

Administrative Approval Action

Case File / Name: SUB-0037-2023
DSLCL - MAGNOLIA FOREST

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 66.17 acre site is a combination of multiple tracts zoned R-4, R-6 CU, and CM, and is located on the east side of Forestville Road at the intersection of Forestville Road and Brinley Manor Drive. The site is outside the city limits.
- REQUEST:** This is a subdivision utilizing the conservation development option with 154 detached home lots and 13 HOA, community, and open space lots for a total of 167 proposed lots. There are three phases for development in this plan.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 18, 2024 by Timmons Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- Regarding the Conservation subdivision perimeter buffer yards (fence and landscaping) - the fence/wall should run along the edge of the site with the required landscaping between the fence/wall and the proposed residential lots. - Please revise the location of the buffer yard fence/wall around the perimeter showing the fence/wall along the site border with required landscaping between the wall and the proposed residential lots.

Engineering

- Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
- A public infrastructure surety (SUR-0481-2023) shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

- A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.



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Stormwater

5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
6. If required, a nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
9. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).

Transportation

10. 401/404 Permits Required at SPR Review

Urban Forestry

11. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
12. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Provide documentation indicating a Property Owner's Association has been established for the subject development.



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2. Comply with conditions of Z-14-14, specifically Z-14-14, #3.
3. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
4. A demolition permit shall be issued for the structures on site and this building permit number shown on all maps for recording.

Engineering

5. A fee-in-lieu for any streets or sidewalks that cannot be fully constructed to the project boundaries as determined at SPR review is paid to the City of Raleigh (UDO 8.1.10).
6. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
7. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.
9. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
10. A fee-in-lieu for curb and gutter not installed with the alternate cross section is paid to the City of Raleigh (UDO 8.1.10).



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Public Utilities

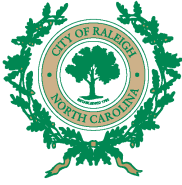
11. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a water and/or sewer main.
12. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
13. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

14. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
15. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
16. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
17. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
18. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
19. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
20. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

21. A public infrastructure surety for 93 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion. A public infrastructure surety for 321 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
22. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 12.20 acres of tree conservation area.



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BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 51 street trees along Thornrose Hill Dr, 21 street trees along Ripon Dr, 46 street trees along Turlock Trail, 49 street trees along McHenry Dr, 46 street trees along Newman Dr, 30 street trees along Maplemoor Way, 30 street trees along Countystone Way, 8 street trees along Brinley Manor Dr, 30 street trees along Endicot Way, 93 street trees along Forestville Rd, and 10 street trees along Countryvale Lane.

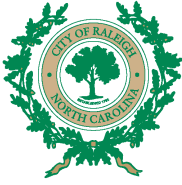
The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).



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EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: August 6, 2027
Record at least 1/2 of the land area approved.

5-Year Sunset Date: August 6, 2029
Record entire subdivision.

I hereby certify this administrative decision.

Signed: _____ *Michael Walters* _____ Date: 08/06/2024
Development Services Dir/Designee

Staff Coordinator: Michael Walters

Preliminary Subdivision Application
Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2200

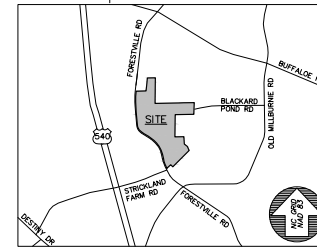


MAJOR SUBDIVISION PRELIMINARY PLAN

FOR

MAGNOLIA FOREST SUBDIVISION

RALEIGH, WAKE COUNTY, NORTH CAROLINA
PIN(S): 1745-39-6863, 1745-39-6763, 1745-38-8601
1745-49-5347, 1745-48-3769



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)

Conventional Subdivision Compact Development Conservation Development

Cottage Court Flag lot Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Scoping/sketch plan case number(s): SCOPE-0155-2021

Development name (subject to approval): MAGNOLIA FOREST

Property Address(es): 5317 FORESTVILLE RD, 5323 FORESTVILLE RD (RESIDENTIAL), 5321 FORESTVILLE RD, 5401 FORESTVILLE RD, 5417 FORESTVILLE RD, 5425 FORESTVILLE RD, FORESTVILLE RD, RALEIGH, NC 27604

Recorded Deed PIN(s): 1745-39-6863, 1745-39-6763, 1745-38-8601, 1745-49-5347, 1745-48-3769

Building type(s): Detached House Attached House Townhouse Apartment

General Building Mixed Use Building Civic Building Open Lot Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names: LAMONT M. & DOLORES W. INGE

Company: _____ Title: _____

Address: 2504 Old Midburnie Rd, Raleigh, NC 27604

Phone #: _____ Email: _____

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: KB HOMES RALEIGH Address: 4506 S. MIAMI BLVD, SUITE #100, DURHAM, NC 27703

Phone #: 919-422-8606 Email: RSJOHNSON@KBHOMES.COM

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names: R. SCOTT JOHNSON

Company: KB HOMES RALEIGH Title: SR, DIRECTOR OF DEVELOPMENT

Address: 4506 S. MIAMI BLVD, SUITE #100, DURHAM, NC 27703

Phone #: 919-422-8606 Email: RSJOHNSON@KBHOMES.COM

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DEVELOPMENT TYPE + SITE DATE TABLE - ZONING INFORMATION

Gross site acreage: 68.24 AC

Zoning districts (if more than one, provide acreage of each):
R-4: 23.75 AC R-6-CU: 37.58 AC CM: 6.91 AC

Overlay district(s): Inside City Limits? Yes No Historic District/Landmark: N/A

Conditional Use District (CUD): _____ Board of Adjustment Case #: _____ Design Alternate Case #: _____

Case # Z: 014-14-ORD BGA- _____ DA- _____

STORMWATER INFORMATION

Impervious Area on Parcel(s): _____ Impervious Area for Compliance (includes right-of-way): _____

Existing (sf) 24,844 Proposed total (sf) 546,443 Existing (sf) 0 Proposed total (sf) 363,429

NUMBER OF LOTS AND DENSITY

of Detached House Lots: 154 # of Attached House Lots: _____ # of Townhouse Lots: _____

of Tiny House Lots: _____ # of Open Lots: 13 # of Other Lots (Apartment, General, Mixed Use, Civic): _____

Total # of Lots: 167 Total # Dwelling Units: 154

Proposed density for each zoning district (UDO 1.5.2.F): R-4: 1.43 DU/A & R-6-CU: 3.14 DU/A

SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(b)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-750(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: _____ Date: 07/12/2023

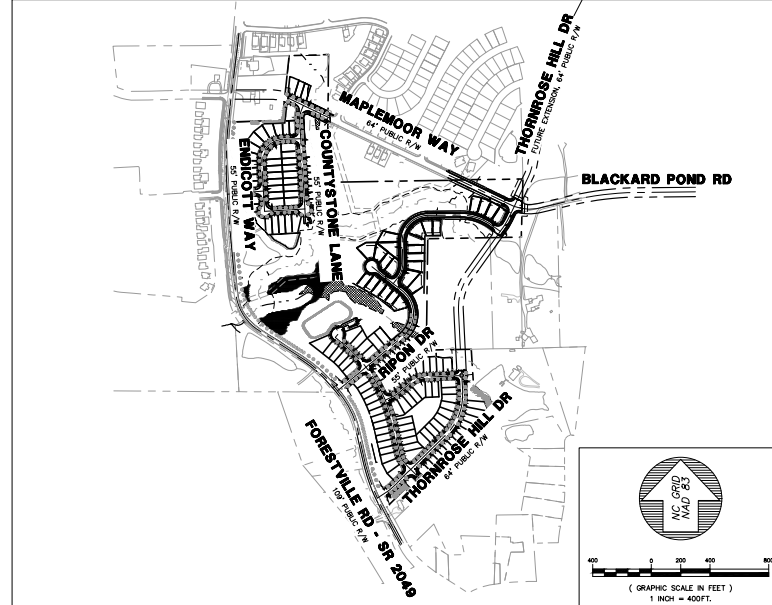
Printed Name: R. Scott Johnson, Sr. Director of Development - kb Home

Signature: _____ Date: _____

Printed Name: _____

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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCEGO AND NCCOT STANDARDS, SPECIFICATIONS, AND DETAILS.



SKETCH PLAN CASE: SCOPE-0155-2021
SUBMITTAL DATE: SEPTEMBER 19, 2023
CASE NUMBER: SUB-0037-2023

SITE DATA TABLE

PROJECT NAME:	MAGNOLIA FOREST SUBDIVISION
PROPERTY ADDRESS(ES):	5317 FORESTVILLE ROAD, RALEIGH, NC 27604 5323 FORESTVILLE ROAD, RALEIGH, NC 27604 5401 FORESTVILLE ROAD, RALEIGH, NC 27604 5417 FORESTVILLE ROAD, RALEIGH, NC 27604 5425 FORESTVILLE ROAD, RALEIGH, NC 27604
PROPERTY PIN NUMBERS:	1745-39-6863, 1745-39-6763, 1745-38-8601, 1745-49-5347, 1745-48-3769
PROPOSED ZONING:	R-4, R-6-CU, CM
TOWNSHIP:	ST. MATTHEW'S
PROPOSED USE:	RESIDENTIAL
TOTAL TRACT AREA:	66.17 ACRES



SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER SHEET	18 JUN 24
G0002	ZONING CONDITIONS AND GENERAL NOTES	18 JUN 24
C0100	EXISTING CONDITIONS & DEMOLITION PLAN OVERVIEW	18 JUN 24
C0101	EXISTING CONDITIONS & DEMOLITION PLAN ENLARGEMENT #1	18 JUN 24
C0102	EXISTING CONDITIONS & DEMOLITION PLAN ENLARGEMENT #2	18 JUN 24
C0103	EXISTING CONDITIONS & DEMOLITION PLAN ENLARGEMENT #3	18 JUN 24
C1000	SITE PLAN OVERVIEW	18 JUN 24
C1001	SITE PLAN ENLARGEMENT #1	18 JUN 24
C1002	SITE PLAN ENLARGEMENT #2	18 JUN 24
C1003	SITE PLAN ENLARGEMENT #3	18 JUN 24
C1004	OPEN SPACE PLAN	18 JUN 24
C1005	TREE CONSERVATION AREA PLAN	18 JUN 24
C1006	BLOCK PERIMETER PLAN	18 JUN 24
C1007	EASEMENT PLAN	18 JUN 24
C1008	ZONING AND PHASING PLAN	18 JUN 24
C1009	SIGHT DISTANCE TRIANGLE PLAN	18 JUN 24
C1100	UTILITY PLAN OVERVIEW	18 JUN 24
C1101	UTILITY PLAN ENLARGEMENT #1	18 JUN 24
C1102	UTILITY PLAN ENLARGEMENT #2	18 JUN 24
C1103	UTILITY PLAN ENLARGEMENT #3	18 JUN 24
C1200	GRADING & DRAINAGE PLAN OVERVIEW	18 JUN 24
C1201	GRADING PLAN ENLARGEMENT #1	18 JUN 24
C1202	GRADING PLAN ENLARGEMENT #2	18 JUN 24
C1203	GRADING PLAN ENLARGEMENT #3	18 JUN 24
C1204	RETAINING WALL ENLARGEMENT #1	18 JUN 24
C1205	RETAINING WALL ENLARGEMENT #2	18 JUN 24
C1206	RETAINING WALL ENLARGEMENT #3	18 JUN 24
C3101	FORESTVILLE RD EXISTING CONDITIONS, STRIPING, AND IMPROVEMENTS PLAN & PROFILE	18 JUN 24
C3102	FORESTVILLE RD EXISTING CONDITIONS, STRIPING, AND IMPROVEMENTS PLAN & PROFILE	18 JUN 24
C3103	FORESTVILLE RD EXISTING CONDITIONS, STRIPING, AND IMPROVEMENTS PLAN & PROFILE	18 JUN 24
C3201	TYPICAL SECTIONS	18 JUN 24
C3301	DETAILED ROAD SECTIONS	18 JUN 24
C3302	DETAILED ROAD SECTIONS	18 JUN 24
C3303	DETAILED ROAD SECTIONS	18 JUN 24
C3304	DETAILED ROAD SECTIONS	18 JUN 24
C3305	DETAILED ROAD SECTIONS	18 JUN 24
C4201	SCM ENLARGEMENT #1	18 JUN 24
C4202	SCM ENLARGEMENT #1	18 JUN 24
L-1	OVERALL LANDSCAPE PLAN	19 APR 24
L-2	DETAILED LANDSCAPE PLAN #1	19 APR 24
L-3	DETAILED LANDSCAPE PLAN #2	19 APR 24
L-4	DETAILED LANDSCAPE PLAN #3	19 APR 24
L-5	LANDSCAPE DETAILS	19 APR 24
L-6	LANDSCAPE DETAILS	19 APR 24
L-7	LANDSCAPE BUFFER SCHEDULE	19 APR 24
L-8	LANDSCAPE BUFFER SCHEDULE	19 APR 24
L-9	LANDSCAPE BUFFER SCHEDULE	19 APR 24
L-10	LANDSCAPE BUFFER SCHEDULE	19 APR 24
L-11	LANDSCAPE BUFFER SCHEDULE	19 APR 24
22-0144A	DUKE ENERGY SITE LIGHTING PLAN	06 APR 22

Ballentine Associates, PA
221 Providence Road
Chapel Hill, NC 27514
919.929.0481
ballentineassociates.com

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

OWNER INFORMATION
KB HOMES CAROLINAS DIVISION
POB 5, MIAMI BLVD
SUITE #100
DURHAM, NC 27702
BUSINESS REPRESENTATIVE:
R. SCOTT JOHNSON
PH: (919) 422-8606
EMAIL: RSJOHNSON@KBHOMES.COM

DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET
G0001

Z-14-14 ZONING CONDITIONS:

- BUILDINGS CONSTRUCTED UPON THE PROPERTY SHALL NOT EXCEED 40' IN HEIGHT AND THREE STORES. COMPLIANCE RESPONSE: A NOTE REFERENCING THIS REQUIREMENT IS SHOWN UNDER "BUILDING NOTES" ON SHEET C1000.
- IN THE EVENT THE PROPERTY OR ANY PORTION THEREOF IS DEVELOPED PURSUANT TO ARTICLE 2.4 (CONSERVATION DEVELOPMENT OPTION), NO MORE THAN 200 RESIDENTIAL DWELLING UNITS SHALL BE PERMITTED ON THE PROPERTY. IN THE EVENT THAT THE PROPERTY OR ANY PORTION THEREOF IS DEVELOPED PURSUANT TO CONSERVATION DEVELOPMENT OPTION, APPLICANT SHALL SUBMIT A TRAFFIC IMPACT ANALYSIS, TRAFFIC STUDY, OR TRAFFIC LETTER REPORT SATISFACTORY IN FORM TO PUBLIC WORKS DIRECTOR, OR HIS OR HER DESIGNEE. COMPLIANCE RESPONSE: A TIA HAS BEEN PROVIDED.
- WITHIN (30) DAYS FOLLOWING THE APPROVAL OF THE FORM AND SUBSTANCE OF THE RESTRICTIVE COVENANT HEREINAFTER MENTIONED BY THE CITY ATTORNEY OR HIS OR HER DEPUTY, THE OWNER OF THE PROPERTY SHALL CAUSE TO BE RECORDED IN THE WAKE COUNTY REGISTER A RESTRICTIVE COVENANT THAT SHALL ALLOCATE THE ALLOWABLE DEVELOPMENT UPON THE PROPERTY AS PROVIDED IN FOREGOING ZONING CONDITION 2 AMONG ALL EXISTING LOTS COMPRISING THE PROPERTY. SUCH RESTRICTIVE COVENANT SHALL BE SUBMITTED TO THE CITY ATTORNEY WITHIN (30) DAYS FOLLOWING APPROVAL OF THIS ZONING CASE BY THE CITY COUNCIL. AND SHALL BE APPROVED BY THE CITY ATTORNEY OR HIS OR HER DEPUTY PRIOR TO RECORDEATION. THE RESTRICTIVE COVENANT AND THE ALLOCATION OF DEVELOPMENT SET FORTH THEREIN MAY BE AMENDED FROM TIME TO TIME FOLLOWING RECORDEATION. ANY SUCH AMENDMENT SHALL REQUIRE THE WRITTEN CONCURRENT APPROVAL OF THE CITY ATTORNEY OR HIS OR HER DEPUTY AND THE OWNERS OF ALL PORTIONS OF THE PROPERTY AFFECTED BY AMENDMENT AND SHALL BE SOLE DISCRETION OF SUCH OWNERS. FOLLOWING RECORDEATION, A COPY OF EACH AMENDMENT SHALL BE MAILED TO THE PLANNING DIRECTOR AT P.O. BOX 590, RALEIGH, NC 27602 WITH REFERENCE TO ZONING CASE Z-14-14. COMPLIANCE RESPONSE: ACKNOWLEDGED.
- THE ONLY BUILDING TYPES PERMITTED SOUTH OF THE CONSERVATION MANAGEMENT ZONED PORTION OF THE PROPERTY SHALL BE DETACHED HOUSES, CIVIC BUILDINGS AND OPEN LOT. COMPLIANCE RESPONSE: A NOTE REFERENCING THIS REQUIREMENT IS SHOWN UNDER "BUILDING NOTES" ON SHEET C1000.
- UNLESS A MORE STRINGENT BUFFER IS REQUIRED BY UDO, A NATURAL PROTECTIVE YARD FORTY (40) FEET IN WIDTH SHALL BE ESTABLISHED, RUNNING PARALLEL TO ADJOINING PROPERTY LINE WITH THE PROPERTY HAVING WAKE COUNTY PIN: 1745583136, NOW OR FORMERLY THE "COV PROPERTY" DESCRIBED IN DEED BOOK 8944, PAGE 1832, WAKE COUNTY REGISTRY. THIS NATURAL PROTECTIVE YARD SHALL BE RECORDED ON APPROVED SUBDIVISION PLAT PRIOR TO THE APPROVAL OF ANY SITE REVIEW. COMPLIANCE RESPONSE: THE 40' NATURAL PROTECTIVE YARD IS SHOWN AND LABELED ON SHEET C1000, NEAR LOT JOB.
- A MINIMUM SIX AND ONE-HALF FOOT (6' 1/2") HIGH CLOSED WOODEN FENCE SHALL BE INSTALLED AND MAINTAINED ALONG THE WESTERN SIDE OF THE NATURAL PROTECTIVE YARD ESTABLISHED IN ZONING CONDITION 5 ABOVE. HOWEVER, NOTHING IN THIS ZONING CONDITION 6 SHALL REQUIRE INSTALLATION AND MAINTENANCE OF A FENCE WITHIN ANY REQUIRED RIPARIAN BUFFER, NATURAL PROTECTIVE YARD, TREE CONSERVATION AREA OR OTHER ARE PROHIBITED BY UDO. THE FENCE DESCRIBED HEREIN SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT ON THE PROPERTY. COMPLIANCE RESPONSE: THE 6.2' FENCE IS SHOWN AND LABELED ON SHEET C1000, NEAR LOT JOB.

GENERAL NOTES:

- FIELD TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP ON MARCH 24 2022.
- THE CONTRACTOR SHALL CONTACT NC ONE CALL CENTER PRIOR ANY DIGGING.
- ALL PUBLIC WATER IMPROVEMENTS SHALL CONFORM TO ALL CITY OF RALEIGH, WAKE COUNTY PUBLIC UTILITIES DEPT. AND NCEC PWS STANDARDS AND SPECIFICATIONS. ALL SANITARY SEWER IMPROVEMENTS SHALL CONFORM TO ALL CITY OF RALEIGH, WAKE COUNTY PUBLIC UTILITIES DEPT. AND NCEC PWS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICT BEFORE PERFORMING WORK IN AFFECTED AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE AND BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY CONTRACTOR.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATION AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING, OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING LAYED. Dewatering shall be used as required, and permitted through local government agencies and water management district per current regulations at the sole cost of the contractor.
- WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED IN THE AREA BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- PIPE SPECIFICATIONS
 - WATER MAINS
DUCTILE IRON
 - WATER SERVICE: SOFT COPPER TYPE "C" 1" x 1/2", DIRECT TAPS 1/2" AND 1" DUCTILE IRON ALLOWED
 - SANITARY SEWER MAINS
BURY DEPTH 4'-10"; SDR 35 PVC, C-900 DR 18 CLASS 235 PVC
BURY DEPTH 4'-12" DUCTILE IRON
 - SANITARY SEWER SERVICE
WHEN TAPPING MAIN IS PVC: C-900 OR SDR 35 PVC, SD4, 40 MIN 1/2" PER FOOT SLOPE.
WHEN TAPPING MAIN IS DUCTILE IRON: DUCTILE IRON WITH MIN 1/2" PER FOOT SLOPE.
SERVICE RISERS PVC DOWN TO 15' THEN DUCTILE IRON.
 - SANITARY SERVICE MANHOLES:
DEPTHS 0'-15", 4" DIAMETER
DEPTHS 15'-20", 5' DIAMETER

NOTES

THE CITY COVENANT SHALL BE APPROVED BY THE CITY AND RECORDED WITH THE COUNTY REGISTER OF DEEDS OFFICE WHERE THE PROPERTY IS LOCATED AND A COPY OF THE RECORDED DOCUMENT SHALL BE PROVIDED TO THE CITY BY THE END OF THE NEXT BUSINESS DAY FOLLOWING THE RECORDEATION OF THE FINAL PLAT. FURTHER RECORDEATIONS AND BUILDING PERMITS WILL BE WITHHELD IF THE RECORDED DOCUMENT IS NOT PROVIDED TO THE CITY.

A SLOPE EASEMENT DEED OF EASEMENT SHALL BE APPROVED BY CITY STAFF AND LOCATION OF THE EASEMENT SHALL BE SHOWN ON A PLAT APPROVED FOR RECORDEATION. THE DEED OF EASEMENT SHALL BE RECORDED AT WAKE COUNTY REGISTER OF DEEDS WITHIN ONE DAY OF RECORDEATION OF THE PLAT. A RECORDED COPY OF THESE DOCUMENTS MUST BE PROVIDED TO THE DEVELOPMENT SERVICES DEPARTMENT WITHIN ONE DAY FROM AUTHORIZATION OF LOT RECORDEATION. IF A RECORDED COPY OF THE DOCUMENT IS NOT PROVIDED, FURTHER RECORDEATIONS AND BUILDING PERMIT ISSUANCE WILL BE WITHHELD.

A PUBLIC INFRASTRUCTURE SURETY SHALL BE PROVIDED TO CITY OF RALEIGH TRANSPORTATION - DEVELOPMENT ENGINEERING DIVISION (UDO 8.1.2) IN THE AMOUNT OF 100% OF THE IMPROVEMENT COST FOR THE NODOT PORTION AND 150% OF THE IMPROVEMENT COST FOR THE CITY OF RALEIGH INFRASTRUCTURE.

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

PROPERTY OWNERS:

LAMONT M. & SOLORES W. INCE
2504 OLD WINDBORNE ROAD
RALEIGH, NC 27604

PINS: 1745-39-4883, 1745-39-4783, 1745-39-8601
1745-49-5347, 1745-48-3789
DB 002572, PG 00716
AREA: 62.8 AC

CONTRACTOR IS SOLELY RESPONSIBLE ALL MATERIALS ORDERED PRIOR TO FINAL APPROVED PLANS THAT ARE RELEASED FOR CONSTRUCTION, AND IS RESPONSIBLE FOR MAKING ALL ADJUSTMENTS TO THESE MATERIALS TO MEET STRUCTURE HEIGHTS, ANGLES, PIPE MATERIALS, ETC. WITHOUT ADDITIONAL COST TO DEVELOPER OR ENGINEER.

ZONING CONDITIONS AND GENERAL NOTES

REVIEW DRAWING NOT FOR CONSTRUCTION

Balentine Associates, P.A.
2214 Hargett Street
Charlotte, NC 28203
Tel: 704.375.1234
Fax: 704.375.1235
www.balentine.com

DATE	BY
09 MAY 24	W. SMITH
18 JUN 24	W. SMITH

REVISIONS	DATE	BY
PER CITY OF RALEIGH REVIEW COMMENTS	09 MAY 24	W. SMITH
PER CITY OF RALEIGH REVIEW COMMENTS	18 JUN 24	W. SMITH

OWNER INFORMATION
KE HOME CAROLINAS DIVISION
2504 S. MAIN BLVD
DURHAM, NC 27705
BUSINESS REPRESENTATIVE:
PAUL SCOTT JOHNSON
PH: (919) 422-2406
FAX: (919) 422-2406
EMAIL: paul.scott@ke.com

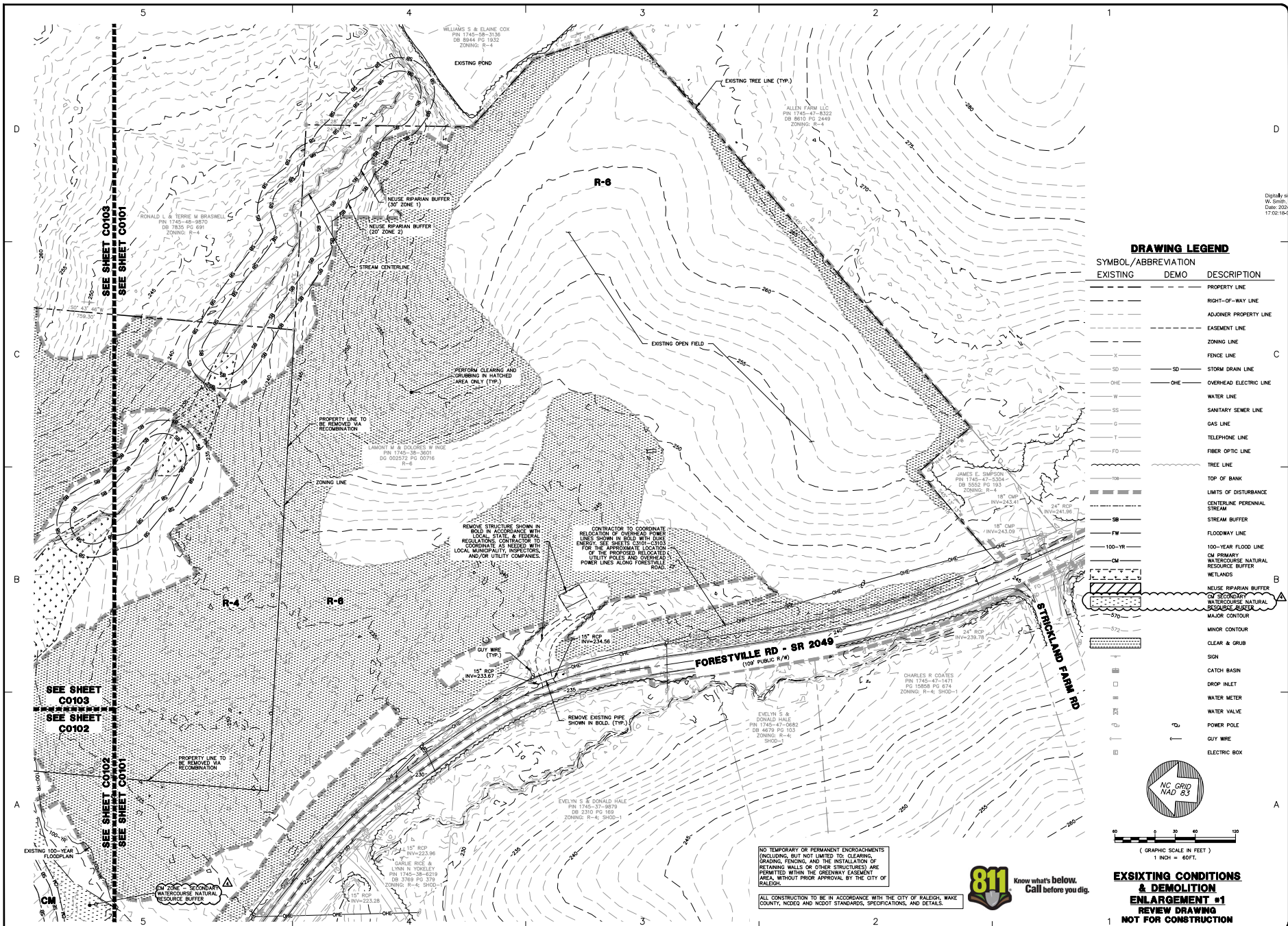
DATE	BY
09 FEB 24	W. SMITH
09 MAY 24	W. SMITH
18 JUN 24	W. SMITH

REVISIONS	DATE	BY
FOR SUBMITTAL #1	09 FEB 24	W. SMITH
FOR SUBMITTAL #2	09 FEB 24	W. SMITH
FOR SUBMITTAL #3	09 FEB 24	W. SMITH
FOR SUBMITTAL #4	09 FEB 24	W. SMITH
FOR SUBMITTAL #5	09 FEB 24	W. SMITH

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

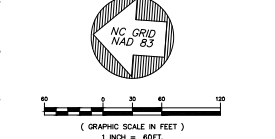
JOB NUMBER: 121010.09
DATE: 26 JAN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET
G0002



DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	DEMO	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
---	---	ZONING LINE
X	X	FENCE LINE
SD	SD	STORM DRAIN LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
FO	FO	FIBER OPTIC LINE
---	---	TREE LINE
---	---	TOP OF BANK
---	---	LIMITS OF DISTURBANCE
---	---	CENTERLINE PERENNIAL STREAM
SB	SB	STREAM BUFFER
---	---	FLOODWAY LINE
100-YR	100-YR	100-YEAR FLOOD LINE
CM	CM	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	WETLANDS
---	---	NEUSE RIPARIAN BUFFER
---	---	WATERCOURSE NATURAL RESOURCE BUFFER
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	CLEAR & GRUB
---	---	SGN
---	---	CATCH BASIN
---	---	DROP INLET
---	---	WATER METER
---	---	WATER VALVE
---	---	POWER POLE
---	---	GUY WIRE
---	---	ELECTRIC BOX



NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCEG AND NCSOT STANDARDS, SPECIFICATIONS, AND DETAILS.



EXISTING CONDITIONS & DEMOLITION ENLARGEMENT #1 REVIEW DRAWING NOT FOR CONSTRUCTION

SEE SHEET C0103
SEE SHEET C0101

SEE SHEET C0103
SEE SHEET C0102

SEE SHEET C0102
SEE SHEET C0101

Digitally signed by W. Smith on Date: 2023.10.26 17:02:18 -0400

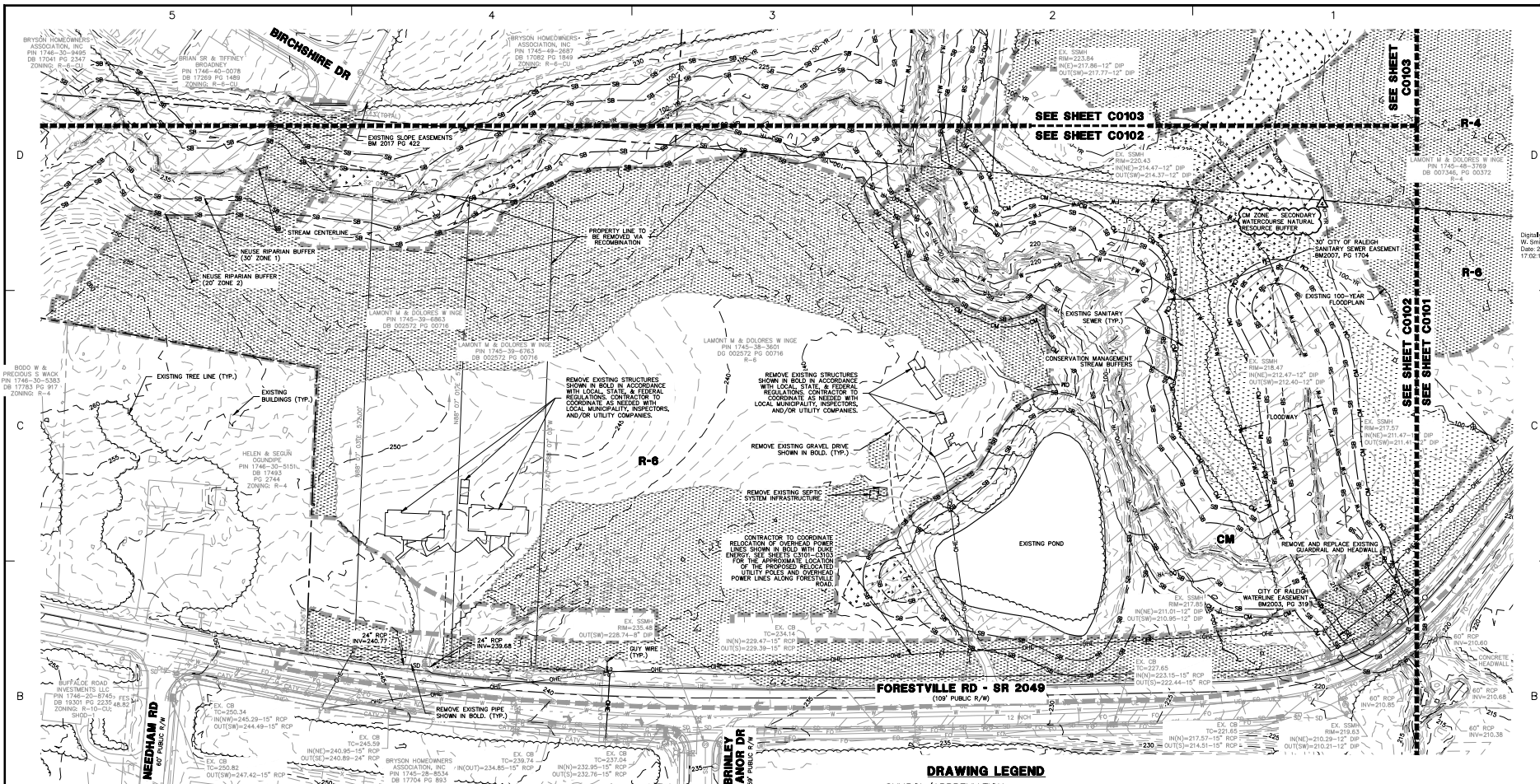
DATE	BY	DESCRIPTION
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KB HOMES CAROLINAS DIVISION
 700 S. MAIN BLVD
 DURHAM, NC 27701
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P. (919) 422-8606
 T. (919) 422-5000
 EMAIL: pjohnson@kbhomes.com

DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PER SUBMITTAL #1
09 MAY 24	W. SMITH	PER SUBMITTAL #1
18 JUN 24	W. SMITH	PER SUBMITTAL #2

JOB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

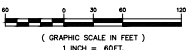
SHEET C0101



DRAWING LEGEND			DRAWING LEGEND		
SYMBOL/ABBREVIATION			SYMBOL/ABBREVIATION		
EXISTING	DEMO	DESCRIPTION	EXISTING	DEMO	DESCRIPTION
—SB—		STREAM BUFFER	—SB—		STREAM BUFFER
—FW—		FLOODWAY LINE	—FW—		FLOODWAY LINE
—100-VR—		100-YEAR FLOOD LINE	—100-VR—		100-YEAR FLOOD LINE
—CM—		CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER	—CM—		CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
—WEL—		WETLANDS	—WEL—		WETLANDS
—NRSB—		NEUSE RIPARIAN BUFFER OF SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER	—NRSB—		NEUSE RIPARIAN BUFFER OF SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
—570—		MAJOR CONTOUR	—570—		MAJOR CONTOUR
—572—		MINOR CONTOUR	—572—		MINOR CONTOUR
—CLEAR & GRUB—		CLEAR & GRUB	—CLEAR & GRUB—		CLEAR & GRUB
—SIGN—		SIGN	—SIGN—		SIGN
—CATCH BASIN—		CATCH BASIN	—CATCH BASIN—		CATCH BASIN
—DROP INLET—		DROP INLET	—DROP INLET—		DROP INLET
—WATER METER—		WATER METER	—WATER METER—		WATER METER
—WATER VALVE—		WATER VALVE	—WATER VALVE—		WATER VALVE
—POWER POLE—		POWER POLE	—POWER POLE—		POWER POLE
—GUY WIRE—		GUY WIRE	—GUY WIRE—		GUY WIRE
—ELECTRIC BOX—		ELECTRIC BOX	—ELECTRIC BOX—		ELECTRIC BOX

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCECO AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



EXISTING CONDITIONS & DEMOLITION ENLARGEMENT #2 REVIEW DRAWING NOT FOR CONSTRUCTION

Digitally signed by W. Smith on Date: 2023.17.02:16:00

DATE	REVISIONS	BY	FOR
09 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS		
09 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS		
18 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS		

OWNER INFORMATION
 KE HOME'S CAROLINAS DIVISION
 7500 S. MAIN RD
 SUITE #100
 DURHAM, NC 27703
 BUSINESS REPRESENTATIVE:
 PAUL SCOTT JOHNSON
 PH: (919) 422-8606
 FAX: (919) 422-8600
 EMAIL: paul.scott@ke.com

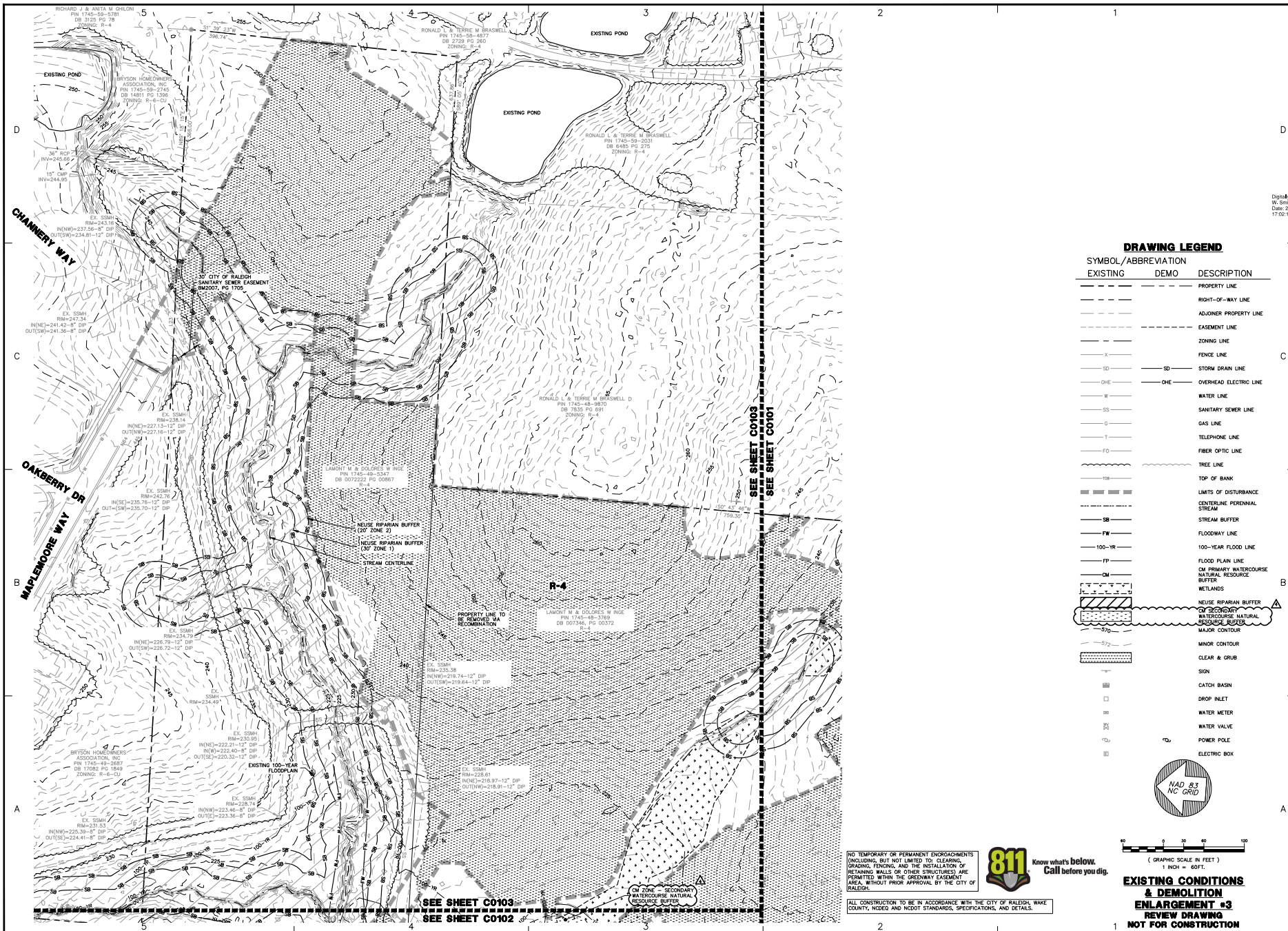
DATE	REVISIONS	BY	FOR
09 FEB 24	FOR SUBMITTAL #1		
09 FEB 24	FOR SUBMITTAL #1		
18 JUN 24	FOR SUBMITTAL #1		

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JUN 24
 SCALE: AS NOTED
 DRAWN BY: A.G.B.
 REVIEWED BY: D.W.S.

