

# Preliminary Subdivision Application

## Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

DEVELOPMENT OPTIONS (UDO Chapter 2)				
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development		
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option		
<i>NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.</i>				
GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es):				
Recorded Deed PIN(s):				
<b>Building type(s):</b>	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
<b>Current Property Owner(s) Names:</b>	
Company:	Title:
Address:	
Phone #:	Email:
<b>Applicant Name (If different from owner. See “who can apply” in instructions):</b>	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact Names:</b>	
Company:	Title:
Address:	
Phone #:	Email:

**DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION**

Gross site acreage: 0.52

Zoning districts (if more than one, provide acreage of each):

R-10

Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) <u>2,035</u> Proposed total (sf) <u>13,004</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) <u>2,885</u> Proposed total (sf) <u>13,989</u>
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**NUMBER OF LOTS AND DENSITY**

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots: 8
# of Tiny House Lots:	# of Open Lots: 1	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots: 9	Total # Dwelling Units: 8	
Proposed density for each zoning district (UDO 1.5.2.F): 15.38		

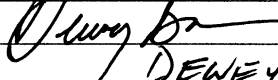
**SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 6/29/23
Printed Name: DEWEY BROWN	
Signature:	Date:
Printed Name:	



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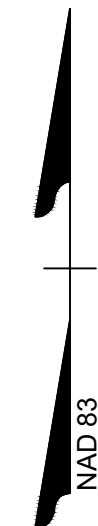
Page 2 of 2 REVISION 04.17.23  
raleighnc.gov

- **TREE CONSERVATION:**
  - THIS PROJECT IS EXEMPT FROM TREE CONSERVATION BECAUSE NET SITE AREA IS LESS THAN 2 ACRES.
- **STORMWATER:**
  - THIS DEVELOPMENT DOES NOT REQUIRE ACTIVE STORMWATER CONTROLS SINCE NET SITE AREA IS 0.5 ACRE.
- **SOLID WASTE MANAGEMENT:**
  - SOLID WASTE WILL BE MANAGED THROUGH ROLL OUT BINS STORED IN GARAGES AND PICKUP BY CITY OF RALEIGH MUNICIPAL WASTE SERVICES.
  - DEVELOPER HAS REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- **BLOCK PERIMETER:**
  - SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS SINCE NET SITE AREA IS LESS THAN 3 ACRES.



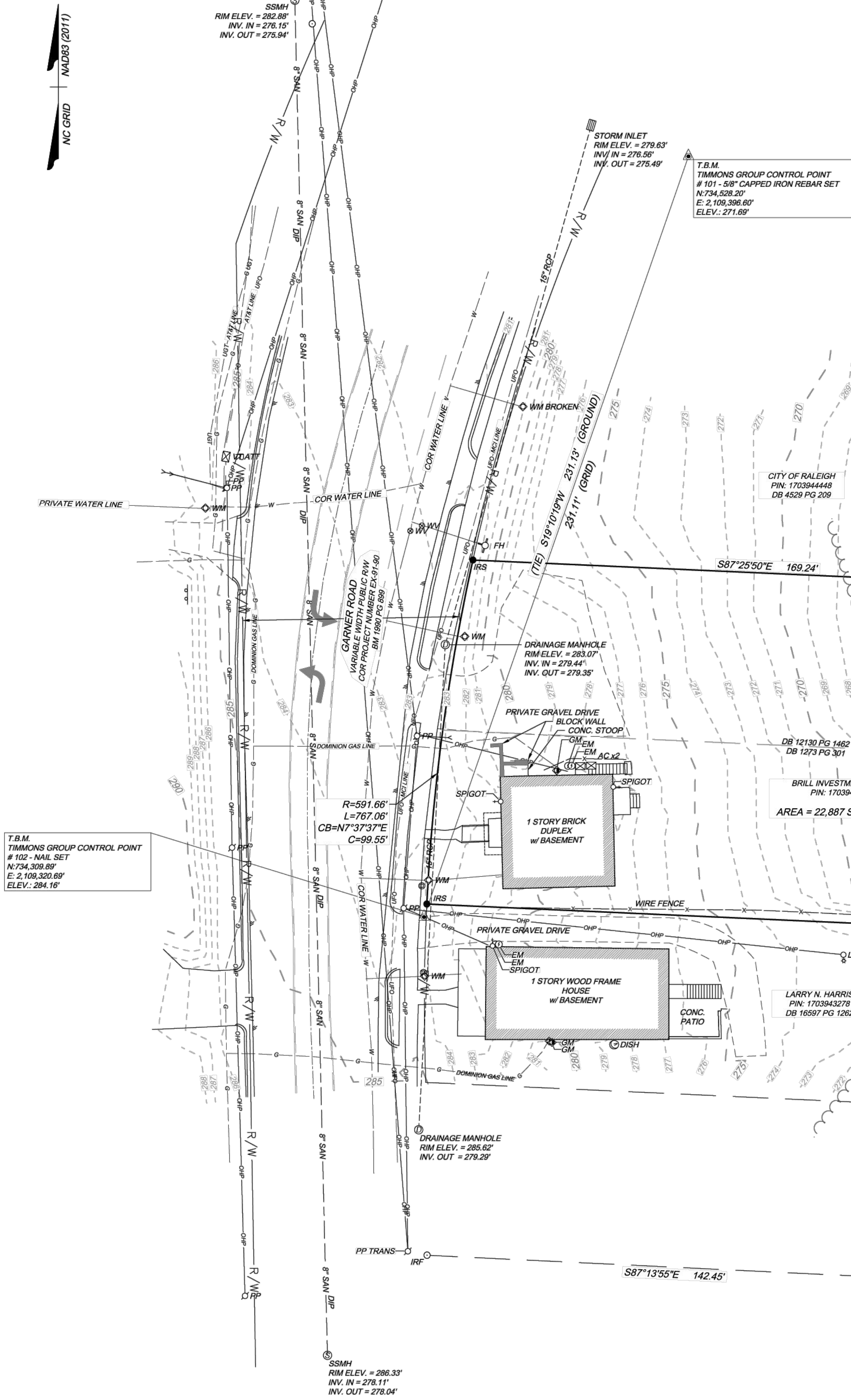
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH  
STANDARDS, SPECIFICATIONS, AND DETAILS

SITE DATA TABLE	
PROJECT NAME:	1015 GARNER ROAD TOWNHOMES
PROPERTY OWNER:	BRILL INVESTMENTS LLC
PIN:	1703-94-4345
PROPERTY ADDRESS:	1015 GARNER RD, RALEIGH, NC 27601
JURISDICTION:	CITY OF RALEIGH
EXISTING ZONING:	R-10
EXISTING USE:	TWO-FAMILY RESIDENTIAL
PROPOSED USE:	TOWNHOMES
DEVELOPMENT OPTIONS	FREQUENT TRANSIT DEVELOPMENT (SEC. 2.7)
PROPOSED BUILDING HEIGHT:	36'-0" (TOP OF ROOF)
EXISTING SITE AREA:	0.525 AC. (22,877 SF)
PROPOSED SITE AREA:	0.50 AC ± (AFTER 892 SF ROW DEDICATION)
PROPOSED UNIT COUNT:	EIGHT (8) TOWNHOMES
OUTDOOR AMENITY AREA REQUIRED:	2,287 SF (10% NET SITE AREA)
OUTDOOR AMENITY AREA PROVIDED:	692 SF ROOF TOP PATIO X 8 = 5,536 SF (24% NET SITE AREA - REFER TO ARCHITECTURAL PLANS)

$$1'' = 500'$$




Y:\90251569-1015-GARNER-ROAD\DWG\51569V.XPSURV.dwg | Plotted on 3/10/2022 1:14 PM | by Martin Webb



#### LEGEND

- IPF - IRON PIPE FOUND
- IRF - IRON ROD FOUND
- IRS - 5/8" CAPPED IRON REBAR SET
- CP - COMPUTED POINT
- CMF - CONCRETE MONUMENT FOUND
- T.B.M. - BENCH MARK / CONTROL POINT
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- SATELLITE DISH
- ELECTRIC BOX
- TELEPHONE PEDESTAL
- CABLE TV PEDESTAL
- SIGN
- ELECTRIC METER
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- LIGHT POLE
- DRAINAGE STRUCTURE
- GAS METER
- GAS VALVE
- BOLLARD / POST
- AC - AIR CONDITIONER UNIT
- VT - TELEPHONE VAULT
- CLEAN OUT
- GUY

