

# Preliminary Subdivision Application

## Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

*NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.*

GENERAL INFORMATION	
Scoping/sketch plan case number(s):	
Development name (subject to approval): Pearce Parcels	
Property Address(es): 4336, 4217, 4209 Watkins Rd	
Recorded Deed PIN(s): 1747-92-1505, 1747-82-5389, 1747-82-4660	
<b>Building type(s):</b>	<input checked="" type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment
<input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House	

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
<b>Current Property Owner(s) Names:</b> See attached.	
Company:	Title:
Address:	
Phone #:	Email:
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>	
Relationship to owner:	<input checked="" type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder
Company: Pulte Home Company, LLC	Address: 1225 Crescent Green Dr, Suite 250, Cary NC 27518
Phone #: 919.334.2185	Email: Chris.Raughley@PulteGroup.com
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact Names:</b> Robert Rudloff	
Company: Pulte Home Company, LLC	Title: Land Planning and Entitlements Manager
Address: 1225 Crescent Green Dr, Suite 250, Cary NC 27518	
Phone #: 919.334.2185	Email: Robert.Rudloff@PulteGroup.com

**DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION**

Gross site acreage: 29.365					
Zoning districts (if more than one, provide acreage of each): R-6-CU					
Overlay district(s):	Inside City Limits?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Historic District/Landmark:	N/A <input checked="" type="checkbox"/>
Conditional Use District (CUD) Case # Z- 013-23	Board of Adjustment Case # BOA-	Design Alternate Case # DA-			

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) <u>9175</u> Proposed total (sf) <u>584958</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) <u>9175</u> Proposed total (sf) <u>584958</u>
---	--

**NUMBER OF LOTS AND DENSITY**

# of Detached House Lots: 93	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots: 93	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br <u>X</u> 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F): 3.17 du/ac		

**APPLICANT SIGNATURE BLOCK**

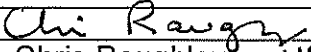
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 06/11/2024
Printed Name: Chris Raughley VP Lend	
Signature:	Date:
Printed Name:	



June 19, 2024

City of Raleigh  
Planning and Development**Re: Pearce Parcels**  
Existing Owner/Agent Information

1. **Becky Pearce:** 4336 Watkins Rd Raleigh NC 27616 (Representative Agent: Tracie Hicks – 919-868-7592)
2. **Jonathan Barnes:** 4209 Watkins Rd Raleigh NC 27616 (336-798-1301)



CONTACT INFORMATION

DEVELOPER / OWNER
PULTE HOMES
1225 CRESCENT GREEN DRIVE, SUITE 250
CARY, NC 27518
CONTACT: ROB RUDLOFF
PHONE: 919.334.2185
REFERENCES
SURVEY
TIMMONS GROUP
5410 TRINITY ROAD, SUITE 102
RALEIGH, NC 27603
CONTACT: NAME
PHONE: 919.866.4951
ENVIRONMENTAL ENGINEER
TIMMONS GROUP
5410 TRINITY ROAD, SUITE 102
RALEIGH, NC 27607
PHONE: 919.866.4951
GEO TECHNICAL ENGINEER
FROELING & ROBERTSON
310 HUBERT STREET
RALEIGH, NC 27603
PHONE: 919.624.4468
LANDSCAPE ARCHITECT
UNDERFOOT ENGINEERING, INC
1149 EXECUTIVE CIRCLE, SUITE C-1, CARY, NC 27511
CONTACT: MIKE ROSELLI, PE, PLA
PHONE: 919.576.9733
REVIEW AGENCIES / UTILITY CONTACTS
PLANNING APPROVAL
CITY OF RALEIGH - PERMITS AND INSPECTIONS DEPARTMENT
ONE EXCHANGE PLAZA, SUITE 400
RALEIGH, NC 27601
PHONE: 919.996.2495
WATER
CITY OF RALEIGH - PUBLIC UTILITIES DEPARTMENT
ONE EXCHANGE PLAZA, SUITE 620
RALEIGH, NC 27601
PHONE: 919.996.3245
SEWER
CITY OF RALEIGH - PUBLIC UTILITIES DEPARTMENT
ONE EXCHANGE PLAZA, SUITE 620
RALEIGH, NC 27601
PHONE: 919.996.3245
EROSION CONTROL
CITY OF RALEIGH - ENGINEERING SERVICES DEPARTMENT
ONE EXCHANGE PLAZA, SUITE 801
RALEIGH, NC 27601
PHONE: 919.996.5575
ROADS - OFFSITE
NCDOT - DIVISION 5
2612 N DUKE ST
DURHAM, NC 27704
PHONE: 919.220.4600

PEARCE PARCELS
PRELIMINARY SUBDIVISION PLAN
UNDERFOOT PROJECT - C23054
RALEIGH CASE #
LOCATION:
4209 WATKINS RD RALEIGH, NC 27616

SHEET INDEX

Table with 2 columns: # and SHEET NAME. Lists sheets C-000 through C-200 including COVER SHEET, OVERALL EXISTING CONDITIONS & DEMOLITION PLAN, etc.

PLAN REVISIONS table with columns: #, DATE, REVISION, BY.



PROJECT:
PEARCE PARCELS
PRELIMINARY SUBDIVISION PLAN
4209 WATKINS ROAD
RALEIGH, NC 27616
PROJECT #: C23054
DRAWN BY: RWM/LL
REVIEWED BY: LL
1ST SUBMITAL: 06.21.2024
SCALE: AS NOTED

PRELIMINARY NOT FOR CONSTRUCTION

PREPARED FOR:
PULTE HOMES



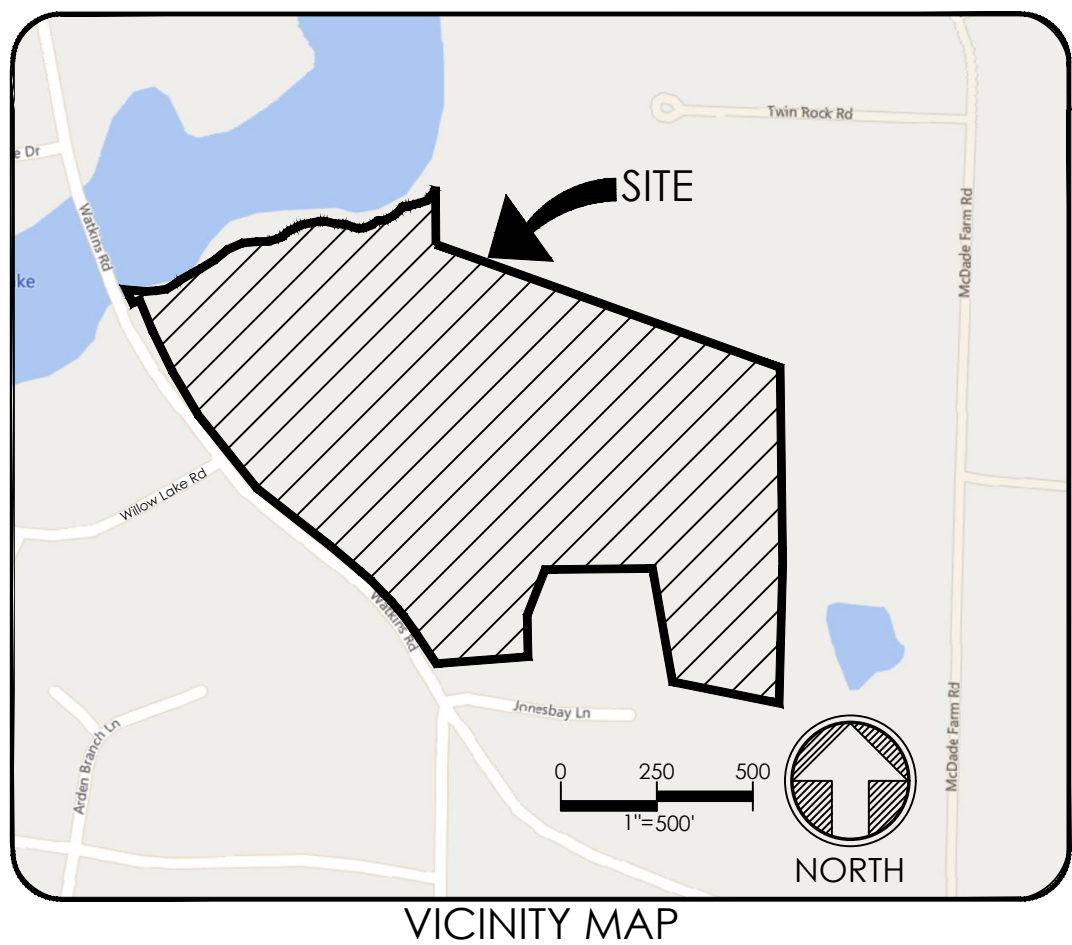
SHEET:
COVER SHEET

C-000

SITE DATA

ADDRESSES
0. 4209, 4217 WATKINS ROAD
1747-92-1505, 1747-92-4660, 1747-92-5389
0037074, 0013663, 0017833
PARCEL IDENTIFICATION NUMBERS
REAL ESTATE ID
EXISTING PARCEL ACREAGE (TOTAL)
29.36 AC
PARCEL 1
26.81 AC
PARCEL 2
1.93 AC
PARCEL 3
0.62 AC
WATKINS ROAD R/W DEDICATION
0.24 AC
DEVELOPMENT AREA
29.13 AC
TOTAL PROPOSED R/W AREA
6.68 AC
NET SITE AREA
22.69 AC
EXISTING USE
RESIDENTIAL - SINGLE FAMILY
PROPOSED USE
RESIDENTIAL - SINGLE FAMILY
ZONING
R-8-CU
FIRM PANEL
3720174700K (REVISED 07.19.2022)
SINGLE FAMILY UNITS PROPOSED
93 DU
AVERAGE LOT SIZE
6120 SF (TYP. 51' X 120')
ALLOWABLE MINIMUM LOT WIDTH
51'
PROPOSED MINIMUM LOT WIDTH
40' / 3 STORIES
MAXIMUM BUILDING HEIGHT
(COR UDO SEC. 2.2.3)
PROPOSED BEDROOMS PER UNIT
3
PARKING CALCULATIONS
REQUIRED (UDO SEC. 7.1.2)
0
PROPOSED
2 SPACES \* 93 DU = 186 SPACES
C8U PARKING LOT SPACES = 2 SPACES
TOTAL PARKING SPACES PROVIDED = 188 SPACES
TREE CONSERVATION AREA CALCULATIONS:
REQUIRED (UDO SEC. 9.1.3):
10% OF NET SITE AREA = 22.69 AC \* 0.1
2.269 AC (98,838 SF)
TCA PROVIDED:
NET PRIMARY TCA:
0.08 AC (3,485 SF) FEATURE S-1 AREA
NET SECONDARY TCA:
2.49 AC (108,900 SF)
NET TCA - GREENWAY:
0.74 AC (32,234 SF) 50' \* 820' LESS SAN. SWR ESMT
TOTAL TCA PROVIDED:
3.31 AC (144,184 SF)
(SHEE SHEET L-200)
OPEN AREA CALCULATIONS:
REQUIRED (PER REZONING CASE #Z-13-23):
20% OF NET SITE AREA = 22.69 AC \* 0.2
4.54 AC (197,675 SF)
OPEN AREA PROVIDED:
OPEN AREA #1
6.85 AC (298,225 SF)
OPEN AREA #2
0.40 AC (17,317 SF)
OPEN AREA #3
0.36 AC (15,582 SF)
OPEN AREA #4
0.11 AC (4,819 SF)
OPEN AREA #5
0.09 AC (4,134 SF)
OVERALL TOTAL PROVIDED
7.81 AC (340,204 SF) = 26.6% OF NET SITE AREA
26.6 > 20% MEETS Z-13-23, CONDITION #3A
INFRASTRUCTURE QUANTITIES:
STREETS - NEIGHBORHOOD LOCAL:
100,839 SF
STREETS - NEIGHBORHOOD YIELD:
22,184 SF
6" DOMESTIC WL:
933 LF
8" DOMESTIC WL:
3,566 LF
12" DOMESTIC WL (OFF-SITE):
773 LF
FIRE HYDRANTS:
8
8" SAN. SEWER:
4,018 LF
PROPOSED # OF DOMESTIC WATER TAPS:
93
PROPOSED # OF SEWER TAPS:
93
AVERAGE SEWER FLOW:
33,480 GPD (93 \* 120 GPD / BR \* 3 BR)
IMPERVIOUS SURFACES:
SUBDIVISION STREETS/PARKING
3.27 AC (142,750 SF)
SUBDIVISION SIDEWALKS
1.03 AC (45,039 SF)
LOT IMPERVIOUS
8.97 AC (390,600 SF) 93 UNITS \* 4200 SF/LOT
TOTAL IMPERVIOUS
13.3 AC (579,348 SF)
PERCENT IMPERVIOUS
45.3%
DISTURBED AREA:
ON SITE:
24.4 AC (1,062,864 SF)
OFF-SITE:
1.23 AC (53,578 SF)
TOTAL DISTURBED AREA
25.6 AC (1,115,136 SF)

Preliminary Subdivision Application form. Includes sections for DEVELOPMENT OPTIONS, GENERAL INFORMATION, CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION, and APPLICANT SIGNATURE BLOCK.



Z-13-23 WATKINS ROAD REZONING

- 1. PROHIBIT CEMETERY AS A PERMITTED USE. CEMETERY IS NOT A PROPOSED USE.
2. LIMIT MORNING AND EVENING TRAFFIC GENERATION TO:
AM PEAK HOUR: 132 TOTAL TRIPS
PM PEAK HOUR: 143 TOTAL TRIPS
THE PROPOSED DEVELOPMENT WILL PRODUCE LESS THAN THE MAXIMUM ALLOWABLE AM AND PM PEAK HOUR TRIPS.
3. THE FOLLOWING CONDITIONS SHALL APPLY ONLY TO DEVELOPMENT QUALIFYING AS A TIER 3 SITE PLAN: A MINIMUM OF TWENTY PERCENT (20%) OF THE NET SITE AREA OF THE PROPERTY SHALL BE DESIGNATED AS OPEN AREA, WITH A MAXIMUM OF 12.5% IMPERVIOUS SURFACE AREA. THE PROPOSED DEVELOPMENT QUALIFIES AS A TIER 3 SITE PLAN, 26.6% OF THE NET SITE AREA IS DESIGNATED AS OPEN AREA. NONE OF THE OPEN AREAS HAVE IMPERVIOUS SURFACES.

DEVELOPMENT TYPE + SITE DATA TABLE - ZONING INFORMATION table. Includes details on Gross site acreage, Zoning districts, Overlay districts, Conditional Use District (CUD), STORMWATER INFORMATION, NUMBER OF LOTS AND DENSITY, and APPLICANT SIGNATURE BLOCK.

PREPARED BY:
underfoot ENGINEERING
1149 EXECUTIVE CIRCLE
CARY, NC 27511
P: 919.576.9733
NCBELS # C-3847
CONTACT: LANDON M. LOVELACE
LLOVELACE@UNDERFOOTENGINEERING.COM

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF RECORD IN WRITING PRIOR TO STARTING CONSTRUCTION IF DISCREPANCIES ARE FOUND.

ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS IN PLACE AT TIME OF PLAN APPROVAL.

X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE\DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN SETS\COVER AND NOTED.DWG PRINTED BY: ROWANWIKLES 6/20/24 @ 10:01 AM. LAST SAVED BY: ROWANWIKLES







X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE HOMES\PRELIMINARY SUBDIVISION PLAN\C23054 - EXISTING COND AND SUBDIVISION.DWG PRINTED BY: ROMAN HILES 6/20/24 @ 10:02 AM. LAST SAVED BY: MATTHEW WEHN

SEE SHEET C-100 FOR EXISTING NOTES, TABLES, AND LEGEND

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

# PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 06/21/2024  
SCALE: AS NOTED

PRELIMINARY  
NOT FOR CONSTRUCTION

PREPARED FOR:  
  
PULTE HOMES

PREPARED BY:



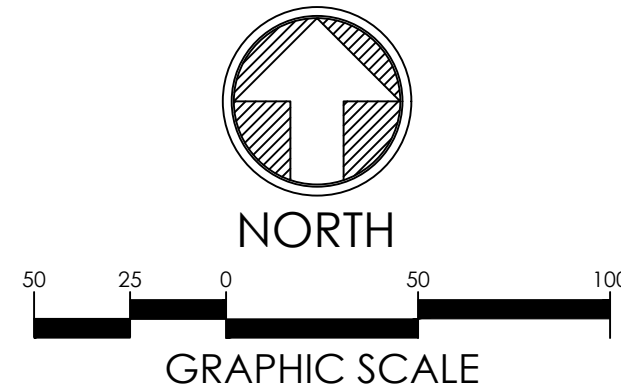
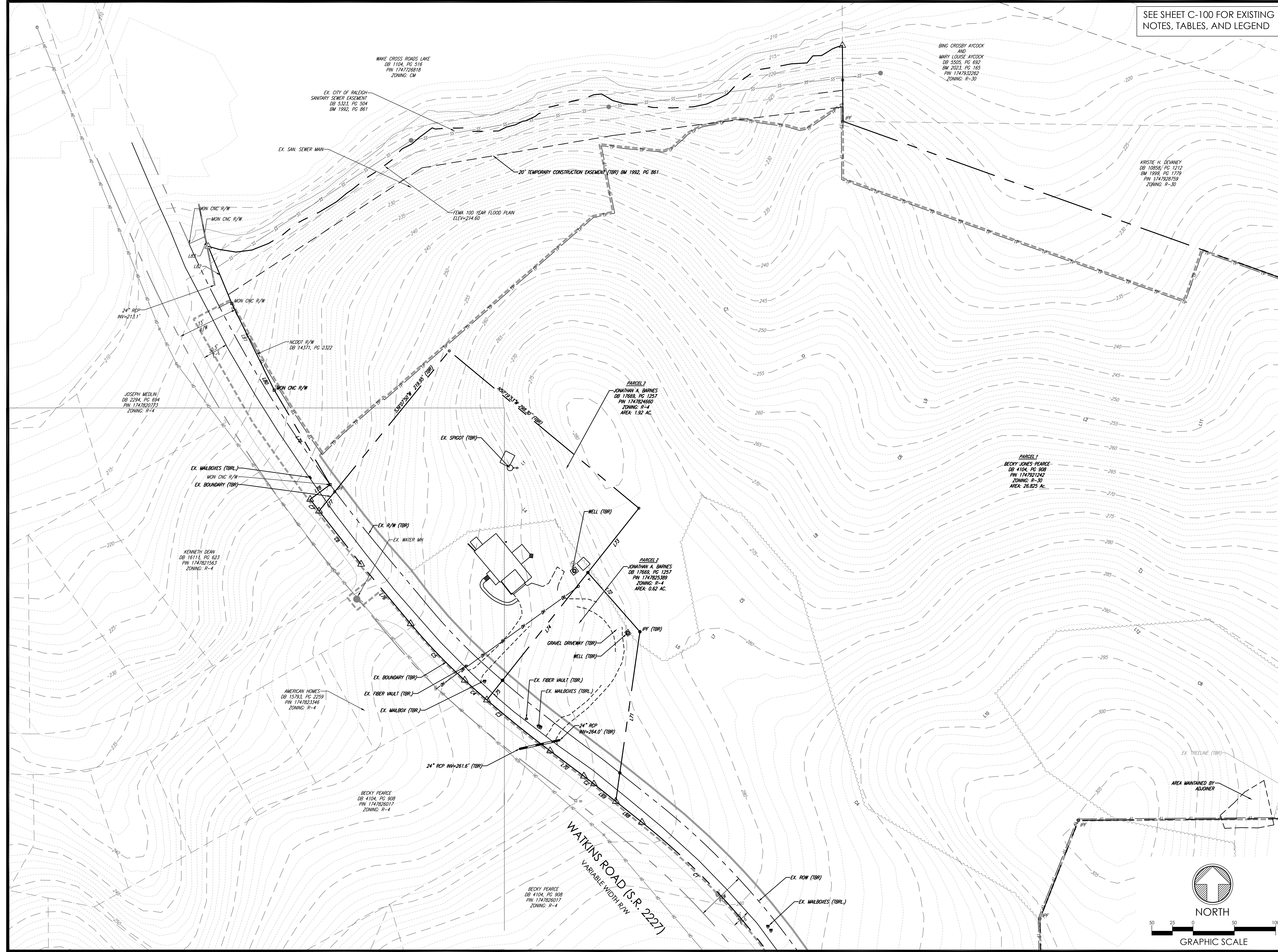
**underfoot**  
ENGINEERING

1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBSLA C683

SEALED:

CONDITIONS &  
DEMOLITION PLAN  
(1 OF 2)

C-101





X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE HOMES\PRELIMINARY SUBDIVISION PLAN\C23054 - EXISTING COND. AND SUBDIVISION.DWG PRINTED BY: ROMAN HILES 6/20/24 @ 10:02 AM. LAST SAVED BY: MATTHEW WEHN



SEE SHEET C-100 FOR EXISTING NOTES, TABLES, AND LEGEND

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG  
It's fast. It's free. It's the law.

