



Administrative Approval Action

Case File / Name: SUB-0038-2019
DSLC - Townes at Oakview

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is zoned NX-3-CU (Z-9-19) and CX-3 and is located on both sides of Samuel Street, north of the intersection of Samuel Street and Poole Road. The parent tract is located at 800 Samuel Street.

REQUEST: Subdivision of a 10.86 acre site into 75 townhome lots and three common area lots.

One Administrative Alternate for the required parking ratio has been approved by the City of Raleigh Transportation Director for this project, noted below. (Memo dated 11/2/2019)

1. Based on the review of a parking study 161 parking spaces are required for this development. (UDO Section 7.1.2 B)

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SPR-0276-2019: DSLC - Site Permitting Review/Major [Signature Set]
RCMP-0049-2021: DSLC - Recorded Maps/Subdivision
SUR-0437-2021: DSENG - Surety/Infrastructure

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 31, 2019 by DONALD SEVER.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A surety equal to of the cost of clearing, grubbing and reseeded a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

4. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. The City Code Covenant is no longer required based on UDO text change TC-19-20.

Engineering

3. A 5' utility placement easement for property frontage along Samuel Street and along Streets A, B, C, and D and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. The required right of way for the proposed and existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
6. The specified slope easements and associated deeds of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
7. A sight distance easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Public Utilities



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8. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

9. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
10. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
11. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

13. A public infrastructure Street Tree surety for 100 trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
14. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.05 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 47 street trees along Samuel St, 16 street trees along Oak Pass Dr, 6 street trees along Star Ridge Dr, 23 street trees along Oak Center Dr, 8 street trees along Star View Dr.

The following are required prior to issuance of building occupancy permit:

Urban Forestry

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff



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EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: August 31, 2023
Record at least ½ of the land area approved.

5-Year Sunset Date: August 31, 2025
Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Alysis Bailey Taylor* Date: 12/04/2019
Development Services Dir/Designee
Staff Coordinator: Michael Walters

SHEET INDEX

COVER SHEET C-1
EXISTING CONDITIONS C-2
SITE PLAN C-3
LOT LINES C-3A
SIGNING AND MARKING PLAN C-4
UTILITY PLAN C-5
GRADING & STORM DRAINAGE PLAN C-6
LANDSCAPING PLAN L-1-3
STORMWATER WET DETENTION POND DETAILS D-1

DEVELOPMENT SERVICES

Preliminary Subdivision Plan Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2405



This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.2.1). Please check the appropriate review type and include the plan checklist document.

Office Use Only: Transaction #:	Planning Coordinator:
DEVELOPMENT TYPE (UDO Section 2.1.2)	
<input checked="" type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Development <input type="checkbox"/> Cottage Court	
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	
GENERAL INFORMATION	
Development name (subject to approval): <u>SAMUEL STREET</u>	
Property Address(es): <u>800 SAMUEL STREET</u>	
Recorded Deed PIN(s): <u>1723456736</u>	
What is your project type? <input type="checkbox"/> Single family <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other: <input type="checkbox"/> Attached houses	
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: please attach purchase agreement when submitting this form.	
Company: <u>STARLIGHT HOMES</u>	Owner/Developer Name and Title: <u>BOB MISHLER / LD MANAGER</u>
Address: <u>5711 SIX FORKS RD SUITE 300 RALEIGH NC 27609</u>	
Phone #: <u>919 232-3695</u>	Email: <u>bob.mishler@ashtonwoods.com</u>
APPLICANT INFORMATION	
Company: <u>SUMMIT DESIGN & ENGINEERING SERVICES</u>	Contact Name and Title: <u>DON SEVER SR PM</u>
Address: <u>1110 NAVAHO DR SUITE 600 RALEIGH NC 27615</u>	
Phone #: <u>919 322-0115</u>	Email: <u>don.sever@summitde.net</u>
DEVELOPMENT TYPE + SITE DATE TABLE	
(Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: <u>10.86</u>	
Zoning districts (if more than one, provide acreage of each): CX-3 (4.25 AC) / NX-3-CU (6.607 AC; CASE #: Z-9-19)	
Overlay district: <u>NONE</u>	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case #: <u>Z-9-19</u>	Board of Adjustment (BOA) Case #: <u>A-</u>

Please continue to page two...

