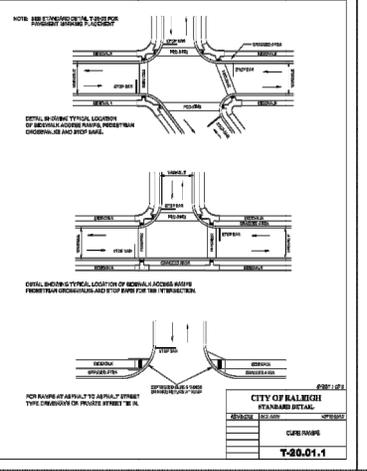
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STANDARD DETAIL	
REVISION	DATE
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CREATED BY: JAC	
CHECKED BY: JAC	
T-10.11	



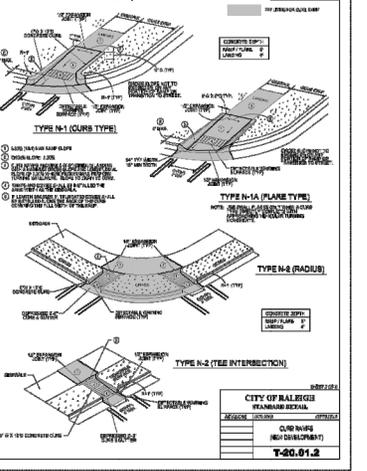
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STANDARD DETAIL	
REVISION	DATE
1	01/15/11
CREATED BY: JAC	
CHECKED BY: JAC	
T-10.26.1	



CITY OF RALEIGH	
STANDARD DETAIL	
REVISION	DATE
1	01/15/11
CREATED BY: JAC	
CHECKED BY: JAC	
T-10.29	



CITY OF RALEIGH	
STANDARD DETAIL	
REVISION	DATE
1	01/15/11
CREATED BY: JAC	
CHECKED BY: JAC	
T-10.01.1	



CITY OF RALEIGH	
STANDARD DETAIL	
REVISION	DATE
1	01/15/11
CREATED BY: JAC	
CHECKED BY: JAC	
T-10.01.2	

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

ROAD DETAILS - 1 OF 2
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS



MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON FORD ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
LICENSE # C-4482
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STATUS: PRELIMINARY NOT FOR CONSTRUCTION
REVISION: ---
SHEET: D.I.1

**CITY OF RALEIGH
CURB RAMPS
GENERAL NOTES**

1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES PROVIDED.
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/2% (1/4" IN) RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48". ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A 3000 PSI CONCRETE WITH A BIDDING FINISH IN ORDER TO OBTAIN A ROUGH HONDED SURFACE.
8. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ADJUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

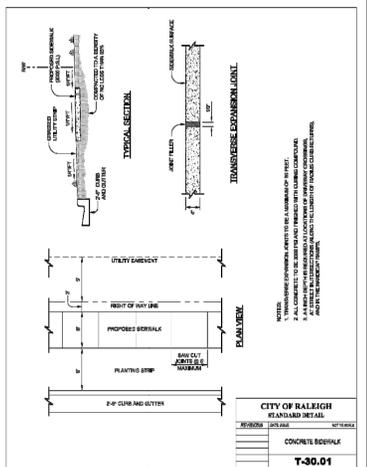
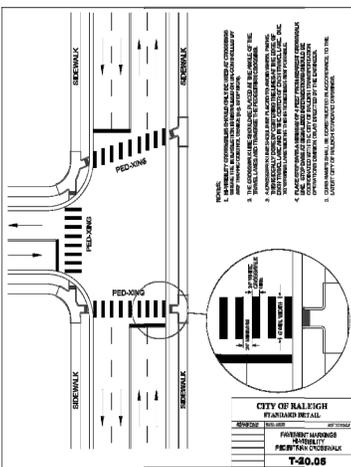
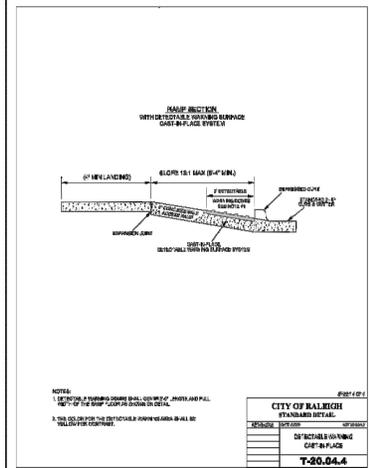
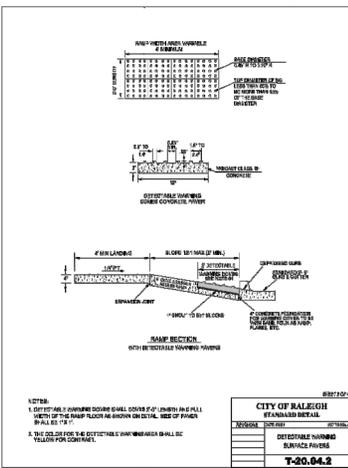
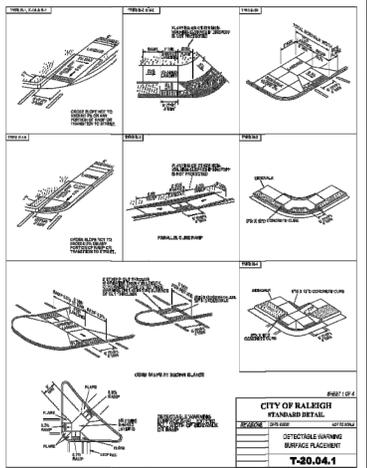
**CITY OF RALEIGH
STANDARD DETAIL**