SHEET C0102



DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	ZONING LINE
---	---	---	FENCE LINE
SD	SD	SD	STORM DRAIN LINE
OHE	OHE	OHE	OVERHEAD ELECTRIC LINE
W	W	W	WATER LINE
SS	SS	SS	SANITARY SEWER LINE
G	G	G	GAS LINE
T	T	T	TELEPHONE LINE
FO	FO	FO	FIBER OPTIC LINE
---	---	---	TREE LINE
---	---	---	TOP OF BANK
---	---	---	LIMITS OF DISTURBANCE
---	---	---	CENTERLINE PERENNIAL STREAM
SB	SB	SB	FLOOD BUFFER
FW	FW	FW	FLOODWAY LINE
100-YR	100-YR	100-YR	100-YEAR FLOOD LINE
FP	FP	FP	FLOOD PLAN LINE
CM	CM	CM	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	WETLANDS
---	---	---	NEUSE RIPARIAN BUFFER
---	---	---	WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	CLEAR & GRUB
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	POWER POLE
---	---	---	ELECTRIC BOX

Balentine Associates, PA
 12141 HENRIC DRIVE
 CHARLOTTE, NC 28215
 (704) 531-1100
 www.balentine.com

Digitally
 W. Smith
 Date: 2023
 17:02:19

DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PER CITY OF RALEIGH COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH COMMENTS
09 MAY 24	W. SMITH	PER CITY OF RALEIGH COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH COMMENTS

OWNER INFORMATION
 KB HOME CAROLINAS DIVISION
 2600 S. MAIN BLVD
 DURHAM, NC 27703
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 PH: (919) 425-8606
 EMAIL: SCOTTJOHNSON@KB.COM

DATE	BY	DESCRIPTION
09 FEB 24	W. SMITH	PER SUBMITTAL #1
18 JUN 24	W. SMITH	PER SUBMITTAL #2
09 MAY 24	W. SMITH	PER SUBMITTAL #3
18 JUN 24	W. SMITH	PER SUBMITTAL #4

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JUN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET
C0103

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



(GRAPHIC SCALE IN FEET)
 1 INCH = 60 FT.

EXISTING CONDITIONS & DEMOLITION ENLARGEMENT #3 REVIEW DRAWING NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCSDG AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

SEE SHEET C0103
 SEE SHEET C0102

CM ZONE - SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER

SEE SHEET C0103
 SEE SHEET C0101

SITE DATA TABLE

PROJECT NAME:	MAGNOLIA FOREST
PROPERTY ADDRESSES:	5317 FORESTVILLE ROAD, RALEIGH, NC 27604 5323 FORESTVILLE ROAD, RALEIGH, NC 27604 5401 FORESTVILLE ROAD, RALEIGH, NC 27604 5425 FORESTVILLE ROAD, RALEIGH, NC 27604
PROPERTY PIN NUMBERS:	1745-38-8601; 1745-49-5342; 1745-48-3769; 1745-39-6863; 1745-39-6763.
RED(S):	0002826; 0044781; 0037092; 0252745; 0252746
CURRENT LAND OWNER:	LAMONT M. & DOLORES W. INGE 2504 OLD MELURINE RD, RALEIGH, NC 27606
CONTRACT PURCHASER/ APPLICANT:	K.B. HOME CAROLINAS 4506 SOUTH MAIN BLVD, SUITE #100, DURHAM, NC 27703
DEED REFERENCE:	DB 2572 PG. 716
TOWNSHIP:	ST. MATTHEW'S
PROPERTY ZONING:	R-4, R-6-CU, CM
GROSS AREA OF TRACT:	68.24 AC.
R/W DEDICATION:	7.07 AC.
NET AREA OF TRACT:	66.17 AC.
TOTAL PROPOSED LOTS:	154 SINGLE FAMILY
FEMA FLOOD INFORMATION:	FIRM # 372014500K FLOOD ZONE "A" FIRM # 372014600K
NATCHED:	NEUSE RIVER

NOTES

- ALL RETAINING WALLS DESIGN, PERMITTED & RAILING REQUIREMENTS BY OTHERS
- NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- BUILDING NOTES**
- BUILDINGS CONSTRUCTED UPON THE PROPERTY SHALL NOT EXCEED 40' IN HEIGHT AND THREE STORIES.
- THE ONLY BUILDING TYPES PERMITTED SOUTH OF THE CONSERVATION MANAGEMENT ZONE PORTION OF THE PROPERTY SHALL BE DETACHED HOUSES, CIVIL BUILDINGS AND OPEN LOT.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	COR GREENWAY EASEMENT
---	---	---	PHASE LINE
---	---	---	PERMETER BUFFER
---	---	---	6.5' HIGH CLOSED WOODEN FENCE
---	---	---	TREE LINE
---	---	---	CENTERLINE PERENNIAL STREAM
---	---	---	STREAM BUFFER
---	---	---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	WETLANDS
---	---	---	NEUSE RIPARIAN BUFFER
---	---	---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	HOA LOTS
---	---	---	100-YR FLOOD LINE
---	---	---	FLOODING LINE
---	---	---	TOP OF BANK
---	---	---	RETAINING WALL
---	---	---	TRANSITIONAL PROTECTIVE YARD BUFFER SCREEN WALL
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SON
---	---	---	MAIL BOX
---	---	---	BOLLARD

IMPERVIOUS AREAS

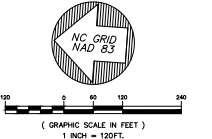
EXISTING ONSITE IMPERVIOUS:	0.57 AC	24,644 SF
PROPOSED ONSITE POST-DEV IMPERVIOUS:	6.16 AC	265,158 SF
HOUSE LOT ALLOWANCE (60% OF TOTAL HOUSE LOT AREA)	12.85 AC	546,443 SF
ADDITIONAL IMPERVIOUS ALLOWANCE (2% OF TOTAL PROPOSED IMPERVIOUS)	0.43 AC	18,891 SF
SIDEWALK/PARKING/GREENWAY IMPERVIOUS PERCENT:	2.12 AC	963,429 SF
TOTAL IMPERVIOUS AREA:	33.4X	

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONTRIBUTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDCS AND NCDCS STANDARDS, SPECIFICATIONS, AND DETAILS.

STREET TABLE

ROAD NAME	TYPE	R/W	LENGTH (LF)
ENDICOTT WAY	NEIGHBORHOOD YIELD	55'	693
BRINLEY MANOR DR	NEIGHBORHOOD LOCAL STREET	50'	247
COUNTYSTONE LANE	NEIGHBORHOOD YIELD	55'	711
COUNTRYVALE LANE	NEIGHBORHOOD YIELD	55'	275
MCHENRY DR	NEIGHBORHOOD YIELD	55'	1,105
TURLOCK TRAIL	NEIGHBORHOOD YIELD	55'	1,203
NEWMAN DR	NEIGHBORHOOD YIELD	55'	1,241
RIPON DR	NEIGHBORHOOD YIELD	55'	569
THORNHILL DR	NEIGHBORHOOD YIELD	55'	1,388
FORESTVILLE ROAD	4 LANE UNDIVIDED	104'	3,200
MAPLEMOOR WAY	NEIGHBORHOOD YIELD	64'	867
TOTAL			11,499



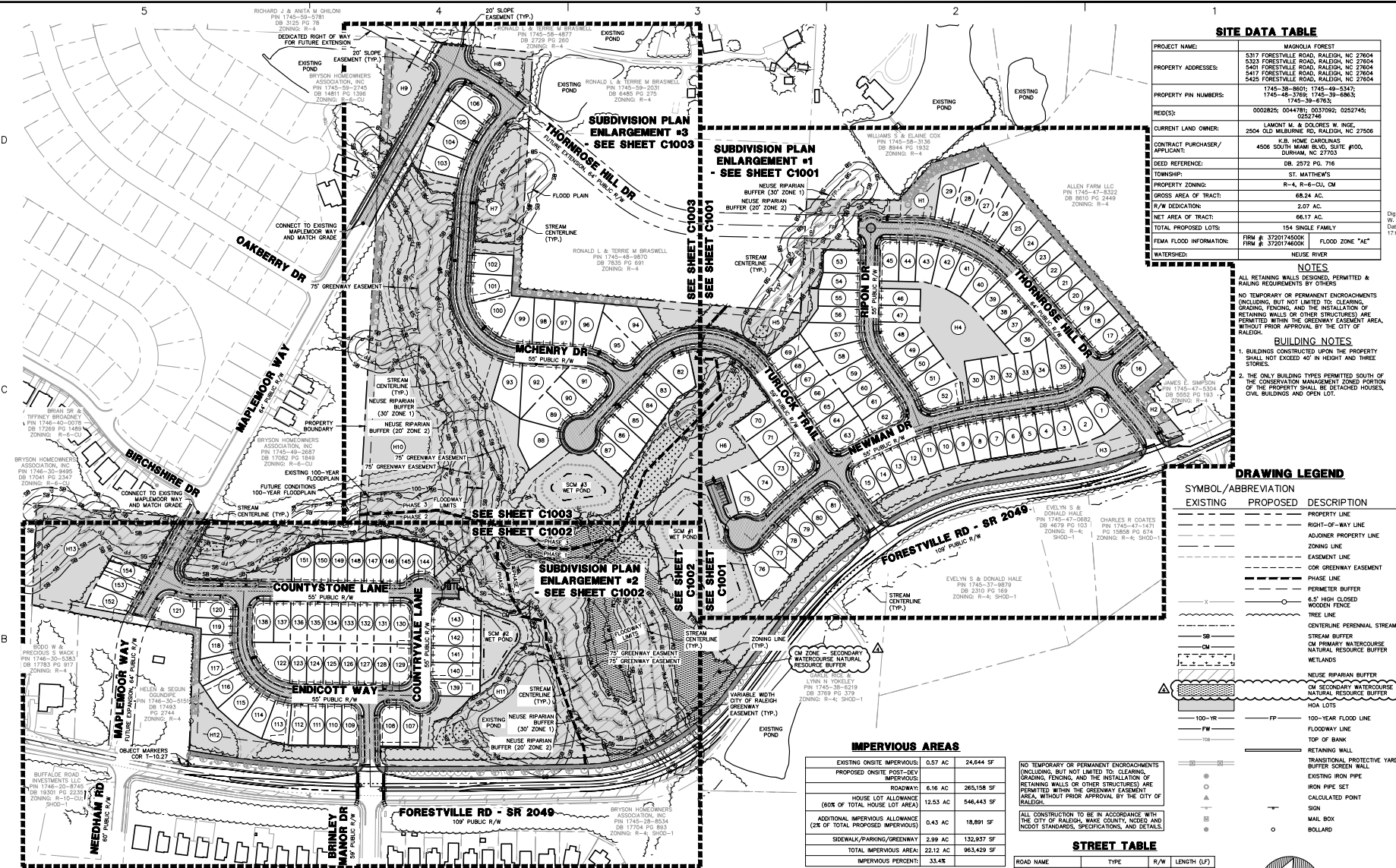
SITE PLAN OVERVIEW

REVIEW DRAWING NOT FOR CONSTRUCTION

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

JOB NUMBER: 121010.09
DATE: 26 JAN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET C1000



CONSERVATION MANAGEMENT (CM) OPEN LOT STANDARDS

MINIMUM LOT WIDTH ALLOWED:	N/A
MINIMUM AREA:	N/A
OPEN LOT SETBACKS:	PRIMARY STREET: 50' SIDE STREET: 40' SIDE LOT LINE: 50' REAR LOT LINE: 50'
REQUIRED TCA:	30%
PROVIDED TCA:	100%
MAX IMPERVIOUS AREA:	5%

CONSERVATION DEVELOPMENT (R-4)

MINIMUM AREA:	4,000 SF
MAXIMUM ALLOWED BLDG HEIGHT:	40 FEET / 3 STORES
PROPOSED BLDG HEIGHT:	TBD
MINIMUM LOT WIDTH ALLOWED:	50'
MINIMUM LOT DEPTH ALLOWED:	60'
BUILDING SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 5' REAR LOT LINE: 20'

CONSERVATION DEVELOPMENT (R-6)

MINIMUM AREA:	4,000 SF
MAXIMUM ALLOWED BLDG HEIGHT:	40' / 3 STORES
PROPOSED BLDG HEIGHT:	TBD
MINIMUM LOT WIDTH ALLOWED:	45'
MINIMUM LOT DEPTH ALLOWED:	60'
BUILDING SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 5' REAR LOT LINE: 20'

CONSERVATION DEVELOPMENT (R-4) OPEN LOT STANDARDS

MINIMUM AREA:	6,000 SF
MINIMUM WIDTH:	50'
MAX. BUILDING COVERAGE:	20%
MAX. BUILDING HEIGHT:	40' / 3 STORES
OPEN LOT SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 10' REAR LOT LINE: 20'
PARKING SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE / REAR LOT LINE: 10'

CONSERVATION DEVELOPMENT (R-6) OPEN LOT STANDARDS

MINIMUM AREA:	4,000 SF
MINIMUM WIDTH:	45'
MAX. BUILDING COVERAGE:	22%
MAX. BUILDING HEIGHT:	40' / 3 STORES
OPEN LOT SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 10' REAR LOT LINE: 20'
PARKING SETBACKS:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE / REAR LOT LINE: 10'

DATE	BY	REVISION
05 JUN 24	[Signature]	PER CITY OF RALEIGH REVIEW COMMENTS
09 JUN 24	[Signature]	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	[Signature]	PER CITY OF RALEIGH REVIEW COMMENTS

DATE	BY	REVISION
09 MAY 24	[Signature]	OWNER INFORMATION
18 JUN 24	[Signature]	FOR RALEIGH REVIEW COMMENTS
18 JUN 24	[Signature]	FOR RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KIM HONES CAROLINAS DIVISION
 1000 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27703
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P. (919) 422-8606
 F. (919) 422-8600
 EMAIL: SCOTT@KIMHONES.COM

DATE	BY	REVISION
09 FEB 24	[Signature]	FOR CITY OF RALEIGH REVIEW COMMENTS
09 FEB 24	[Signature]	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	[Signature]	FOR CITY OF RALEIGH REVIEW COMMENTS

**MAGNOLIA FOREST
 5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
 MAJOR SUBDIVISION PRELIMINARY PLAN**

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

**SHEET
 C1001**

PHASE 1 PARCEL AREA TABLE					
PARCEL #	AREA (SF)	AREA (AC)	PARCEL #	AREA (SF)	AREA (AC)
1	5,734	0.13	42	5,883	0.14
2	6,313	0.14	43	5,815	0.13
3	5,805	0.13	44	5,098	0.12
4	4,725	0.11	45	5,306	0.12
5	4,725	0.11	46	4,950	0.11
6	4,725	0.11	47	4,950	0.11
7	4,725	0.11	48	6,853	0.16
8	4,841	0.11	49	4,950	0.11
9	4,852	0.11	50	4,950	0.11
10	4,852	0.11	51	6,179	0.14
11	4,852	0.11	52	6,202	0.14
12	4,852	0.11	53	6,021	0.14
13	4,852	0.11	54	4,682	0.11
14	4,852	0.11	55	4,950	0.11
15	5,232	0.12	56	5,436	0.12
16	7,301	0.17	57	9,362	0.21
17	6,752	0.16	58	7,216	0.17
18	5,156	0.12	59	5,718	0.13
19	5,150	0.12	60	4,950	0.11
20	5,143	0.12	61	4,950	0.11
21	5,136	0.12	62	5,891	0.14
22	5,129	0.12	63	5,757	0.13
23	5,405	0.12	64	4,950	0.11
24	5,993	0.14	65	4,950	0.11
25	6,511	0.15	66	4,950	0.11
26	7,471	0.17	67	4,950	0.11
27	8,975	0.21	68	4,950	0.11
28	9,536	0.22	69	4,954	0.11
29	7,098	0.16	70	6,490	0.15
30	4,953	0.11	71	6,816	0.16
31	4,950	0.11	72	5,889	0.14
32	4,950	0.11	73	6,297	0.14
33	4,950	0.11	74	6,919	0.16
34	5,579	0.13	75	7,854	0.18
35	7,387	0.17	76	6,685	0.22
36	5,947	0.14	77	5,333	0.14
37	4,950	0.11	78	5,054	0.12
38	4,950	0.11	79	5,126	0.12
39	5,191	0.12	80	5,235	0.12
40	5,883	0.14	81	6,063	0.14
41	5,883	0.14	TOTAL	465,250	10.68

- PLAN KEY NOTES**
- PROPOSED 6.5' HIGH CLOSED WOODEN FENCE TO FOLLOW NATURAL PROTECTIVE YARD PERIMETER BUFFER TO BE INSTALLED PRIOR TO ISSUANCE OF FIRST BUILDING PERMIT OF PROPERTY
 - RETAINING WALL DESIGNED, PERMITTED & PAIING REQUIREMENTS BY OTHERS
 - MAIL KIOSK (TYP.)
 - 10' X 70' SIGHT TRIANGLE (TYP.)
 - CONCRETE SIDEWALK, 6' WIDE TYP. UNLESS OTHERWISE NOTED
 - 30" CONCRETE CURB & GUTTER (TYP.)
 - ENDING OF CURB & GUTTER (TYP.)
 - CITY OF RALEIGH STANDARD HOA CURB RAMP (TYP.)
 - HOA-VAN ACCESSIBLE PARKING SIGN (TYP.)
 - R1-1 "STOP" SIGN (TYP.)
 - TEMPORARY BARRICADE FOR DEAD END ROADS (TYP.)
 - HANDICAP PARKING SPACE STRIPING (TYP.)

- DRAWING LEGEND**
- | SYMBOL / ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION |
|-----------------------|----------|----------|--|
| --- | --- | --- | PROPERTY LINE |
| --- | --- | --- | RIGHT-OF-WAY LINE |
| --- | --- | --- | ADJOINER PROPERTY LINE |
| --- | --- | --- | ZONING LINE |
| --- | --- | --- | EASEMENT LINE |
| --- | --- | --- | CON GREENWAY EASEMENT |
| --- | --- | --- | PHASE LINE |
| --- | --- | --- | PERIMETER BUFFER |
| --- | --- | --- | 6.5' HIGH CLOSED WOODEN FENCE |
| --- | --- | --- | TREE LINE |
| --- | --- | --- | CENTERLINE PERENNIAL STREAM |
| --- | --- | --- | STREAM BUFFER |
| --- | --- | --- | CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER |
| --- | --- | --- | CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER |
| --- | --- | --- | NATURAL RESOURCE BUFFER |
| --- | --- | --- | HOA LOTS |
| --- | --- | --- | 100-YR 100-YEAR FLOOD LINE |
| --- | --- | --- | FLOODWAY LINE |
| --- | --- | --- | TOP OF BANK |
| --- | --- | --- | RETAINING WALL |
| --- | --- | --- | TRANSITIONAL PROTECTIVE YARD BUFFER SCREEN WALL |
| --- | --- | --- | EXISTING IRON PIPE |
| --- | --- | --- | IRON PIPE SET |
| --- | --- | --- | SIGN |
| --- | --- | --- | MAIL BOX |
| --- | --- | --- | BOLLARD |

- PAVING LEGEND**
- HEAVY-DUTY ASPHALT
 - BRICK PAVERS
- PAVEMENT MARKING LEGEND**
- A 1/2" WHITE SOLID LANE LINE (4" X 120 MIL)
 - B 1/4" WHITE CROSSWALK LINE (8" X 120 MIL)
 - C 1/8" WHITE STOPBAR THERMOPLASTIC (24" X 120 MIL)
- SEE DETAIL REFERENCE

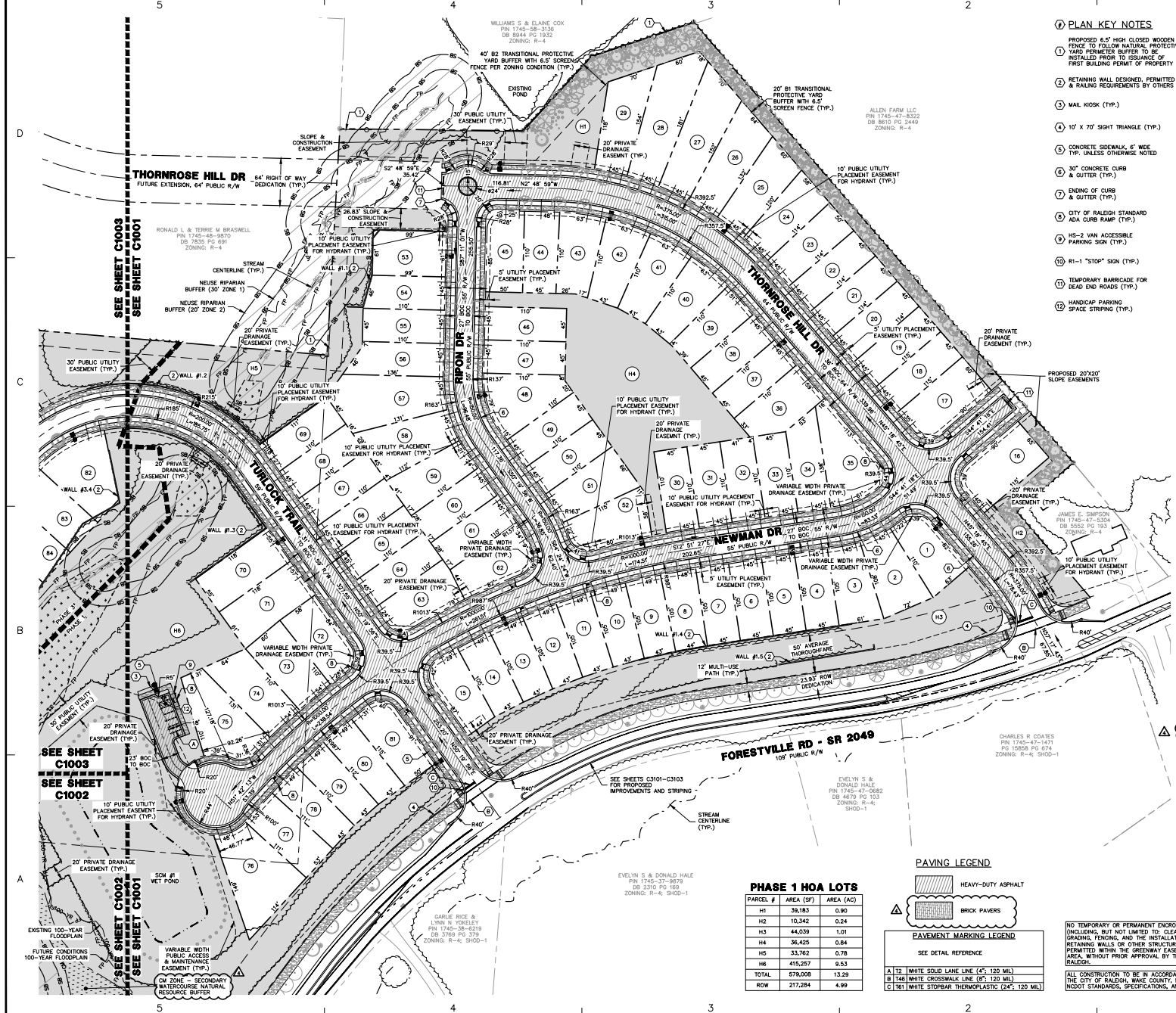
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCEC AND WCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

**SITE PLAN
 ENLARGEMENT #1
 REVIEW DRAWING
 NOT FOR CONSTRUCTION**

PHASE 1 HOA LOTS

PARCEL #	AREA (SF)	AREA (AC)
H1	39,183	0.90
H2	10,342	0.24
H3	44,039	1.01
H4	36,425	0.84
H5	33,762	0.78
H6	416,257	9.53
TOTAL	579,208	13.29
ROW	217,294	4.99



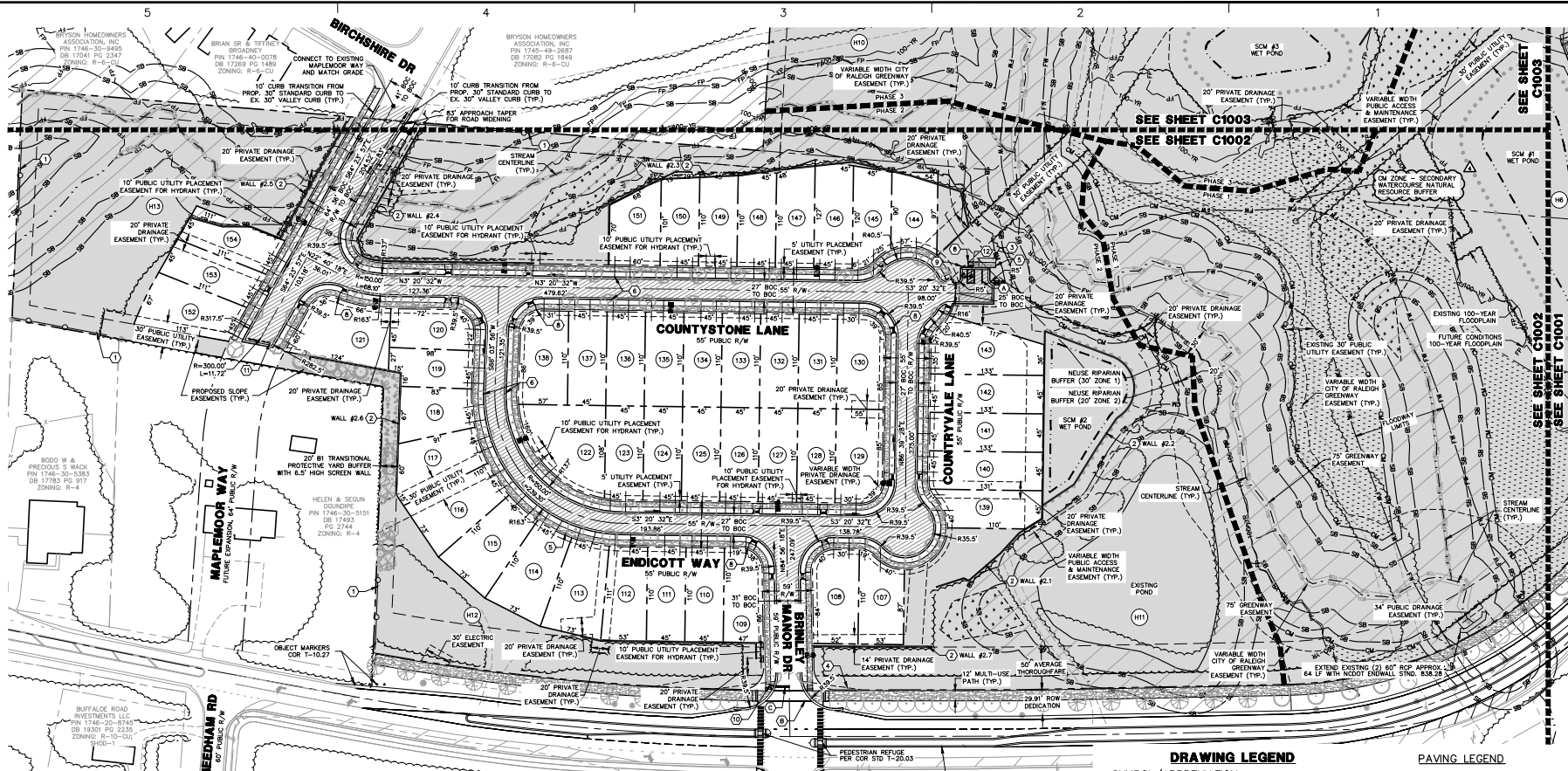
SEE SHEET C1003
 SEE SHEET C1001

SEE SHEET C1003
 SEE SHEET C1002

SEE SHEET C1002
 SEE SHEET C1001

VARIABLE WIDTH PUBLIC ACCESS & MAINTENANCE EASEMENT (TYP.)
 ON ZONE - SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER

EXISTING 100-YEAR FLOODPLAIN
 FUTURE CONDITIONS 100-YEAR FLOODPLAIN



PHASE 2 PARCEL AREA TABLE

PARCEL #	AREA (SF)	AREA (AC)	PARCEL #	AREA (SF)	AREA (AC)
107	5,167	0.12	131	4,950	0.11
108	5,758	0.13	132	4,950	0.11
109	4,863	0.11	133	4,950	0.11
110	4,950	0.11	134	4,950	0.11
111	4,950	0.11	135	4,950	0.11
112	5,417	0.12	136	4,950	0.11
113	6,402	0.15	137	4,950	0.11
114	6,372	0.15	138	6,098	0.14
115	6,372	0.15	139	5,167	0.12
116	6,372	0.15	140	5,958	0.14
117	5,971	0.14	141	5,963	0.14
118	4,786	0.11	142	5,963	0.14
119	4,153	0.10	143	7,000	0.16
120	4,426	0.10	144	4,773	0.11
121	7,446	0.17	145	4,848	0.11
122	8,084	0.19	146	5,543	0.13
123	4,939	0.11	147	5,321	0.12
124	4,950	0.11	148	4,950	0.11
125	4,950	0.11	149	4,950	0.11
126	4,950	0.11	150	4,879	0.11
127	4,950	0.11	151	5,141	0.12
128	4,950	0.11	152	6,175	0.14
129	5,916	0.14	153	4,950	0.11
130	5,916	0.14	154	4,950	0.11
TOTAL			260,410		5.90

PHASE 2 HOA LOTS

PARCEL #	AREA (SF)	AREA (AC)
H11	235,577	5.41
H12	41,750	0.96
H13	74,175	1.70
TOTAL	351,502	8.07
ROW	127,166	2.92

DRAWING LEGEND

SYMBOL	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	ZONING LINE
---	---	---	EASEMENT LINE
---	---	---	50% GREENWAY EASEMENT
---	---	---	PHASE LINE
---	---	---	PERMETER BUFFER
---	---	---	6.5' HIGH CLOSED WOODEN FENCE
---	---	---	TRAIL LINE
---	---	---	CENTERLINE PERENNIAL STREAM
---	---	---	STREAM BUFFER
---	---	---	CM PRIMARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	WETLANDS
---	---	---	NEUSE RIPARIAN BUFFER
---	---	---	CM SECONDARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	HOA LOTS
---	---	---	100-YEAR FLOOD LINE
---	---	---	FLOODWAY LINE
---	---	---	TOP OF BANK
---	---	---	RETAINING WALL
---	---	---	TRANSITIONAL PROTECTIVE YARD BUFFER SCREEN WALL
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	SON
---	---	---	MAIL BOX
---	---	---	BOLLARD

PAVING LEGEND

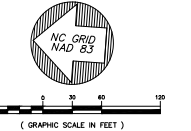
SYMBOL	DESCRIPTION
---	HEAVY-DUTY ASPHALT

PAVEMENT MARKING LEGEND

SYMBOL	DESCRIPTION
---	SEE DETAIL REFERENCE
---	A 12" WHITE SOLID LINE (2" x 120 MIL)
---	B 1/4" WHITE CROSSHATCH LINE (2" x 120 MIL)
---	C 1/8" WHITE STOPBAR THERMOPLASTIC (24" x 120 MIL)

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, CODED AND NCOT STANDARDS, SPECIFICATIONS, AND DETAILS.



SITE PLAN
ENLARGEMENT #2
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, PA
1214 HUNTER DRIVE
RALEIGH, NC 27601
919.879.4447
www.balentinepa.com

Digitally signed by W. Smith
Date: 2024.05.24 17:02:20

DATE	BY	REVISION
09 MAY 24	W.S.	PREPARED FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W.S.	FOR CITY OF RALEIGH REVIEW COMMENTS
09 MAY 24	W.S.	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W.S.	FOR CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
KB HOMES CAROLINAS DIVISION
2600 S. MAIN BLVD
SUITE #100
DURHAM, NC 27703
BUSINESS REPRESENTATIVE:
PAUL SCOTT JOHNSON
PH: (919) 422-2606
EMAIL: paul.scott@kb.com

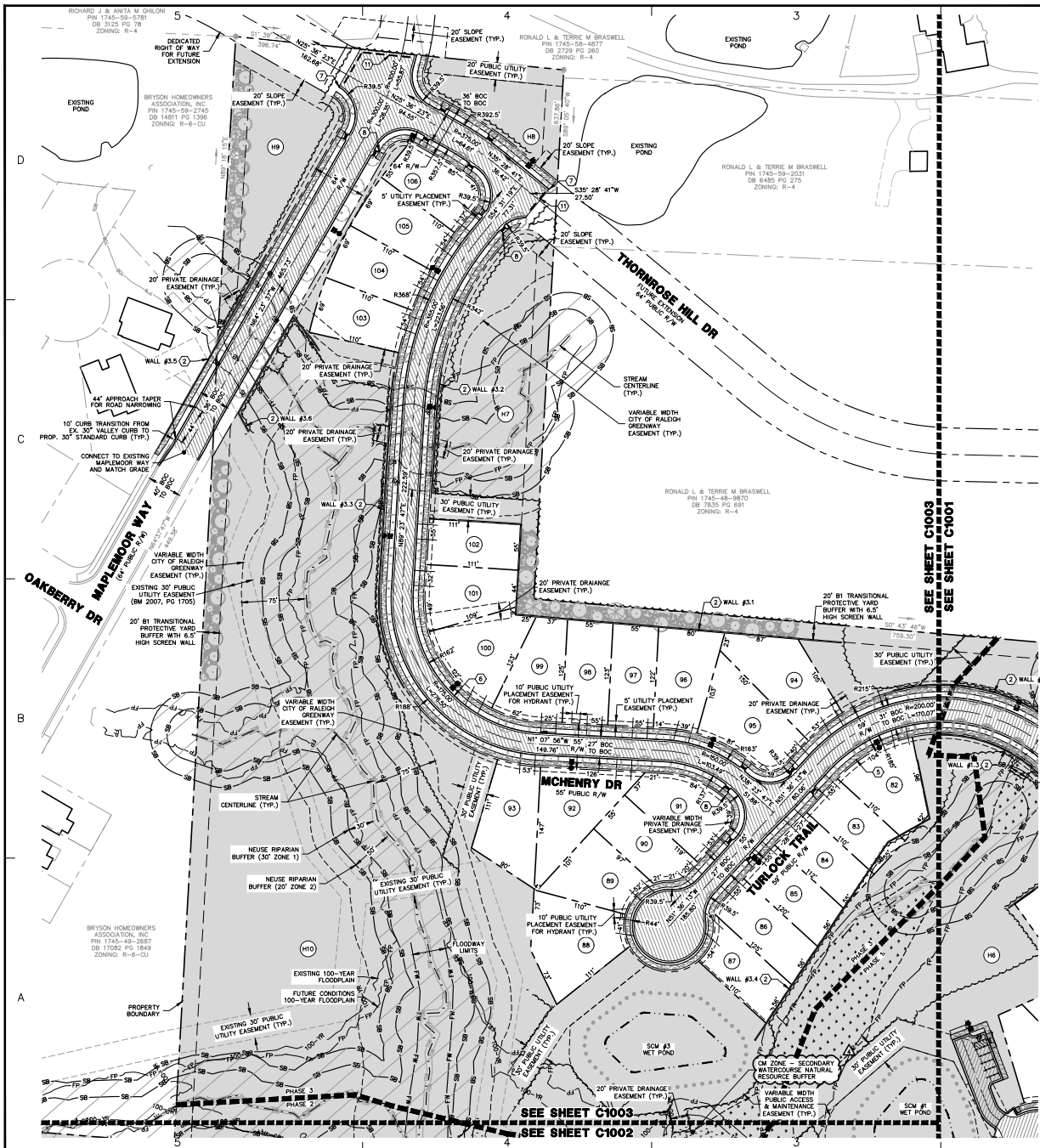
NO.	DATE	BY	REVISION
1	09 MAY 24	W.S.	PREPARED FOR CITY OF RALEIGH REVIEW COMMENTS
2	18 JUN 24	W.S.	FOR CITY OF RALEIGH REVIEW COMMENTS
3	09 MAY 24	W.S.	FOR CITY OF RALEIGH REVIEW COMMENTS
4	18 JUN 24	W.S.	FOR CITY OF RALEIGH REVIEW COMMENTS

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET
C1002



PHASE 3 PARCEL AREA TABLE

PARCEL #	AREA (SF)	AREA (AC)
82	7,545.3	0.17
83	6,050.0	0.14
84	6,078.1	0.14
85	6,389.3	0.15
86	6,833.8	0.16
87	6,170.6	0.14
88	10,186.2	0.23
89	7,176.2	0.16
90	6,324.8	0.14
91	7,913.3	0.18
92	9,812.2	0.22
93	8,550.8	0.20
94	9,475.7	0.22
95	9,405.9	0.22
96	8,122.0	0.19
97	6,733.3	0.15
98	6,831.6	0.16
99	7,795.5	0.18
100	8,452.3	0.19
101	6,938.8	0.16
102	6,096.0	0.14
103	6,749.2	0.15
104	6,749.2	0.15
105	6,749.2	0.15
106	6,583.6	0.15
TOTAL	185,403	4.28

PHASE 3 HOA LOTS

PARCEL #	AREA (SF)	AREA (AC)
H7	63,549	1.46
H8	13,531	0.31
H9	25,791	0.59
H10	372,421	8.55
TOTAL	475,292	10.91
ROW	140,708	3.23

PLAN KEY NOTES

- PROPOSED 6.5' HIGH CLOSED WOODEN FENCE TO FOLLOW NATURAL PROTECTIVE YARD PERIMETER BUFFER TO BE INSTALLED PRIOR TO ISSUANCE OF FIRST BUILDING PERMIT OF PROPERTY
- RETAINING WALL DESIGNED, PERMITTED & RAISED REVISIONS BY OTHERS
- MAIL BOX (TYP.)
- 10' x 70' SIGN TRIANGLE (TYP.)
- CONCRETE SIDEWALK, 6" WIDE TYP. UNLESS OTHERWISE NOTED
- 30" CONCRETE CURB & GUTTER (TYP.)
- ENDING OF CURB & GUTTER (TYP.)
- CITY OF RALEIGH STANDARD ADA CURB RAMP (TYP.)
- HS-2 VAN ACCESSIBLE PARKING SIGN (TYP.)
- R1-1 "STOP" SIGN (TYP.)
- TEMPORARY BARRICADE FOR DEAD END ROADS (TYP.)
- HANDICAP PARKING SPACE STRIPING (TYP.)

PAVING LEGEND

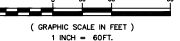
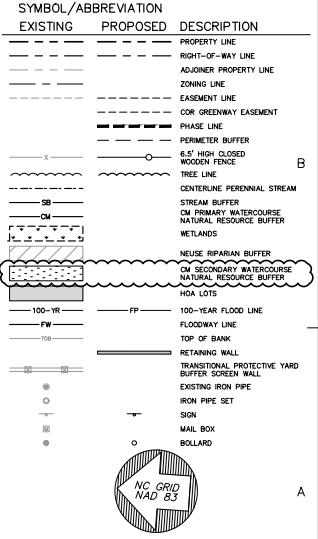
HEAVY-DUTY ASPHALT

PAVEMENT MARKING LEGEND

SEE DETAIL REFERENCE

A12	WHITE SOLID LINE (4", 120 MIL)
A146	WHITE CROSSWALK LINE (6", 120 MIL)
C181	WHITE STOPBAR THERMOPLASTIC (24", 120 MIL)

DRAWING LEGEND



SITE PLAN
REVIEW DRAWING #3
NOT FOR CONSTRUCTION

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDOT AND NCEM STANDARDS, SPECIFICATIONS, AND DETAILS.