Page 1 of 2

REVISION 05.14.19
raleighnc.gov

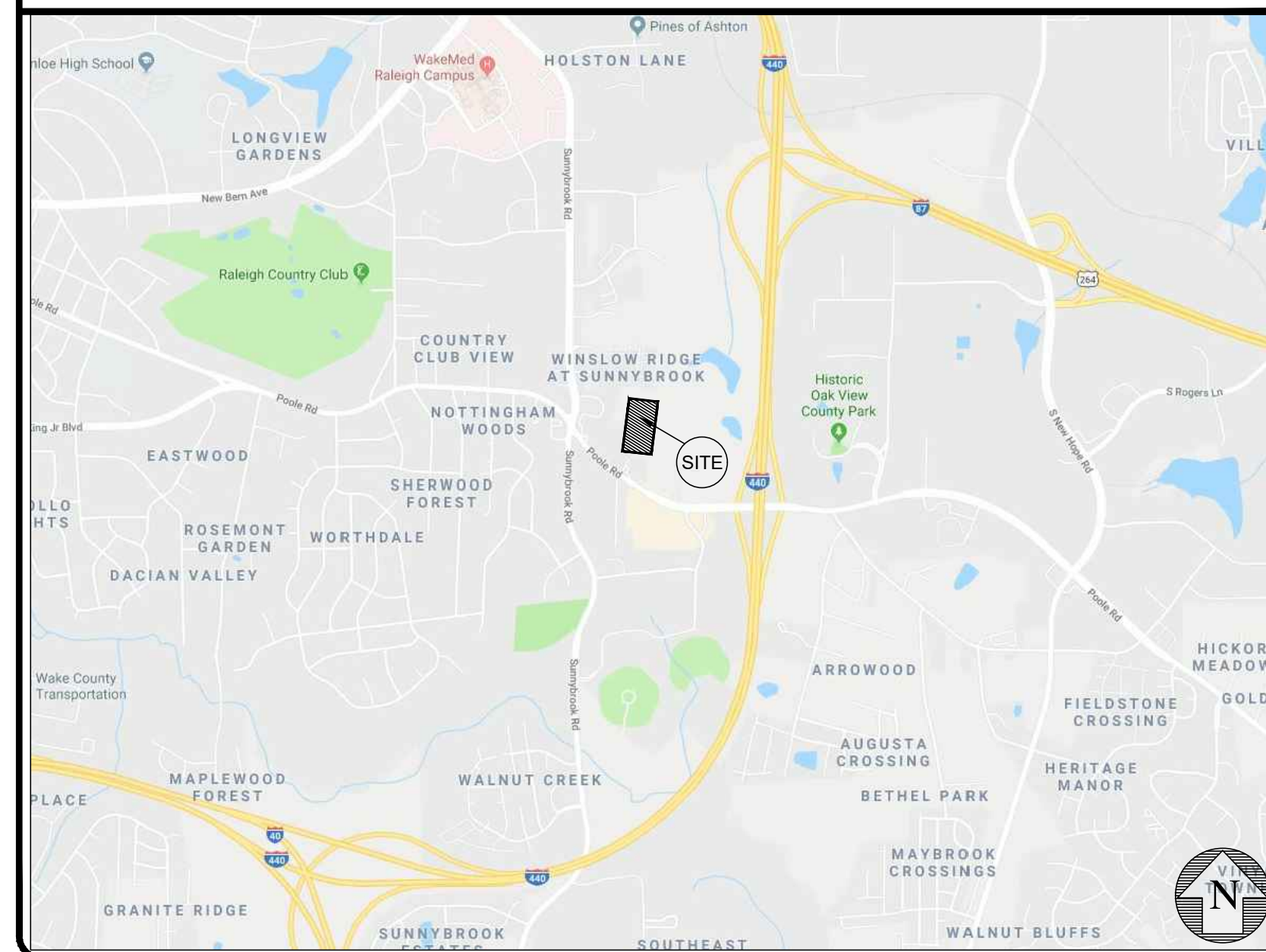
SITE DEVELOPMENT PLANS

FOR

SAMUEL ST. TOWNHOMES

800 SAMUEL ST.
RALEIGH, NC 27610

SUB-0038-2019

VICINITY MAP
NOT TO SCALE

ATTENTION CONTRACTORS:

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION. FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRED REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE. FAILURE TO CALL OF INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NC DOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NC DOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NC DOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NC DOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CURRENT OWNER

JOHN L. & BEVERLY REITZEL
388 BLACKBERRY INN RD
WEAVERVILLE, NC 28797

DEVELOPER/FUTURE OWNER

STARLIGHT HOMES
BOB MISHLER
5711 SIX FORKS RD SUITE 300
RALEIGH, NC 27609
(919) 232-3695 (PHONE)
BOB.MISHLER@ASHTONWOODS.COM

SURVEY CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES
THOMAS TELLUP
504 MEADOWLAND DR
HILLSBOROUGH, NC 27278
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
THOMAS.TELLUP@SUMMITDE.NET

ENGINEER CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES
DON A. SEVER
1110 NAVAHO DRIVE, SUITE 600
RALEIGH, NC 27609
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
DON.SEVER@SUMMITDE.NET

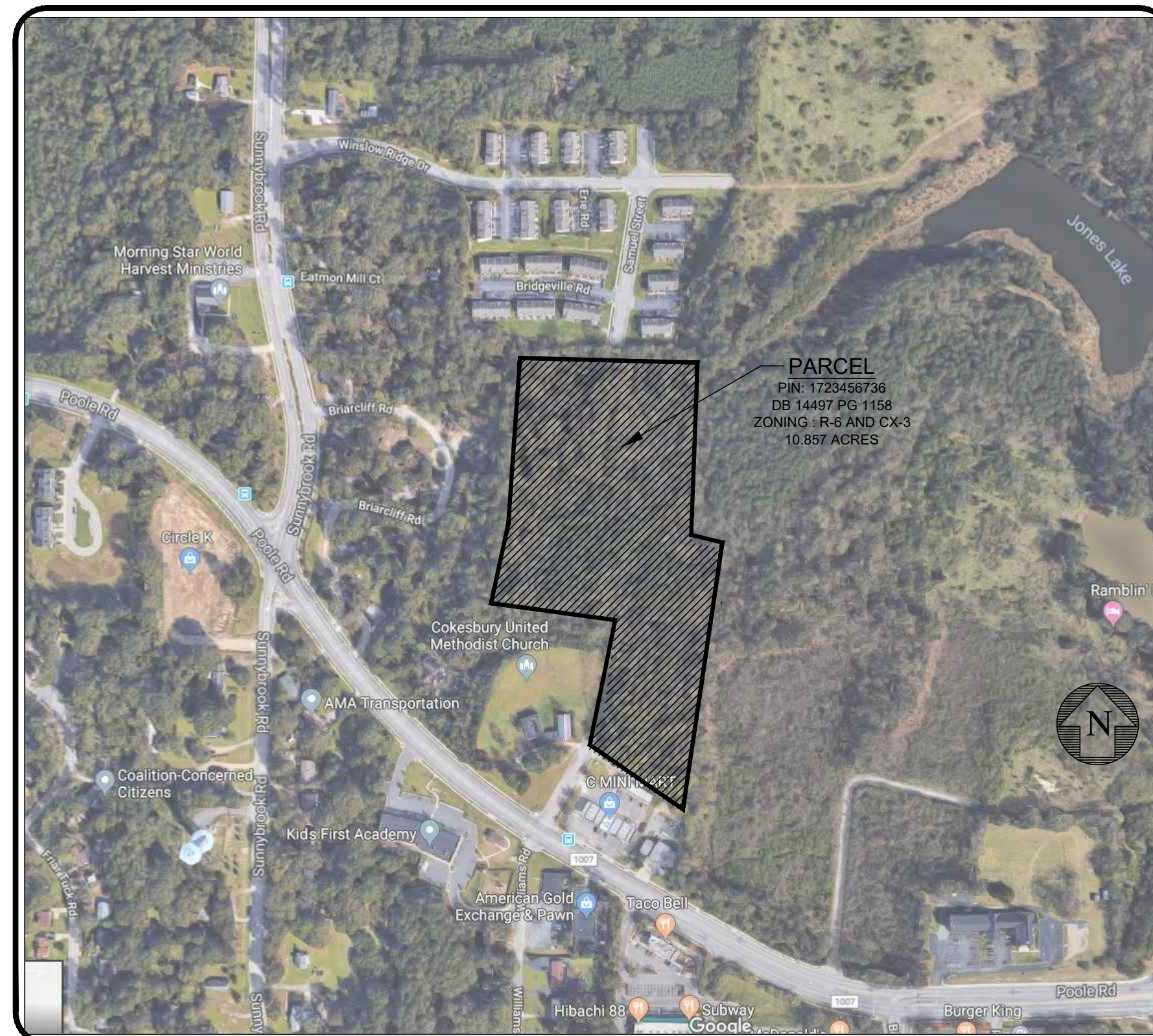
ENVIRONMENTAL CONSULTANT
SOIL & ENVIRONMENTAL CONSULTANTS
STEVEN BALL
8412 FALLS OF NEUSE ROAD, SUITE 104
RALEIGH, NC 27615
(919) 691-2114 (MOBILE)
(919) 846-5900 (OFFICE)
SBALL@SANDEC.COM