REVISIONS: _____

DATE: _____

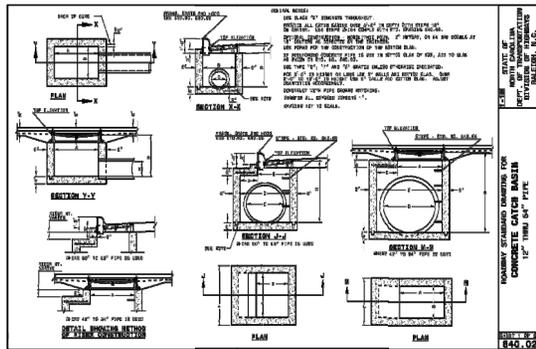
CURB RAMP NOTES

T-20.01.1



MOUNTABLE GRATE DETAIL

USE EAST JORDAN IRON WORKS V-480-02 OR APPROVED EQUAL.
GRATE SHOULD BE USED FOR ALL CURB INLETS EXCEPT A1-A, A1-A, A1-B5.



NOTE: 840.02 SHALL BE USED FOR INLETS A1-A, A1-A, A1-B5.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

ROAD DETAILS - 2 OF 2
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA



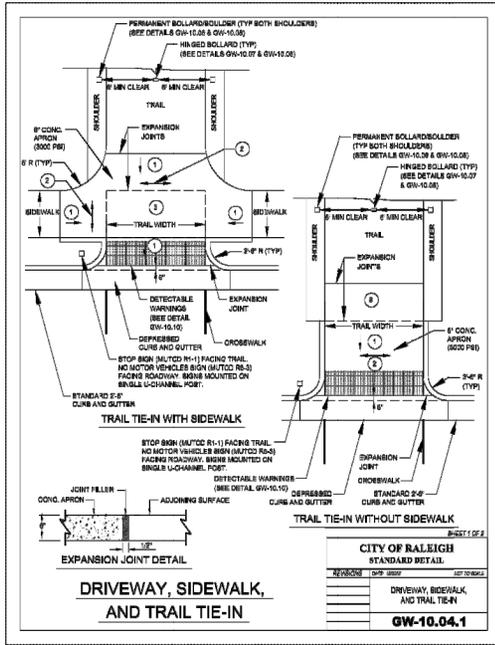
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No.	DATE	REVISIONS

JOB No.: 21404
SCALE: AS SHOWN
DATE: 04/04/23
ENGINEER: JES
DRAWN BY: RAL
DESIGN BY: TH
REVIEW BY: JSB

STATUS: PRELIMINARY NOT FOR CONSTRUCTION

REVISION: _____ SHEET: D1.2



DRIVEWAY, SIDEWALK, AND TRAIL TIE-IN - NOTES:

1. THE DRIVEWAY, SIDEWALK, TRAIL TIE-IN SHALL BE BUILT IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES PROVISIONS.
2. THE DRIVEWAY, SIDEWALK, TRAIL TIE-IN SHALL BE PLACED PARALLEL TO THE TRAIL DIRECTION OF TRAVEL.
3. DETECTABLE WARNING SHALL BE INSTALLED ALONG THE BACK OF CURB COVERING THE FULL WIDTH OF THE RAMP.
4. FOR THE TRAIL APRON, USE CLASS A (800 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH, NUMBERED SURFACE.
5. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE MEETS EXISTING CONCRETE.
6. REMOVE AND REPLACE CURB AND GUTTER TO NEAREST 5'-0".
7. BOLLARDS/GOULDERS SHOULD BE SET BACK FROM THE ROADWAY EDGE A MINIMUM OF 7 FEET AND A MAXIMUM OF 30 FEET AND WILL VARY DEPENDING ON LOCATION. OWNER SHALL INDICATE WHICH OPTION IS BEST FOR THE SITE. LOCATION, BOLLARD SHALL NOT BE PLACED WITHIN THE ROADWAY FRONT-OF-WAY UNLESS AN APPROVED FRONT-OF-WAY OBSTRUCTION PERMIT IS RECEIVED WITH THE CITY OF RALEIGH RIGHT-OF-WAY REVIEWER. SEE DETAILS GW-10.02, GW-10.07, AND GW-10.08 FOR BOLLARD/GOLDER DETAIL.
8. STOP SIGN (MUTCD R1-1) AND NO MOTOR VEHICLE SIGN (MUTCD R8-3) SHALL BE 608 GAUGE, 210R ALUMINUM AND SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL SIGNALS.

- ① 1.5% (1:67) MAX RAMP SLOPE (DOWN TO ROADWAY)
- ② CROSS SLOPE: MAXIMUM 2.00%
- ③ RAMP REQUIRES A 4'-0" MINIMUM LENGTH WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO SWAN CURB.

SHEET 1 OF 2

CITY OF RALEIGH
STANDARD DETAIL

REVISION	DATE	BY	REASON

DRIVEWAY, SIDEWALK, AND TRAIL TIE-IN

GW-10.04.2

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
2. ALL STREET TREES PLANTED ON THE PUBLIC RIGHT-OF-WAY SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
3. A TREE IMPACT PERMIT IS REQUIRED TO PLANT STREET TREES ON THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF BUILDING PERMITS.
4. VEGETATIVE SCREENING OF BOTH PONDS SHALL BE PROVIDED WITH LOCALLY-SOURCED EVERGREEN SPECIES.
5. TREES, BUSHES, AND VEGETATION WITHIN THE PRIMARY TREE CONSERVATION AREA SHALL BE PROTECTED FROM REMOVAL DURING CONSTRUCTION. CONTRACTOR SHALL EXERCISE DILIGENCE TO REMOVE ONLY THE TREES, BUSHES, AND VEGETATION ESSENTIAL FOR CONSTRUCTION.
6. HIGH QUALITY STRUCTURAL SOIL SHALL BE USED UNDERNEATH DRIVEWAYS TO ACCOMPLISH THE MINIMUM 600 CUBIC FEET SOIL VOLUME REQUIREMENT.
7. HAND UNITS WILL BE GROUND-MOUNTED, SCREENING FOR HAND UNITS WILL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED AND SHALL CONSIST OF LANDSCAPING OR AN OPAQUE SCREEN COMPATIBLE WITH THE PHYSICAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL, AND COLOR.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