Balentine Associates, PA
1214 HUNTERS LANE, SUITE 100
RALEIGH, NC 27605
PHONE: (919) 852-2606
FAX: (919) 852-2606
EMAIL: BAL@BALP.COM

DATE	DESCRIPTION
09 MAY 24	FOR CITY OF RALEIGH COMMENTS
09 MAY 24	FOR CITY OF RALEIGH COMMENTS
18 JUN 24	FOR CITY OF RALEIGH COMMENTS

OWNER INFORMATION
KE HOME'S CAROLINAS DIVISION
SUITE #100
DURHAM, NC 27702
BUSINESS REPRESENTATIVE:
P.O. SCOTT JOHNSON
P.O. BOX 1000
RALEIGH, NC 27602

DATE	DESCRIPTION
09 FEB 24	FOR CITY OF RALEIGH COMMENTS
09 MAY 24	FOR CITY OF RALEIGH COMMENTS
18 JUN 24	FOR CITY OF RALEIGH COMMENTS

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

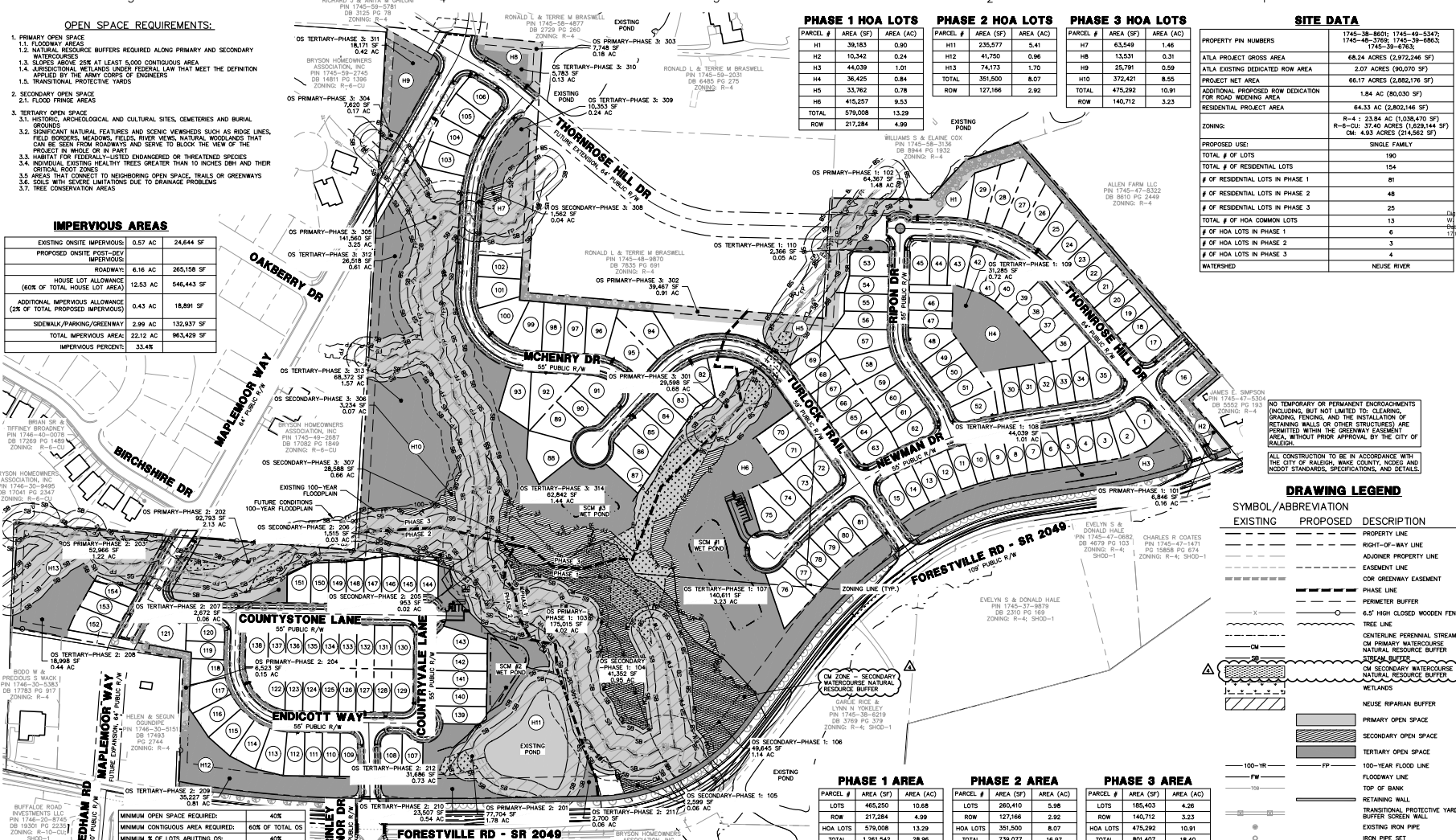
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C1003

OPEN SPACE REQUIREMENTS:

- PRIMARY OPEN SPACE
 - FLOODWAY AREAS
 - NATURAL RESOURCE BUFFERS REQUIRED ALONG PRIMARY AND SECONDARY WATERCOURSES
 - SLOPES ABOVE 5% AT LEAST 5,000 CONTIGUOUS AREA
 - JURISDICTIONAL WETLANDS UNDER FEDERAL LAW THAT MEET THE DEFINITION APPLIED BY THE ARMS CORPS OF ENGINEERS
 - TRANSITIONAL PROTECTIVE YARDS
- SECONDARY OPEN SPACE
 - FLOOD FRINGE AREAS
- TERTIARY OPEN SPACE
 - HISTORIC, ARCHEOLOGICAL AND CULTURAL SITES, CEMETERIES AND BURIAL GROUNDS
 - SIGNIFICANT NATURAL FEATURES AND SCENIC VIEWSHEDS SUCH AS RIDGE LINES, FIELD BORDERS, MEADOWS, FIELDS, RIVER VIEWS, NATURAL WOODLANDS THAT CAN BE SEEN FROM ROADWAYS AND SERVE TO BLOCK THE VIEW OF THE PROJECT IN WHOLE OR IN PART
 - HABITAT FOR FEDERALLY-LISTED ENDANGERED OR THREATENED SPECIES
 - INDIVIDUAL EXISTING HEALTHY TREES GREATER THAN 10 INCHES DBH AND THEIR CRITICAL ROOT ZONES
 - AREAS THAT CONNECT TO NEIGHBORING OPEN SPACE, TRAILS OR GREENWAYS
 - SOILS WITH SEVERE LIMITATIONS DUE TO DRAINAGE PROBLEMS
 - TREE CONSERVATION AREAS

IMPERVIOUS AREAS

EXISTING ONSITE IMPERVIOUS	0.57 AC	24,644 SF
PROPOSED ONITE POST-DEV IMPERVIOUS		
ROADWAYS	6.16 AC	265,156 SF
HOUSE LOT ALLOWANCE (60% OF TOTAL HOUSE LOT AREA)	12.53 AC	546,443 SF
ADDITIONAL IMPERVIOUS ALLOWANCE (2% OF TOTAL PROPOSED IMPERVIOUS)	0.43 AC	18,891 SF
SIDEWALK/PARKING/GREENWAY	2.99 AC	130,937 SF
TOTAL IMPERVIOUS AREA	22.12 AC	963,429 SF
IMPERVIOUS PERCENT	33.4%	



PHASE 1 HOA LOTS

PARCEL #	AREA (SF)	AREA (AC)
H1	39,183	0.90
H2	10,342	0.24
H3	44,039	1.01
H4	36,425	0.84
H5	33,762	0.78
H6	41,257	0.93
TOTAL	579,008	13.29
ROW	217,284	4.99

PHASE 2 HOA LOTS

PARCEL #	AREA (SF)	AREA (AC)
H12	235,577	5.41
H13	41,750	0.96
H13	74,173	1.70
TOTAL	351,500	8.07
ROW	127,166	2.92

PHASE 3 HOA LOTS

PARCEL #	AREA (SF)	AREA (AC)
H7	63,549	1.46
H8	13,531	0.31
H9	25,791	0.59
H10	372,421	8.55
TOTAL	475,292	10.91
ROW	140,712	3.23

SITE DATA

PROPERTY PIN NUMBERS	1745-38-8601; 1745-49-5347; 1745-48-3769; 1745-39-8863; 1745-39-8763
ATLA PROJECT GROSS AREA	68.24 ACRES (2,972,246 SF)
ATLA EXISTING DEDICATED ROW AREA	2.07 ACRES (90,070 SF)
PROJECT NET AREA	66.17 ACRES (2,882,176 SF)
ADDITIONAL PROPOSED ROW DEDICATION FOR ROAD WIDENING AREA	1.84 AC (80,030 SF)
RESIDENTIAL PROJECT AREA	64.33 AC (2,802,146 SF)
ZONING:	R-4 = 23.84 AC (1,038,470 SF) R-4(10) = 37.40 AC (1,638,144 SF) CM = 4.93 ACRES (214,562 SF)
PROPOSED USE:	SINGLE FAMILY
TOTAL # OF LOTS	190
TOTAL # OF RESIDENTIAL LOTS	154
# OF RESIDENTIAL LOTS IN PHASE 1	81
# OF RESIDENTIAL LOTS IN PHASE 2	48
# OF RESIDENTIAL LOTS IN PHASE 3	25
TOTAL # OF HOA COMMON LOTS	13
# OF HOA LOTS IN PHASE 1	6
# OF HOA LOTS IN PHASE 2	3
# OF HOA LOTS IN PHASE 3	4
WATERSHED	NEUSE RIVER

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	OR GREENWAY EASEMENT
---	---	---	PERMETER BUFFER
---	---	---	6.5' HIGH CLOSED WOODEN FENCE
---	---	---	TREE LINE
---	---	---	CENTERLINE PERENNIAL STREAM
---	---	---	OR PRIMARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	OR SECONDARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	WETLANDS
---	---	---	NEUSE RIPARIAN BUFFER
---	---	---	PRIMARY OPEN SPACE
---	---	---	SECONDARY OPEN SPACE
---	---	---	TERTIARY OPEN SPACE
---	---	---	100-YEAR FLOOD LINE
---	---	---	FLOODWAY LINE
---	---	---	TOP OF BANK
---	---	---	RETAINING WALL
---	---	---	TRANSITIONAL PROTECTIVE YARD
---	---	---	BUFFER SOREEM WALL
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SM
---	---	---	MAIL BOX
---	---	---	BOLLARD

PHASE 1

PRIMARY OS	248,228 SF	5.65 AC
SECONDARY OS	93,596 SF	2.15 AC
TERTIARY OS	218,301 SF	5.01 AC
TOTAL REQUIRED OS	560,125 SF	12.81 AC
TOTAL PROVIDED OS	558,125 SF	12.81 AC
NET PHASE AREA	1,261,637 SF	28.96 AC
PROVIDED OS (%)	44%	
PROVIDED CONTIGUOUS AREA	409,222 SF	9.39 AC
PROVIDED CONTIGUOUS AREA (%)		
PERCENTAGE:	73 %	
LOTS ABUTTING	PROPOSED LOTS: 59	
REQUIRED LOTS:	33	
TOTAL LOTS:	81	
SCM SIZE	61,740 SF	1.41 AC
% TOTAL AREA	11%	

PHASE 2

PRIMARY OS	239,268 SF	5.28 AC
SECONDARY OS	2,468 SF	0.06 AC
TERTIARY OS	114,790 SF	2.64 AC
TOTAL REQUIRED OS	295,648 SF	6.79 AC
TOTAL PROVIDED OS	347,244 SF	7.97 AC
NET PHASE AREA	739,121 SF	16.97 AC
PROVIDED OS (%)	47%	
PROVIDED CONTIGUOUS AREA	233,530 SF	5.36 AC
PROVIDED CONTIGUOUS AREA (%)		
PERCENTAGE:	56 %	
LOTS ABUTTING	PROPOSED LOTS: 20	
REQUIRED LOTS:	20	
TOTAL LOTS:	48	
SCM SIZE	20,819 SF	0.48 AC
% TOTAL AREA	6%	

PHASE 3

PRIMARY OS	223,993 SF	5.19 AC
SECONDARY OS	33,394 SF	0.77 AC
TERTIARY OS	192,039 SF	4.41 AC
TOTAL REQUIRED OS	329,563 SF	7.36 AC
TOTAL PROVIDED OS	451,416 SF	10.36 AC
NET PHASE AREA	801,407 SF	18.40 AC
PROVIDED OS (%)	56%	
PROVIDED CONTIGUOUS AREA	360,713 SF	8.28 AC
PROVIDED CONTIGUOUS AREA (%)		
PERCENTAGE:	60 %	
LOTS ABUTTING	PROPOSED LOTS: 15	
REQUIRED LOTS:	10	
TOTAL LOTS:	25	
SCM SIZE	33,065 SF	0.76 AC
% TOTAL AREA	7%	

PHASE 1 OPEN SPACE

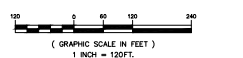
TYPE	AREA #	AREA (SF)	AREA (AC)
PRIMARY	101	6,846	0.16
	102	64,367	1.48
	103	175,015	4.02
	104	41,302	0.95
SECONDARY	105	2,599	0.06
	106	49,845	1.14
	107	140,611	3.23
	108	44,039	1.01
TERTIARY	109	31,285	0.72
	110	2,366	0.05

PHASE 2 OPEN SPACE

TYPE	AREA #	AREA (SF)	AREA (AC)
PRIMARY	201	77,704	1.78
	202	92,793	2.13
	203	52,966	1.22
	204	6,520	0.15
SECONDARY	205	953	0.02
	206	1,515	0.03
	207	2,672	0.06
	208	16,998	0.44
TERTIARY	209	35,227	0.81
	210	23,507	0.54
	211	2,700	0.06
	212	31,686	0.73

PHASE 3 OPEN SPACE

TYPE	AREA #	AREA (SF)	AREA (AC)
PRIMARY	301	29,598	0.68
	302	39,467	0.91
	303	7,748	0.18
	304	7,620	0.17
SECONDARY	305	14,260	3.28
	306	3,234	0.07
	307	28,586	0.66
	308	1,562	0.04
TERTIARY	309	10,353	0.24
	310	5,783	0.13
	311	18,171	0.42
	312	26,518	0.61
TERTIARY	313	68,372	1.57
	314	62,842	1.44



OPEN SPACE PLAN
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, PA

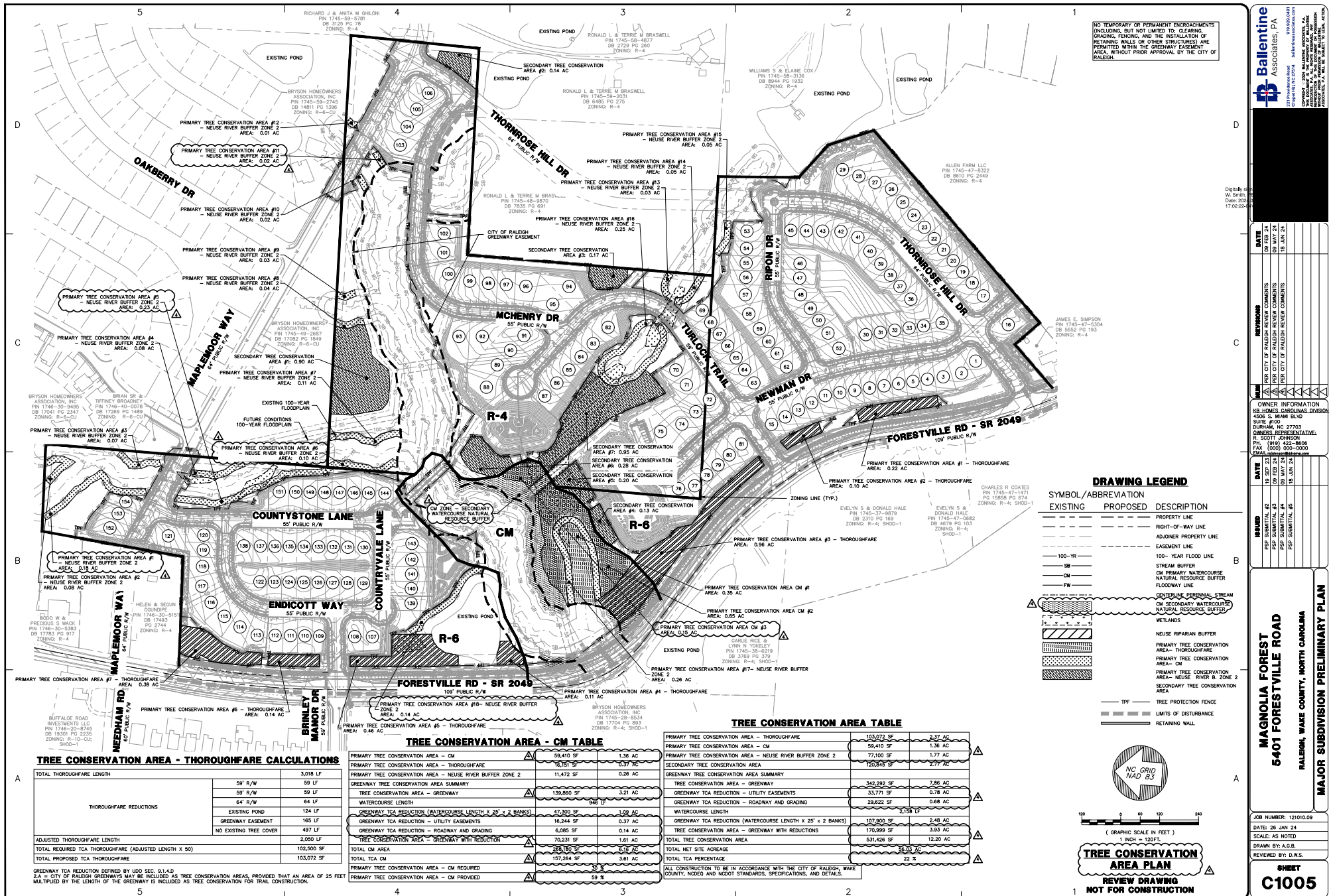
DATE: 05/24/24
 PREPARED BY: J. SMITH
 CHECKED BY: J. SMITH
 DATE: 05/24/24
 PREPARED BY: J. SMITH
 CHECKED BY: J. SMITH
 DATE: 05/24/24
 PREPARED BY: J. SMITH
 CHECKED BY: J. SMITH

OWNER INFORMATION
 KB HOMES CAROLINAS DIVISION
 1000 S. MAIN RD
 DURHAM, NC 27703
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P. SCOTT JOHNSON
 (919) 600-2606
 EMAIL: PSCOTT@KB.COM

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

PROJECT NUMBER: 121010.09
 DATE: 26 JUN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET C1004



NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

Balentine Associates, P.A.
 2340 Westwood Blvd
 Charlotte, NC 28208
 Phone: 704.366.1111
 Fax: 704.366.1112
 www.balentine.com

Digitally signed by W. Smith on 2023.05.24 17:02:23 -0400

DATE	BY	DESCRIPTION
05/24/23	W. SMITH	PREPARED FOR CITY OF RALEIGH REVIEW COMMENTS
05/24/23	W. SMITH	PREPARED FOR CITY OF RALEIGH REVIEW COMMENTS
05/24/23	W. SMITH	PREPARED FOR CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KR. HORN, CAROLINAS DIVISION
 1000 S. MAIN RD
 SUITE #100
 DURHAM, NC 27703
BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P.O. BOX 1000
 DURHAM, NC 27703

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	100-YEAR FLOOD LINE
---	---	---	STREAM BUFFER
---	---	---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	FLOODWAY LINE
---	---	---	CM CENTURIAL PERENNIAL STREAM NATURAL RESOURCE BUFFER
---	---	---	WETLANDS
---	---	---	NEUSE RIPARIAN BUFFER
---	---	---	PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
---	---	---	PRIMARY TREE CONSERVATION AREA - CM
---	---	---	PRIMARY TREE CONSERVATION AREA - NEUSE RIVER BUFFER ZONE 2
---	---	---	SECONDARY TREE CONSERVATION AREA
---	---	---	TPF TREE PROTECTION FENCE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	RETAINING WALL

TREE CONSERVATION AREA - THOROUGHFARE CALCULATIONS

TOTAL THOROUGHFARE LENGTH	3,018 LF
THOROUGHFARE REDUCTIONS	
50' R/W	59 LF
50' R/W	59 LF
64' R/W	64 LF
EXISTING POND	124 LF
GREENWAY EASEMENT	165 LF
NO EXISTING TREE COVER	497 LF
TOTAL REQUIRED TCA THOROUGHFARE (ADJUSTED LENGTH X 50)	102,500 SF
TOTAL PROPOSED TCA THOROUGHFARE	103,072 SF

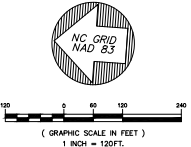
TREE CONSERVATION AREA - CM TABLE

PRIMARY TREE CONSERVATION AREA - CM	59,410 SF	1.36 AC
PRIMARY TREE CONSERVATION AREA - THOROUGHFARE	16,150 SF	0.37 AC
PRIMARY TREE CONSERVATION AREA - NEUSE RIVER BUFFER ZONE 2	11,472 SF	0.26 AC
GREENWAY TREE CONSERVATION AREA SUMMARY	139,660 SF	3.21 AC
TREE CONSERVATION AREA - GREENWAY	446 LF	
WATERCOURSE LENGTH	47,300 SF	1.08 AC
GREENWAY TCA REDUCTION (WATERCOURSE LENGTH X 25' X 2 BANKS)	16,244 SF	0.37 AC
GREENWAY TCA REDUCTION - UTILITY EASEMENTS	6,085 SF	0.14 AC
GREENWAY TCA REDUCTION - ROADWAY AND GRADING	30,231 SF	0.69 AC
TREE CONSERVATION AREA - GREENWAY WITH REDUCTIONS	28,780 SF	0.65 AC
TOTAL CM AREA	157,264 SF	3.61 AC
TOTAL TCA AREA	157,264 SF	3.61 AC
PRIMARY TREE CONSERVATION AREA - CM PROVIDED	59 %	
PRIMARY TREE CONSERVATION AREA - CM REQUIRED	59 %	

TREE CONSERVATION AREA TABLE

PRIMARY TREE CONSERVATION AREA - THOROUGHFARE	102,072 SF	2.37 AC
PRIMARY TREE CONSERVATION AREA - CM	59,410 SF	1.36 AC
PRIMARY TREE CONSERVATION AREA - NEUSE RIVER BUFFER ZONE 2	77,100 SF	1.77 AC
SECONDARY TREE CONSERVATION AREA	102,045 SF	2.37 AC
GREENWAY TREE CONSERVATION AREA SUMMARY		
TREE CONSERVATION AREA - GREENWAY	342,292 SF	7.86 AC
GREENWAY TCA REDUCTION - UTILITY EASEMENTS	33,771 SF	0.78 AC
GREENWAY TCA REDUCTION - ROADWAY AND GRADING	29,622 SF	0.68 AC
WATERCOURSE LENGTH	107,800 SF	2.42 AC
GREENWAY TCA REDUCTION (WATERCOURSE LENGTH X 25' X 2 BANKS)	170,999 SF	3.95 AC
TREE CONSERVATION AREA - GREENWAY WITH REDUCTIONS	170,999 SF	3.95 AC
TOTAL TREE CONSERVATION AREA	531,428 SF	12.20 AC
TOTAL NET SITE ACREAGE	36,533 SF	0.84 AC
TOTAL TCA PERCENTAGE	22 %	

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDOT AND NCCOT STANDARDS, SPECIFICATIONS, AND DETAILS.

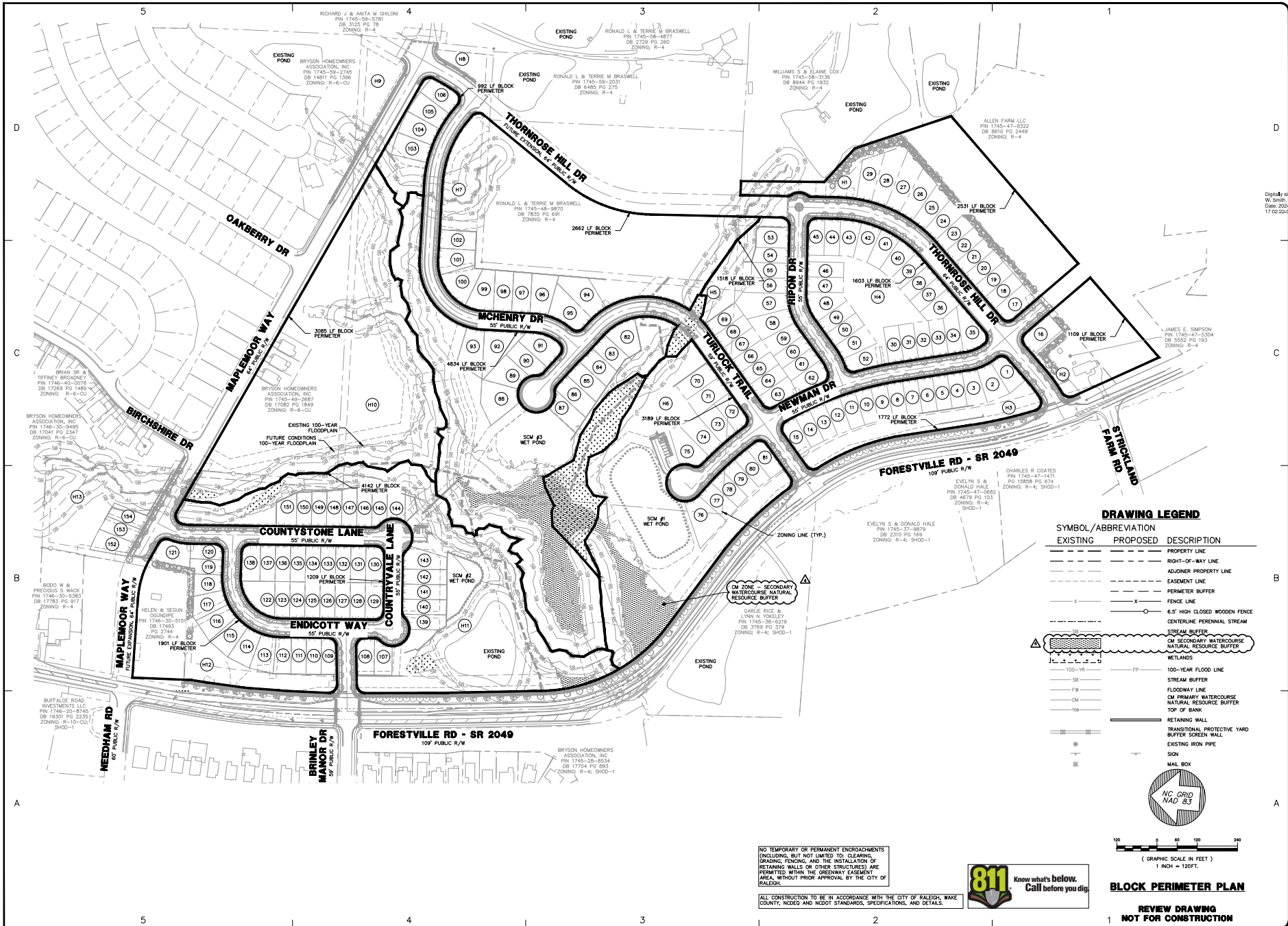


TREE CONSERVATION AREA PLAN
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET
C1005



DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	ADJACENT PROPERTY LINE
---	---	EASEMENT LINE
---	---	PERMETER BUFFER
---	---	FENCE LINE
---	---	6.5' HIGH CLOSED WOODEN FENCE
---	---	CENTERLINE PERENNIAL STREAM
---	---	STREAM BUFFER
---	---	CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	100-YEAR FLOOD LINE
---	---	STREAM BUFFER
---	---	FLOODWAY LINE
---	---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER TOP OF BANK
---	---	RETAINING WALL
---	---	TRANSITIONAL PROTECTIVE YARD BUFFER SCREEN WALL
---	---	EXISTING IRON PIPE
---	---	SIGN
---	---	MAIL BOX



BLOCK PERIMETER PLAN
REVIEW DRAWING
NOT FOR CONSTRUCTION

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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDOT AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



Balentine Associates, P.A.
 12141 HENRIE ROAD
 CHARLOTTE, NC 28217
 TEL: 704.546.1214
 FAX: 704.546.1215
 WWW.BALENTINEASSOCIATES.COM

NO.	DATE	DESCRIPTION
1	09 MAY 24	FOR CITY OF RALEIGH REVIEW COMMENTS
2	09 MAY 24	FOR CITY OF RALEIGH REVIEW COMMENTS
3	18 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS

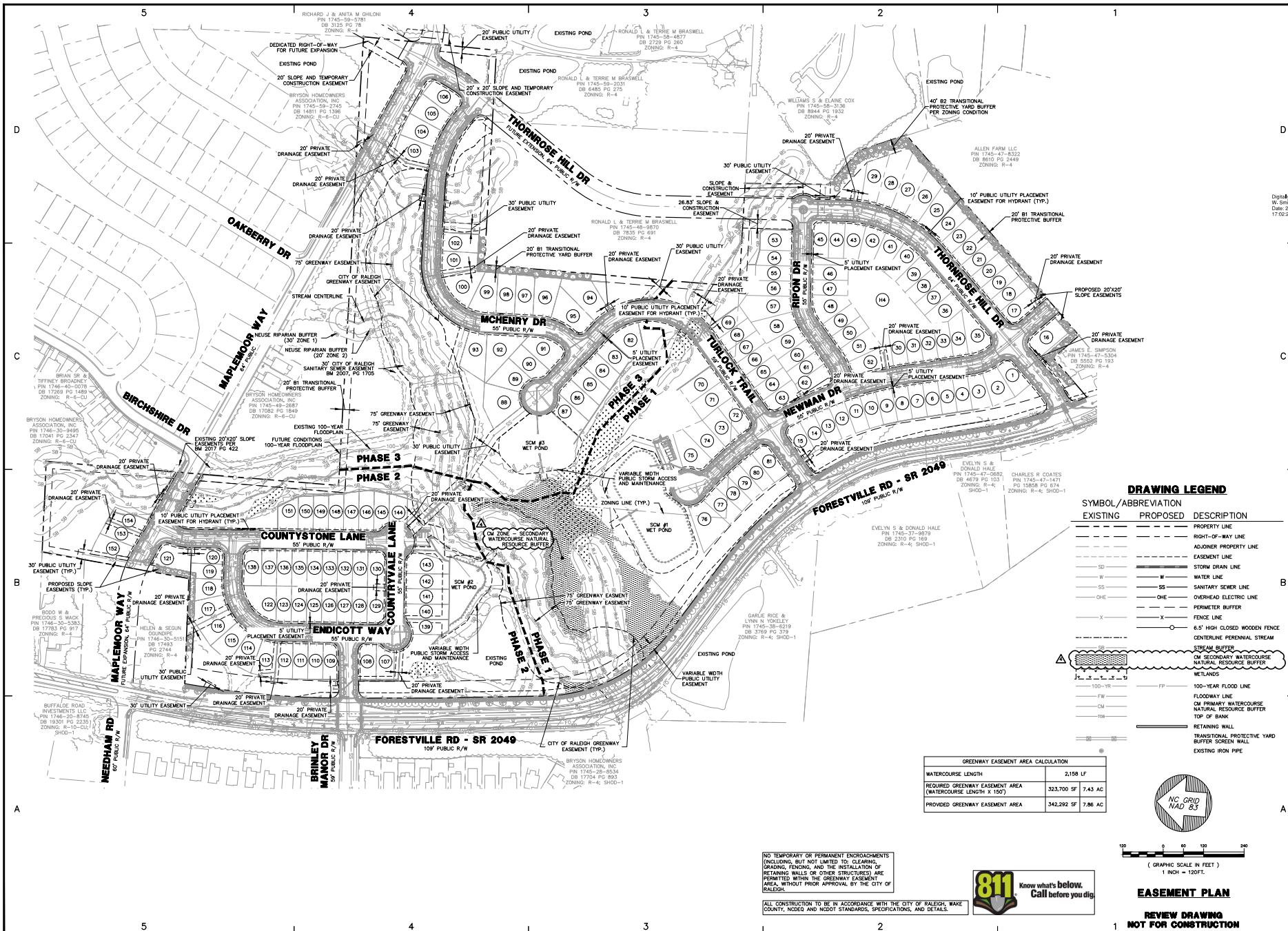
OWNER INFORMATION
 KE HOME CAROLINAS DIVISION
 1000 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27701
BUSINESS REPRESENTATIVE:
 P: SCOTT JOHNSON
 P: (919) 422-2606
 F: (919) 422-2600
 EMAIL: SCOTT.JOHNSON@KE.COM

DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET
C1006

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JUN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.



Digitally signed by W. Smith
 Date: 2023.10.23 17:02:23

DATE	BY	DESCRIPTION
08 FEB 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
08 MAY 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS

DATE	BY	DESCRIPTION
08 FEB 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
08 MAY 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KR. HARRIS CAROLINA DIVISION
 1000 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27701
BUSINESS REPRESENTATIVE:
 P. SMITH
 P. SMITH
 (919) 852-8606
 FAX: (919) 852-8600
 EMAIL: psmith@krh.com

DATE	BY	DESCRIPTION
08 FEB 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
08 MAY 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

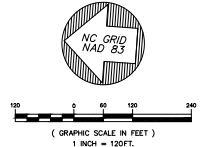
JOB NUMBER: 121010.00
 DATE: 28 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.
SHEET
C1007

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJACENT PROPERTY LINE
---	---	EASEMENT LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SEWER LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	PERIMETER BUFFER
---	---	FENCE LINE
---	---	6.5' HIGH CLOSED WOODEN FENCE
---	---	CENTERLINE PERENNIAL STREAM
---	---	STREAM BUFFER
---	---	CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	TOP OF BANK
---	---	RETAINING WALL
---	---	TRANSITIONAL PROTECTIVE YARD BUFFER SCREEN WALL
---	---	EXISTING IRON PIPE

GREENWAY EASEMENT AREA CALCULATION

WATERCOURSE LENGTH	2,158 LF
REQUIRED GREENWAY EASEMENT AREA (WATERCOURSE LENGTH X 150')	323,700 SF 7.43 AC
PROVIDED GREENWAY EASEMENT AREA	342,292 SF 7.86 AC

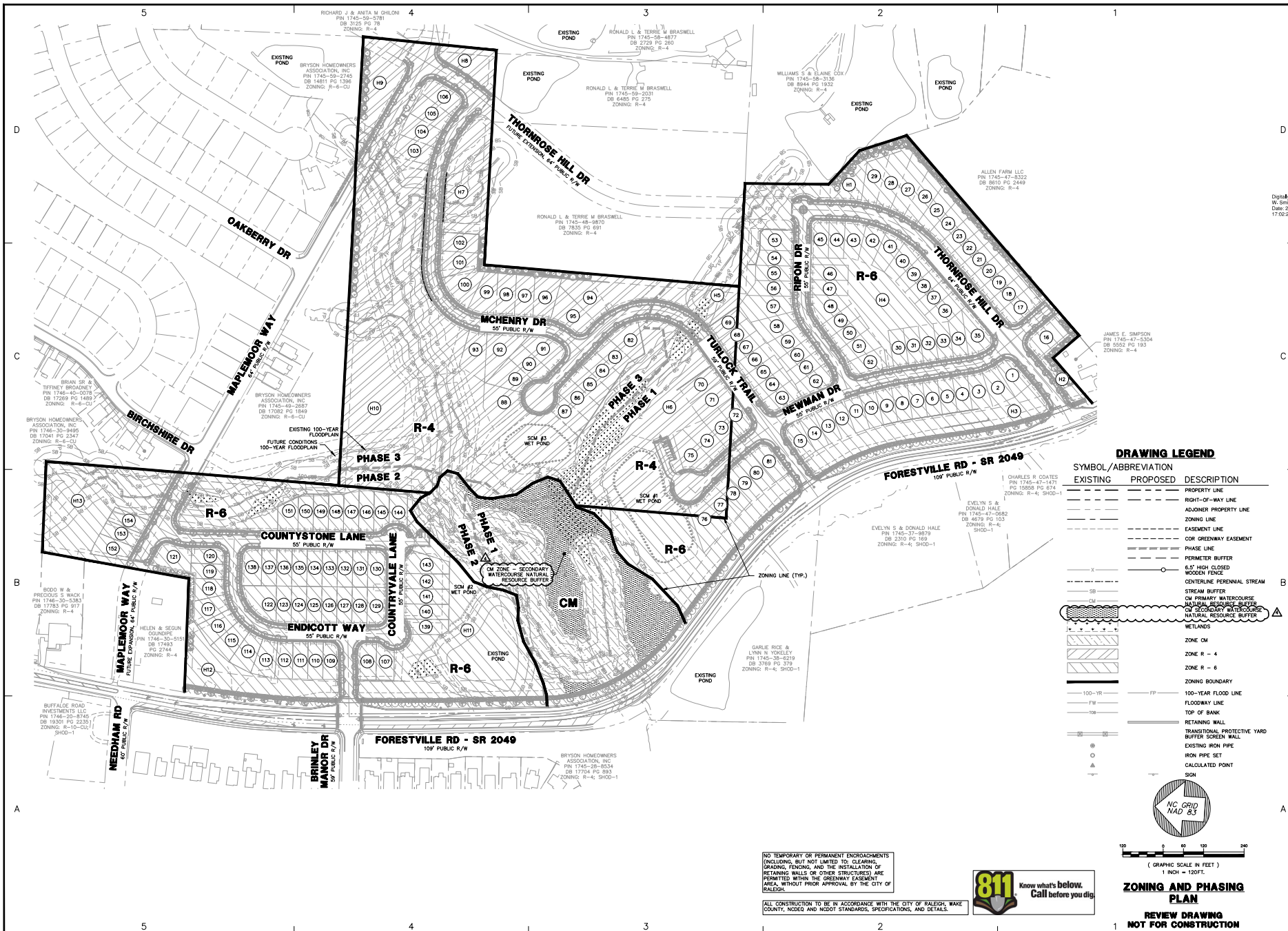


NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



EASEMENT PLAN
REVISION DRAWING
NOT FOR CONSTRUCTION



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DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	ZONING LINE
---	---	---	EASEMENT LINE
---	---	---	COR GREENWAY EASEMENT
---	---	---	PHASE LINE
---	---	---	PERMETER BUFFER
---	---	---	6.5' HIGH CLOSED WOODEN FENCE
---	---	---	CENTERLINE PERENNIAL STREAM
---	---	---	STREAM BUFFER
---	---	---	CM PRIMARY WATERSOURCE NATURAL RESOURCE BUFFER
---	---	---	CM SECONDARY WATERSOURCE NATURAL RESOURCE BUFFER
---	---	---	WETLANDS
---	---	---	ZONE CM
---	---	---	ZONE R - 4
---	---	---	ZONE R - 6
---	---	---	ZONING BOUNDARY
---	---	---	100-YEAR FLOOD LINE
---	---	---	FLOODWAY LINE
---	---	---	TOP OF BANK
---	---	---	RETAINING WALL
---	---	---	TRANSITIONAL PROTECTIVE YARD BUFFER SCREEN WALL
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SDN



ZONING AND PHASING PLAN
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, PA
 2340 HERRICK DRIVE
 RALEIGH, NC 27604
 TEL: 919.876.2200
 FAX: 919.876.2201
 www.balentine.com

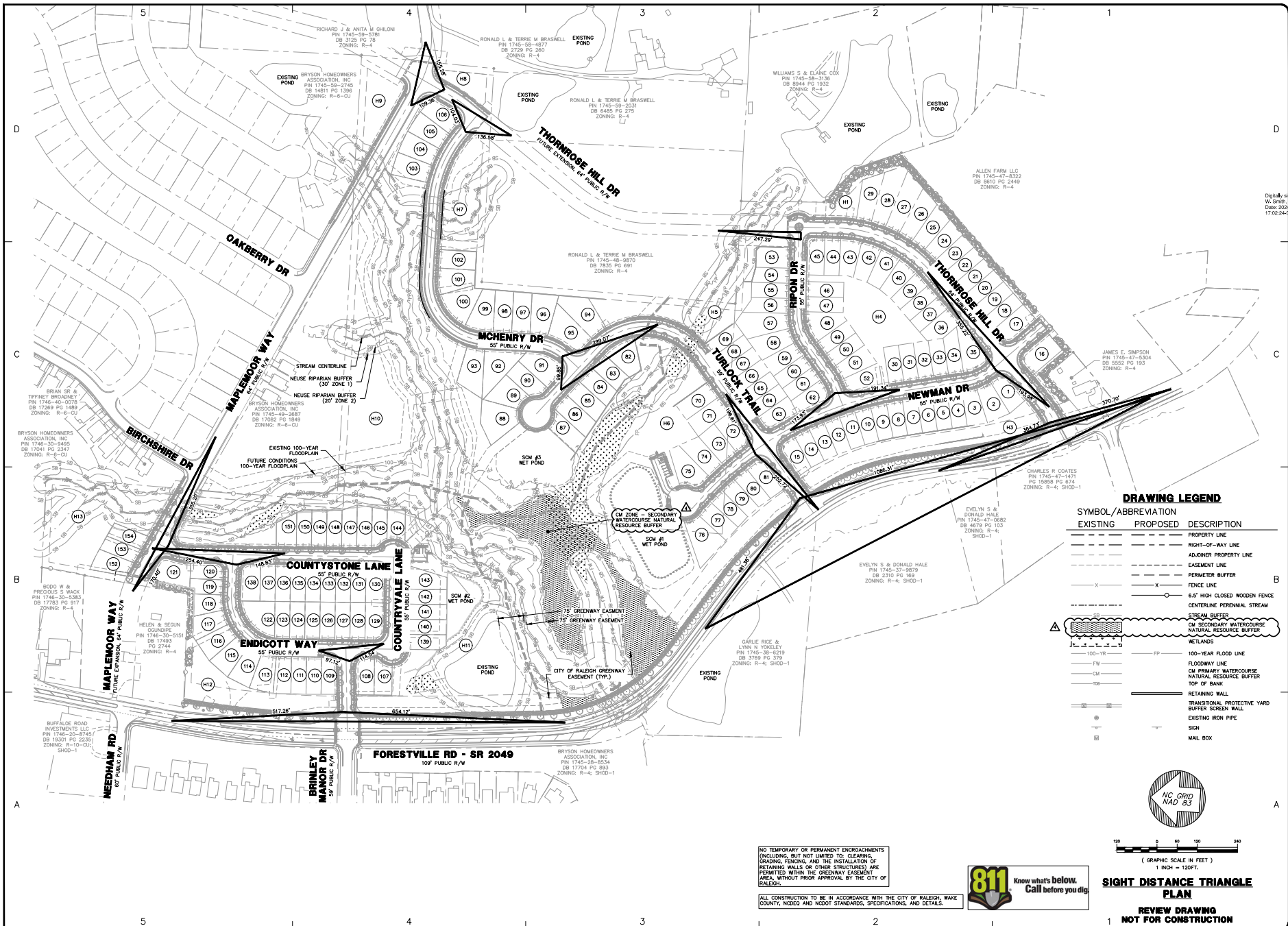
OWNER INFORMATION
 KE HOME CAROLINAS DIVISION
 PO BOX 5, WAKE RD
 SUITE #100
 DURHAM, NC 27702
 BUSINESS REPRESENTATIVE:
 P: SCOTT JOHNSON
 P: (919) 422-8606
 F: (919) 422-8600
 EMAIL: scottjohnson@ke.com

DATE	REVISION	BY	FOR
09 MAY 24	1	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
09 MAY 24	2	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	3	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET
C1008



Balentine Associates, PA
 2341 HERRING DR
 CHARLOTTE, NC 28211
 TEL: 704.536.6200
 FAX: 704.536.6201
 www.balentine.com

Digitally signed by W. Smith
 Date: 2023.10.24 17:02:24 -0400

DATE	REVISIONS
09 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS
09 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KR. HOMS CAROLINAS DIVISION
 PO BOX 5, WARR. RD
 SUITE #100
 DURHAM, NC 27702
BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P. 919.422.2606
 F. 919.422.2600
 EMAIL: SCOTT@KRC.COM

DATE	REVISIONS
09 JUN 24	PER SUBMITTAL #1
18 JUN 24	PER SUBMITTAL #2
09 JUN 24	PER SUBMITTAL #3
18 JUN 24	PER SUBMITTAL #4

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET
C1009

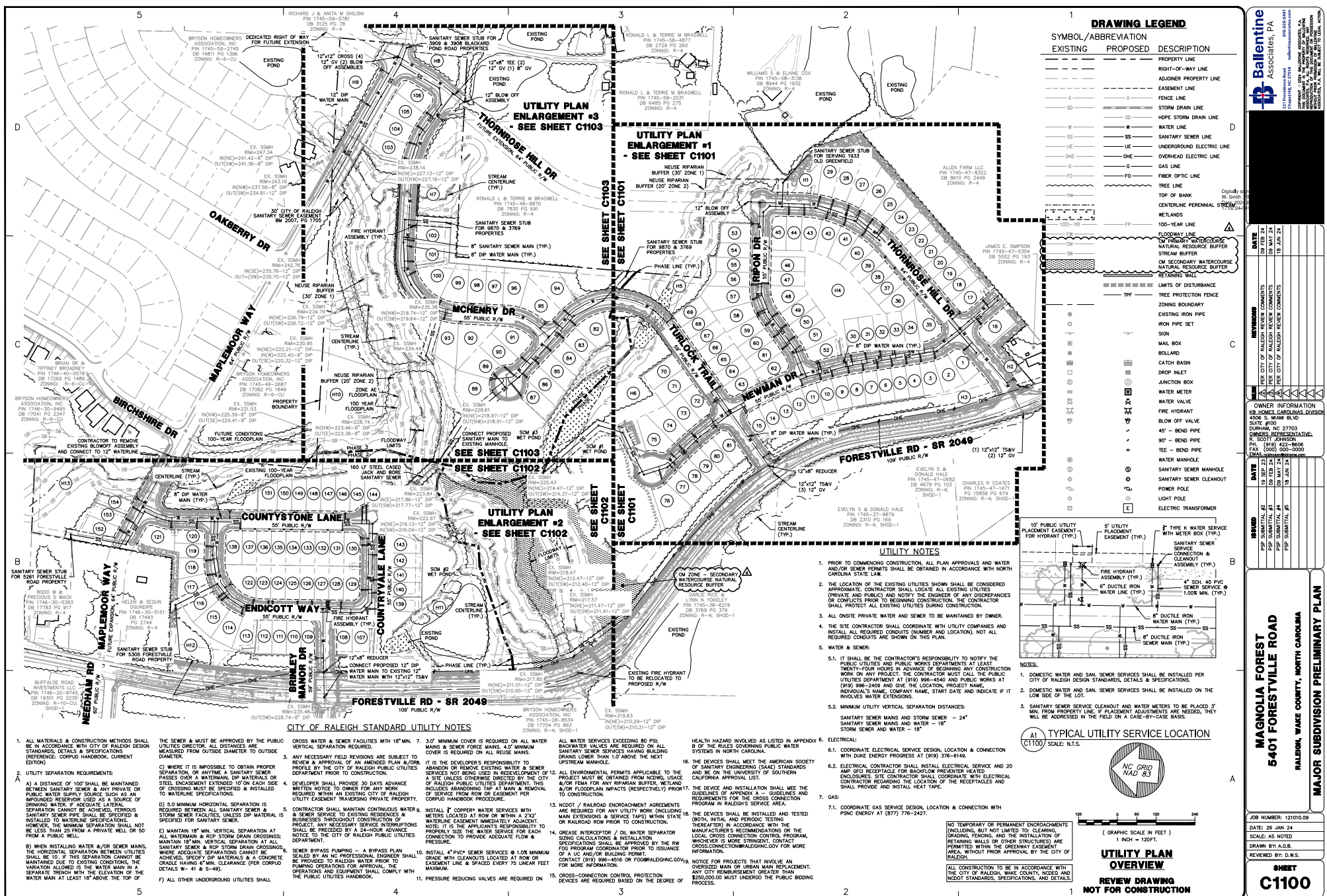
NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

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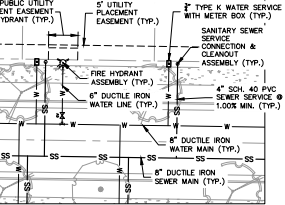
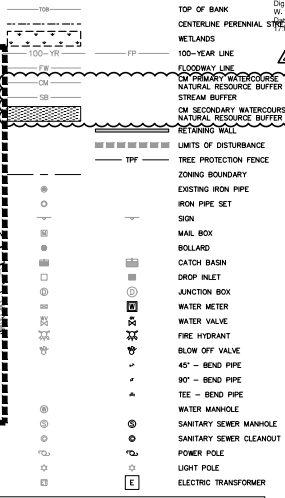
1" = 120 FT.
 (GRAPHIC SCALE IN FEET)

SIGHT DISTANCE TRIANGLE PLAN
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

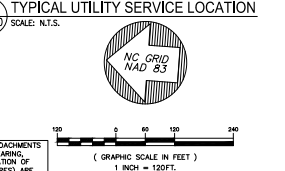


DRAWING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	ADJACENT PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	STORM DRAIN LINE
---	---	HOLE STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	GAS LINE
---	---	FIBER OPTIC LINE
---	---	TREE LINE
---	---	TOP OF BANK
---	---	CENTERLINE PERENNIAL STRIP
---	---	METLANDS
---	---	100-YEAR LINE
---	---	FLOODWAY LINE
---	---	100-YEAR WATERCOURSE
---	---	NATURAL RESOURCE BUFFER
---	---	STREAM BUFFER
---	---	ON SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	TREE PROTECTION FENCE
---	---	ZONING BOUNDARY
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	BOX
---	---	MAIL BOX
---	---	BOLLARD
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BLOW OFF VALVE
---	---	45° BEND PIPE
---	---	90° BEND PIPE
---	---	TEE - BEND PIPE
---	---	WATER MANHOLE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWDER POLE
---	---	LIGHT POLE
---	---	ELECTRIC TRANSFORMER



- ### NOTES:
- DOMESTIC WATER AND SAN. SEWER SERVICES SHALL BE INSTALLED PER CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS.
 - DOMESTIC WATER AND SAN. SEWER SERVICES SHALL BE INSTALLED ON THE LOW SIDE OF THE LOT.
 - SANITARY SEWER SERVICE CLEANOUT AND WATER METERS TO BE PLACED 3' MIN. FROM PROPERTY LINE. IF PLACEMENT ADJUSTMENTS ARE NEEDED, THEY WILL BE ADDRESSED IN THE FIELD ON A CASE-BY-CASE BASIS.