- DEED LINE
- LINE NOT SURVEYED
- SANITARY LINE
- FENCE
- OVERHEAD POWER LINE
- PAINTED GAS LINE
- PAINTED POWER LINE
- STORM LINE / PIPE
- PAINTED TELEPHONE LINE
- PAINTED WATER LINE
- EDGE OF TREE LINE
- PAINTED FIBER OPTIC LINE
- PAINTED CABLE TV LINE
- CREEK CENTERLINE
- UTILITY LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- EDGE OF PAVEMENT
- CURB AND GUTTER

#### ABBREVIATIONS

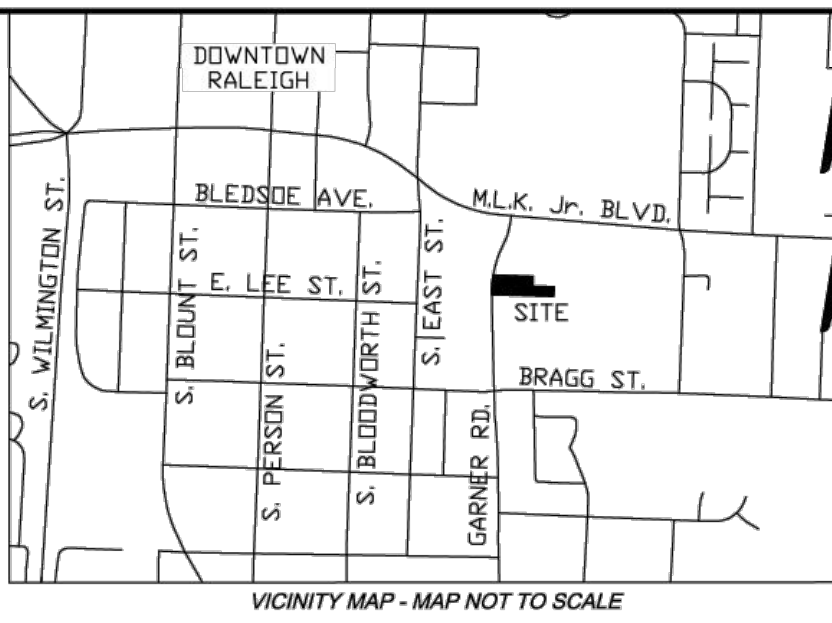
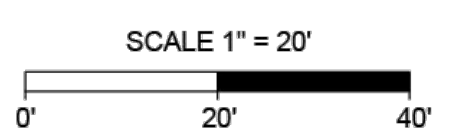
- AC - ACRE(S)
- BM - BOOK OF MAPS
- CCR - CITY OF RALEIGH
- DB - DEED BOOK
- DIP - DUCTILE IRON PIPE
- ELEV - ELEVATION
- INV - INVERT
- MKG - FIBER OPTIC MARKER
- MKG - GAS MARKER
- PG - PAGE
- PIN - PARCEL IDENTIFICATION NUMBER
- R/W - RIGHT-OF-WAY
- RCF - REINFORCED CONCRETE PIPE
- SF - SQUARE FEET
- SSMH - SANITARY SEWER MANHOLE
- TBC - TOP BACK OF CURB
- TYP - TELEVISION PEDESTAL
- TYP - TYPICAL

#### SURVEY NOTES:

- TOPOGRAPHIC EXHIBIT PREPARED FOR BRILL INVESTMENTS, LLC.
- THIS PROPERTY LIES IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA, PER FIRM #37201703001, PANEL 1703, EFFECTIVE DATE MAY 02, 2006.
- HORIZONTAL CONTROL IS BASED ON NC STATE GRID, NAD83 (2011) AS DETERMINED BY GPS. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- VERTICAL DATA IS NAVD 88, CONTOUR INTERVAL IS 1'.
- THIS SURVEY DOES NOT VERIFY THE EXISTENCE OF, NOR CERTIFY THE LOCATION OF, ANY JURISDICTIONAL WETLANDS, CREEK BUFFERS OR ANY OTHER ENVIRONMENTAL FEATURE THAT MAY EXIST ON THIS PROPERTY.
- THE LOCATION OF SUB SURFACE UTILITIES AS SHOWN HEREON, IF ANY, ARE BASED ON FIELD LOCATION OF SURFACE FEATURES AND MARKINGS PROVIDED BY NC811 AND ARE APPROXIMATE. OTHER SUB SURFACE UTILITIES MAY EXIST ON THIS SITE THAT ARE NOT INCLUDED IN THIS SURVEY.
- THIS EXHIBIT IS NOT, AND SHOULD NOT BE CONSTRUED AS, A BOUNDARY SURVEY. THIS EXHIBIT IS FOR PLANNING PURPOSES ONLY AND SHOULD NOT BE USED FOR THE TRANSFER OF REAL PROPERTY. THIS MAP IS NOT SUITABLE FOR RECORDING.
- THIS EXHIBIT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. OTHER EASEMENTS MAY EXIST ON THIS SITE.
- RIGHT-OF-WAY AND PROPERTY BOUNDARY INFORMATION IS BASED ON DEEDS AND PLATS OF RECORD AND AN ACTUAL FIELD SURVEY PERFORMED BY THIS FIRM.

TOPOGRAPHIC EXHIBIT FOR  
**BRILL INVESTMENTS, LLC**  
OWNER: BRILL INVESTMENTS, LLC  
PIN: 1703944345  
1015 GARNER ROAD  
RALEIGH, NORTH CAROLINA

REVISIONS:		RALEIGH TOWNSHIP	WAKE COUNTY
DATE: 03/09/2022		SCALE: 1" = 20'	
SHEET 1 OF 1		J.N.: 51569	
DRAWN BY: MWV		PLS CHECKED BY: MCS	
FIELD EDIT BY: PN on 03/09/2022			
MAP CHECKED BY: GC on 03/10/2022			



**TIMMONS GROUP**

THIS DRAWING PREPARED AT THE  
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5410 TRINITY ROAD, Suite 102 | RALEIGH, NC 27607  
TEL 919.866.4951 FAX 919.859.5663 www.timmons.com  
NORTH CAROLINA LICENSE NUMBER C-1652

YOUR VISION ACHIEVED THROUGH OURS.

Site Development    Residential    Infrastructure    Technology





JOB NO.  
**51569**

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SHEET NO.  
**612**

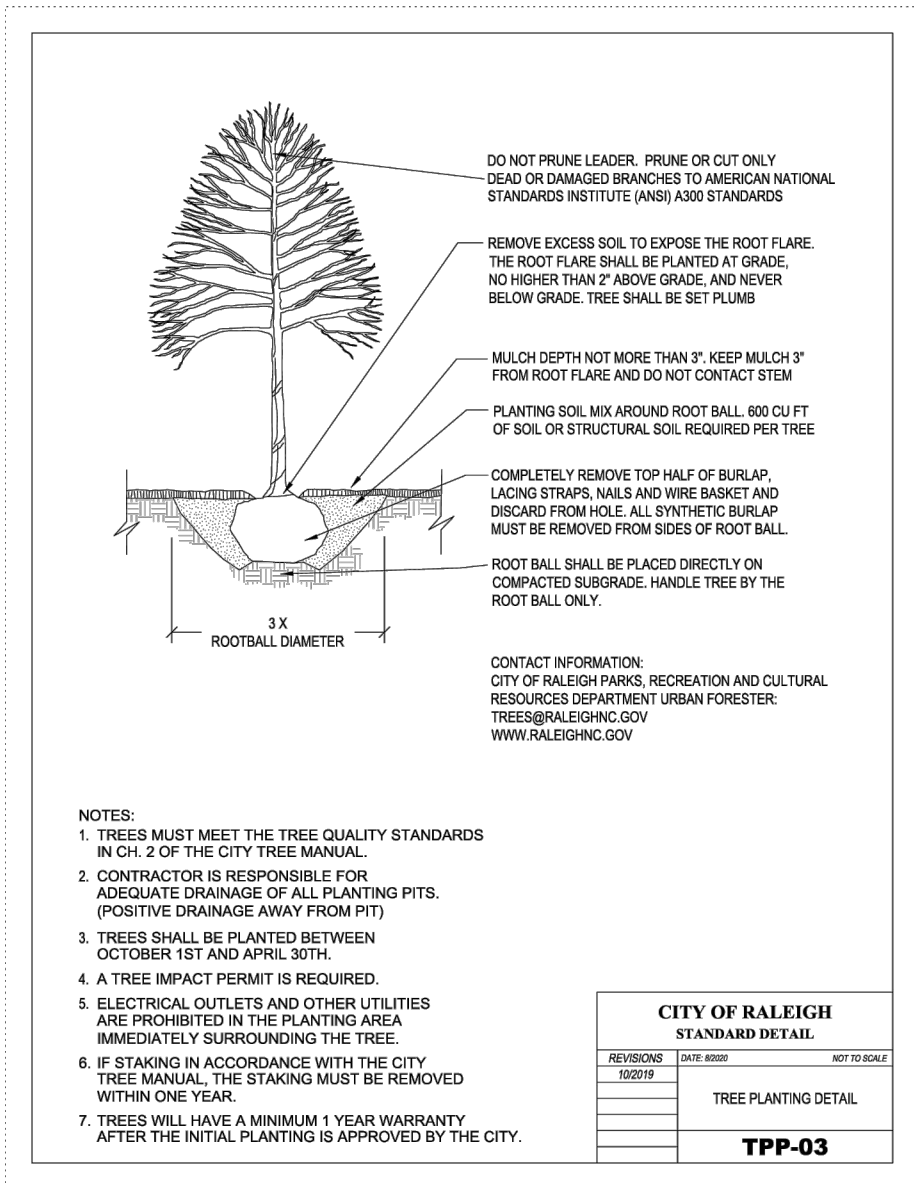
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S:\32051569-1015 GarnerRd\_TTM\DWG\Sheet\CD1569-332-C2 SITE.dwg | Plotted on 7/6/2023 4:33 PM | by Mike Davidson

PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE
CR	2	LAGERSTROEMIA 'MIAMI'	MIAMI CRAPE MYRTLE	1.5" CAL., 6' HT. MIN.	SINGLE-STEM	UNDERSTORY TREE

FREQUENT TRANSIT DEVELOPMENT OPTION (R-10)	
PRINCIPAL BUILDING SETBACKS	
FRONT STREET	10'
SIDE LOT LINE	5'
REAR LOT LINE	15'
BUILDING HEIGHT	
MAX. ALLOWABLE	45' / 3-STORIES
PROPOSED TOWNHOME HEIGHT (REFER TO GRADING PLAN FOR AVERAGE GRADE CALCULATIONS)	36'

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#### LANDSCAPE CALCULATIONS:

##### STREET TREES:

REQUIREMENTS: 1 UNDERSTORY TREE PER 40 LF ROW FRONTAGE UNDERNEATH EXISTING OVERHEAD POWERLINES

80 LF ROW FRONTAGE (EXCLUDING PROPOSED DRIVEWAY AREA) / 40 LF / 1 UNDERSTORY TREE = 2 UNDERSTORY TREES REQUIRED / PROVIDED

#### SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL, FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 3-12 BUSINESS DAYS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
- PER TC-SA-18, THE PRIMARY STREET DESIGNATION FOR LOT 1 WILL BE GARNER ROAD.
- INDIVIDUAL HOMEOWNERS WILL BE RESPONSIBLE FOR PLACING 65-GALLON SOLID WASTE AND RECYCLING ROLL CARTS ON CONCRETE PAD PROVIDED ALONG GARNER ROAD SIDEWALK FOR SOLID WASTE SERVICES TO EMPTY. TRASH AND/OR RECYCLING TRUCKS WILL NOT BE REQUIRED TO ENTER THE SITE.

#### SITE LAYOUT KEYNOTES

NUMBER	DESCRIPTION
S01	PROPOSED RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	RIGHT-OF-WAY DEDICATION (892 SF); VARIABLE WIDTH
S04	24" CONCRETE CURB & GUTTER
S07	PROPOSED LOT LINE
S08	DRIVEWAY APRON (REFER TO COR DETAIL T-10.04). LOCATION SUBJECT TO CHANGE.
S10	EXISTING FENCE TO REMAIN
S13	GARNER ROAD CENTERLINE
S14	EXISTING 5' WIDE CONCRETE SIDEWALK
S15	6' WIDE 4" THICK CONCRETE SIDEWALK
S16	MATCH EXISTING PAVEMENT ELEVATION
S20	MAIL KIOSK. KIOSK SHALL COMPLY WITH ADA REACH RANGES, CLEARANCES, ETC. (PER ICC A117.1-2009).
S22	PROPOSED LIGHT POLE LOCATION (REFER TO LIGHTING PLAN)
S23	CONCRETE TRASH PAD (REFER TO SITE LAYOUT NOTE #12)
S25	RESIDENTIAL DRIVEWAY APRON (COR DETAIL T-10.01.1)
S26	30" CONCRETE CURB & GUTTER; REFER TO NCDOT 846.01
S27	CIP RETAINING WALL #1
S28	SEGMENTAL RETAINING WALL #2 w/ 42" BLACK ALUMINUM RAILING
S29	SEGMENTAL RETAINING WALL #3 w/ 42" BLACK ALUMINUM RAILING
S30	SEGMENTAL RETAINING WALL #4 w/ 42" BLACK ALUMINUM RAILING
S31	20' DRIVE AISLE w/ HEAVY DUTY ASPHALT PAVEMENT
S32	230kV OVERHEAD TRANSMISSION LINE
S33	REPAIR ASPHALT GREENWAY TRAIL AS REQUIRED TO INSTALL NEW SANITARY SEWER
S34	30' CITY OF RALEIGH UTILITY EASEMENT (APPROVED BY THE COUNCIL OF STATE ON DECEMBER 6, 2022)
S35	EXISTING ROADWAY LED

PRELIMINARY  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5414 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.533.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE

07/05/2023

DRAWN BY

332

DESIGNED BY

M. DAVIDSON

CHECKED BY

M. DAVIDSON

SCALE

AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**1015 GARNER ROAD TOWNHOMES**  
RALEIGH - WAKE COUNTY - NORTH CAROLINA  
**PRELIMINARY SITE PLAN**

JOB NO.  
**51569**

SHEET NO.  
**C2.0**

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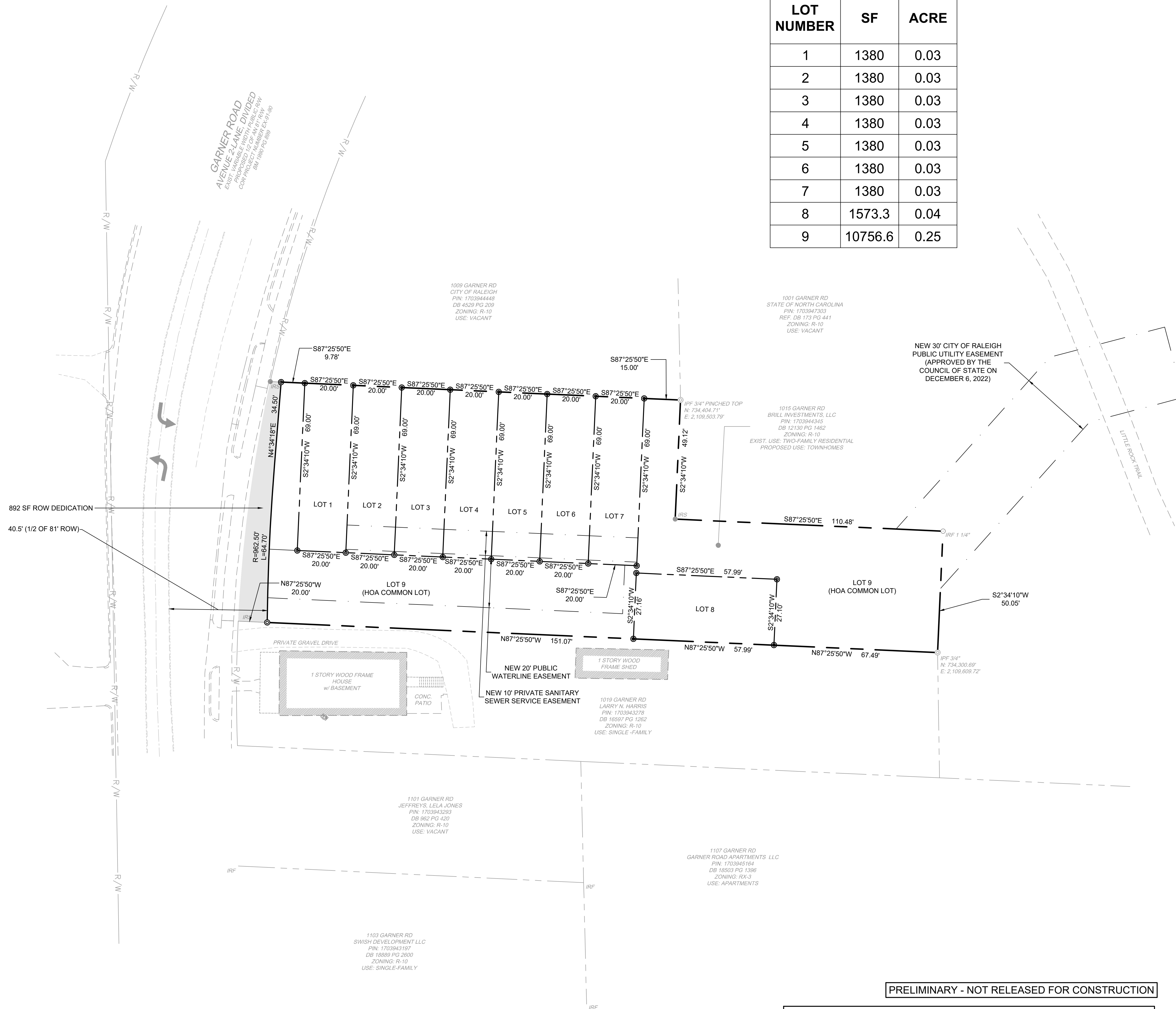
PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS

SCALE 1"=20'

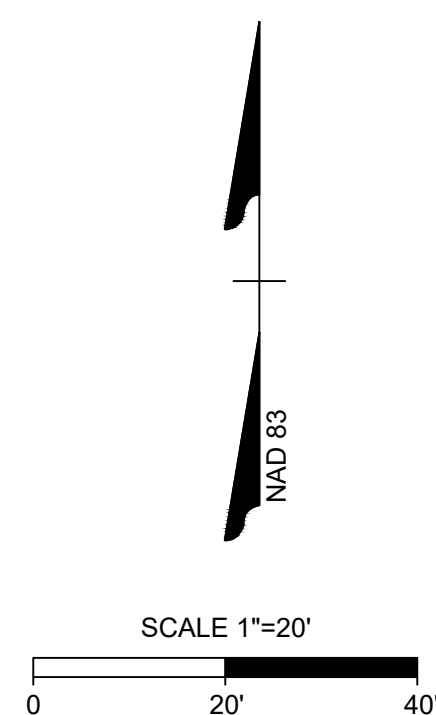


LOT DATA TABLE		
LOT NUMBER	SF	ACRE
1	1380	0.03
2	1380	0.03
3	1380	0.03
4	1380	0.03
5	1380	0.03
6	1380	0.03
7	1380	0.03
8	1573.3	0.04
9	10756.6	0.25



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH  
STANDARDS, SPECIFICATIONS, AND DETAILS



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CONSTRUCTION

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DATE \_\_\_\_\_

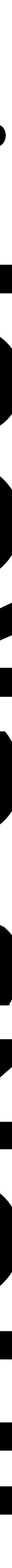
DATE  
7/05/2023

DRAWN BY  
332

DESIGNED BY  
*M. DAVIDSON*

CHECKED BY  
M. DAVIDSON

SCALE  
AS SHOWN

The logo for the Timmons Group, featuring the company name in a bold, sans-serif font, followed by a graphic of a series of dots of varying sizes arranged in a curved, upward-pointing arc.

NORTH CAROLINA LICENSE NO. C-1652

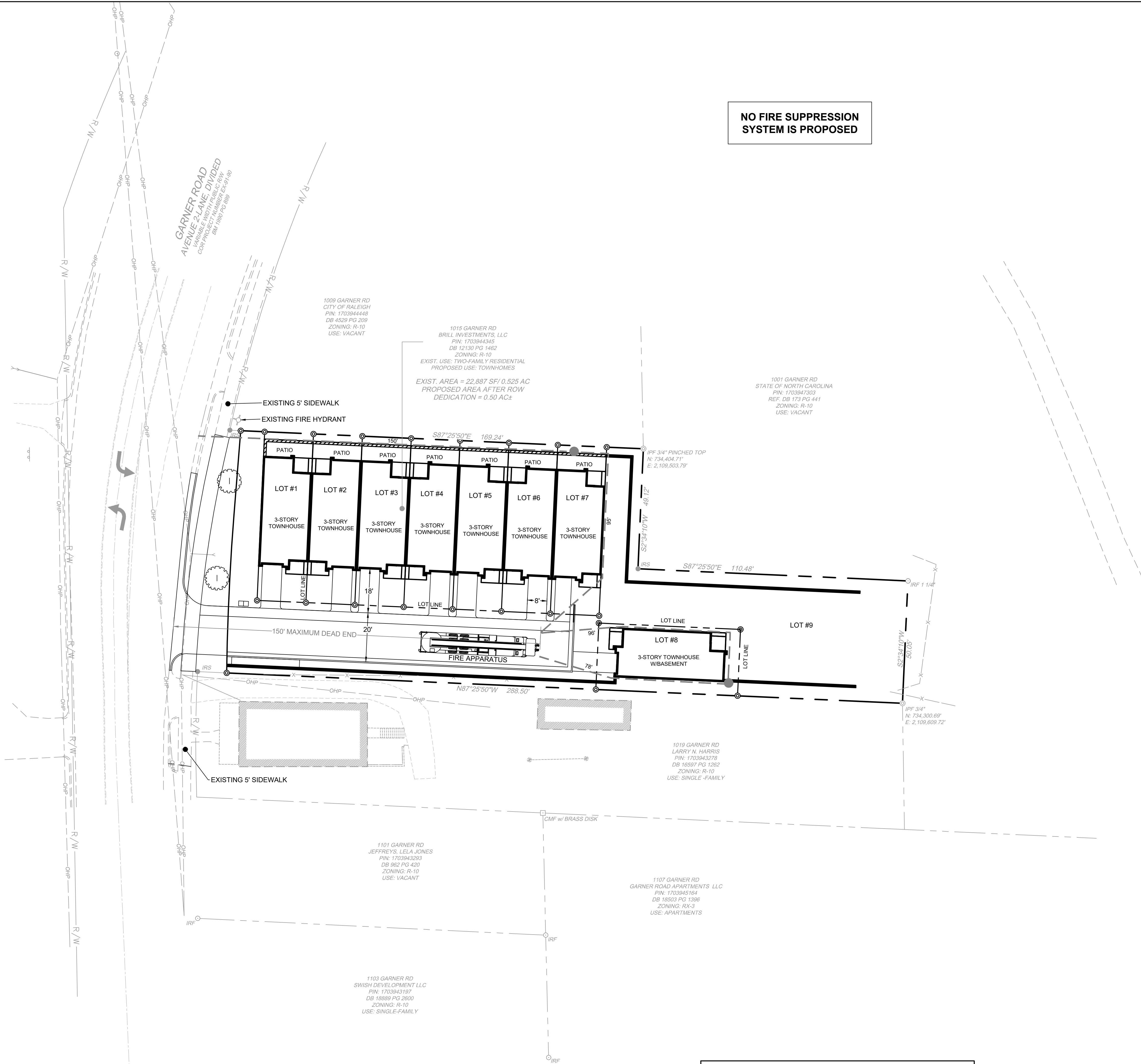
101E CABNIEB ROAD TOWNHOMES

# PRELIMINARY SUBDIVISION PLAN

JOB NO.  
51569

SHEET NO  
*C2.1*

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**NO FIRE SUPPRESSION  
SYSTEM IS PROPOSED**