PROJECT:  
**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

PRELIMINARY NOT FOR CONSTRUCTION

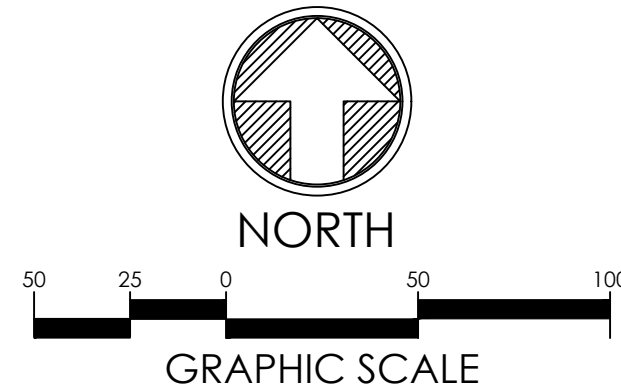
PREPARED FOR:  
**PULTE HOMES**



1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683

SHEET: **EXISTING CONDITIONS & DEMOLITION PLAN (2 OF 2)**

**C-102**





THIS OVERALL SHEET IS FOR REFERENCE PURPOSES ONLY. REFER TO BLOW-UP SHEETS FOR SPECIFICS DETAILS.

- ### SUBDIVISION NOTES
- REFER TO GENERAL NOTES ON SHEET C-100.
  - SETBACKS ARE SHOWN IN ACCORDANCE WITH CITY OF RALEIGH UDO STANDARDS.
  - UTILITY AND PIPELINE EASEMENTS SHALL BE RECORDED AS PART OF THE SUBDIVISION PLAN AFTER CONSTRUCTION IS COMPLETED.
  - COMMON OPEN SPACE SHALL BE MAINTAINED BY THE NEIGHBORHOOD HOMEOWNERS ASSOCIATION. OPEN SPACE INCLUDES A BLANKET DRAINAGE AND ACCESS EASEMENT FOR THE STORMWATER BMP. THE PROPERTY OWNERS ASSOCIATION SHALL MAINTAIN ALL AREAS NOT IN LOTS OR PUBLIC RIGHT OF WAY. THIS INCLUDES STORMWATER BMPs, TREE CONSERVATION AREAS, PARKING LOTS, AMENITY AREA AND OTHER COMMON AREAS WITHIN THIS SUBDIVISION.
  - ADJACENT OPEN SPACE WILL BE RECORDED AS LOTS ARE RECORDED.
  - TREES SHALL NOT BE PLANTED IN ANY CITY OF RALEIGH SANITARY SEWER EASEMENTS.
  - SIGHT DISTANCE TRIANGLES ARE IN ACCORDANCE WITH RALEIGH STREET DESIGN MANUAL STANDARDS (SEC. 12.6.1). REFER TO ROADWAY DATA TABLE ON THIS SHEET.
  - MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTION STREETS TO EDGE OF THE FIRST DRIVEWAY SHALL BE AT LEAST 20 FEET FROM POINT OF TANGENCY.
  - ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50' OF ALL STREET INTERSECTIONS. THE FULL WIDTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENSITIVE AREA THOROUGHFARES.
  - ALL PROPOSED PAVEMENT SECTIONS ARE MINIMUM STANDARDS. FINAL PROPOSED PAVEMENT SECTION DESIGNS WILL NEED TO BE PROVIDED TO THE CITY AND NCDOT FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY BASE MATERIAL.
  - THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREET AND ADJACENT STREET REQUIRED PER CITY OF RALEIGH STREET LIGHTING SPECIFICATIONS. THE DEVELOPER SHALL CONTACT DUKE PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SUBDIVISION.
  - REFER TO DETAIL ON THIS SHEET FOR TYPICAL ROAD CROSS SECTIONS.
  - PER CITY OF RALEIGH UDO SECTION 9.1, SECONDARY TREE CONSERVATION AREAS MEET REQUIREMENTS.
  - HANDICAP ACCESS RAMPS SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING AND NCDOT STANDARDS.
  - SUBDIVISION MAIL WILL BE HANDLED BY SIX (6) CLUSTER BOX UNITS (CBUs). THE PROPOSED CBUs CONSIST OF FIVE (5) OF THE 16-RESIDENT MODEL H1570-16AF AND ONE (1) OF THE 13-RESIDENT MODEL H1570-13AF. CBUs SHALL HAVE REAR-LOADING DELIVERY ACCESS.
  - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

### PLAN REVISIONS

#	DATE	REVISION	BY

**KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG**  
It's fast. It's free. It's the law.

PROJECT: **PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

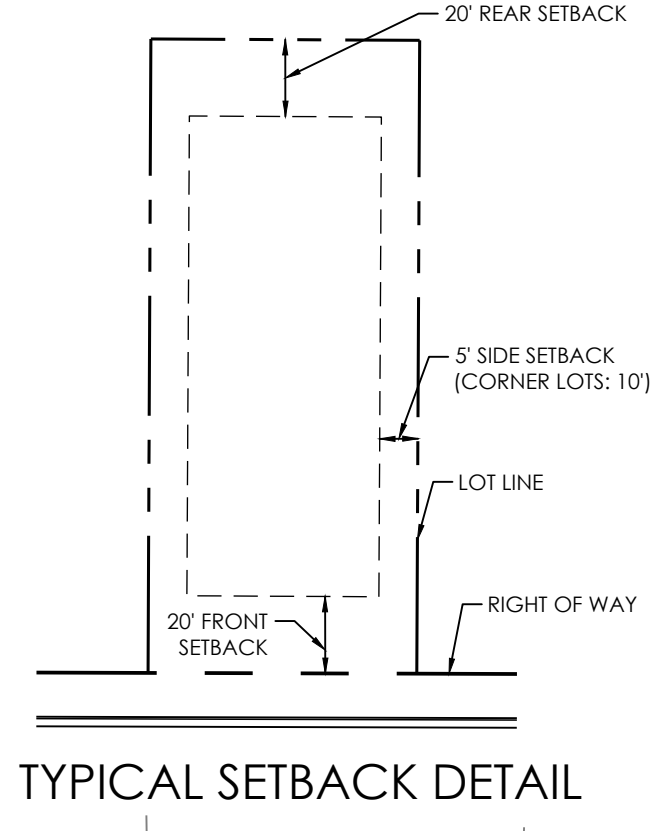
PROJECT #: C23054  
DRAWN BY: RWH/JK  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS SHOWN

PRELIMINARY NOT FOR CONSTRUCTION

PREPARED FOR: **PULTE HOMES**

PREPARED BY:

**underfoot ENGINEERING**  
1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBSOLA C683



- ### PAVEMENT MARKING & SIGNAGE NOTES
- ALL PAVEMENT MARKINGS AND STREET SIGNAGE SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS.
  - PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND SHALL COMPLY WITH NCDOT STANDARDS AND SPECIFICATIONS.
  - SIGNS MUST USE PRISMATIC SHEETING AND MEET THE MINIMUM RETROREFLECTIVITY LEVELS SHOWN IN THE LATEST EDITION OF THE MUTCD. SIGNS PROVIDED FOR PEDESTRIAN CROSSINGS SHALL USE THE STRONG YELLOW-GREEN COLORING.
  - ALL SPECIALTY TRAFFIC CONTROL AND STREET NAME SIGNS AND POSTS MUST COMPLY WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. STREET NAME SIGNS SHALL ADHERE TO THE MUTCD OR LOCAL JURISDICTIONAL REQUIREMENTS RELATED TO COLOR, LETTER CASE, AND LETTER HEIGHT.

### HATCH LEGEND

	0.08 AC		2.50 AC		0.74 AC		7.81 AC
PRIMARY TCA		SECONDARY TCA		TCA GREENWAY		OPEN AREA	

NOTE: OPEN AREAS ON SITE ARE LABELED AS OS #1 THRU OS #4 ARE TO BE MAINTAINED BY H.O.A.

### SIGNAGE AND MARKING LEGEND

SYMBOL	SIGN/MARKING	#	SIGN DIMENSIONS
	SPEED LIMIT 25	R2-1	24"X30"
	HANDICAP SIGN	R7-B	12"X18"
	STOP SIGN	R1-1	30"X30"
	'NO PARKING' SIGN	R7-1	12"X18"

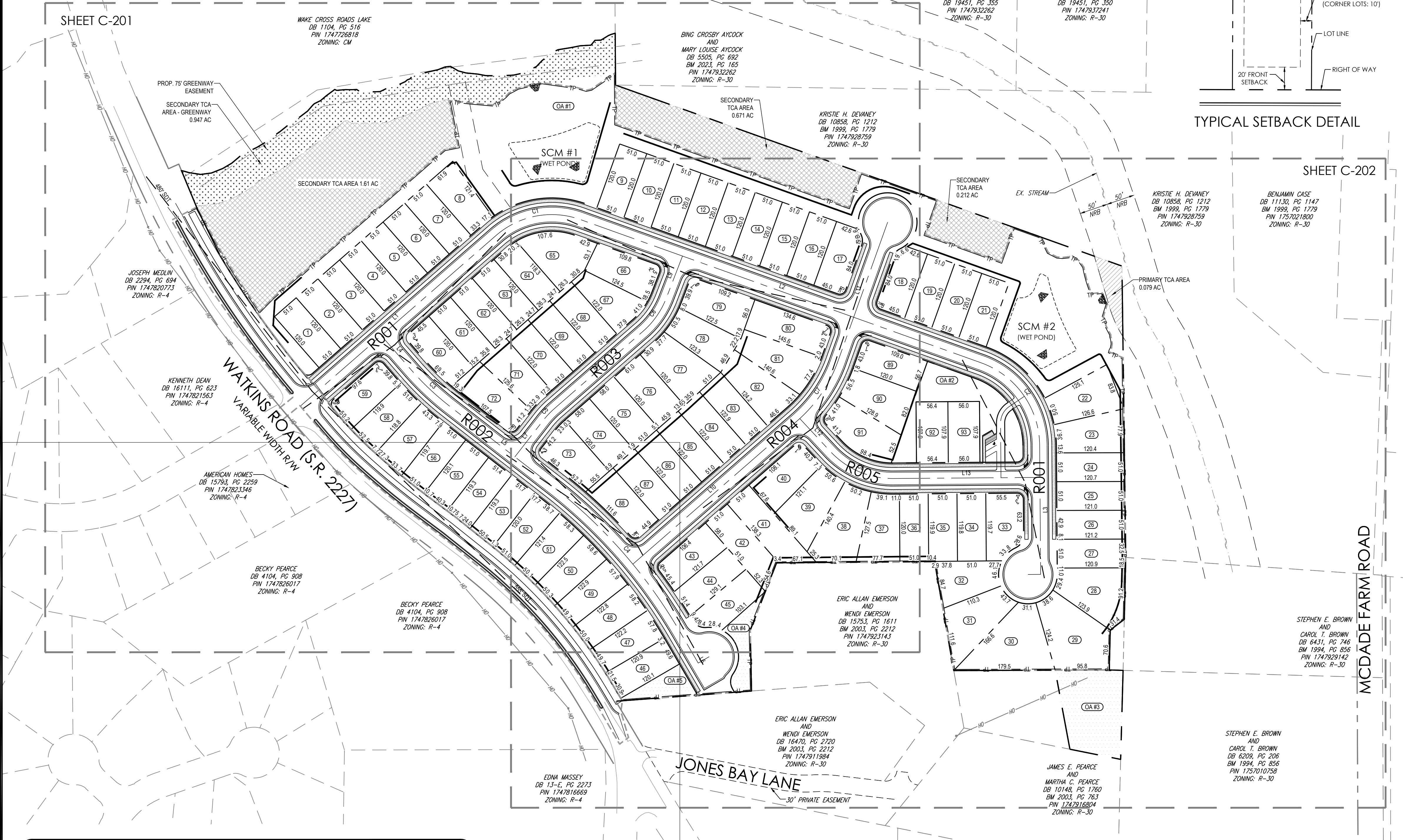
PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW AT TIME OF INSTALLATION

TOTAL SITE AREA: 29.36 AC  
RIGHT OF WAY DEDICATION: 0.846 AC  
DEVELOPMENT AREA: 28.514 AC

**NORTH**  
GRAPHIC SCALE

SHEET C-201

SHEET C-202



SUBDIVISION ROADWAY DATA TABLE

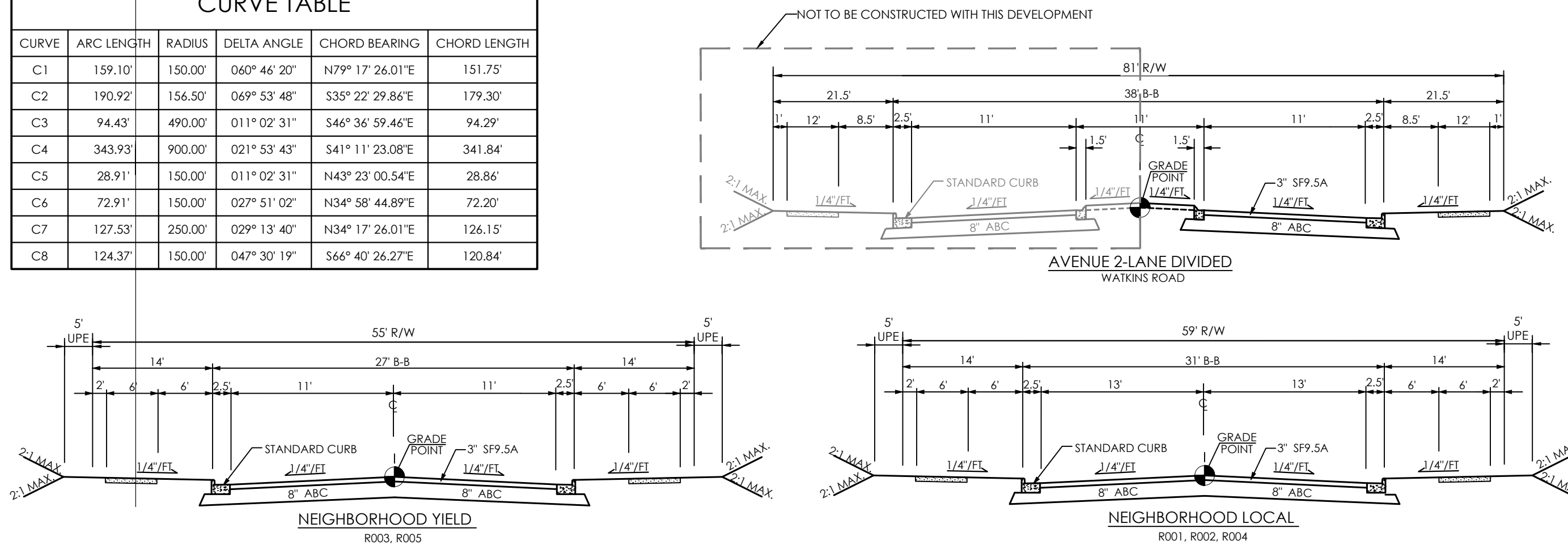
STREET NAME	CLASSIFICATION	DESIGN/POSTED SPEED	PUBLIC/PRIVATE	LENGTH OF ROADWAY	INTERSECTION	SIGHT DISTANCE (LEFT)	SIGHT DISTANCE (RIGHT)
R001	NEIGHBORHOOD LOCAL	30 / 25	PUBLIC	1738 FEET	WATKINS ROAD	480 FEET	555 FEET
					R002	280 FEET	240 FEET
					R003	280 FEET	240 FEET
					R004	280 FEET	240 FEET
					R005	280 FEET	240 FEET
R002	NEIGHBORHOOD LOCAL	30 / 25	PUBLIC	715 FEET	R001	280 FEET	240 FEET
					R003	280 FEET	240 FEET
					R004	280 FEET	240 FEET
R003	NEIGHBORHOOD YIELD	30 / 25	PUBLIC	412 FEET	R001	280 FEET	240 FEET
					R002	280 FEET	240 FEET
R004	NEIGHBORHOOD LOCAL	30 / 25	PUBLIC	745 FEET	R002	280 FEET	240 FEET
					R003	280 FEET	240 FEET
R005	NEIGHBORHOOD YIELD	30 / 25	PUBLIC	384 FEET	R004	280 FEET	240 FEET
					R005	280 FEET	240 FEET

### LINE TABLE

LINE	DISTANCE	BEARING
L1	458.62	N48° 54' 15.87"E
L2	753.63	S70° 19' 23.85"E
L3	228.61	S00° 25' 35.88"E
L4	80.30	S41° 05' 44.13"E
L5	230.73	S52° 08' 14.79"E
L6	127.58	S30° 14' 31.38"E
L7	81.71	N37° 51' 45.21"E
L8	208.22	N48° 54' 15.87"E
L9	79.52	N21° 03' 13.91"E
L10	387.17	N48° 54' 15.87"E
L11	262.41	N19° 40' 36.15"E
L12	79.63	S42° 55' 16.66"E
L13	260.02	N89° 34' 24.12"E

### CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	159.10	150.00	066° 46' 20"	N79° 17' 26.01"E	151.75
C2	190.92	156.50	069° 53' 48"	S35° 22' 29.86"E	179.30
C3	94.43	490.00	011° 02' 31"	S46° 36' 59.46"E	94.29
C4	343.93	900.00	021° 53' 43"	S41° 11' 23.08"E	341.84
C5	28.91	150.00	011° 02' 31"	N43° 23' 00.54"E	28.86
C6	72.91	150.00	027° 51' 02"	N34° 58' 44.89"E	72.20
C7	127.53	250.00	029° 13' 40"	N34° 17' 26.01"E	126.15
C8	124.37	150.00	047° 30' 19"	S66° 40' 26.27"E	120.84



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\C23054 - EXISTING COND AND SUBDIVISION DWG PRINTED BY: ROMANHILES 6/20/24 @ 10:02 AM. LAST SAVED BY: MATTHEWREIN

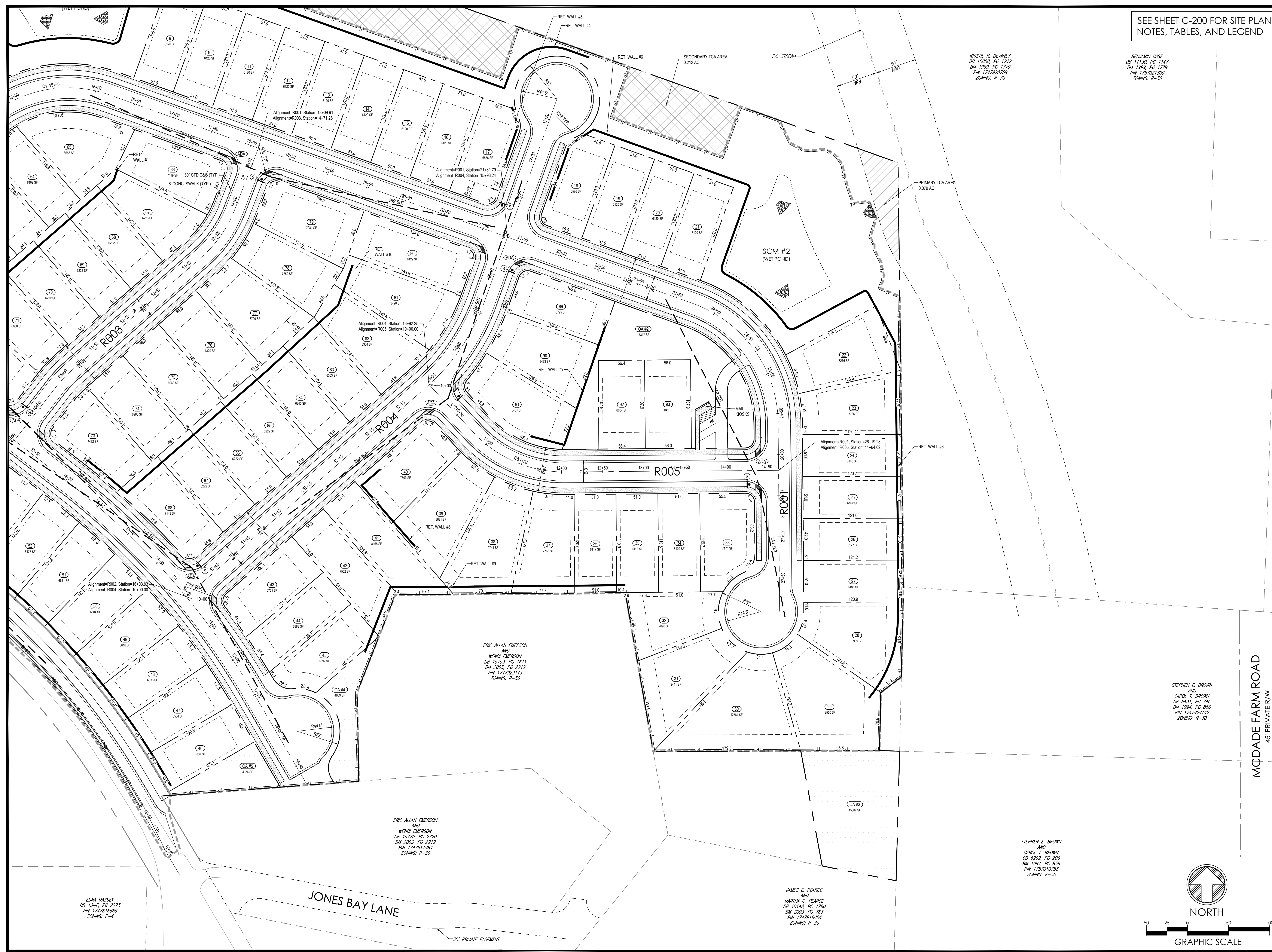
SHEET: **OVERALL SUBDIVISION PLAN**  
**C-200**







X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\C23054 - EXISTING COND. AND SUBDIVISION\DWG PRINTED BY: ROWAN HILES 6/20/24 @ 10:02 AM. LAST SAVED BY: MATTHEW KEHN



