



Administrative Approval Action

Case File / Name: SUB-0035-2023
DSLCL - Running Fox Townhomes

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The 13.20 acre site (PIN 0779501481) is located on the southern extension of Running Fox Ln, south of the intersection of Kendall Ridge Ct and Running Fox Ln. This site is within Durham County and inside the Raleigh City Limits.

REQUEST: Development to subdivide a property zoned R-6-CU into 72 Townhome lots in addition to 5 HOA common lots. A total of 77 lots will be created. Public streets and infrastructure will be extended throughout the site. The eastern boundary will have a bicycle and pedestrian access pathway/easement, stream buffer, and a tree conservation area. Existing buildings on site will be demolished.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 18, 2024 by Eastwood Homes.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Retaining Wall Permits: Prior to Site Permit Review approval retaining walls will be permitted separately
2. The SPR plan set shall include the following note on the cover sheet and the site plan sheet. "The proposed 10' wide trail as required by Zoning Ordinance (2023) 471 ZC 853 and as shown on the preliminary subdivision plan shall be constructed prior to issuance of any certificate of occupancy associated with this development."

Public Utilities

3. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.
4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
5. Review and revise plans with the recommendations in the SUB-0035-2023 case.



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Stormwater

6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

9. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The bicycle and greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
2. Street names for this development shall be approved by the Raleigh GIS Division and by the Cour
3. Provide documentation indicating a Property Owner's Association has been established for the subject development.
4. A demolition permit shall be issued and this building permit number shown on all maps for recording.
5. The final subdivision map shall be reviewed by both the City of Raleigh review officer and the Durham County review officer before being recorded in the Durham County registry. A copy of the recorded subdivision map shall be returned to the City of Raleigh.
6. The 20' x 110' Fire Access easement as shown on the preliminary plan shall be shown on all final plats for recording.

Engineering



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7. A pedestrian and bicycle deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Durham County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
9. A sight distance easement shall be approved by the Transportation Department for recording in the Durham County Registry and shown on a plat approved for recordation.
10. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Durham County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
11. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Durham County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

12. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
13. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
14. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.



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15. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
16. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
17. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
18. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.65 acres of tree conservation area.
20. A public infrastructure surety for 26 street trees along Running Fox Ln, 46 street trees along Aberdeen Chase Way, 6 street trees along Huntley Chase Way, totaling 78 street trees. shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Durham County Register of Deeds office for all utility easement dedications.

Stormwater

2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 26 street trees along Running Fox Ln, 46 street trees along Aberdeen Chase Way, 6 street trees along Huntley Chase Way.
4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).



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The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. The proposed 10' wide trail as required by Zoning Ordinance (2023) 471 ZC 853 and as shown on the preliminary subdivision plan shall be constructed prior to issuance of any certificate of occupancy associated with this development.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: January 24, 2027

Record at least ½ of the land area approved.

5-Year Sunset Date: January 24, 2029

Record entire subdivision.

I hereby certify this administrative decision.

Signed: Keegan McDonald
Development Services Dir/Designee

Staff Coordinator: Jeff Caines

Date: 01/24/2024

Removed all references
to Wake County on
10/28/24

Preliminary Subdivision Application

Site Review
Planning and Development Customer Service Center • One Exchange Plaza, Suite 401 • Raleigh, NC 27601 (919) 996-2000



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to stef@cityofraleigh.org.

DEVELOPMENT OPTIONS (UDO Chapter 2)	
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Frequent Transit Development Option
NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.	
GENERAL INFORMATION	
Scoping/sketch plan case number(s): Rezoning Z-63-22	
Development name (subject to approval): Running Fox Townhomes	
Property Address(es): 5500 Running Fox Lane	
Recorded Deed PIN(s): 0779501481	
Building type(s):	
<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building
<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Tiny House	

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Name: Judy Oh	
Company: SJ Pines, LLC	Title: Owner
Address: P.O. Box 342472, Bethesda, MD 20827	
Phone #: (301) 300-7579	Email: Judyoh7777@yahoo.com
Applicant Name (if different from owner. See "who can apply" in instructions):	
Relationship to owner: <input checked="" type="checkbox"/> Lessee or contract purchaser	<input type="checkbox"/> Owner's authorized agent
Company: Eastwood Homes	Address: 7101 Creedmore Road, Raleigh, NC 27613
Phone #: (919) 630-3312	Email: gdavidson@eastwoodhomes.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Name: Greg Davidson	
Company: Eastwood Homes	Title: Director of Land
Address: 7101 Creedmore Road, Raleigh, NC 27613	
Phone #: (919) 630-3312	Email: gdavidson@eastwoodhomes.com

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DEVELOPMENT TYPE + SITE DATA TABLE - ZONING INFORMATION	
Gross site acreage: 13.2	
Zoning districts (if more than one, provide acreage of each): R-6-CU	
Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Historic District/Landmark: N/A
Conditional Use District (CUD) Case # Z: 63-22	Board of Adjustment Case # DA: Design Alternative Case # DA:
STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (sf) 20565 Proposed total (sf) 126105	Impervious Area for Compliance (includes right-of-way): Existing (sf) 20565 Proposed total (sf) 227803
NUMBER OF LOTS AND DENSITY	
# of Detached House Lots:	# of Attached House Lots:
# of Tiny House Lots:	# of Open Lots: 4
Total # of Lots: 76	Total # of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Dwelling Units: 72	
Proposed density for each zoning district (UDO 1.5.2.F): 5.53	

SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160C-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.	
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160C-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in this application are correct and that the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160C-403(f).	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments to provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature: <i>Jeff Caines</i>	Date: 7/1/23
Printed Name: Greg S. Davidson	Date:
Signature:	Date:
Printed Name:	

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NOTE: HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN THE PAVED WALKING TRAIL.

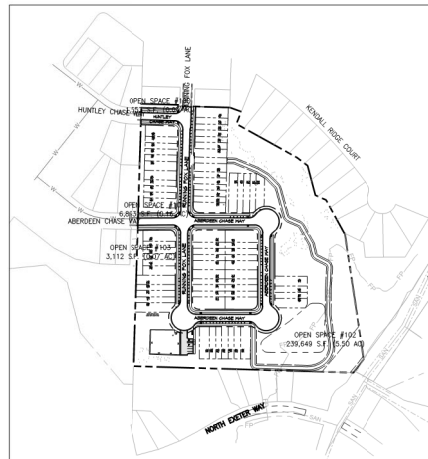
RUNNING FOX

PRELIMINARY SUBDIVISION PLAN - LEVEL 3

5500 RUNNING FOX LANE

RALEIGH, NORTH CAROLINA

SUB-0035-2023



KEY MAP

SCALE: 1" = 200'

200 0 200 400 600

SCALE: 1" = 200

STREET DATA

RUNNING FOX LANE	721 LF
HUNTLEY CHASE WAY	142 LF
ABERDEEN CHASE WAY	1,044 LF

SEWER FLOW

72 UNITS @ 300 GPD = 21,600 GPD
FOUR BEDROOM UNITS

SITE INFORMATION

SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ PINES, LLC P.O. BOX 342472, BETHESDA, MD 20827
PIN	0779501481
SITE AREA	13.20 ACRES
CURRENT ZONING	R-6-CU
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	54' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'

AGENCY CONTACTS

- A. City of Raleigh Planning Department
One Exchange Plaza,
Raleigh, NC 27601
Contact:
Phone: (919) 996-2682
Email: christopher.bridgers@raleighnc.gov
- B. City of Raleigh Stormwater Inspections Group
One Exchange Plaza, Suite 801
Raleigh, NC 27601
Contact: Chris Bridgers (RC)
Phone: (919) 279-1308
Email: christopher.bridgers@raleighnc.gov
- C. City of Raleigh Public Utilities Department
One Exchange Plaza, Suite 620
Raleigh, NC 27601
P.O. Box 590
Raleigh, NC 27602
Contact:
Phone: 919-996-3245
Email: publicutilities@raleighnc.gov
- D. City of Raleigh Engineering Review
One Exchange Plaza, Suite 801
Raleigh, NC 27601
Contact:
Phone: 919-996-5575
Email: engineeringreview@raleighnc.gov
- E. NCDOT
Division 5, District 1 Office
4009 District Drive
Raleigh, NC 27607
Contact: Amy Neddingsham, District Engineer
Phone: 919-733-3213
Email: amneddingsham@ncdot.gov



Know what's below.
Call before you dig.

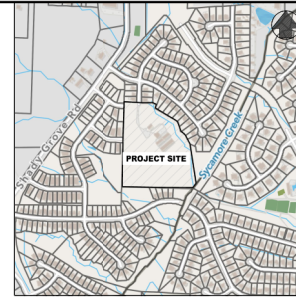
PROTECT YOURSELF, ONE THREE
METERS DATE NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY
CONNECTIONS FOR UTILITIES. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE GOVERNING, EFFECTIVE AND
ACT OF 1976 AND ALL RULES AND REGULATIONS
MADE TO IMPLEMENT.

DRIVEWAY LOCATION NOTE:

RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW. IF THE SUBDIVISION DOES NOT REQUIRE SITE PERMITTING REVIEW, THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT.

SOLID WASTE NOTE:

- DEVELOPER MUST ACKNOWLEDGE THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE COLLECTION WILL BE HANDLED BY A PRIVATE COMPANY.
- STORAGE OF RECYCLABLE WASTE CONTAINERS WILL BE STORED IN INDIVIDUAL GARAGES.



VICINITY MAP

SCALE: 1"=1000'

SHEET LIST TABLE

Sheet Number	Sheet Title	Original Date	Revision Date
C0.0	COVER	10/6/2023	
C0.1	EXISTING CONDITIONS NORTH	10/6/2023	
C0.2	EXISTING CONDITIONS SOUTH	10/6/2023	
C0.3	DEMOLITION PLAN NORTH	10/6/2023	
C0.4	DEMOLITION PLAN SOUTH	10/6/2023	
C1.0	OVERALL SITE PLAN	10/6/2023	
C1.1	SITE PLAN NORTH	10/6/2023	
C1.2	SITE PLAN SOUTH	10/6/2023	
C1.3	TREE CONSERVATION PLAN	10/6/2023	
C1.4	AMENITY PLAN	10/6/2023	
C1.5	SIGNAGE AND MARKING PLAN	10/6/2023	
C2.0	OVERALL UTILITY PLAN	10/6/2023	
C2.1	UTILITY PLAN NORTH	10/6/2023	
C2.2	UTILITY PLAN SOUTH	10/6/2023	
C2.3	FIRE COVERAGE PLAN	10/6/2023	
C4.0	LANDSCAPE PLAN	10/6/2023	
C5.0	LANDSCAPE PLAN	10/6/2023	
C5.2	WET POND PLAN	10/6/2023	
D1.0	SITE DETAILS	10/6/2023	
D1.1	ROAD DETAILS - 1 OF 2	10/6/2023	
D1.2	ROAD DETAILS - 2 OF 2	10/6/2023	
D1.3	TRAIL DETAILS	10/6/2023	
D1.4	WATER LINE DETAILS - 1 OF 2	10/6/2023	
D1.5	WATER LINE DETAILS - 2 OF 2	10/6/2023	
D1.6	SANITARY SEWER DETAILS - 1 OF 2	10/6/2023	
D1.7	SANITARY SEWER DETAILS - 2 OF 2	10/6/2023	
D1.8	STORMWATER DETAILS - 1 OF 4	10/6/2023	
D1.9	STORMWATER DETAILS - 2 OF 4	10/6/2023	
D1.10	STORMWATER DETAILS - 3 OF 4	10/6/2023	
D1.11	STORMWATER DETAILS - 4 OF 4	10/6/2023	
D1.12	POUD DETAILS	10/6/2023	
D1.13	LANDSCAPE DETAILS	10/6/2023	
D1.14	FIRE DETAILS	1/16/2024	

PROJECT TEAM

DEVELOPER/ OWNER	EASTWOOD HOMES 7101 CREEDMORE RD, SUITE 115 RALEIGH, NC 27613 ATTN: MR. GREG DAVIDSON
LAND PLANNERS/ CIVIL ENGINEER	MORRIS & RITCHIE ASSOCIATES OF NC, PC 5605 CHASE HILL ROAD, SUITE 112 RALEIGH, NC 27607 ATTN: MR. JAMIE B. GUERBERO, PE, CPSW
SURVEYOR	MORRIS & RITCHIE ASSOCIATES OF NC, PC 5605 CHASE HILL ROAD, SUITE 112 RALEIGH, NC 27607 ATTN: MR. C. TROY CLAYTON SR., PLS
ENVIRON. CONSULTANT	MORRIS & RITCHIE ASSOCIATES OF NC, PC 5605 CHASE HILL ROAD, SUITE 112 RALEIGH, NC 27607 ATTN: MR. JAMIE B. GUERBERO, PE, CPSW