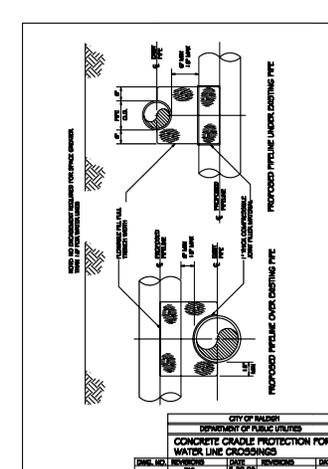
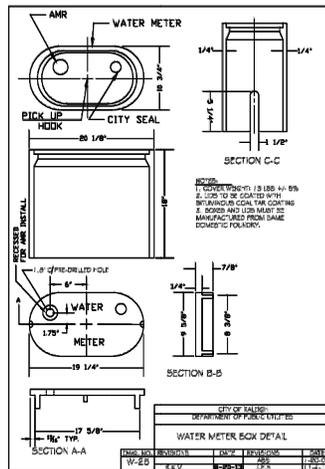
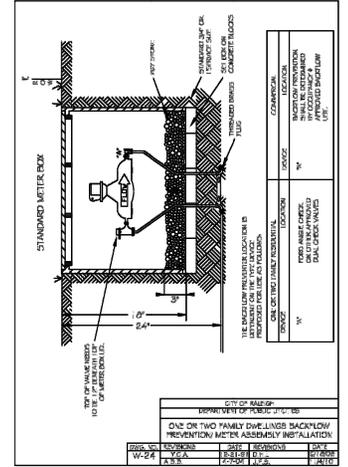
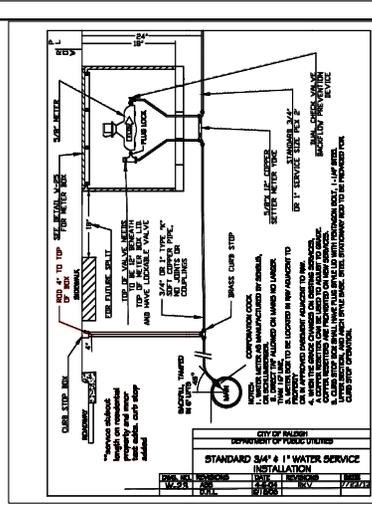
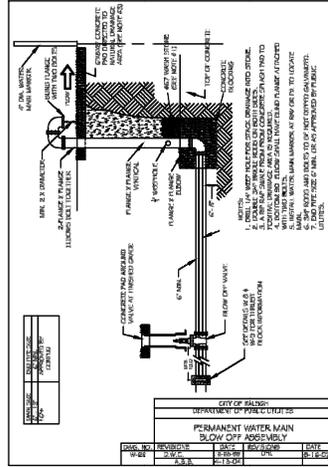
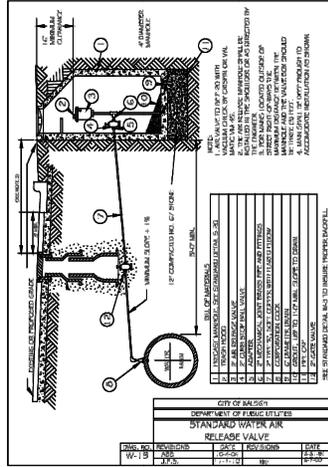
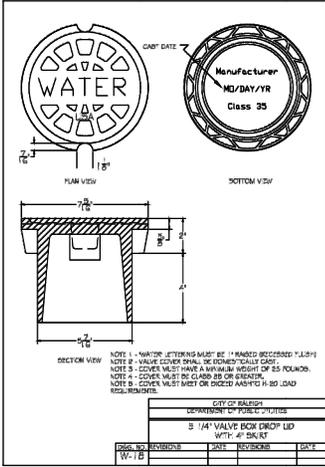
WALKING TRAIL
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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KNIGHTDALE, NC 27645
(919) 200-2109
LICENSE # C-4482
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STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** SHEET: **D1.03**