SOLID WASTE COLLECTION NOTES:

- SOLID WASTE DESIGN MANUAL HAS BEEN REVIEWED AND ALL ITEMS SHOWN ARE IN COMPLIANCE.
- CITY OF RALEIGH SOLID WASTE SERVICES (SWS) TO HANDLE TRASH NEEDS.
- EACH TOWNHOME UNIT WILL STORE THE ROLL OUT TRASH & RECYCLE RECEPTACLES IN THE GARAGE. ON COLLECTION DAY, THE ROLL OUT BINS WILL BE PLACED CURBSIDE IN FRONT OF EACH UNIT.

SITE INFORMATION :

PIN: 1723456736
AREA: 10.857 ACRES
SITE TOTAL = 75 UNITS
ZONING: CX-3 (4.25 AC) / NX-3 CU (6.607 AC; CASE #: Z-9-19)
OVERLAY DISTRICT: NONE
IMPERVIOUS AREA: 0 SF EXISTING
219,400 SF PROPOSED, 1,240 SF PER LOT.
5.0 AC (46%) - 70% ALLOWED
DENSITY: CX-3 = 42 UNITS / 4.25 AC = 9.88 UNITS PER ACRE
NX-3-CU = 33 UNITS / 6.607 AC = 5.0 UNITS PER ACRE
51 - 3 BEDROOM UNITS, 24 - 2 BEDROOM UNITS
RW DEDICATION = 3.052 ACRES
NET AREA = 10.857 - 3.052 = 7.805 ACRES
VEHICLE PARKING:
REQUIRED: 161 SPACES (SEE PARKING REDUCTION LETTER)
PROVIDED: 75 X 2 + 11 = 161 REGULAR SPACES
1 HANDICAP SPACE (VAN)
SHORT TERM BICYCLE PARKING: REQUIRED: 75 / 20 = 4 SPACES
PROVIDED: 4 SPACES (2 BICYCLE RACKS)
AMENITY - OPEN LOT REQUIRED: 5,000 SQ.FT
PROVIDED: 18,700 SQ.FT
OPEN SPACE: REQUIRED = 10% X 7.805 = 0.781 ACRE
PROVIDED = 1.06 ACRES = 13.58% OF NET AREA
TREE CONSERVATION: REQUIRED = 10% X 7.805 = 0.781 ACRE
PROVIDED = 1.05 ACRE = 13.62% OF NET AREA
BUILDING SETBACK:
FROM PRIMARY STREET: 10 FEET
FROM SIDE STREET: 10 FEET
FROM SIDE LOT LINE: 0 OR 6 FEET
FROM REAR LOT LINE: 20 FEET

SITE LOCATION MAP
NOT TO SCALE

Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4349) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

PAGE 2 OF 13

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MAY 14 2019

REVISION 5.15.18

SUMMIT
DESIGN AND ENGINEERING SERVICES
Creatively Inspired - Technically Executed

CONCEPTUAL SITE PLAN
SAMUEL ST. TOWNHOMES
800 SAMUEL ST
27610, RALEIGH, NC

PROJECT NO.
18-0405

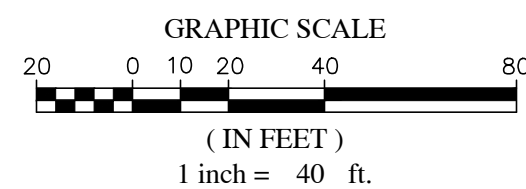
DRAWING NAME:
18-0405_CS

SHEET NO.
C-1

COVER SHEET



Know what's below.
Call before you dig.



NOTE "L"
TREE CONSERVATION AREAS ARE STRICTLY PROTECTED BY THE CITY OF RALEIGH. NO SOIL OR TREE DISTURBING ACTIVITY SHALL TAKE PLACE WITHIN TREE CONSERVATION AREAS, INCLUDING: CHANGES TO VEGETATIVE COVER, STABILIZATION OF A STRUCTURE OR FENCE, ROAD OR WALKWAY CONSTRUCTION, TREE REMOVAL OR PRUNING, CHEMICAL OR BIOLOGICAL AGENT APPLICATION, PERMANENT OR TEMPORARY ENCROACHMENTS OF IMPERVIOUS SURFACES, VEHICLES, EQUIPMENT OR MATERIALS.

NOTE "X"
AREAS IDENTIFIED AS NEUSE RIVER RIPARIAN BUFFER SHALL BE MAINTAINED IN PERPETUITY IN THEIR NATURAL OR MITIGATED CONDITION. NO PERSON OR ENTITY SHALL FILL, GRADE, EXCAVATE, OR PERFORM ANY OTHER LAND-DISTURBING ACTIVITIES; NOR CUT, REMOVE, OR HARM ANY VEGETATION; NOR CONSTRUCT ANY STRUCTURES NOR ADD ANY ADDITIONAL IMPERVIOUS SURFACE, NOR ALLOW ANIMAL GRAZING OR WATERING OR ANY OTHER AGRICULTURAL USE ON SUCH PROTECTED AREAS WITHOUT WRITTEN AUTHORIZATION OF THE DIVISION OF WATER QUALITY (DWQ) OR COMPLIANCE WITH THE RIPARIAN BUFFER PROTECTION RULES (15A NCAC 2B-02.33 OR 02.55). THIS COVENANT IS TO RUN WITH THE LAND, AND SHALL BE BINDING ON THE OWNER, AND ALL PARTIES CLAIMING UNDER IT.

FENCE HEIGHT IS 4FT - COLOR IS BLACK

DR. CT	SH. LOT	SCALE	DO NOT SCALE
CK. ME	Date	6/25/19	REV: b

AMERISTAR

NOTE: ADJACENT PARCEL MUST DEDICATE RW FROM CENTERLINE. DEVELOPER WILL REQUEST FEE IN LIEU PAYMENT FOR WIDENING TO ULTIMATE WIDTH.