COVER

FOR

RUNNING FOX

SUB-0035-2023

CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES OF NC, PC

ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

530 HINTON POND ROAD, SUITE 104

KAUHAU, NC 27645

(904) 200-2103

WWW.MR&R-NC.COM

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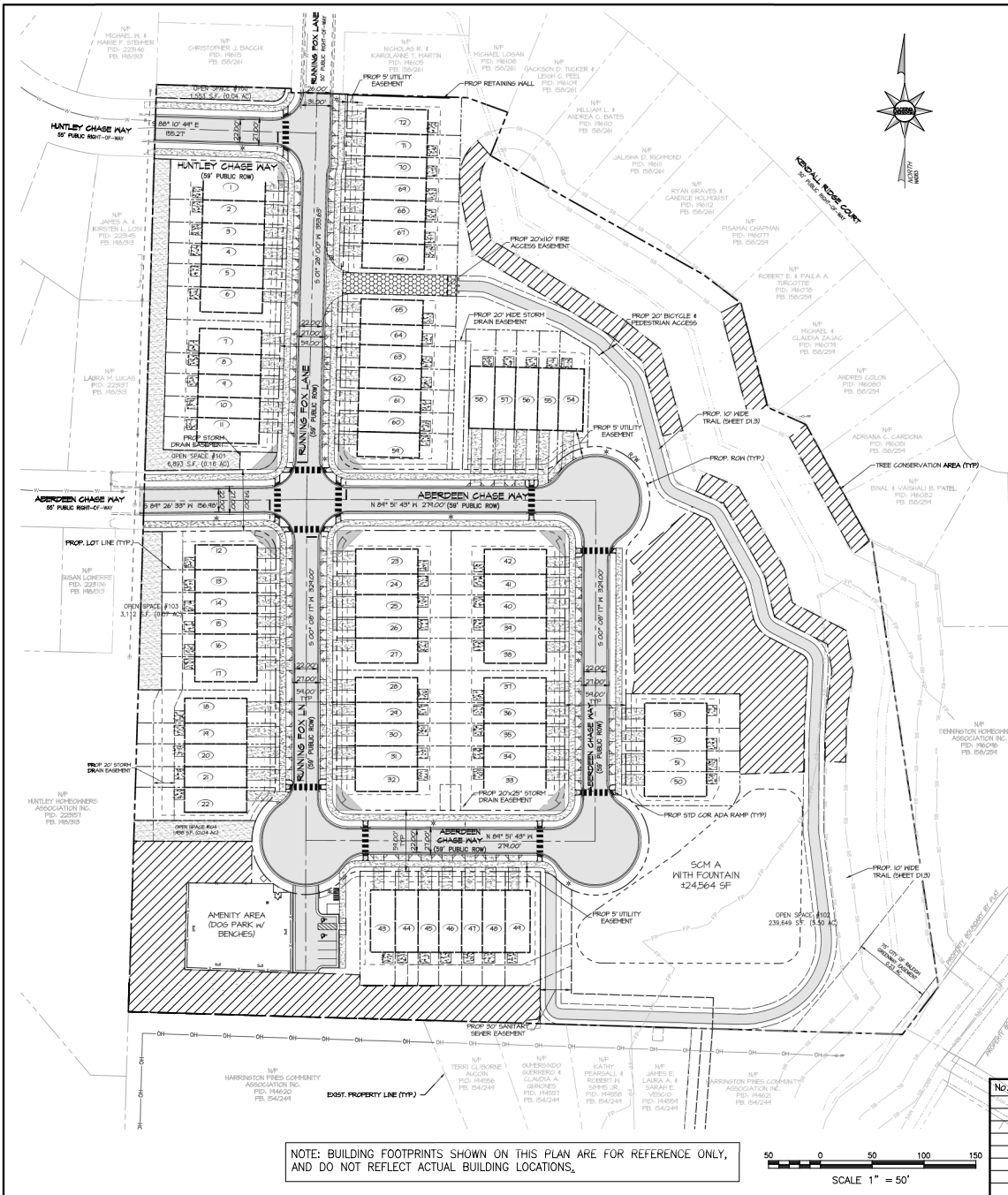
STATISTICAL

PRELIMINARY NOT FOR CONSTRUCTION

REVISION

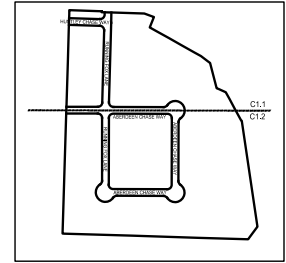
SHEET

CO.0



LOT AREA TABLE			
LOT #	AREA (SF)	AREA (AC)	MAX (MP/SP)
1	4,101	0.09	1,835
2	2,430	0.06	1,715
3	2,200	0.05	1,595
4	2,200	0.05	1,595
5	2,430	0.06	1,715
6	3,530	0.08	1,835
7	3,530	0.08	1,835
8	2,200	0.05	1,595
9	2,430	0.06	1,715
10	2,200	0.05	1,595
11	3,530	0.08	1,835
12	4,027	0.09	1,835
13	2,430	0.06	1,715
14	2,200	0.05	1,595
15	2,200	0.05	1,595
16	2,430	0.06	1,715
17	3,530	0.08	1,835
23	4,534	0.10	1,855
28	3,410	0.08	1,715
29	2,200	0.05	1,595
30	2,430	0.06	1,715
31	2,200	0.05	1,595
32	4,534	0.10	1,810
34	2,200	0.05	1,570
35	2,430	0.06	1,690
36	2,200	0.05	1,570
37	3,410	0.08	1,810
38	3,410	0.08	1,810
39	2,200	0.05	1,570
40	2,430	0.06	1,690
41	2,200	0.05	1,570
42	4,534	0.10	1,810

LOT AREA TABLE			
LOT #	AREA (SF)	AREA (AC)	MAX (MP/SP)
43	3,740	0.08	1,800
44	2,430	0.06	1,680
45	2,200	0.05	1,560
46	2,430	0.06	1,680
47	2,200	0.05	1,600
48	2,430	0.06	1,600
49	3,740	0.09	1,560
50	3,524	0.08	1,680
51	2,200	0.05	1,560
52	2,430	0.06	1,800
53	3,637	0.08	1,840
54	3,202	0.07	1,720
55	2,645	0.06	1,600
56	2,650	0.07	1,720
57	2,691	0.06	1,600
58	3,918	0.09	1,720
59	3,910	0.09	1,840
60	2,200	0.05	1,835
61	2,430	0.06	1,595
62	2,200	0.05	1,715
63	2,430	0.06	1,715
64	2,200	0.05	1,835
65	3,190	0.07	1,840
66	3,190	0.07	1,820
67	2,430	0.06	1,850
68	2,200	0.05	1,830
69	2,430	0.06	2,075
70	2,200	0.05	1,820
71	2,430	0.06	1,580
72	4,967	0.09	1,700



KEY PLAN
NOT TO SCALE

- TREE AREA LEGEND:**
- TREE CONSERVATION AREA
 - OPEN SPACE AREA



Know what's below.
Call before you dig.

PROTECT YOURSELF, AND THE
WORKING SITES, FROM
UNKNOWING DAMAGE TO
UNDERGROUND UTILITIES.
CALL 811 BEFORE YOU DIG.

LEGEND

- PROF. RIGHT OF WAY
- PROF. LOT LINE/PAVEMENT LINE
- PROF. SIDEWALK CENTERLINE
- PROF. EASEMENT
- PROF. CURB & GUTTER
- PROF. RETAINING WALL
- PROF. ROAD CENTER LINE
- PROF. HEAVY DUTY PAVEMENT
- PROF. LIGHT DUTY PAVEMENT
- PROF. HANDICAP PARKING
- PROF. LOT NUMBER
- PROF. PARKING SPACE COUNT
- PROF. CURB INLET
- PROF. LIGHT POLE
- PROF. LIMIT OF DISTURBANCE
- PROF. TREE PROTECTION FENCE
- PROF. 1' CONTOUR
- PROF. 5' CONTOUR
- PROF. FIRE ACCESS EASEMENT
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 15' ANNUAL CHANCE FLOODPLAIN
- EX. NON-TOTAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. SIDEWALK
- EX. PAVEMENT/EDGE OF CUTTER
- EX. WALK
- EX. FENCE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. UNDERGROUND ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE

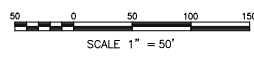
- NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 - CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
 - CURB RAMPS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, DROP INLETS, ETC., AFFECT PLACEMENT. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
 - THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
 - NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/FT (12.1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 - IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
 - USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE. A 12" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE WITH CONCRETE ABUTS EXISTING CONCRETE.
 - CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
 - ALL BUILDINGS ARE WITHIN 50 FEET OF ACCESS FOR DETERMINING FIRE APPARATUS COVERAGE.
 - PUBLIC WATER SERVICE BY THE CITY OF RALEIGH.
 - PUBLIC SEWER SERVICE BY THE CITY OF RALEIGH.
 - UNIT SPACES DEPict THE PROPOSED RESIDENTIAL LOTS.
 - GRASS PAVERS MAY BE USED WITHIN THE FIRE ACCESS EASEMENT AS AN ALTERNATIVE MEANS AND METHODS.
 - ALL CURB RAMPS SHALL BE CITY OF RALEIGH TYPE N-2 UNLESS OTHERWISE NOTED. CURB RAMPS SHALL BE TIED INTO THE CURB AND SIDEWALK USING THE MOST RECENT CITY OF RALEIGH STANDARDS AND DETAILS.

SITE INFORMATION	
SITE ADDRESS	5500 RUNNING FOX LAKE, DURHAM, NC 27703
OWNER	SI PINES, LLC P.O. BOX 162472 BETHESDA, MD 20817
FIN	0779001481
SITE AREA	13.20 ACRES
CURRENT ZONING	R-1-CU
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110' 59'

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

NOTE: BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, AND DO NOT REFLECT ACTUAL BUILDING LOCATIONS.



NO.	DATE	REVISIONS

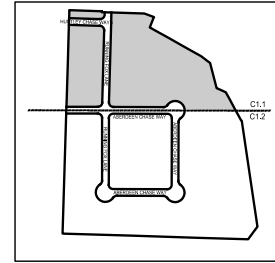
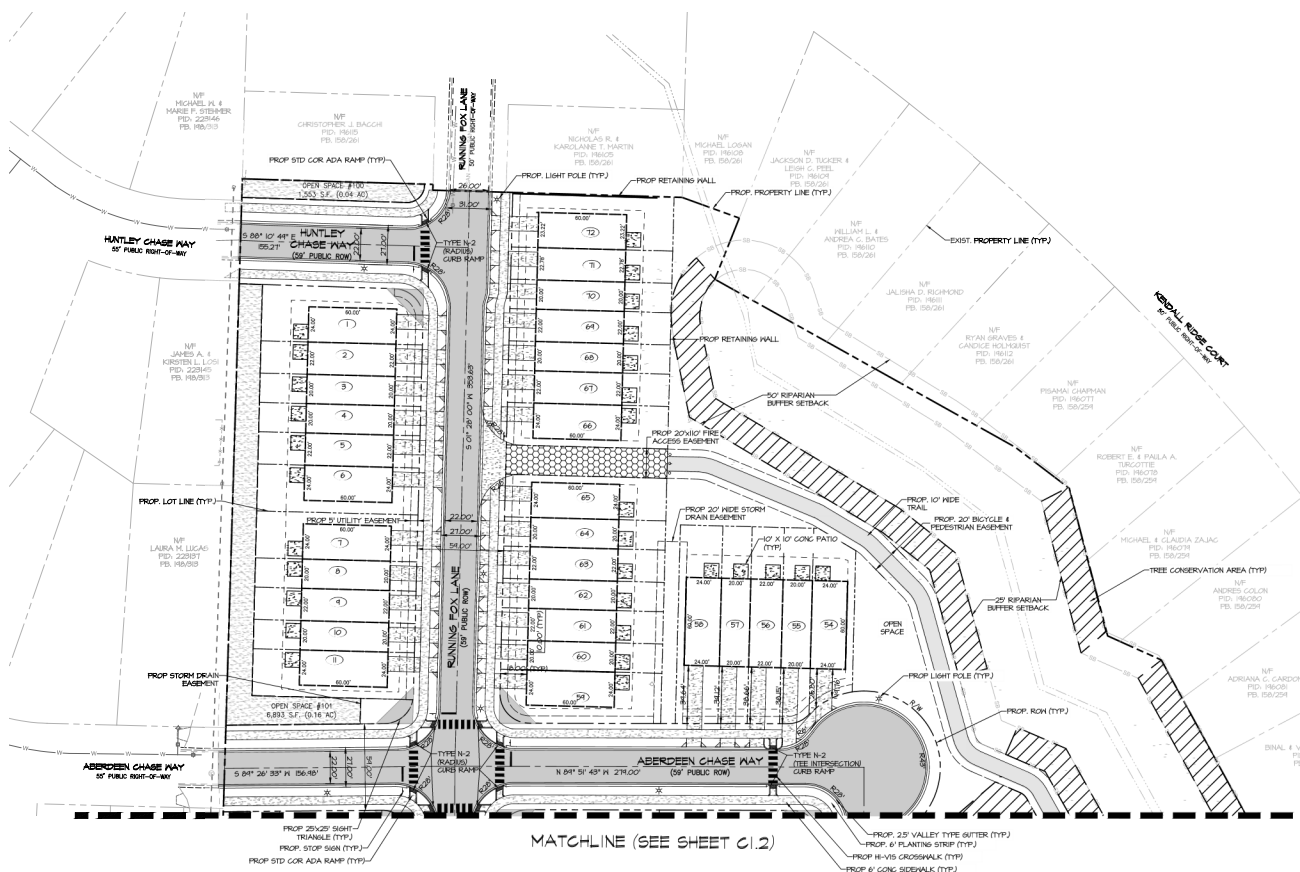
JOB NO.	21404
SCALE	AS SHOWN
DATE	04/04/25
ENGINEER	JOB
DRAWN BY	RAJ
DESIGN BY	TAH
REVIEW BY	JOB

STATES: PRELIMINARY NOT FOR CONSTRUCTION

OVERALL SITE PLAN
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH | DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
LICENSE # C-482
WWW.MRANGA.COM
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REVISION SHEET: C1.0



KEY PLAN
NOT TO SCALE

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PAVED LINE
- PR. BUILDING SETBACK
- PR. EASEMENT
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB RAMP
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREELINE
- PR. 1" CONTOUR
- PR. 5' CONTOUR
- PR. FIRE ACCESS EASEMENT
- PR. LIGHT POLE
- EX. 1" CONTOUR
- EX. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 15' ANNUAL CHANCE FLOODPLAIN
- EX. NON-TENAL METALAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/POUND
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER METER
- EX. LIGHT POLE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NOTE: BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, AND DO NOT REFLECT ACTUAL BUILDING LOCATIONS.