No.	DATE	REVISIONS

JOB No.	21404
SCALE	AS SHOWN
DATE	04/04/23
ENGINEER	JBO
DRAWN BY	RAJ
DESIGN BY	TAH
REVIEW BY	JBO



PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

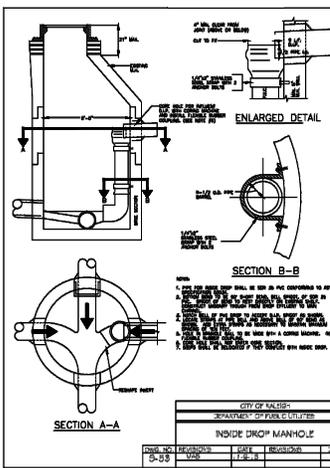
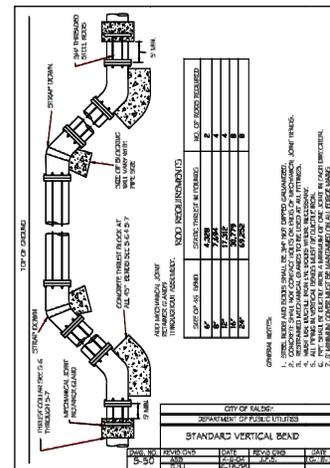
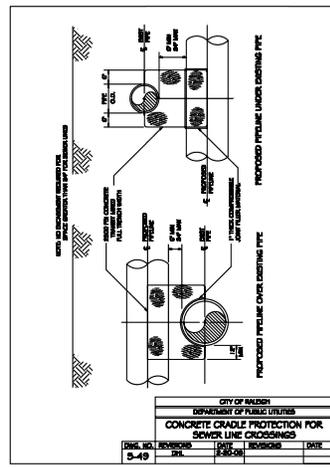
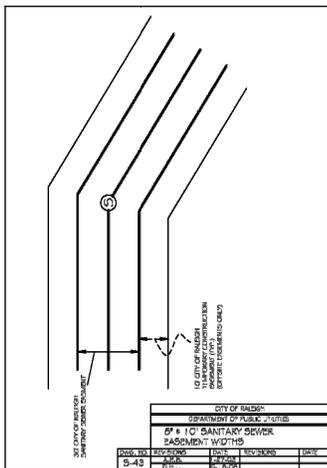
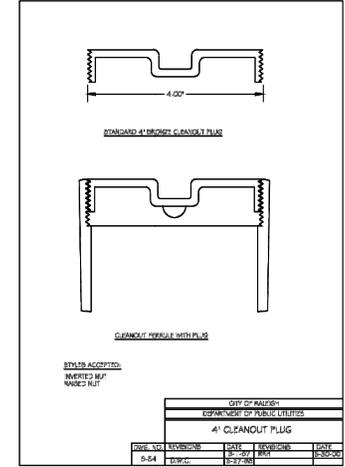
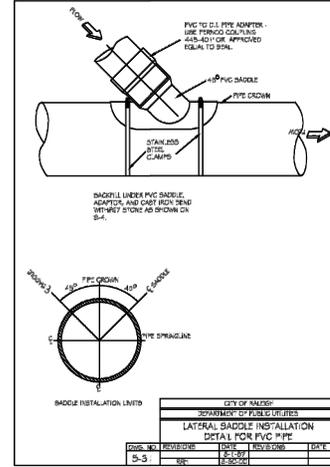
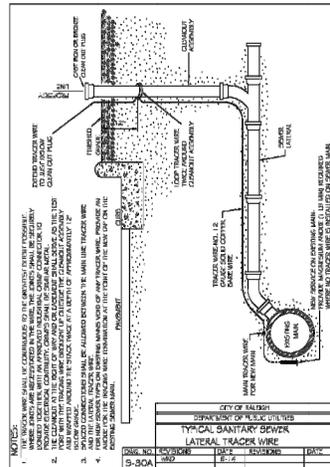
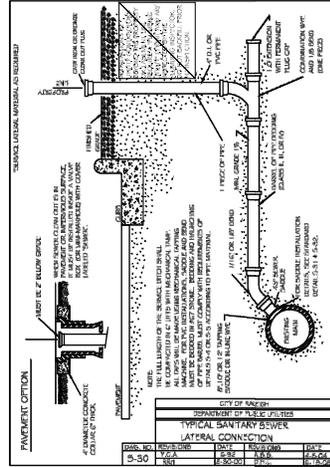
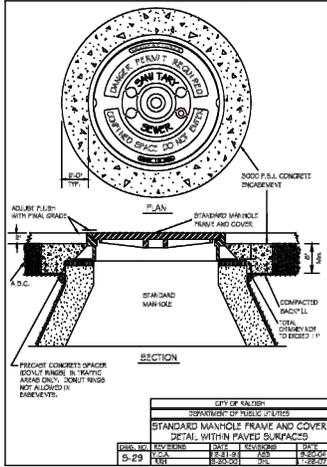
WATER LINE DETAILS - 2 OF 2
 FOR
RUNNING FOX
 SUB-0035-2023
 CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS



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PRELIMINARY PLAN
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS

SANITARY SEWER DETAILS - 2 OF 2

FOR
RUNNING FOX

SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

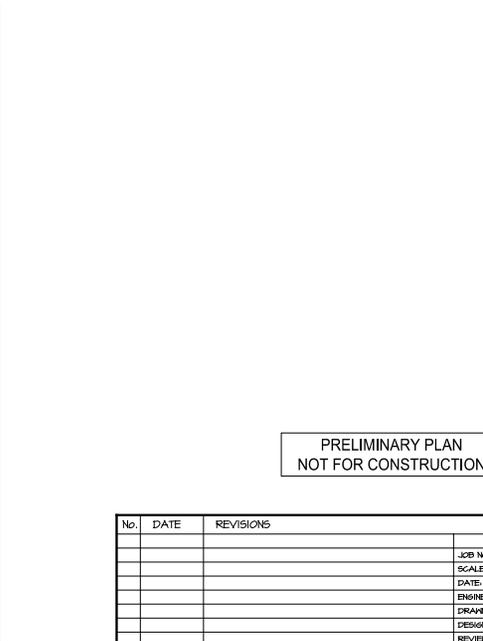
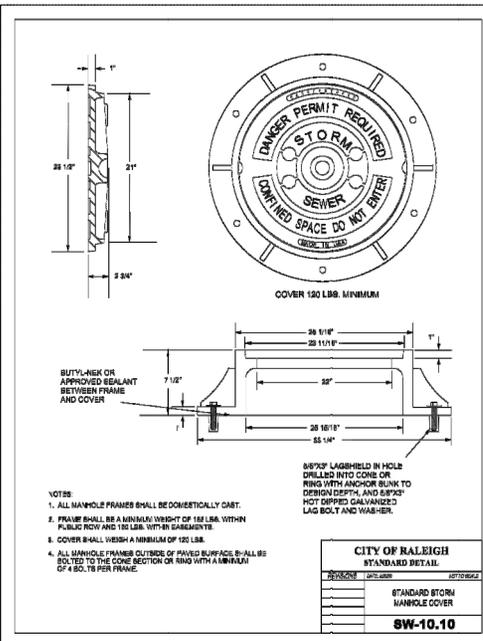
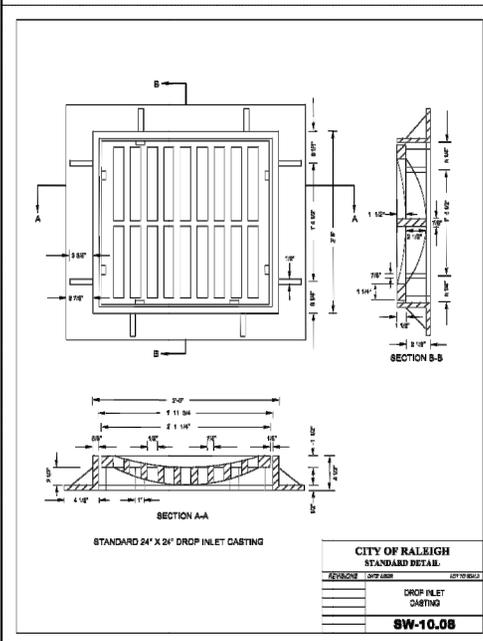
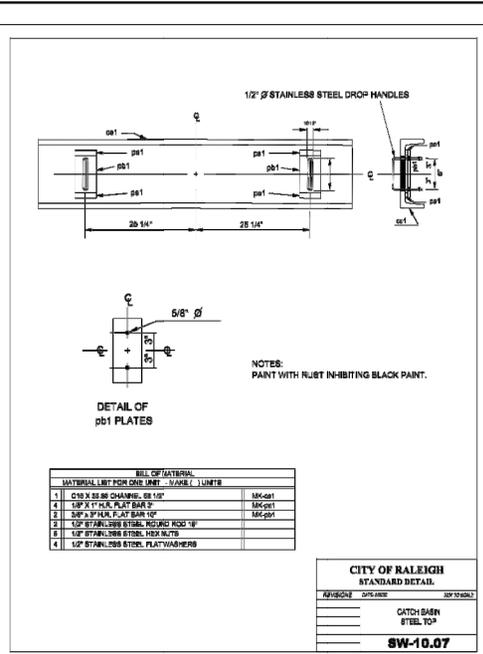