UTILITY PLAN OVERVIEW

REVIEW DRAWING NOT FOR CONSTRUCTION

- ### CITY OF RALEIGH STANDARD UTILITY NOTES
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS. (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE, SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ASSOCIATE LATERAL SEPARATION CANNOT BE ACHIEVED. FIBROUS SANITARY SEWER PIPES SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE SEWER MAIN SEPARATION SHALL NOT BE MORE THAN 20' FROM A PRIVATE WELL OR SOFT CITY A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO SYSTEM CONSTRAINTS, THE SEPARATION AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIVISION. ALL DISPLEASURES MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER WATERMAIN, DP MATERIALS STEEL ENCASUREMENT EXTENDED TO EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0 MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & WATERMAIN. IF ASSOCIATE LATERAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE MAINTAINED, SPECIFY DP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CORPUS DETAILS W-41 & S-40.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & A SEWER PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. A WRITTEN NOTICE PROVIDING 30 DAYS ADVANCE NOTICE IS REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES. A PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE NOTICED 72 HOURS IN ADVANCE. NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - SEWER BYPASS PUMPING - A BYPASS PLAN SHALL BE FILED BY AN IC PROFESSIONAL ENGINEER. SHALL BE REVIEWED & APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCEM, LOCAL A/C OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND A/C OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NECOT / RAILROAD ENDORSEMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOP PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LIC AND/OR BUILDING PERMIT. CONTACT (919) 996-4506 OR FOP@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
 - THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
 - THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES FOR THE CROSS CONNECTION CONTROL PROGRAM IN RALEIGH'S SERVICE AREA.
 - THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH WATER AND FIBROUS TESTING THEREAFTER) IN ACCORDANCE WITH THE LOCAL CROSS CONNECTION CONTROL PROGRAM. CROSS CONNECTION CONTROL PROGRAM: CROSS.CONNECTION@RALEIGHNC.GOV
 - NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REAMBLEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

Balentine Associates, PA
1214 West 10th Street
Raleigh, NC 27601
Phone: (919) 850-8000
Fax: (919) 850-8001
www.balentine.com

DATE: 10/18/24

BY: J. SMITH

FOR: PER CITY OF RALEIGH REVIEW COMMENTS

DATE: 10/18/24

BY: J. SMITH

FOR: PER CITY OF RALEIGH REVIEW COMMENTS

DATE: 10/18/24

BY: J. SMITH

FOR: PER CITY OF RALEIGH REVIEW COMMENTS

DATE: 10/18/24

BY: J. SMITH

FOR: PER CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KR. HINES CAROLINA DIVISION
 2600 S. MAIN RD
 DURHAM, NC 27703
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 PHONE: (919) 402-5000
 EMAIL: SCOTTJOHNSON@KRHINES.COM

PROJECT INFORMATION
 MAGNOLIA FOREST
 5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

PROJECT NUMBER: 121010.00

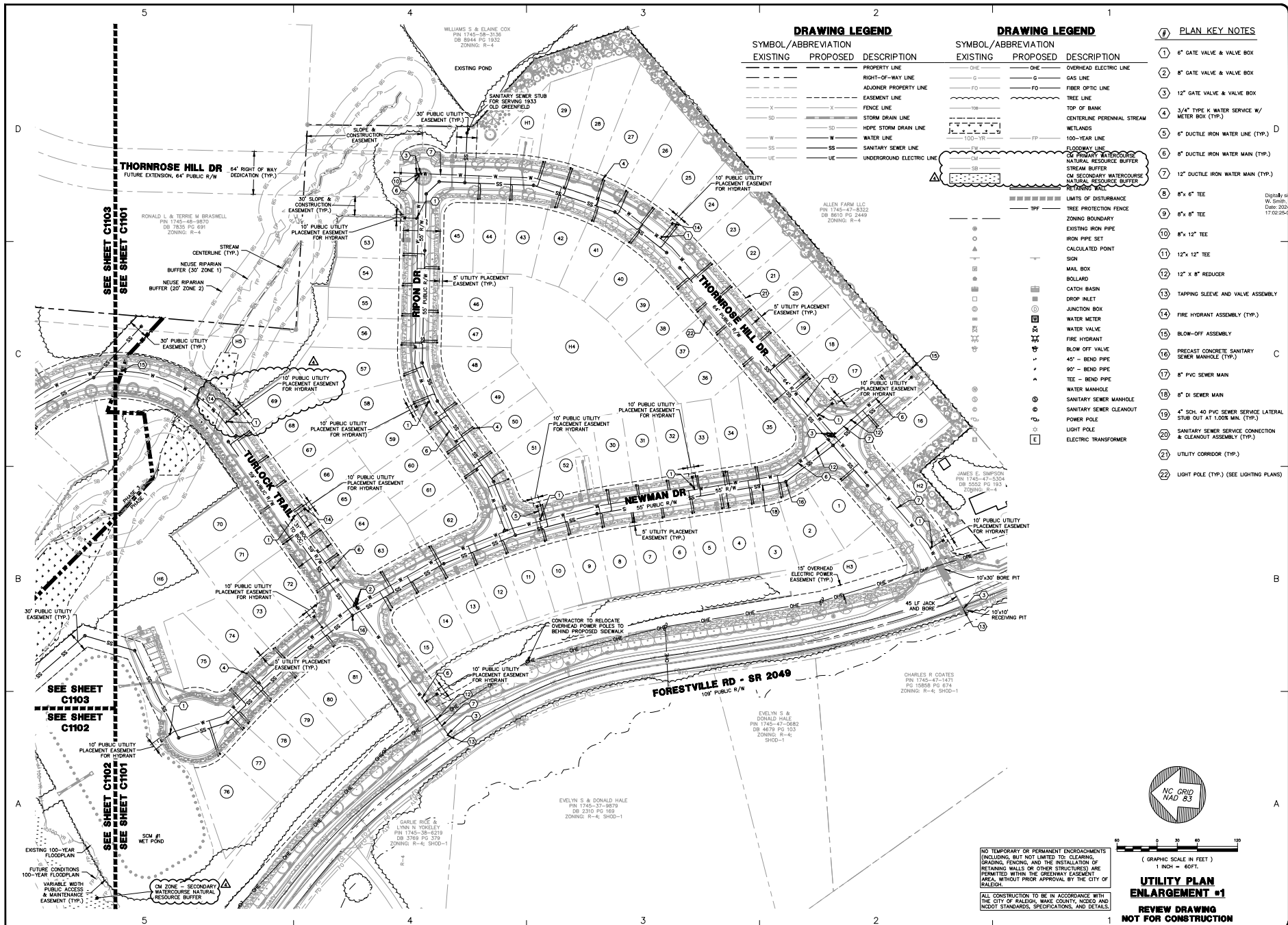
DATE: 26 JAN 24

SCALE: AS NOTED

DRAWN BY: A.C.B.

REVIEWED BY: D.W.S.

SHEET
C1100



DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
---	---	---	STORM DRAIN LINE
---	---	---	HDPE STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	OVERHEAD ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	FIBER OPTIC LINE
---	---	---	TREE LINE
---	---	---	TOP OF BANK
---	---	---	CENTERLINE PERENNIAL STREAM
---	---	---	WETLANDS
---	---	---	100-YEAR LINE
---	---	---	FLOODWAY LINE
---	---	---	15' PRIMARY WETLANDS/NATURAL RESOURCE BUFFER
---	---	---	5' SECONDARY WETLANDS/NATURAL RESOURCE BUFFER
---	---	---	5' TYPICAL WETLANDS/NATURAL RESOURCE BUFFER
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE

PLAN KEY NOTES

- 1 6" GATE VALVE & VALVE BOX
- 2 8" GATE VALVE & VALVE BOX
- 3 12" GATE VALVE & VALVE BOX
- 4 3/4" TYPE 'K' WATER SERVICE W/ METER BOX (TYP.)
- 5 6" DUCTILE IRON WATER LINE (TYP.)
- 6 8" DUCTILE IRON WATER MAIN (TYP.)
- 7 12" DUCTILE IRON WATER MAIN (TYP.)
- 8 8" x 6" TEE
- 9 8" x 6" TEE
- 10 8" x 12" TEE
- 11 12" x 12" TEE
- 12 12" x 8" REDUCER
- 13 TAPPING SLEEVE AND VALVE ASSEMBLY
- 14 FIRE HYDRANT ASSEMBLY (TYP.)
- 15 BLOW-OFF ASSEMBLY
- 16 PRECAST CONCRETE SANITARY SEWER MANHOLE (TYP.)
- 17 8" PVC SEWER MAIN
- 18 6" DI SEWER MAIN
- 19 4" SCH. 40 PVC SEWER SERVICE LATERAL STUB OUT AT 1.00% MIN. (TYP.)
- 20 SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY (TYP.)
- 21 UTILITY CORRIDOR (TYP.)
- 22 LIGHT POLE (TYP.) (SEE LIGHTING PLANS)

Balentine
Associates, P.A.
12141-Highway 28 East
Charlotte, NC 28226
704.366.1234
www.balentine.com

Digitally signed by W. Smith
Date: 2024.06.18 17:02:25 -04'

DATE	BY	DESCRIPTION
09 JUN 24	W. SMITH	FOR CITY OF RALPHIGH REVIEW COMMENTS
09 JUN 24	W. SMITH	FOR CITY OF RALPHIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALPHIGH REVIEW COMMENTS

OWNER INFORMATION
KE HOME'S CAROLINAS DIVISION
700 S. MAIN RD
SUITE #100
DURHAM, NC 27703
BUSINESS REPRESENTATIVE:
P.O. BOX 30300
Raleigh, NC 27611
PHONE: (919) 422-2606
FAX: (919) 422-2606
EMAIL: kehomes@kehomes.com

DATE	BY	DESCRIPTION
09 FEB 24	W. SMITH	FOR CITY OF RALPHIGH REVIEW COMMENTS
09 FEB 24	W. SMITH	FOR CITY OF RALPHIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALPHIGH REVIEW COMMENTS

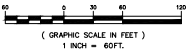
MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

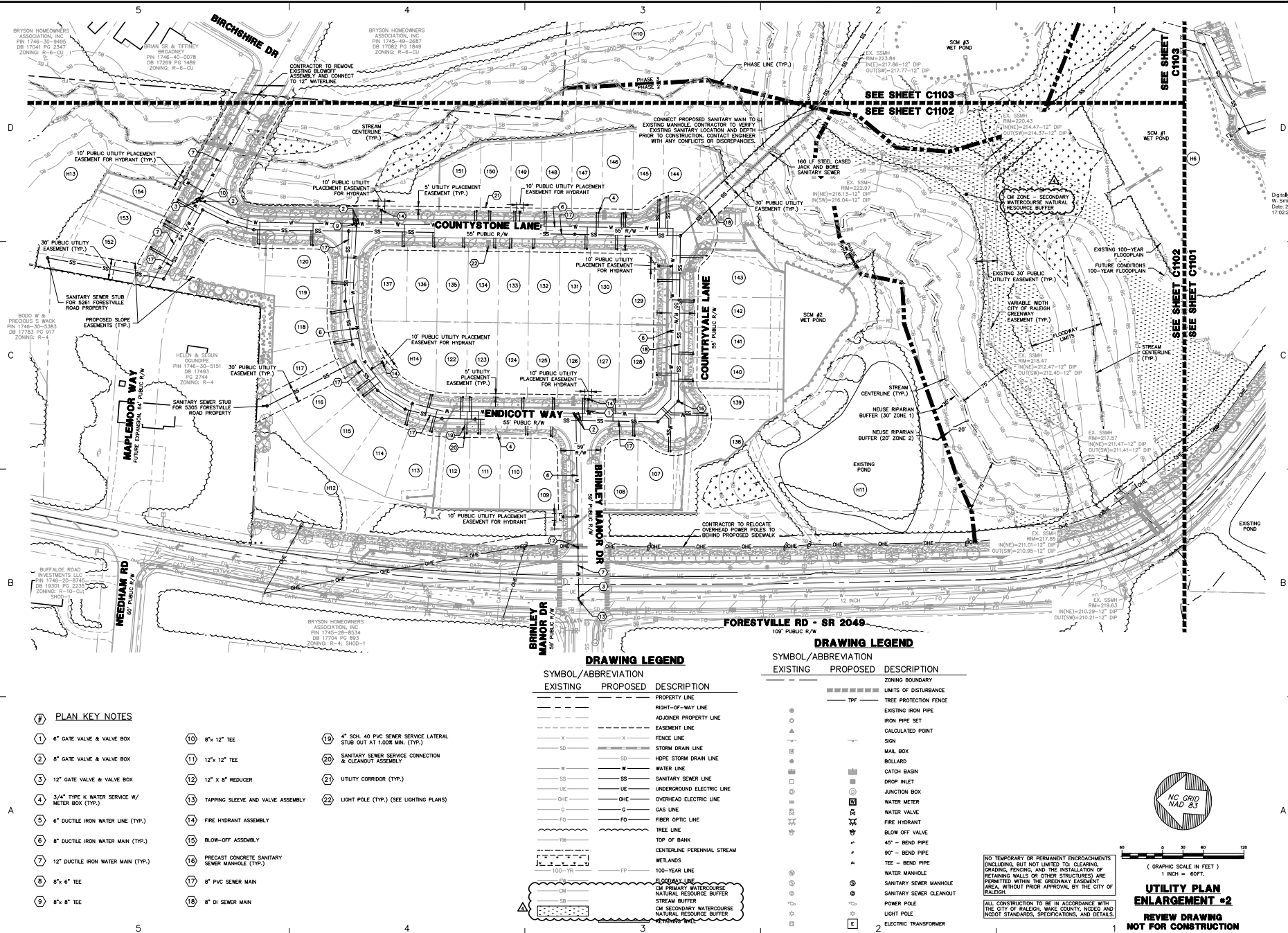
SHEET
C1101

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALPHIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALPHIGH, WAKE COUNTY, NCDOT AND NCEM STANDARDS, SPECIFICATIONS, AND DETAILS.



UTILITY PLAN
ENLARGEMENT #1
REVIEW DRAWING
NOT FOR CONSTRUCTION



- PLAN KEY NOTES**
- 1 6" GATE VALVE & VALVE BOX
 - 2 8" GATE VALVE & VALVE BOX
 - 3 12" GATE VALVE & VALVE BOX
 - 4 3/4" TYP. W. WATER SERVICE W/ METER BOX (TYP.)
 - 5 6" DUCTILE IRON WATER LINE (TYP.)
 - 6 8" DUCTILE IRON WATER MAIN (TYP.)
 - 7 12" DUCTILE IRON WATER MAIN (TYP.)
 - 8 8" x 6" TEE
 - 9 8" x 8" TEE
 - 10 8" x 12" TEE
 - 11 12" x 12" TEE
 - 12 12" x 8" REDUCER
 - 13 TAPPING SLAVE AND VALVE ASSEMBLY
 - 14 FIRE HYDRANT ASSEMBLY
 - 15 BLOW-OFF ASSEMBLY
 - 16 PRECAST CONCRETE SANITARY SEWER MANHOLE (TYP.)
 - 17 8" PVC SEWER MAIN
 - 18 8" DI SEWER MAIN
 - 19 4" SCH. 40 PVC SEWER SERVICE LATERAL STUB OUT AT 1.00% MIN. (TYP.)
 - 20 SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
 - 21 UTILITY CORRIDOR (TYP.)
 - 22 LIGHT POLE (TYP.) (SEE LIGHTING PLANS)

DRAWING LEGEND

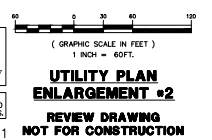
SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
---	---	---	STORM DRAIN LINE
---	---	---	HDPE STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	OVERHEAD ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	FIBER OPTIC LINE
---	---	---	TREE LINE
---	---	---	TOP OF BANK
---	---	---	CENTERLINE PERENNIAL STREAM
---	---	---	WETLANDS
---	---	---	100-YEAR LINE
---	---	---	FLOODWAY LINE
---	---	---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	STREAM BUFFER

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	ZONING BOUNDARY
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SIEN
---	---	---	MAIL BOX
---	---	---	BOLLARD
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	BLOW OFF VALVE
---	---	---	45° - BEND PIPE
---	---	---	90° - BEND PIPE
---	---	---	TEE - BEND PIPE
---	---	---	WATER MANHOLE
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEANOUT
---	---	---	POWER POLE
---	---	---	LIGHT POLE
---	---	---	ELECTRIC TRANSFORMER

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, N.C. AND N.C. STANDARDS, SPECIFICATIONS, AND DETAILS.



UTILITY PLAN
ENLARGEMENT #2
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, PA
 2741 HUNTER DRIVE, RALEIGH, NC 27604
 (919) 877-1100
 www.balentine.com

DATE: 09 JUN 24
 TIME: 10:53 AM
 DRAWN BY: A.C.B.
 CHECKED BY: D.W.S.
 SHEET: C1102

REVISIONS:

NO.	DATE	DESCRIPTION
1	09 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS
2	09 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS
3	18 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS

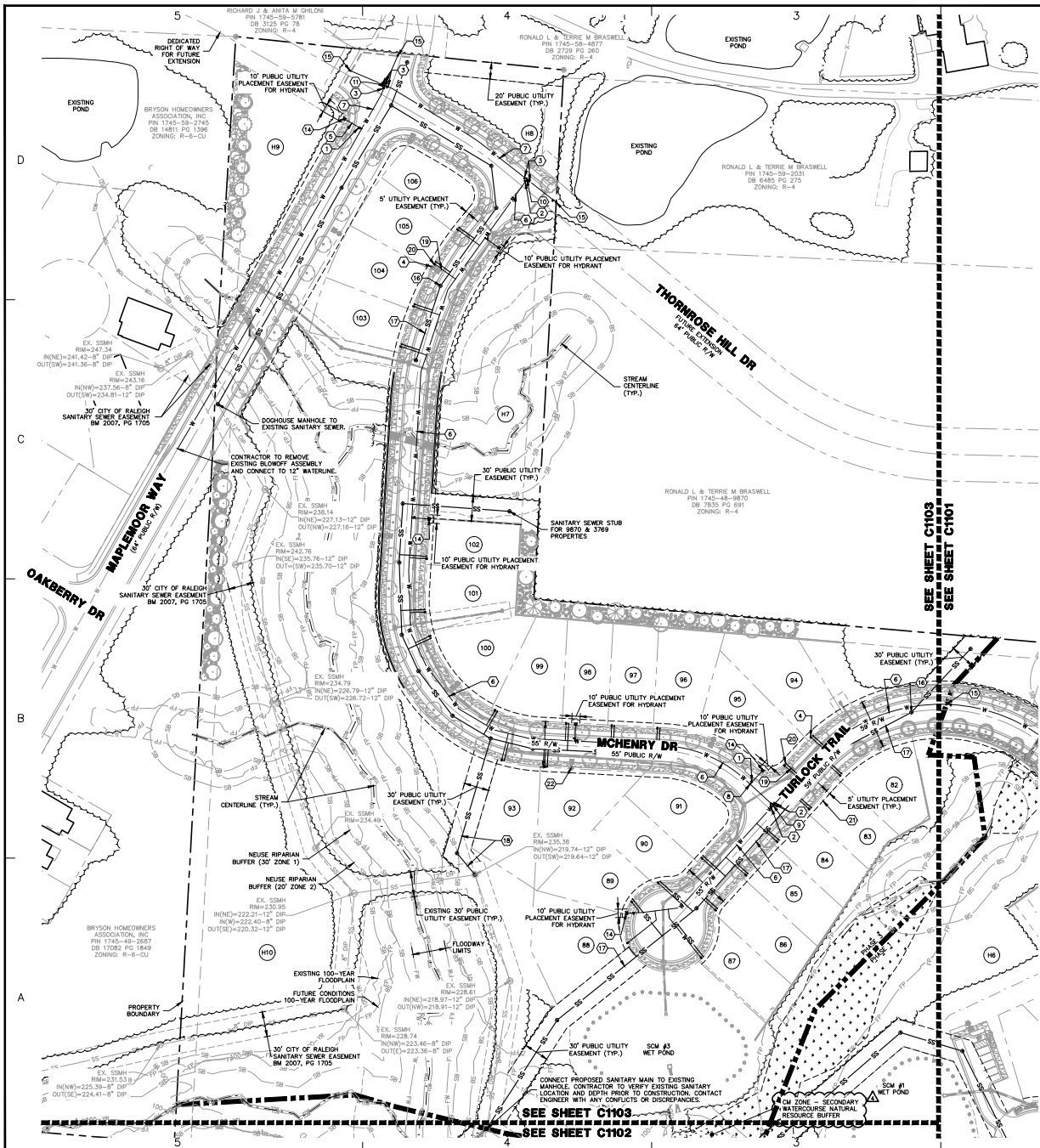
OWNER INFORMATION:
 KE HOME'S CAROLINAS DIVISION
 100 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27701
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P. (919) 422-2606
 F. (919) 422-2606
 EMAIL: SCOTT@KEH.COM

PROJECT INFORMATION:
 PROJECT: 24-0000000000000000
 SHEET: 000-000-0000
 DATE: 09 JUN 24
 TIME: 10:53 AM

PROJECT LOCATION:
 5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

JOB NUMBER: 121010.00
 DATE: 26 JUN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

MAJOR SUBDIVISION PRELIMINARY PLAN



PLAN KEY NOTES

- 1 6" GATE VALVE & VALVE BOX
- 2 8" GATE VALVE & VALVE BOX
- 3 12" GATE VALVE & VALVE BOX
- 4 3/4" TYPE K WATER SERVICE W/ METER BOX (TYP.)
- 5 6" DUCTILE IRON WATER LINE (TYP.)
- 6 6" DUCTILE IRON WATER MAIN (TYP.)
- 7 12" DUCTILE IRON WATER MAIN (TYP.)
- 8 6" x 6" TEE
- 9 8" x 8" TEE
- 10 8" x 12" TEE
- 11 12" x 12" TEE
- 12 12" x 8" REDUCER
- 13 TAPPING SLEEVE AND VALVE ASSEMBLY
- 14 FIRE HYDRANT ASSEMBLY (TYP.)
- 15 BLOW-OFF ASSEMBLY
- 16 PRECAST CONCRETE SANITARY SEWER MANHOLE (TYP.)
- 17 6" PVC SEWER MAIN
- 18 6" DI SEWER MAIN
- 19 4" SCH. 40 PVC SEWER SERVICE LATERAL STUB OUT AT 1.00% MIN. (TYP.)
- 20 SANITARY SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY (TYP.)
- 21 UTILITY CORRIDOR (TYP.)
- 22 LIGHT POLE (TYP.) (SEE LIGHTING PLANS)

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJACENT PROPERTY LINE
---	---	EASEMENT LINE
---	X	FENCE LINE
SD	SD	STORM DRAIN LINE
SD	SD	HOPE STORM DRAIN LINE
W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
FO	FO	FIBER OPTIC LINE
T	T	TREE LINE
OB	OB	TOP OF BANK
---	---	CENTERLINE PERENNIAL STREAM
---	---	WETLANDS
---	---	100-YEAR LINE
---	---	FLOODWAY LINE
---	---	ON PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	STREAM BUFFER
---	---	ON SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	LIMITS OF DISTURBANCE
---	---	TYP
---	---	TREE PROTECTION FENCE
---	---	ZONING BOUNDARY
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SON
---	---	MAIL BOX
---	---	BOLLARD
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	BLOW OFF VALVE
---	---	45° - BEND PIPE
---	---	90° - BEND PIPE
---	---	TEE - BEND PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	LIGHT POLE
---	---	ELECTRIC TRANSFORMER

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDOT AND NCEI STANDARDS, SPECIFICATIONS, AND DETAILS.



UTILITY PLAN ENLARGEMENT #3
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, P.A.
 1214 HUNTERS LANE, SUITE 100
 RALEIGH, NC 27605
 TEL: 919.876.1234
 FAX: 919.876.1235
 WWW.BALENTINE.COM

DATE	BY	DESCRIPTION
09 MAY 24	W. Smith	DATE PLOTTED
18 JUN 24		DATE PRINTED
09 MAY 24		DATE OF LAST REVISION
18 JUN 24		DATE OF THIS REVISION

NO.	DATE	BY	DESCRIPTION
1	09 MAY 24	W. Smith	DATE PLOTTED
2	18 JUN 24		DATE PRINTED
3	09 MAY 24		DATE OF LAST REVISION
4	18 JUN 24		DATE OF THIS REVISION

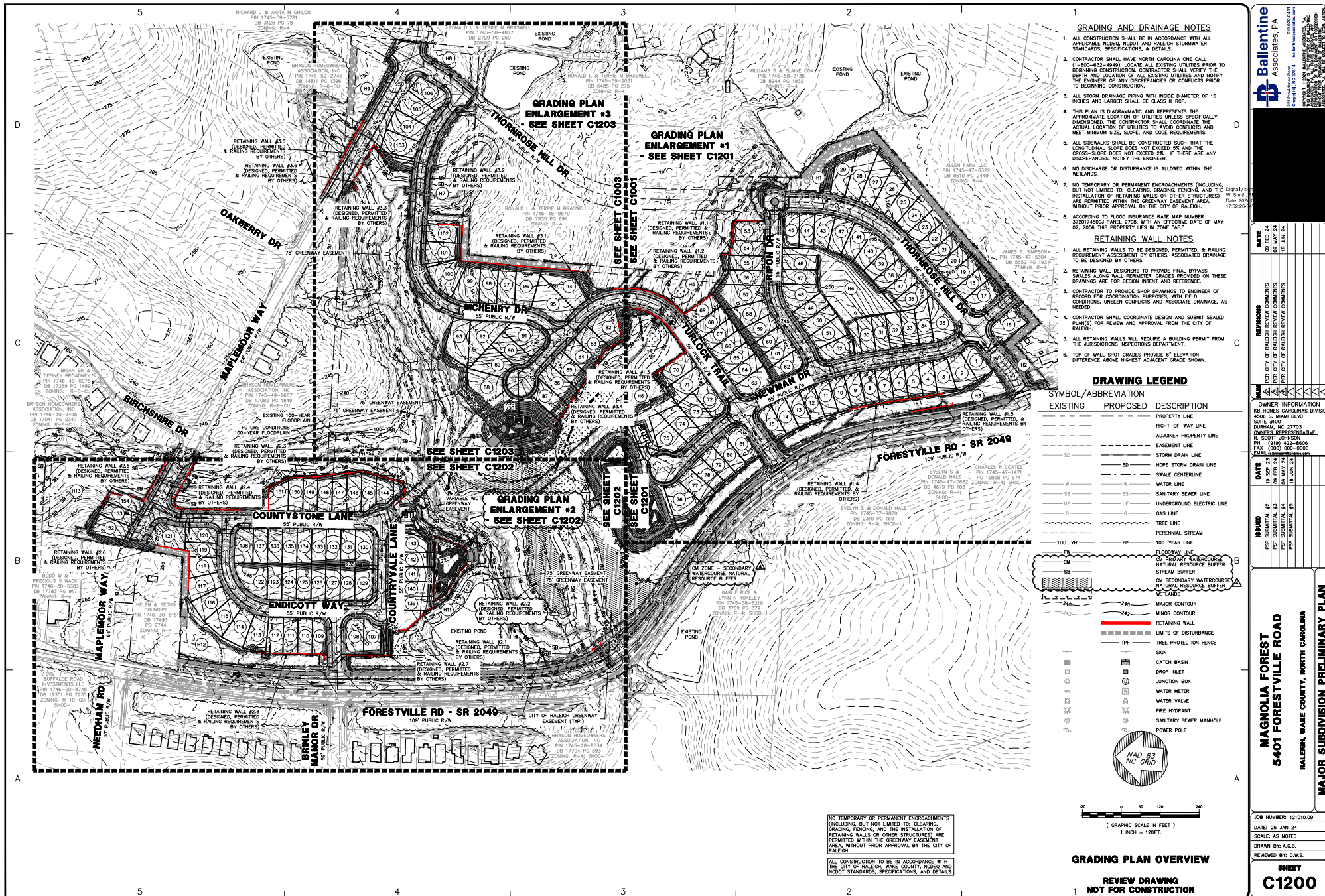
OWNER INFORMATION
 KE HOME CAROLINA DIVISION
 700 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27703
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 TEL: (919) 422-8606
 FAX: (919) 422-8600
 EMAIL: PSCOTT@KE.COM

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET C1103



GRADING AND DRAINAGE NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NCEC, NCSD AND RALEIGH STORMWATER STANDARDS, SPECIFICATIONS, & DETAILS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-368-5847) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS II RCP.
4. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
5. ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 3% AND THE CROSS-SLOPE DOES NOT EXCEED 2% IF THERE ARE ANY DISCREPANCIES NOTIFY THE ENGINEER.
6. NO DISCHARGE OR DISTURBANCE IS ALLOWED WITHIN THE WETLANDS.
7. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
8. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 370074000 PANEL 2708, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "AE".

RETAINING WALL NOTES

1. ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED GRADING TO BE DESIGNED BY OTHERS.
2. RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS RAILING ALONG WALL FOOTING. GREENWAY EASEMENT ON THESE DRAWINGS ARE FOR DESIGN INTENT AND REFERENCE.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
4. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLANS FOR REVIEW AND APPROVAL FROM THE CITY OF RALEIGH.
5. ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPARTMENT.
6. TOP OF WALL SPOT GRADES PROVIDE 1' ELEVATION DIFFERENCE ABOVE HIGHEST ADJACENT GRADE SHOWN.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PRIORITY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	STORM DRAIN LINE
---	---	---	HOPPE CENTER DRAIN LINE
---	---	---	SWALE CENTERLINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	TREE LINE
---	---	---	PERMANENT STREAM
---	---	---	100-YEAR LINE
---	---	---	FLOODWAY LINE
---	---	---	ON PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	ON SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	ON TERTIARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	RETAINING WALL
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	SANITARY SEWER MANHOLE
---	---	---	POWER POLE



100 0 100 200
(GRAPHIC SCALE IN FEET)
1 INCH = 120 FT.

GRADING PLAN OVERVIEW

REVIEW DRAWING NOT FOR CONSTRUCTION

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCEC AND NCSD STANDARDS, SPECIFICATIONS, AND DETAILS.

Balentine Associates, PA
2700 W. SMITH ST. SUITE 200
RALEIGH, NC 27604
TEL: 919.876.1234
WWW.BALLENTE.COM

DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
09 MAY 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
K&H HOMES CAROLINAS DIVISION
1000 S. MAIN BLVD
SUITE #100
DURHAM, NC 27703
BUSINESS REPRESENTATIVE:
P. SCOTT JOHNSON
PH: (919) 402-2606
EMAIL: PSCOTT@K&H.COM

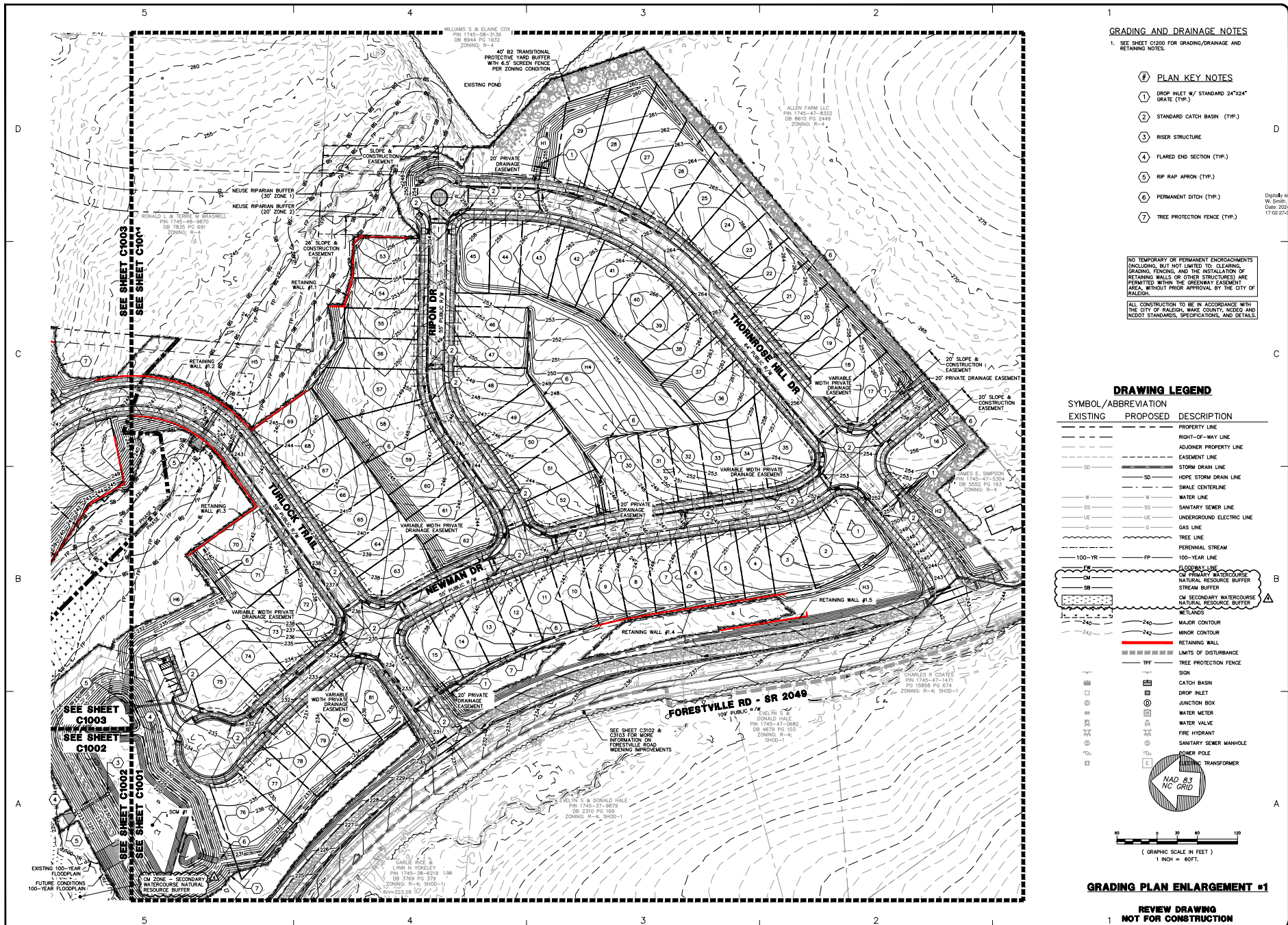
DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PER SUBMITTAL #1
18 JUN 24	W. SMITH	PER SUBMITTAL #1
09 MAY 24	W. SMITH	PER SUBMITTAL #1
18 JUN 24	W. SMITH	PER SUBMITTAL #1

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JAN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET
C1200



GRADING AND DRAINAGE NOTES

1. SEE SHEET C1200 FOR GRADING/DRAINAGE AND RETAINING NOTES.

PLAN KEY NOTES

- ① DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
- ② STANDARD CATCH BASIN (TYP.)
- ③ RISER STRUCTURE
- ④ FLARED END SECTION (TYP.)
- ⑤ RIP RAP APRON (TYP.)
- ⑥ PERMANENT DITCH (TYP.)
- ⑦ TREE PROTECTION FENCE (TYP.)

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCCO and NCCOTI STANDARDS, SPECIFICATIONS, AND DE DETAILS.