NOTE: CONTRACTOR SHALL USE 2.5' WIDE VALLEY CURB FOR THIS PROJECT. IN THE AREA OF CURB RAMPS, CONTRACTOR SHALL TRANSITION TO 6" W x 12"H UPRIGHT CURB AND TIE THEM INTO NEARBY DRIVEWAYS USING CITY OF RALEIGH DETAILS. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH DETAILS AND SPECIFICATIONS.

NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
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- THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/4% (2/1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 12" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ADJUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
- ALL BUILDINGS ARE WITHIN 150 FEET OF ACCESS FOR DETERMINING FIRE APPARATUS COVERAGE.
- PUBLIC WATER SERVICE BY THE CITY OF RALEIGH.
- PUBLIC SEWER SERVICE BY THE CITY OF RALEIGH.
- UNIT SPACES DEPCT THE PROPOSED RESIDENTIAL LOTS.
- GRASS PAVING MAY BE USED WITHIN THE FIRE ACCESS EASEMENT AS AN ALTERNATIVE MEANS AND METHODS.
- ALL CURB RAMPS SHALL BE CITY OF RALEIGH TYPE N-2 UNLESS OTHERWISE NOTED. CURB RAMPS SHALL BE TIED INTO THE CURB AND SIDEWALK USING THE MOST RECENT CITY OF RALEIGH STANDARDS AND DETAILS.

SITE INFORMATION	
SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SI PMS, LLC P.O. BOX 342472 BETHESDA, MD 20827
PER	0776501481
SITE AREA	5.530 ACRES
CURRENT ZONING	R-4-CU
PROPOSED ZONING	R-4-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 30'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'



PROTECT YOURSELF, USE 811
THIS DRAWING DOES NOT INCLUDE NECESSARY CONSTRUCTION DETAILS FOR THE CITY OF RALEIGH. CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE CITY OF RALEIGH AND ALL RELEVANT REGULATIONS AND ORDINANCES.

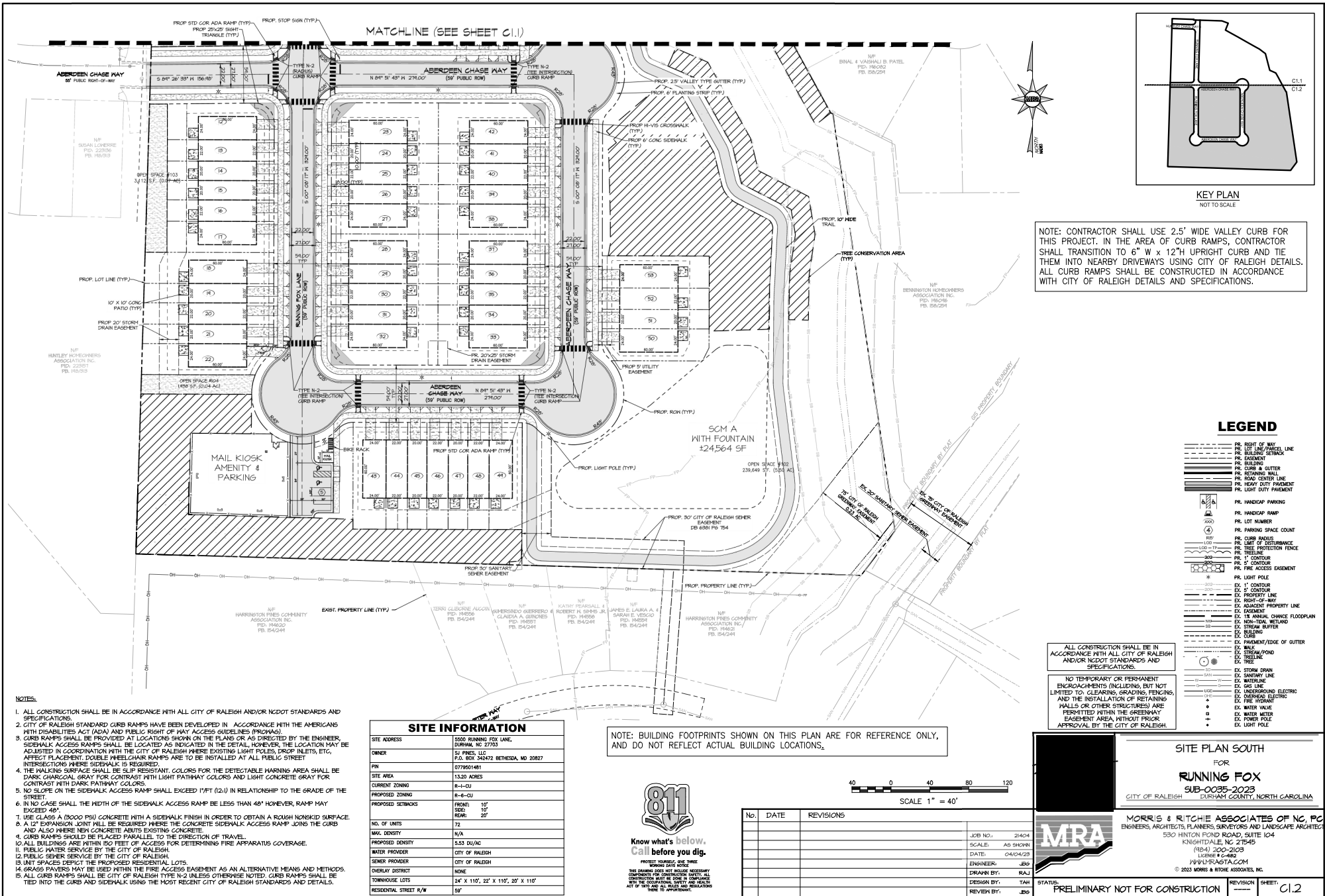
No.	DATE	REVISIONS



SITE PLAN NORTH
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH, DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
LICENSE # C-482
WWW.MRANGA.COM
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STATES: PRELIMINARY NOT FOR CONSTRUCTION
REVISION: SHEET: C1.1





STATUS:	PRELIMINARY NOT FOR CONSTRUCTION	REVISION	SHEET: C1.3
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NOTE: BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, AND DO NOT REFLECT ACTUAL BUILDING LOCATIONS.



AMENITY CALCULATION	
AMENITY	SIZE
DOG PARK	8,081 SF (0.18 AC)
POND WITH FOUNTAIN	24,564 SF (0.56 AC)
TRAIL	27,730 SF (0.64 AC)
TOTAL	60,374 SF (1.38 AC)
PROJECT SIZE	574,992 SF (13.2 AC)
PERCENTAGE OF PROJECT	10.4%

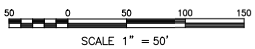
NOTE: HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING THE OPEN SPACE AREAS AND PAVED TRAIL.

LEGEND

- PR. RIGHT-OF-WAY
- PR. LOT LINE/PAVING LINE
- PR. BUILDING SETBACK
- PR. ADJACENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY FENCE
- PR. LIGHT DUTY FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB RADIUS
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE
- PR. 1" CONTOUR
- PR. 5' CONTOUR
- PR. FIRE ACCESS EASEMENT
- EX. 1" CONTOUR
- EX. 5' CONTOUR
- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 15 ANNUAL CHANCE FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. PAVEMENT/EDGE OF GUTTER
- EX. MALE
- EX. FEMALE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



No.	DATE	REVISIONS

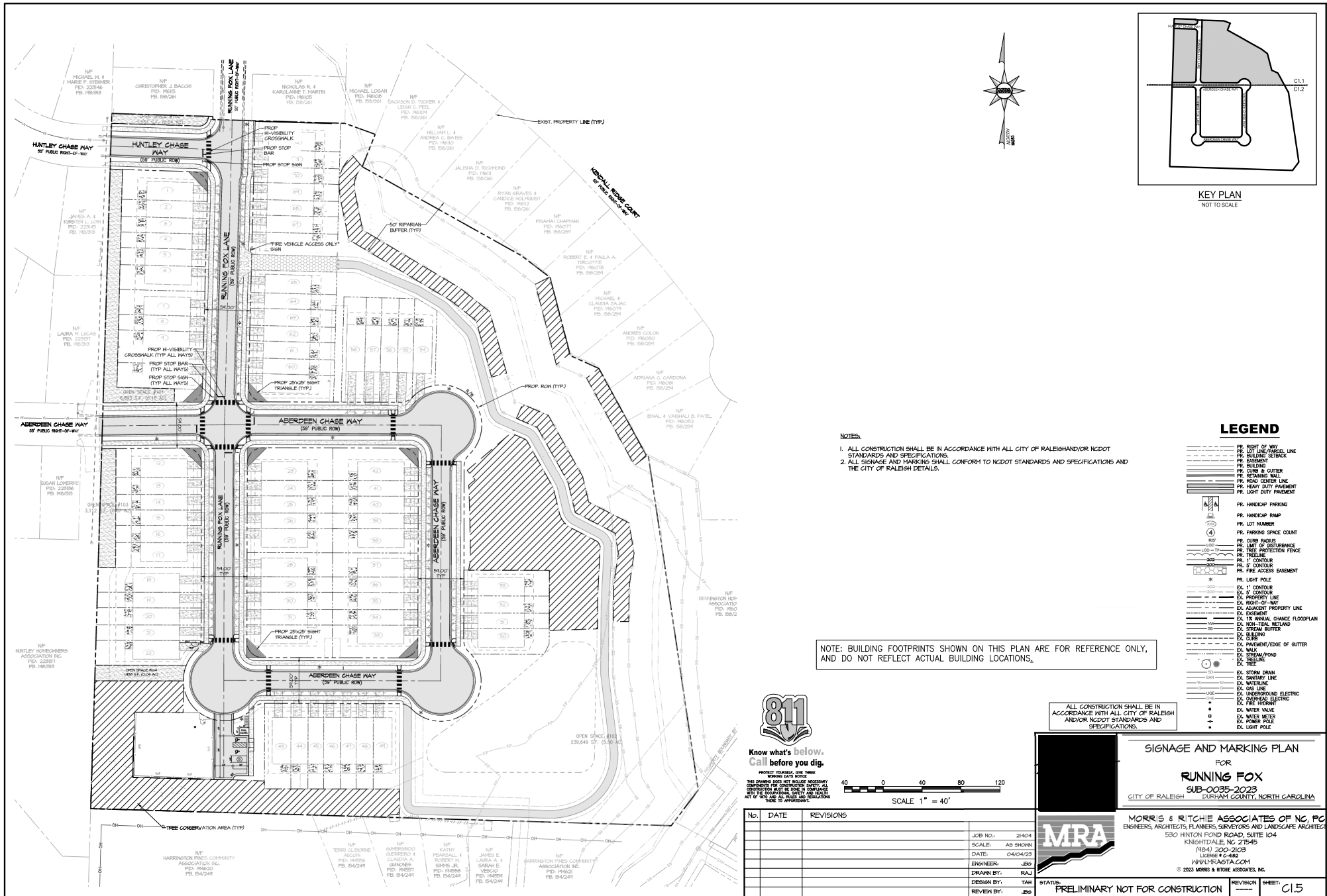
JOB NO.	21404
SCALE	AS SHOWN
DATE	04/04/25
ENGINEER	JOB
DRAWN BY	RAJ
DESIGN BY	TAH
REVIEW BY	JBO

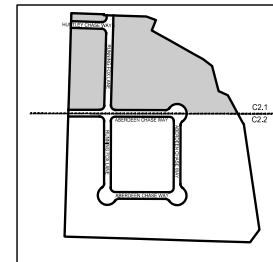
AMENITY PLAN
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2109
LICENSE # C-4482
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STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

REVISION: **C1.4**





KEY PLAN
NOT TO SCALE



LEGEND

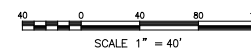
- PR. RIGHT OF WAY
- PR. LOT AND PARCEL LINE
- PR. EASEMENT
- PR. EASEMENT
- PR. CURB & GUTTER
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. LOT NUMBER
- PR. CURB AND GUTTER
- PR. LIGHT POLE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREELINE
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- EX. 10' CONTOUR
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. 15 ANNUAL CHANCE FLOODPLAIN
- EX. NON-TOTAL WETLAND
- EX. STREAM BUFFER
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. TRUNK/POND
- EX. TREELINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

SITE INFORMATION

SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ PINES, LLC P.O. BOX 34472 BETHESDA, MD 20827
PH	0778501481
SITE AREA	13.30 ACRES
CURRENT ZONING	R-1-CU
PROPOSED ZONING	R-6-CU
PROPOSED NETWORKS	FRONT: 15' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'



Know what's below.
Call before you dig.



