



Preliminary Subdivision Plan Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5.)
Please check the appropriate review type and include the plan checklist document.

Please email your completed application to DS.intake@raleighnc.gov.

Office Use Only: Case #: _____	Planner (print): _____
Pre-application Conference Date: _____	Planner (signature): _____

DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s): N/A			
Development name (subject to approval): Westwood Subdivision			
Property Address(es): 900 Westwood Drive			
Recorded Deed PIN(s): 0795 64 5329			
What is your project type?	<input checked="" type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses <input type="checkbox"/> Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Curry Engineering	Owner/Developer Name and Title: Robert & Ann Finley Dillon / Owner
Address: 900 Westwood Drive	
Phone #:	Email:
APPLICANT INFORMATION	
Company: Curry Engineering	Contact Name and Title: Don Curry / President
Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526	
Phone #: 919-552-0849	Email: don@curryeng.com

Continue to the next page>

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 0.59 ac

Zoning districts (if more than one, provide acreage of each):

R-4

Overlay district: N/A

Inside City limits? Yes No

Conditional Use District (CUD) Case # Z- N/A

Board of Adjustment (BOA) Case # A- N/A

STORMWATER INFORMATION

Existing Impervious Surface:
Acres: 0.13 ac Square Feet: 6022 sf

Proposed Impervious Surface:
Acres: 0.22 Square Feet: 9766 sf

Neuse River Buffer Yes No

Wetlands Yes No

Is this a flood hazard area? Yes No

If yes, please provide the following:

Alluvial soils: N/A

Flood study: N/A

FEMA Map Panel #: 3720079500J

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: N/A Detached Attached

Total # of single-family lots: 2

Proposed density for each zoning district (UDO 1.5.2.F): **3.39 units/ac**

Total # of open space and/or common area lots: N/A

Total # of requested lots: 2

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

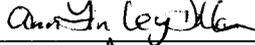
I hereby designate Don Curry / Curry Engineering to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 

Date: 5/8/20

Printed Name: Robert Christopher Dillon

Signature: 

Date: 5/8/20

Printed Name: Ann Finley Dillon

Please email your completed application to DS.intake@raleighnc.gov.

900 WESTWOOD DRIVE

CITY OF RALEIGH WAKE COUNTY, NORTH CAROLINA PRELIMINARY SUBDIVISION CITY OF RALEIGH CASE # SUB-0036-2020

1st SUBMITTAL TO CITY OF RALEIGH: MAY 11, 2020
2nd SUBMITTAL TO THE CITY OF RALEIGH: JULY 10, 2020
3rd SUBMITTAL TO THE CITY OF RALEIGH: AUGUST 18, 2020



VICINITY MAP
SCALE: 1" = 500'

DRAWING INDEX

- C-00 COVER SHEET
- C-01 CIVIL NOTES
- C-02 EXISTING CONDITIONS PLAN
- C-03 DEMOLITION PLAN
- C-04 LOT & UTILITY PLAN
- C-05 GRADING PLAN
- C-06 LANDSCAPE PLAN
- D-01 UTILITY DETAILS

DEVELOPMENT SERVICES

Preliminary Subdivision Plan Application

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Office Use Only: Case #: _____ Planner (print): _____
Pre-application Conference Date: _____ Planner (signature): _____

DEVELOPMENT TYPE (UDO Section 2.1.2)
 Conventional Subdivision Compact Development Conservation Development Cottage Court

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION
Scoping/sketch plan case number(s): **N/A**

Development name (subject to approval): Westwood Subdivision

Property Address(es): **900 Westwood Drive**

Recorded Deed PIN(s): 0795 64 5329

What is your project type? Single family Apartment Townhouse Non-residential Other: _____ Attached houses

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION
NOTE: Please attach purchase agreement when submitting this form.

Company: Curry Engineering Owner/Developer Name and Title: Robert & Ann Finley Dillon / Owner
Address: 900 Westwood Drive

Phone #: _____ Email: _____

APPLICANT INFORMATION:
Company: Curry Engineering Contact Name and Title: Don Curry / President
Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526

Phone #: 919-552-0849 Email: don@curryeng.com

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION
Gross site acreage: 0.59 ac
Zoning districts (if more than one, provide acreage of each):
R-4
Overlay district: N/A Inside City limits? Yes No
Conditional Use District (CUD) Case # Z- N/A Board of Adjustment (BOA) Case # A- N/A