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
---	---	EXISTING PROPERTY LINE
---	---	PROPOSED PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
SD	---	STORM DRAIN LINE
SD	---	HDPE STORM DRAIN LINE
---	---	SWALE CENTERLINE
W	---	WATER LINE
SS	---	SANITARY SEWER LINE
UE	---	UNDERGROUND ELECTRIC LINE
---	---	GAS LINE
---	---	TREE LINE
---	---	PERENNIAL STREAM
100-YR	---	100-YEAR LINE
CM	---	FLOODWAY LINE
SB	---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	TREE PROTECTION FENCE
---	---	SIGN
---	---	CATCH BASIN
---	---	DROP INLET
---	---	ANJON BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	POWER POLE
---	---	TRANSFORMER

GRADING PLAN ENLARGEMENT #1

REVIEW DRAWING NOT FOR CONSTRUCTION

Balentine Associates, PA
 12414-HIGHWAY 101, SUITE 100, RALEIGH, NC 27615
 TEL: 919-876-2000 FAX: 919-876-2001
 WWW.BALLENTEINE.COM

DATE	BY	FOR
09 MAY 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS

DATE	BY	FOR
09 MAY 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS

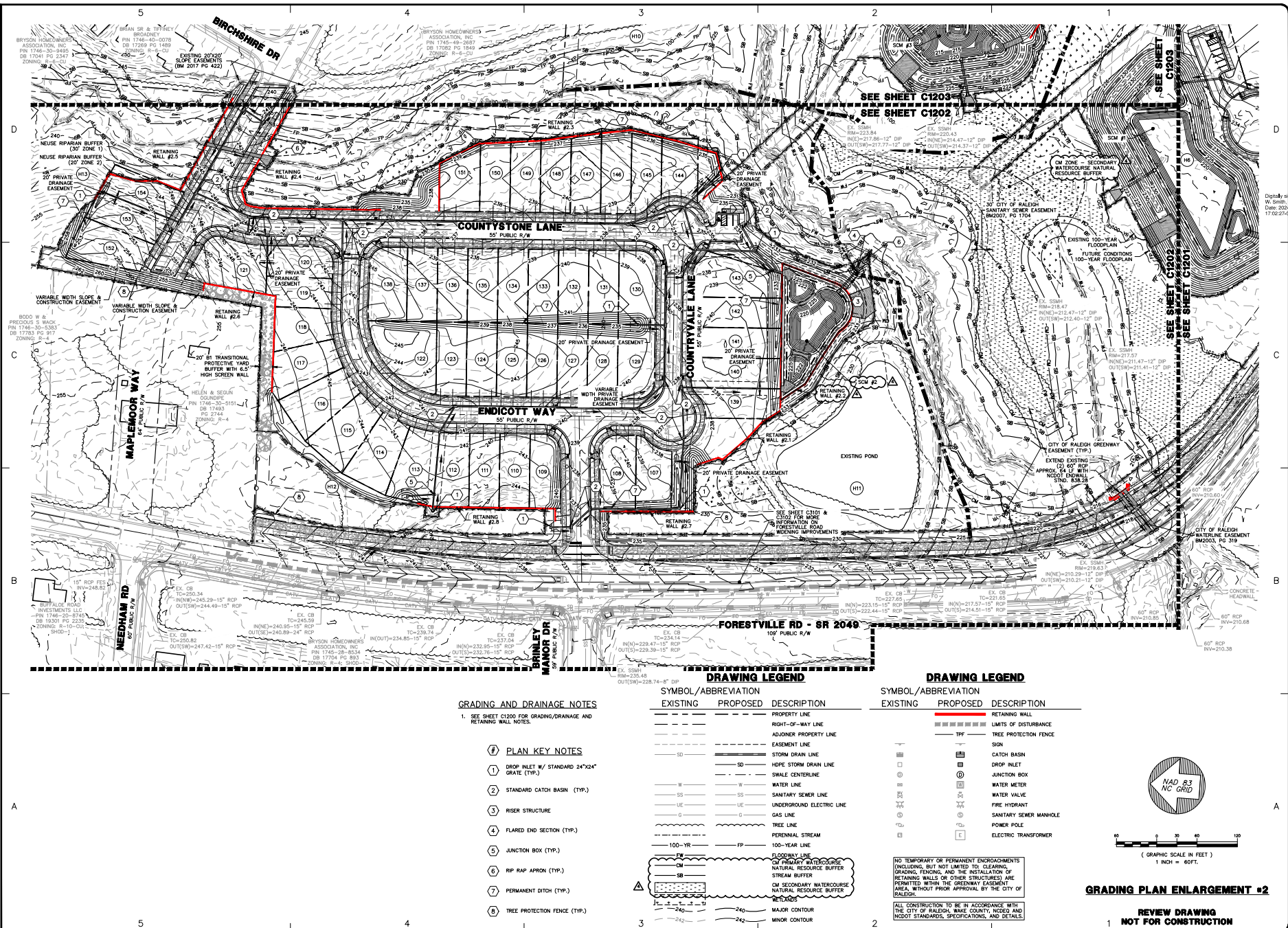
DATE	BY	FOR
09 MAY 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	FOR CITY OF RALEIGH REVIEW COMMENTS

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 12101.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET C1201



GRADING AND DRAINAGE NOTES
 1. SEE SHEET C1200 FOR GRADING, DRAINAGE AND RETAINING WALL NOTES.

- PLAN KEY NOTES**
1. DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
 2. STANDARD CATCH BASIN (TYP.)
 3. RISER STRUCTURE
 4. FLARED END SECTION (TYP.)
 5. JUNCTION BOX (TYP.)
 6. RIP-RAP APRON (TYP.)
 7. PERMANENT DITCH (TYP.)
 8. TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

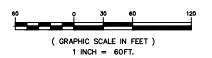
SYMBOL/ABBREVIATION		EXISTING	PROPOSED	DESCRIPTION
---	PROPERTY LINE	---	---	PROPERTY LINE
---	RIGHT-OF-WAY LINE	---	---	RIGHT-OF-WAY LINE
---	ADJOINER PROPERTY LINE	---	---	ADJOINER PROPERTY LINE
---	EASEMENT LINE	---	---	EASEMENT LINE
---	STORM DRAIN LINE	---	---	STORM DRAIN LINE
---	HDPE STORM DRAIN LINE	---	---	HDPE STORM DRAIN LINE
---	SWALE CENTERLINE	---	---	SWALE CENTERLINE
---	WATER LINE	---	---	WATER LINE
---	SANITARY SEWER LINE	---	---	SANITARY SEWER LINE
---	UNDERGROUND ELECTRIC LINE	---	---	UNDERGROUND ELECTRIC LINE
---	GAS LINE	---	---	GAS LINE
---	TREE LINE	---	---	TREE LINE
---	PERENNIAL STREAM	---	---	PERENNIAL STREAM
---	100-YR	---	---	100-YEAR LINE
---	100-YR	---	---	100-YEAR LINE
---	FLOODWAY LINE	---	---	FLOODWAY LINE
---	CM PRIMARY WATERCOURSE	---	---	CM PRIMARY WATERCOURSE
---	NATURAL RESOURCE BUFFER	---	---	NATURAL RESOURCE BUFFER
---	STREAM BUFFER	---	---	STREAM BUFFER
---	CM SECONDARY WATERCOURSE	---	---	CM SECONDARY WATERCOURSE
---	NATURAL RESOURCE BUFFER	---	---	NATURAL RESOURCE BUFFER
---	MAJOR CONTOUR	---	---	MAJOR CONTOUR
---	MINOR CONTOUR	---	---	MINOR CONTOUR

DRAWING LEGEND

SYMBOL/ABBREVIATION		EXISTING	PROPOSED	DESCRIPTION
---	RETAINING WALL	---	---	RETAINING WALL
---	LIMITS OF DISTURBANCE	---	---	LIMITS OF DISTURBANCE
---	TREE PROTECTION FENCE	---	---	TREE PROTECTION FENCE
---	SIGN	---	---	SIGN
---	CATCH BASIN	---	---	CATCH BASIN
---	DROP INLET	---	---	DROP INLET
---	JUNCTION BOX	---	---	JUNCTION BOX
---	WATER METER	---	---	WATER METER
---	WATER VALVE	---	---	WATER VALVE
---	FIRE HYDRANT	---	---	FIRE HYDRANT
---	SANITARY SEWER MANHOLE	---	---	SANITARY SEWER MANHOLE
---	POWER POLE	---	---	POWER POLE
---	ELECTRIC TRANSFORMER	---	---	ELECTRIC TRANSFORMER

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCSD AND NCSD STANDARDS, SPECIFICATIONS, AND DETAILS.



GRADING PLAN ENLARGEMENT #2
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

Balentine Associates, PA
 12141 HUNTERS BLVD., SUITE 100, RALEIGH, NC 27615
 TEL: 919.877.1234 FAX: 919.877.1235
 WWW.BALENTINE.COM

Digitally signed by W. Smith
 Date: 2023.05.24 17:02:27

DATE	REVISIONS
09 MAY 24	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS
09 MAY 24	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KB HOMES CAROLINA DIVISION
 1000 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27701
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P. 919.400.8252
 F. 919.400.8606
 EMAIL: SCOTT@KB.COM

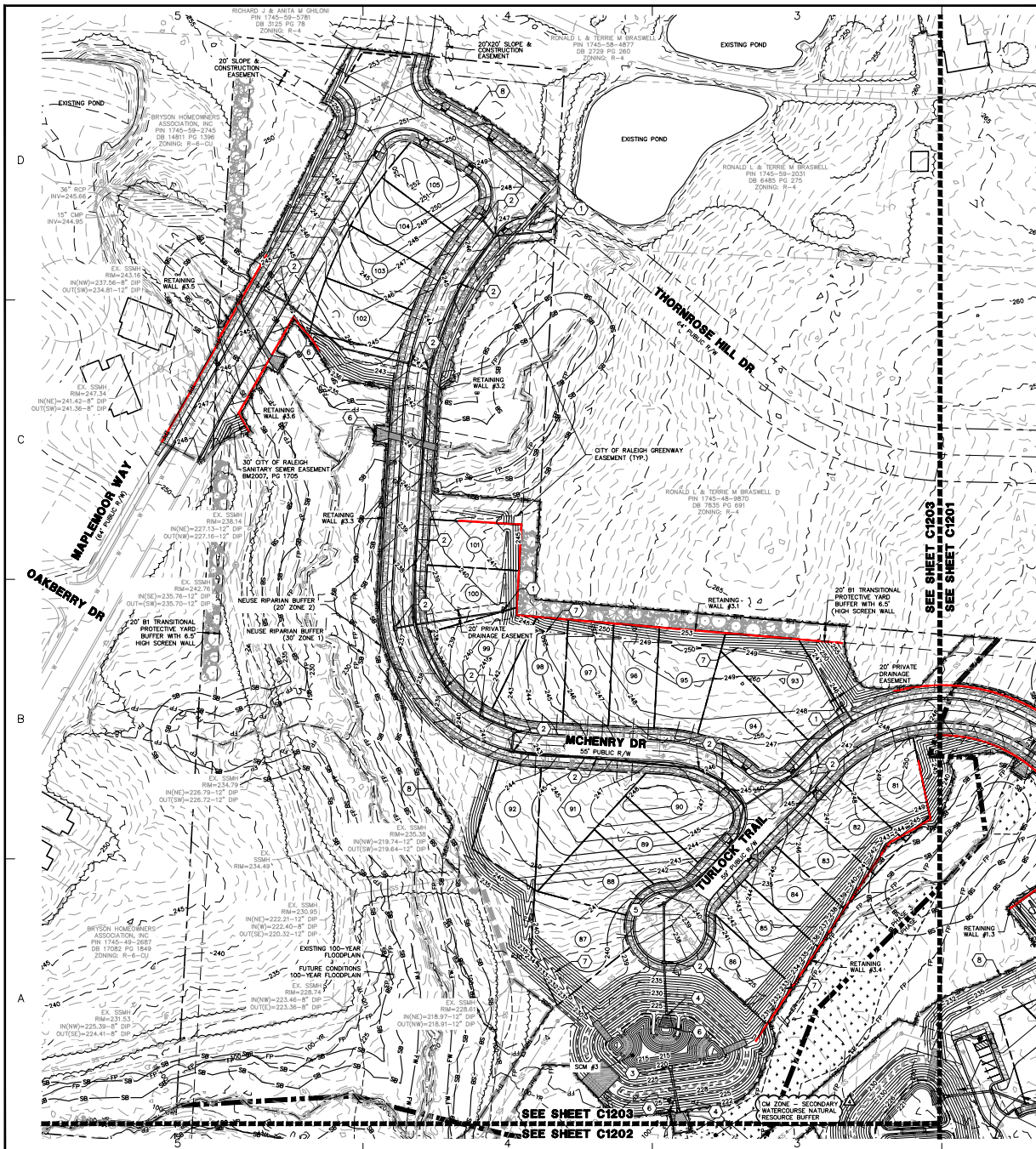
DATE	REVISIONS
09 MAY 24	FOR SUBMITTAL #1
09 MAY 24	FOR SUBMITTAL #1
18 JUN 24	FOR SUBMITTAL #1
18 JUN 24	FOR SUBMITTAL #1

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 12101029
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET
C1202



GRADING AND DRAINAGE NOTES

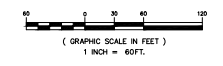
1. SEE SHEET C1200 FOR GRADING/DRAINAGE AND RETAINING WALL NOTES.

PLAN KEY NOTES

- ① DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
- ② STANDARD CATCH BASIN (TYP.)
- ③ RISER STRUCTURE
- ④ FLARED END SECTION (TYP.)
- ⑤ JUNCTION BOX (TYP.)
- ⑥ RIP RAP APRON (TYP.)
- ⑦ PERMANENT DITCH (TYP.)
- ⑧ TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	STORM DRAIN LINE
---	---	HOPE STORM DRAIN LINE
---	---	SWALE CENTERLINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	GAS LINE
---	---	TREE LINE
---	---	PERENNIAL STREAM
---	---	100-YR FLOODWAY LINE
---	---	FM PRIMARY WATERCOURSE
---	---	NATURAL RESOURCE BUFFER
---	---	STREAM BUFFER
---	---	CM SECONDARY WATERCOURSE
---	---	NATURAL RESOURCE BUFFER
---	---	WETLANDS
---	---	240 MAJOR CONTOUR
---	---	242 MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	TREE PROTECTION FENCE
---	---	SION
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	POWER POLE
---	---	ELECTRIC TRANSFORMER



GRADING PLAN ENLARGEMENT #3
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF DALEIGH.

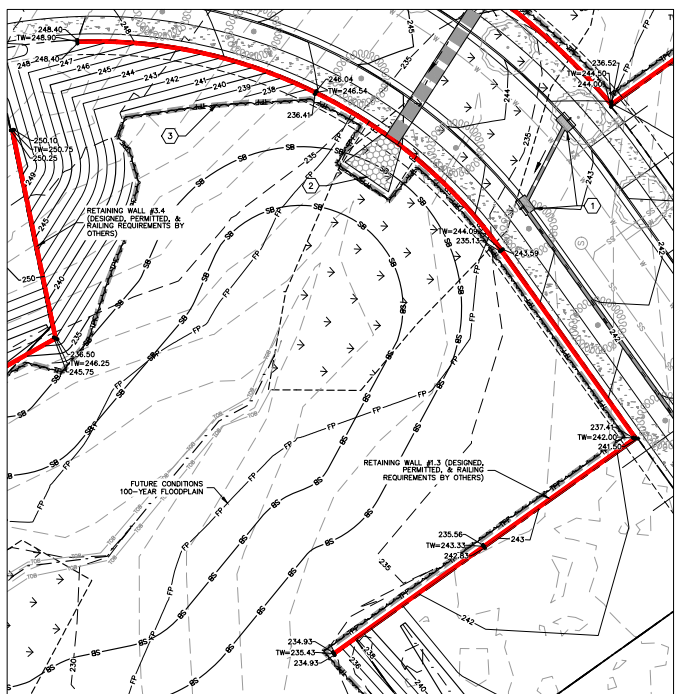
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF DALEIGH, WAKE COUNTY, NCEC AND NCDDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

**MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA**

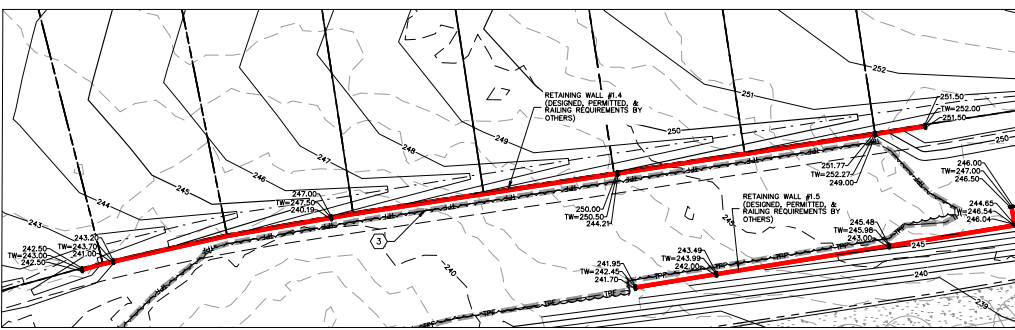
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

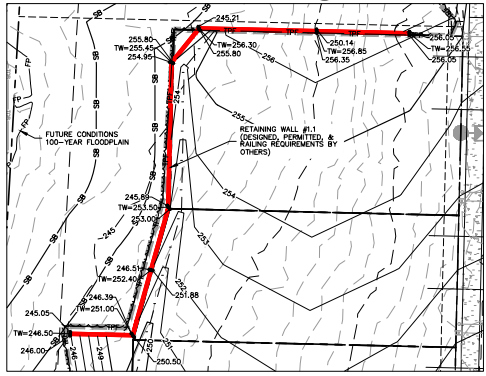
**SHEET
C1203**



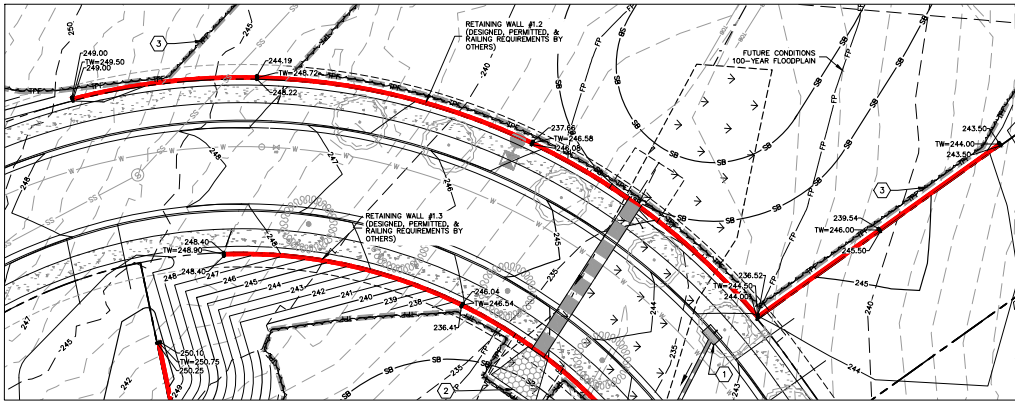
B0
RETAINING WALL #1.3
SCALE: 1" = 20'



C2
RETAINING WALLS #1.4 & 1.5
SCALE: 1" = 20'



B1
RETAINING WALL #1.1
SCALE: 1" = 20'



B4
RETAINING WALL #1.2
SCALE: 1" = 20'

RETAINING WALL NOTES

- SEE SHEET C1200 FOR GRADING, DRAINAGE, & RETAINING WALL NOTES.
- PLAN KEY NOTES**
- STANDARD CATCH BASIN (TYP.)
 - RIP RAP APRON (TYP.)
 - TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
---	---	STORM DRAIN LINE
---	---	HOPE STORM DRAIN LINE
---	---	SWALE CENTERLINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	GAS LINE
---	---	TREE LINE
---	---	PERSONAL STREAM
---	---	100-YEAR LINE
---	---	FLOODWAY LINE
---	---	CM PRIMARY WATERCOURSE
---	---	NATURAL RESOURCE BUFFER
---	---	STREAM BUFFER
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	SIGN
---	---	CATCH BASIN
---	---	SHOP RALET
---	---	MANHOLE BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	POWER POLE
---	---	ELECTRIC TRANSFORMER



RETAINING WALL ENLARGEMENT #1

REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, PA
1214 West 10th Street
Charlotte, NC 28202
Phone: 704.375.1234
Fax: 704.375.1235
www.balentine.com

Digitally signed by W. Smith
Date: 2024.06.18 17:02:28 -0400

DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
09 MAY 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
KE HOME CAROLINAS DIVISION
1000 S. MAIN BLVD
SUITE #100
DURHAM, NC 27701
BUSINESS REPRESENTATIVE:
PAUL SCOTT JOHNSON
PH: (919) 422-9606
FAX: (919) 422-9606
EMAIL: paul.scott@ke.com

DATE	BY	DESCRIPTION
09 FEB 24	W. SMITH	PSP SUBMITTAL #1
09 MAY 24	W. SMITH	PSP SUBMITTAL #2
18 JUN 24	W. SMITH	PSP SUBMITTAL #3

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.G.B.
REVIEWED BY: D.W.S.

SHEET
C1204



DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PREPARED FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PREPARED FOR CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
KB HOMES CAROLINAS DIVISION
200 S. WARR BLVD
DURHAM, NC 27709
BUSINESS REPRESENTATIVE:
PAUL SCOTT JOHNSON
P: (919) 422-8606
F: (919) 422-8600
EMAIL: paul.scott@kb.com

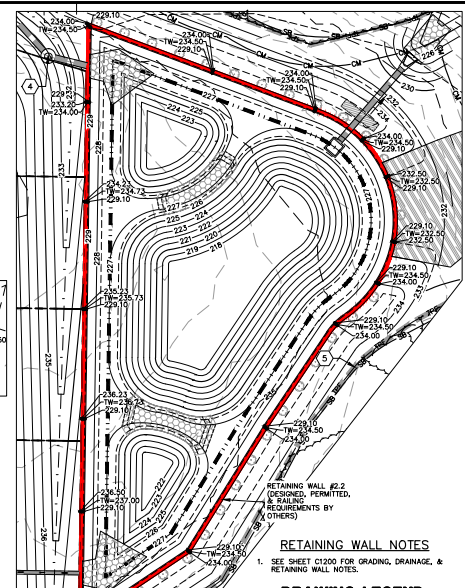
DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PSP SUBMITTAL #1
18 JUN 24	W. SMITH	PSP SUBMITTAL #2

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

SUB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.G.B.
REVIEWED BY: D.W.S.

SHEET
C1205

Digitally signed by W. Smith
Date: 2024.06.26 17:02:25 -04'



RETAINING WALL NOTES

- SEE SHEET C1200 FOR GRADING, DRAINAGE, & RETAINING WALL NOTES.

DRAWING LEGEND

SYMBOL / ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	STORM DRAIN LINE
---	---	---	HOPE STORM DRAIN LINE
---	---	---	SINGLE CENTERLINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	TREE LINE
---	---	---	PERENNIAL STREAM
---	---	---	100-YEAR LINE
---	---	---	FLOODWAY LINE
---	---	---	CM PRIMARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	STREAM BUFFER
---	---	---	MELARDS
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	RETAINING WALL
---	---	---	LIMITS OF DISTURBANCE
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	SANITARY SEWER MANHOLE
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER

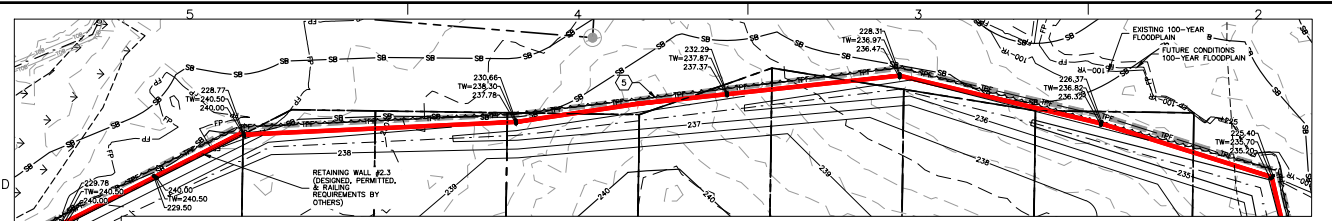
PLAN KEY NOTES

- DROP INLET W/ STANDARD 24"x24" GRADE (TYP.)
- STANDARD CATCH BASIN (TYP.)
- RIP RAP APRON (TYP.)
- JUNCTION BOX (TYP.)
- TREE PROTECTION FENCE (TYP.)

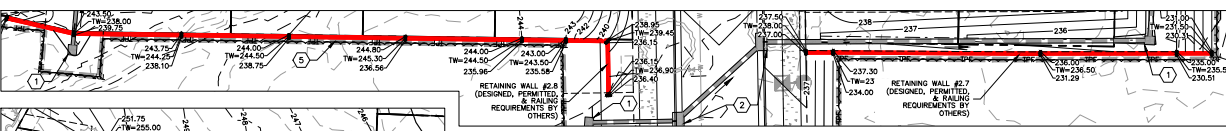


(GRAPHIC SCALE IN FEET)
1 INCH = 20FT.

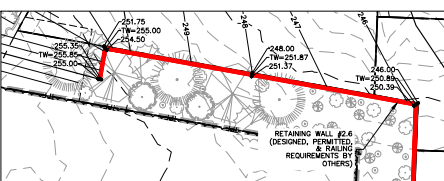
RETAINING WALL ENLARGEMENT #2
RETAINING WALL DRAWING
NOT FOR CONSTRUCTION



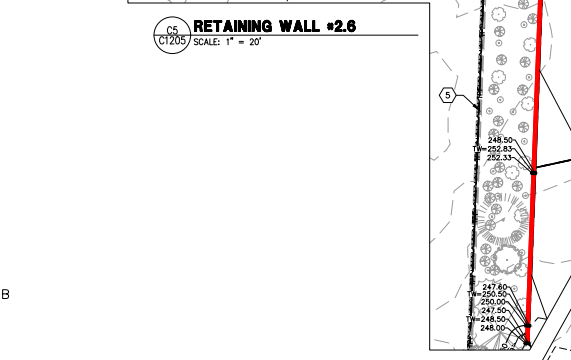
D4 RETAINING WALL #2.3
SCALE: 1" = 20'



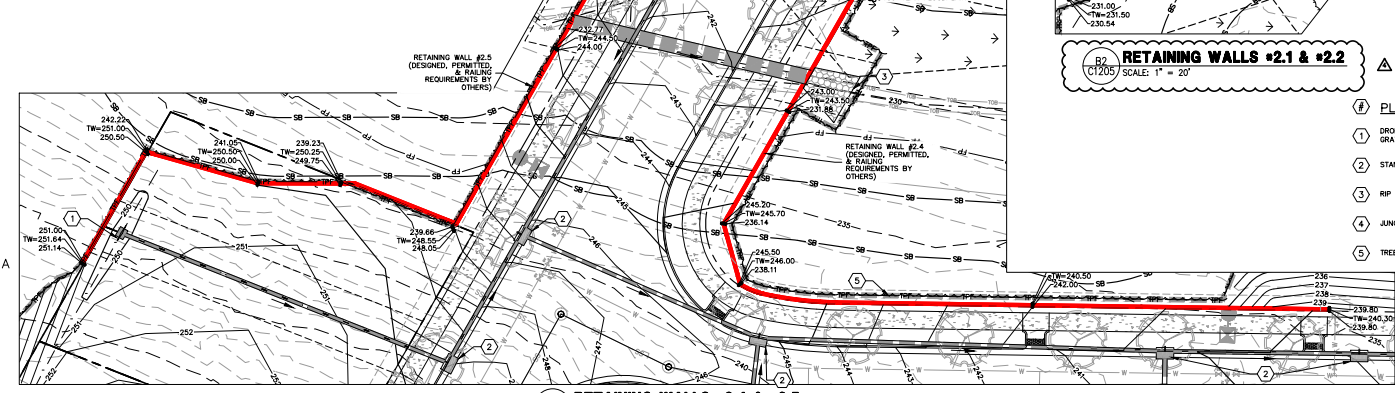
C3 RETAINING WALL #2.7 & #2.8
SCALE: 1" = 20'



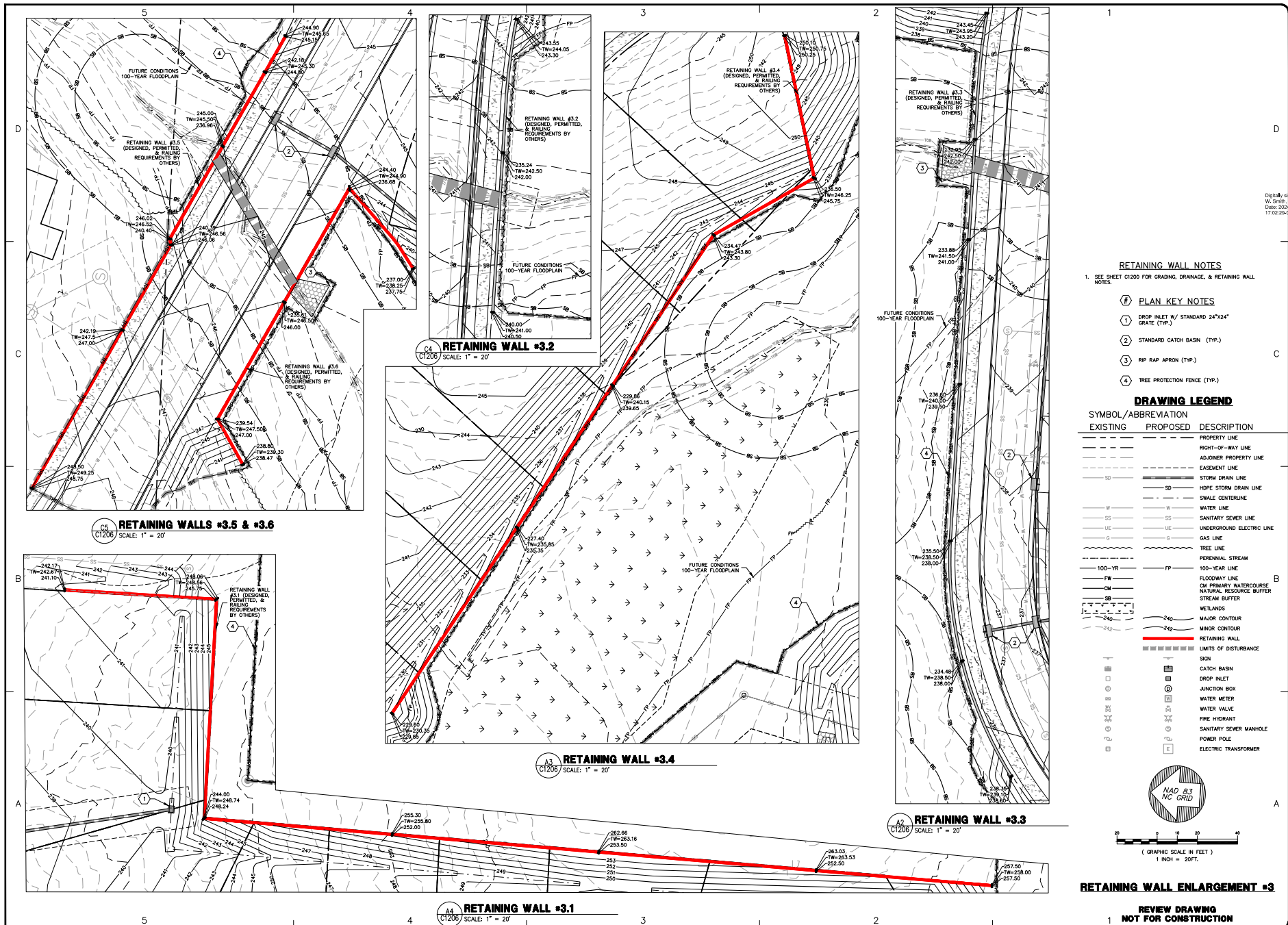
C5 RETAINING WALL #2.6
SCALE: 1" = 20'



B2 RETAINING WALLS #2.1 & #2.2
SCALE: 1" = 20'



A4 RETAINING WALLS #2.4 & #2.5
SCALE: 1" = 20'

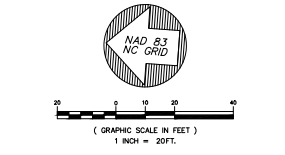


RETAINING WALL NOTES
 1. SEE SHEET C1200 FOR GRADING, DRAINAGE, & RETAINING WALL NOTES.

- PLAN KEY NOTES**
- 1 DROP INLET W/ STANDARD 24"x24" GRATE (TYP.)
 - 2 STANDARD CATCH BASIN (TYP.)
 - 3 RIP RAP APRON (TYP.)
 - 4 TREE PROTECTION FENCE (TYP.)

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
---	---	---	EASEMENT LINE
SD	SD	SD	STORM DRAIN LINE
---	---	---	HDPE STORM DRAIN LINE
---	---	---	SWALE CENTERLINE
W	W	W	WATER LINE
SS	SS	SS	SANITARY SEWER LINE
UE	UE	UE	UNDERGROUND ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	TREE LINE
---	---	---	PERENNIAL STREAM
100-YR	FP	FP	100-YEAR LINE
FW	FW	FW	FLOODWAY LINE
CM	CM	CM	CM PRIMARY WATERCOURSE
SB	SB	SB	NATURAL RESOURCE BUFFER
---	---	---	STREAM BUFFER
---	---	---	WETLANDS
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	RETAINING WALL
---	---	---	LIMITS OF DISTURBANCE
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	SANITARY SEWER MANHOLE
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER



RETAINING WALL ENLARGEMENT #3
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

Balentine Associates, PA
 1241 HUNTERS CREEK DRIVE, SUITE 100, RALEIGH, NC 27602
 919.876.8200
 www.balentine.com

DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
09 MAY 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. SMITH	PER CITY OF RALEIGH REVIEW COMMENTS

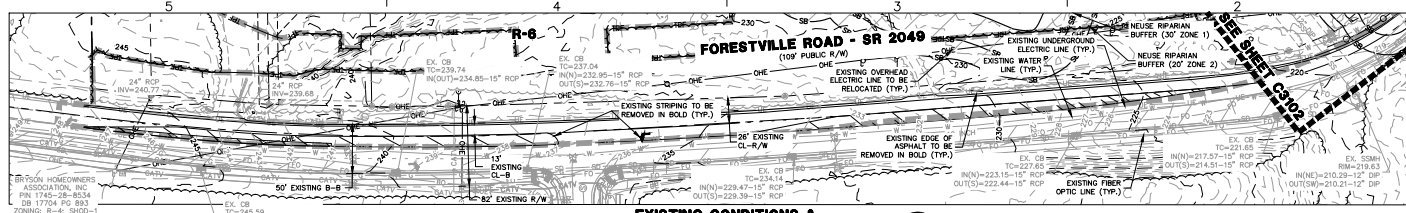
OWNER INFORMATION
 KE HOME CAROLINA DIVISION
 2606 S. HARRIS BLVD
 SUITE #100
 DURHAM, NC 27709
 BUSINESS REPRESENTATIVE:
 PA: SCOTT JOHNSON
 TEL: (919) 422-2606
 FAX: (919) 422-2600
 EMAIL: SJOHNSON@KE.COM

DATE	BY	DESCRIPTION
09 MAY 24	W. SMITH	PER SUBMITTAL #1
18 JUN 24	W. SMITH	PER SUBMITTAL #2
09 MAY 24	W. SMITH	PER SUBMITTAL #3
18 JUN 24	W. SMITH	PER SUBMITTAL #4

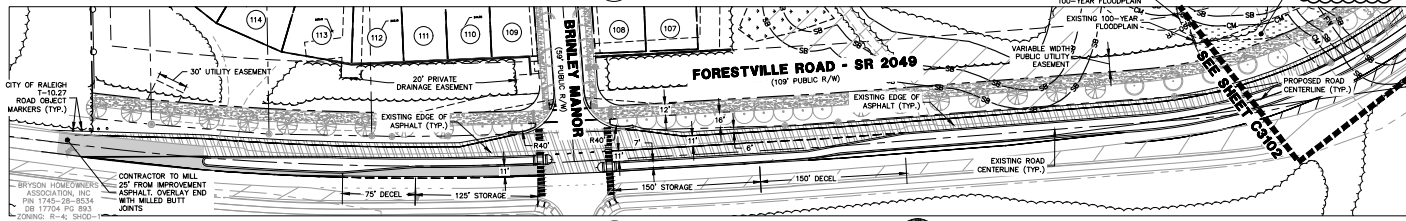
MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JUN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

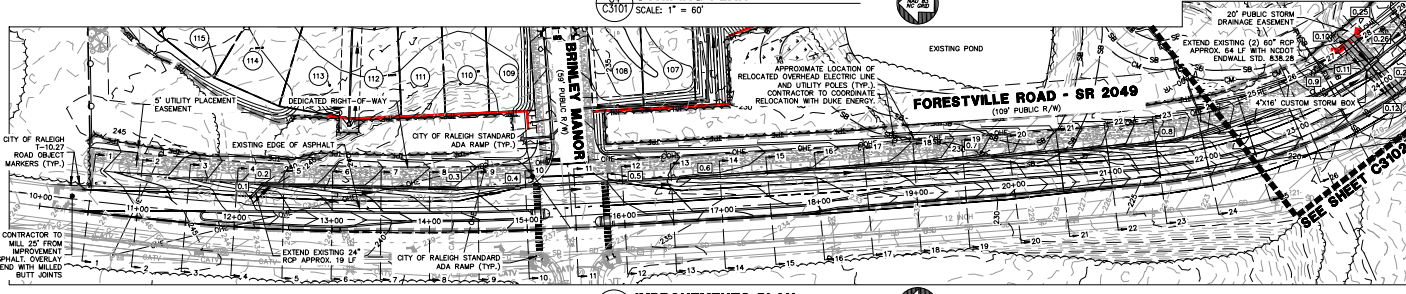
SHEET
C1206



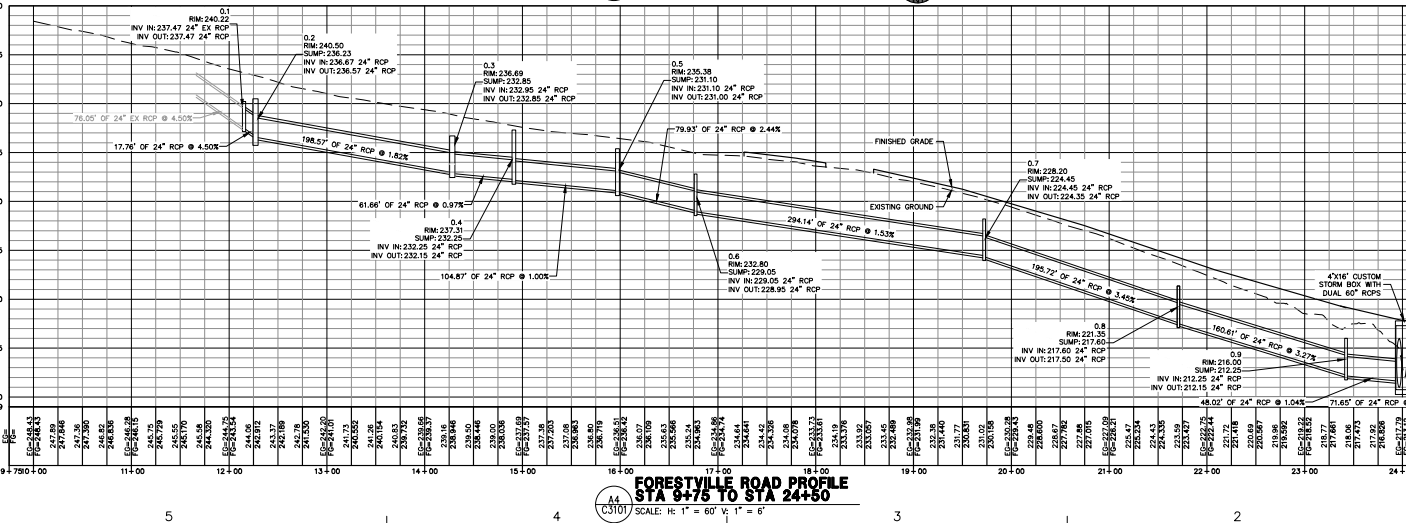
EXISTING CONDITIONS & DEMOLITION PLAN
SCALE: 1" = 60'



STRIPING PLAN
SCALE: 1" = 60'



IMPROVEMENTS PLAN
SCALE: 1" = 60'

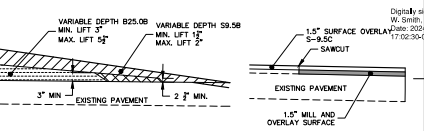


**FORESTVILLE ROAD PROFILE
STA 9+75 TO STA 24+50**
SCALE: H: 1" = 60' V: 1" = 6'

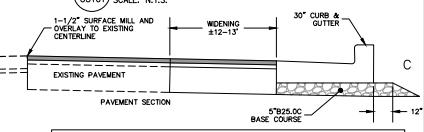
- NOTES**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDES AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.
 - BEFORE BEGINNING ANY CONSTRUCTION, FIELD SURVEY SHALL VERIFY THE LOCATION, DEPTH, SIZE, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES. IN CASE OF CONFLICT OR IF DIFFERENT THAN PLANS, NOTIFY THE ENGINEER IMMEDIATELY.
 - NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF REMAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- TRAFFIC CONTROL NOTES**
- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 - ALL SIGNS SHALL BE MOUNTED WITHIN 5-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 4x4 GALVANIZED STEEL CHANGING POST SET IN 3'-FEET DEEP X 12-INCH DIAMETER CONCRETE FOOTING.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS AND SPECIFICATIONS.
 - ALL SIGNAGE SHALL BE FIELD STAGED AND THE LOCATIONS APPROVED BY NCDOT INSPECTOR PRIOR TO SIGN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY NCDOT.

- TRAFFIC IMPACT ANALYSIS (SC-2022-127)**
- SEE SHEET C3102 FOR TRAFFIC IMPACT ANALYSIS LANE CONFIGURATION RECOMMENDATIONS.



WEDGING DETAIL, RESURFACING & MILLING DETAIL
SCALE: N.T.S.



OVERLAY DETAIL
SCALE: N.T.S.