No.	DATE	REVISIONS



UTILITY PLAN NORTH

FOR

RUNNING FOX

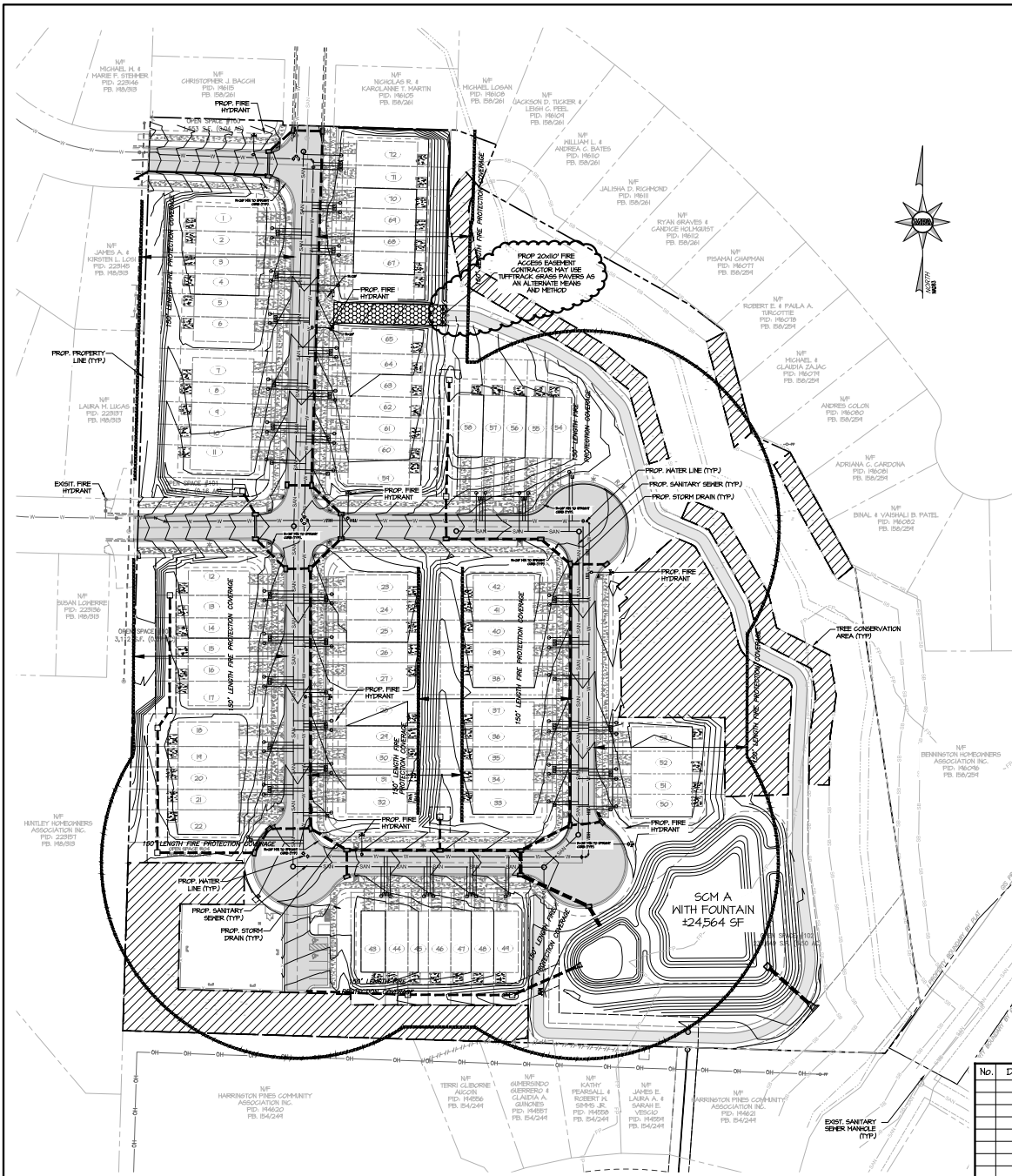
SUB-0035-2023

CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(919) 200-2103
LICENSE # C-482
WWW.MRANGA.COM

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STATUS: PRELIMINARY NOT FOR CONSTRUCTION SHEET: C2.1



Raleigh Fire Department
Office of the Fire Marshal
217 W. Martin Street, Suite 200
Raleigh, NC 27602
Office: (919) 996-0282



Alternate Material, Design or Methods Application

Transaction No. _____
Design Professional: **Jamie Guerrero** Phone #: 919-200-2103
Signature: *J. Guerrero*
Building Address: **5500 Running Fox Lane, Raleigh, NC**

Alternate Material, Design or Methods Application requires 10 business days for review. In accordance with 2018 NORTH CAROLINA ADMINISTRATIVE CODE AND POLICIES Section 105 Alternate Material, Design or Methods.

I am requesting review of an alternate or modifications to the provisions of Section NCPC 503.2.1 and NCPC 503.2.5 of the National Fire Code.

This code section requires: A minimum 20' wide drive surface sufficient to support fire access vehicles, normally asphalt or concrete.
Proposed Alternative: (Include drawings to clearly illustrate request, before and after if appropriate)
Previous materials to provide a similar drive surface with alternate landscaping materials (grass pavers) for the walking trail to permit vehicles to perform a turn around maneuver within the site by crossing over a sustainable curb and utilizing a previous grid, which is capable of supporting fire vehicle loads.

Reason for Request:
To allow vehicles and turning maneuvers to meet NCPC 503.2.1 and NCPC 503.2.5 requirements. Impervious limitations of the area adjacent to residences and aesthetics in the vicinity of residential structures. Details are provided within plan set to identify a grid material which will support vehicle loads.

Request for Alternate Material, Design or Methods
Staff Use Only
Page 2 of 2

Date Received: **8/2/2023**
Evaluation of Proposal by: **RFD Office of the Fire Marshal**
Bulldozing: _____
Borough: **Meets or exceeds Fire Department Load Requirements**
Effectiveness: _____
Fire Resistance: _____
Durability: _____
Safety: _____
Recommendation: **APPROVE** ☒ **DENY** ☐ By: _____
Conditions: **Upon completion - Need engineer to later submit system has been installed per manufacturer dealing to meet loading standards here within.**

Additional Information on Proposed Alternative:
Please include a copy of this document and all associated supporting documents as part of your Submittal package.

Approved by: **KT Eades - Assistant Fire Marshal** Date: **8/2/2023**

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. BUILDING SETBACK
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
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- PR. LOT NUMBER
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- PR. CURB RADIUS
- PR. LIGHT POLE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. 1" CONTOUR
- PR. 2" CONTOUR
- PR. 3" CONTOUR
- PR. 4" CONTOUR
- PR. 5" CONTOUR
- PR. 6" CONTOUR
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- PR. 93" CONTOUR
- PR. 94" CONTOUR
- PR. 95" CONTOUR
- PR. 96" CONTOUR
- PR. 97" CONTOUR
- PR. 98" CONTOUR
- PR. 99" CONTOUR
- PR. 100" CONTOUR

SITE INFORMATION

SITE ADDRESS	5500 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ FINES, LLC P.O. BOX 342472 NETHESDA, MD 20827
IPN	5779501481
SITE AREA	13.50 ACRES
CURRENT ZONING	R-1-CU
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF UNITS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	60'

SCALE 1" = 50'

No.	DATE	REVISIONS

JOB NO.	21404
SCALE	AS SHOWN
DATE	04/04/23
ENGINEER	JBG
DRAWN BY	RAJ
DESIGN BY	TAH
REVIEW BY	JBG



NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

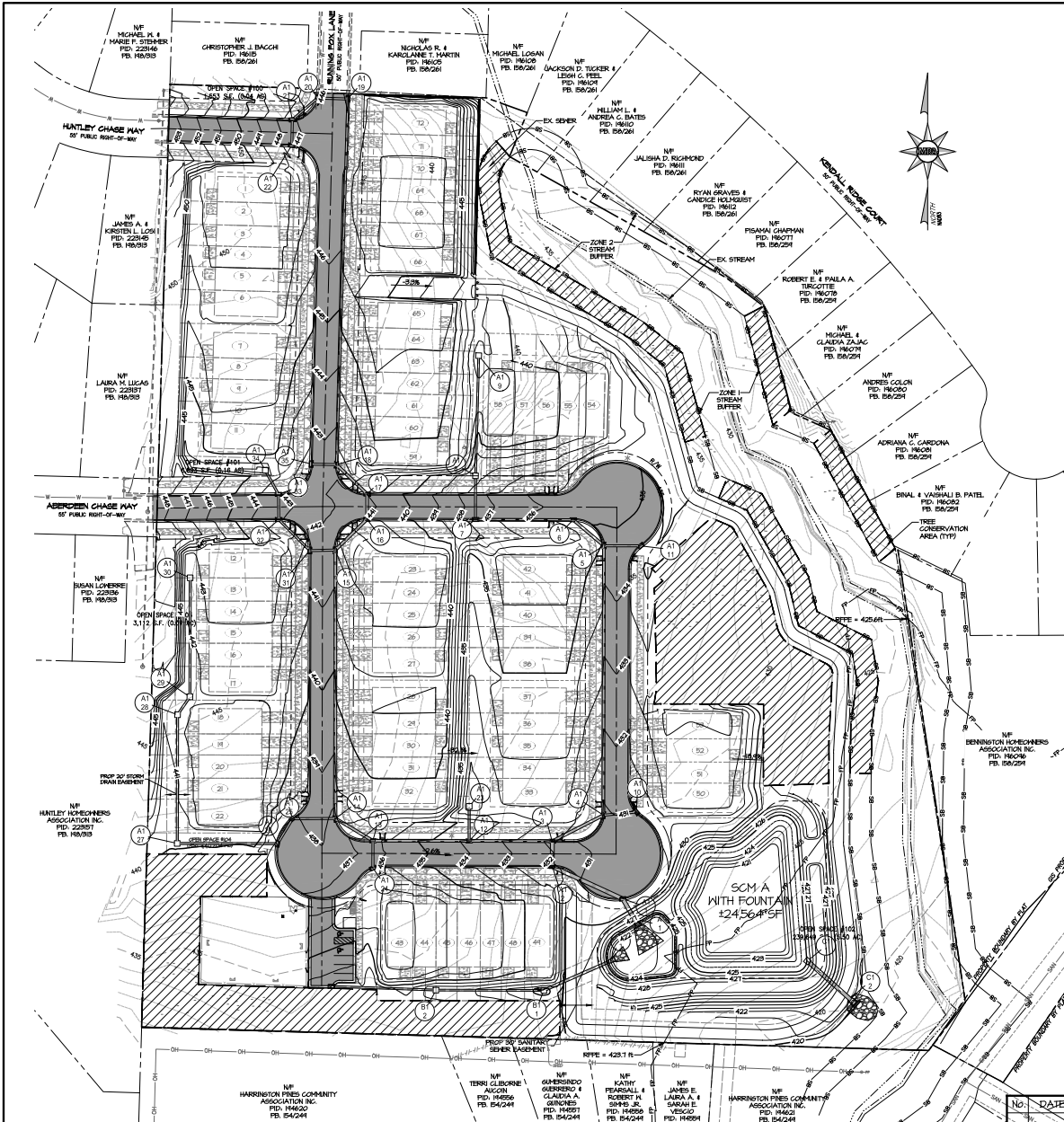
FIRE COVERAGE PLAN

FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA



MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27845
(844) 220-2103
LICENSE # C-482
WWW.MRACIAL.COM
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STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** SHEET: **C23**