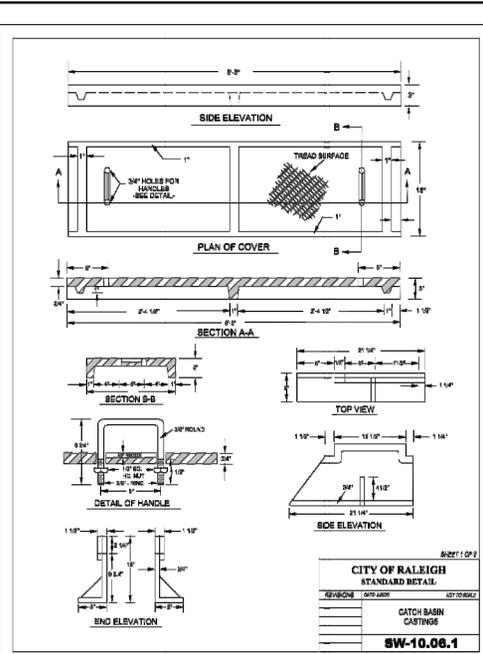
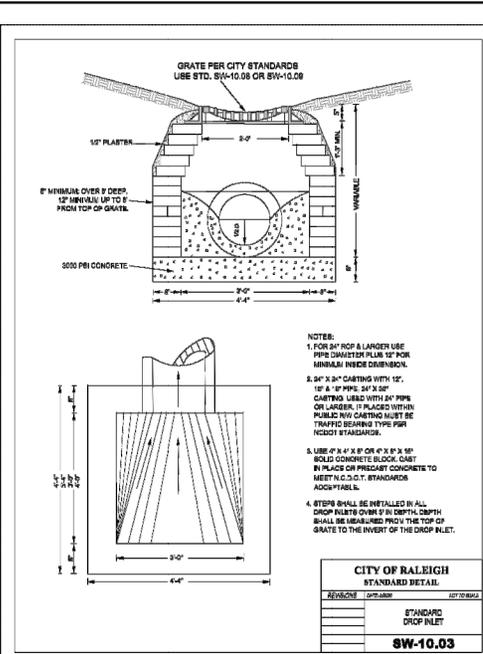
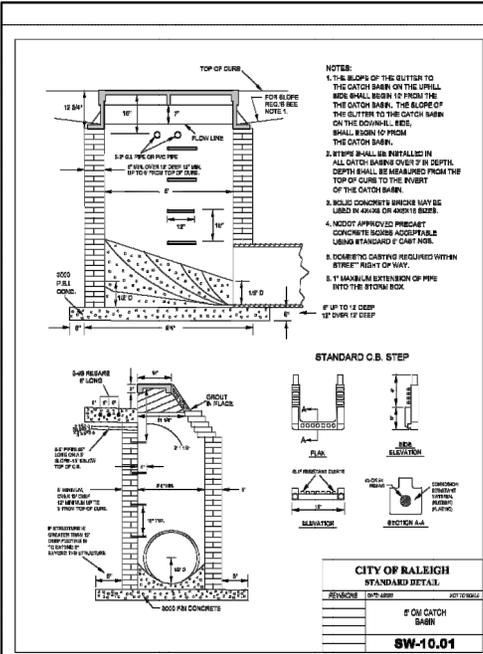
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STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