DRAWING LEGEND

SYMBOL / ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
---	---	---	EASEMENT LINE
SD	SD	SD	STORM DRAIN LINE
---	---	---	HOPE STORM DRAIN LINE
---	---	---	SHALE CENTERLINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	TREE LINE
---	---	---	PERENNIAL STREAM
---	---	---	100-YEAR LINE
---	---	---	FLOODPLAIN LINE
---	---	---	OF PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	OF SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	OF TERTIARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	RETAINING WALL
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	SANITARY SEWER MANHOLE
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER
---	---	---	HEAVY DUTY ASPHALT PAVEMENT
---	---	---	1.5" 59.5C SURFACE COURSE OVERLAY ON EXISTING ASPHALT

**FORESTVILLE RD
EXISTING CONDITIONS, STRIPING, AND
IMPROVEMENTS PLAN & PROFILE
REVIEW DRAWING
NOT FOR CONSTRUCTION**

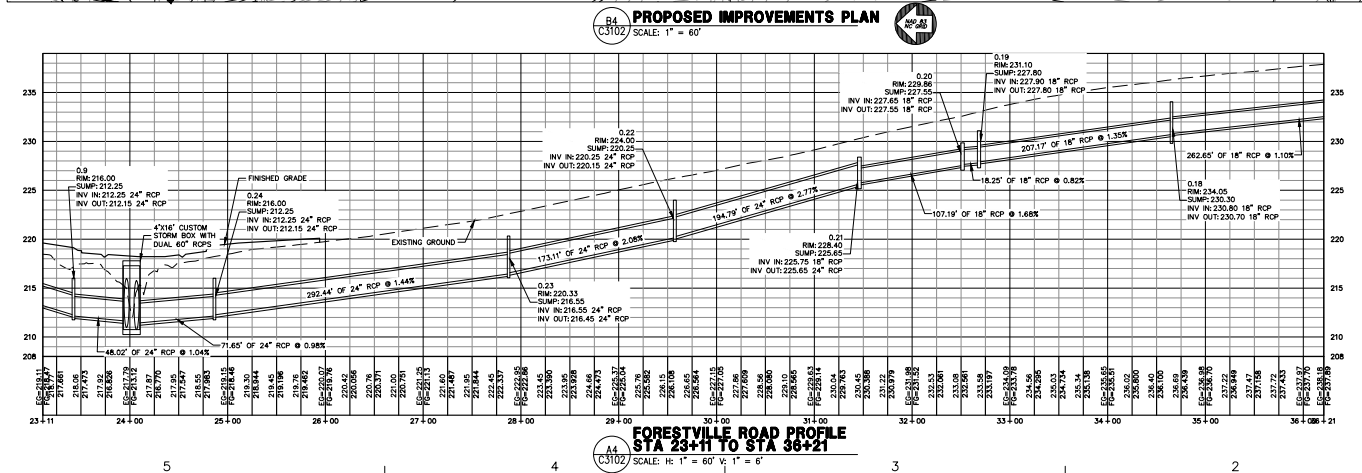
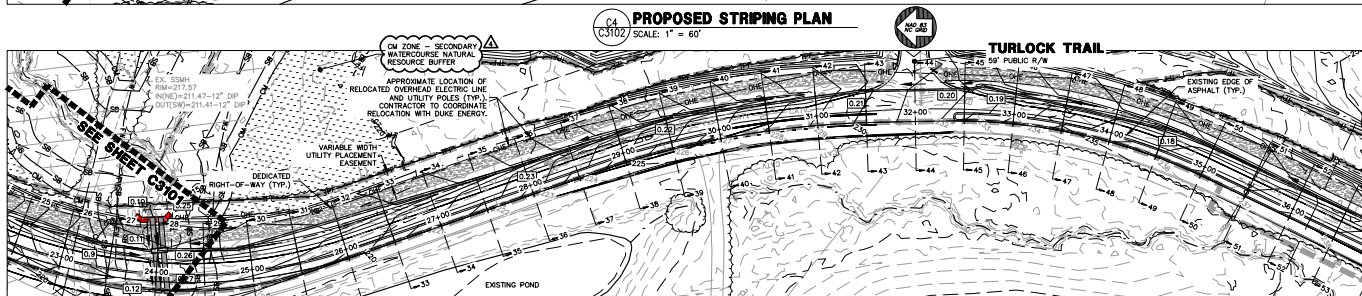
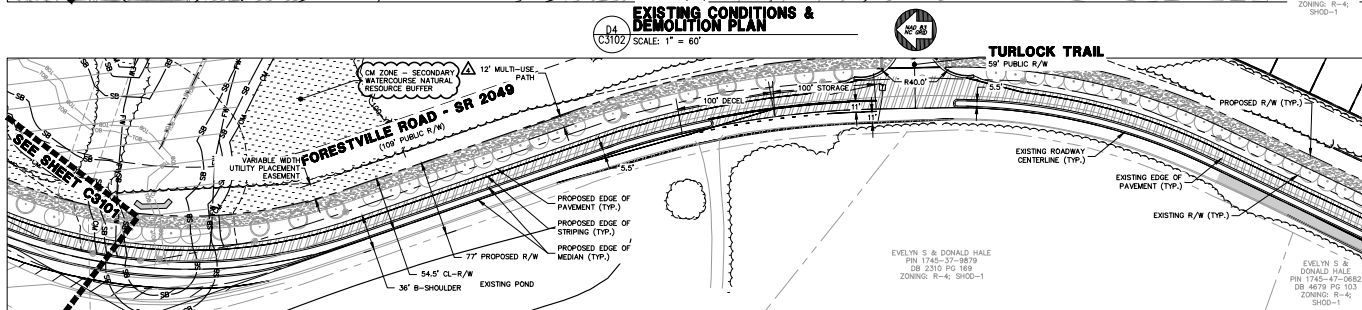
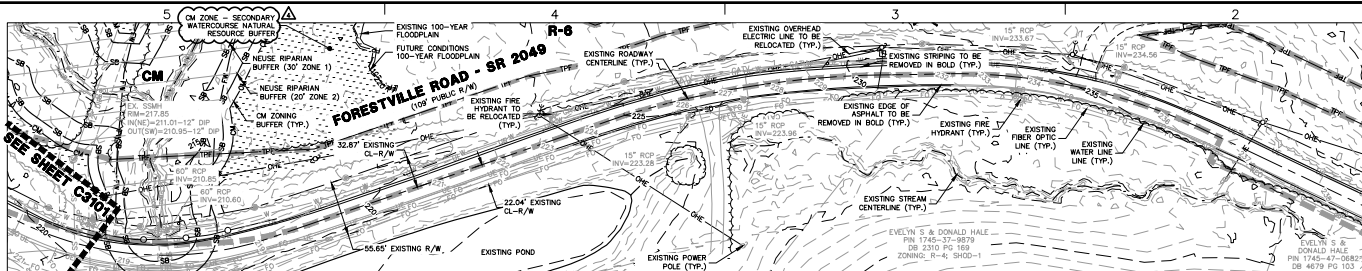
Balentine Associates, PA
1214 HUNTERS LANE, SUITE 100, RALEIGH, NC 27605
PH: (919) 876-1000 FAX: (919) 876-1001
WWW.BALENTINE.COM

**MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA**

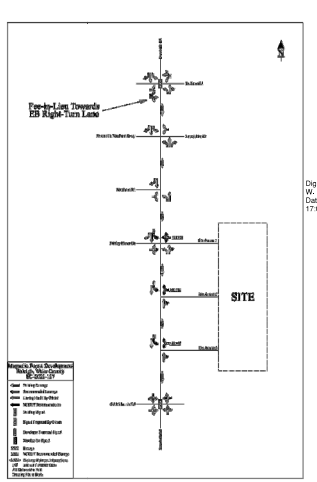
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JAN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

**SHEET
C3101**



NOTES
 1. SEE C3101 FOR EXISTING CONDITIONS, STRIPING, IMPROVEMENTS AND TRAFFIC CONTROL NOTES & DETAILS.
TRAFFIC IMPACT ANALYSIS (SC-2022-127)



DRAWING LEGEND

SYMBOL/ABBREVIATION	DESCRIPTION
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJONER PROPERTY LINE
---	EASEMENT LINE
---	STORM DRAIN LINE
---	HOPE STORM DRAIN LINE
---	SWALE CENTERLINE
---	WATER LINE
---	SANITARY SEWER LINE
---	UNDERGROUND ELECTRIC LINE
---	GAS LINE
---	TREE LINE
---	PERENNIAL STREAM
---	100-YR FLOODWAY LINE
---	100-YEAR LINE
---	CM PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	CM SECONDARY WATERCOURSE NATURAL RESOURCE BUFFER
---	CM ZONE
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	RETAINING WALL
---	LIMITS OF DISTURBANCE
---	TPF
---	TREE PROTECTION FENCE
---	SIGN
---	CATCH BASIN
---	DROP INLET
---	JUNCTION BOX
---	WATER METER
---	WATER VALVE
---	FIRE HYDRANT
---	SANITARY SEWER MANHOLE
---	POWER POLE
---	ELECTRIC TRANSFORMER
---	HEAVY DUTY ASPHALT PAVEMENT
---	1.5" 50.5C SURFACE COURSE OVERLAY ON EXISTING ASPHALT PAVEMENT

FORESTVILLE RD EXISTING CONDITIONS, STRIPING, AND IMPROVEMENTS PLAN & PROFILE
 REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, P.A.
 2241 HUNTERS BLVD
 CHARLOTTE, NC 28205
 TEL: 704.366.1100
 FAX: 704.366.1101
 WWW.BALENTINE.COM

OWNER INFORMATION
 KR. HOMES CAROLINAS DIVISION
 1000 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27701
 BUSINESS REPRESENTATIVE:
 P. SCOTT JOHNSON
 P: (919) 422-8606
 F: (919) 422-8606
 EMAIL: SCOTT@KR.COM

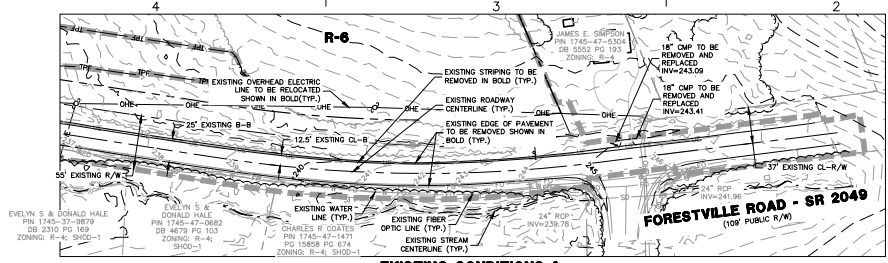
DATE
 DATE: 26 JUN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

REVISIONS

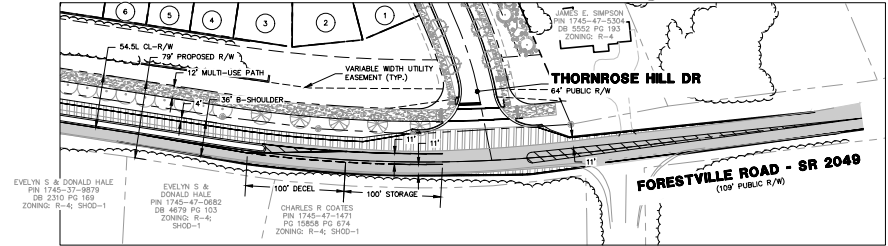
NO.	DATE	DESCRIPTION
1	09 MAY 24	PER CITY OF RALEIGH REVIEW COMMENTS
2	09 MAY 24	PER CITY OF RALEIGH REVIEW COMMENTS
3	18 JUN 24	PER CITY OF RALEIGH REVIEW COMMENTS

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

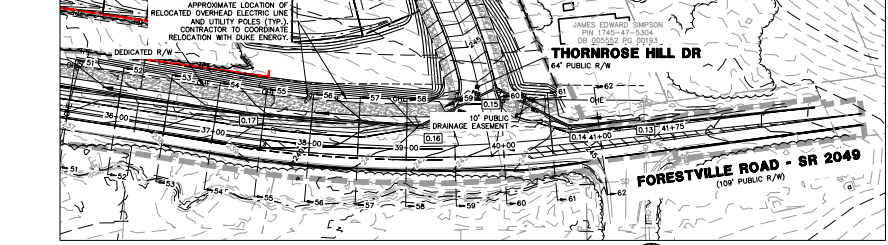
SHEET C3102



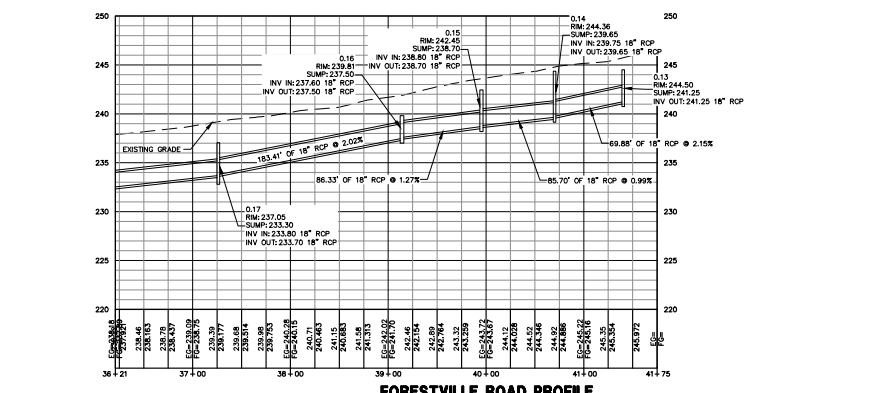
D3
C3103 SCALE: 1" = 60'



C3
C3103 SCALE: 1" = 60'



B3
C3103 SCALE: 1" = 60'



A3
C3103 SCALE: H: 1" = 60'; V: 1" = 6'

NOTES

- SEE C3101 FOR EXISTING CONDITIONS, STRIPING, IMPROVEMENTS AND TRAFFIC CONTROL NOTES & DETAILS.
- TRAFFIC IMPACT ANALYSIS (SC-2022-127)
- SEE SHEET C3102 FOR TRAFFIC IMPACT ANALYSIS LANE CONFIGURATION RECOMMENDATIONS.

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
---	---	STORM DRAIN LINE
---	---	HOPE STORM DRAIN LINE
---	---	SHALE CENTERLINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	GAS LINE
---	---	TREE LINE
---	---	PERENNIAL STREAM
---	---	100-YEAR LINE
---	---	FLOODWAY LINE
---	---	OF PRIMARY WATERCOURSE NATURAL RESOURCE BUFFER
---	---	STREAM BUFFER
---	---	WETLANDS
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	RETAINING WALL
---	---	LIMITS OF DISTURBANCE
---	---	TYP
---	---	TRIP PROTECTION FENCE
---	---	SIGN
---	---	CATCH BASIN
---	---	DROP INLET
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	POWER POLE
---	---	ELECTRIC TRANSFORMER
---	---	HEAVY DUTY ASPHALT PAVEMENT
---	---	1.5" 59.5C SURFACE COURSE OVERLAY ON EXISTING ASPHALT PAVEMENT

FORESTVILLE RD
EXISTING CONDITIONS, STRIPING, AND IMPROVEMENTS PLAN & PROFILE
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, PA
1241 HUNTERS BLVD
SUITE 200
WILKES BARRE, PA 18250
TEL: 717.326.1111
WWW.BALENTINEASSOCIATES.COM

DATE	BY	FOR
09 MAY 24	W.S.	PER CITY OF BALDIGH REVIEW COMMENTS
18 JUN 24	W.S.	PER CITY OF BALDIGH REVIEW COMMENTS

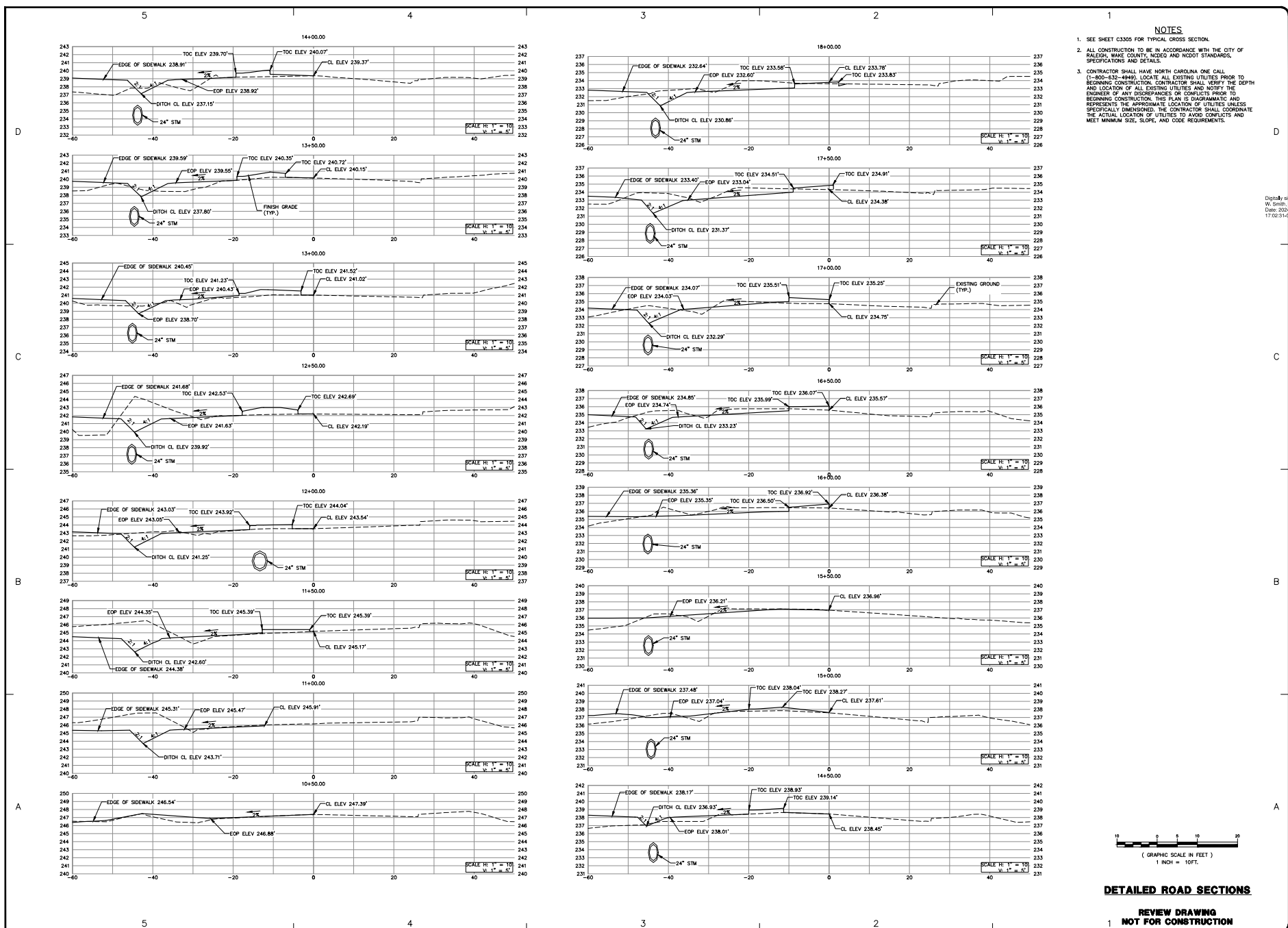
OWNER INFORMATION
KR. HORN'S CAROLINAS DIVISION
200 S. MAIN BLVD
SUITE #100
DURHAM, NC 27702
BUSINESS REPRESENTATIVE:
PAUL SCOTT JOHNSON
PH: (919) 422-2606
FAX: (919) 422-2600
EMAIL: paul.scott@horns.com

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET
C3103



- NOTES**
- SEE SHEET C3305 FOR TYPICAL CROSS SECTION.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, INSDC AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-652-8949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONCERNS PRIOR TO BEGINNING CONSTRUCTION. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.

Balentine Associates, P.A.
 2341 Forestville Road
 Raleigh, NC 27617
 Tel: 919.876.1234
 Fax: 919.876.1235
 www.balentine.com

Digitally signed by W. Smith
 Date: 2023.06.24 17:02:31-0400

DATE	DESCRIPTION
09 MAY 24	FOR CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS

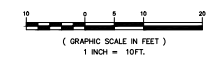
OWNER INFORMATION
 KB HOMES CAROLINAS DIVISION
 100 S. MAIN BLVD
 DURHAM, NC 27701
 BUSINESS REPRESENTATIVE:
 PAUL SCOTT JOHNSON
 TEL: (919) 422-8606
 EMAIL: paul.scott@kb.com

DATE	DESCRIPTION
09 MAY 24	FOR SUBMITTAL #1
18 JUN 24	FOR SUBMITTAL #1

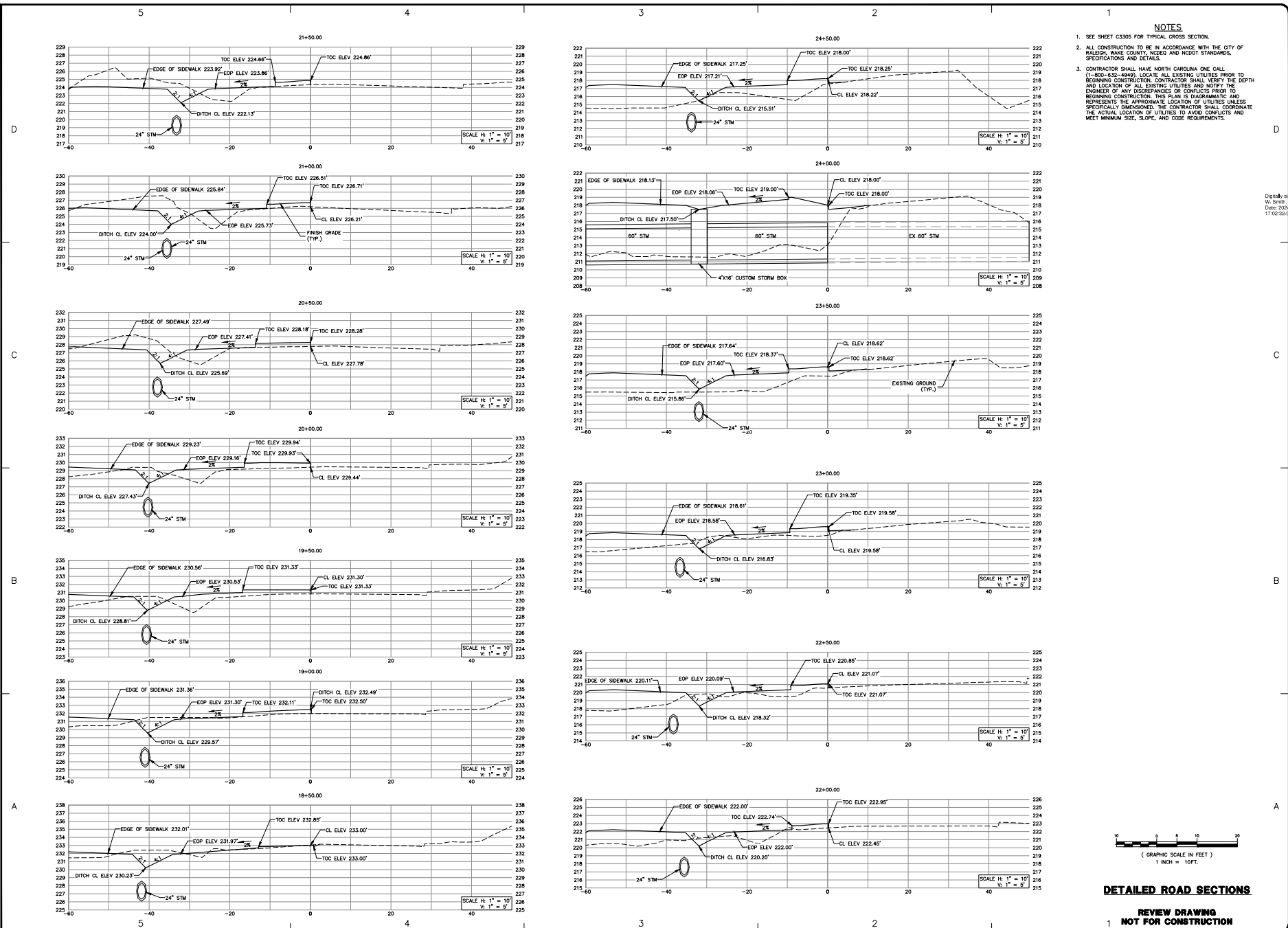
MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

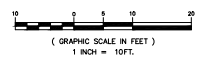
SHEET
C3301



DETAILED ROAD SECTIONS
 REVIEW DRAWING
 NOT FOR CONSTRUCTION



- NOTES**
- SEE SHEET C3305 FOR TYPICAL CROSS SECTION.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, INSPECTION AND NOTIFICATION STANDARDS, SPECIFICATIONS AND DETAILS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.



DETAILED ROAD SECTIONS
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, P.A.
 2210 BIRCH AVE. SUITE 200
 RALEIGH, NC 27601
 TEL: (919) 876-1000
 FAX: (919) 876-1001
 WWW.BALENTINE.COM

DATE	DESCRIPTION
09 MAY 24	FOR PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	FOR PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	FOR PER CITY OF RALEIGH REVIEW COMMENTS

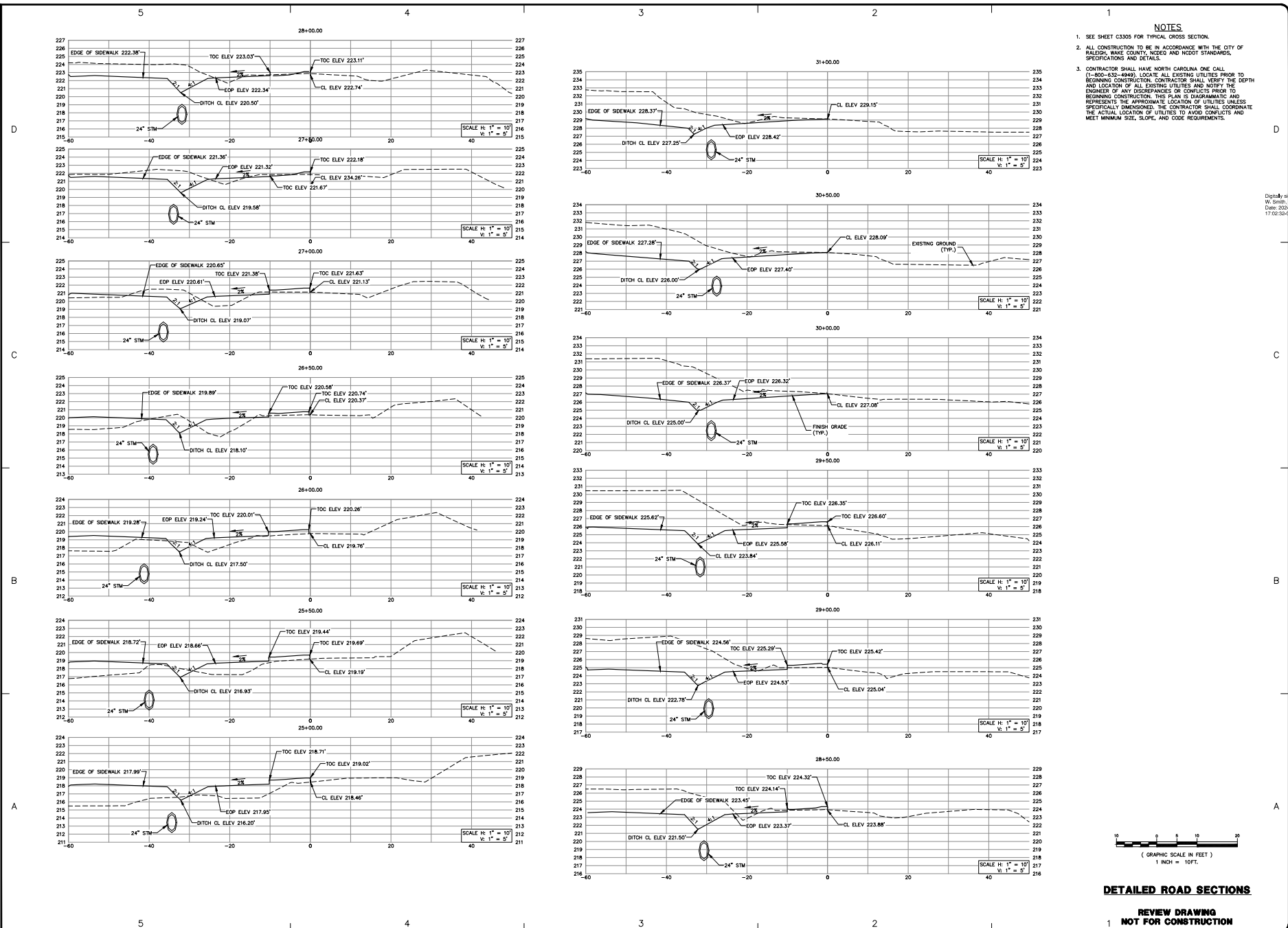
OWNER INFORMATION
 KB HOMES CAROLINA DIVISION
 1000 S. MAIN BLVD
 SUITE #100
 DURHAM, NC 27703
 BUSINESS REPRESENTATIVE:
 PAUL SCOTT JOHNSON
 TEL: (919) 422-8606
 FAX: (919) 422-8600
 EMAIL: paul.scott@kbhomes.com

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

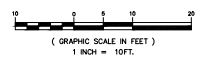
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET
C3302



- NOTES**
- SEE SHEET C3305 FOR TYPICAL CROSS SECTION.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, INSPECTION STANDARDS, SPECIFICATIONS AND DETAILS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.



DETAILED ROAD SECTIONS
REVIEW DRAWING
NOT FOR CONSTRUCTION

Balentine Associates, P.A.
 221 West Hargett Street, Suite 200
 Charlotte, NC 28202
 Tel: 704.375.1234
 Fax: 704.375.1235
 www.balentine.com

DATE	BY	REVISION
09 MAY 24	W. Smith	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. Smith	PER CITY OF RALEIGH REVIEW COMMENTS

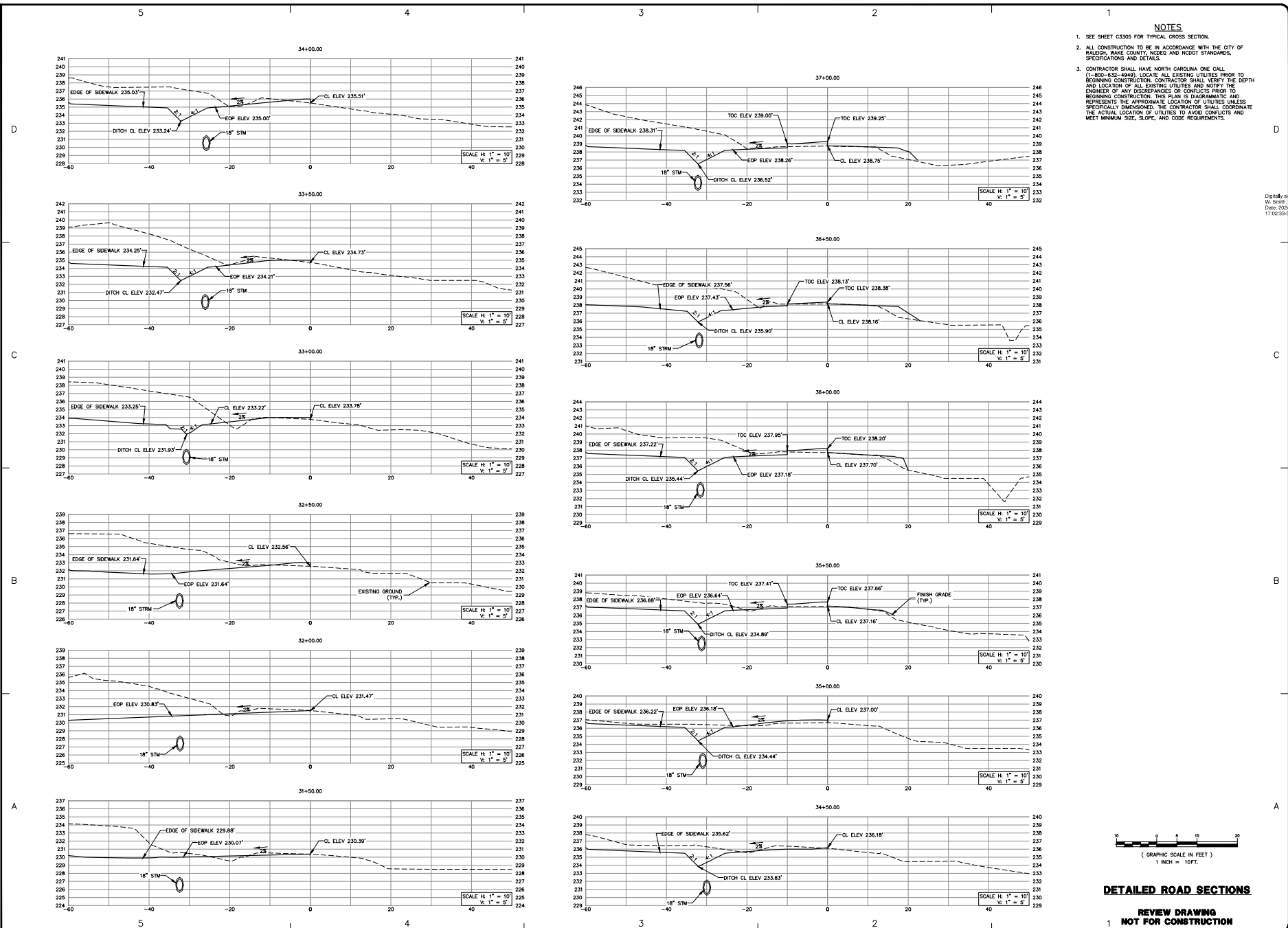
DATE	BY	REVISION
09 MAY 24	W. Smith	PER CITY OF RALEIGH REVIEW COMMENTS
18 JUN 24	W. Smith	PER CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
 KE HOME'S CAROLINAS DIVISION
 100 S. MAIN BLVD
 DURHAM, NC 27702
 BUSINESS REPRESENTATIVE:
 PAUL SCOTT JOHNSON
 P.O. BOX 19100
 RALEIGH, NC 27619
 TEL: (919) 425-2606
 FAX: (919) 425-2600
 EMAIL: paul.scott@keshomes.com

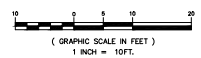
MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.G.B.
 REVIEWED BY: D.W.S.

SHEET
C3303



- NOTES**
- SEE SHEET C3305 FOR TYPICAL CROSS SECTION.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, INSDC AND NCDOT STANDARDS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONCERNS PRIOR TO BEGINNING CONSTRUCTION. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.



DETAILED ROAD SECTIONS
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

Balentine Associates, P.A.
 2341 Forest Hill Road, Raleigh, NC 27605
 Phone: (919) 877-1100
 Fax: (919) 877-1101
 Website: www.balentine.com

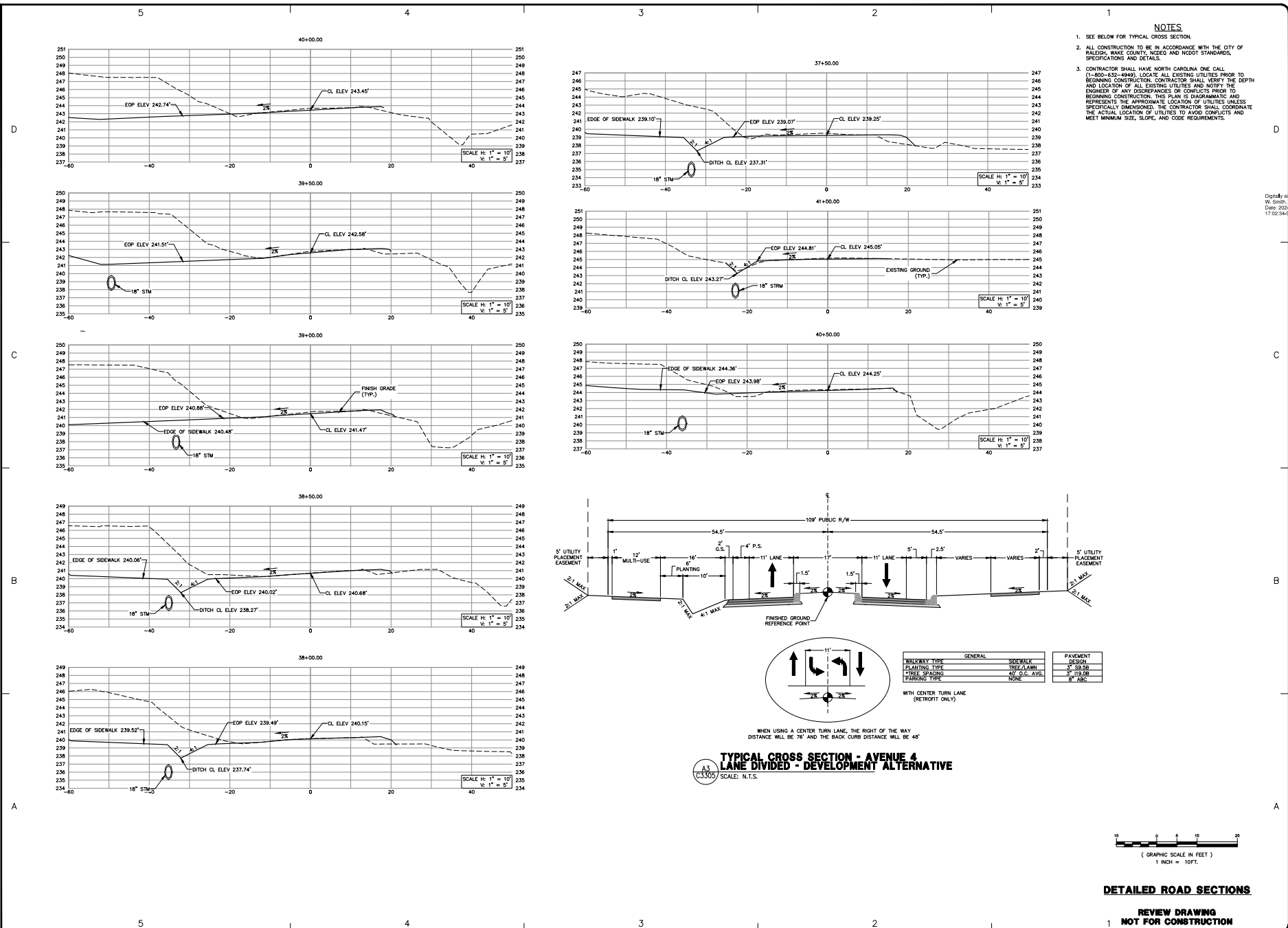
DATE	BY	FOR	REVISION
09 MAY 24	W. Smith	FOR CITY OF RALEIGH REVIEW COMMENTS	1
18 JUN 24	W. Smith	FOR CITY OF RALEIGH REVIEW COMMENTS	2

OWNER INFORMATION
 KE HOME'S CAROLINA DIVISION
 100 S. MAIN BLVD
 DURHAM, NC 27701
 BUSINESS REPRESENTATIVE:
 PAUL SCOTT JOHNSON
 P.O. BOX 10000, 402-2606
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MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
 DATE: 26 JAN 24
 SCALE: AS NOTED
 DRAWN BY: A.C.B.
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SHEET
C3304



Ballentine Associates, P.A.
 12141 HUNTER ROAD, SUITE 200, RALEIGH, NC 27615
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OWNER INFORMATION:
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 EMAIL: paul.scott@hmc.com

DATE: 09 MAY 24
DATE: 09 MAY 24
DATE: 09 MAY 24
DATE: 18 JUN 24

REVISIONS:

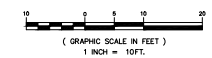
NO.	DATE	DESCRIPTION
1	09 MAY 24	ISSUE FOR CITY OF RALEIGH REVIEW COMMENTS
2	09 MAY 24	ISSUE FOR CITY OF RALEIGH REVIEW COMMENTS
3	09 MAY 24	ISSUE FOR CITY OF RALEIGH REVIEW COMMENTS
4	18 JUN 24	ISSUE FOR CITY OF RALEIGH REVIEW COMMENTS

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

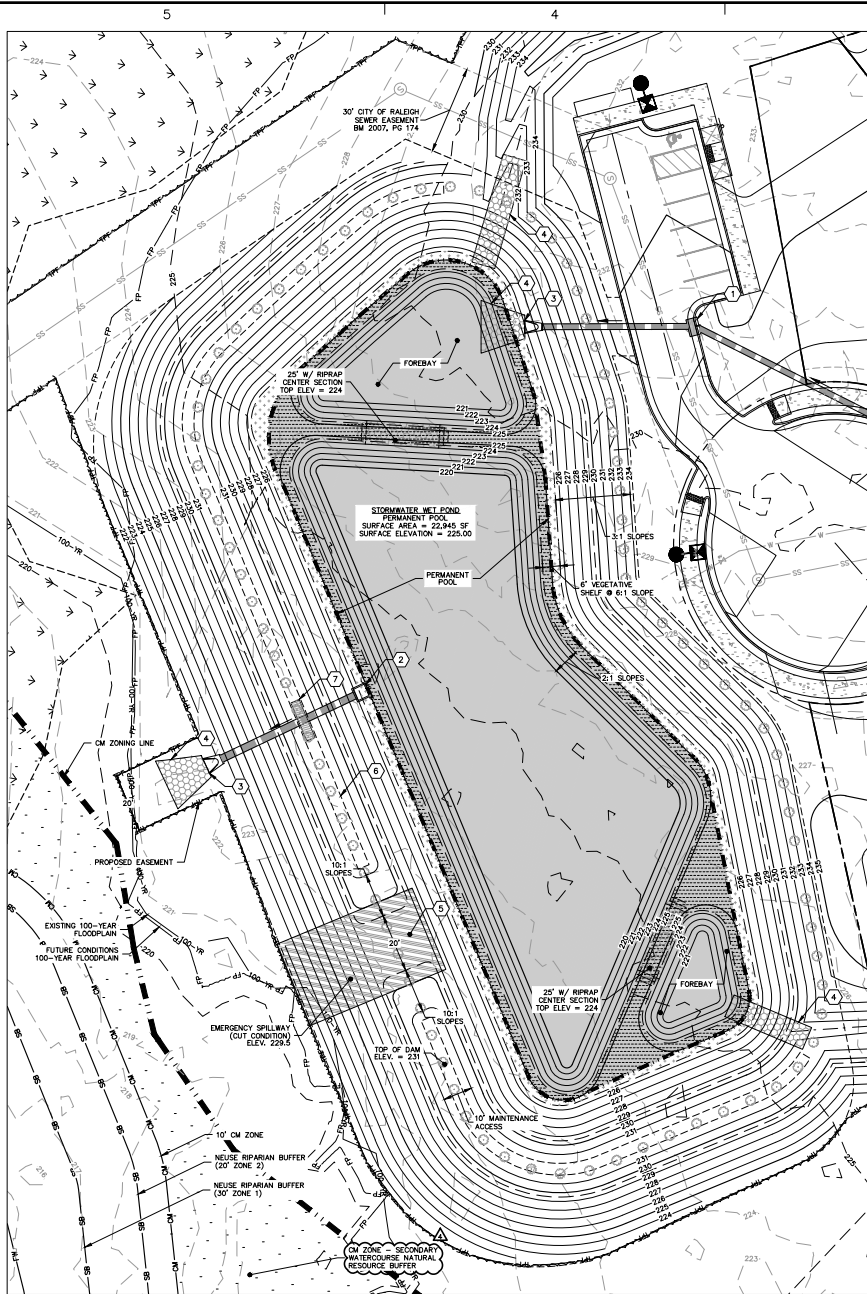
MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
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 DRAWN BY: A.C.B.
 REVIEWED BY: D.W.S.