RETAINING WALL #7
W SAFETY FENCE

4.5' BICYCLE LANE

6' SIDEWALK

30" CURB & GUTTER

RETAINING WALL #6
W SAFETY FENCE

30" CURB & GUTTER

RETAINING WALL #5
W SAFETY FENCE

END OF EXISTING PAVEMENT

END OF EXISTING PAVEMENT

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BUILDING WIDTH

REQUIRED: 70% MINIMUM
PROVIDED: 85% - 3 UNITS
88% - 4 UNITS
90% - 5 UNITS
92% - 6 UNITS
93% - 7 UNITS

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RW DEDICATION = 3.052 ACRES
NET AREA = 10.857 - 3.052 = 7.805 ACRES
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CONCEPTUAL SITE PLAN
SAMUEL ST. TOWNHOMES
800 SAMUEL ST
27610, RALEIGH, NC

PROJECT NO.

18-0405

DRAWING NAME:

18-0405_S

SHEET NO.

C-3

OVERALL SITE PLAN

SUMMIT
DESIGN AND ENGINEERING SERVICES
Creatively Inspired - Technically Executed
License #: P-0039
504 Macdonald Drive
Hillsborough, NC 27226-8451
(919) 732-6676
www.summitde.net

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SUMMIT DESIGN AND
ENGINEERING SERVICES

PROJECT ENGINEER/ARCHITECT
CJ CATHERINE JACOBS@SUMMITDE.NET

PROJECT MANAGER
DS DON SEVER@SUMMITDE.NET

DRAWN BY
AN ALEXANDROT@SUMMITDE.NET

FIRST ISSUE DATE
02-12-2019

REVISIONS

DATE

BY

DS

09/28/19

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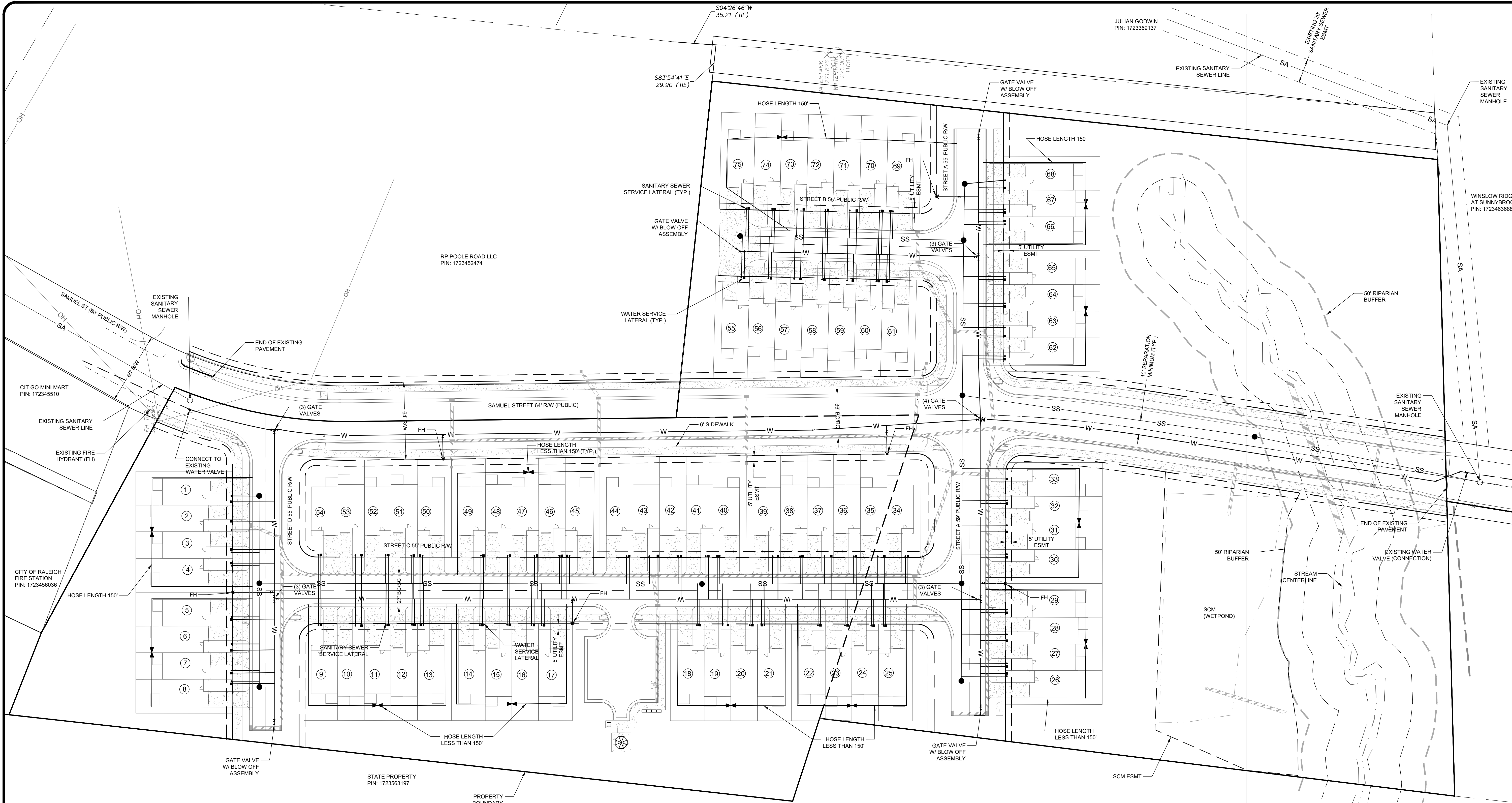
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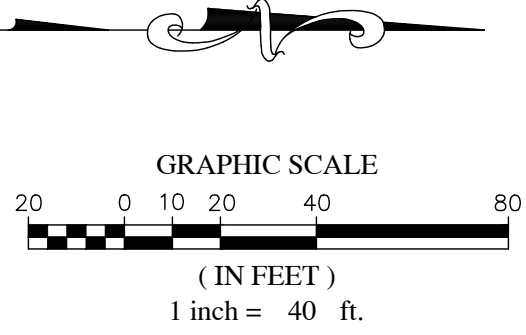


UTILITIES NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

UTILITIES LEGEND:

- | EXIST | PROPOSED | |
|-------|----------|--|
| | | WATER VALVE |
| | | FIRE HYDRANT |
| | | WATER METER |
| | | LIGHT POLE |
| | | FIRE DEPT. CONNECTION (FDC) |
| | | REDUCER |
| | | PLUG & BLOCK |
| | | MECHANICAL JOINT / BEND |
| | | POST INDICATOR VALVE (PIV) |
| | | AIR RELEASE VALVE (ARV) |
| | | SANITARY SEWER MANHOLE |
| | | SEWER CLEAN OUT |
| | | CURB INLET |
| | | DROP INLET |
| | | JUNCTION BOX |
| | | FLARED END SECTION (FES) |
| | | EXISTING WATER MAIN
PROPOSED WATER MAIN / SERVICE |
| | | EXISTING GAS MAIN
PROPOSED GAS MAIN |
| | | EXISTING OVERHEAD ELECTRIC
PROPOSED OVERHEAD ELECTRIC |
| | | EXISTING SEWER MAIN
PROPOSED SEWER MAIN / SERVICE |
| | | EXISTING STORM PIPE
PROPOSED STORM UNDERDRAIN |
| | | PROPOSED STORM PIPE |



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NOTE: FOR WATERLINE, AT ALL TEES, PLACE 3 GATE VALVES, 4 GATE VALVES AT CROSSES. SCM'S ARE CONCEPTUALLY WETPONDS

PROJECT ENGINEER/ARCHITECT	CJ CATHERINE JACOBS@SUMMITDE.NET
PROJECT MANAGER	DS DON SEVER@SUMMITDE.NET
DRAWN BY	AM ALEX HANCOCK@SUMMITDE.NET
FIRST ISSUE DATE	02-12-2019
DATE	09/26/19
BY	DS
REVISIONS	
7	
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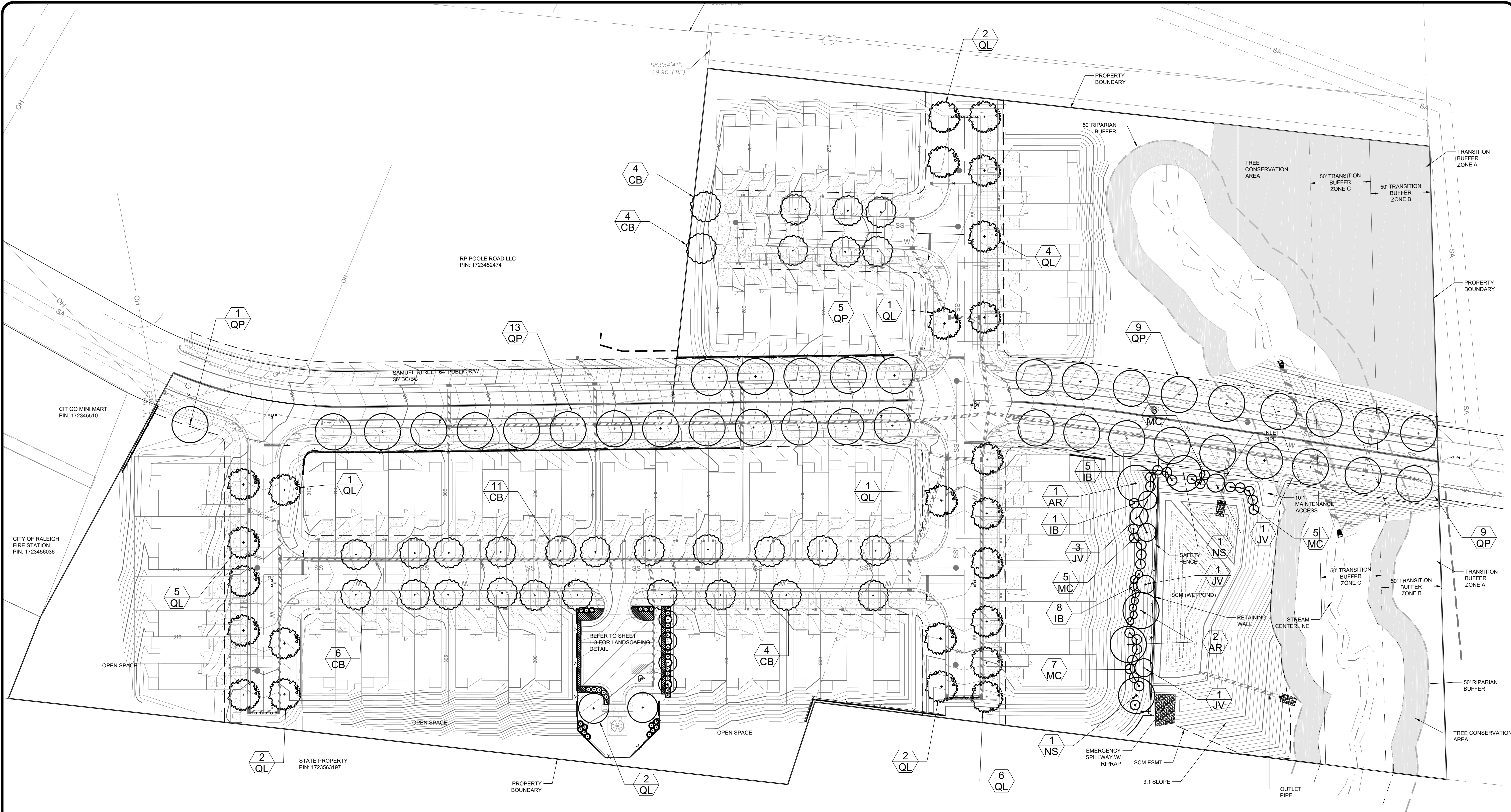
CONCEPTUAL SITE PLAN
SAMUEL ST. TOWNHOMES
800 SAMUEL ST
27610, RALEIGH, NC

OVERALL UTILITY PLAN

PROJECT NO.
18-0405

DRAWING NAME:
18-0405_U

SHEET NO.
C-5



GENERAL LANDSCAPING NOTES:

- ALL EXISTING VEGETATION ON THIS SITE, WITH THE EXCEPTION OF THE SPECIES NOTED, SHALL BE REMOVED PRIOR TO ANY INSTALLATION OF NEW PLANTING MATERIAL.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED BY HIS WORK.
- ANY AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR SHREDDED HARDWOOD MULCH SHALL BE SEEDED LAWN.
- CONTRACTOR SHALL AMEND ALL PROPOSED PLANT BEDS WITH SOIL CONDITIONER. SOIL CONDITIONER SHALL BE APPLICABLE TO THE GEOGRAPHIC AREA OF INSTALLATION PER THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL LIMIT DISTURBANCE WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN. NO STORAGE OF ANY MATERIALS IS PERMITTED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
- CONTRACTOR TO PROVIDE ANNUALS WHICH ARE APPROPRIATE FOR THE PLANTING SEASON AT THE TIME OF INSTALLATION.
- OWNER RESERVES THE RIGHT TO REJECT ANY DAMAGED OR DYING PLANT MATERIALS. CONTRACTOR SHALL REPLACE SAID PLANTING MATERIALS WITH NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PROPOSED PLANT MATERIALS SHALL COMPLY WITH THE SIZING AND GRADING STANDARDS AS SET FORTH IN THE CURRENT EDITION OF ANSI Z60.180-AMERICAN STANDARD FOR NURSERY STOCK.
- TREE CONSERVATION AREAS ARE STRICTLY PROTECTED BY THE CITY OF RALEIGH. NO SOIL OR TREE DISTURBING ACTIVITY SHALL TAKE PLACE WITHIN TREE CONSERVATION AREAS, INCLUDING: CHANGES TO VEGETATIVE COVER, STABILIZATION OF A STRUCTURE OR FENCE, ROAD OR WALKWAY CONSTRUCTION, TREE REMOVAL OR PRUNING, CHEMICAL OR BIOLOGICAL AGENT APPLICATION, PERMANENT OR TEMPORARY ENCROACHMENTS OF IMPERVIOUS SURFACES, VEHICLES, EQUIPMENT OR MATERIALS.
- AREAS IDENTIFIED AS NEUSE RIVER RIPARIAN BUFFER SHALL BE MAINTAINED IN PERPETUITY IN THEIR NATURAL OR MITIGATED CONDITION. NO PERSON OR ENTITY SHALL FILL, GRADE, EXCAVATE, OR PERFORM ANY OTHER LAND-DISTURBING ACTIVITIES; NOR CUT, REMOVE, OR HARM ANY VEGETATION; NOR CONSTRUCT ANY STRUCTURES NOR ADD ANY ADDITIONAL IMPERVIOUS SURFACE; NOR ALLOW ANIMAL GRAZING OR WATERING OR ANY OTHER AGRICULTURAL USE ON SUCH PROTECTED AREAS WITHOUT WRITTEN AUTHORIZATION OF THE DIVISION OF WATER QUALITY (DWQ) OR COMPLIANCE WITH THE RIPARIAN BUFFER PROTECTION RULES (15A NCAC 2B .0233 OR .0259). THIS COVENANT IS TO RUN WITH THE LAND, AND SHALL BE BINDING ON THE OWNER, AND ALL PARTIES CLAIMING UNDER IT.

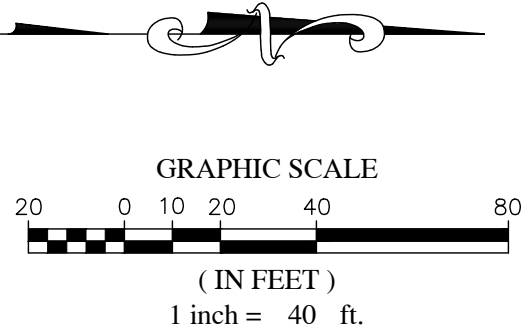
PLANTING SCHEDULE										
TYPE	SITE TOTAL	SYM./KEY	BOTANICAL NAME	COMMON NAME	SPECIFICATION					
					CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
TREE	29	CB	Carpinus Betulus' Fastigiata'	PIRAMIDAL EUROPEAN HORNBREAM	3"			B&B	AS SHOWN	
	26	QL	Quercus Lyrata	OVERCUP OAK	3"			B&B	AS SHOWN	MACHED - LIMBED TO 6'
	37	QP	Quercus Phellos	WILLOW OAK	3"			B&B	AS SHOWN	MACHED - LIMBED TO 6'
	4	LI	Lagerstroemia Indica 'Miami'	MIAMI CRAPE MURTL	3"	10' - 12'				MULTI-STEM
	1	NS	Nyssa Sylvatica	BLACK TUPELO	3"	-	-	B&B	AS SHOWN	
	5	JV	Juniperus Virginiana	EASTERN RED CEDAR	3"	8' - 10'	-	B&B	AS SHOWN	
	3	AR	Acer Rubrum 'Red Sunset'	RED SUNSET MAPLE	3"	10' MIN.	-	B&B	AS SHOWN	
SCHRUB	16	AG	Abelia x Grandiflora' Edward Goucher'	EDWARD GOUCHER ABELIA	-	20" - 24"	16" - 20"	CONT.	42" O.C.	
	20	MC	Myrica Cerifera	WAX MYRTLE	-	4' - 5'	30" - 36"	CONT.	8' O.C.	
	14	IB	Ilex Comuta 'Burfordii'	BURFORD HOLLY	-	3' - 4'	24" - 30"	CONT.	6' O.C.	
GROUND COVER	625	LM	Liriope Muscari 'Big Blue'	BIG BLUE LIROPE	-			1 GAL	12" O.C.	

NOTE: THE PLANTING SCHEDULE DOES NOT ACCOUNT FOR LANDSCAPING AROUND TOWNHOMES

SITE INFORMATION:

TREE CONSERVATION: REQUIRED = 10% X 7.754 = 0.775 ACRE
PROVIDED = 1.05 ACRE = 13.62% OF NET AREA

LANDSCAPE REQUIRED:
STREET TREES: 1 (CANOPY TREE) / 40 LF
(TO BE LOCATED IN PLANTING STRIP)



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DRAWING ALTERATION
FOR THE CITY OF RALEIGH
PER CITY OF RALEIGH 08/16/19
DESCRIPTION OF THE ALTERATIONS

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DRAWN BY
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FIRST ISSUE DATE
02-12-2019

