



# Administrative Approval Action

Case File / Name: SUB-0036-2020  
Westwood Subdivision

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The 0.59 acre site zoned R-4 is located on the northwest corner of the Westwood Drive and Wheeler Road intersection, south of Glen Eden Drive and east of Coley Forest Place. The site address is 900 Westwood Drive.

**REQUEST:** Subdividing existing parcel into two single-family lots under the Conventional Development option. Currently a single family house is on the the site and is to be demolished.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 18, 2020 by DON CURRY.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **General**

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

### **Engineering**

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).



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4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for 1' in sidewalk width along the frontage of Westwood Drive is paid to the City of Raleigh (UDO 8.1.10).

## Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Urban Forestry

7. A public infrastructure surety for 7 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Wheeler Road and 3 street trees along Westwood Drive.

***The following are required prior to issuance of building occupancy permit:***

## Urban Forestry

1. Final inspection of all right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:



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**3-Year Sunset Date: September 23, 2023**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: September 23, 2025**  
**Record entire subdivision.**

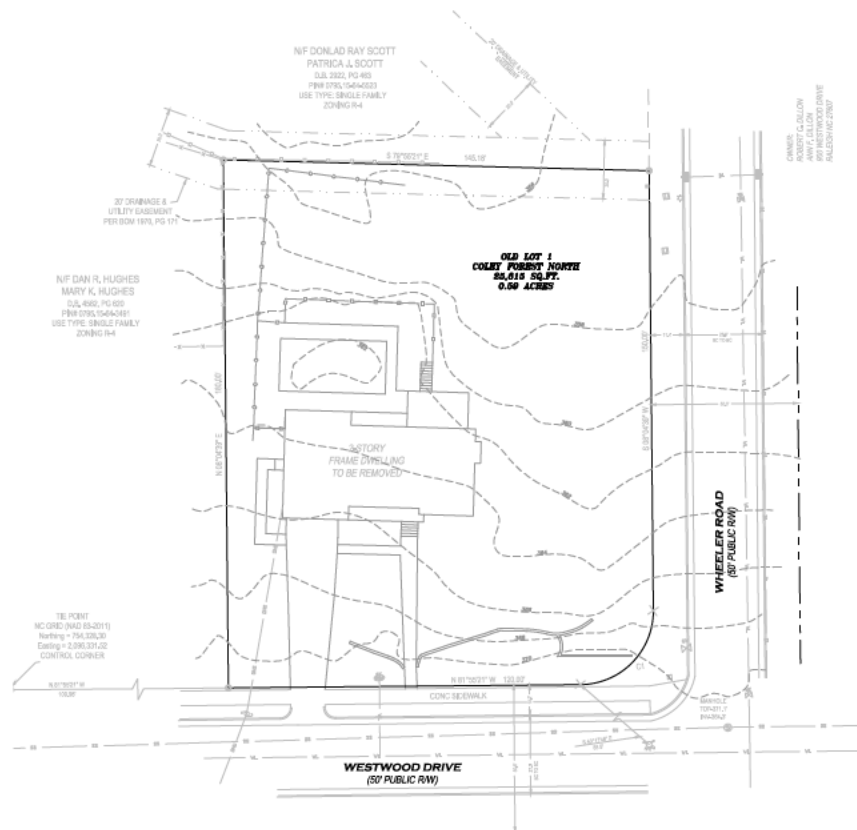
I hereby certify this administrative decision.

Signed:  Date: 09/23/2020  
Development Services Dir/Designee  
Staff Coordinator: Justin Biegler



DATE: 08/15/2019  
DRAWN BY: J. HUGHES  
CHECKED BY: J. HUGHES  
PROJECT: 900 WESTWOOD DRIVE - RALEIGH  
SHEET: 1 OF 1

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH  
CITY OF RALEIGH STANDARDS & SPECIFICATIONS



#### GENERAL NOTES:

- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
- THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS PLAN HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PLAN PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN AUGUST 2019 BY NEWCOMB LAND SURVEYORS.
- NO TITLE OR EASEMENT ON THE PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREIN IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE X-1. LOOK FOR FEMA FIRM PANEL 220007000A DATED 08/09/00.
- VERTICAL DATUM: NAVD83. HORIZONTAL DATUM: NAD83.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MANHOLES PROVIDED BY THE NO ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE, WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN. ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