STORMWATER INFORMATION
Existing Impervious Surface: Acres: 0.13 ac Square Feet: 6022 sf
Proposed Impervious Surface: Acres: 0.189 ac Square Feet: 8241.9 sf
Neuse River Buffer Yes No Wetlands Yes No
Is this a flood hazard area? Yes No
If yes, please provide the following:
Alluvial soils: N/A
Flood study: N/A
FEMA Map Panel #: 3720076500J

NUMBER OF LOTS AND DENSITY
Total # of townhouse lots: N/A Detached Attached
Total # of single-family lots: 2
Proposed density for each zoning district (UDO 1.5.2.F): **3.39 units/ac**
Total # of open space and/or common area lots: N/A
Total # of requested lots: 2

SIGNATURE BLOCK
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.
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I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: *Robert Christopher Dillon* Date: 5/18/20
Printed Name: Robert Christopher Dillon
Signature: *Ann Finley Dillon* Date: 5/18/20
Printed Name: Ann Finley Dillon

Please email your completed application to DS.intake@raleighnc.gov.

SITE INFORMATION

LOCATION: 900 WESTWOOD DRIVE
RALEIGH, NC 27607
COUNTY: WAKE
PARENT PIN: 0795-64-5329
DB/PG: 11565 / 1595
ZONING: R-4
ACREAGE: 0.59 AC
ROW DEDICATION: 0.02 AC (768 SF)
CURRENT LAND USE: RESIDENTIAL
PROPOSED LAND USE: RESIDENTIAL

PROPOSED LOT SIZES
LOT #1: 0.29 AC (POST RW DEDICATION)
LOT #2: 0.28 AC (POST RW DEDICATION)
MINIMUM LOT WIDTH: 80' (CORNER)
65' (INTERIOR)

GOVERNING AGENCIES:
PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437
STORMWATER ENGINEERING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov
SEDIMENTATION & EROSION CONTROL:
CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:
WATER & SEWER:
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3484 (o)
CONTACT: KEITH TEW
EMAIL: keith.tew@raleighnc.gov
NATURAL GAS:
PSNO ENERGY - SCANA
3516 SPRING FOREST ROAD
RALEIGH, NC 27616
919-501-7885 (o)
CONTACT: CRAIG SCHOLL
EMAIL: cscholl@scana.com
ELECTRIC:
PROGRESS ENERGY BUSINESS
9620 FAYETTEVILLE ROAD
RALEIGH, NC 27603
919-557-2611 (o)

PHONE:
AT&T NC
5715 GLENWOOD AVE.
RALEIGH, NC 27612
919-785-7856 (o)
CONTACT: WANDA HARRIS
EMAIL: wh1741@aol.com
CABLE:
TIME WARNER CABLE
101 INNOVATION AVE.
MORRISVILLE, NC 27650
919-882-4748 (o)
CONTACT: JEFF HUNTER
EMAIL: jeffrey.hunter@twcable.com

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY CITY OF RALEIGH.

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

BLOCK PERIMETER NOTE:
EXISTING BLOCK PERIMETER DISTANCES TO REMAIN AS-IS. PROPOSED SUBDIVISION PROVIDES NO OPTION FOR IMPROVING EXISTING BLOCK PERIMETER DISTANCES. EXISTING BLOCK PERIMETER DISTANCE IS 2277' WHICH IS GREATER THAN THE MINIMUM REQUIREMENT OF 6,000' (R4 AVG. LOT SIZE 20,000-39,999).

MAXIMUM IMPERVIOUS AREAS WITHOUT STUDY (UDO 9.2.2.A.4)
LOT 1 IMPERVIOUS LIMIT: 12,725 SF x 38% = 4835.5 SF - 705 SF IMP IN ROW (SIDEWALK) = 4130.5 SF (0.095 AC)
LOT 2 IMPERVIOUS LIMIT: 12,122 SF x 38% = 4606.4 SF - 495 SF IMP IN ROW (SIDEWALK) = 4111.4 SF (0.094 AC)
NOTE: SIDEWALK IMPERVIOUS DEDUCTION INCLUDES 1' FEE-IN-LIEU FOR LOT #1 + ANY PROPOSED NEW SIDEWALK CONS IN ROW.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

Civil Engineering:
The Curry Engineering Group, PLLC
NC License # P-0799
PO Box 2018
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
919.880.9857 (m)
Contact: Don Curry, PE
don@curryeng.com