SHEET C3305



DETAILED ROAD SECTIONS
 REVIEW DRAWING
 NOT FOR CONSTRUCTION



SCM ENLARGEMENT #1
SCALE: 1" = 20'

PLAN KEY NOTES

- 1 STANDARD CATCH BASIN (TYP.)
- 2 RISER STRUCTURE
- 3 FLARED END SECTION (TYP.)
- 4 RIP RAP APRON (TYP.)
- 5 SPILLWAY LINING (TYP.)
- 6 KEY TRENCH (TYP.)
- 7 DRAINAGE DIAPHRAM (TYP.)

WET POND NOTES

1. THE WET POND SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH AND NCEM CONSTRUCTION STANDARDS AND SPECIFICATIONS.
2. PERMANENT SLOPES AROUND THIS WET POND AND BELOW THE TOP OF DAM ELEVATION SHALL NOT EXCEED 3H:1V.
3. ALL ASPECTS OF THE WET POND SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE TO THE APPROVED DRAWINGS. CERTIFICATION OF THE STORMWATER FACILITIES CANNOT BE PROVIDED OTHERWISE.
4. WET POND MUST BE STABILIZED WITHIN 14 DAYS OF CONSTRUCTION.
5. THE ENGINEER'S CERTIFICATION OF COMPLETION WILL BE REQUIRED PRIOR TO THE FINAL PLAT OR CERTIFICATE OF OCCUPANCY. THE STORMWATER CONTROL IS TO BE INSPECTED TO ENSURE IT IS FUNCTIONING AS DESIGNED AND HAS FULL DESIGN VOLUME PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
6. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE STORMWATER CONTROL(S) ACCORDING TO THE APPROVED MAINTENANCE PLAN AND DIRECTION OF THE CITY OF RALEIGH.
7. THE CITY OF RALEIGH AND THEIR ASSIGNS HAVE RIGHT TO ACCESS THE STORMWATER CONTROL(S) FOR INSPECTIONS AND MAINTENANCE, AS NECESSARY.
8. CONSTRUCTION SEDIMENT MUST BE REMOVED FROM THE SCM PRIOR TO ISSUANCE OF ANY 'CO'.
9. IF SEDIMENT ACCUMULATES IN THE FOREBAY IN A MANNER THAT REDUCES ITS DEPTH TO LESS THAN 75 PERCENT OF ITS DESIGN DEPTH, THEN THE FOREBAY SHALL BE CLEANED OUT AND RETURNED TO ITS DESIGN STATE.

WET POND LENGTH-TO-WIDTH RATIO

1. THE WET POND SHALL HAVE A MINIMUM LENGTH-TO-WIDTH RATIO OF 1.5:1.
2. FLOW PATH IS THE SHORTEST DISTANCE BETWEEN ANY INLET AND THE PRINCIPAL OUTLET OF THE POND.

FLOW PATH (LENGTH) = 150 LF.
FLOW WIDTH = 58
LENGTH-TO-WIDTH RATIO = 150 / 58 = 2.59:1

ENGINEER'S STATEMENT OF DAM SAFETY

"IN ACCORDANCE WITH THE REQUIREMENTS IN ARTICLES GS 143-216.25A AND 143-216.25B OF THE NC DAM SAFETY LAW AND NC ADMINISTRATIVE CODE 15A NCAC 2K 0220, THE REGIONAL ENGINEER IN THE WASHINGTON-DADE REGIONAL OFFICE OF THE NC STATE LAND QUALITY SECTION HAS BEEN / WILL BE CONTACTED FOR THE DETERMINATION OF WHETHER THE PROPOSED DAM IS GOVERNED BY OR EXEMPT FOR THE DAM SAFETY LAW."

WET POND CONVERSION SEQUENCE

1. WET POND WILL INITIALLY BE INSTALLED AS A SEDIMENT BASIN.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED PRIOR TO CONVERSION OF THE STORMWATER WET POND.
3. GRADE AND STABILIZE ALL AREAS TRIBUTARY TO THE WET POND AND OBTAIN CONCURRENCE FROM CITY OF RALEIGH THAT THE CONVERSION CAN BE MADE.
4. LEAVE SKIMMER IN PLACE, REMOVE Baffles, GRADE POND BOTTOM AND DAM TO FINAL DIMENSIONS.
5. INSTALL 4" TOPSOIL LAYER ABOVE THE FINISHED GRADE AT THE VEGETATIVE SLOPE.
6. UPON APPROVAL FROM THE CITY OF RALEIGH, REMOVE ANY ACCUMULATED SEDIMENT, REMOVE SKIMMER, INSTALL EMERGENCY SPILLWAY, SPILLWAY LINER, REDUCE POND PLANTINGS, AND SEED ALL DISTURBED AREAS.
7. PROVIDE REFINES OF ANY FIELD ADJUSTMENTS MADE. ENGINEER WILL PERFORM AS-BUILT SURVEY.
8. MAKE ANY ADJUSTMENTS REQUIRED BY ENGINEER FOLLOWING HIS INSPECTION AND REVIEW OF AS-BUILTS.
9. CONVERSION OF THE SEDIMENT BASIN TO A PERMANENT WET POND SHALL NOT BE CONSIDERED COMPLETE UNTIL THE FOLLOWING ITEMS HAVE BEEN COMPLETED:
 - POND HAS BEEN FULLY CONVERTED AND IS BUILT IN ACCORDANCE WITH THE APPROVED DESIGN, AS DETERMINED BY THE ENGINEER.
 - ENGINEER HAS SUBMITTED SCM AND IMPROVED AS-BUILTS, SCHE CERTIFICATION, RECORDED DAM PLAN, AND RECORDED EASEMENTS TO CITY OF RALEIGH.
 - CITY OF RALEIGH PERFORMS INSPECTION OF COMPLETED SCM.

REQUIREMENTS FOR ISSUANCE OF "FINAL CO"

1. SUBMIT A COPY OF RECORDED OPERATION & MAINTENANCE AGREEMENT *AGREEMENT MUST REFERENCE OPERATION & MAINTENANCE PLAN FOR SCM.
2. SUBMIT A COPY OF RECORDED EASEMENT PLAT *PLAT MUST REFERENCE OPERATION & MAINTENANCE PLAN FOR SCM.
3. SUBMIT SIGNED & SEALED ENGINEERS' CERTIFICATION.
4. SUBMIT SURVEYED "AS-BUILT" OF SCM.
5. FINAL INSPECTION TO BE PERFORMED BY CITY OF RALEIGH WATER RESOURCES DEPARTMENT.

WET POND SURFACE LEGEND SCM #1

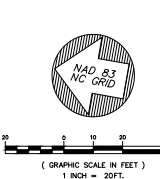
- SHALLOW LAND - ELEV. 225.5
* (0.0' - 0.5') = 2,158 SF
 - SHALLOW WATER - ELEV. 224.5
* (-0.5' - 0.0') = 3,555 SF
 - PERMANENT POOL - ELEV. 225.0
- * MEASURED FROM PERMANENT POOL, ELEV. 225.0

DAM CONSTRUCTION SPECIFICATIONS

1. CONTROLLED FILL IN THE DAM EMBANKMENT SECTION SHALL BE PLACED IN 6-INCH LAYERS AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE OF 5% OR - 2% OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698.
2. ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO THE COMPARISON OF THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED UNLESS GREATER THAN 5% IN ANY DIRECTION SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
3. FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURES OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
4. ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARPED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.
5. SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.
6. FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSTABLE SOILS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.
7. TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION DETAILED, AND ROCK FOUNDATION PREPARATION (I.E. TREATMENT WITH SLUSH GROUTING, DENTAL CONCRETE, ETC.) MAY BE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.
8. FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED TO THAT LETS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.
9. EARTHWORK COMPACTION WITHIN 3 FEET OF ANY STRUCTURE SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS, PLATE COMPACTORS, OR MINATURE SELF-PROPELLED ROLLERS.
10. COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
11. HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURE TIME HAS ELAPSED.
12. BASIN SIDE SLOPES SHALL BE STABILIZED WITH VEGETATION ABOVE THE PERMANENT POOL LEVEL. ALL DISTURBED GROUND AREAS AND EMBANKMENTS SURROUNDING THE POND SHALL HAVE PERMANENT GROUND COVERS IN ACCORDANCE WITH WAKE COUNTY AND NCEM GUIDELINES. WEEDING/LOVEGRASS SHALL NOT BE INCORPORATED INTO THE GROUND COVER FOR THE DAM EMBANKMENT.
13. A CUTOFF TRENCH (KEY TRENCH) MEETING DAM CONSTRUCTION SPECIFICATIONS SHALL BE INCORPORATED. TRENCH SHALL BE A MINIMUM WIDTH OF FIVE FEET (5') AND CENTERED ON THE CENTERLINE OF THE DAM. THE CUTOFF TRENCH SHALL EXTEND TO A MINIMUM DEPTH OF TWO FEET (2'). HOWEVER IN ALL CASES IT SHALL EXTEND INTO SOILS SUITABLE FOR THE EMBANKMENT FOUNDATION.
14. PRINCIPAL SPILLWAY PIPES SHALL HAVE A MINIMUM PIPE STRENGTH CONFORMING TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) C-78, CLASS B STANDARDS. THE RUBBER-GASKETTED JOINT PIPE SHALL ALSO BE WRAPPED WITH A LAYER OF GEOTEXTILE FILTER FABRIC ON THE OUTSIDE OF THE PIPE AT EACH JOINT. THE FABRIC SHALL MEET NCDOT SPECIFICATIONS FOR TYPE I FILTER FABRIC. THE FABRIC JOINT SHALL BE BETWEEN TWO AND THREE FEET WIDE, SHALL BE CENTERED OVER EACH PIPE JOINT, AND SHALL COVER A MINIMUM OF ONE-FOOT LENGTH OF EACH PIPE SEGMENT.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	CM ZONING LINE
---	---	---	STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	TREE LINE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE
---	---	---	WETLANDS
---	---	---	100-YEAR FLOOD LINE
---	---	---	PERENNIAL STREAM
---	---	---	CM PRIMARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	STREAM BUFFER
---	---	---	ON SECONDARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	SANITARY SEWER MANHOLE
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT



SCM ENLARGEMENT #1

REVIEW DRAWING NOT FOR CONSTRUCTION

Balentine Associates, P.A.
2214 HUNTERS BLVD. SUITE 100, RALEIGH, NC 27604
TEL: 919.877.1234 FAX: 919.877.1235
WWW.BALENTINEASSOCIATES.COM

DATE	BY	DESCRIPTION
09 JUN 24
09 MAY 24
09 FEB 24

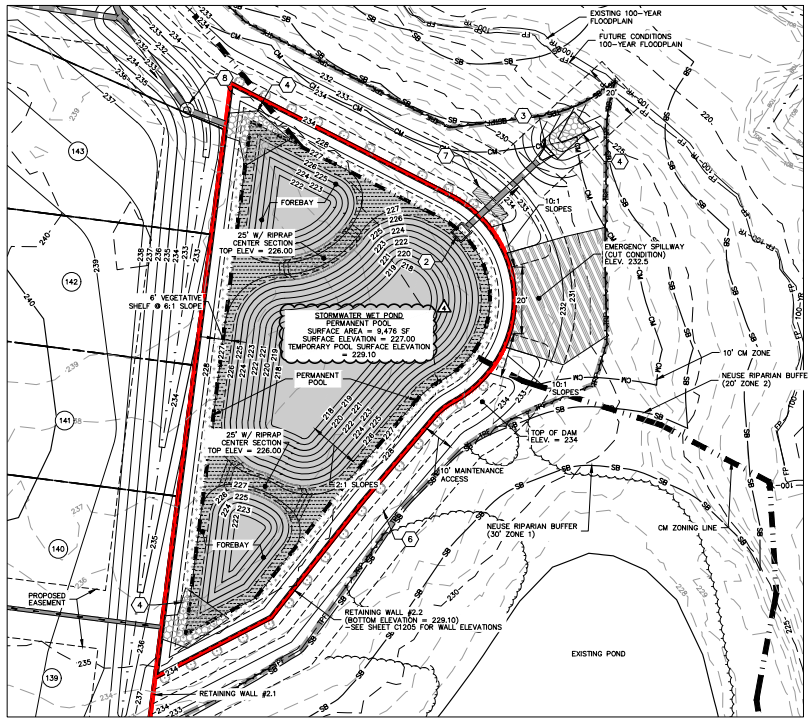
OWNER INFORMATION
KIM HONES CAROLINAS DIVISION
PO BOX 5, WAKE RD
SUITE #100
DURHAM, NC 27702
PH: (919) 422-8606
FAX: (919) 422-8600
EMAIL: KIM.HONES@CAROLINAS.COM

MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

MAJOR SUBDIVISION PRELIMINARY PLAN

JOB NUMBER: 121010.09
DATE: 26 JUN 24
SCALE: AS NOTED
DRAWN BY: A.C.B.
REVIEWED BY: D.W.S.

SHEET C4201

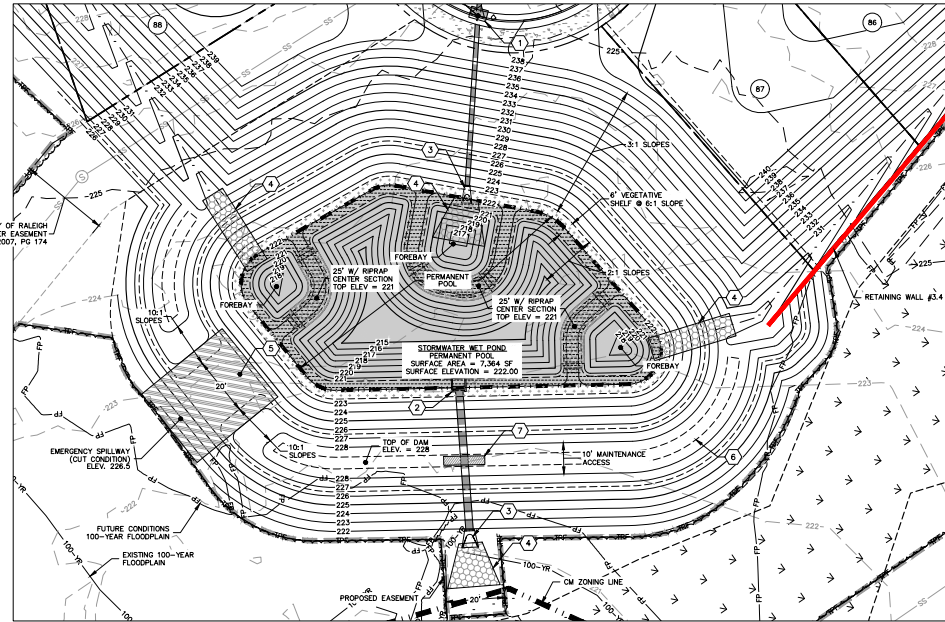


SCM ENLARGEMENT #2
SCALE: 1" = 20'

WET POND SURFACE LEGEND SCM #2

	SHALLOW LAND - ELEV. 227.5 * (0.0' - 0.5') = 1,365 SF
	SHALLOW WATER - ELEV. 226.5 * (-0.5' - 0.0') = 2,170 SF
	PERMANENT POOL - ELEV. 227.0

* MEASURED FROM PERMANENT POOL ELEV. 227.0



SCM ENLARGEMENT #3
SCALE: 1" = 20'

WET POND SURFACE LEGEND SCM #3

	SHALLOW LAND - ELEV. 222.5 * (0.0' - 0.5') = 1,070 SF
	SHALLOW WATER - ELEV. 221.5 * (-0.5' - 0.0') = 1,917 SF
	PERMANENT POOL - ELEV. 222.0

* MEASURED FROM PERMANENT POOL ELEV. 222.0

PLAN KEY NOTES

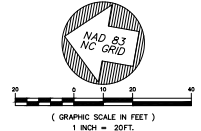
- ① STANDARD CATCH BASIN (TYP.)
- ② RISER STRUCTURE
- ③ FLARED END SECTION (TYP.)
- ④ RIP RAP APRON (TYP.)
- ⑤ SPILLWAY LINING (TYP.)
- ⑥ KEY TRENCH (TYP.)
- ⑦ DRAINAGE DIAPHRAM (TYP.)
- ⑧ JUNCTION BOX (TYP.)

WET POND NOTES

1. SEE SHEET C4201 FOR DAM CONSTRUCTION SPECIFICATIONS, WET POND NOTES, WET POND LENGTH-TO-WIDTH RATIO, ENGINEER'S STATEMENT OF DAM SAFETY, WET POND CONVERSION SEQUENCE AND REQUIREMENTS FOR ISSUANCE OF 'FINAL CD'.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	CM ZONING LINE
SD	SD	SD	STORM DRAIN LINE
W	W	W	WATER LINE
SS	SS	SS	SANITARY SEWER LINE
---	---	---	TREE LINE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE
---	---	---	RETAINING WALL
---	---	---	WETLANDS
---	---	---	100-YR FLOOD LINE
---	---	---	PERSONAL STREAM
---	---	---	CM PRIMARY WATERCOURSE
---	---	---	NATURAL RESOURCE BUFFER
---	---	---	STREAM BUFFER
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	SANITARY SEWER MANHOLE



SCM ENLARGEMENT #2

REVIEW DRAWING
NOT FOR CONSTRUCTION

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1241 HUNTERS BLVD. SUITE 200
CHARLOTTE, NC 28203
704.375.8800
WWW.BALLENTE.COM

Digitally signed by W. Smith
Date: 2024.06.24 17:02:35-04'

NO.	DATE	REVISIONS
1	09 MAY 24	FOR CITY OF RALEIGH REVIEW COMMENTS
2	09 MAY 24	FOR CITY OF RALEIGH REVIEW COMMENTS
3	18 JUN 24	FOR CITY OF RALEIGH REVIEW COMMENTS

OWNER INFORMATION
KB HOMES CAROLINAS DIVISION
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MAGNOLIA FOREST
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RALEIGH, WAKE COUNTY, NORTH CAROLINA

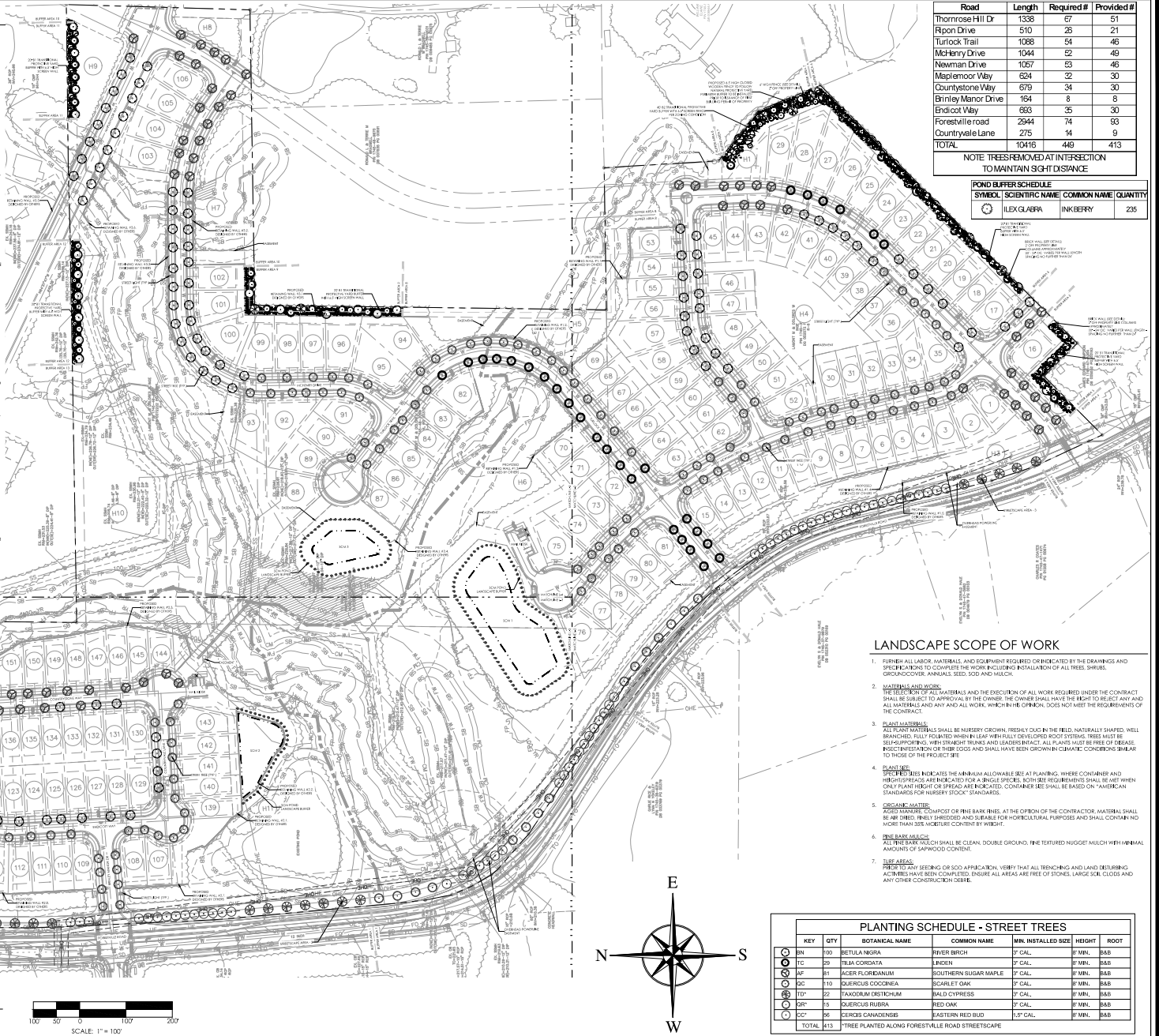
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DRAWN BY: A.G.B.
REVIEWED BY: D.W.S.

SHEET
C4202

LANDSCAPE PLAN NOTES

1. ALL PLANT MATERIAL ON THE SITE MUST MEET THE CITY OF RALEIGH (CO) REQUIREMENTS FOR SIZE, HEIGHT, AND SPACING. PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND IN CONFORMANCE WITH THE GENERAL PLANNING NOTES AND DETAILS WITHIN THE PLAN SET.
2. PLANTING STOCK SHALL MEET ALL STANDARDS WITHIN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK." ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL FREE FROM PESTS AND DISEASE.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO WORK. THE CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT THE SITE AND REFORM THE WORK SPECIFICALLY INCLUDING THE TREE GRADING AND/OR CONFORMANCE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CONFORMANCE FOR POSSIBLE VARIATIONS FROM GRADING AND CONDITIONS SHOWN. WEATHER SURFACE OR SUBSURFACE CONDITIONS SHALL BE RECORDED AND REPORTED TO THE ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY AND IN WRITING IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
4. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS TO PERFORM THE WORK.
5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL THROUGH 811 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATION SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO IDENTIFY ANY UTILITIES LOCATED.
6. ANY DAMAGE TO EXISTING IMPROVEMENTS OUTSIDE OF THE PROJECT LIMITS INCLUDING CURBS AND OTHER, SIDEWALKS, PAVED OR TURF AREAS SHALL BE REPAIRED TO ORIGINAL CONDITIONS BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE SUBSECTOR.
7. PLANT QUANTITIES TO BE VERIFIED BY LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLANS AS COMPARED TO THE PLANT LIST THE CONTRACTOR SHALL PROVIDE THE QUANTITY SHOWN ON THE PLANS.
8. CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OR MODIFICATIONS TO THE LANDSCAPE PLANS. THIS MAY REQUIRE A MODIFICATION TO APPROVED PLANS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CHANGES ON THE PLANS.
9. ALL ABOVE GROUND MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMERS, DUMPSTERS, BACKFLOW PREVENTERS, AND VALVE TOWERS SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND HIGHWAYWAY WHILE MAINTAINING REQUIRED ACCESS TO LOCAL CODE STANDARDS AND REQUIREMENTS.
10. WITHIN THE RIGHT TRIANGLES SHOWN ON THE PLAN, NO OBSTRUCTIONS BETWEEN TWO FEET AND EIGHT FEET IN HEIGHT ABOVE THE NEAREST VEHICLE SURFACE OR ADJACENT CURB LINE SHALL BE ALLOWED.
11. ALL UNPAVED AREAS SHALL BE TOPDRESSED AND SEEDED / SOODED OR MULCHED TO THE LIMITS OF CONSTRUCTION BASED ON ACTUAL FIELD CONDITIONS BEFORE THE APPROVED PLANS.
12. ALL SOOD TO BE REBEL RESCUE TURF GRASS, LESCO OR EQUAL. ALL SEED TO BE REBEL RESCUE TURF GRASS, LESCO OR EQUAL, 8 LBS. PER 1000 S.F. IN LAWN AREAS 3" TOPSOIL SHALL BE BLENDED INTO THE TOP 4" OF GROUND PRIOR TO SEEDING.
13. SLOPES GREATER THAN 3:1 SHALL REQUIRE HYDRO-SEEDING. SLOPES GREATER THAN 2:1 SHALL BE SOODED WITH CENTRE GRASS. ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED FOR SLOPES GREATER THAN 3:1 TO PREVENT EROSION, SETTLEMENT, AND ESTABLISHMENT OF PERMANENT GROUND COVER.
14. INTERIOR MULCH SHALL BE DOUBLE GROUND FINE BARK TO A DEPTH OF 4". PERIMETER LANDSCAPE BUFFERS SHALL BE MULCHED WITH 4" FINE STRAW TO BED LINES SHOWN ON BUFFER LINES. BED LINES SHALL CONFORM TO CONSTRUCTION SHOWN ON THE PLANS.
15. FINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONTAINING EXTERIOR COMBUSTIBLE CONSTRUCTION.
16. CONTRACTOR SHALL LEVEL AND SMOOTH ALL FINISHED AREAS AND REMOVE ALL ROCKS AND CONSTRUCTION DEBRIS PRIOR TO SEEDING. EROSION SHALL BE PREVENTED.
17. NOTE THAT WITHIN LANDSCAPED AREAS SURROUNDING BUILDINGS, THE GRASSES SHOWN ON THE GRADING SHEET ARE TOP OF MULCH OR TOP OF TOPSOIL. CONTRACTOR SHALL ENSURE PROPER FINISHED DRAINAGE (MIN. 2% AWAY FROM ALL BUILDINGS) AND COORDINATE WITH THE LANDSCAPE PLAN TO LEAVE SUBGRADE LOW ENOUGH TO MAINTAIN THESE SPOTS AS FINISHED GRADE.
18. OWNER SHALL WITHIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY SOOD UNPAVED OR FINISHED PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THE PLAN.
19. TREE PLANNING AND SITE LIGHTING SHALL BE SEPARATED BY AT LEAST 10 FEET.
20. STREET TREE LOCATIONS MAY SHIP IN FIELD TO AVOID CONFLICTS WITH WATER AND SEWER SERVICES AND SIDEWALKS.



Road	Length	Required #	Provided #
Thomrose Hill Dr	1338	67	51
Ryon Drive	510	26	21
Turlock Trail	1088	54	46
McHenry Drive	1044	52	49
Newman Drive	1067	53	46
Mapiemoor Way	624	32	30
Countynstone Way	679	34	30
Brimley Manor Drive	164	8	8
Endicot Way	683	35	30
Forsythville Road	2944	74	53
Countryside Lane	275	14	9
TOTAL	10416	449	413

NOTE: TREES REMOVED AT INTERSECTION TO MAINTAIN SIGHT DISTANCE

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QUANTITY
(Symbol)	ILEX GLABRA	IN KERRY	235

LANDSCAPE SCOPE OF WORK

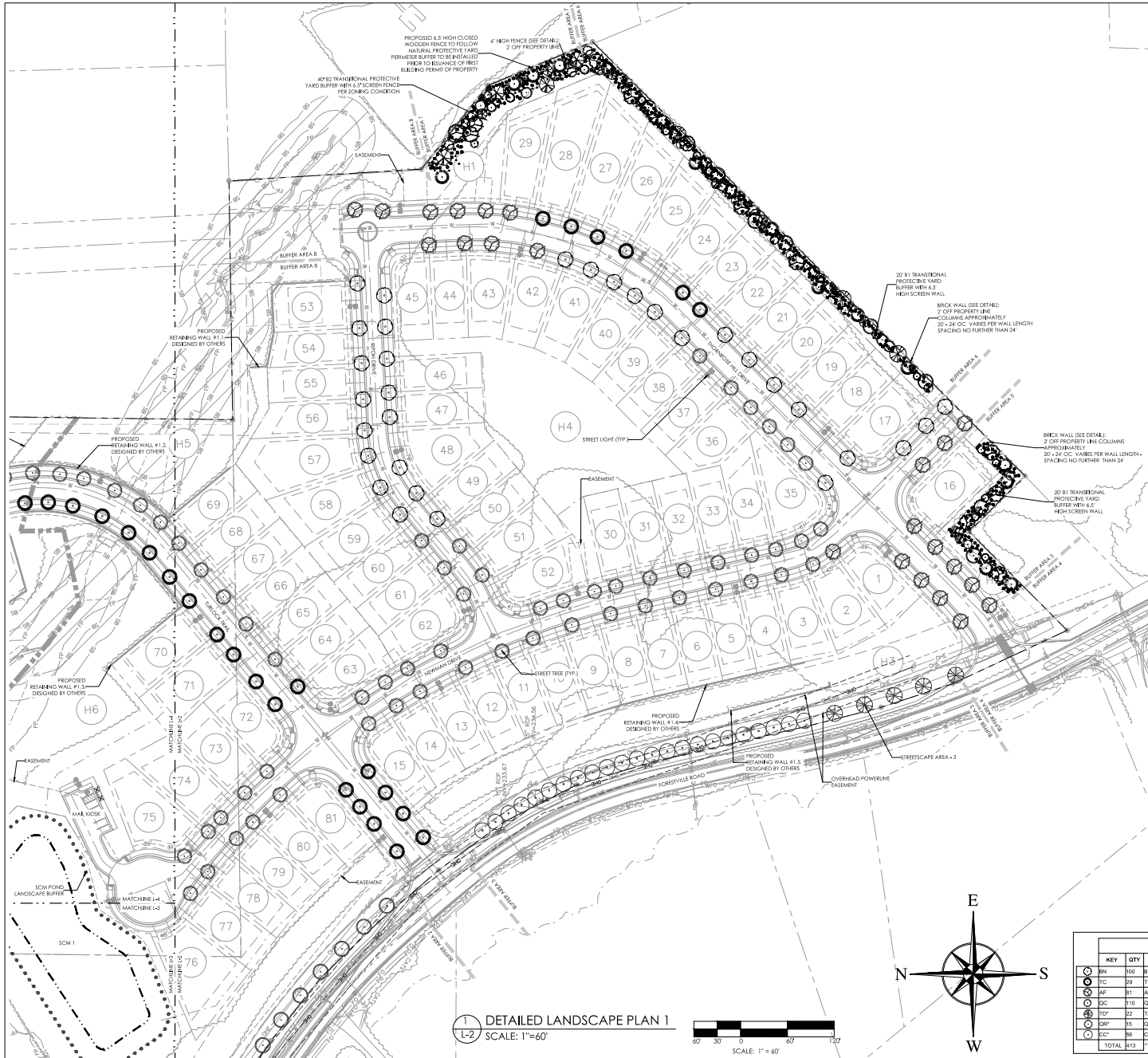
1. FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK INCLUDING INSTALLATION OF ALL TREES, SHRUBS, GROUNDCOVER, ANNUALS, SEED, SOOD AND MULCH.
2. MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK, WHICH IN THE OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT.
3. PLANT MATERIALS: ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FRESHLY CUT IN THE FIELD, NATURALLY SHAPED, WELL BRANCHED, FULLY FOLIATED WHEN IN LEAF, AND FULLY DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS MUST BE FREE OF DISEASE, INSECT INFESTATION OR OTHER DEFECTS AND SHALL HAVE BEEN GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
4. BARK PROTECTION: SPECIFICATIONS INDICATE THE MINIMUM ALLOWABLE SIZE AT PLANTING, WHERE CONTAINER AND HEIGHT/SPREAD ARE INDICATED FOR A SINGLE SPECIES. BOTH THE REQUIREMENTS SHALL BE MET WHEN ONLY PLANT HEIGHT OR SPREAD ARE INDICATED. CONTAINER BED SHALL BE BASED ON "AMERICAN STANDARDS FOR NURSERY STOCK" STANDARDS.
5. ORGANIC MATTER: ALL MULCH, COMPOST OR FINE BARK BARKS, AT THE OPTION OF THE CONTRACTOR, MATERIAL SHALL BE AIR DRIED, FINELY SHREDED AND SUITABLE FOR HORTICULTURAL PURPOSES AND SHALL CONTAIN NO MORE THAN 5% MOISTURE CONTENT BY WEIGHT.
6. FINE BARK MULCH: ALL FINE BARK MULCH SHALL BE CLEAN, DOUBLE GROUND, FINE TEXTURED HUGGET MULCH WITH MINIMAL AMOUNTS OF SAWWOOD CONTENT.
7. TURF AREAS: PRIOR TO ANY SEEDING OR SOOD APPLICATION, VERIFY THAT ALL TRENCHING AND LAND DELIMITING ACTIVITIES HAVE BEEN COMPLETED. ENSURE ALL AREAS ARE FREE OF STONES, LARGE SOIL CLODS AND ANY OTHER CONSTRUCTION DEBRIS.

REVISIONS:
 03.26.24 - CITY COMMENTS
 04.19.24 - BASE CHANGE

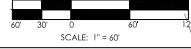
OVERALL LANDSCAPE PLAN
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD
 RALEIGH, NC 27604

SCALE: AS NOTED
 DRAWN BY: MK
 PROJECT # 24015
 DATE: 02-02-2024
 SHEET [1] OF XX

KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	HEIGHT	ROOT
(Symbol)	100	BETULA NIGRA	RIVER BIRCH	7" CAL.	8' MIN.	BAB
(Symbol)	20	TILIA CORDATA	LINDEN	7" CAL.	8' MIN.	BAB
(Symbol)	81	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	7" CAL.	8' MIN.	BAB
(Symbol)	110	QUERCUS COCCINEA	SCARLET OAK	7" CAL.	8' MIN.	BAB
(Symbol)	22	TAXODIUM DISTICHUM	BALD CYPRESS	7" CAL.	8' MIN.	BAB
(Symbol)	20	QUERCUS RUBRA	RED OAK	7" CAL.	8' MIN.	BAB
(Symbol)	26	CERIS CANADENSIS	EASTERN RED BUD	10" CAL.	8' MIN.	BAB
TOTAL	413	3-PLANTED ALONG FORESTVILLE ROAD STREETS/ARE				



1 DETAILED LANDSCAPE PLAN 1
 L-2 SCALE: 1"=60'



Road	Length	Required #	Provided #
Thornrose Hill Dr	1338	67	51
Ripon Drive	510	26	21
Turtlock Trail	1088	54	46
McHenry Drive	1044	52	49
Newman Drive	1057	53	46
Maplemoor Way	624	32	30
Countystone Way	679	34	30
Brinley Manor Drive	164	8	8
Endicot Way	683	35	30
Forestville road	2944	74	93
Countryvale Lane	275	14	9
TOTAL	10416	449	413

NOTE: TREES REMOVED AT INTERSECTION TO MAINTAIN SIGHT DISTANCE

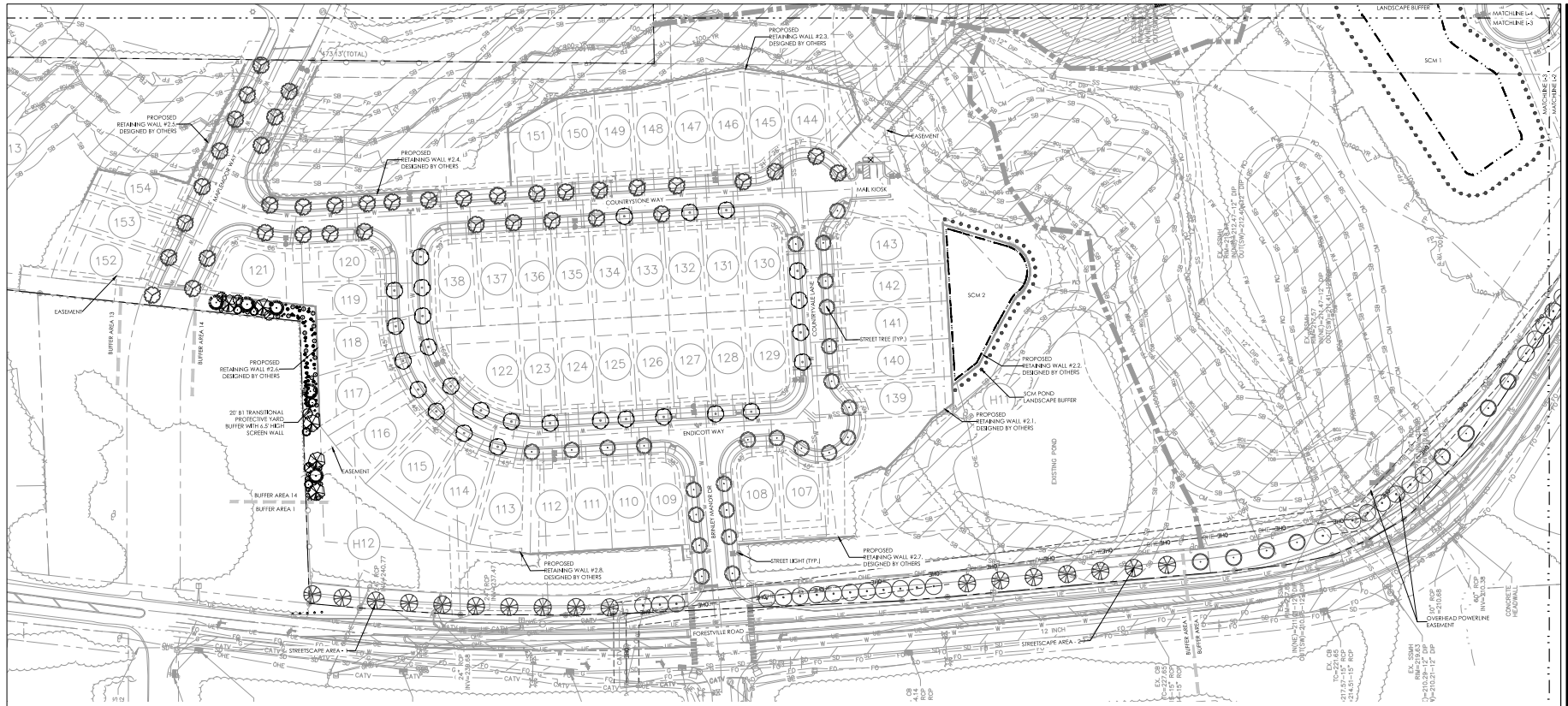
PLANTING SCHEDULE - STREET TREES						
KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	HEIGHT	ROOT
BN	100	BETULA NIGRA	RIVER BIRCH	1" CAL.	8' MIN.	BBB
TC	29	TILIA CORDATA	JUNBER	1" CAL.	8' MIN.	BBB
AF	87	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	1" CAL.	8' MIN.	BBB
OC	118	QUERCUS COCCINEA	SCARLET OAK	1" CAL.	8' MIN.	BBB
TD	22	TAXODIUM DISTICHUM	BALD CYPRESS	1" CAL.	8' MIN.	BBB
DR	15	QUERCUS RUBRA	RED OAK	1" CAL.	8' MIN.	BBB
CC	86	CERISE CANADENSIS	EASTERN RED BUD	1.5" CAL.	8' MIN.	BBB
TOTAL	413	TREE PLANTING ALONG FORESTVILLE ROAD STREETSCAPE				

REVISIONS:

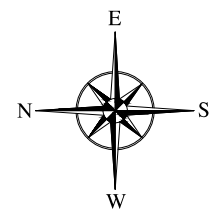
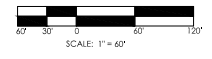
03.28.24 - CITY COMMENTS
04.19.24 - BASE CHANGE

DETAILED LANDSCAPE PLAN 1
 MAGNOLIA FOREST
 5401 FORESTVILLE ROAD
 RALEIGH, NC 27604

SCALE: AS NOTED
 DRAWN BY: MK
 PROJECT #: 24015
 DATE: 02-02-2024
 SHEET
 L-2
 OF XX



1 DETAILED LANDSCAPE PLAN 2
L-3 SCALE: 1"=60'



Road	Length	Required #	Provided #
Thornrose Hill Dr	1538	67	51
Ripon Drive	510	23	21
Turlock Trail	1088	54	46
McHenry Drive	1044	52	49
Newman Drive	1057	53	46
Maplemoor Way	624	32	30
Countystone Way	679	34	30
Brinley Manor Drive	164	8	8
Endicot Way	663	35	30
Forestville road	2944	74	93
Countryville Lane	275	14	9
TOTAL	10415	449	413

NOTE: TREES REMOVED AT INTERSECTION TO MAINTAIN SIGHT DISTANCE.