#### LEGEND:

---	Property Line
---	Property Line (Not Surveyed)
---	Center Line
---	Old ROW Line
---	Right-of-Way Line
---	Easement Line
---	Drain Line
---	Water Line
---	Sanitary Sewer
---	Overhead Utility
---	Overhead Service
---	Vinyl Fence
---	Wood Fence
---	Aluminum Fence
---	Existing Iron Pipe
---	Iron Pipe Set (Unless Otherwise Designated)
---	Existing Concrete Manhole
---	Concrete Manhole Set
---	Property Corner
---	PK Nail
---	Cable TV Box
---	Telephone Box
---	Power Box
---	Light Pole
---	Utility Pole
---	Drop Inlet
---	Utility Box
---	Storm Drainage Manhole
---	Curb Inlet
---	Manhole Valve
---	Fire Hydrant
---	Existing Water Meter (3/4" Service Line)
---	Sewer Manhole
---	Existing Sewer Clean Out (4" Service Line)
---	Existing Iron Pipe
---	Iron Pipe Set
---	Dead End
---	Page
---	Right of Way
---	Tax Map
---	Now or Formerly
---	NOTES ADDRESS



SCALE 1 IN = 20 FT  
SCALE IN FEET  
HORIZONTAL

NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER SEAL  
NOT AFFIXED TO SHEET AS  
ENGINEER DOES NOT CERTIFY  
INFORMATION PROVIDED BY  
OTHERS

900 WESTWOOD DRIVE - RALEIGH  
EXISTING CONDITIONS PLAN

DATE: 08/15/2019  
DRAWN BY: J. HUGHES  
CHECKED BY: J. HUGHES  
PROJECT: 900 WESTWOOD DRIVE - RALEIGH  
SHEET: 1 OF 1

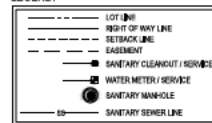
Curry  
ENGINEERING

C-02

GENERAL NOTES:

1. PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
2. WATER METERS OUTSIDE OF RIGHT-OF-WAY SHALL HAVE A CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS PAST THE METER.

LEGEND:



GENERAL NOTES:

1. BEFORE YOU STOP, CALL THE NC ORIGINAL CENTER AT 1-800-544-4444 FOR THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY THE UTILITY LOCATING COMPANY (ONE CALL) AT 1-800-544-4444 OR THE UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
2. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
3. ALL EASEMENTS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL SITE ELEMENTS ARE PURSUANT TO EACH OTHER UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHTS-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
6. PROTECT ALL PROPERTY MONUMENTS AND FENCE MONUMENTS AND FENCE THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT NEIGHBORS AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURBS AND GUTTERS OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
10. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
11. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
12. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-ROUTE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
13. ALL ASPHALT EDGES SHALL BE BAW OUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET BY 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF THE GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
14. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAN OF THE SUBMISSION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER ADJUT LOCATION.