Developer:
Tuscany Construction Group, LLC
712 West Johnson St.
Raleigh, NC 27603
919.571.9196 (o)
Contact: Shervin Tahssili, President
tuscanygroup@aol.com

Owner:
Robert & Ann Dillon
900 Westwood Drive
Raleigh, NC 27607

Surveyor:
Turning Point Surveying, PLLC
4113 John S. Raboteau Wynd
Raleigh, NC 27612
919.781.0234



NOT FOR CONSTRUCTION



900 WESTWOOD DRIVE - RALEIGH COVER SHEET

REV.	DATE	DESCRIPTION
1	07/10/2020	020 COMMENTS #1
2	08/19/2020	020 COMMENTS #2

DATE: 5/18/20
FILE NO.: 2019-063
HORZ. SCALE: NONE
VERT. SCALE: NONE
CRG. SHEET SIZE: 24x36

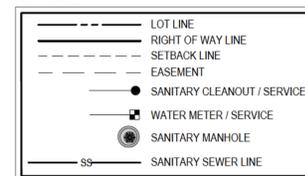
DRAWN BY: DON CURRY, PE (27109) DATE: 05/11/2020 PROJECT: 900 WESTWOOD DRIVE - PRELIMINARY SUBDIVISION SHEET NO. 01 OF 02 PLOTTED: 05/20/20 10:13 AM

DRAWN BY: J. HARRIS, DATE: 08/19/2020, PROJECT: 900 WESTWOOD DRIVE - LOT & UTILITY PLAN, SCALE: 1" = 20', SHEET: 241.35

GENERAL NOTES:

- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
- WATER METERS OUTSIDE OF RIGHT OF WAY SHALL HAVE A 3' CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS 1' PAST THE METER.

LEGEND:



GENERAL NOTES:

- BEFORE YOU DIG, STOP! CALL THE ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
- ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.

CITY OF RALEIGH PUBLIC UTILITIES NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
 - A. A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 50" FROM A PUBLIC WELL.
 - B. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D. 5' 0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49)
 - F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3' 0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4' 0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' 0" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- PRIVATE WATER SERVICES SIZED 1/2" SHOULD BE TYPE "SOFT COPPER (PU HANDBOOK, PG 47) WITH WATER METER LOCATED WITHIN ROW, BEHIND ANY SIDEWALK AND OUTSIDE OF ANY GENERAL UTILITY PLACEMENT EASEMENT (GUP) PER PU HANDBOOK, PGS 48 & 72 AND IN ACCORDANCE WITH PU HANDBOOK, APP. B, STANDARD WATER DETAILS W-23 AND W-25.
- FOR WATER METER WHICH CANNOT BE LOCATED BEHIND SW WITHIN ROW (LOT 1), A 5' WIDE CITY OF RALEIGH WATERLINE EASEMENT SHOULD BE RECORDED.

SITE INFORMATION

LOCATION: 900 WESTWOOD DRIVE, RALEIGH, NC 27607
 COUNTY: WAKE
 PARENT PIN: 0795-64-5329
 DB/PO: 11595 / 1595
 ZONING: R-4
 ACREAGE: 0.59 AC
 ROW DEDICATION: 0.02 AC (768 SF)
 CURRENT LAND USE: RESIDENTIAL
 PROPOSED LAND USE: RESIDENTIAL

PROPOSED LOT SIZES

LOT #1: 0.29 AC (POST R/W DEDICATION)
 LOT #2: 0.28 AC (POST R/W DEDICATION)

MINIMUM LOT WIDTH: 80' (CORNER), 65' (INTERIOR)