SEE SHEET C-200 FOR SITE PLAN NOTES, TABLES, AND LEGEND

KRISTIE H. DEWANEY  
DB 11130, PG 1147  
BM 1999, PG 1779  
PIN 1747928759  
ZONING: R-30

BENJAMIN CASE  
DB 11130, PG 1147  
BM 1999, PG 1779  
PIN 1757021800  
ZONING: R-30

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

# PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

PRELIMINARY NOT FOR CONSTRUCTION

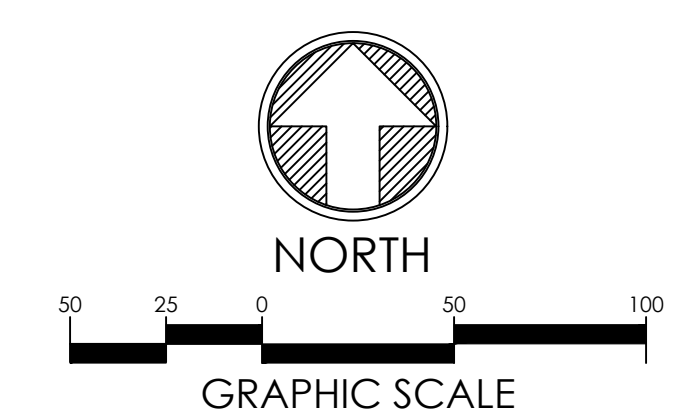
PREPARED FOR:  
**PULTE HOMES**

PREPARED BY:



**underfoot**  
ENGINEERING

1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBSOLA C683



SUBDIVISION PLAN (2 OF 2)

C-202

ERIC ALLAN EMERSON AND WENDI EMERSON  
DB 15753, PG 1611  
BM 2003, PG 2212  
PIN 1747923143  
ZONING: R-30

ERIC ALLAN EMERSON AND WENDI EMERSON  
DB 16470, PG 2720  
BM 2003, PG 2212  
PIN 1747911984  
ZONING: R-30

JAMES E. PEARCE AND MARTHA C. PEARCE  
DB 10148, PG 1760  
BM 2003, PG 763  
PIN 1747916804  
ZONING: R-30

STEPHEN E. BROWN AND CAROL T. BROWN  
DB 6020, PG 206  
BM 1994, PG 856  
PIN 1757010758  
ZONING: R-30

STEPHEN E. BROWN AND CAROL T. BROWN  
DB 6431, PG 745  
BM 1994, PG 856  
PIN 1747929142  
ZONING: R-30

EDNA MASSEY  
DB 13-E, PG 2273  
PIN 1747816669  
ZONING: R-4

MCDADE FARM ROAD  
45' PRIVATE R/W

JONES BAY LANE

30' PRIVATE EASEMENT



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE HOMES\PRELIMINARY SUBDIVISION PLAN\DESIGN\DRAWINGS\DWG PRINTED BY: ROWANWALKES 6/20/24 @ 10:02 AM. LAST SAVED BY: ROWANWALKES

THIS OVERALL SHEET IS FOR REFERENCE PURPOSES ONLY. REFER TO BLOW-UP SHEETS FOR SPECIFICS DETAILS.

**GRADING AND DRAINAGE NOTES**

- ALL SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR IS RESPONSIBLE FOR MOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED SHALL BE PER THE RECOMMENDATIONS PROVIDED IN A GEOTECHNICAL REPORT, WHEN THE PROJECT DOES NOT HAVE A GEOTECHNICAL REPORT. FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH STATE DOT REQUIREMENTS AND SPECIFICATIONS. THE ENGINEER SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR RELATED TO COMPACTION, AND BACKFILL.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.5% MINIMUM SLOPE AGAINST ALL LAND, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDING.
- GRADE ELEVATIONS
  - ALL PROPOSED CONTOURS IN ROADWAYS, DRIVES, AND SIDEWALKS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. THE TOPS OF EXISTING AND PROPOSED MANHOLES, INLET STRUCTURES, AND CLEANOUTS MUST BE ADJUSTED AS NECESSARY TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES, AND CODES.
  - DWELLING AND ADJACENT SPOT ELEVATIONS ARE SCHEMATIC FOR THE GENERAL BUILDING FOOTPRINTS AND REPRESENT PAD GRADES ACCOUNTING FOR A SLAB FOUNDATION OF 8" GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS IN ACCORDANCE WITH THE LATEST LOCAL AND STATE BUILDING CODE.
  - REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE GRADE ELEVATIONS TO BE CONSTRUCTED UNDER THE CONTRACT.
  - WHERE RETAINING WALLS ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED REPRESENT THE FINISHED GRADES OF THE EXPOSED PORTION OF THE WALL. FOOTING/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED AND ARE TO BE DETERMINED BY THE WALL DESIGNER AND/OR THE CONTRACTOR BASED ON FINAL DESIGN DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
- UNLESS OTHERWISE NOTED, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS B WITH WATER TIGHT JOINTS. WATER TIGHT RCP SHALL MEET ASTM C443 WITH JOINTS DOUBLE WRAPPED IN NON-WOVEN FILTER FABRIC AND UPSTREAM STRUCTURES CONSTRUCTED WATER TIGHT. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS NOTED, IT MUST CONFORM TO AASHTO M294 TYPE 3 (SMOOTH INTERIOR) WITH GASKETS FOR WATER TIGHT JOINTS, AND BE INSTALLED ACCORDING TO ASTM D2321, D2321.2, AND FACTORY SPECIFICATIONS. PVC PIPE, WHEN USED FOR ROOF DRAIN CONNECTIONS, MUST BE SDR 26 OR SCHEDULE 40, CONFORM TO ASTM F499-93A, INSTALLED WITH WATER TIGHT, WELDED JOINTS, AND TIED TO THE STORMWATER SYSTEM WITH WATER TIGHT JOINTS UNLESS OTHERWISE NOTED. PIPE LENGTHS ARE NOMINAL AND MEASURED CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- STORMWATER DISCHARGES INTO MILBURNIE LAKE/NEUSE RIVER, HARRIS CREEK. THIS PROJECT FALLS UNDER THE STORMWATER REQUIREMENTS OF THE CITY OF RALEIGH AND MEETS THESE REQUIREMENTS BY USE OF TWO PRIMARY SCAS (WET POUNDS).
- A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED FOR THIS PROJECT.
- THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
- FINAL SCM DESIGN SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF RALEIGH AND NCDCE DESIGN REQUIREMENTS AND SHALL MEET THE MINIMUM DESIGN AS OUTLINED IN THE STATE STORMWATER MANUAL AND THE CITY OF RALEIGH STORMWATER DESIGN MANUAL.
- ALL RETAINING WALLS SHALL BE DESIGNED AT THE TIME OF CONSTRUCTION AND SHALL ACCOUNT FOR ANY PORTION THAT IS SUBMERGED, EVEN IF ONLY PERIODICALLY.

**ADA INSTRUCTIONS TO CONTRACTOR**

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS. BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS, OR UPDATES TO SAME, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND/OR INTER-BUILDING ACCESS TO POINTS OF BUILDING ENTRANCE MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%).
- LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 48-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS-SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REQUIREMENTS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM RISE OF 2.5 FEET, SHALL BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND 60" W BY 60" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 40 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN, NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES IN BARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.

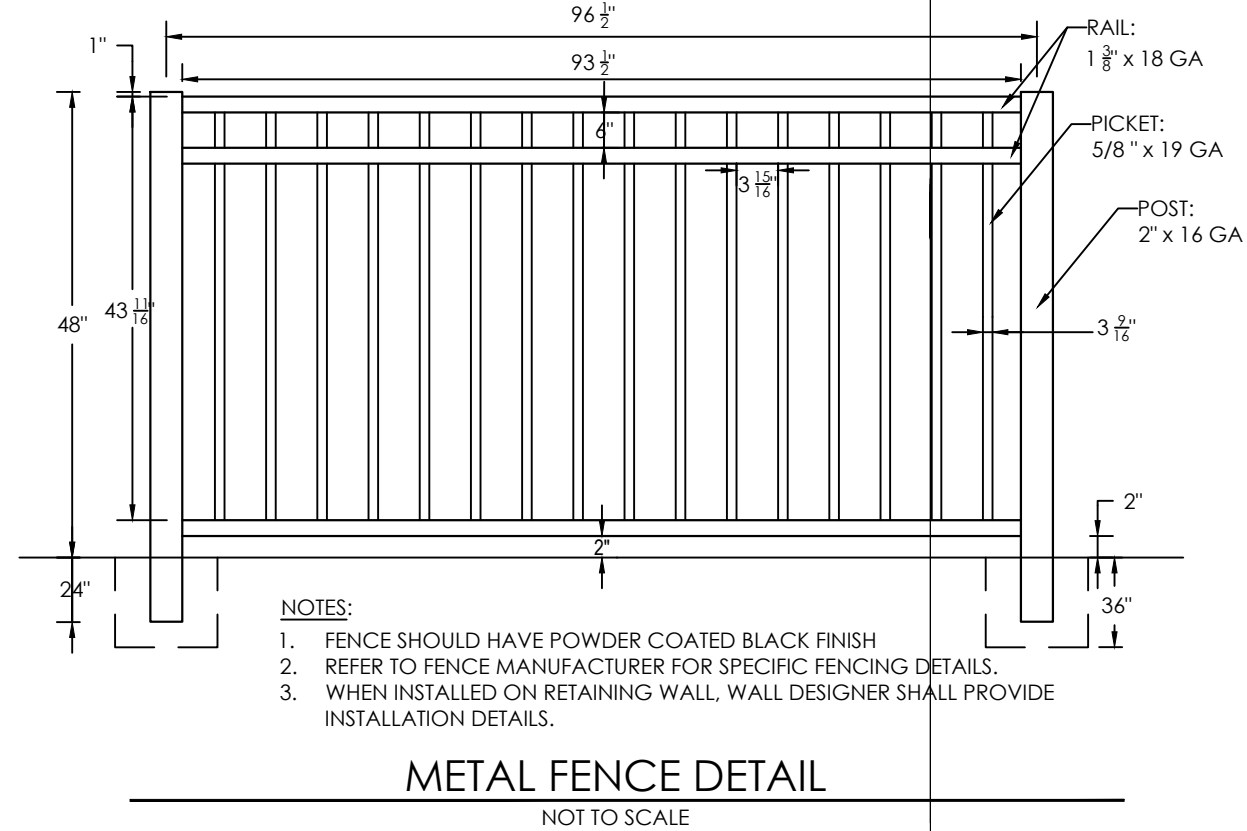
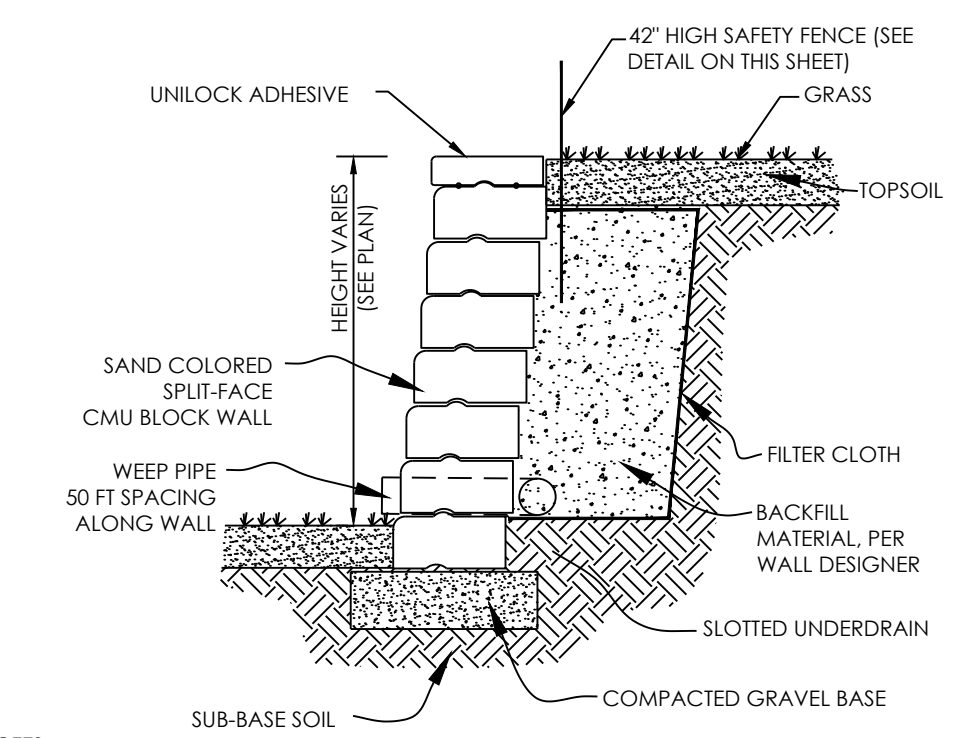
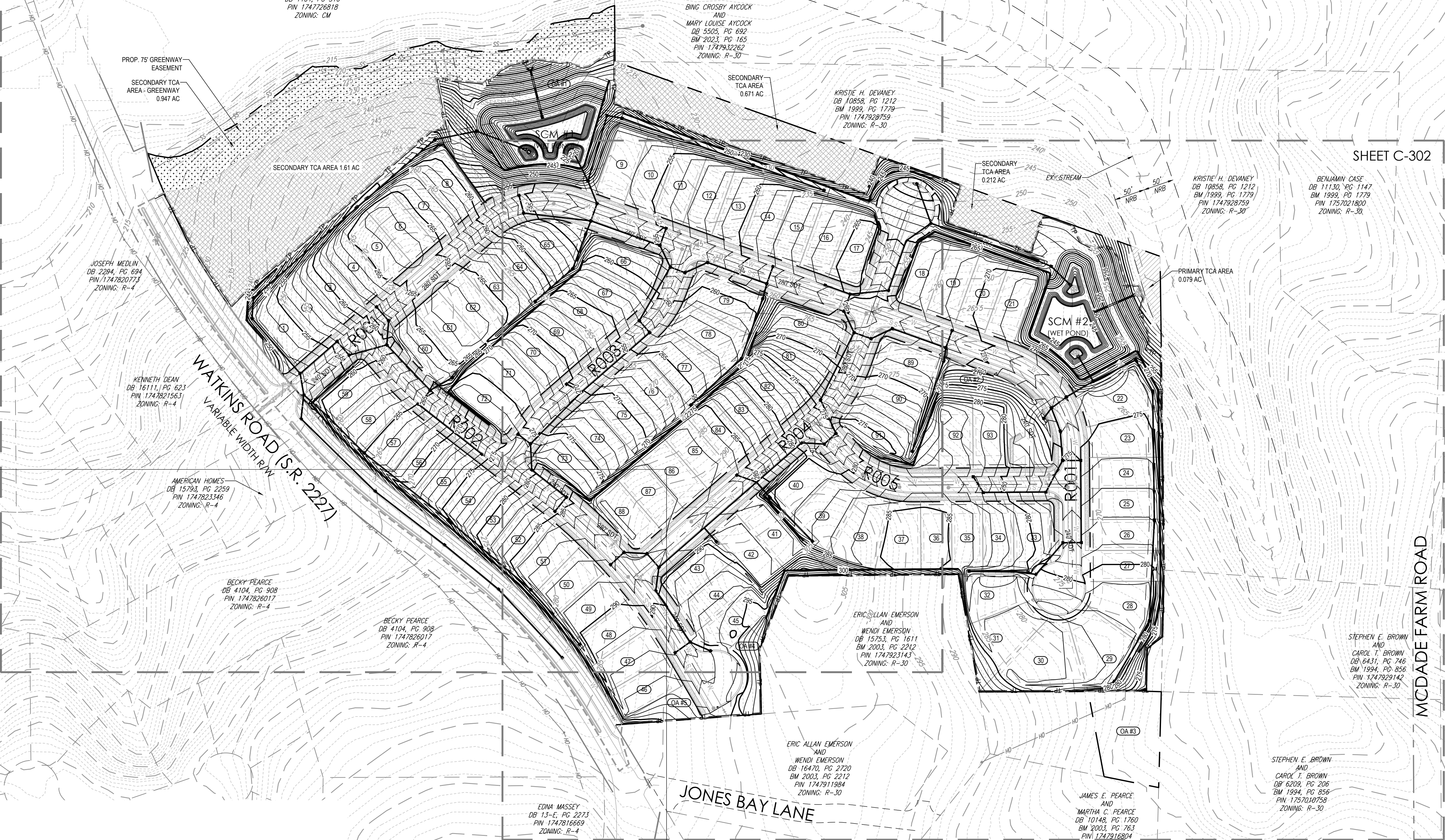
IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
- - - - -	CONTOUR LINE	320
385	SPOT ELEVATIONS	TC 349.00 BC 349.00
SANITARY LABEL	SANITARY LABEL	MH XXX
STORM LABEL	STORM LABEL	STM XXX
- - - - -	STORM SEWER	
●	STORM JUNCTION BOX	
V	TYPICAL END SECTION	
U	HEADWALL OR ENDWALL	
■	CATCH BASIN	
⊕	MONITORING WELL	N/A
⊕	BORING	N/A
⊕	BENCHMARK	N/A
N/A	TEST PIT	⊕

TOTAL IMPERVIOUS AREA: 13.27 AC.  
TOTAL DISTURBED AREA: 24.42 AC.

SHEET C-301

SHEET C-302



- NOTES:**
- THE DESIGN OF ALL RETAINING WALLS TALLER THAN 30" SHALL BE SEALED BY A LICENSED NORTH CAROLINA PROFESSIONAL ENGINEER.
  - ALL RETAINING WALLS SHALL BE INSTALLED AT THE LINES, GRADES AND DEPTHS AS SHOWN ON THE APPROVED PLANS.
  - THE BASE BLOCK SIZE SHALL BE THE COMMERCIAL BLOCK SIMILAR TO THE STANDARD SIZE KEYSTONE. COMPACT, MINI-BLOCK OR GARDEN SIZE BLOCKING IS NOT ACCEPTABLE. BLOCK RETAINING WALLS SHALL HAVE A CAP UNIT ON THE TOP OF THE WALL.
  - THE SELECTED RETAINING WALL SYSTEM SHALL BE JOINED, FINISHED AND/OR SECURED IN ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATIONS.
  - RETAINING WALLS WHICH ARE 30" OR TALLER SHALL HAVE A 42" TALL METAL SAFETY RAIL ON TOP OF THE WALL WHICH COMPLIES WITH THE CURRENT NC BUILDING CODE. INTERMEDIATE VERTICAL SUPPORTS SPACED AT NO MORE THAN 4' APART.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL FENCE FOOTING AND FASTENING DETAILS AS REQUIRED BY NC BUILDING CODE.