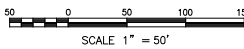
GENERAL NOTES

1. BOUNDARY INFORMATION PROVIDED BY BATEMAN CIVIL SURVEY COMPANY.
2. FIELD TOPOGRAPHIC INFORMATION AND ALL JURISDICTIONAL STREAMS AND WETLANDS TAKEN FROM WAKE COUNTY GIS.
3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.
4. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF WENDELL STANDARDS AND SPECIFICATIONS.
5. ALL UTILITIES SHALL BE LOCATED UNDERGROUND AND SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
6. WHEEL CHAIR RAMPS AND DEPRESSED CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NC BUILDING CODE, VOLUME C, ACCESSIBILITY.
7. SIGN PERMITS SHALL BE REQUIRED FOR ANY SIGNAGE IN THE TOWN OF WENDELL. PERMITS WILL BE REQUIRED PRIOR TO FABRICATION OR INSTALLATION OF SIGNS. SIGN PERMITTING IS A SEPARATE SUBMITTAL, REVIEW AND APPROVAL PROCESS.
8. AN EROSION CONTROL PERMIT IS REQUIRED FROM WAKE COUNTY ENVIRONMENTAL SERVICES PRIOR TO ANY GRADING ON THIS SITE. GRADING CONTRACTOR SHALL CONTACT WAKE COUNTY FOR FINAL VERIFICATION OF ON-SITE EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION.
9. NO REVISIONS MAY BE MADE WITHOUT PERMISSION FROM THE PERMIT ISSUING AUTHORITY.
10. ALL LANDSCAPING SHOULD BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TOWN OF WENDELL'S STANDARDS.
11. DO NOT SCALE DRAWINGS. DIGITAL INFORMATION SHALL BE PROVIDED FOR CONSTRUCTION.
12. ALL DIMENSIONS ARE REFERENCED FROM BACK OF CURB.
13. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE IN ALL LOCATIONS.
14. BUILDINGS SHALL BE FIELD STAKED BY A PROFESSIONAL SURVEYOR PRIOR TO CONSTRUCTION.
15. ALL PARKING AREAS SHALL BE SURFACED WITH 6" C&G AND 2 1/2" ASPHALT. DRIVE AISLES SHALL BE SURFACED WITH 8" C&G AND 2 1/2" ASPHALT.
16. PROVIDE ELECTRICAL SERVICE TO ENTRANCE SIGN LOCATIONS.
17. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RECORDATION OF ANY PROPOSED EASEMENTS REQUIRED BY THIS PLAN PRIOR TO THE CERTIFICATE OF OCCUPANCY.
18. THE MUNICIPAL ADDRESS SHALL BE DISPLAYED ON ALL BUILDINGS AT LEAST 12" TALL, READILY VISIBLE FROM THE STREET AND IN A COLOR CONTRASTING TO THE BACKGROUND.
19. LOT RECORDATION NEEDS TO OCCUR PRIOR TO OBTAINING A BUILDING PERMIT FOR THIS SITE.
20. THE OWNER/BUILDING MUST SUPPLY THE TOWN WITH A FINAL LETTER OF CERTIFICATION FROM THE LIGHTING ENGINEER, LIGHTING MANUFACTURER, OR AUTHORIZED LIGHTING CONTRACTOR VERIFYING THAT ALL SITE LIGHTING IS INSTALLED ACCORDING TO TOWN STANDARDS, THE APPROVED PLANS AND ANY APPLICABLE CONDITIONS.

LEGEND

- PR. LOT RIGHT-OF-WAY
- PR. LOT LINE/PAVEMENT LINE
- PR. BUILDING SETBACK
- PR. EASEMENT
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. CURB RADIUS
- PR. LIGHT POLE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. 1" CONTOUR
- PR. 2" CONTOUR
- PR. 3" CONTOUR
- PR. 4" CONTOUR
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- PR. 99" CONTOUR
- PR. 100" CONTOUR

SITE INFORMATION	
SITE ADDRESS	5000 RUNNING FOX LANE, DURHAM, NC 27703
OWNER	SJ PINE, LLC, P.O. BOX 142472 BETHESDA, MD 20827
PN	0779501481
SITE AREA	13.20 ACRES
CURRENT ZONING	R-1-CU
PROPOSED ZONING	R-6-CU
PROPOSED SETBACKS	FRONT: 10' SIDE: 10' REAR: 20'
NO. OF LOTS	72
MAX. DENSITY	N/A
PROPOSED DENSITY	5.53 DU/AC
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
OVERLAY DISTRICT	NONE
TOWNHOUSE LOTS	24' X 110', 22' X 110', 20' X 110'
RESIDENTIAL STREET R/W	50'



No.	DATE	REVISIONS
1	06/24/24	ISSUED FOR PERMITTING
2	06/24/24	REVISED TO ADD EROSION CONTROL MEASURES
3	06/24/24	REVISED TO ADD LANDSCAPING REQUIREMENTS
4	06/24/24	REVISED TO ADD SIGNAGE REQUIREMENTS
5	06/24/24	REVISED TO ADD UTILITY LOCATOR REQUIREMENTS
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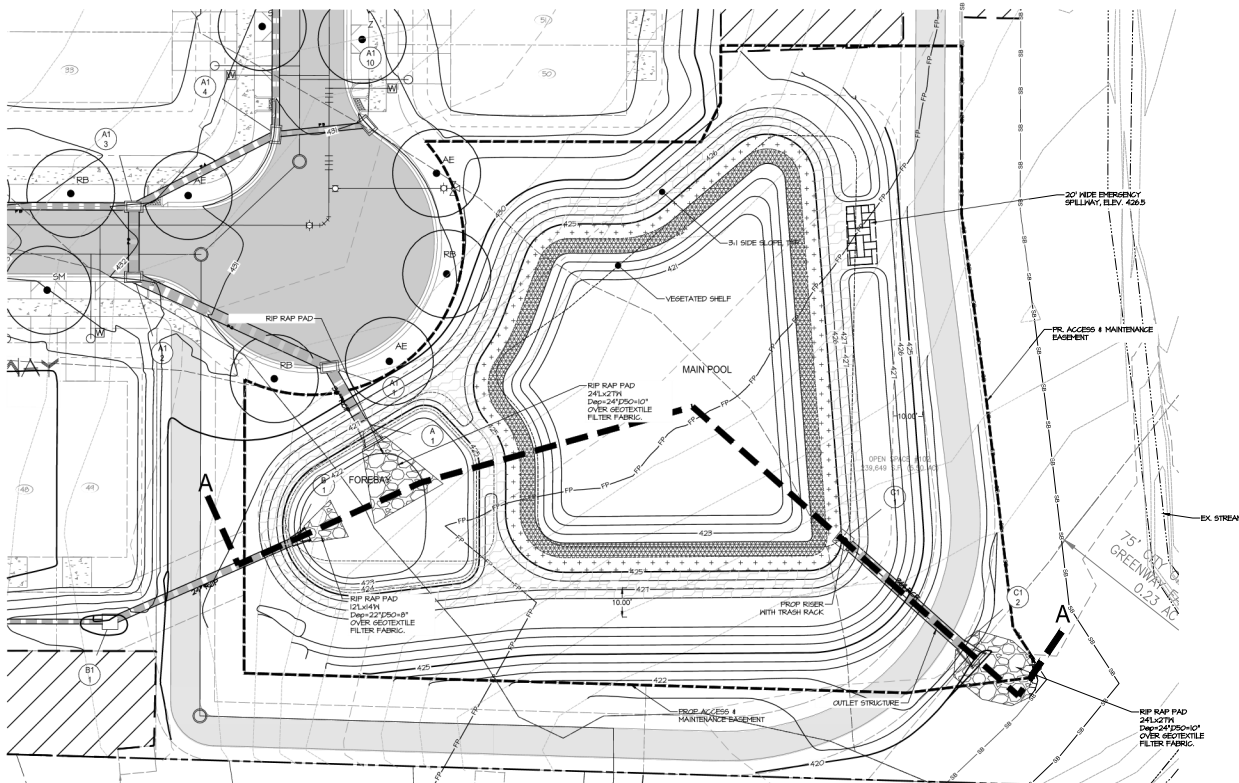
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GRADING PLAN
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

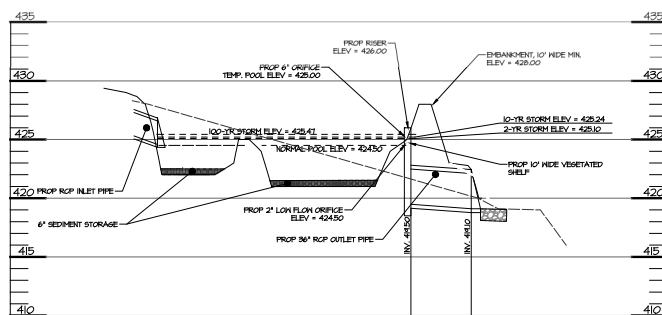
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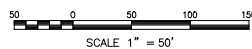
REVISION SHEET: C4.0



WET POND PLAN VIEW
SCALE: 1"=20'



WET POND PROFILE A-A
SCALE: 1"=50' H
1"=5' V



STORMWATER WET POND PLANTING SCHEDULE

SHALLOW WATER ZONE: ALLOWABLE PLANT SPECIES (12,600 SF/200 SF X 50 = 3,150 PLANTINGS REQUIRED)						
SYM	COMMON NAME	BOTANICAL NAME	DEPTH RANGE (INCHES BELOW NORMAL POOL)	SPACING (O.C., FT)	QUANTITY	PERCENTAGE
AA	ARROW ARUM	PITHECANTHERA VIRGINICA	0-6	3.0		2 IN PLUS (MND)
PA	POISONWEEED	PHOTODUROCATA	0-6	3.0		2 IN PLUS (MND)
DP	DUCK POTATO	SAGITTARIA LATIFOLIA	0-6	3.0		2 IN PLUS (MND)
SR	SOFTSTEM BULLRUSH	SPARGANGLERUS	0-6	3.0		2 IN PLUS (MND)
SP	SPIDER LILY	HYDROPHILUM	0-6	3.0		2 IN PLUS (MND)
TS	THREE WAY SEDGE	DULICHUM AMERICANUM	0-6	3.0		2 IN PLUS (MND)
SI	SWEETFLAG	ACORUS SERRATIFOLIUS	0-6	3.0	1,050	33.33%
BI	SOUTHERN BLUE FLAG IRIS	IRIS VIRGINICA	0-6	3.0	1,050	33.33%
TS	THREE SQUARE BULLRUSH	SPARGANGLERUS	0-6	3.0	1,050	33.33%
SR	SOFT RUSH	JUNCUS EFFUSUS	0-6	3.0		2 IN PLUS (MND)

SHALLOW LAND ZONE: ALLOWABLE PLANT SPECIES (12,600 SF/200 SF X 50 = 3,150 PLANTINGS REQUIRED)						
SYM	COMMON NAME	BOTANICAL NAME	DEPTH RANGE (INCHES ABOVE NORMAL POOL)	SPACING (O.C., FT)	QUANTITY	PERCENTAGE
SM	SWAMP MILKWEED	ASCELOPIAS INCARNATA	0-12	3.0	1,050	33.33%
PM	POISONWEEED	PHOTODUROCATA	0-12	3.0	1,050	33.33%
ST	SPOTTED TRUMPETWEED	SPARGANGLERUS	0-12	3.0	1,050	33.33%
SR	SOFTSTEM BULLRUSH	SPARGANGLERUS	0-12	3.0		2 IN PLUS (MND)
SS	SHALLOW SEDGE	CAREX LUNATA	0-12	3.0		2 IN PLUS (MND)
SR	SCARLET ROSE MALLOW	HIBISCUS MOCCIOSUS	0-12	3.0		2 IN PLUS (MND)
PM	POISONWEEED	PHOTODUROCATA	0-12	3.0		2 IN PLUS (MND)
SP	SPIDER LILY	HYDROPHILUM	0-12	3.0		2 IN PLUS (MND)
SL	SWAMP LILY	ORNLIA FLORIDANA	0-12	3.0		2 IN PLUS (MND)
CF	CARDINAL FLOWER	LOBELIA CARDINALIS	0-12	3.0		2 IN PLUS (MND)
SR	SOFTSTEM BULLRUSH	SPARGANGLERUS	0-12	3.0		2 IN PLUS (MND)

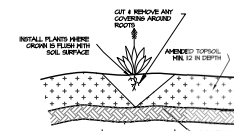
ACTUAL PLANTINGS AVAILABLE AT THE TIME OF CONSTRUCTION MAY VARY FROM THOSE INDICATED. ACCEPTABLE ALTERNATIVES SHOWN ON THE CHART MAY BE SUBSTITUTED UPON APPROVAL BY THE CITY OF RALEIGH.

NOTE: THE VEGETATED SHELF WILL BE PLANTED WITH A MINIMUM OF THREE DIVERSE HERBACEOUS PLANT SPECIES PER 1000 SQ. FT. FOR NET POND.

REQUIREMENT II.

EMBANKMENT PLANTING			
SYM	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
CD	CYNODON DACTYLON (SEED)	BERMUDA GRASS	4200 SF PER EDC PLAN SEEDING SPEC
CD	CYNODON DACTYLON (SOIL)	BERMUDA GRASS	180 SF TURF REINFORCE MATTING (SEED)

LEGEND



GENERAL PLANTING DETAIL
NTS



THE DRAWING AND ANY ASSOCIATED INFORMATION IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE USER OF THIS DRAWING AND ANY ASSOCIATED INFORMATION IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE CITY OF RALEIGH.