PRELIMINARY  
NOT FOR  
CONSTRUCTION

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DATE				
	DATE 07/05/2023			

DRAWN BY  
332

DESIGNED BY  
*M. DAVIDSON*

CHECKED BY  
M. DAVIDSON

SCALE  
AS SHOWN

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

RALEIGH - WAKE COUNTY - NORTH CAROLINA  
EIDE APPARATUS ACCESS EXHIBIT

JOB NO.  
*51569*

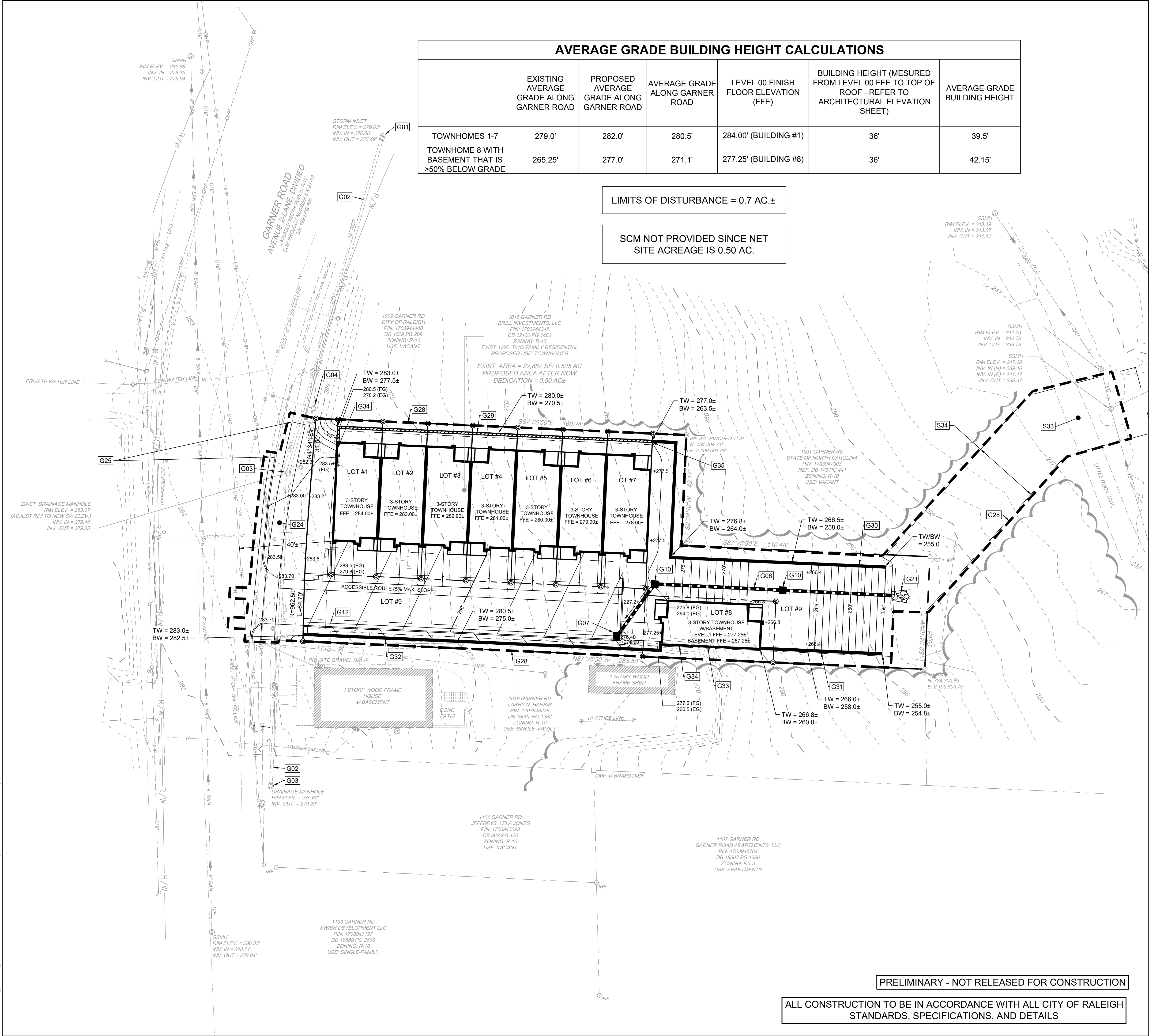
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C2.2

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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH  
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GRADING & STORMWATER KEYNOTES	
NUMBER	DESCRIPTION
G01	EXISTING CURB INLET
G02	EXISTING 15" RCP PIPE
G03	EXISTING STORM STRUCTURE
G04	EXISTING FIRE HYDRANT
G06	15" RCP STORM PIPE (TYP.)
G07	CATCH BASIN (TYP.)
G10	DROP INLET (TYP.)
G12	24" CURB & GUTTER (TYP.)
G21	RIPRAP OUTLET PROTECTION
G24	SIDEWALK (ADA ACCESS ROUTE MAX CROSS SLOPE 1:50; MAX LONG. SLOPE 1:20)
G25	BEGIN NEW 30" CONC. CURB AND GUTTER AND 6' WIDE CONC. SIDEWALK
G26	REPAIR ASPHALT GREENWAY TRAIL AS REQUIRED TO INSTALL NEW SANITARY SEWER
G27	30' CITY OF RALEIGH UTILITY EASEMENT (APPROVED BY THE COUNCIL OF STATE ON DECEMBER 6, 2022)
G28	LIMITS OF DISTURBANCE
G29	CIP RETAINING WALL #1
G30	SEGMENTAL RETAINING WALL #2 w/ 42" BLACK ALUMINUM RAILING
G31	SEGMENTAL RETAINING WALL #3 w/ 42" TALL BLACK ALUMINUM FENCE
G32	SEGMENTAL RETAINING WALL #4 w/ 42" BLACK ALUMINUM RAILING
G33	END RETAINING PORTION OF FOUNDATION WALL @ 266.75
G34	FOUNDATION WALL
G35	TRANSITION FROM CIP WALL #1 TO SEGMENTAL WALL #2 W/42" TALL BLACK ALUMINUM FENCE

GRADING AND STORM DRAINAGE NOTES

- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811) AT LEAST 3 DAYS PRIOR TO DIGGING TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CATCH BASINS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- A LAND DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISHED GRADE.
- ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
- ALL SPOT ELEVATIONS INDICATED ARE AT TOP OF CURB UNLESS NOTED OTHERWISE. ALL ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.
- A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO ANY WORK, GRADING OR INSTALLATION OF EROSION CONTROL MEASURES.
- CONTRACTOR TO IDENTIFY ALL NECESSARY SPILL CURB SECTION LOCATIONS AND INSTALL TO ENSURE POSITIVE DRAINAGE TO STORM STRUCTURES.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR OR THE ENGINEER.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
- ALL CATCH BASINS MUST BE MARKED "DUMP NO WASTE DRAINS TO STREAM" OR EQUIVALENT.

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	07/05/2023
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DESIGNED BY	M. DAVIDSON
CHECKED BY	M. DAVIDSON
SCALE	AS SHOWN