**PLAN REVISIONS**

#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: R/W/JK  
REVIEWED BY: LL  
1ST SUBMITAL: 06.21.2024  
SCALE: AS NOTED

**PRELIMINARY NOT FOR CONSTRUCTION**

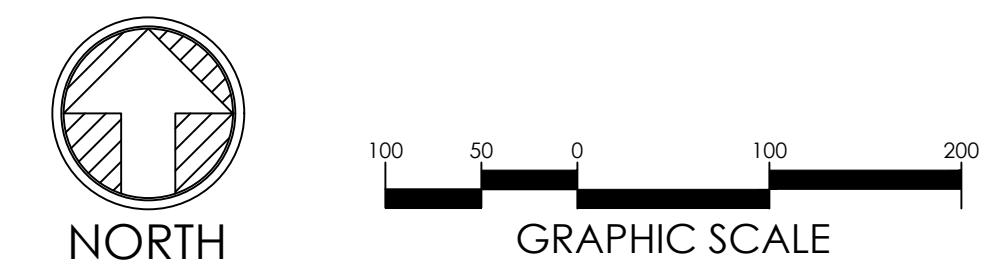
PREPARED FOR:  
**PULTE HOMES**

PREPARED BY:

1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683

**OVERALL GRADING & DRAINAGE PLAN**

C-300





SEE SHEET C-300 FOR GRADING AND DRAINAGE PLAN NOTES, TABLES, AND LEGEND

PLAN REVISIONS			
#	DATE	REVISION	BY



**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RWM/MLL  
REVIEWED BY:  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

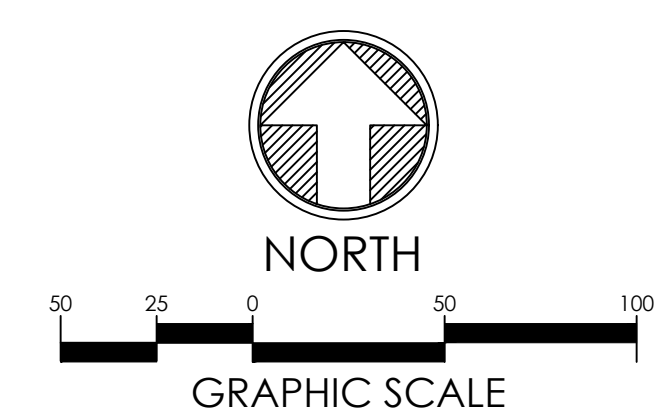
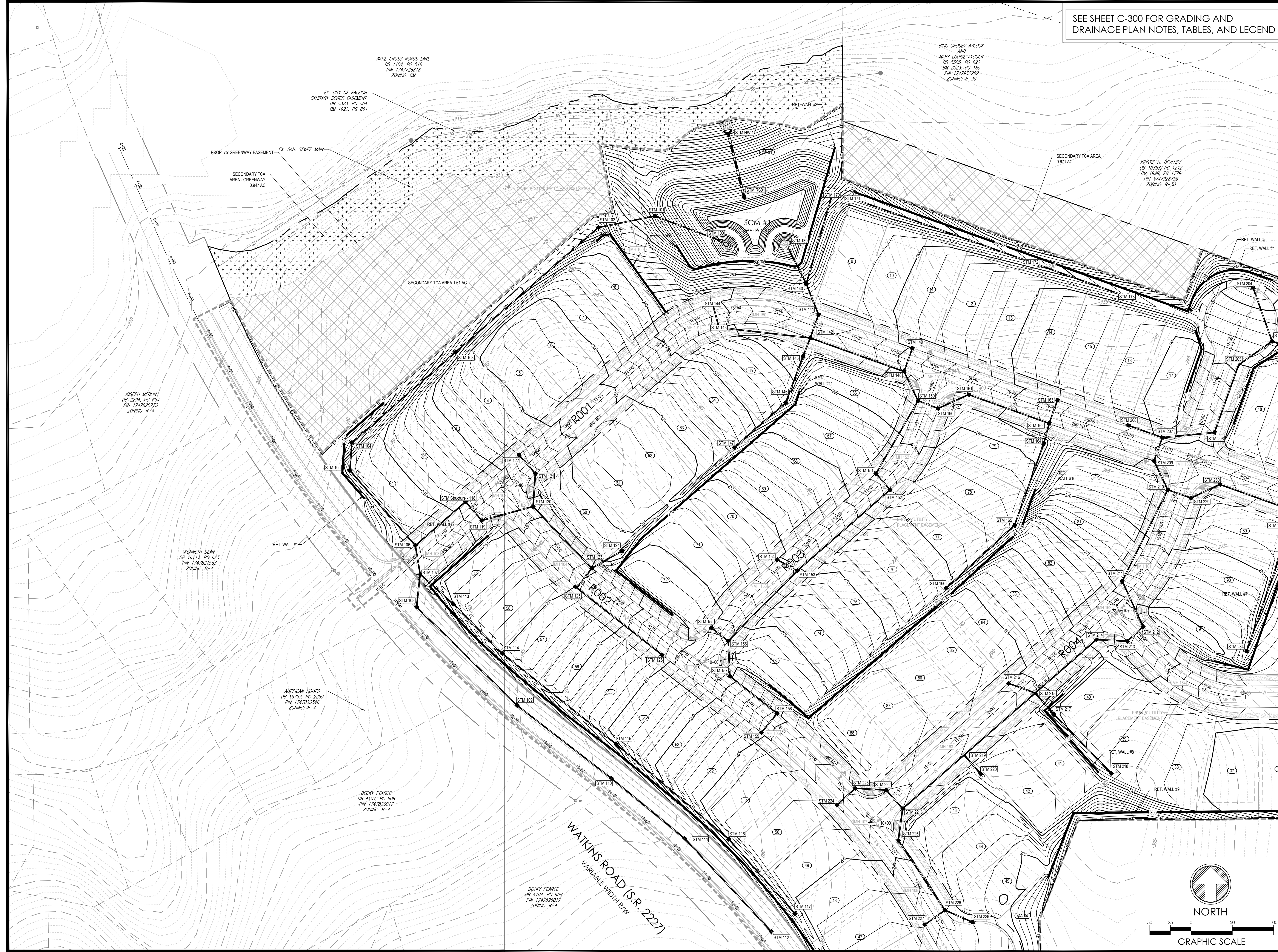
PRELIMINARY NOT FOR CONSTRUCTION

PREPARED FOR:  
**PULTE HOMES**



SHEET:  
**GRADING & DRAINAGE PLAN (1 OF 2)**

**C-301**



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\C23054 - GRADING.DWG PRINTED BY: ROWANWILES 6/21/24 @ 10:03 AM. LAST SAVED BY: ROWANWILES



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\SUBDIVISION PLAN SETS\PRELIMINARY SUBDIVISION PLAN\C23054 - GRADINGS.DWG PRINTED BY: ROWANWILES 6/20/24 @ 10:03 AM. LAST SAVED BY: ROWANWILES



SEE SHEET C-300 FOR GRADING AND DRAINAGE PLAN NOTES, TABLES, AND LEGEND

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

PROJECT:  
**PEARCE  
PARCELS  
PRELIMINARY  
SUBDIVISION  
PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: R/W/J/K  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

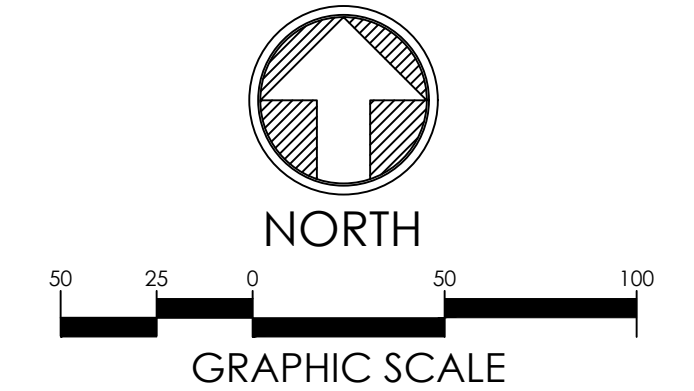
PRELIMINARY  
NOT FOR CONSTRUCTION

PREPARED FOR:  
  
PULTE HOMES

PREPARED BY:



STEPHEN E. BROWN  
AND  
CAROL T. BROWN  
DB 6431, PG. 745  
BM 1994, PG. 856  
PIN 1747929142  
ZONING: R-30  
1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683



SHEET:  
**GRADING &  
DRAINAGE PLAN  
(2 OF 2)**

**C-302**

EDNA MASSEY  
DB 13-C, PG 2273  
PIN 1747816669  
ZONING: R-4

ERIC ALLAN EMERSON  
AND  
WENDI EMERSON  
DB 16470, PG 2220  
BM 2003, PG 2212  
PIN 1747919894  
ZONING: R-30

ERIC ALLAN EMERSON  
AND  
WENDI EMERSON  
DB 15763, PG 1611  
BM 2003, PG 2212  
PIN 1747923143  
ZONING: R-30

JAMES E. PEARCE  
AND  
MARTHA C. PEARCE  
DB 10148, PG 1760  
BM 2003, PG 763  
PIN 1747916804  
ZONING: R-30

STEPHEN E. BROWN  
AND  
CAROL T. BROWN  
DB 6209, PG 206  
BM 1994, PG 856  
PIN 1757010758  
ZONING: R-30

WASTIE H. DEWNEY  
DB 10858, PG 1212  
BM 1999, PG 1779  
PIN 1747928759  
ZONING: R-30

BENJAMIN CASE  
DB 11130, PG 1147  
BM 1999, PG 1779  
PIN 1757021800  
ZONING: R-30



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE HOMES PRELIMINARY SUBDIVISION PLAN\DWG\PRINTED BY: ROWANHILLES 6.29.24 @ 10:03 AM. LAST SAVED BY: ROWANHILLES

THIS OVERALL SHEET IS FOR REFERENCE PURPOSES ONLY. REFER TO BLOW-UP SHEETS FOR SPECIFICS DETAILS.

- ### UTILITY NOTES
- REFER TO GENERAL NOTES SHEET C-100
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS THAT ARE CURRENT AT THE TIME OF PLAN APPROVAL
  - ALL MANHOLES LOCATED OUTSIDE OF PAVED AREAS SHALL HAVE A RIM ELEVATION ONE FOOT ABOVE FINISHED GRADE. ALL MANHOLES WITHIN THE 100-YEAR FLOODPLAIN SHALL HAVE A RIM ELEVATION A MINIMUM OF TWO FEET ABOVE FINISHED GRADE.
  - WATER MAINS SHALL BE 2" MINIMUM OFF EDGE OF CURB UNLESS SHOWN OTHERWISE.
  - WATER MAINS SHALL BE LAID AT LEAST 10' LATERALLY MEASURED EDGE TO EDGE FROM EXISTING OR PROPOSED SANITARY OR STORM SEWER UNLESS ELEVATIONS OF THE BOTTOM OF THE EXISTING MAIN IS AT LEAST 18" ABOVE THE TOP OF THE SEWER WITH A HORIZONTAL SEPARATION OF AT LEAST 3', WHERE A WATER MAIN AND SANITARY SEWER CROSS, AND THE VERTICAL SEPARATION IS LESS THAN 18" OR THE WATERLINE PASSES UNDER THE SANITARY SEWER. THE SEWER MAIN SHALL BE DUCTILE IRON PIPE. ALL WATERLINES SHALL BE DUCTILE IRON PIPE.
  - ALL ELECTRICAL AND TELECOMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND WITHIN THE SUBDIVISION.
  - ALL DOMESTIC WATER SERVICES SHALL BE 3/4" TYPE K COPPER AND ALL SEWER SERVICES SHALL BE 4" SCHEDULE 40 PVC UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS IS BASED ON BEST AVAILABLE INFORMATION BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
  - MINIMUM SLOPE FOR 4" SANITARY SERVICES SHALL BE 1%. ALL CLEANOUTS SHALL BE INSTALLED PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  - SANITARY SEWER CLEANOUTS SHALL BE LOCATED ON THE RIGHT OF WAY LINE IN ACCORDANCE WITH PUBLIC UTILITIES HANDBOOK, APPENDIX B.
  - NO DRY UTILITIES (SUCH AS CABLE, PHONE, POWER) SHALL BE ALLOWED TO RUN LONGITUDINALLY UNDER PAVEMENT AND SHOULD BE INSTALLED BEHIND THE CURB.
  - THIS DESIGN MEETS ALL CURRENT CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
  - WATER LOCATIONS ARE SHOWN GRAPHICALLY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE LINES PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS USING BENDS AS SHOWN HEREIN. PIPE DEFLECTION WHEN BENDS ARE ARE NOT SHOWN, AND AS OTHERWISE SPECIFIED IN CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  - 150 NOZZLE TO NOZZLE REACH AROUND HOMES PROVIDED PER CITY OF RALEIGH ORDINANCE 10-2013(g).
  - ALL UTILITIES SHALL BE PUBLIC.
  - FIRE FLOW ANALYSIS MUST BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMITS.
  - CONTRACTOR SHALL COORDINATE LOCATION OF WATER AND SEWER SERVICES TO SINGLE FAMILY LOTS WITH STREET TREE LOCATIONS SHOWN ON SHEET L-100.
  - WATER METERS SHALL BE INSTALLED WITHIN THE RIGHT OF WAY, BEHIND THE SIDEWALK AND OUTSIDE OF ANY GENERAL UTILITY PLACEMENT EASEMENT (PER PUBLIC UTILITIES HANDBOOK). WATER METERS SHALL BE 5/8" WITH 3/4" COPPER WATER SERVICES.

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

## PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JRM  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

PRELIMINARY  
NOT FOR CONSTRUCTION

PREPARED FOR:  
PULTE HOMES

PREPARED BY:  
underfoot ENGINEERING



1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NGBCLS C3847 | NCBOLA C683

SHEET:

## OVERALL UTILITY & LIGHTING PLAN

C-400

### CITY OF RALEIGH STANDARD UTILITY NOTES

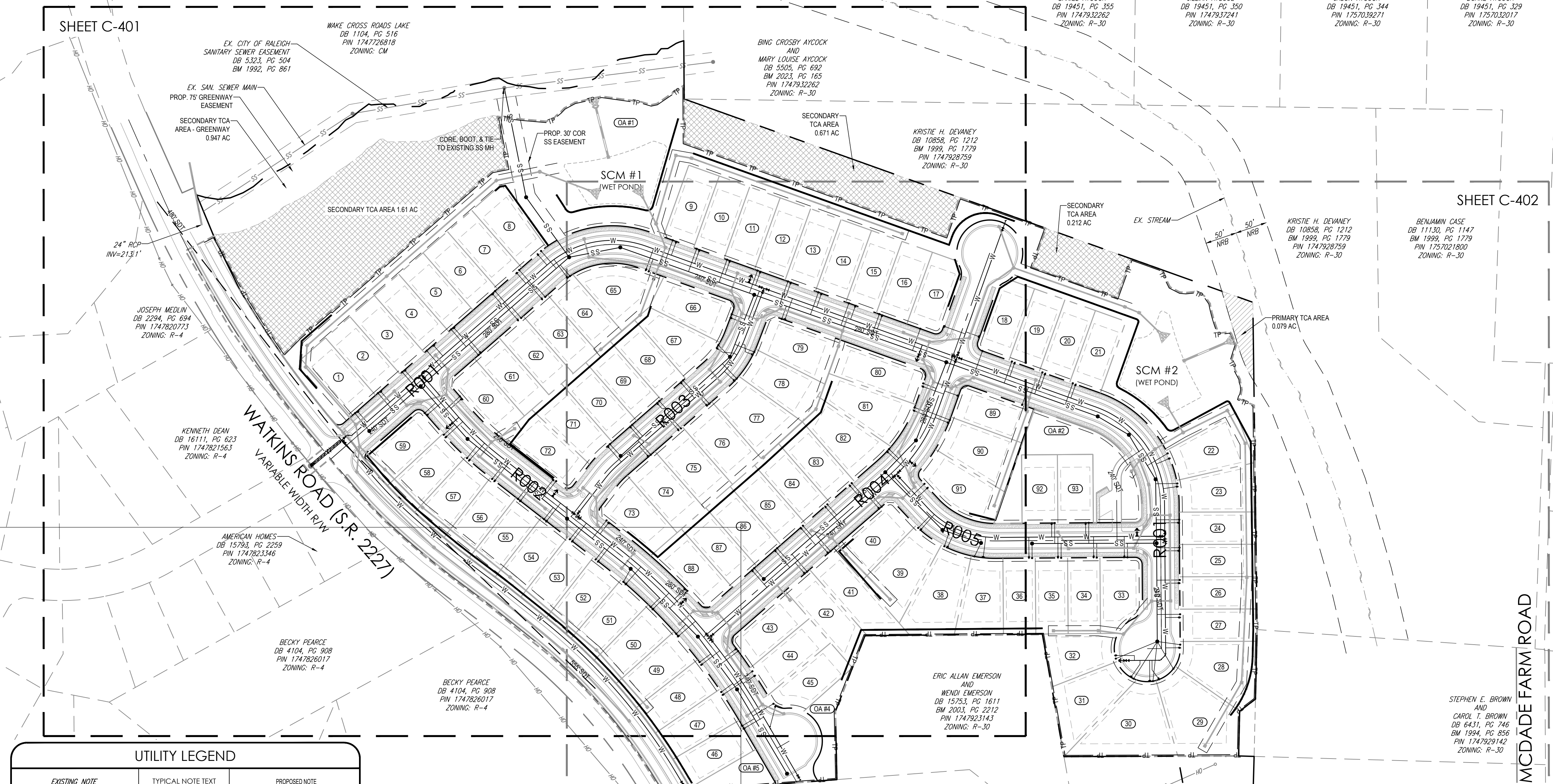
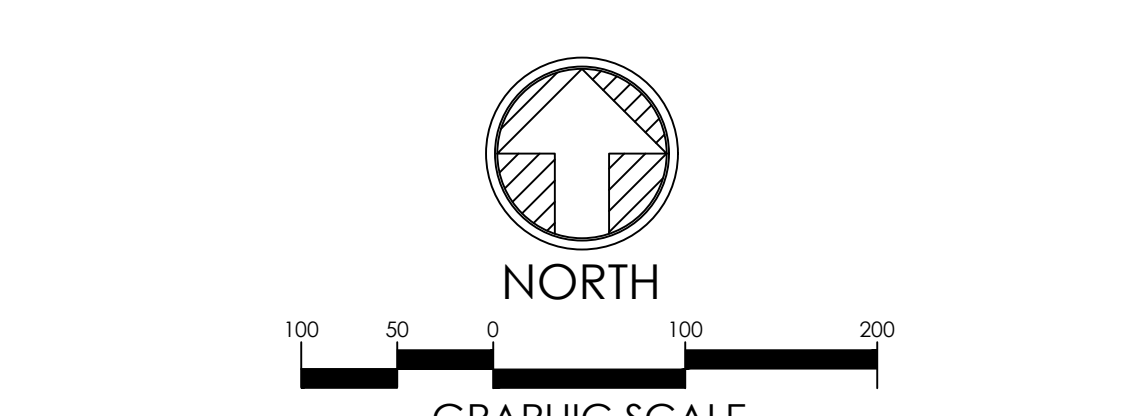
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 30" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM HORIZONTAL SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IS A SEPARATE TRENCH WITH THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCLOSURE EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. DEVELOPER SHALL PROVIDE 30 DAYS WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A U/C / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX 8 OF RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING HEREAFER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A U/C / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- CONTRACTOR SHALL COORDINATE LOCATION OF WATER AND SEWER SERVICES TO EACH LOT WITH REQUIRED STREET TREES (SEE SHEET L-100) THAT WILL BE PLANTED AFTER SERVICES INSTALLATION.

### LIGHTING NOTES

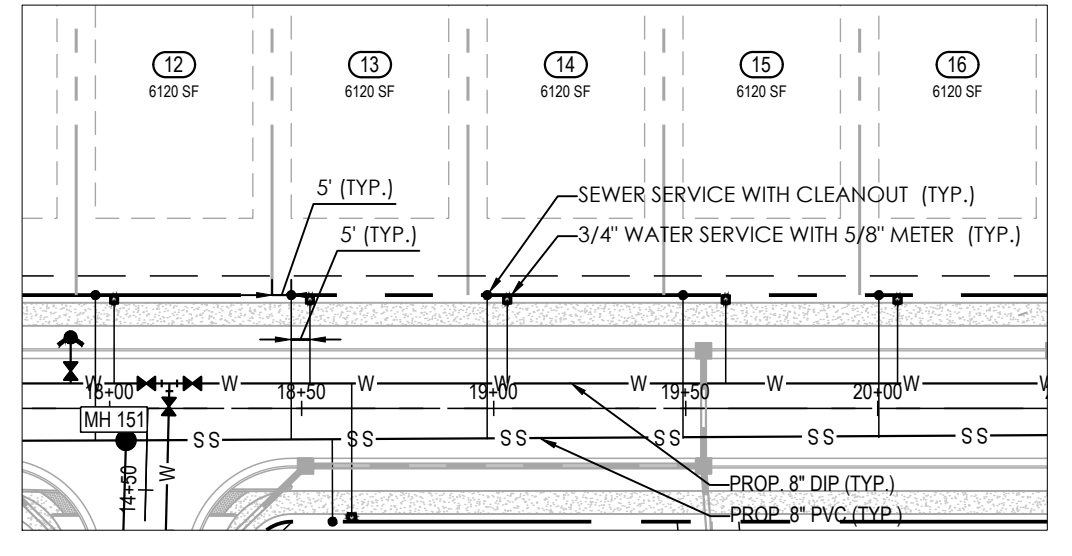
- PER CITY OF RALEIGH STREET DESIGN MANUAL SECTION 4.22: STREET LIGHTING FIXTURES SHALL UTILIZE LED LIGHTING IN RESIDENTIAL AREAS AND SHALL BE LOCATED AT INTERVALS TO MAINTAIN 0.4 FOOT-CANDLE AND A 6:1 UNIFORMITY. A STREET LIGHT SHALL BE LOCATED AT ALL STREET INTERSECTIONS IN ADDITION TO NORMAL SPACING REQUIREMENTS.
- ALL STREET LIGHTING DESIGNS MUST FOLLOW THE STANDARDS FOR ROADWAY ILLUMINATION AS ESTABLISHED BY THE ILLUMINATING ENGINEERING SOCIETY OF AMERICA.
- LIGHTING PLAN TO BE COMPLETED BY DUKE POWER TO MEET CITY OF RALEIGH REQUIREMENTS.

### MINIMUM UTILITY SPACING REQUIREMENTS

UTILITY	HORIZONTAL SPACING (FT)	OR	VERTICAL SPACING (IN)
STORM SEWER / DOMESTIC WATER	5		18
STORM SEWER / SANITARY SEWER	5		24
DOMESTIC WATER / SANITARY SEWER	10		18

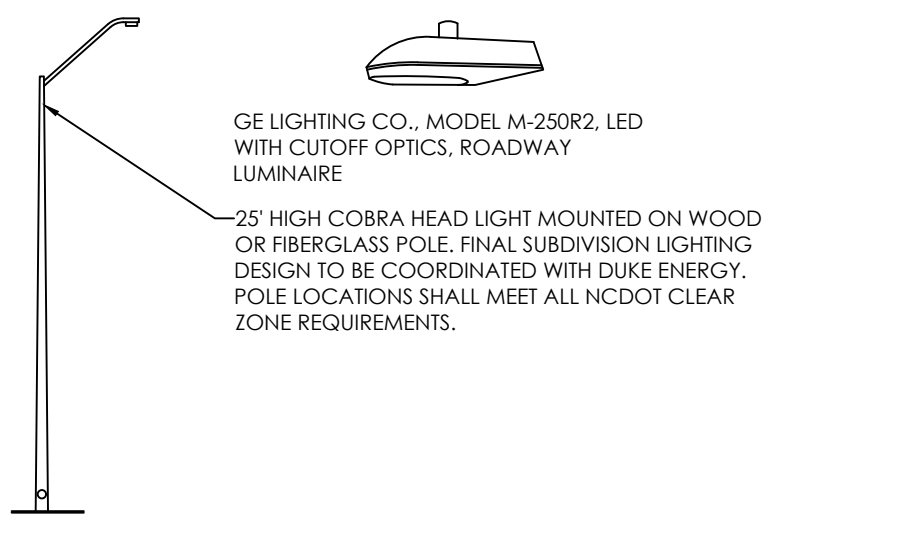


UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
SANITARY LABEL	SANITARY LABEL	MHXXX
STORM LABEL	STORM LABEL	STMXXX
	SANITARY SEWER LATERAL	
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
	STORM SEWER	SS
	SANITARY SEWER MAIN	SS
	HYDRANT	
	SANITARY MANHOLE	
	STORM JUNCTION BOX	
WM	WATER METER	
WV	WATER VALVE	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	CATCH BASIN	
	SANITARY CLEAN OUT	
	MONITORING WELL	N/A
N/A	TEST PIT	



TYP. LOT UTILITY SERVICES  
1"=50'

NOTE: CONTRACTOR SHALL COORDINATE WATER AND SEWER SERVICE LOCATIONS WITH FOUNDATION LANDSCAPING AND REQUIRED STREET TREES LOCATED IN FRONT OF UNITS.