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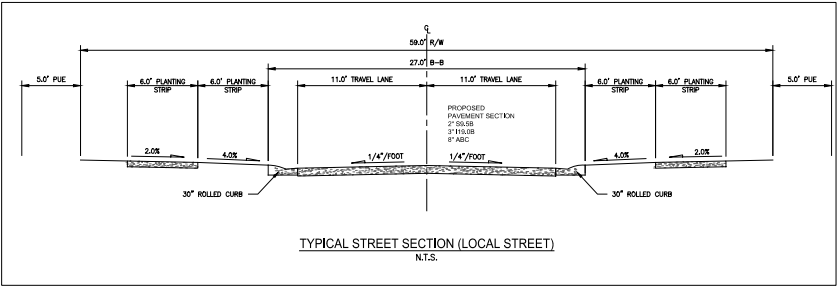
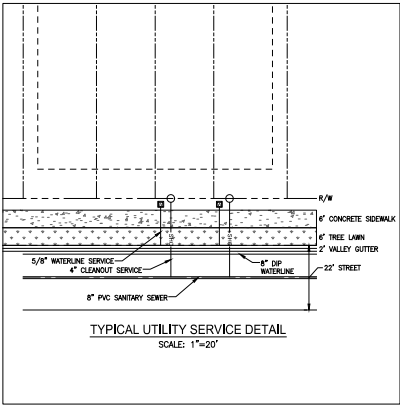
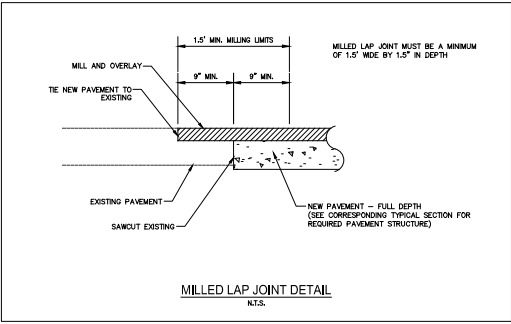
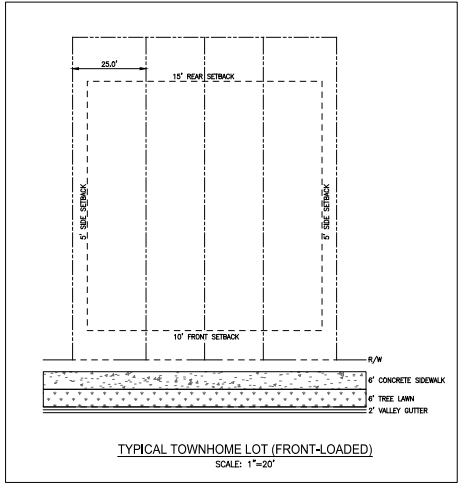
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WET POND PLAN
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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REVISION: C5.1



PRELIMINARY PLAN
NOT FOR CONSTRUCTION










No.	DATE	REVISIONS		
			JOB NO.	21404
			SCALE	AS SHOWN
			DATE	04/04/23
			ENGINEER	JBB
			DRAWN BY	RAJ
			DESIGN BY	TH
			REVIEW BY	JBB

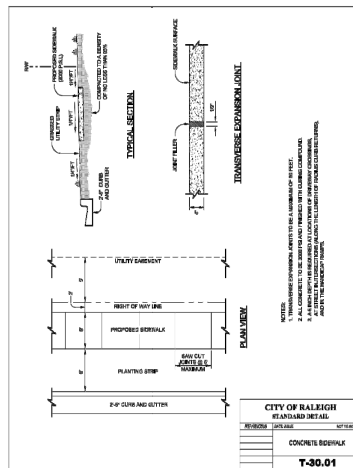
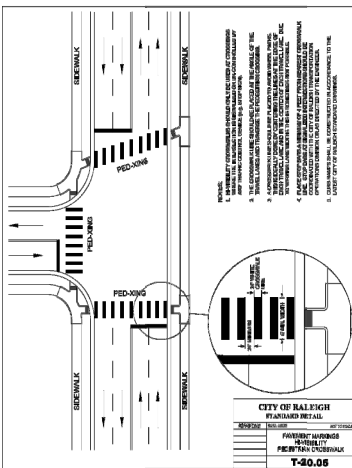
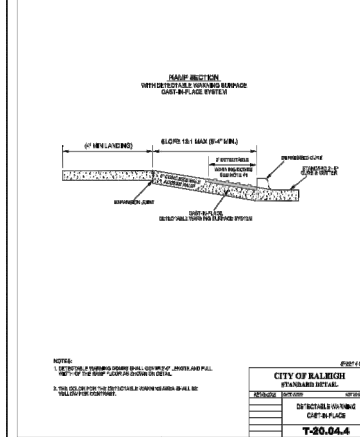
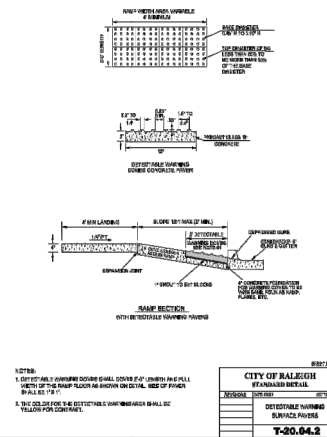
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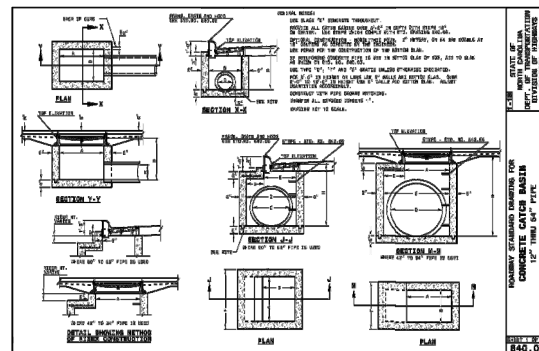
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1. CITY OF PALM BEACH STANDARD CURB RAMP SHALL BE DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND HAVE PUBLIC RIGHT OF WAY ACCESS (SEE PROLOG)
2. CURB RAMP SHALL BE PROVIDED AT ALL INTERSECTIONS AS SHOWN ON THE PLAN, OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMP SHALL BE LOCATED AS SHOWN ON THE PLAN, OR AS DIRECTED BY THE ENGINEER. THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF PALM BEACH WHEN EXISTING LIGHT POLES, FIRE HYDRANTS, OR OTHER UTILITIES AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMP ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WARNING AREA SHALL BE BLUE PAVED. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CURB.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1:12 (8.33%) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 4' OF ALL RAMP SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLIMATE 4000 PSI PAVEMENT WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A SMOOTH WHEELCHAIR SURFACE.
8. A 1" EXPANSION JOINT INSTALLED 10' FALL OFFSHOUL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINT THE CURB AND ALSO 10' MINIMUM FROM ANY EXISTING CONCRETE EXISTING CONCRETE.
9. CURB RAMP SHALL BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>	<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>	<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>
<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>	<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>	<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>
<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>	<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>	<p>WALL</p>  <p>1. SHEET PILING 2. BRACE 3. RIGIDITY BRACE 4. RIGIDITY BRACE 5. RIGIDITY BRACE 6. RIGIDITY BRACE</p> <p>FROM THE WALL TO THE RIGIDITY BRACE</p>



USE EAST JORDAN IRON WORKS V-4530-02 OR APPROVED EQUAL.
GRATE SHOULD BE USED FOR ALL CURB INLETS EXCEPT AI-1, AI-4, AI-35.

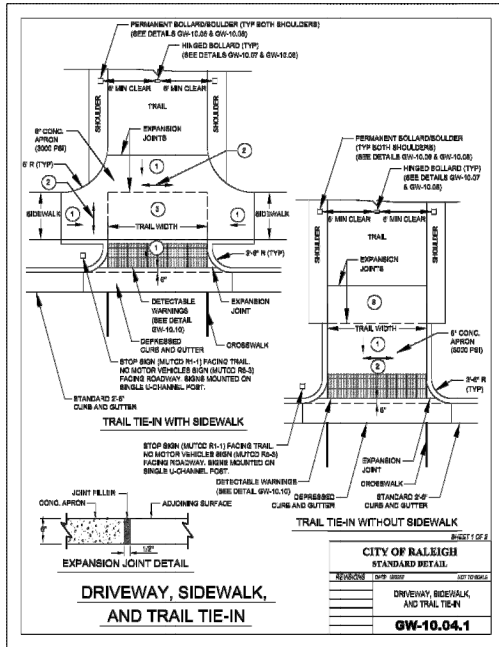


NCDOT 840.02 SHALL BE USED FOR INLETS A-1, A-4, A-35.

No.	DATE	REVISIONS
		JOB NO.: 214
		SCALE: AS SHD
		DATE: 04/04
		ENGINEER: J
		DRAWN BY: R
		DESIGN BY:
		REVIEW BY:



STATUS:	PRELIMINARY NOT FOR CONSTRUCTION	REVISION	SHEET: D1.2
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DRIVEWAY, SIDEWALK, AND TRAIL TIE-IN - NOTES:

1. THE DRIVEWAY, SIDEWALK, TRAIL TIE-IN SHALL BE BUILT IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES PROVIDED.
2. THE DRIVEWAY, SIDEWALK, TRAIL TIE-IN SHALL BE PLACED PARALLEL TO THE TRAIL DIRECTION OF TRAVEL.
3. DETECTABLE WARNING SHALL BE INSTALLED ALONG THE BACK OF CURB COVERING THE FULL WIDTH OF THE RAMP.
4. FOR THE TRAIL APRON, USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH, NONSLIP SURFACE.
5. A 1" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE MEETS EXISTING CONCRETE.
6. REMOVE AND REPLACE CURB AND GUTTER TO NEAREST - CONT.
7. BOLLARDS/BOLLARDERS SHOULD BE SET BACK FROM THE ROADWAY EDGE A MINIMUM OF 7 FEET AND A MAXIMUM OF 30 FEET AND WILL VARY DEPENDING ON LOCATION. OWNER SHALL INDICATE WHICH OPTION IS BEST FOR THE SITE LOCATION. BOLLARD SHALL NOT BE PLACED WITHIN THE ROADWAY RIGHT-OF-WAY UNLESS AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT IS REQUIRED WITH THE CITY OF RALEIGH RIGHT-OF-WAY DEPARTMENT. SEE DETAILS GW-10.05, GW-10.07, AND GW-10.08 FOR BOLLARD/BOLLARDER DETAILS.
8. STOP SIGN (AUTOC R-1-1) AND NO MOTOR VEHICLES SIGN (AUTOC R-6-1) SHALL BE 60% GAUGE, 2100 ALLOY ALUMINUM AND SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

1. 1:50N (1:5T) MAX RAMP SLOPE (GRADE TO ROADWAY)
2. CROSS SLOPE MAXIMUM 3.00%
3. RAMP REQUIRES A 14"-17" MINIMUM LANDSCAPE WITH A MAXIMUM CROWN SLOPE AND LONGITUDINAL SLOPE OF 3.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRIVEL CURB.

CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
2. ALL STREET TREES PLANTED ON THE PUBLIC RIGHT-OF-WAY SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
3. A TREE IMPACT PERMIT IS REQUIRED TO PLANT STREET TREES ON THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF BUILDING PERMITS.
4. VEGETATIVE SCREENING OF BOTH POND SHALL BE PROVIDED WITH LOCALLY-ADAPTED ENDORSEMENT SPECIES.
5. TREES, BUSHES, AND VEGETATION WITHIN THE PRIMARY TREE CONSERVATION AREA SHALL BE PROTECTED FROM REMOVAL DURING CONSTRUCTION. CONTRACTOR SHALL EXERCISE DILIGENCE TO REMOVE ONLY THE TREES, BUSHES, AND VEGETATION ESSENTIAL FOR CONSTRUCTION.
6. HIGH QUALITY STRUCTURAL SOIL SHALL BE USED UNDERNEATH DRIVEWAYS TO ACCOMPLISH THE MINIMUM 600 CUM YD SOIL VOLUME REQUIREMENT.
7. HAND UNITS WILL BE GROUND-MOUNTED, SCREENING FOR HAND UNITS WILL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED AND SHALL CONSIST OF LANDSCAPING OR AN OPAQUE SCREEN COMPATIBLE WITH THE PHYSICAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL, AND COLOR.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS



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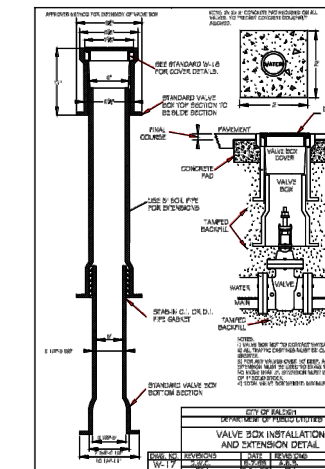
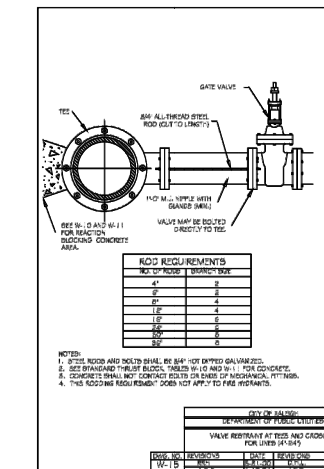
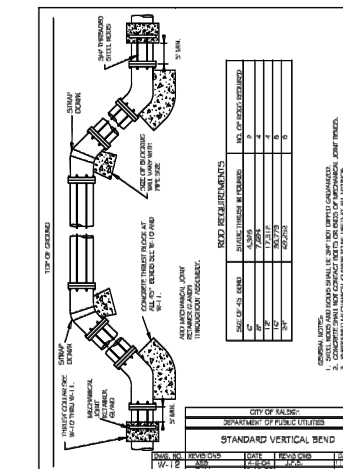
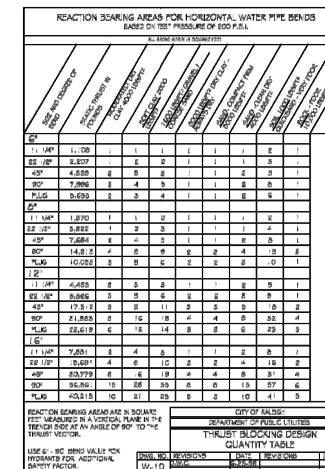
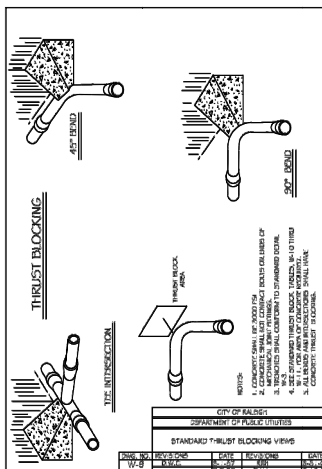
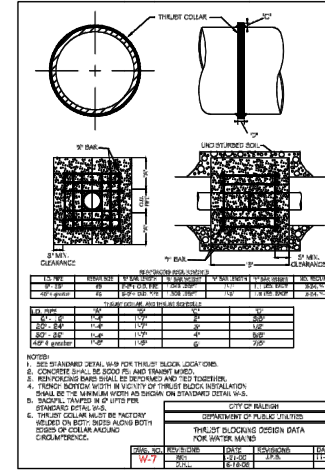
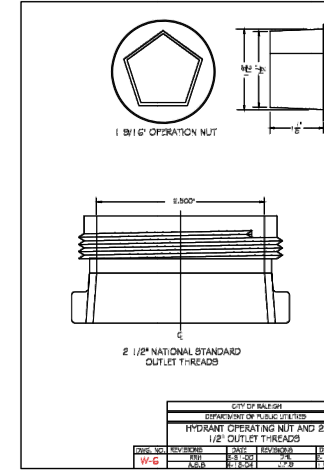
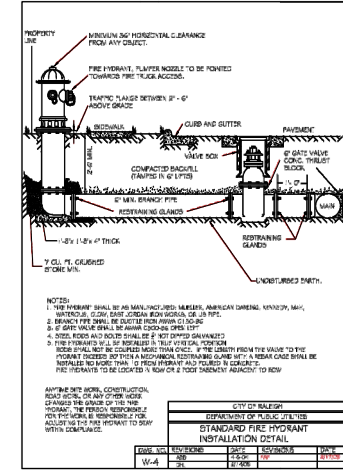
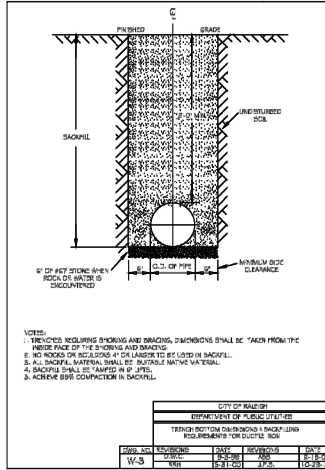
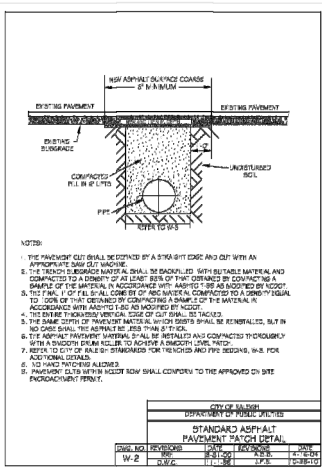
WALKING TRAIL
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

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REVISION: **---**

SHEET: **D1.03**



PRELIMINARY PLAN
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WATER LINE DETAILS - 1 OF 2
FOR
RUNNING FOX
SUB-003-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

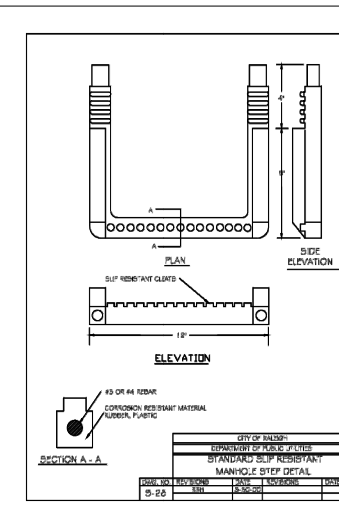
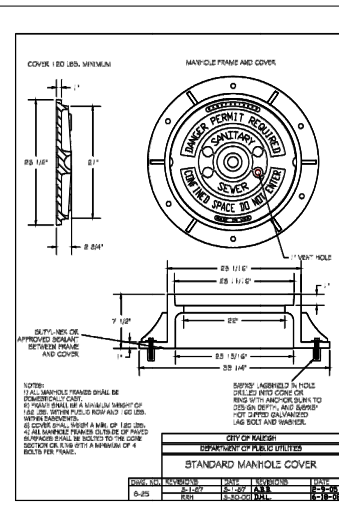
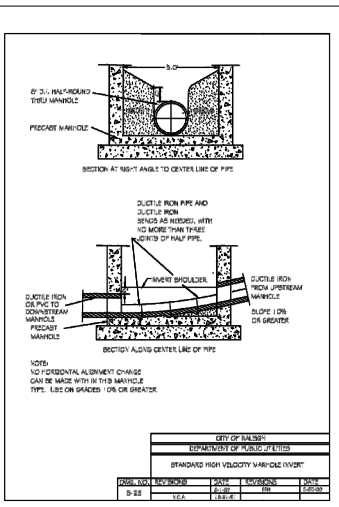
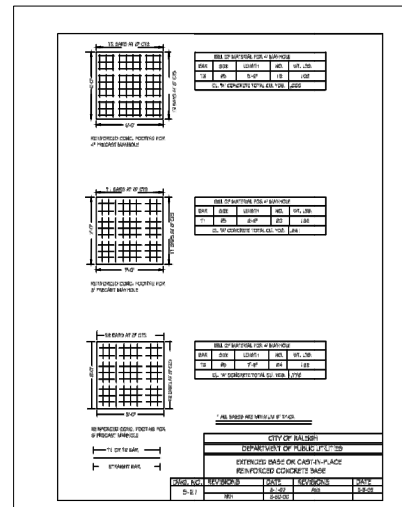
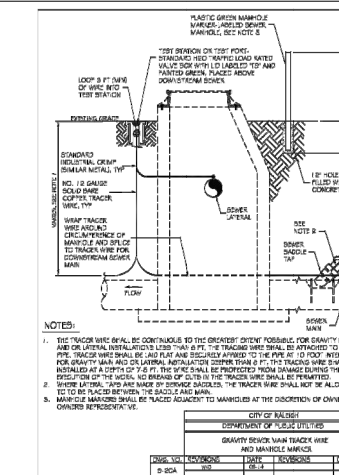
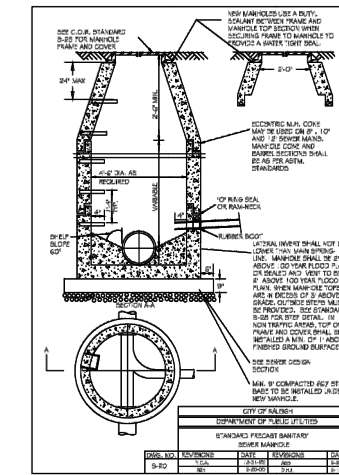
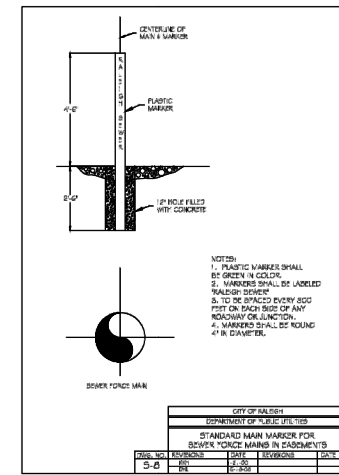
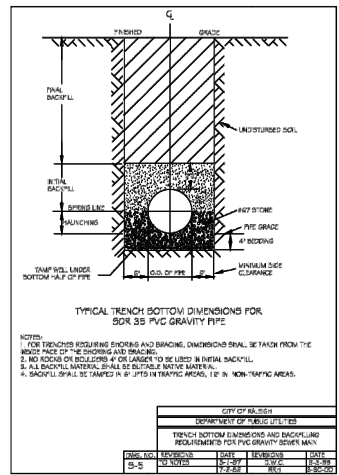
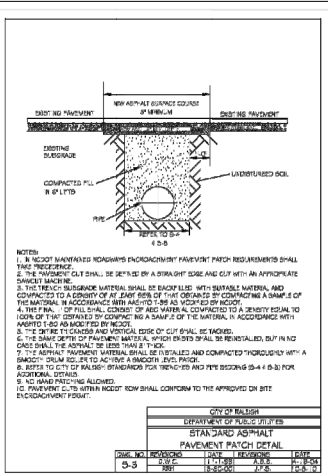
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SANITARY SEWER DETAILS - 1 OF 2

FOR
RUNNING FOX

SUB-0035-2023

CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

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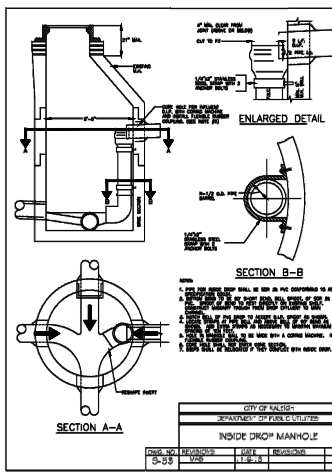
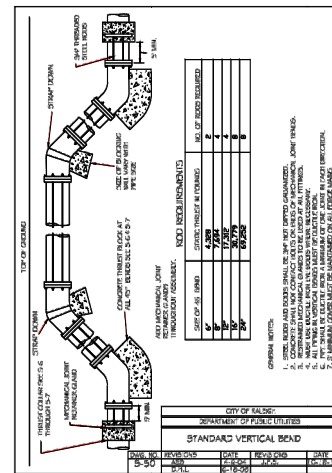
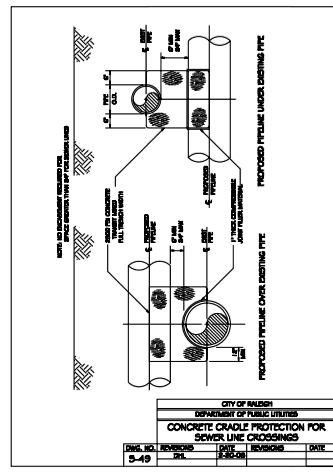
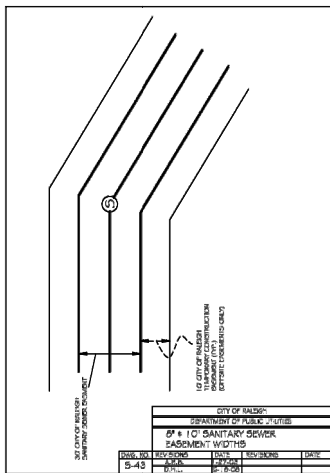
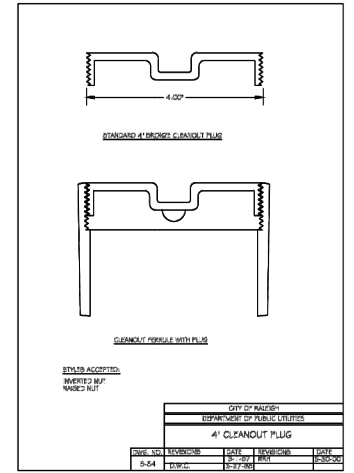
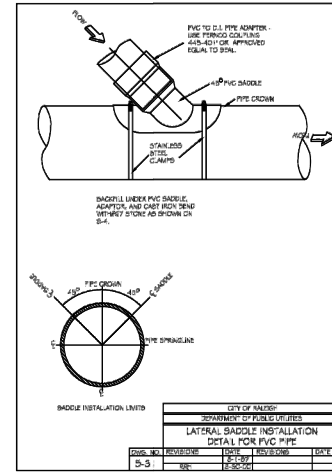
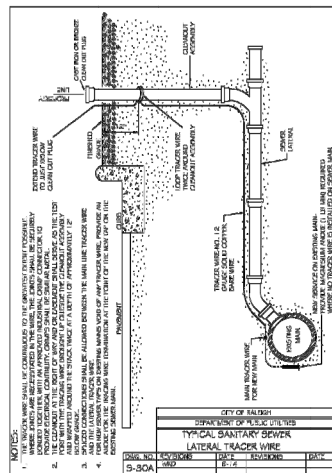
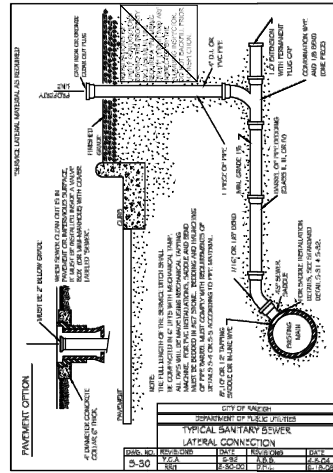
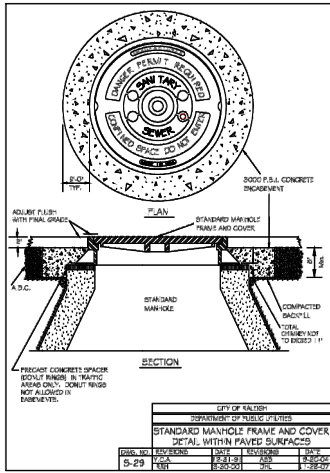
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SHEET: D1.6