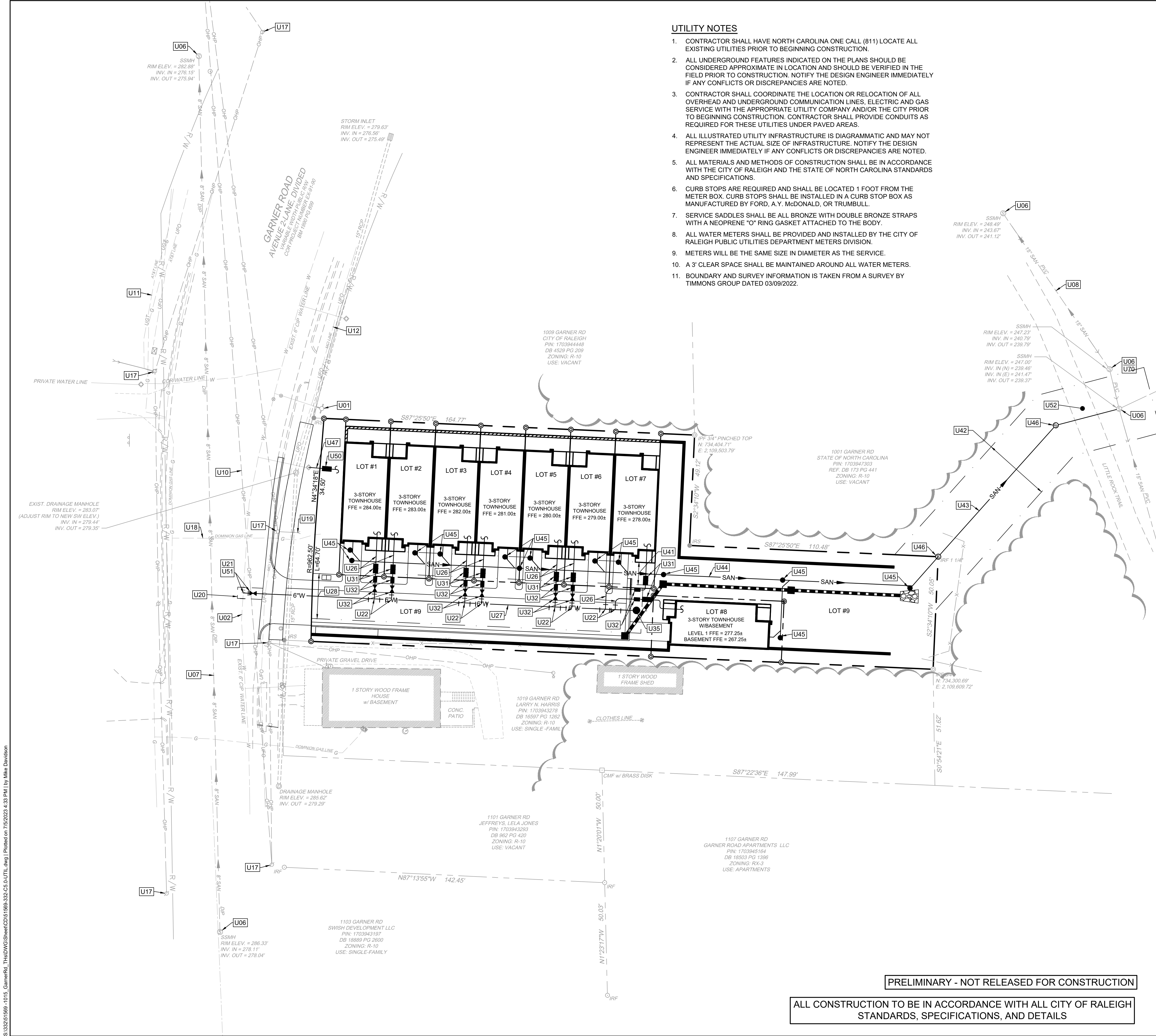
**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**1015 GARNER ROAD TOWNHOMES**  
RALEIGH - WAKE COUNTY - NORTH CAROLINA  
**PRELIMINARY GRADING AND DRAINAGE PLAN**

JOB NO.  
**51569**  
SHEET NO.  
**C3.0**

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UTILITY NOTES

- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- ALL ILLUSTRATED UTILITY INFRASTRUCTURE IS DIAGRAMMATIC AND MAY NOT REPRESENT THE ACTUAL SIZE OF INFRASTRUCTURE. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. McDONALD, OR TRUMBULL.
- SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
- ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
- METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP DATED 03/09/2022.

UTILITY KEYNOTES	
NUMBER	DESCRIPTION
U01	EXISTING FIRE HYDRANT
U02	EXISTING 6" CAST IRON WATERLINE
U06	EXISTING SANITARY SEWER MANHOLE (TYP.)
U07	EXISTING 8" DIP SANITARY SEWER MAIN (TYP.)
U08	EXISTING 15" PVC SANITARY SEWER MAIN (TYP.)
U10	EXISTING OVERHEAD 230KV TRANSMISSION LINE (TYP.)
U11	EXISTING UNDERGROUND TELEPHONE (TYP.)
U12	EXISTING UNDERGROUND FIBER OPTIC (TYP.)
U17	EXISTING UTILITY POLE; TO REMAIN
U18	EXISTING GAS MAIN TO REMAIN
U19	EXISTING GUY WIRE TO BE RELOCATED PER NEW SIDEWALK
U20	SAWCUT, REMOVE, & REPLACE EXISTING PAVEMENT
U21	6" x 6" TAPPING SLEEVE & VALVE
U22	6" x 3/4" TAPPING SLEEVE & VALVE
U26	3/4" DIP WATERLINE (TYP.)
U27	6" PVC WATERLINE
U28	20' PUBLIC WATERLINE EASEMENT
U32	3/4" DOMESTIC WATER METER & CURB STOP
U35	BLOW-OFF ASSEMBLY
U41	10' SANITARY SEWER EASEMENT ON LOTS 2-7
U42	30' CITY OF RALEIGH UTILITY EASEMENT (APPROVED BY THE COUNCIL OF STATE ON DECEMBER 6, 2022)
U43	8" PVC PUBLIC SANITARY SEWER MAIN (TYP.)
U44	6" PVC PRIVATE SANITARY SEWER SERVICE (TYP.)
U45	SANITARY SEWER CLEANOUT (TYP.), TRAFFIC RATED IF LOCATED WITHIN PAVEMENT; REFER TO DETAIL
U46	SANITARY SEWER MANHOLE
U47	3/4" WATER IRRIGATION LINE (IRRIGATION DESIGN BY OTHERS)
U50	3/4" RPZ IRRIGATION BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 375 OR AS APPROVED BY CITY OF RALEIGH);
U51	CONNECT TO EXISTING SANITARY SERVICE. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, CONDITION, AND INVERT PRIOR TO ANY CONSTRUCTION. COORDINATE WITH UTILITY PROVIDER. CONTRACTOR SHALL HAVE EXISTING LINE JETTED AND A CAMERA RUN THROUGH IT TO VERIFY PRIOR TO ANY CONSTRUCTION.
U52	REPAIR ASPHALT GREENWAY TRAIL AS REQUIRED TO INSTALL NEW SANITARY SEWER

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M. DAVIDSON

CHECKED BY

M. DAVIDSON

SCALE

AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

1015 GARNER ROAD TOWNHOMES

RALEIGH - WAKE COUNTY - NORTH CAROLINA

PRELIMINARY UTILITY PLAN

JOB NO.

51569

SHEET NO.

C5.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS

A north arrow pointing upwards and a scale bar indicating 1"=20'.

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# Outdoor Lighting

## SHOEBOX LED

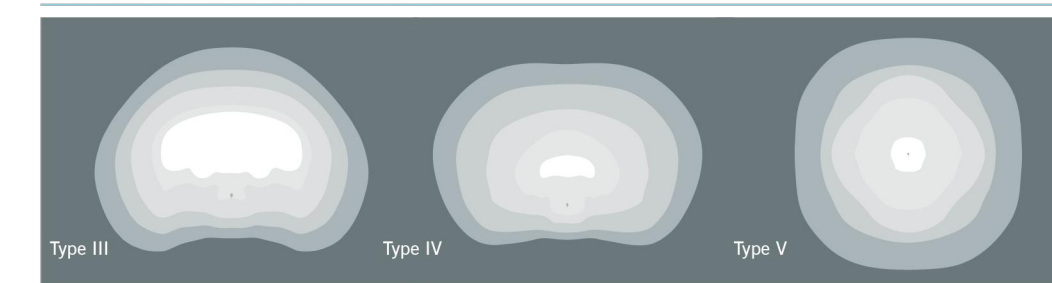


<b>LED</b> (Light-emitting diode)	150/220/420/530 watts
<b>Mounting height</b>	25' – 35'
<b>Color</b>	Black Bronze Gray (Special conditions)
<b>Pole</b>	Wood Style A

**IESNA cutoff classification:** Full-cutoff  
**Color temperature:** 3,000K Primary  
4,000K Available

FIXTURE	WATTS	LUMENS	PATTERN	BUG RATING
Shoebox	150	19,007	III	B2-U0-G3
		18,460	IV	B3-U0-G4
		19,580	V	B5-U0-G3
Shoebox	220	23,744	III	B3-U0-G4
		23,061	IV	B3-U0-G4
		24,461	V	B5-U0-G3
Shoebox	420	41,379	IV	B3-U0-G5
		45,868	V	B5-U0-G5
Shoebox	530	51,429	IV	B3-U0-G5
		57,009	V	B5-U0-G5

## LIGHT DISTRIBUTION PATTERNS



POLE AVAILABLE	MOUNTING HEIGHT	FOUNDATION
Style A	25', 30', 35'	Direct Bury, Anchor Base
Wood	25', 30', 35'	Direct Bury

For additional information, contact  
us at [ODLCarolinas@duke-energy.com](mailto:ODLCarolinas@duke-energy.com).