REVISION: ---

SHEET: **D1.7**

JOB NO.	21404
SCALE	AS SHOWN
DATE	04/04/23
ENGINEER	JOB
DRAWN BY	RAJ
DESIGN BY	TH
REVIEW BY	JB



STORMWATER DETAILS I OF 4
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

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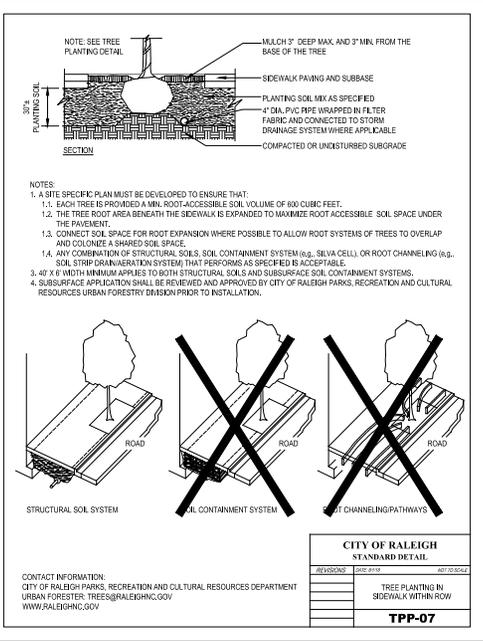
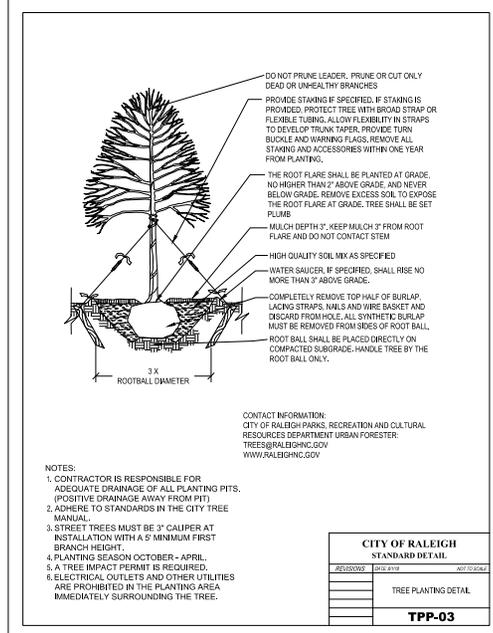
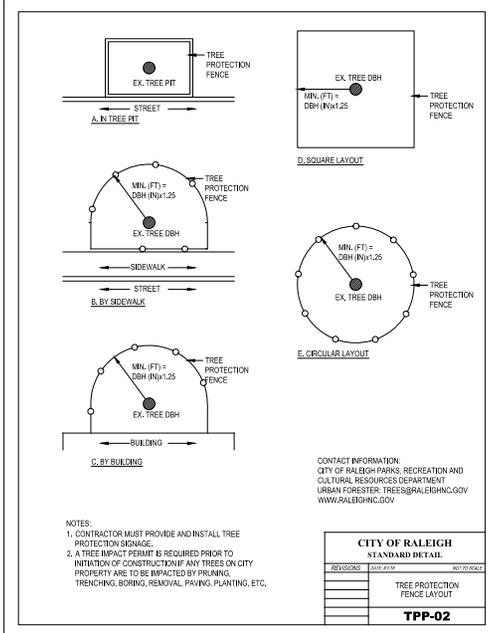
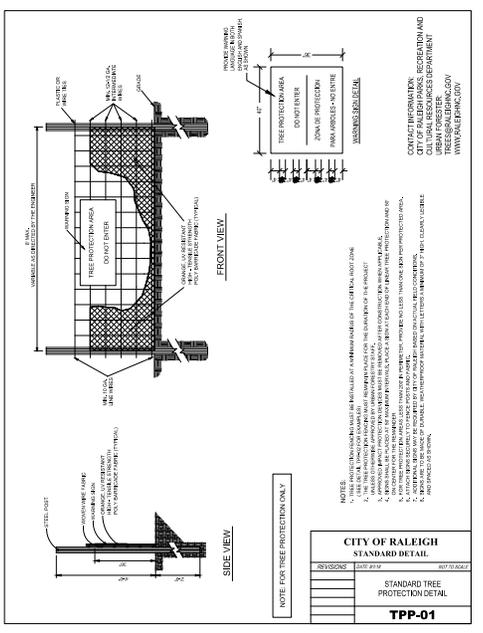
PRELIMINARY NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION

JOB No.: 21404
SCALE: AS SHOWN
DATE: 04/04/23
ENGINEER: JES
DRAWN BY: RAJ
DESIGN BY: TH
REVIEW BY: JSB

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

SHEET: **D1.8**



- NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR WOOD STANDARDS AND SPECIFICATIONS.
 2. ALL STREET TREES PLANTED ON THE PUBLIC RIGHT-OF-WAY SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 3. A TREE IMPACT PERMIT IS REQUIRED TO PLANT STREET TREES ON THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF BUILDING PERMITS.
 4. VEGETATIVE SCREENING OF BOTH PONDING SHALL BE PROVIDED WITH LOCAL-ADAPTED BURGESS SPECIES.
 5. TREES, BUSHES, AND VEGETATION WITHIN THE PRIMARY TREE CONSERVATION AREA SHALL BE PROTECTED FROM REMOVAL DURING CONSTRUCTION. CONTRACTOR SHALL EXERCISE DILIGENCE TO REMOVE ONLY THE TREES, BUSHES, AND VEGETATION ESSENTIAL FOR CONSTRUCTION.
 6. HIGH QUALITY STRUCTURAL SOIL SHALL BE USED UNDERNEATH DRIVEWAYS TO ACCOMMODATE THE MINIMUM 800 CUBIC FEET SOIL VOLUME REQUIREMENT.
 7. FLAG UNITS WILL BE GROUND-MOUNTED, SCREENING FOR FLAG UNITS WILL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED AND SHALL CONSIST OF LANDSCAPING OR AN OPAQUE SCREEN COMPATIBLE WITH THE PHYSICAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL, AND COLOR.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

LANDSCAPE DETAILS
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

MRA

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No.	DATE	REVISIONS

STATUS:	PRELIMINARY NOT FOR CONSTRUCTION
REVISION	---
SHEET:	D1.13