DATE

BY

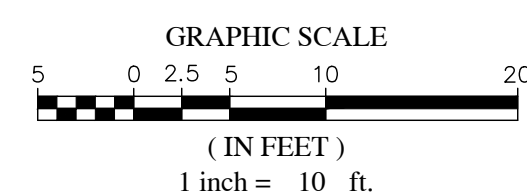
CONCEPTUAL SITE PLAN
SAMUEL ST. TOWNHOMES
800 SAMUEL ST
27610, RALEIGH, NC

LANDSCAPE PLAN

PROJECT NO.
18-0405

DRAWING NAME:
18-0405_LS

SHEET NO.
L-1

LANDSCAPE PLAN
PARKING & AMENITY DETAIL

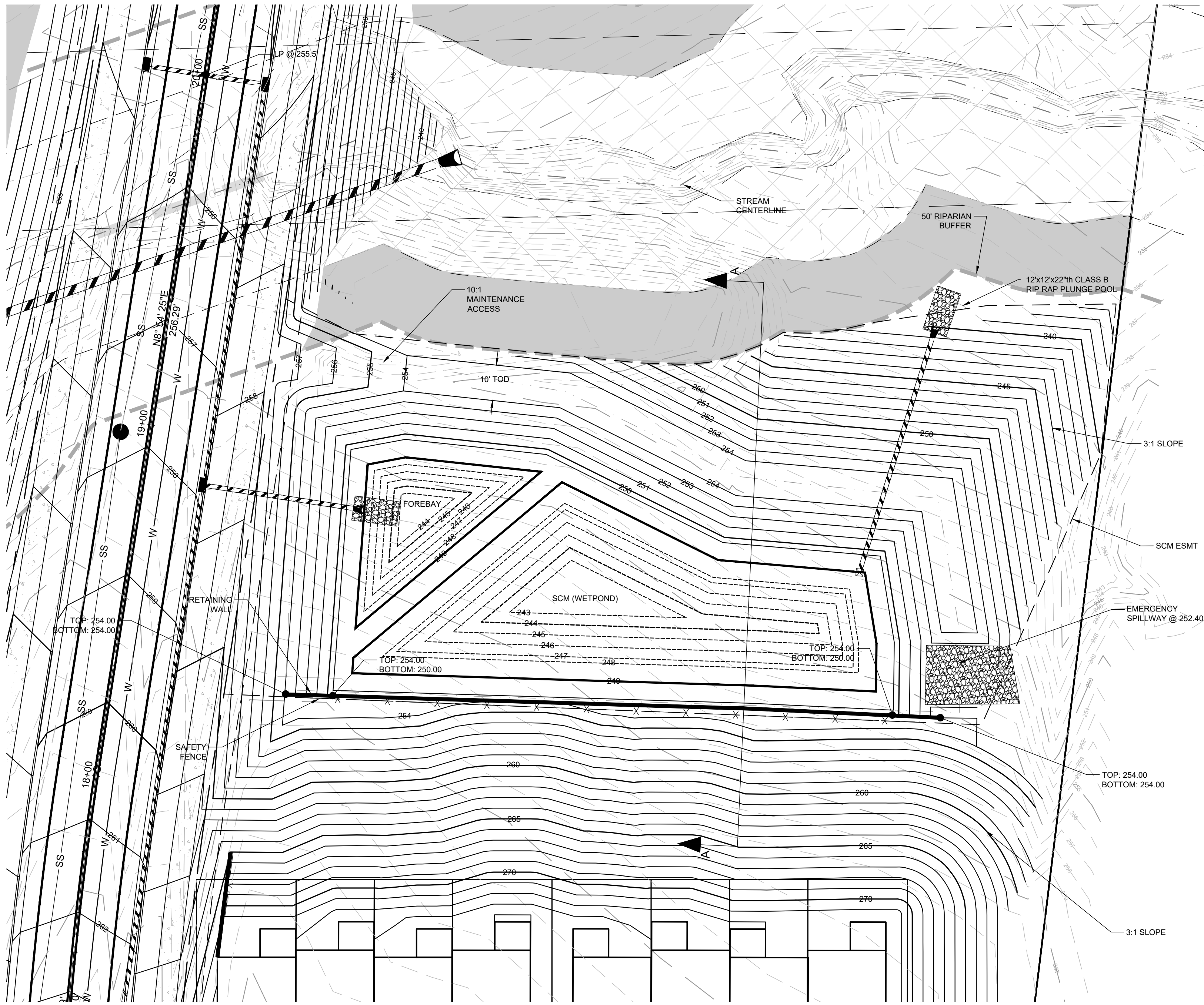
PROJECT NO.
18-0405
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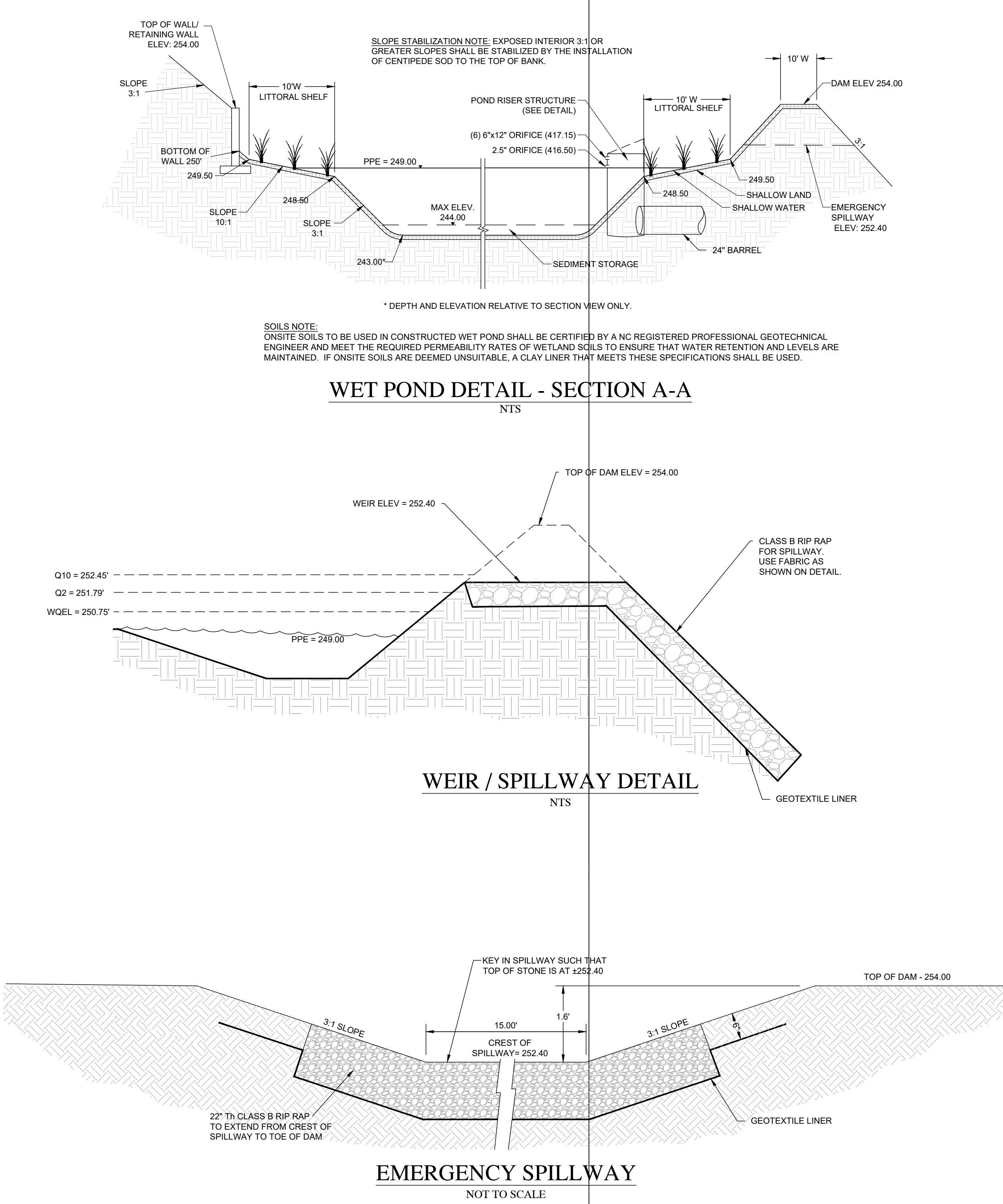
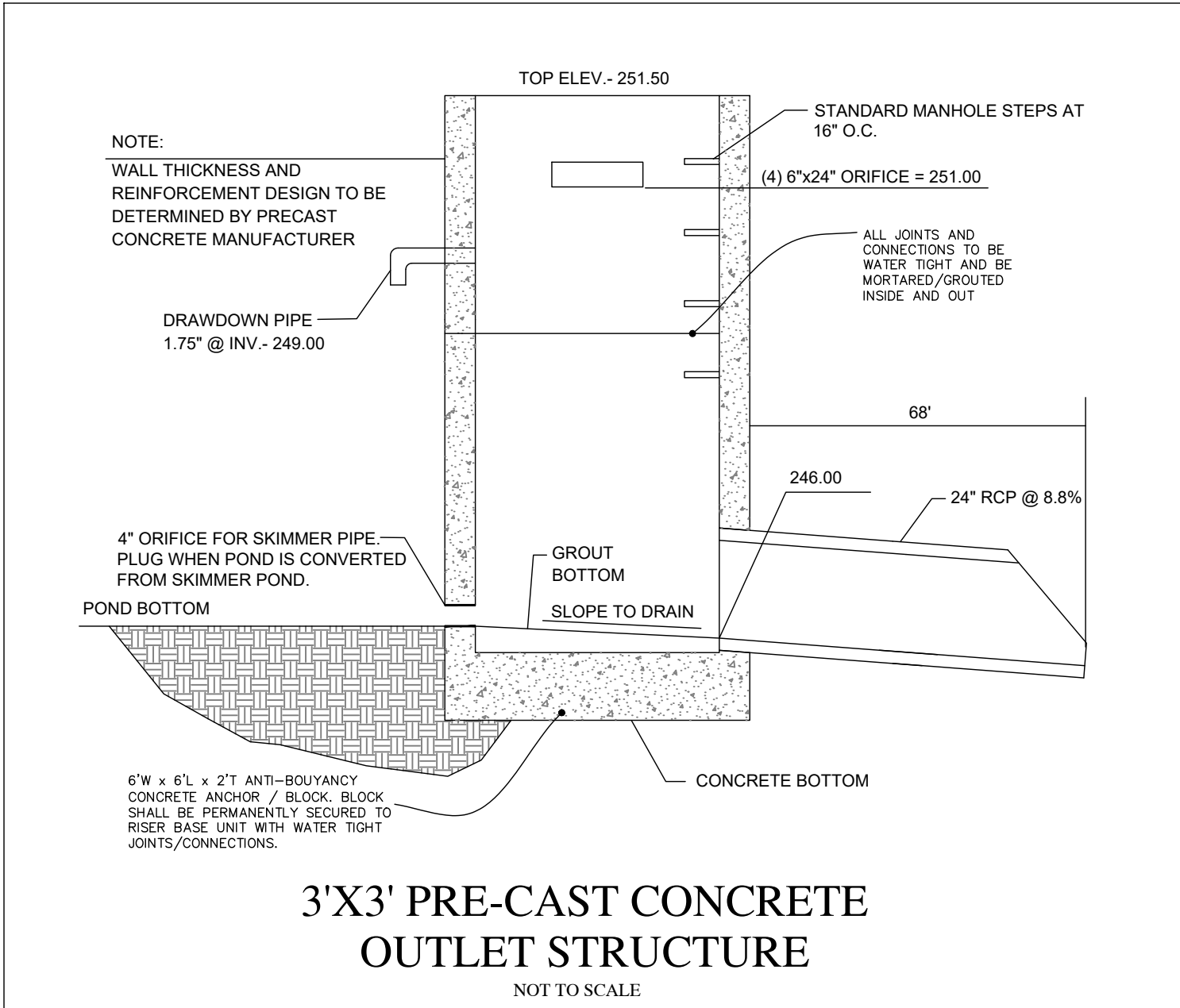
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WET DETENTION BASIN DETAIL
SCALE: 1" = 20'