CITY OF RALEIGH PUBLIC UTILITIES NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
  - A. A DISTANCE OF 10" SHALL BE MAINTAINED BETWEEN SANITARY SEWER, ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPOUNDED RESERVOIR, USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FEROUS SANITARY SEWER PIPE SHALL BE PROTECTED BY INSTALLING TO WATER LINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20" FROM A PRIVATE WELL OR 30" FROM A PUBLIC WELL.
  - B. WHEN INSTALLING WATER WORK SEWER MARKS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED BY THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 1' ABOVE THE TOP OF THE SEWER. ALL MATERIALS APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE OF THE UTILITY TO OUTSIDE OF THE UTILITY.
  - C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR A SANITARY SEWER PASSES OVER A WATER MAIN, STEEL ENCASEMENT EXTENDED 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATER LINE SPECIFICATIONS.
  - D. ALL MINIMUM HORIZONTAL SEPARATION REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES. UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWERS.
  - E. MAINTAIN 12" MINIMUM VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 12" MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY OF MATERIALS & A CONCRETE CRADLE HAVING 12" MIN. CLEARANCE PER CORPUS DETAIL 10-41 & 10-42.
  - F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 12" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN FROM THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 36" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 42" MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN DEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING THE AT MINIMUM 6" SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
7. INSTALL 4" PVC SEWER SERVICES @ 1/2" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 100 FEET MAXIMUM.
8. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
9. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE, AND FEMA FOR ANY REHAB, BUFFER, WETLAND, AND FLOODPLAIN IMPACTS, RESPECTIVELY, PRIOR TO CONSTRUCTION.
10. ADDITIONAL ROAD ENCASEMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSION & SERVICE TAPS WITHIN STATE OR FEDERAL ROAD RIGHT-OF-WAY PRIOR TO CONSTRUCTION.
11. GRADE INTERFERED BY WATER SEPARATION (SEWER CULVERTS) IS A INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOOD PROGRAM COORDINATOR PRIOR TO DISTANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 566-2334 OR TIMOTHY.BEASLEY@RAL.EG.NC.GOV FOR MORE INFORMATION.
12. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHOEVER IS MORE STRINGENT, CONTACT JOANNE WATLEY AT (919) 566-2334 OR JOANNE.WATLEY@RAL.EG.NC.GOV FOR MORE INFORMATION.
13. PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
14. PRIVATE WATER SERVICES (SIZES) SHOULD BE TYPE "SOFT COPPER" (PER HANDBOOK, PG 47) WITH WATER METER LOCATED WITHIN ROW, 30" AND ANY EASEMENT AND OUTSIDE OF ANY GENERAL UTILITY PLACEMENT EASEMENT (GUTS) PER HANDBOOK, PGS 46 & 72 AND IN ACCORDANCE WITH HANDBOOK, APP. B, STANDARD WATER DETAIL 10-43 AND 10-44.
15. PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
16. PRIVATE WATER SERVICES (SIZES) SHOULD BE TYPE "SOFT COPPER" (PER HANDBOOK, PG 47) WITH WATER METER LOCATED WITHIN ROW, 30" AND ANY EASEMENT AND OUTSIDE OF ANY GENERAL UTILITY PLACEMENT EASEMENT (GUTS) PER HANDBOOK, PGS 46 & 72 AND IN ACCORDANCE WITH HANDBOOK, APP. B, STANDARD WATER DETAIL 10-43 AND 10-44.
17. FOR WATER METERS WHICH CANNOT BE RELOCATED 30" FROM ROW (LOT 1), A PRIVATE CITY OF RALEIGH WATERLINE EASEMENT SHOULD BE RECORDED.

SITE INFORMATION

LOCATION: 900 WESTWOOD DRIVE, RALEIGH, NC 27607  
 COUNTY: WAKE  
 PLAT: 07664-04329  
 DBP: 15564-11585  
 ZONING: R4  
 ACREAGE: 0.58 AC  
 ROW DESIGNATION: 30' PUBLIC ROW  
 CURRENT LAND USE: RESIDENTIAL  
 PROPOSED LAND USE: RESIDENTIAL  
 PROPOSED LOT SIZES:  
 LOT #1: 0.29 AC (POST ROW DEDICATION)  
 LOT #2: 0.29 AC (POST ROW DEDICATION)  
 MINIMUM LOT WIDTH: 87' CORNERS, 87' INTERIOR

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer or gas service, as approved in these plans, is responsible for contacting the Public Works Department at (919) 566-2468 and the Public Utilities Department at (919) 566-4541 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of emergency fines, and require removal of any water or sewer to lines not impacted as a result of the notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the job site, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

MAXIMUM IMPERVIOUS AREAS WITHOUT STUDY (SQ. FT.)  
 LOT 1 IMPERVIOUS AREA: 12,725 SQ. FT. (3.0% MAX. OF 428,000 SQ. FT. OF ROW IN ROW (SEWER) = 41,565 SQ. FT. (3.0% MAX. OF 1,385,500 SQ. FT. OF ROW)  
 LOT 2 IMPERVIOUS AREA: 12,122 SQ. FT. (3.0% MAX. OF 404,066 SQ. FT. OF ROW IN ROW (SEWER) = 41,114 SQ. FT. (3.0% MAX. OF 1,370,466 SQ. FT. OF ROW)  
 NOTE: SEWER MAINS WITHIN ROW INCLUDES 7 FEET EASEMENT FOR LOT #1 & ANY PROPOSED NEW SEWER MAINS WITHIN ROW.



SCALE: 1" = 20' FT  
 SCALE: IN FEET

NOT FOR CONSTRUCTION



PRELIMINARY  
 DO NOT USE FOR CONSTRUCTION