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*M. DAVIDSON*

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**TIMMONS GROUP** 

1015 GARNER ROAD TOWNHOMES  
RALEIGH - WAKE COUNTY - NORTH CAROLINA  
PRELIMINARY LIGHTING PLAN

JOB NO.  
51560

SHEET NO.  
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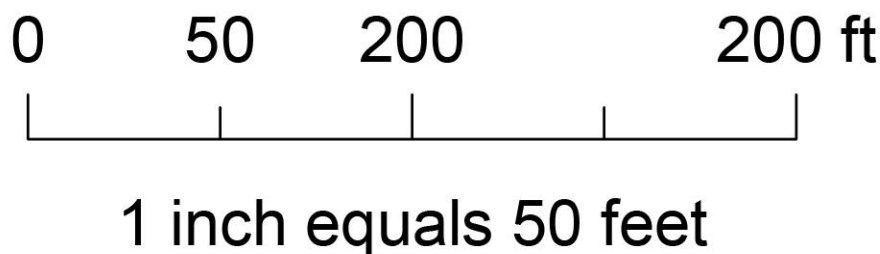
**INFILL COMPATIBILITY REQUIREMENT:**  
4 HOUSES WITHIN 300FT OF PROPERTY LINE

AVERAGE DISTANCE FROM ROAD CENTER LINE TO FRONT OF HOUSE:  
 $(40.73 \text{ FT} + 38.99 \text{ FT} + 36.09 \text{ FT} + 32.81 \text{ FT}) / 4 = 37.16 \text{ FT}$

# 1015 Garner Rd Townhomes

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SHEET NO.  
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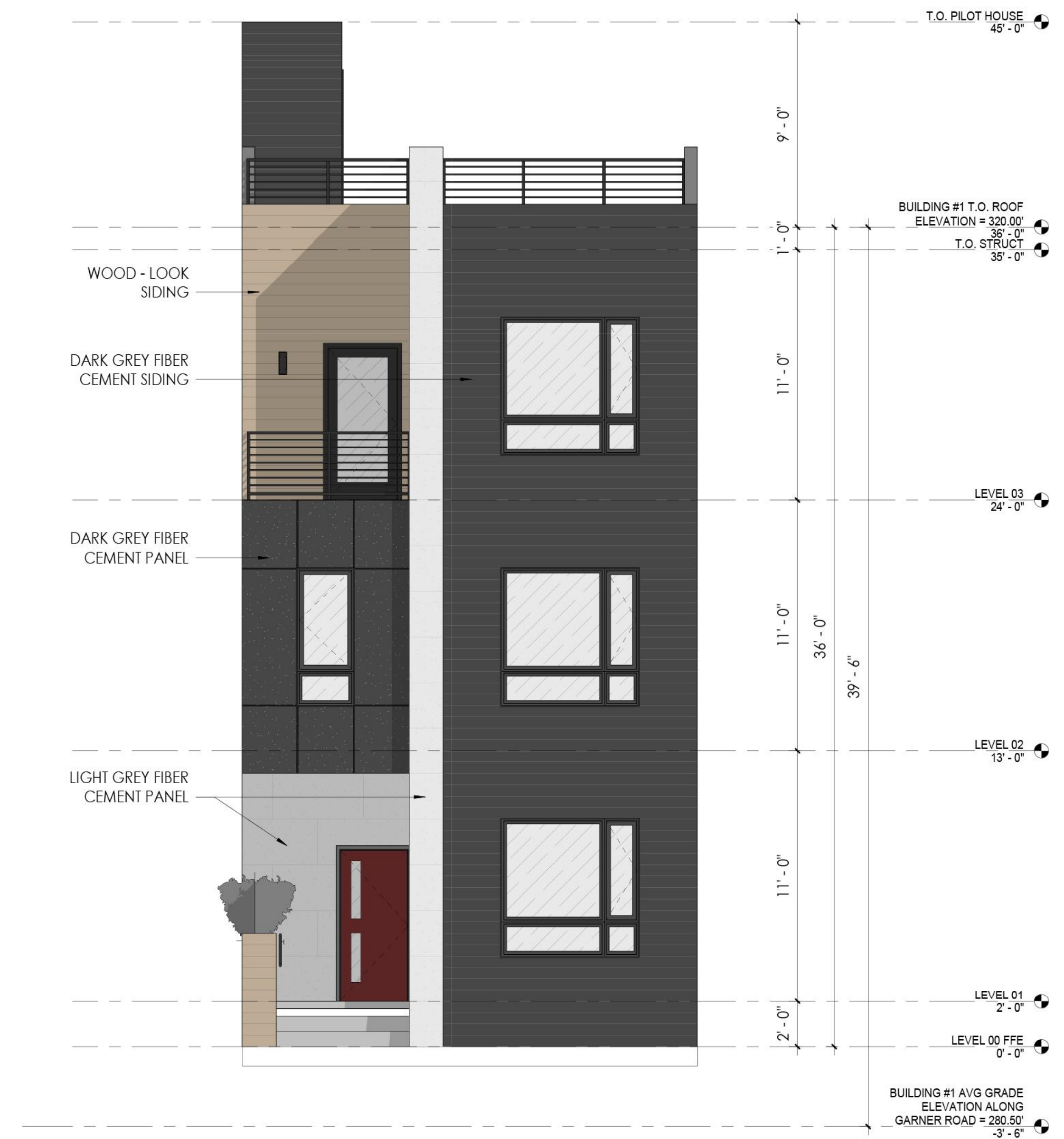
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NORTH CAROLINA LICENSE NO. C-1652  
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RALEIGH - WAKE COUNTY - NORTH CAROLINA  
**INFILL COMPATIBILITY EXHIBIT**