TYP. STREETLIGHT DETAIL  
NOT TO SCALE



SEE SHEET C-400 FOR UTILITY PLAN NOTES, TABLES, AND LEGEND

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

PRELIMINARY  
NOT FOR CONSTRUCTION

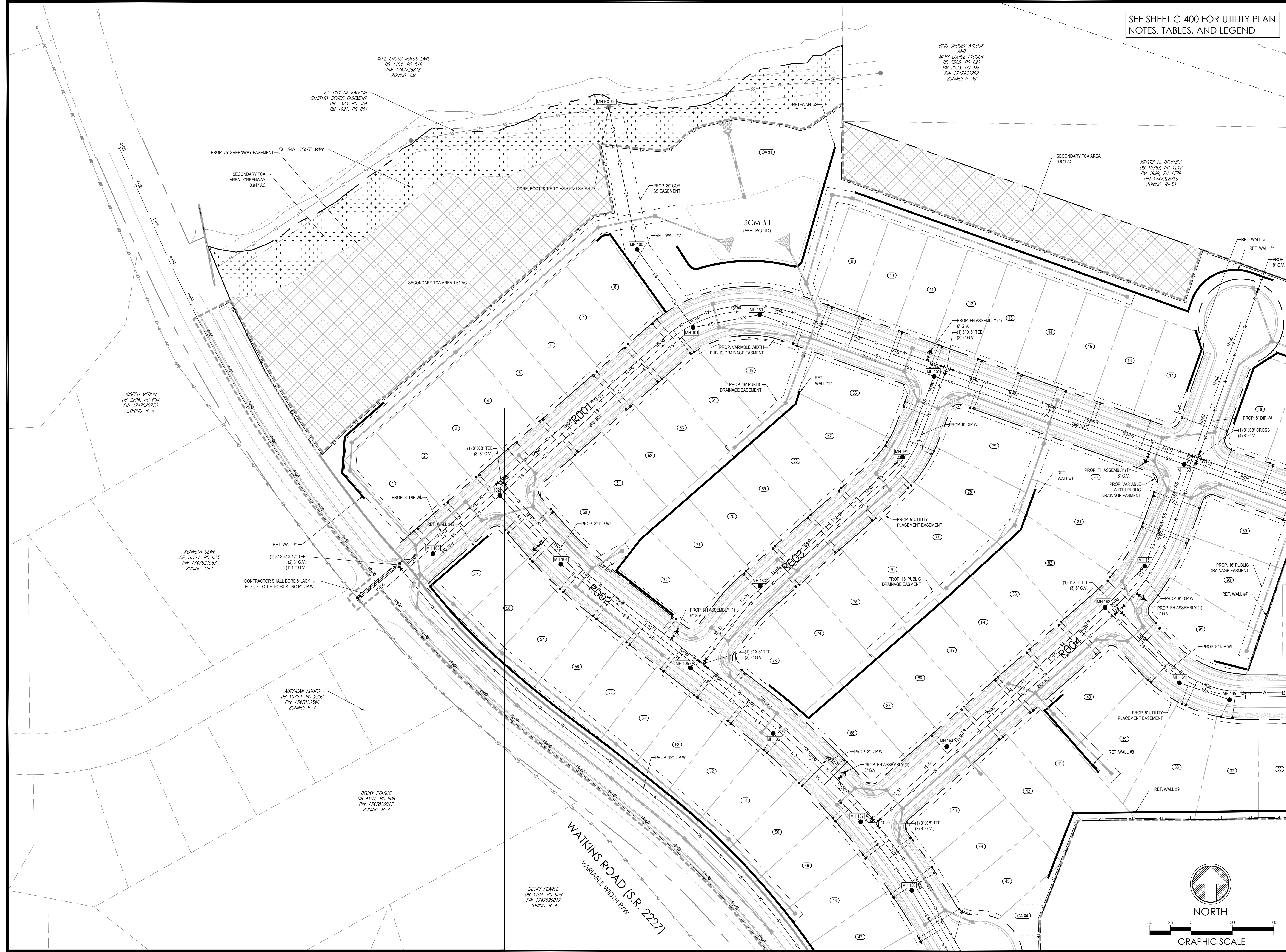
PREPARED FOR:  
**PULTE HOMES**

PREPARED BY:

**underfoot ENGINEERING**  
1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683

SHEET:  
**UTILITY & LIGHTING PLAN (1 OF 2)**

**C-401**



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN SETS\UTILITIES.DWG PRINTED BY: ROWANWILES 6.20.24 @ 10:03 AM. LAST SAVED BY: ROWANWILES

JOSEPH MEDLIN  
DB 2234, PG 694  
PIN 1747820273  
ZONING: R-4

KENNETH DEAN  
DB 16111, PG 623  
PIN 1747821563  
ZONING: R-4

AMERICAN HOMES  
DB 15793, PG 2259  
PIN 1747823346  
ZONING: R-4

BECKY PEARCE  
DB 4104, PG 908  
PIN 1747826017  
ZONING: R-4

BECKY PEARCE  
DB 4104, PG 908  
PIN 1747826017  
ZONING: R-4

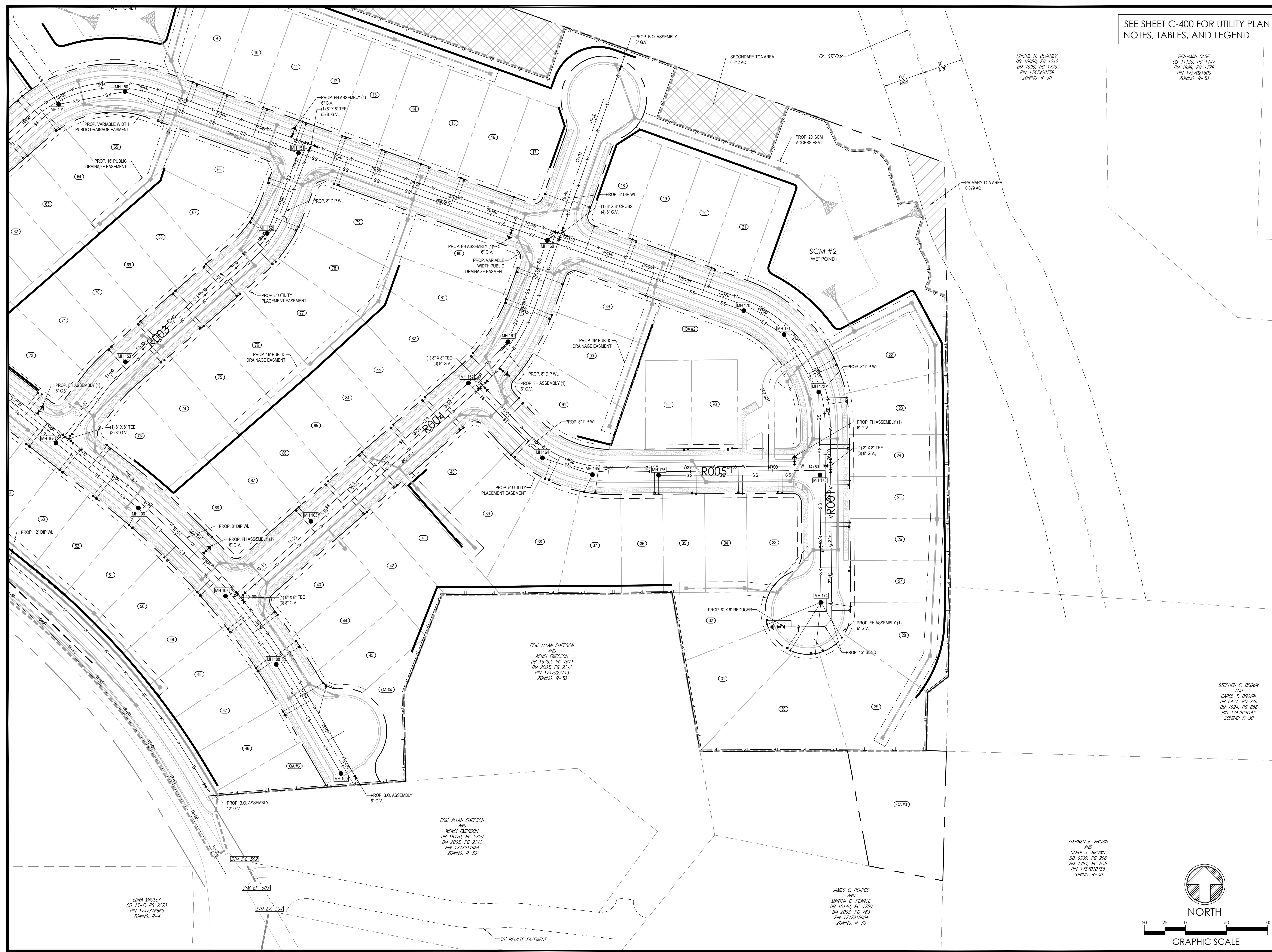
WAKE CROSS ROADS LAKE  
DB 1104, PG 516  
PIN 174726818  
ZONING: CM

BING CROSBY AYCOCK  
AND  
MARY LOUISE AYCOCK  
DB 5505, PG 692  
BM 2023, PG 165  
PIN 1747932262  
ZONING: R-30

KRISTIE H. DEVANEY  
DB 10808, PG 1212  
BM 1999, PG 1779  
PIN 1747928759  
ZONING: R-30



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\C23054 - UTILITIES.DWG PRINTED BY: ROWANWILES 6/20/24 @ 10:03 AM. LAST SAVED BY: ROWANWILES



SEE SHEET C-400 FOR UTILITY PLAN NOTES, TABLES, AND LEGEND

KRISTIE H. DEVNEY  
DB 1130, PG 1147  
BM 1999, PG 1779  
PIN 1747928759  
ZONING: R-30

BENJAMIN CASE  
DB 1130, PG 1147  
BM 1999, PG 1779  
PIN 1757021800  
ZONING: R-30

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

PROJECT:  
**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

PRELIMINARY  
NOT FOR CONSTRUCTION

PREPARED FOR:  
**PULTE HOMES**

PREPARED BY:

**underfoot ENGINEERING**  
1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683

STEPHEN E. BROWN  
AND  
CAROL T. BROWN  
DB 6431, PG 745  
BM 1994, PG 856  
PIN 1747929142  
ZONING: R-30

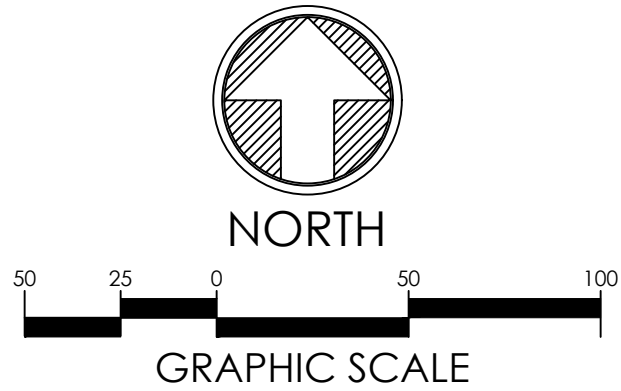
ERIC ALLAN EMERSON  
AND  
WENDI EMERSON  
DB 15753, PG 1611  
BM 2003, PG 2212  
PIN 1747923143  
ZONING: R-30

ERIC ALLAN EMERSON  
AND  
WENDI EMERSON  
DB 16470, PG 2720  
BM 2003, PG 2212  
PIN 1747919884  
ZONING: R-30

EDNA MASSEY  
DB 13-E, PG 2273  
PIN 1747816669  
ZONING: R-4

JAMES E. PEARCE  
AND  
MARTHA C. PEARCE  
DB 10148, PG 1760  
BM 2003, PG 763  
PIN 1747916804  
ZONING: R-30

STEPHEN E. BROWN  
AND  
CAROL T. BROWN  
DB 6209, PG 206  
BM 1994, PG 856  
PIN 1757010758  
ZONING: R-30

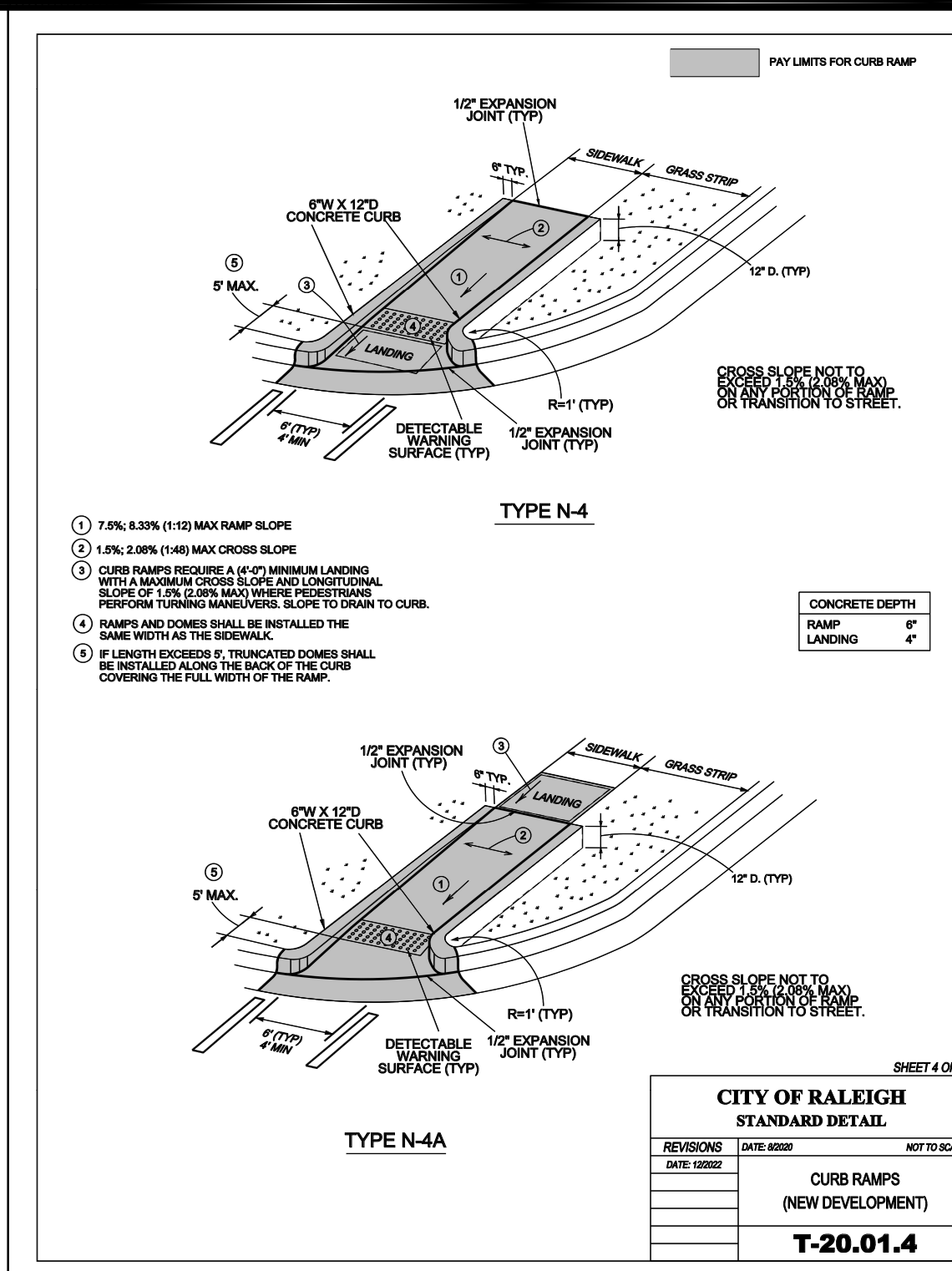
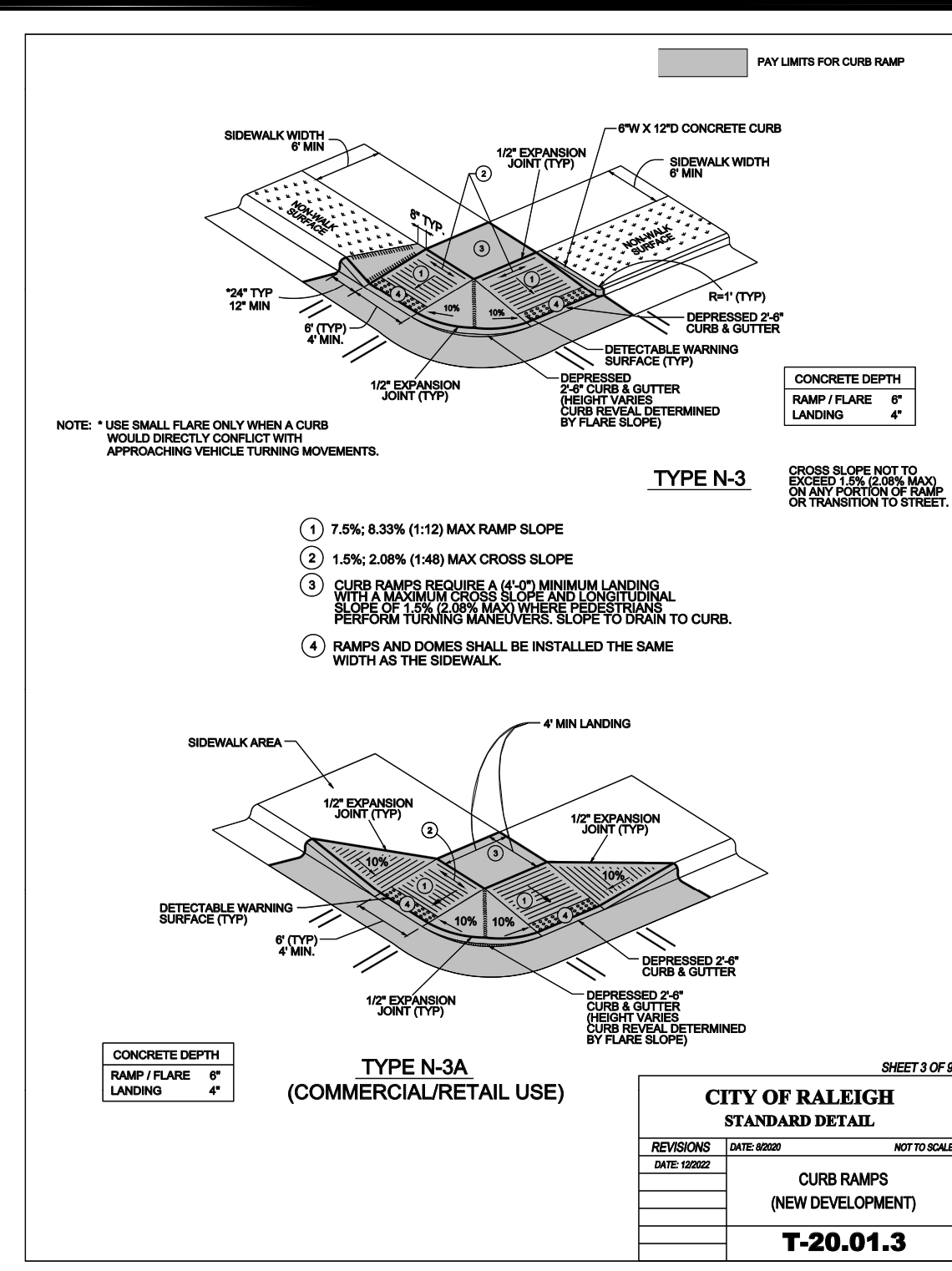
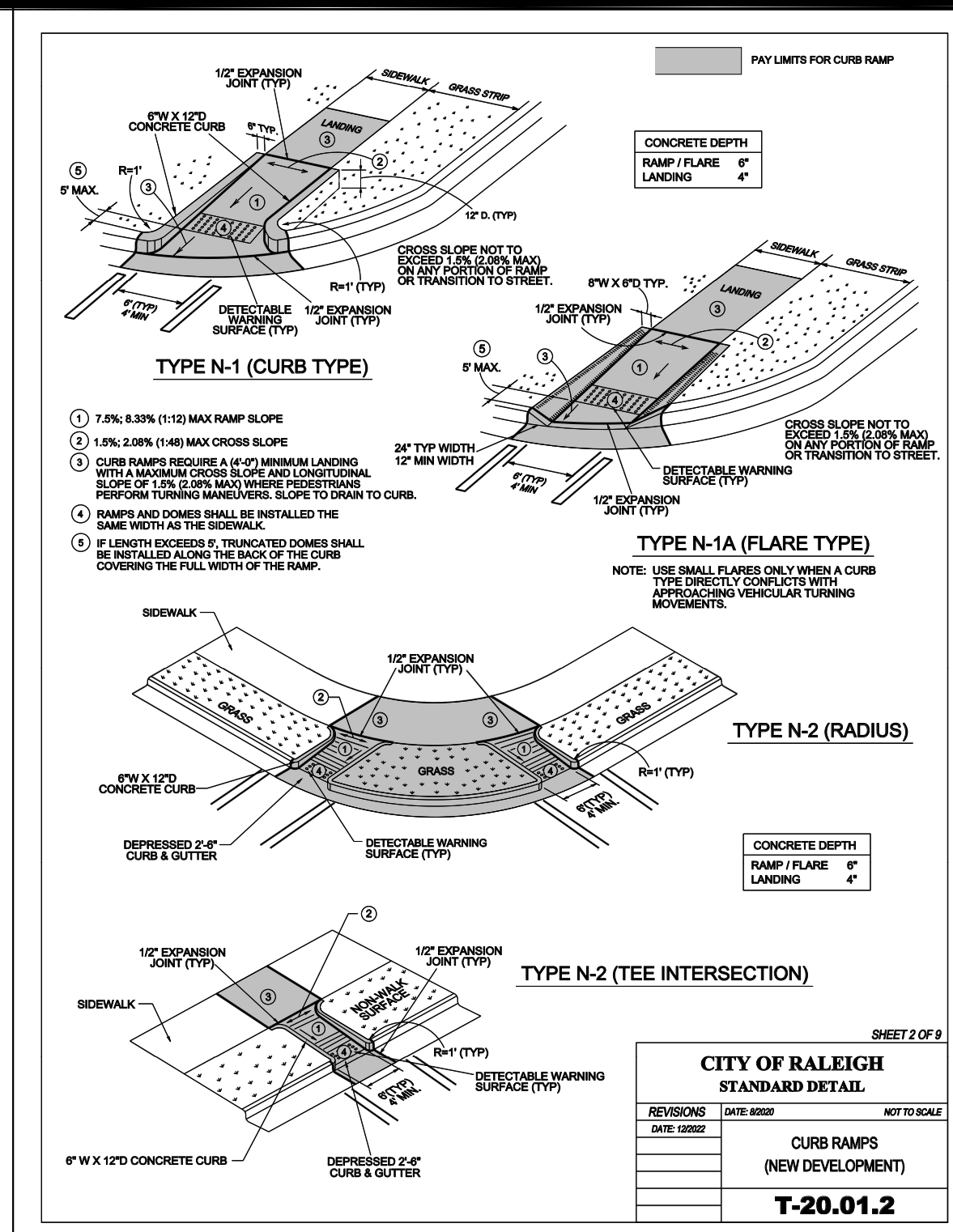
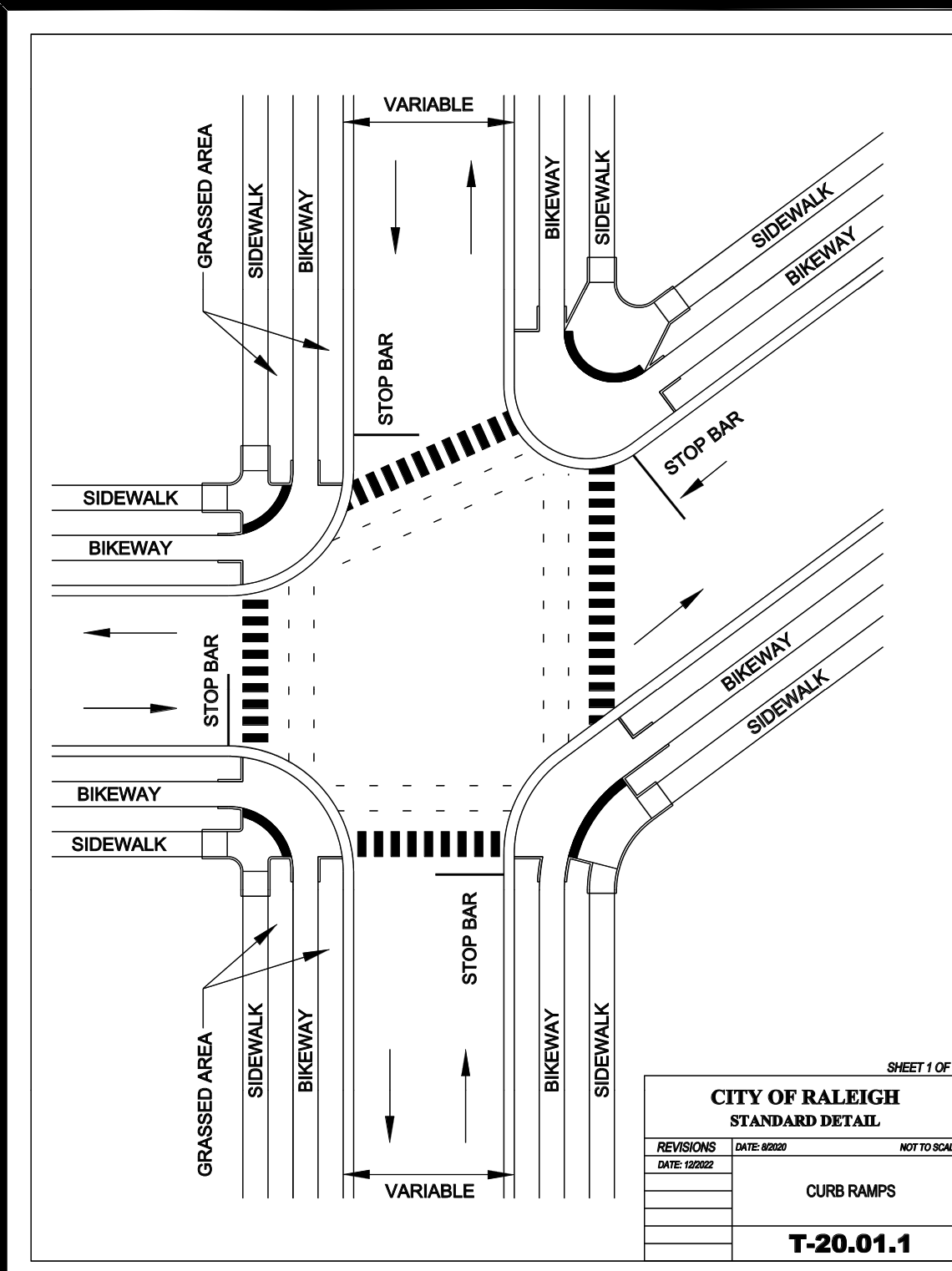