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SANITARY SEWER DETAILS - 2 OF 2

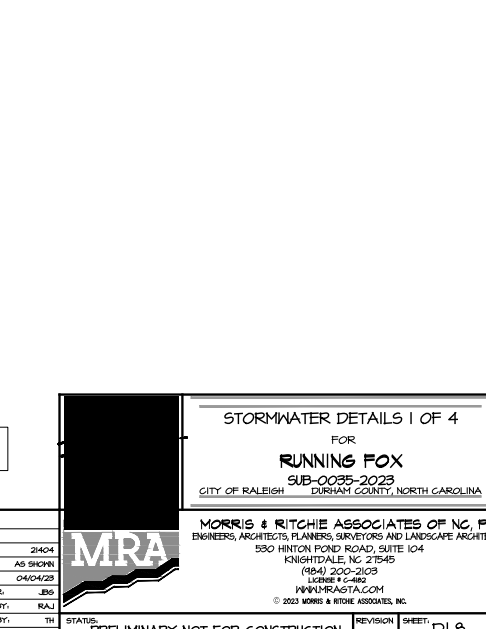
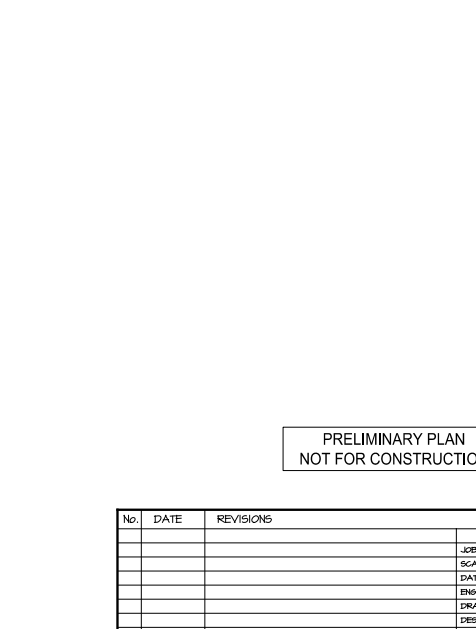
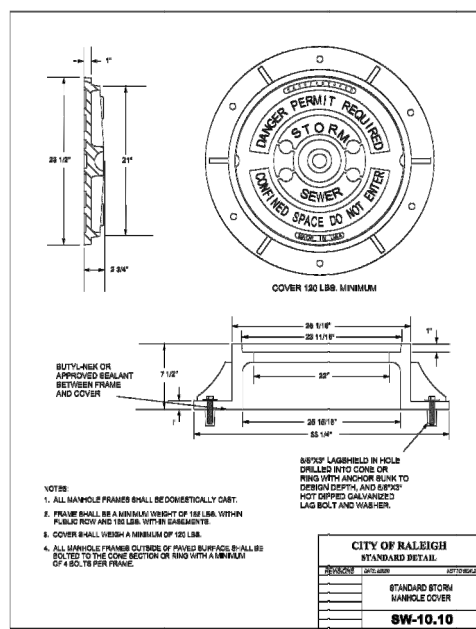
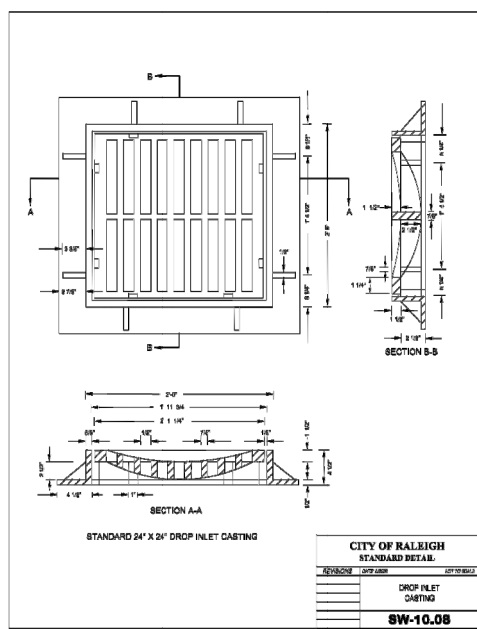
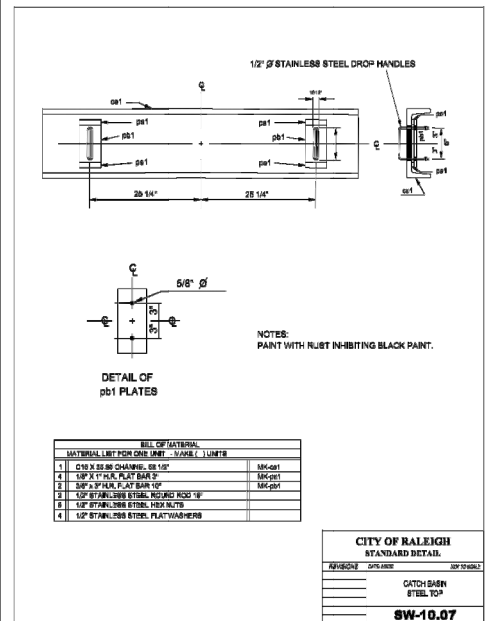
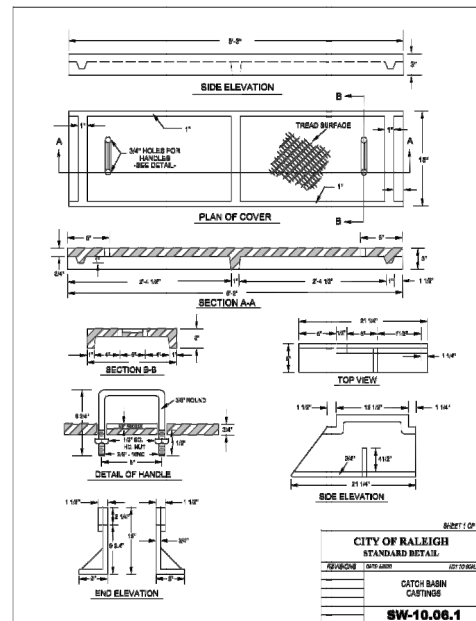
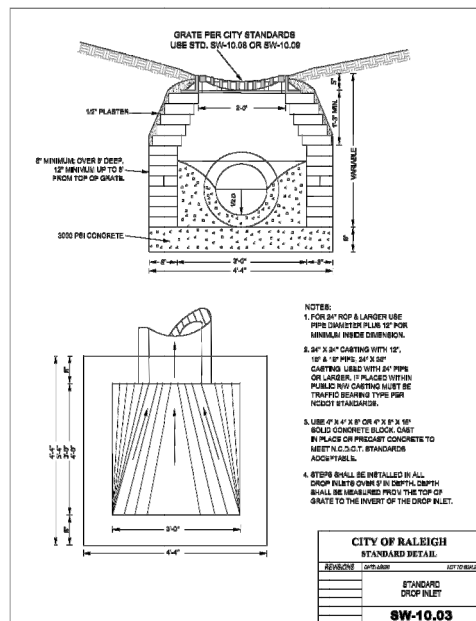
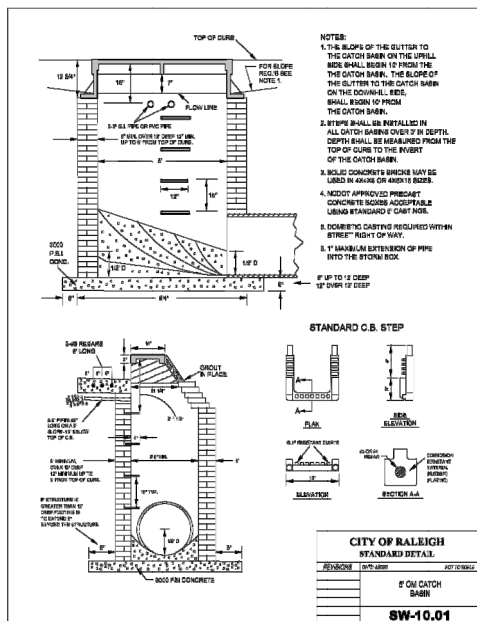
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH, DURHAM COUNTY, NORTH CAROLINA

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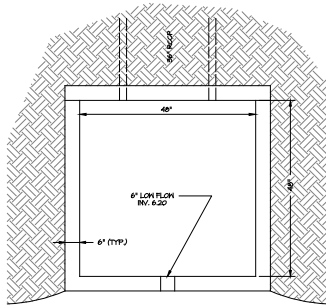
No.	DATE	REVISIONS

STORMWATER DETAILS I OF 4
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH
DURHAM COUNTY, NORTH CAROLINA

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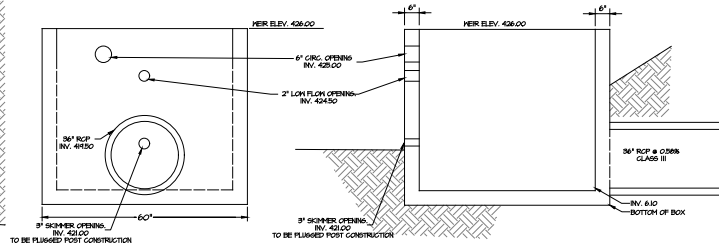
STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

REVISION: **---** SHEET: **D1.8**



NOTE: RISER STRUCTURE TO BE A
NOTIFIED 48" DIA. SILENT BOX
W/ TRASH RACK ATTACHED TO TOP

TOP VIEW

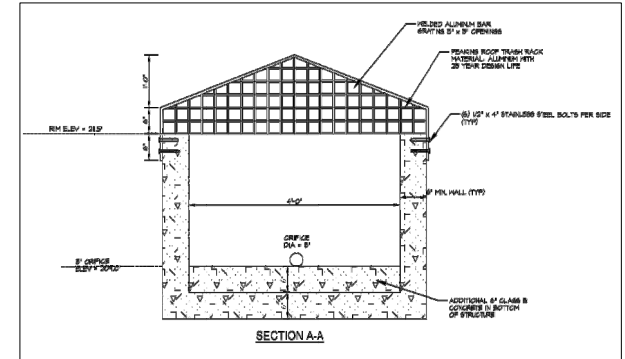


FRONT VIEW

SIDE VIEW

RISER STRUCTURE

SCALE: NTS



RISER STRUCTURE TRASH RACK

SCALE: NTS

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS



POND DETAILS
FOR
RUNNING FOX
SUB-0035-2023
CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA

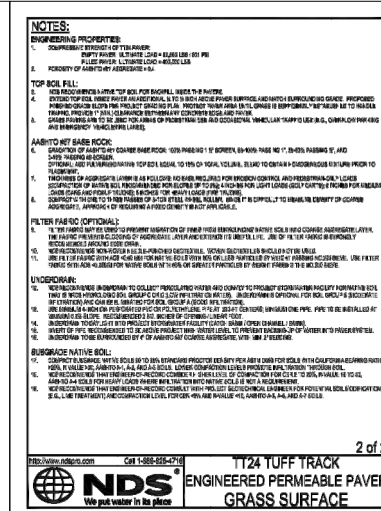
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SHEET: D1.12

NDS Tullraak TT24
Gross Power 32 12 43 - 1NOS Turfrock TT24
Grass Pavers 32 12 43 - 2

ADS Tufftrack TT24
Grand Pavers 32 12 43 - 3

NOS Turbtrack TT24
Gross Power 32 12 43 - 4

Tuffnack TT24-
a Pavers 32 12 43 - 6

	FIRE DETAILS		
	FOR		
	RUNNING FOX		
	SUB-0035-2023		
	CITY OF RALEIGH DURHAM COUNTY, NORTH CAROLINA		
MORRIS & RITCHIE ASSOCIATES OF NC, P.C. ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 530 HINTON POND ROAD, SUITE 104 KNIGHTDALE, NC 27845 (919) 420-2103 LICENSE # C-4462 WWW.MRASTG.COM © 2023 MORRIS & RITCHIE ASSOCIATES, INC.			
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No.	DATE	REVISIONS			
			JOB NO.: 21404 SCALE: AS SHOWN DATE: 01/16/24 ENGINEER: JRS DRAWN BY: RAJ DESIGN BY: TB SENDER BY:	MRA <small>MORRIS & RITCHIE ASSOCIATES INC. PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 890 HILTON ROAD, SUITE 104 KNIGHTDALE, NC 27545 (919) 200-2103 LORDEN@MRAI.COM WWW.MRASTACOM © 2023 MORRIS & RITCHIE ASSOCIATES, INC.</small>	STATUS: PRELIMINARY NOT FOR CONSTRUCTION
					REVISION SHEET D-1.i4