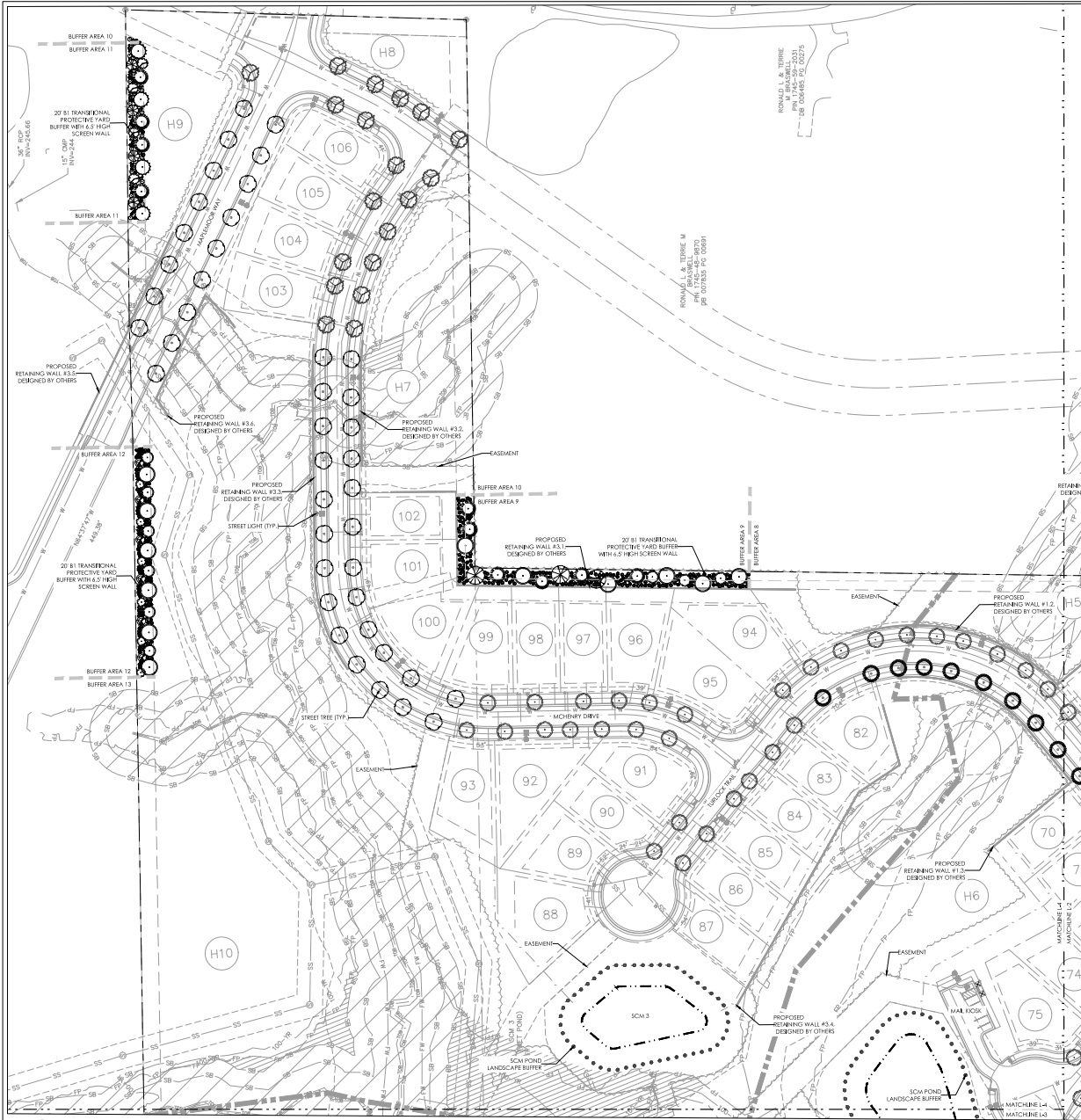
PLANTING SCHEDULE - STREET TREES							
KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	HEIGHT	ROOT	
BN	100	BETULA NIGRA	RIVER BIRCH	3" CAL.	8' MIN.	8' MIN.	8' MIN.
TC	29	TILIA CORDATA	LINDEN	3" CAL.	8' MIN.	8' MIN.	8' MIN.
AF	81	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	3" CAL.	8' MIN.	8' MIN.	8' MIN.
QC	116	QUERCUS COCCINEA	ROULETTE OAK	3" CAL.	8' MIN.	8' MIN.	8' MIN.
TD	22	TAXODIUM DISTICHUM	WALD CYPRESS	3" CAL.	8' MIN.	8' MIN.	8' MIN.
QR	15	QUERCUS RUBRA	RED OAK	3" CAL.	8' MIN.	8' MIN.	8' MIN.
CC	56	CERES CANADENSIS	EASTERN RED BUD	1.5" CAL.	8' MIN.	8' MIN.	8' MIN.
TOTAL	413	TREE PLANTED ALONG FORESTVILLE ROAD STREETSCAPE					

REVISIONS:
03.26.24 - CITY COMMENTS
04.19.24 - BASE CHANGE

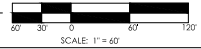
DETAILED LANDSCAPE PLAN 2
MAGNOLIA FOREST
5401 FORESTVILLE ROAD
RALEIGH, NC 27604

SCALE:
AS NOTED
DRAWN BY:
MK
PROJECT #
24015
DATE:
02-02-2024
SHEET
L-3
OF XX

TMTLA ASSOCIATES
LANDSCAPE ARCHITECTURE & LAND PLANNING
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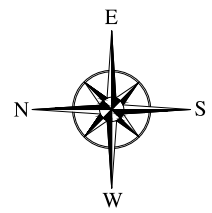
1
L-4 DETAILED LANDSCAPE PLAN 3
SCALE: 1"=60'



Road	Length	Required #	Provided #
Thornrose Hill Dr	1338	67	51
Ripon Drive	510	26	21
Turlock Trail	1088	54	46
McHenry Drive	1044	52	49
Newman Drive	1057	53	46
Maplecoor Way	624	32	30
Countystone Way	679	34	30
Brinley Manor Drive	164	8	8
Endicot Way	683	35	30
Forestville road	2944	74	93
Countryside Lane	275	14	9
TOTAL	10416	449	413

NOTE: TREES REMOVED AT INTERSECTION TO MAINTAIN SIGHT DISTANCE

PLANTING SCHEDULE - STREET TREES						
KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	HEIGHT	ROOT
BN	100	BETULA NERA	BEVER BIRCH	3" CAL.	8' MIN.	880
TC	29	TILIA CORDATA	LINDEN	3" CAL.	8' MIN.	880
AF	81	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	3" CAL.	8' MIN.	880
SC	110	QUERCUS COCCINEA	SCARLET OAK	3" CAL.	8' MIN.	880
TP	22	TAXODIUM DISTICHUM	BALD CYPRESS	3" CAL.	8' MIN.	880
RM	10	QUERCUS RUBRA	RED OAK	3" CAL.	8' MIN.	880
CC	96	CERIR CANADENSIS	EASTERN RED BUD	1.2" CAL.	8' MIN.	880
TOTAL	413	TREE PLANTED ALONG FORESTVILLE ROAD STREETScape				

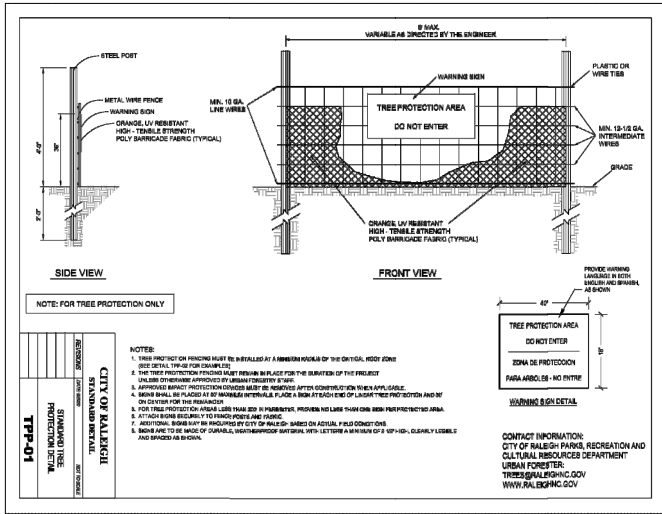


REVISIONS:

03.26.24 - CITY COMMENTS
04.19.24 - BASE CHANGE

DETAILED LANDSCAPE PLAN 3
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD
 RALEIGH, NC 27604

SCALE: AS NOTED
 DRAWN BY: MK
 PROJECT #: 24015
 DATE: 02-02-2024
 SHEET
 L-4
 OF XX



Possible Street Trees

Large Maturing Trees	Medium Maturing Trees	Small Maturing Trees
Not appropriate under power lines Mature to excess of 60' in height	For planting within 3.0' to 6' in width Not appropriate under power lines Mature between 40' and 60' in height	"Orchardery Trees" Appropriate under power lines Mature between 15' and 30' in height
*American elm, <i>Ulmus americana</i>	*Chinese elm, <i>Ulmus parvifolia</i>	Caroline silverbell, <i>Halesia tetragyna</i> , <i>H. carolina</i>
Bald cypress, <i>Taxodium distichum</i>	*Eastern red cedar, <i>Juniperus virginiana</i>	Chinese pistache, <i>Pistacia chinensis</i>
Linden, <i>Tilia</i> spp.	European hornbeam, <i>Carpinus betulus</i>	**Dogwood, <i>Cornus spp.</i>
Black gum, <i>Nyssa sylvatica</i>	*Hackberry, <i>Celtis occidentalis</i>	**Eastern redbud, <i>Cercis canadensis</i>
Dawn redwood, <i>Metasequoia glyptostroboides</i>	Musclewood, <i>Carpinus caroliniana</i>	**Flowering cherry, <i>Prunus serrulata</i> , <i>Prunus x yedoensis</i>
*Ginkgo, <i>Ginkgo biloba</i>	*Sweetbay magnolia, <i>Magnolia virginiana</i>	Japanese maple, <i>Acer palmatum</i>
Oak, <i>Quercus</i> spp.	Thicket maple, <i>Acer buergerianum</i>	**Japanese snowbell, <i>Styax japonica</i>
River birch, <i>Betula nigra</i>	*Zelkova, <i>Zelkova serrata</i>	**Olive tree, <i>Olea europaea</i>
Southern sugar maple, <i>Acer floridanum</i>		Shanghai magnolia, <i>Acer thunbergii</i>
Tulip poplar, <i>Liriodendron tulipifera</i>		Sandcherry, <i>Amaranthus grandiflorus</i>
		Chinese figs, <i>Ficus chinensis</i>

*Male/Fruitless only

**Cultivars or hybrids must be selected for form and/or disease resistance

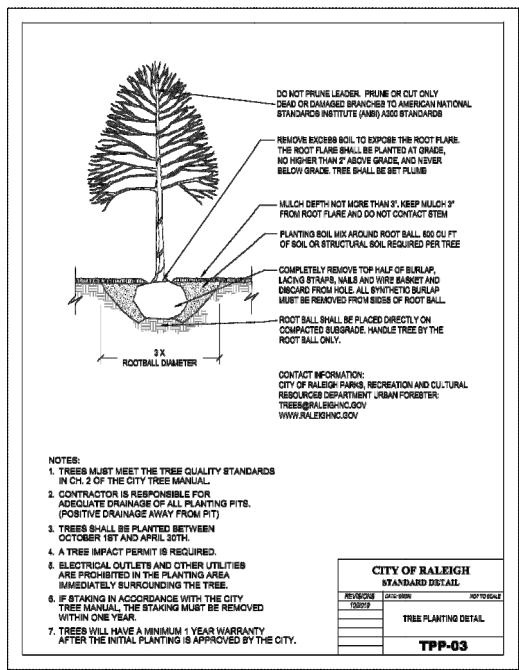
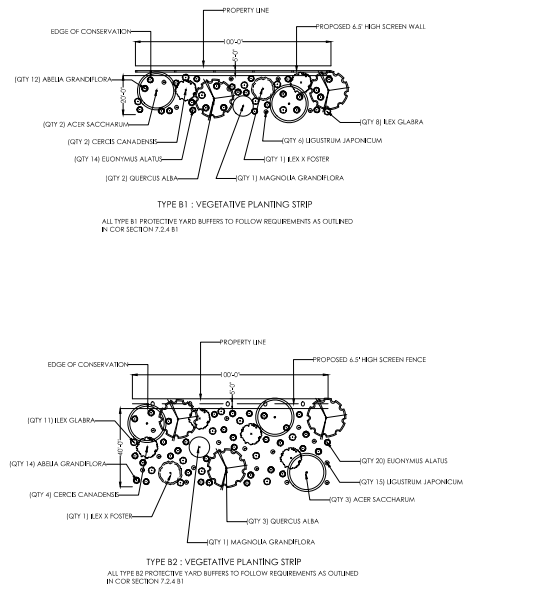
Minimum spacing requirements

Medium and large maturing: 20' +
Small maturing: 10' +

Notes:

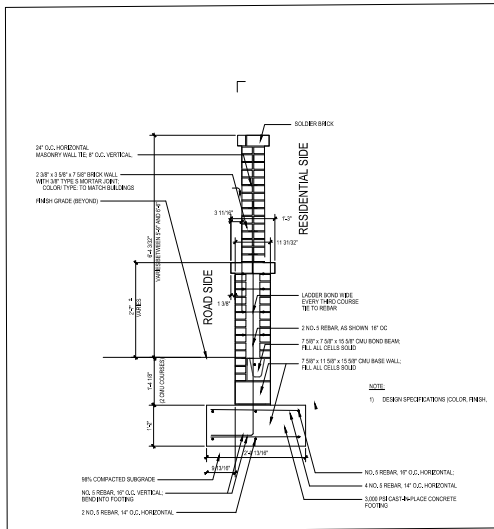
- All street trees must be single stem
- Fruitless trees are encouraged in light spaces

Visit parks.raleighnc.gov and keyword search "Tree Impact"

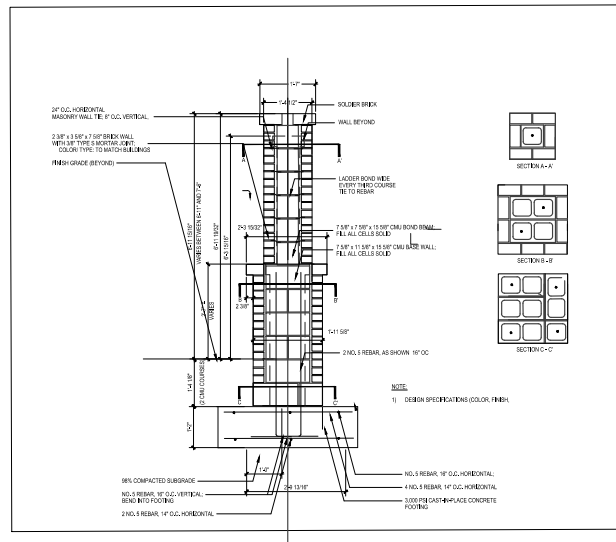


REVISIONS:

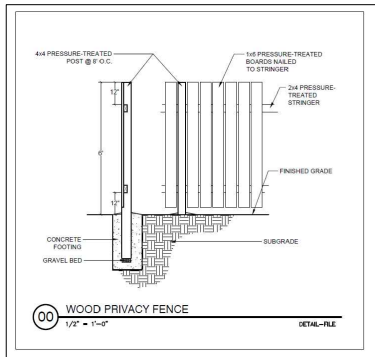
03.26.24 - CITY COMMENTS



WALL DETAIL



COLUMN DETAIL



NOTE : SCREEN WALL AND WOODEN FENCE DESIGNED BY OTHERS

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 LANDSCAPE ARCHITECTURE & LAND PLANNING
 5011 SOUTHPARK DRIVE, STE. 200-DURHAM, NC 27713
 P: (919) 484-8880 E: info@tmtla.com

REVISIONS:

03.26.24 - CITY COMMENTS

LANDSCAPE DETAILS
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD
 RALEIGH, NC 27704

SCALE:
 AS NOTED
 DRAWN BY:
 MK
 PROJECT #
 24015
 DATE:
 02-02-2024
 SHEET

L-6
 OF XX

BUFFER AREA -1
625' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS SECONDARY OPEN SPACE
- THIS AREA IS 50' WIDE AND UNDISTURBED EXCEPT FOR EXCEPT FOR ROAD SIDE GRADING, UTILITY LINE RELOCATION, AND MINOR ROAD IMPROVEMENT DRAINAGE

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
 - EXISTING VEGETATED MEETS REQUIREMENTS

BUFFER AREA -2
340' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS AREA IS 50' WIDE AND UNDISTURBED EXCEPT FOR EXCEPT FOR ROAD SIDE GRADING AND UTILITY LINE RELOCATION

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
 - EXISTING VEGETATED MEETS REQUIREMENTS

BUFFER AREA -3
705' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS AREA IS 50' WIDE AND UNDISTURBED EXCEPT FOR EXCEPT FOR ROAD SIDE GRADING AND UTILITY LINE RELOCATION

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
 - EXISTING VEGETATED MEETS REQUIREMENTS

FORESTVILLE STREET TREE PLANTING
AREA 1
457' LENGTH

EXISTING AND DESIGN CONDITIONS

- ROAD CROSS SECTION IS TO BE A DITCH SECTION WITH A 6' PLANTING ARE BETWEEN THE TOP OF BANK AND 10' MULTI USE PATH.
- OVERHEAD LINES TO BE MOVED ON OUTSIDE OF MULTI-USE PATH

REQUIRED STREET TREE PLANTING

- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 40 FEET ON CENTER
- ONE UNDERSTORY TREE (WITHIN 15 FT OF OVERHEAD POWER LINE) TO BE PLANTED 20 FEET ON CENTER
- PROVISIONS MADE FOR SITE TRIANGLES
- TREE TO BE 3" CAL 10-12" HT MINIMUM
- 457' / 40' OC = 12 TREES

PROVIDED BUFFER PLANTING

- TREES PLANTED AT 40' OC, 20' OC WITHIN 15 FT OF OVERHEAD POWER LINE
- 13 TREES PROVIDED

FORESTVILLE STREET TREE PLANTING
AREA 2
1500' LENGTH

EXISTING AND DESIGN CONDITIONS

- ROAD CROSS SECTION IS TO BE A DITCH SECTION WITH A 6' PLANTING ARE BETWEEN THE TOP OF BANK AND 10' MULTI USE PATH.
- OVERHEAD LINES TO BE MOVED OUTSIDE OF MUTI-USE PATH

REQUIRED STREET TREE PLANTING

- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 40 FEET ON CENTER
- ONE UNDERSTORY TREE (WITHIN 15 FT OF OVERHEAD POWER LINE) TO BE PLANTED 20 FEET ON CENTER
- PROVISIONS MADE FOR SITE TRIANGLES
- TREE TO BE 3" CAL 10-12" HT MINIMUM
- 1500' / 40' OC = 8 TREES

PROVIDED BUFFER PLANTING

- TREES PLANTED AT 40' OC, 20' OC WITHIN 15 FT OF OVERHEAD POWER LINE
- 52 TREES PROVIDED

FORESTVILLE STREET TREE PLANTING
AREA 3
600' LENGTH

EXISTING AND DESIGN CONDITIONS

- ROAD CROSS SECTION IS TO BE A DITCH SECTION WITH A 6' PLANTING ARE BETWEEN THE TOP OF BANK AND 10' MULTI USE PATH.
- OVERHEAD LINES TO BE MOVED ON OUTSIDE OF MULTI-USE PATH



REQUIRED STREET TREE PLANTING

- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 50 FEET ON CENTER
- ONE UNDERSTORY TREE (WITHIN 15 FT OF OVERHEAD POWER LINE) TO BE PLANTED 20 FEET ON CENTER
- PROVISIONS MADE FOR SITE TRIANGLES
- TREE TO BE 3" CAL 10-12" HT MINIMUM
- 600' / 40' OC = 15 TREES




PROVIDED BUFFER PLANTING

- TREES PLANTED AT 40' OC, 20' OC WITHIN 15 FT OF OVERHEAD POWER LINE
- 28 TREES PROVIDED
 - ONE TREE ADDED ON SOUTH SIDE OF ENTRANCE



STREETSCAPE AREA 1

TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	10	TAXODIUM DISTICHUM	BALD CYPRESS	3"	10'-12'	6'-8'	SINGLE LEADER - FULL
	3	CERCIS CANADENSIS	EASTERN RED BUD	1.5"	10'-12'	6'-8'	SINGLE LEADER - FULL

STREETSCAPE AREA - 2

TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	7	TAXODIUM DISTICHUM	BALD CYPRESS	3"	10'-12'	6'-8'	SINGLE LEADER - FULL
	15	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL
	30	CERCIS CANADENSIS	EASTERN RED BUD	1.5"	10'-12'	6'-8'	SINGLE LEADER - FULL

STREETSCAPE AREA - 3

TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	5	TAXODIUM DISTICHUM	BALD CYPRESS	3"	10'-12'	6'-8'	SINGLE LEADER - FULL
	23	CERCIS CANADENSIS	EASTERN RED BUD	1.5"	10'-12'	6'-8'	SINGLE LEADER - FULL

REVISIONS:
 03.28.24 - CITY COMMENTS

SCALE:
 AS NOTED
 DRAWN BY:
 MK
 PROJECT #
 24015
 DATE:
 02-02-2024
 SHEET

BUFFER AREA - 4
50' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS AREA IS 50' WIDE AND UNDISTURBED EXCEPT FOR ROAD SIDE GRADING AND UTILITY LINE RELOCATION

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
- EXISTING VEGETATED MEETS REQUIREMENTS

BUFFER AREA - 5
233' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS AREA IS 20' WIDE AND WILL BE DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 233 LF

- TOTAL SHADE TREES 233' = (2.33) X 2 = 5 SHADE TREES
- TOTAL EVERGREEN TREES = (2.33) X 2 = 5 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.33) X 2 = 5 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.33) X 2 = 5 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS (2.33) X 40 = 94 SHRUBS

PROVIDED BUFFER PLANTING

233 LF

- TOTAL SHADE TREES - 10 SHADE TREES
- TOTAL EVERGREEN TREES - 10 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 10 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 10 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 98 SHRUBS

BUFFER AREA - 6
620' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS AREA IS 20' WIDE AND WILL BE DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 620 LF

- TOTAL SHADE TREES 620' = (6.2) X 2 = 13 SHADE TREES
- TOTAL EVERGREEN TREES = (6.2) X 2 = 13 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (6.2) X 2 = 13 UNDESTORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (6.2) X 2 = 13 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS (6.2) X 40 = 248 SHRUBS

PROVIDED BUFFER PLANTING

620 LF

- TOTAL SHADE TREES - 14 SHADE TREES
- TOTAL EVERGREEN TREES - 13 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 14 UNDESTORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 13 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 248 SHRUBS

BUFFER AREA 5

SHADE TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	4	ACER SACCHARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	1	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	4	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR
	1	MAGNOLIA GRAND.	SOUTHERN MAG	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR

UNDER STORY TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	3	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8"	4'-6"	3 STEM - FULL	DEC
	2	ACER PALMATUM	JAPANESE MAPLE	1.5"	6'-8"	4'-6"	3 STEM - FULL	DEC
	2	PRUNUS CAROLINIANA	CHERRY LAUREL	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR
	3	THUGA CANADENSIS	HEMLOCK	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR

SHRUBS

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	35	ABELIA GRANDIFLORA	GLOSSY ABELIA	18"-24"	18"-24"		FULL	EVGR
	17	AZALEA ENCORE	AZALEA - AUTUMN	18"-24"	18"-24"		FULL - COLOR VARIETIES	EVGR
	10	CHAMAECYPARIS OBTUSA	CHAMAECYPARIS	18"-24"	18"-24"		FULL	EVGR
	8	EUONYMUS FORTUNEI	EUONYMUS	18"-24"	18"-24"		FULL - LARGE VARIETY	EVGR
	8	LOROPETALUM CHINENSE	CHINESE FRINGE	18"-24"	18"-24"		FULL LARGE VARIETY	EVGR
	20	VIBURNUM OBTATUM	VIBURNUM	18"-24"	18"-24"		FULL LARGE VARIETY	EVGR

BUFFER AREA 6

SHADE TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	5	ACER SACCHARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	3	PLATANUS OCCIDENTALIS	SYCAMORE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	6	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	5	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR
	5	MAGNOLIA GRAND.	SOUTHERN MAG	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR

UNDER STORY TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	8	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8"	4'-6"	3 STEM - FULL	DEC
	5	ACER PALMATUM	JAPANESE MAPLE	1.5"	6'-8"	4'-6"	3 STEM - FULL	DEC
	2	CERCIS CANADENSIS	REDBUD	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	DEC
	2	CORNUS FLORIDA	DOGWOOD	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	DEC
	7	ILEX X FOSTER	FOSTER HOLLY	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR
	3	MAGNOLIA GRANDIFLORA	LITTLE GEM	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR
	3	THUGA CANADENSIS	HEMLOCK	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR

SHRUBS

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	80	ABELIA GRANDIFLORA	GLOSSY ABELIA	18"-24"	18"-24"		FULL	EVGR
	27	AZALEA ENCORE	AZALEA - AUTUMN	18"-24"	18"-24"		FULL - COLOR VARIETIES	EVGR
	0	CHAMAECYPARIS OBTUSA	CHAMAECYPARIS	18"-24"	18"-24"		FULL	EVGR
	20	EUONYMUS FORTUNEI	EUONYMUS	18"-24"	18"-24"		FULL - LARGE VARIETY	EVGR
	0	ILEX CORNUATA - BURFO	BURFORD HOLLY	18"-24"	18"-24"		FULL	EVGR
	11	LIGUSTRUM JAPONICUM	LIGUSTRUM	18"-24"	18"-24"		FULL LARGE VARIETY	EVGR
	29	LOROPETALUM CHINENSE	CHINESE FRINGE	18"-24"	18"-24"		FULL LARGE VARIETY	EVGR
	52	MYRICA CERIFERA	WAX MYRTLE	18"-24"	18"-24"		FULL LARGE VARIETY	EVGR
	30	VIBURNUM OBTATUM	VIBURNUM	18"-24"	18"-24"		FULL LARGE VARIETY	EVGR

REVISIONS:
 03.26.24 - CITY COMMENTS

BUFFER AREA - 7
340' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS AREA IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 340 LF

- TOTAL SHADE TREES 340' = (3,4) X 2 = 7 SHADE TREES
- TOTAL EVERGREEN TREES = (3,4) X 2 = 7 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (3,4) X 2 = 7 UNDESTORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (3,4) X 2 = 7 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS (3,4) X 40 = 136 SHRUBS

PROVIDED BUFFER PLANTING

620 LF

- TOTAL SHADE TREES - 7 SHADE TREES
- TOTAL EVERGREEN TREES - 7 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 7 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 7 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 140 SHRUBS

BUFFER AREA - 8
755' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY, TERTIARY OPEN SPACE
- THIS AREA UNDISTURBED EXCEPT THE CONSTRUCTION OF A RETAINING WALL TO PROTECT THE WETLAND BUFFER

REQUIRED BUFFER PLANTING

- NO BUFFER IS REQUIRED BECAUSE OF THE TREE CONSERVATION AREA.

PROVIDED BUFFER PLANTING

- NO PLANTING IS PROVIDED

BUFFER AREA - 9
430' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA AN IS AND UN-DESIGNATED
- THIS AREA IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 430 LF

- TOTAL SHADE TREES 430' = (4,3) X 2 = 9 SHADE TREES
- TOTAL EVERGREEN TREES = (4,3) X 2 = 9 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (4,3) X 2 = 9 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (4,3) X 2 = 7 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (4,3) X 40 = 172 SHRUBS

PROVIDED BUFFER PLANTING

430 LF

- TOTAL SHADE TREES - 9 SHADE TREES
- TOTAL EVERGREEN TREES - 9 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 9 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 9 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 172 SHRUBS

BUFFER AREA - 7

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	3	ACER SACCHARUM	SUGAR MAPLE	3"	10'-12"	6'-8"	SINGLE LEADER - FULL DEC
	4	QUERCUS ALBA	WHITE OAK	3"	10'-12"	6'-8"	SINGLE LEADER - FULL DEC
	3	ILEX x NELLIE STEVENS	NEL. STEV. HOLLY	3"	10'-12"	6'-8"	SINGLE LEADER - FULL EVGR
	4	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12"	6'-8"	SINGLE LEADER - FULL EVGR

UNDER STORY TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	4	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8"	4'-6"	3 STEM - FULL DEC
	3	CORNUS FLORIDA	DOGWOOD	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL DEC
	4	ILEX X FOSTER	FOSTER HOLLY	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR
	3	PRUNUS CAROLINIANA	CHERRY LAUREL	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR

SHRUBS							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	27	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL EVGR
	21	EUONYMUS FORTUNEI	EUONYMUS		18"-24"	18"-24"	FULL - LARGE VARIETY EVGR
	32	LOROPETALUM CHINENSE	CHINESE FRINGE		18"-24"	18"-24"	FULL LARGE VARIETY EVGR
	35	MYRICA CERIFERA	WAX MYRTLE		18"-24"	18"-24"	FULL LARGE VARIETY EVGR

BUFFER AREA 9

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	3	PLATANUS OCCIDENTALIS	SYCAMORE	3"	10'-12"	6'-8"	SINGLE LEADER - FULL DEC
	6	QUERCUS RUBRA	RED OAK	3"	10'-12"	6'-8"	SINGLE LEADER - FULL DEC
	3	ILEX x NELLIE STEVENS	NEL. STEV. HOLLY	3"	10'-12"	6'-8"	SINGLE LEADER - FULL EVGR
	6	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12"	6'-8"	SINGLE LEADER - FULL EVGR
	55	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL EVGR
	57	AZALEA ENCORE	AZALEA - AUTUMN		18"-24"	18"-24"	FULL - COLOR VARIETIES EVGR
	60	CHAMAECYPARIS OBTUSA	CHAMAECYPARIS		18"-24"	18"-24"	FULL EVGR



REVISIONS:
 03.26.24 - CITY COMMENTS

LANDSCAPE BUFFER SCHEDULE
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD
 RALEIGH, NC 27604

SCALE: _____
 AS NOTED
 DRAWN BY: _____
 MK
 PROJECT # _____
 24015
 DATE: _____
 02-02-2024
 SHEET
L-9
 OF XX

BUFFER AREA - 10
919' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS AREA UNDISTURBED EXCEPT THE CONSTRUCTION OF A RETAINING WALL TO PROTECT THE WETLAND BUFFER

REQUIRED BUFFER PLANTING

- NO BUFFER IS REQUIRED BECAUSE OF THE TREE CONSERVATION AREA AND STREAM BUFFER.

PROVIDED BUFFER PLANTING

- NO PLANTING IS PROVIDED

BUFFER AREA - 11
208' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS AREA IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 208 LF

- TOTAL SHADE TREES = (2.08) X 2 = 4 SHADE TREES
- TOTAL EVERGREEN TREES = (2.08) X 2 = 4 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.08) X 2 = 4 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.08) X 2 = 4 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (2.08) X 40 = 83 SHRUBS

PROVIDED BUFFER PLANTING

208 LF

- TOTAL SHADE TREES - 4 SHADE TREES
- TOTAL EVERGREEN TREES - 4 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 4 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 4 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 83 SHRUBS

BUFFER AREA - 12
275' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA AN IS AND UN-DESIGNATED
- THIS AREA IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 275 LF

- TOTAL SHADE TREES = (2.75) X 2 = 6 SHADE TREES
- TOTAL EVERGREEN TREES = (2.75) X 2 = 6 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.75) X 2 = 6 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.75) X 2 = 6 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (2.75) X 40 = 110 SHRUBS

PROVIDED BUFFER PLANTING

430 LF

- TOTAL SHADE TREES - 6 SHADE TREES
- TOTAL EVERGREEN TREES - 6 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 6 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 6 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 110 SHRUBS

BUFFER AREA - 13
1901' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY, TERTIARY OPEN SPACE, AND PRIMARY, SECONDARY TCA
- THIS AREA UNDISTURBED EXCEPT THE CONSTRUCTION OF A RETAINING WALL TO PROTECT THE WETLAND BUFFER

REQUIRED BUFFER PLANTING

- NO BUFFER IS REQUIRED BECAUSE OF THE TREE CONSERVATION AREA AND STREAM BUFFERS.

PROVIDED BUFFER PLANTING

- NO PLANTING IS PROVIDED

BUFFER AREA 11

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
☉	4	PIJUNUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
☉	4	MAGNOLIA GRAND.	SOUTHERN MAG	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
UNDER STORY TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
☉	4	CORNUS FLORIDA	DOGWOOD	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL DEC
☉	4	ILEX X FOSTER	FOSTER HOLLY	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR
SHRUBS							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
☉	25	ILEX CORNUTA - BURFO	BURFORD HOLLY		18"-24"	18"-24"	FULL EVGR
☉	25	LIGUSTRUM JAPONICUM	LIGUSTRUM		18"-24"	18"-24"	FULL LARGE VARIETY EVGR
☉	14	LOROPETALUM CHINENSE	CHINESE FRINGE		18"-24"	18"-24"	FULL LARGE VARIETY EVGR
☉	19	MYRICA CERIFERA	WAX MYRTLE		18"-24"	18"-24"	FULL LARGE VARIETY EVGR

BUFFER AREA 12

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
☉	6	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL DEC
☉	6	ILEX X NELLIE STEVENS	NEL. STEV. HOLLY	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
UNDER STORY TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
☉	6	PRUNUS CAROLINIANA	CHERRY LAUREL	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR
☉	6	THUGA CANADENSIS	HEMLOCK	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR
SHRUBS							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
☉	45	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL EVGR
☉	37	AZALEA ENCORE	AZALEA - AUTUMN		18"-24"	18"-24"	FULL - COLOR VARIETIES EVGR
☉	28	EUONYMUS FORTUNEI	EUONYMUS		18"-24"	18"-24"	FULL - LARGE VARIETY EVGR

REVISIONS:
03.26.24 - CITY COMMENTS

BUFFER AREA - 14
225' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS AREA IS 20' WIDE AND WILL BE DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 225 LF



- TOTAL SHADE TREES = (2.25) X 2 = 5 SHADE TREES
- TOTAL EVERGREEN TREES = (2.25) X 2 = 5 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.25) X 2 = 5 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.25) X 2 = 5 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (2.25) X 40 = 90 SHRUBS

PROVIDED BUFFER PLANTING

225 LF

- TOTAL SHADE TREES - 5 SHADE TREES
- TOTAL EVERGREEN TREES - 5 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 5 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 5 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 90 SHRUBS

BUFFER AREA 14

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	5	QUERCUS ALBA	WHITE OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL DEC
	5	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
UNDER STORY TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	5	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8"	4'-6"	3 STEM - FULL DEC
	5	MAGNOLIA GRANDIFLORA	LITTLE GEM	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR
SHRUBS							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	30	ILEX CORNUTA - BURFO	BURFORD HOLLY		18"-24"	18"-24"	FULL EVGR
	30	LIGUSTRUM JAPONICUM	LIGUSTRUM		18"-24"	18"-24"	FULL LARGE VARIETY EVGR
	30	VIBURNUM OBVATUM	VIBURNUM		18"-24"	18"-24"	FULL LARGE VARIETY EVGR



REVISIONS:

03.26.24 - CITY COMMENTS



Outdoor Lighting
Roadway LED



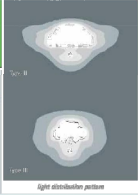
The Roadway LED is a green solution and great fit for streets, roads, loop, narrow ways and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose from 6 standard light output or fiberglass poles for mount on an existing pole. Available with cast or low failure per pole, depending on the fixture/pole combination selected.

LED Light Emitting Diodes	80 75 105 100 215 280 watts
Mounting heights	25', 30', 35'
Color	Grey, Black
Poles	Fiberglass Steel (special conditions) Wood

For additional information, visit us at dukeenergy.com/outdoor-lighting or call us toll free at 866.298.6637.



Outdoor Lighting
Roadway LED



Wattage	Light Pattern	IESNA Backlight-Uplight - Glare (B/G) Rating
LED 50	IESNA Type II (medium oval)	B1 L0-G1
LED 75	IESNA Type III (long oval)	B1 L0-G2
LED 105	IESNA Type II (ring oval)	B2 L0-G3
LED 150	IESNA Type III (medium oval)	B2 L0-G2
LED 215	IESNA Type III (medium oval)	B3 L0-G3
LED 280	IESNA Type III (medium oval)	B3 L0-G4

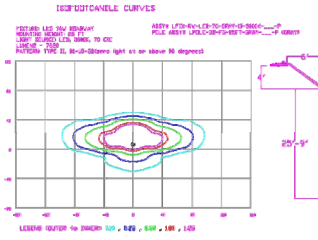
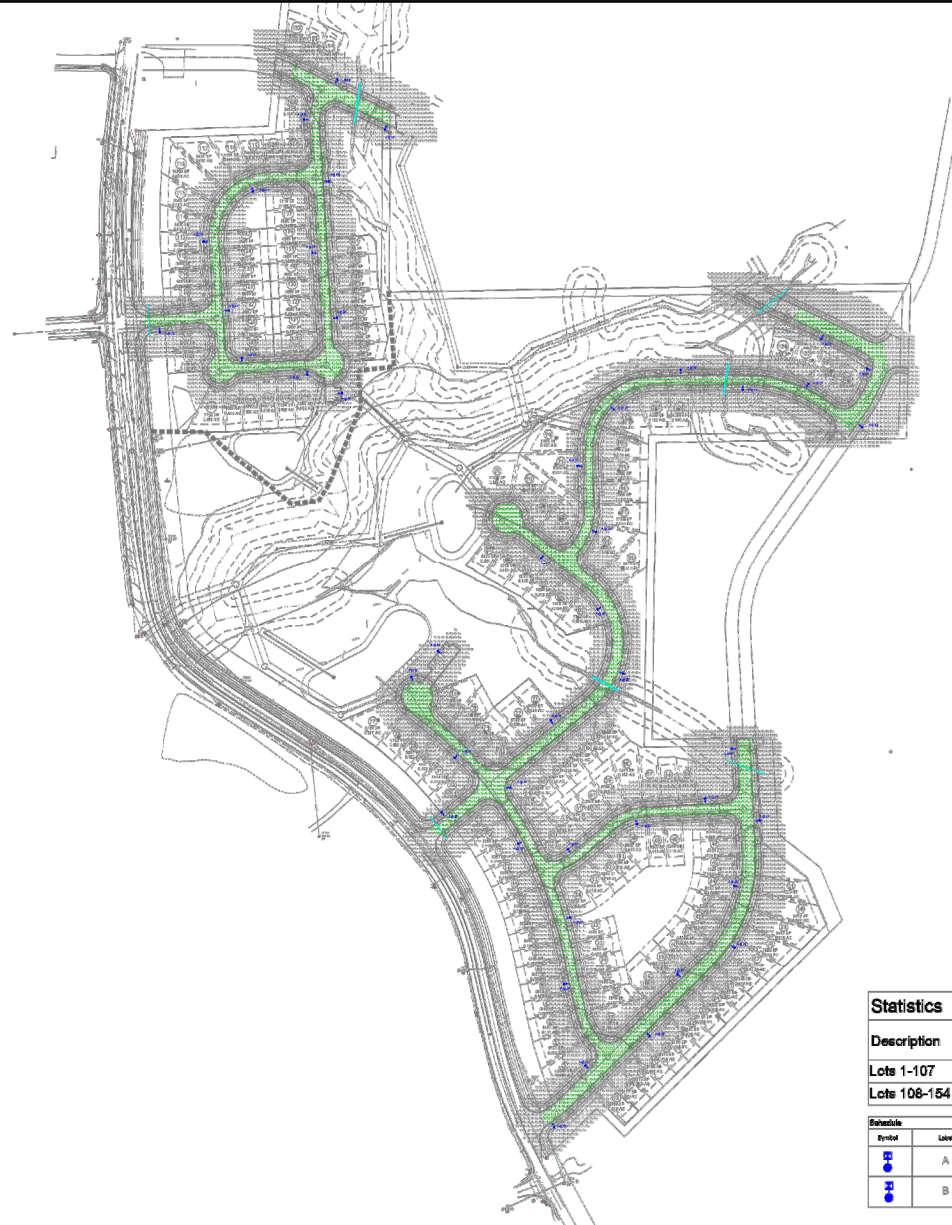
Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)

Poles available:	mounting height	color
Steel	25', 30', 35'	Grey
Fiberglass	25', 30', 35'	Black (additional cost)
Wood	25', 30', 35'	Blacked
Metal (special conditions)*	25', 30', 35'	Grey

Features

Little or no installation cost	Free as capital for other projects
Design provided by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unskilled repair bills
Flexibility included	Less expensive than related services
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 45 years of experience	A name you can trust today ... and tomorrow

*Special finishes available when required.



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lots 1-107	X	0.6 fc	2.1 fc	0.0 fc	N/A	N/A
Lots 108-154	X	0.6 fc	2.1 fc	0.0 fc	N/A	N/A

Symbol	Lot	Quantity	Description	Number of Lamps	Lumens Per Lamp	Light Loss Factor
X	A	48	LED 70w Roadway - Type II - 3000K - Public	1	7776	0.85
X	B	2	LED 70w Roadway - Type II - 3000K - Private	1	7776	0.85

REV#	DATE	REVISION	BY
Rev A	04/06/22	LED 70w Roadway	NJ

Customer approval Date: _____

SCALE: 1" = 100'

0 0.5 1.0 1.5 2.0 2.5 3.0

LIGHTING DESIGN TOLERANCE
 The calculated tolerance light levels in this lighting design are predicated values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaires installation, lighted area geometry including luminaires differences, reflective properties of surrounding surfaces, obstructions (fences or structures) in the lighted area, or lighting from adjacent sites other than listed in this design may produce different results from the predicated values. Normal tolerances of voltage (voltage sags, voltage swells) and ambient and luminaire manufacturer will also affect results.



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MAGNOLIA FOREST
 Raleigh, NC
 SITE LIGHTING PLAN
 Reviewed by: T. Ferguson Scale: 1" = 150'
 Date: 04/06/2022 Date: 04/06/2022 Size: Arch D
 Description: 70w Roadway
 Drawing No.: 22-0144A Sht. 1 OF 1