WET DETENTION POND
STRUCTURE DETAILS

	DESIGN	AS-BUILT
INLET STRUCTURE	36" PRECAST BOX	
EMER. OVERFLOW (WEIR) ELEV	252.40	
PEAK FLOW ORIFICE ELEV	251.00	
PEAK FLOW ORIFICE SIZE	(6) 6"x24"	
DEWATERING ORIFICE SIZE/ELEV	1.75" @ 249	
TOP OF DAM	254	
DESIGN STORM ELEV (1yr)	251.44	
DESIGN STORM VOLUME (1yr)	28,807 CF	
OUTLET PIPE/ BARREL	24"	
OUTLET PIPE INVERT	240	
Q1 FLOW FROM BASIN (cfs)	6.15	



DAM EMBANKMENT CONSTRUCTION STANDARDS:

1. CONTROLLED FILL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, IN THE DAM EMBANKMENT SHALL BE PLACED IN 6-INCH LOOSE LAYERS (3-INCH LOOSE LAYERS WITHIN 3- FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2- FEET OVER THE PIPE) AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D998.
2. ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
3. FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
4. ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.
5. SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.
6. FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.
7. TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION DEWATERING AND ROCK FOUNDATION PREPARATION (I.E., TREATMENT WITH SLUSH GROUTING, DENTAL CONCRETE, ETC.) MAY BE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.
8. FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.
9. EARTHWORK COMPACTION WITHIN 3- FEET OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINATURE SELF- PROPELLED ROLLERS.
10. COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
11. HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST- IN- PLACE STRUCTURES (INCLUDING THE CRADLE) UNTIL ADEQUATE CURING TIME HAS ELAPSED.
12. TO RE- ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2- TO 3- INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND SODDED OR HYDROSEED.

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PER CITY OF RALEIGH 08/16/19

DATE

BY

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FIRST ISSUE DATE
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WET DETENTION POND DETAIL

PROJECT NO.
18-0405

DRAWING NAME:
18-0405_D

SHEET NO.
D-1