ATTENTION CONTRACTORS

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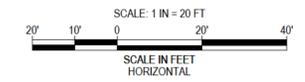
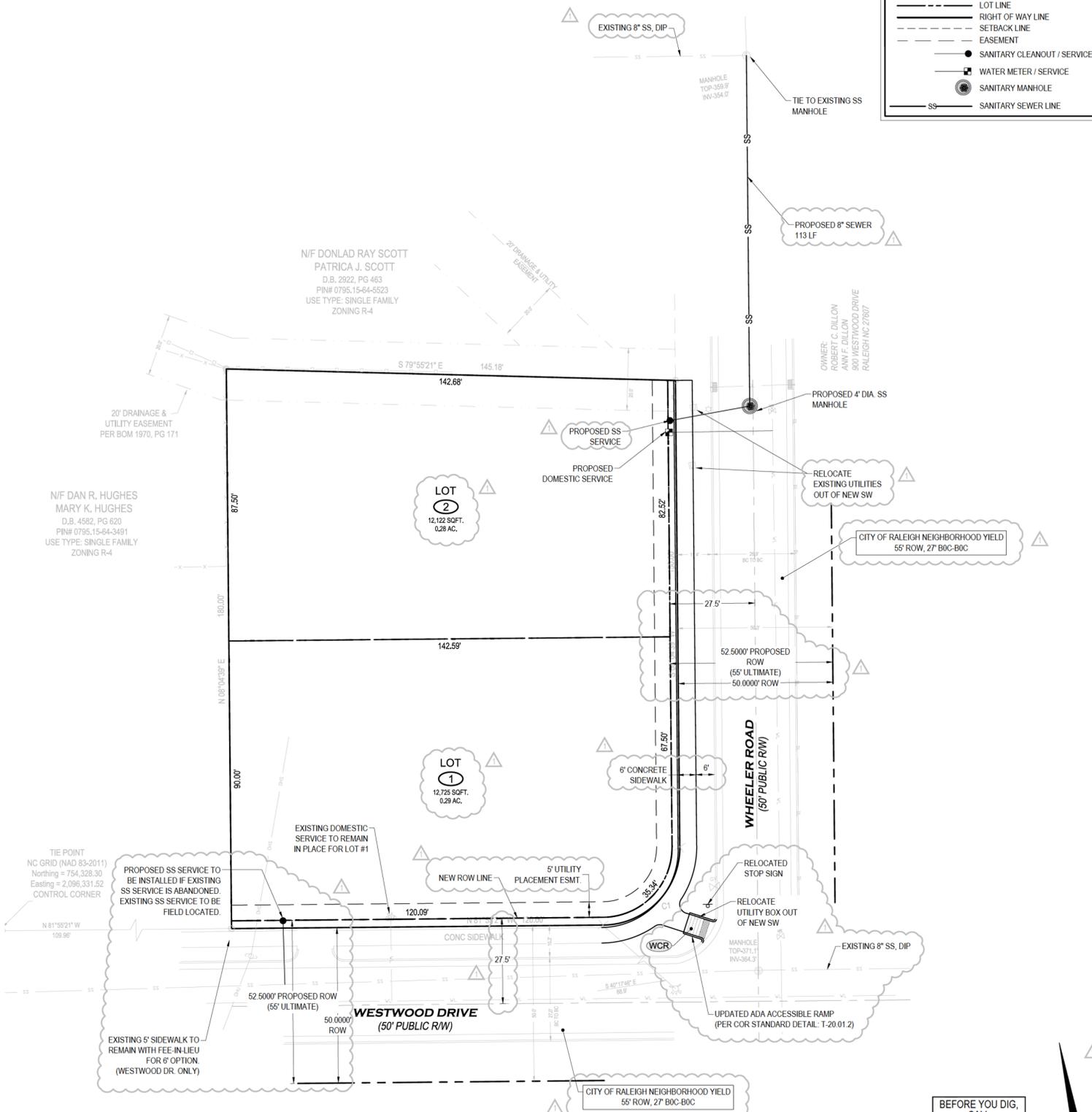
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

MAXIMUM IMPERVIOUS AREAS WITHOUT STUDY (UDO § 2.2.A.4)

LOT 1 IMPERVIOUS LIMIT: 12,725 SF x 38% = 4835.5 SF - 705 SF IMP IN ROW (SIDEWALK) = 4130.5 SF (0.095 AC)
 LOT 2 IMPERVIOUS LIMIT: 12,122 SF x 38% = 4606.4 SF - 495 SF IMP IN ROW (SIDEWALK) = 4111.4 SF (0.094 AC)

*NOTE: SIDEWALK IMPERVIOUS DEDUCTION INCLUDES 1' FEE-IN-LIEU FOR LOT #1 + ANY PROPOSED NEW SIDEWALK CONS IN ROW.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



NOT FOR CONSTRUCTION

900 WESTWOOD DRIVE - RALEIGH LOT & UTILITY PLAN

REVISIONS: 1. 07/10/2020 CORP COMMENTS #1 2. 08/19/2020 CORP COMMENTS #2

DATE: 07/20/20 FILE NO.: 2019-063 HORZ SCALE: 1" = 20' VERT SCALE: 1" = 4' CDS SHEET SIZE: 241.35

208 S. Fidelity Avenue, Fuquay-Varina, NC 27090
T (919) 996-2449 F (919) 996-2434

Curry ENGINEERING

C-04