SHEET:  
**UTILITY & LIGHTING PLAN (2 OF 2)**

**C-402**

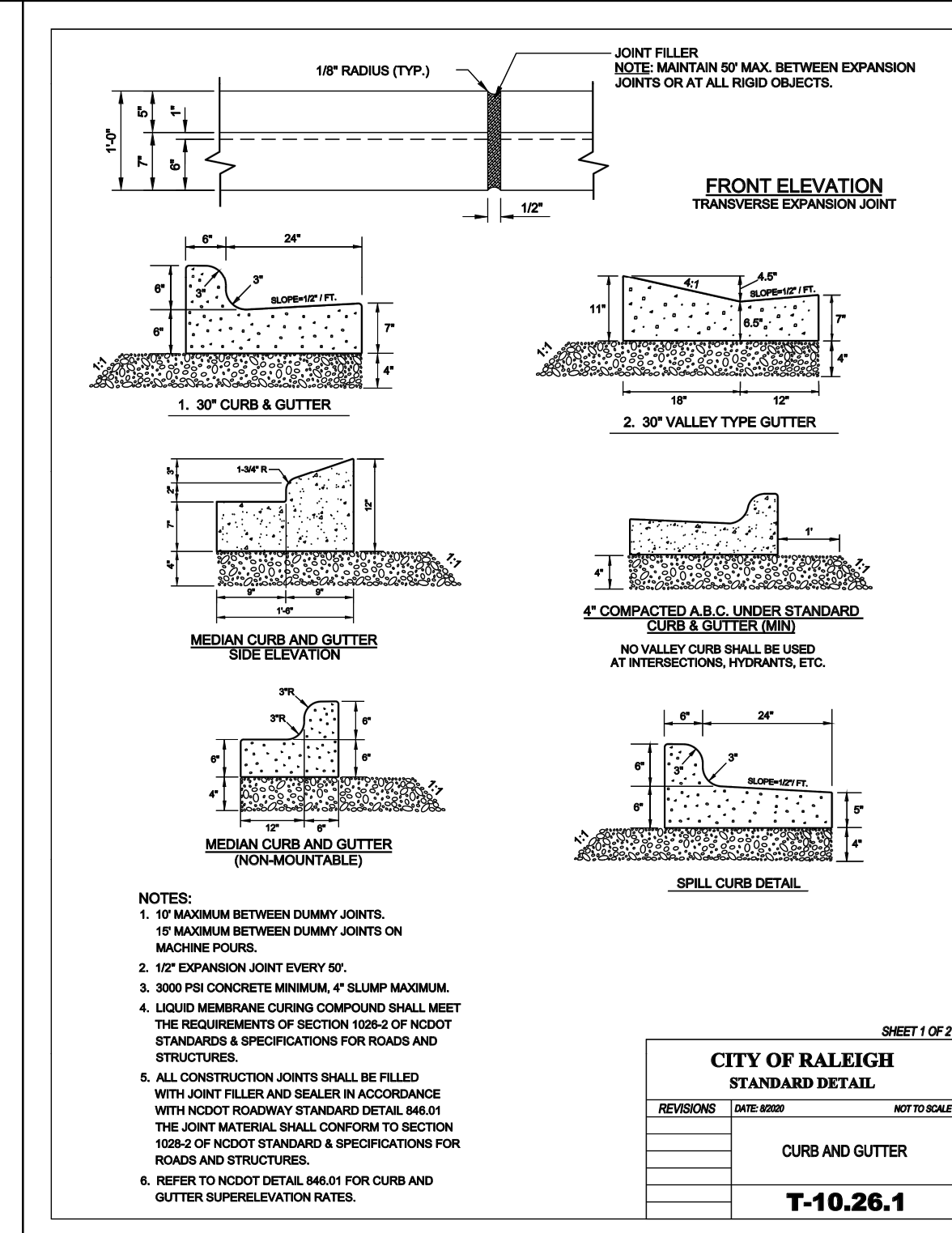
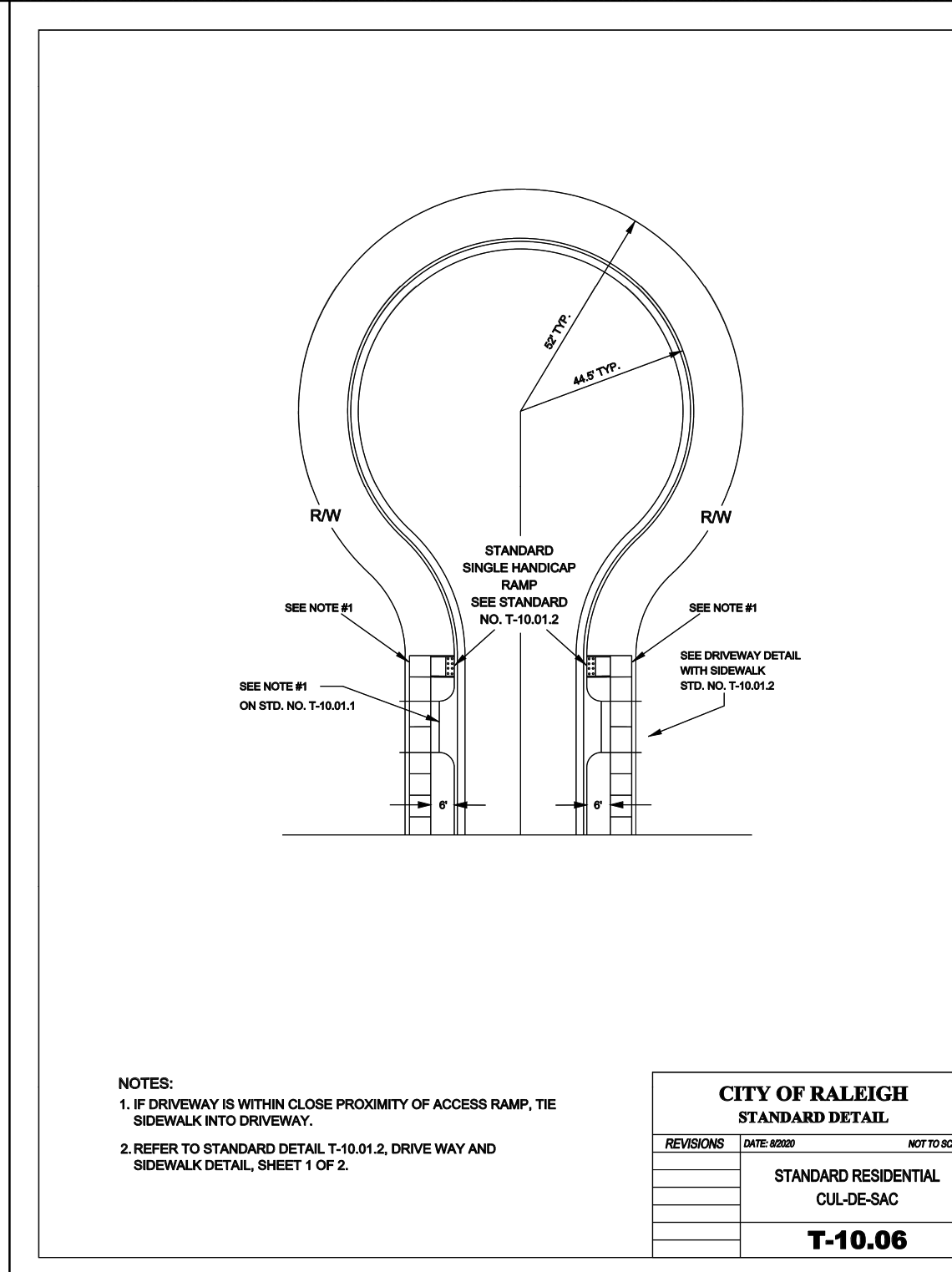
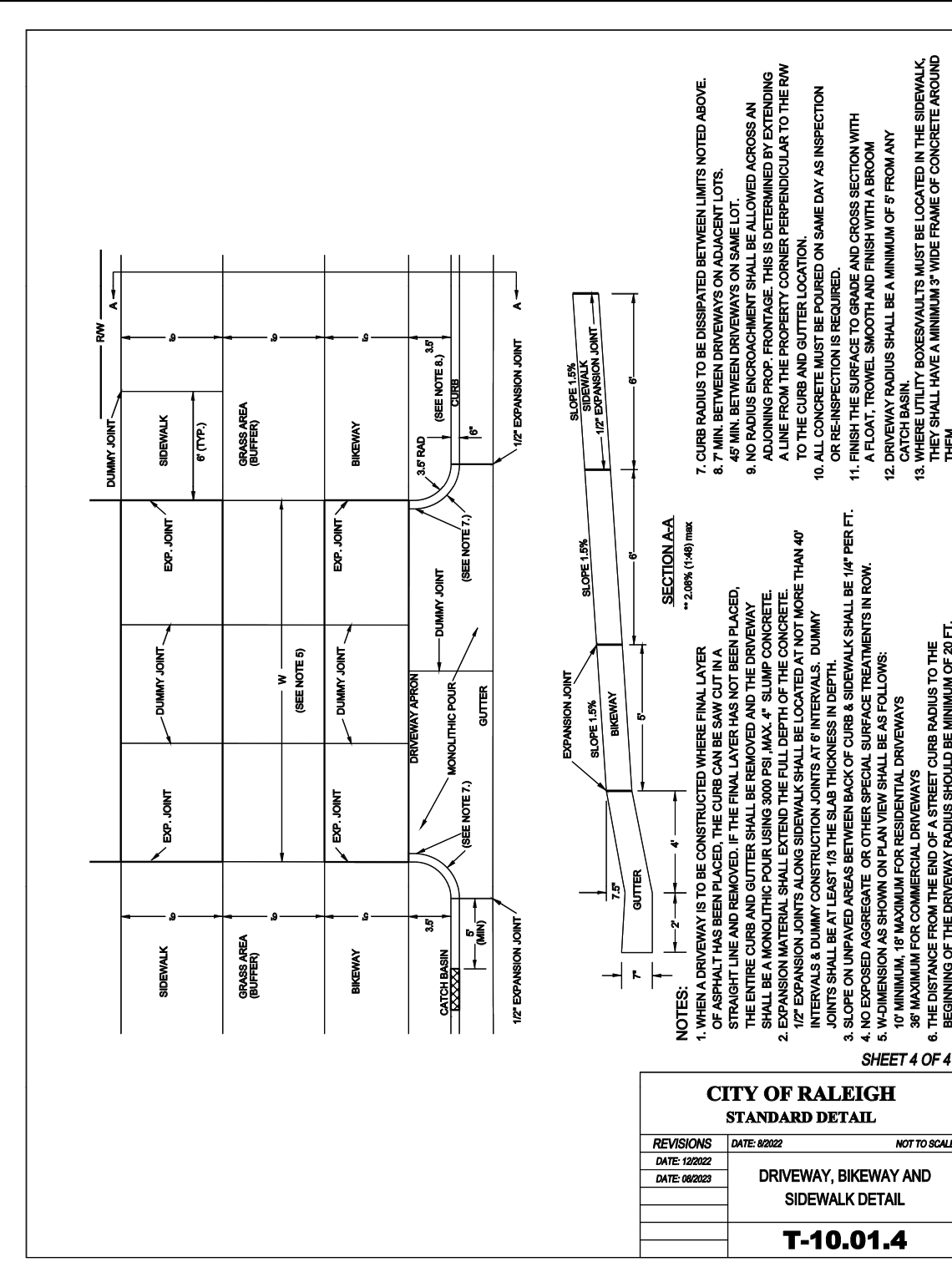
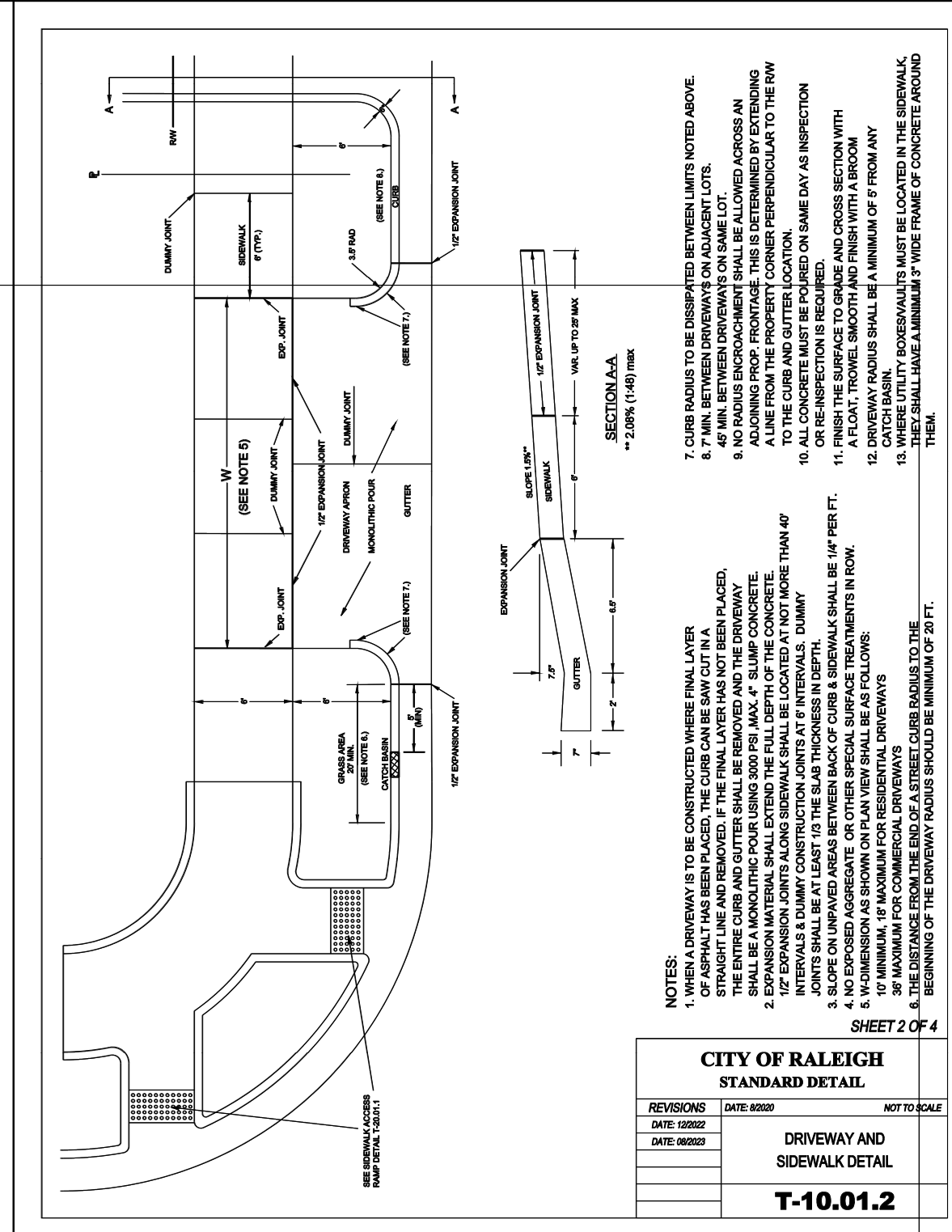
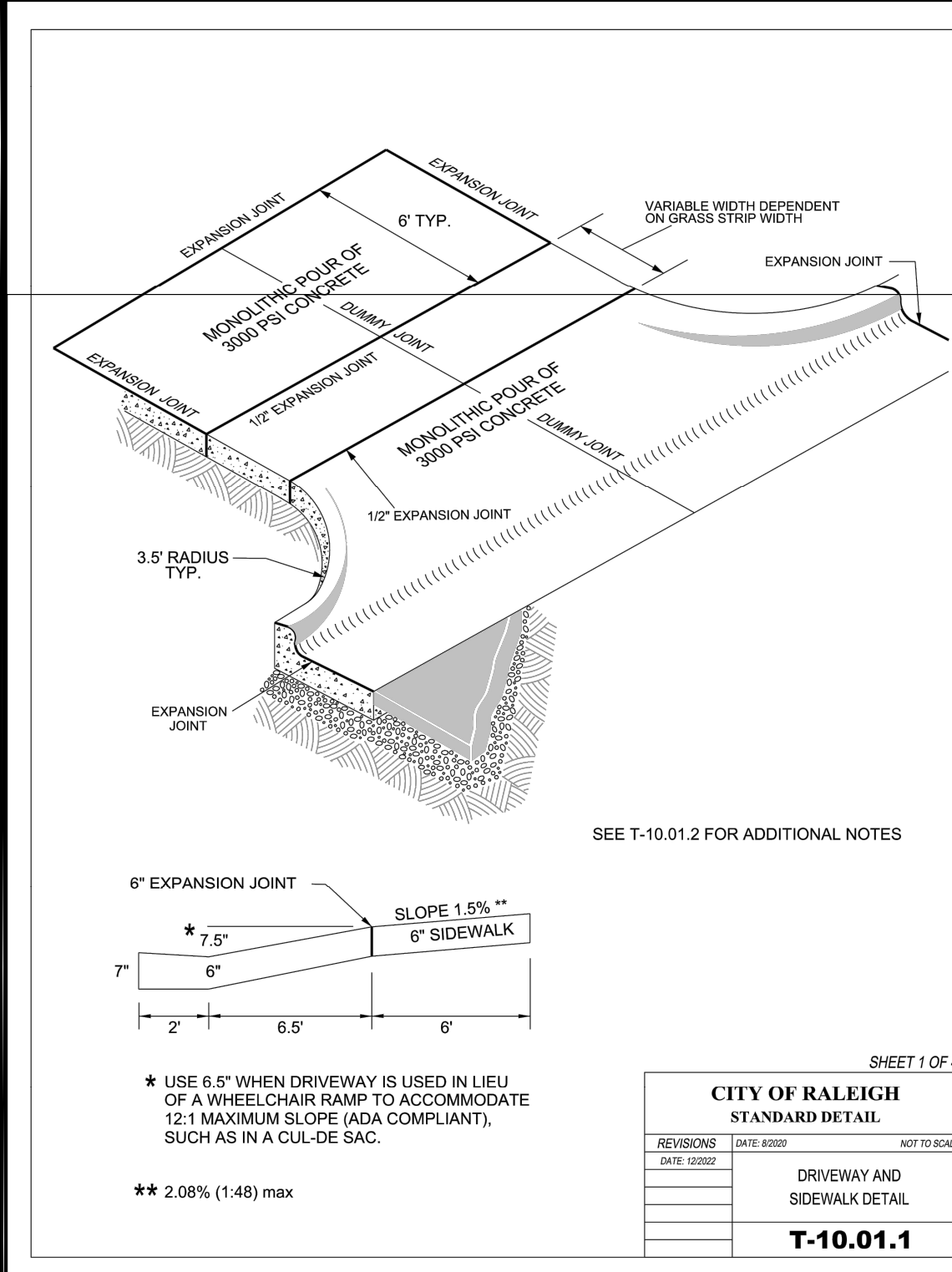


X:\CIVIL\PROJECTS\2023\C2004 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\C2004 - UTILITIES.DWG PRINTED BY: ROWANWILLES 6/20/24 @ 10:04 AM. LAST SAVED BY: ROWANWILLES



**CITY OF RALEIGH CURB RAMPS GENERAL NOTES**

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1" FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.



PLAN REVISIONS

#	DATE	REVISION	BY



PROJECT: PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN

4209 WATKINS ROAD RALEIGH, NC 27616

PROJECT #: C2004  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 06.21.2024  
SCALE: AS NOTED

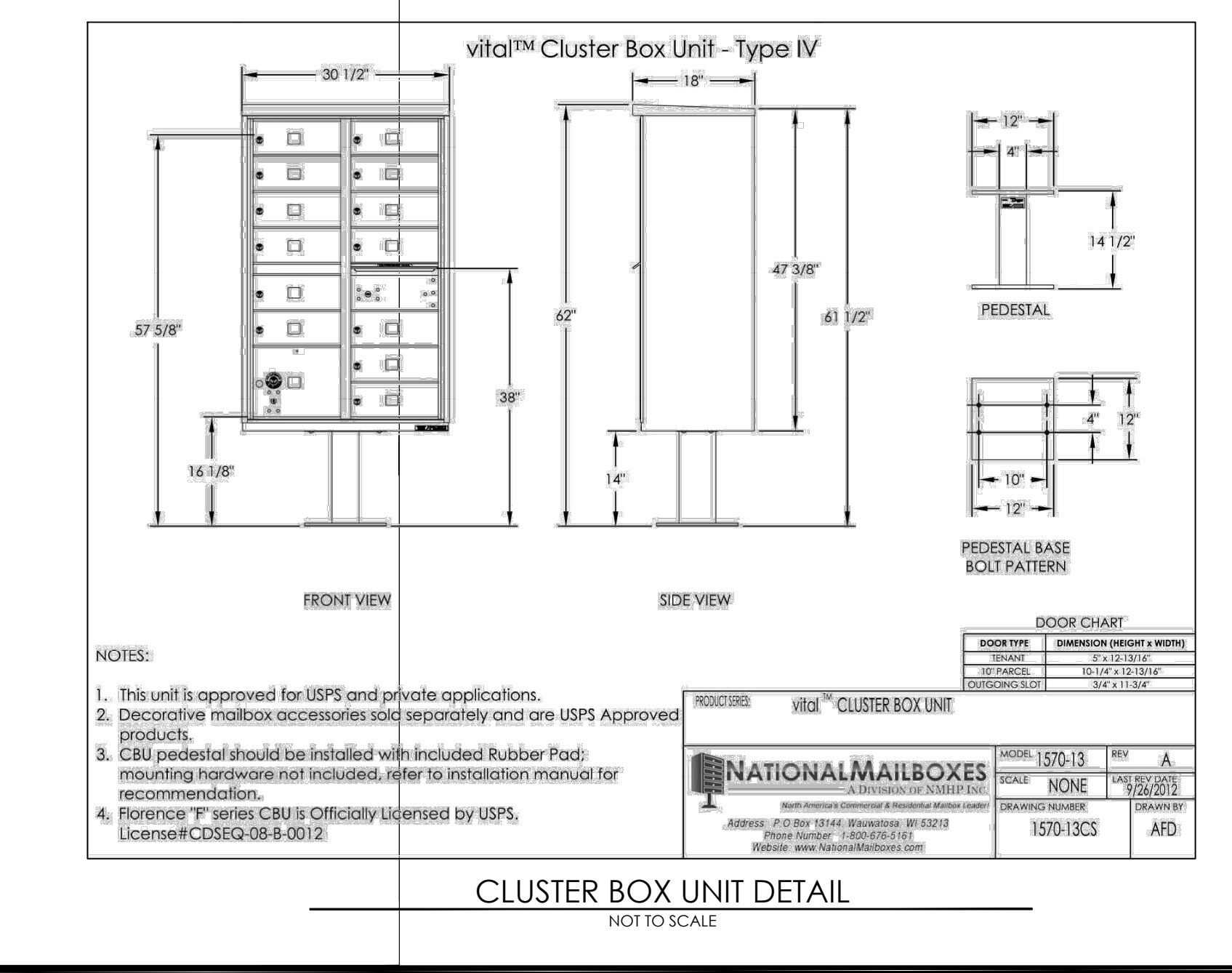
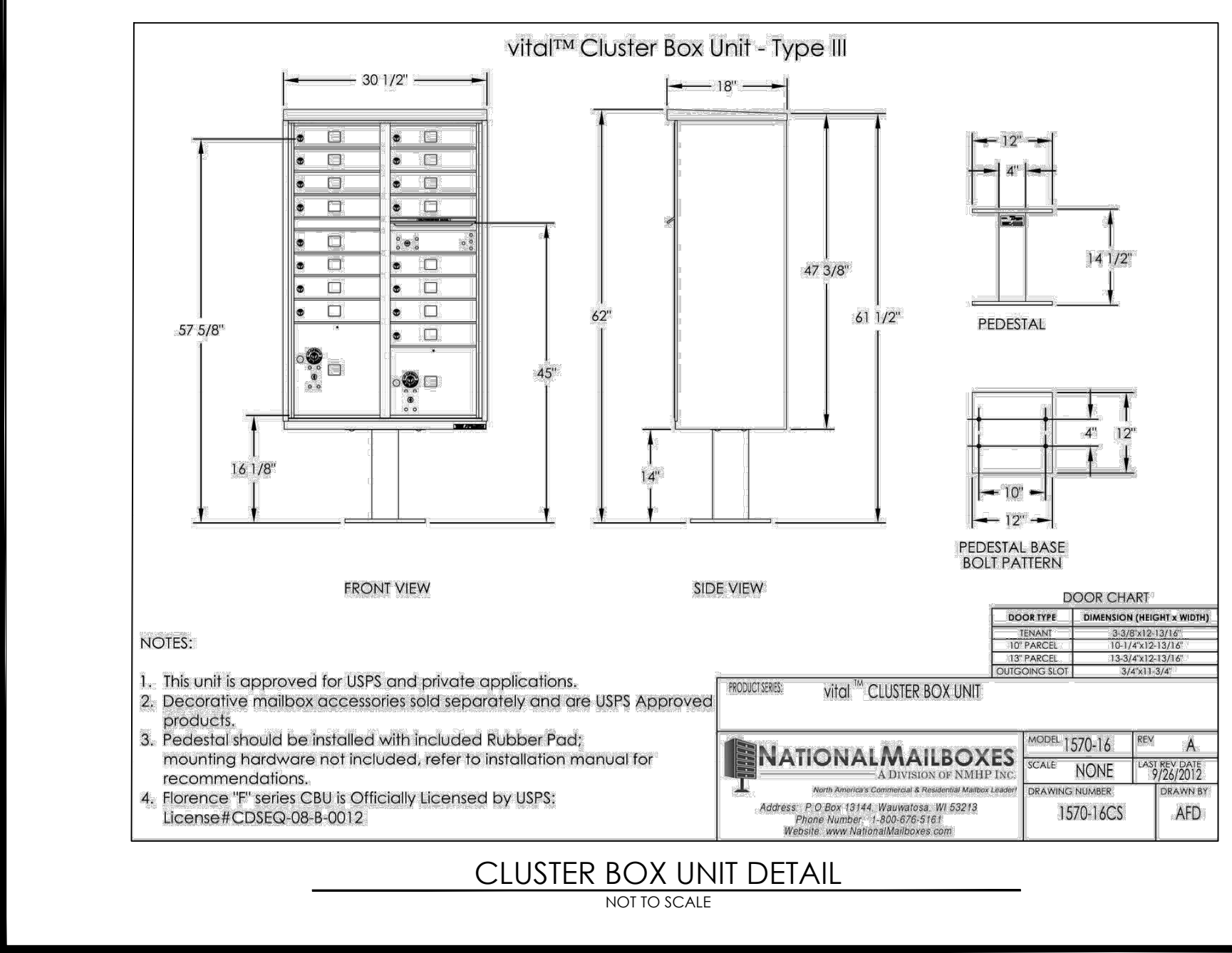
PRELIMINARY NOT FOR CONSTRUCTION

PREPARED FOR: PULTE HOMES

PREPARED BY: underfoot ENGINEERING

1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBLA C683

SHEET: SITE DETAILS C-500



NOTES:  
1. This unit is approved for USPS and private applications.  
2. Decorative mailbox accessories sold separately and are USPS Approved products.  
3. CBU pedestal should be installed with included Rubber Pad; mounting hardware not included. Refer to installation manual for recommendations.  
4. Florence "F" series CBU is Officially Licensed by USPS. License#CDSEQ-08-B-0012.

NOTES:  
1. This unit is approved for USPS and private applications.  
2. Decorative mailbox accessories sold separately and are USPS Approved products.  
3. CBU pedestal should be installed with included Rubber Pad; mounting hardware not included. Refer to installation manual for recommendations.  
4. Florence "F" series CBU is Officially Licensed by USPS. License#CDSEQ-08-B-0012.

NATIONAL MAILBOXES  
1570-13CS AFD

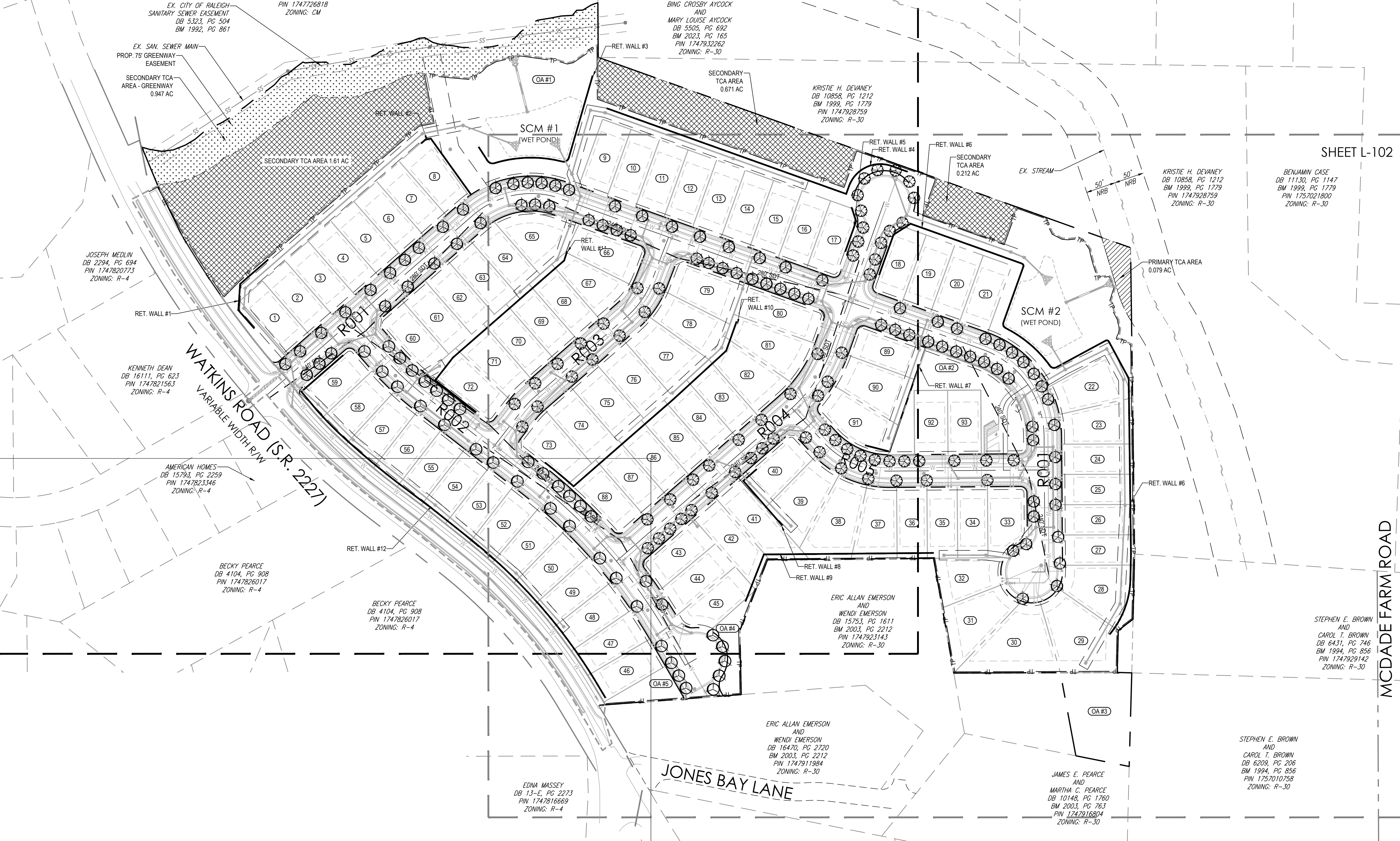
NATIONAL MAILBOXES  
1570-13CS AFD



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE HOMES\PRELIMINARY SUBDIVISION PLAN\DWG\PRINTED BY: ROWANWILES 6/20/24 @ 10:04 AM. LAST SAVED BY: ROWANWILES

SHEET L-101

SHEET L-102



- ### LANDSCAPE NOTES
- ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. ALL GENERAL NOTES AND GENERAL CONSTRUCTION NOTES APPLY.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
  - THE CONTRACTOR SHALL COMPLETELY GUARANTEE AND BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR A ONE YEAR GROWING PERIOD.

- ### PLANTING NOTES
- CONTRACTOR SHALL COORDINATE STREET TREE LOCATIONS WITH WATER AND SEWER SERVICES, HYDRANTS, CURB INLETS, DRY UTILITY LOCATIONS AND STREET LIGHTS PER CITY OF RALEIGH TREE MANUAL GUIDELINES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
  - ALL LANDSCAPE MATERIALS SHALL CONFORM TO, AT A MINIMUM, THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1). ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
  - ALL OPEN SPACE LAWN AREAS AND LAWN AREAS WITHIN RIGHT OF WAYS SHALL BE SODDED WITH TIFBARI CENTRALES SOD OR AN APPROVED EQUAL SEED VARIETY.
  - ALL MATERIALS, PLANTING AND LANDSCAPE WORK SHALL CONFORM TO THE LOCAL OR COUNTY JURISDICTIONAL AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS, AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
  - ALL OPEN SPACE LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
  - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
  - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
  - ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS ILLUSTRATED IN THE PLANTING DETAILS & PLANT LIST.
  - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
  - ALL TREES SHALL BE STAKED AND GUYED, AS SHOWN IN DETAILS, WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKING MATERIAL AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICH EVER COMES FIRST.
  - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN IN GALLON SPECIFIED OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST AS "B".
  - ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
  - PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES AND PROPERLY WATER AND MULCH ALL PREPARED GROUNDCOVER, PERENNIAL AND ANNUAL BEDS.
  - ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
  - THE CONTRACTOR SHALL COMPLETELY GUARANTEE AND BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR A ONE YEAR GROWING PERIOD.
  - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM 3" DEPTH OF TRIPLE SHRED HARDWOOD MULCH.
  - ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
  - ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES. PINE STRAW MULCH, IF SPECIFIED, SHALL BE ROLLED AND TUCKED ALONG PLANT BED EDGE. TRIPLE SHRED MULCH, WHERE SPECIFIED, SHALL BE A MIN. 3" DEPTH.
  - ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED BEHIND THE CURB.
  - CONTRACTOR SHALL NOT PLACE MULCH IN CONTACT WITH TREE TRUNKS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
  - THE CONTRACTOR SHALL COMPLETELY GUARANTEE AND BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR A ONE YEAR GROWING PERIOD.

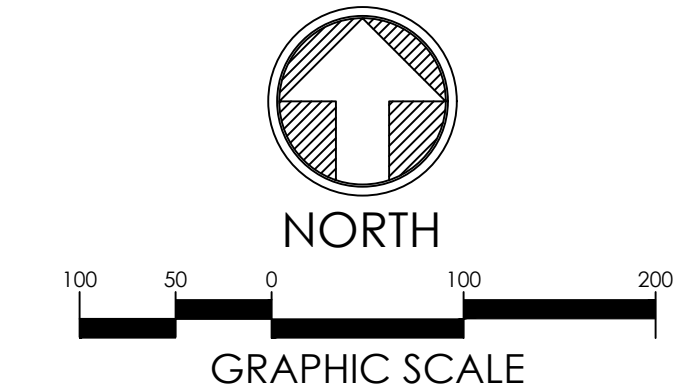
### PLANTING CALCULATIONS

STREET TREES	R/W FRONTAGE	STREET TREES REQ'D	TREES PROVIDED
ROO1 - NORTH SIDE	1679 LF	42	40 SHADE TREES
ROO1 - SOUTH SIDE	1510 LF	37.8	42 SHADE TREES
ROO2 - NORTH SIDE	601 LF	15	20 SHADE TREES
ROO2 - SOUTH SIDE	715 LF	17.9	17 SHADE TREES
ROO3 - EAST SIDE	412 LF	10.3	7 SHADE TREES
ROO3 - WEST SIDE	412 LF	10.3	6 SHADE TREES
ROO4 - EAST SIDE	431 LF	10.8	20 SHADE TREES
ROO4 - WEST SIDE	686 LF	17.2	16 SHADE TREES
ROO5 - NORTH SIDE	384	9.6	11 SHADE TREES
ROO5 - SOUTH SIDE	384	9.6	7 SHADE TREES
TOTAL		185.5 TOTAL	186 TOTAL

NOTE: EACH STREET'S RIGHT OF WAY FRONTAGE IS CALCULATED BY SUBTRACTING THE R/W WIDTH OF INTERSECTING STREETS FROM THE CENTERLINE LENGTH.

### LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.	SIZE	REMARKS
<b>CANOPY TREES</b>							
ACBU	67	Acer buergerianum 'ABTIR'	Streetwise Trident Maple	3" CAL	B+B	12-14' HT	Full, Central Leader
NSGG	82	Nyssa sylvatica 'Green Gable'	Black Gum	3" CAL	B+B	12-14' HT	Full, Central Leader
ULAP	37	Ulmus americana 'Pincetor'	'Pincetor' American Elm	3" CAL	B+B	12-14' HT	Full, Central Leader
SUBTOTAL:	186						



### PLAN REVISIONS

#	DATE	REVISION	BY



PROJECT:  
**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: R/W/MK  
REVIEWED BY: LL  
1ST SUBMITTAL: 2024.06.21  
SCALE: AS NOTED

PRELIMINARY NOT FOR CONSTRUCTION

PREPARED FOR:  
**PULTE HOMES**

PREPARED BY:

1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683

SHEET:  
**OVERALL LANDSCAPE PLAN**

**L-100**



X:\CIVIL\PROJECTS\2023\23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\DWG PRINTED BY: ROWANWILES 6.20.24 @ 10:04 AM. LAST SAVED BY: ROWANWILES

SEE SHEET L-100 FOR LANDSCAPE NOTES, TABLES, AND LEGEND

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG It's fast. It's free. It's the law.

# PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN

4209 WATKINS ROAD RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 2024.06.21  
SCALE: AS NOTED

PRELIMINARY NOT FOR CONSTRUCTION

PREPARED FOR: PULTE HOMES



**underfoot ENGINEERING**  
1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683

SHEET: LANDSCAPE PLAN (1 OF 2)

L-101





X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\DWG PRINTED BY: ROWANWILES 6.20.24 @ 10:04 AM. LAST SAVED BY: ROWANWILES

SEE SHEET L-100 FOR LANDSCAPE NOTES, TABLES, AND LEGEND

PLAN REVISIONS			
#	DATE	REVISION	BY



KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

PROJECT:  
**PEARCE  
PARCELS  
PRELIMINARY  
SUBDIVISION  
PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/MK  
REVIEWED BY: LL  
1ST SUBMITTAL: 2024.06.21  
SCALE: AS NOTED

PRELIMINARY  
NOT FOR CONSTRUCTION

PREPARED FOR:  
**PULTE HOMES**

PREPARED BY:



**underfoot  
ENGINEERING**  
1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
919.576.9733  
NCBELS C3847 | NCBOLA C683



KRISTIE H. DEVANEY  
DB 10858, PG 1212  
BM 1999, PG 1779  
PIN 1747928755  
ZONING: R-30

BENJAMIN CASE  
DB 11130, PG 1147  
BM 1999, PG 1779  
PIN 1757021800  
ZONING: R-30

ERIC ALLAN EMERSON  
AND  
WENDI EMERSON  
DB 15753, PG 1611  
BM 2003, PG 2212  
PIN 1747923143  
ZONING: R-30

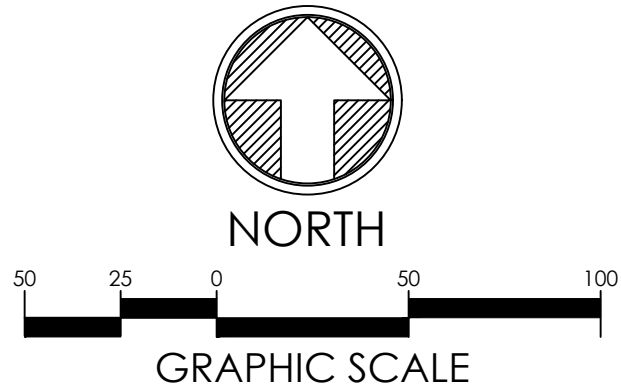
ERIC ALLAN EMERSON  
AND  
WENDI EMERSON  
DB 16470, PG 2220  
BM 2003, PG 2212  
PIN 174791984  
ZONING: R-30

EDNA MASSEY  
DB 13-E, PG 2273  
PIN 1747816669  
ZONING: R-4

JAMES E. PEARCE  
AND  
MARTHA C. PEARCE  
DB 10148, PG 1760  
BM 2003, PG 763  
PIN 1747916804  
ZONING: R-30

STEPHEN E. BROWN  
AND  
CAROL T. BROWN  
DB 6431, PG 745  
BM 1994, PG 856  
PIN 1747929142  
ZONING: R-30

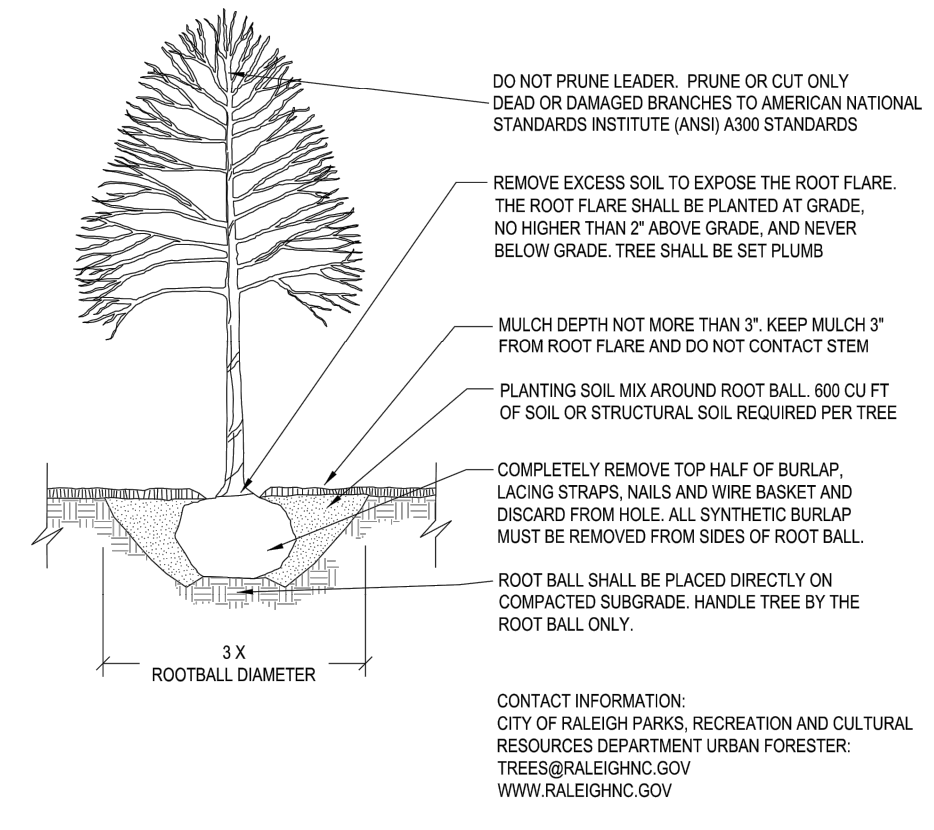
STEPHEN E. BROWN  
AND  
CAROL T. BROWN  
DB 6209, PG 206  
BM 1994, PG 856  
PIN 1757010758  
ZONING: R-30



NORTH  
GRAPHIC SCALE  
0 25 50 100

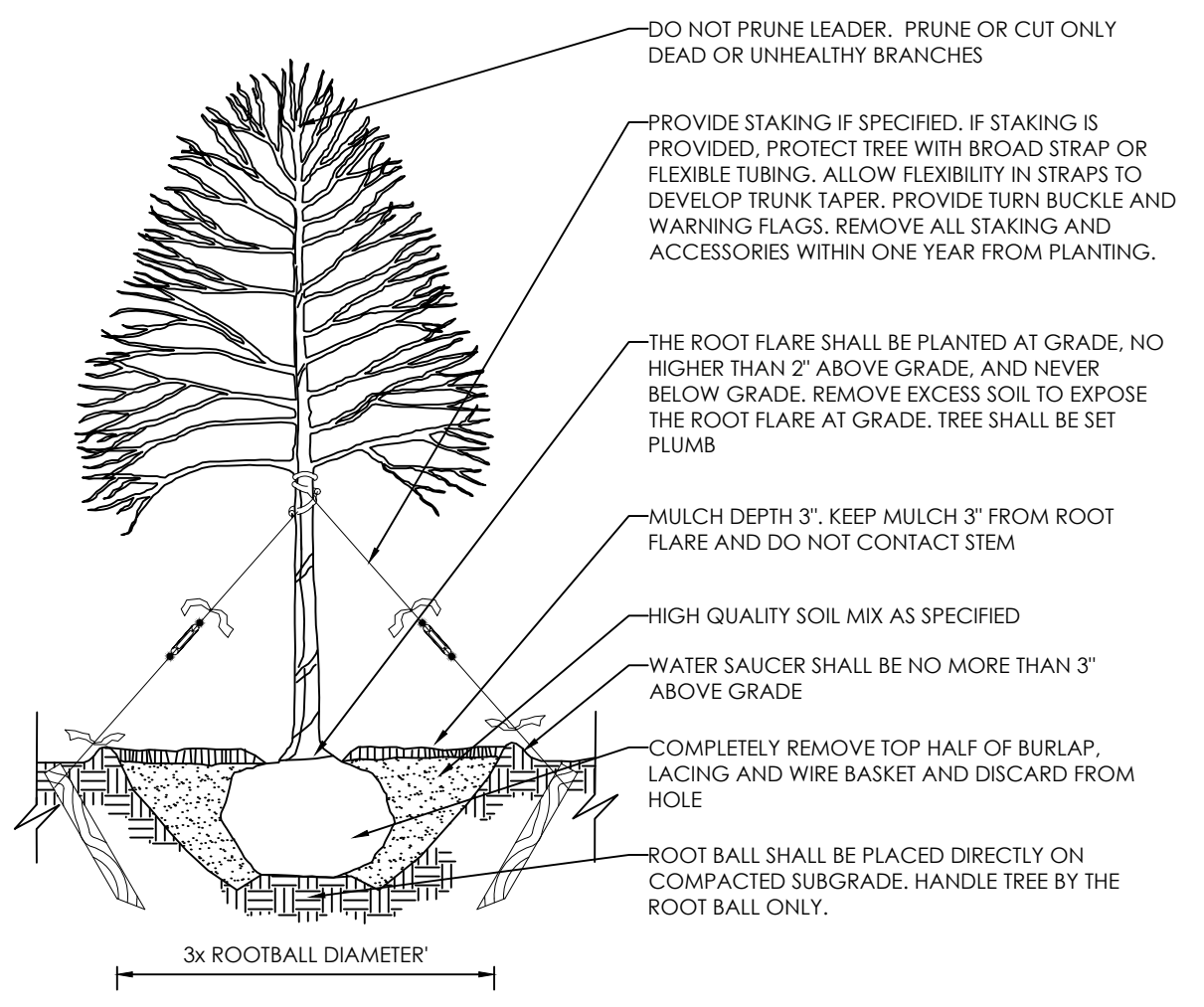


X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE HOMES\PRELIMINARY SUBDIVISION PLAN\DWG\LANDSCAPE PLAN.DWG PRINTED BY: ROMANWILES 6/20/24 @ 10:04 AM. LAST SAVED BY: ROMANWILES

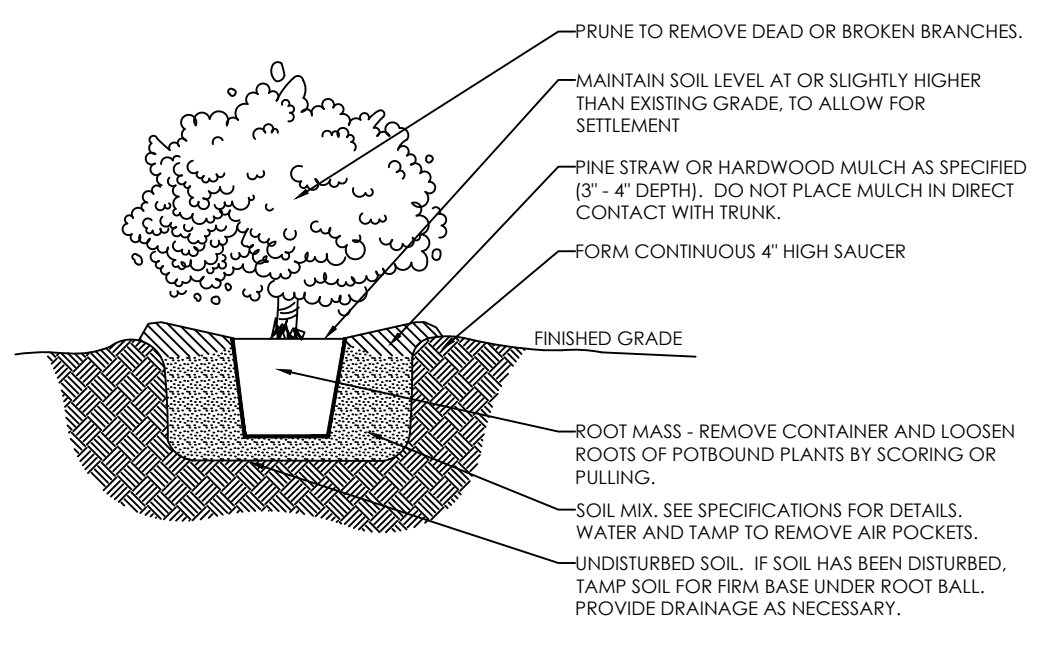


- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL			
REVISIONS	DATE	BY	NOT TO SCALE
TREE PLANTING DETAIL			
<b>TPP-03</b>			



**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING**  
NOT TO SCALE

PLAN REVISIONS			
#	DATE	REVISION	BY



PROJECT:  
**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 2024.06.21  
SCALE: AS NOTED

**PRELIMINARY NOT FOR CONSTRUCTION**

PREPARED FOR:  
**PULTE HOMES**

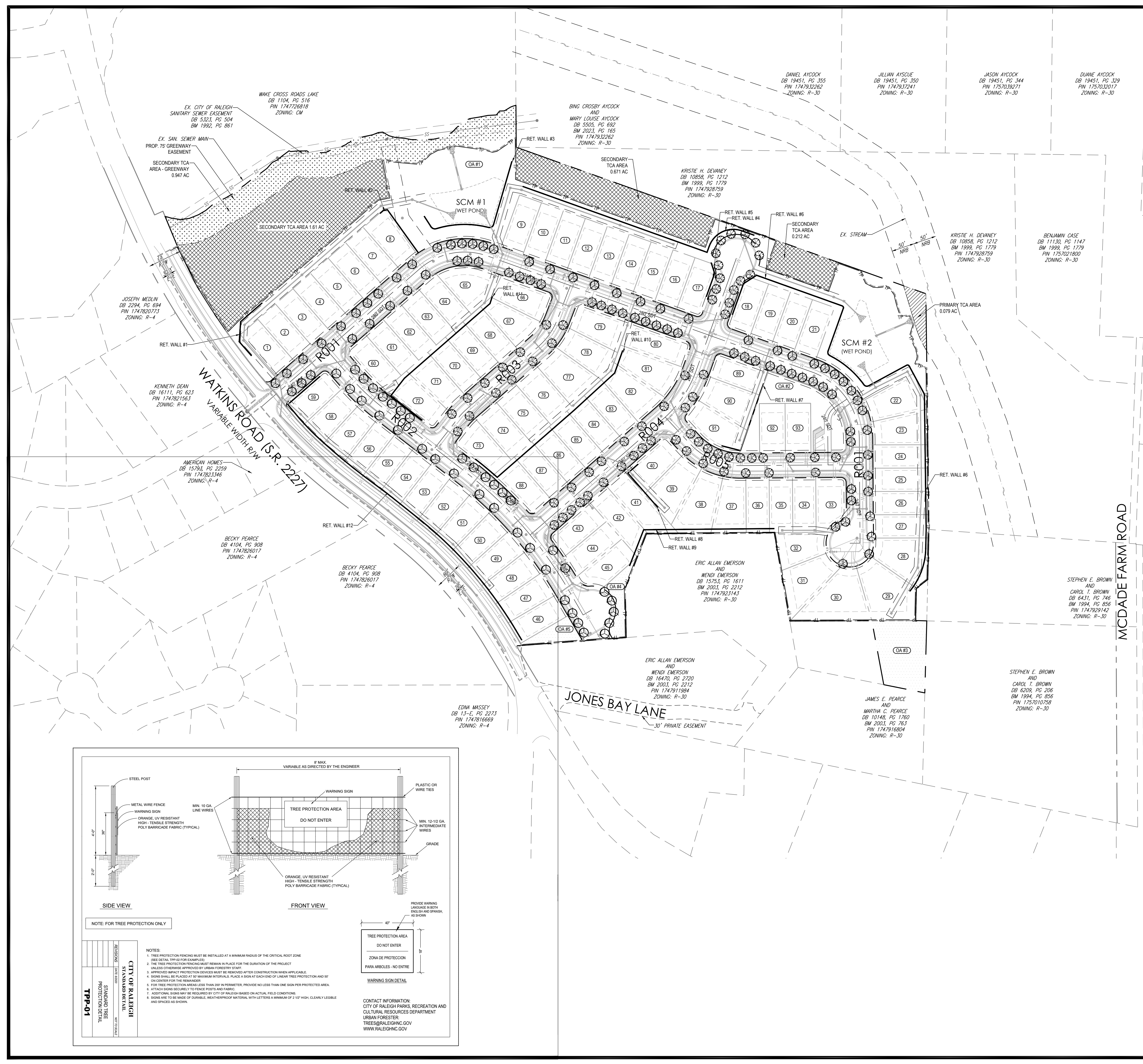


SHEET:  
**LANDSCAPE DETAILS**

**L-103**



X:\CIVIL\PROJECTS\2023\C23054 - PEARCE - PULTE DRAWINGS\PLAN SETS\PRELIMINARY SUBDIVISION PLAN\C23054 - LANDSCAPE PLAN.DWG PRINTED BY: ROWANWILES 6/20/24 @ 10:04 AM. LAST SAVED BY: ROWANWILES



**Tree Conservation Plan Data Sheet**  
UDO Article 9.1 Tree Conservation  
(Include applicable information on the plan sheet)

Project Name: **Pearce Parcels Preliminary Subdivision Plan**

Gross Site Acres:	29.362	ac
Right-of-way to be dedicated with this project:	6.675	ac
Net Site Acres:	22.687	ac

	Number of Acres	Percent of Tract
<b>UDO 9.1.4.A. Primary Tree Conservation Areas</b>		
1. Primary Tree Conservation Area - SHOD 1		
1. Primary Tree Conservation Area - SHOD 2		
2. Primary Tree Conservation Area - Parkway Frontage		
3. Primary Tree Conservation Area - CM		
4. Primary Tree Conservation Area - MPOD		
5. Primary Tree Conservation Area - Champion Tree XX" dbh species		
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.08	0.27
7. Primary Tree Conservation Area - 45% Slopes		
8. Primary Tree Conservation Area - Thoroughfare		
<b>Subtotal of Primary Tree Conservation Areas:</b>	<b>0.08</b>	<b>0.27</b>
<b>UDO 9.1.4.D.2 Tree Conservation Area - Greenway</b>	<b>0.74</b>	<b>2.5</b>
<b>UDO 9.1.4.B.1.a. &amp; b. Secondary Tree Conservation Areas</b> (Include perimeter buffers and their alternate compliance areas)	<b>2.49</b>	<b>8.5</b>
<b>UDO 9.1.4.B.1.c. &amp; d. Individual Tree Secondary Tree Conservation Areas</b> (Include individual trees and their alternate compliance areas)		
<b>Subtotal of Secondary Tree Conservation Areas:</b>	<b>3.23</b>	<b>11.0</b>
<b>TOTAL ALL TREE CONSERVATION AREA PROVIDED:</b>	<b>3.31</b>	<b>11.3</b>

**UDO 9.1.9. Watershed Protection Overlay Districts**

UWPOD - Wooded Area (preserved)		
UWPOD - Wooded Area (planted)		
FWPOD - Wooded Area (preserved)		
FWPOD - Wooded Area (planted)		
SWPOD - Wooded Area (preserved)		
SWPOD - Wooded Area (planted)		

**PLAN REVISIONS**

#	DATE	REVISION	BY



PROJECT:  
**PEARCE PARCELS PRELIMINARY SUBDIVISION PLAN**

4209 WATKINS ROAD  
RALEIGH, NC 27616

PROJECT #: C23054  
DRAWN BY: RW/JMK  
REVIEWED BY: LL  
1ST SUBMITTAL: 2024.06.21  
SCALE: AS NOTED

PRELIMINARY  
NOT FOR CONSTRUCTION

PREPARED FOR:  
**PULTE HOMES**

PREPARED BY:



SHEET:  
**TREE CONSERVATION PLAN**

**L-200**