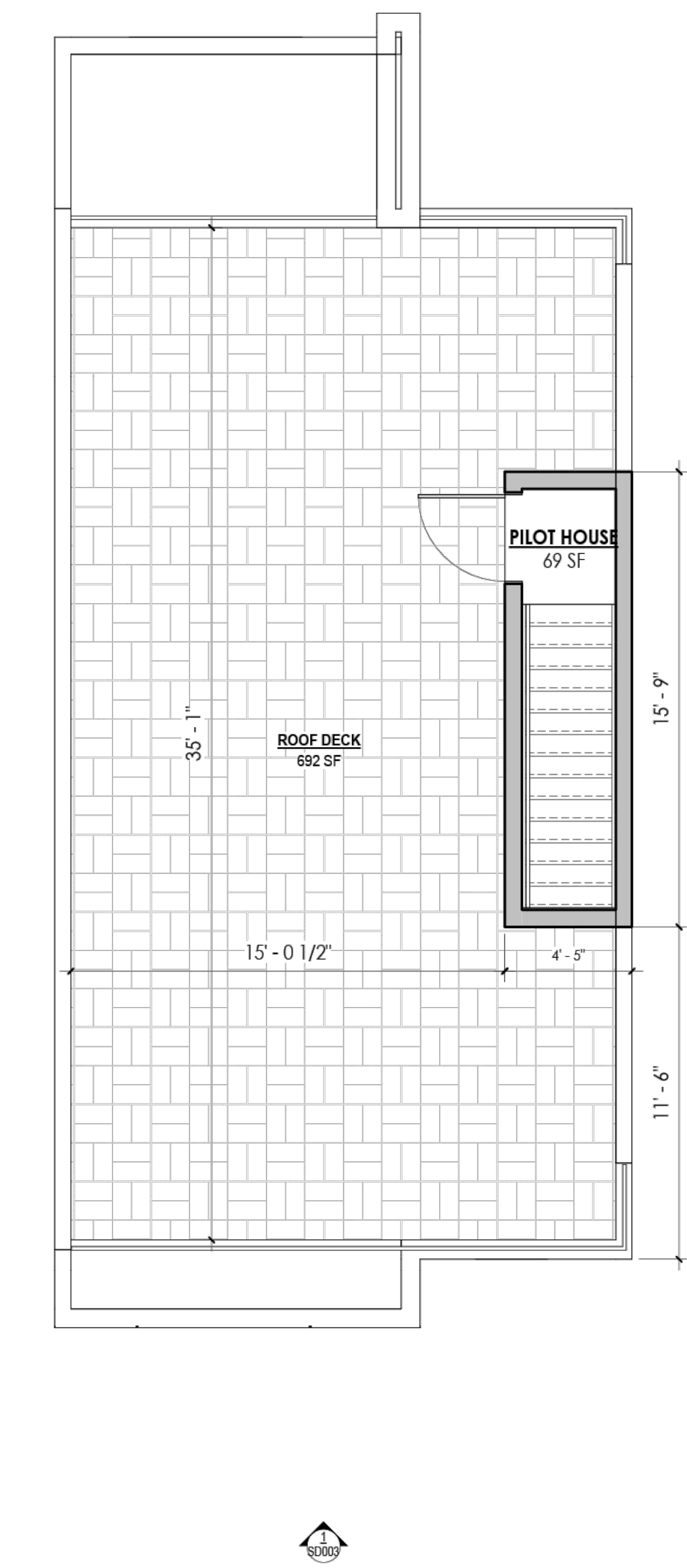
1 | FRONT ELEVATION



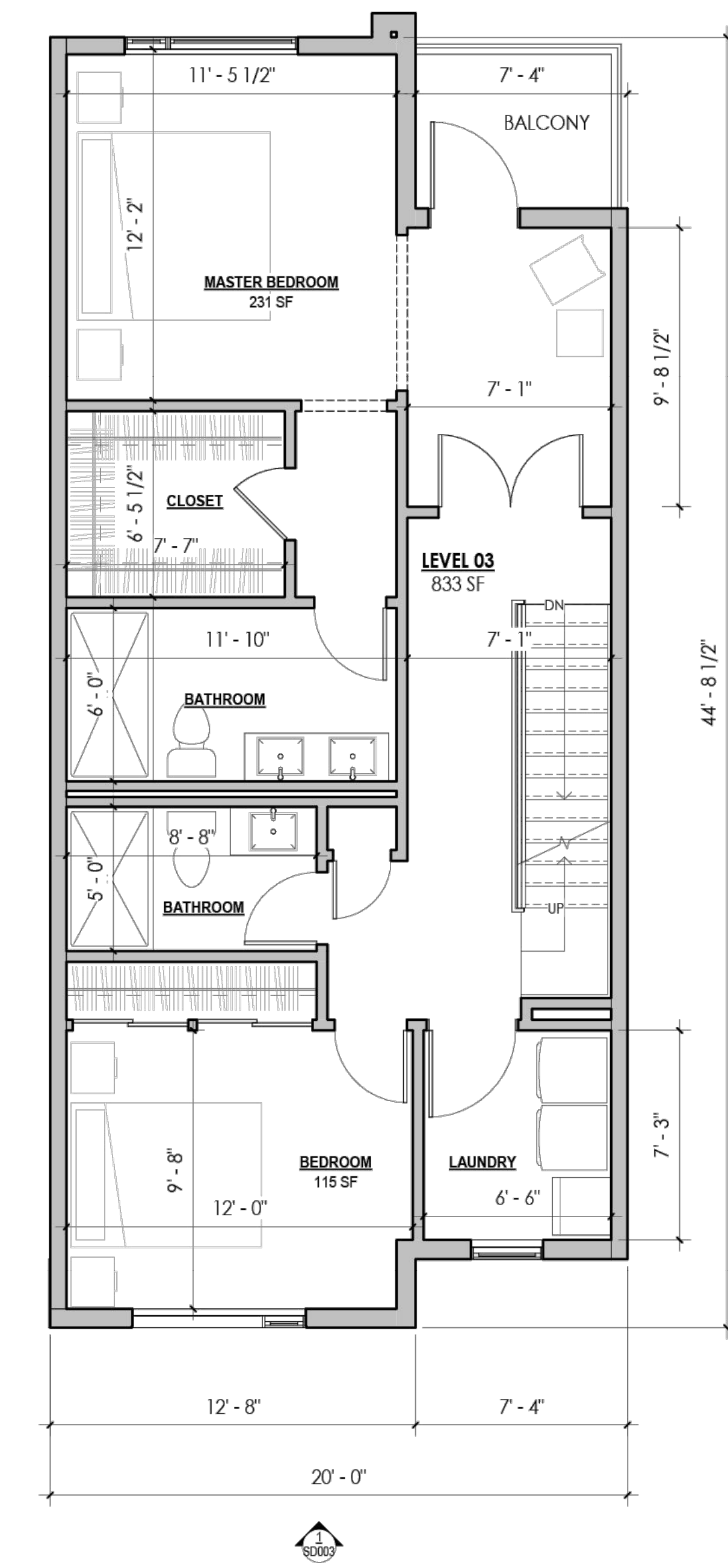
2 | REAR ELEVATION



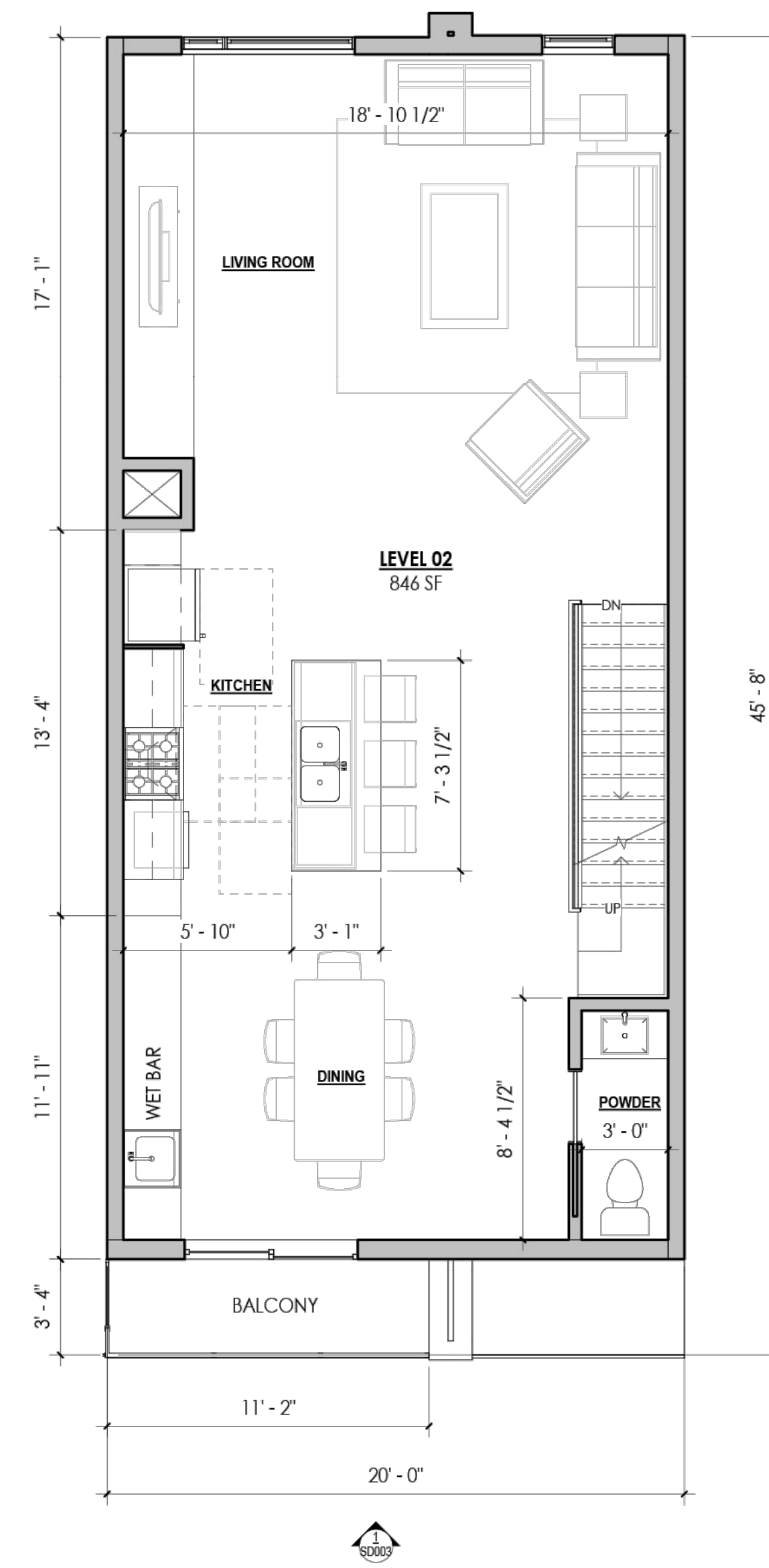
AREA SCHEDULE	
LEVEL	GROSS AREA
LEVEL 01	836 SF
LEVEL 02	846 SF
LEVEL 03	833 SF
BUILDING #1 T.O.	69 SF
ROOF ELEVATION =	320.00'
TOTAL	2585 SF



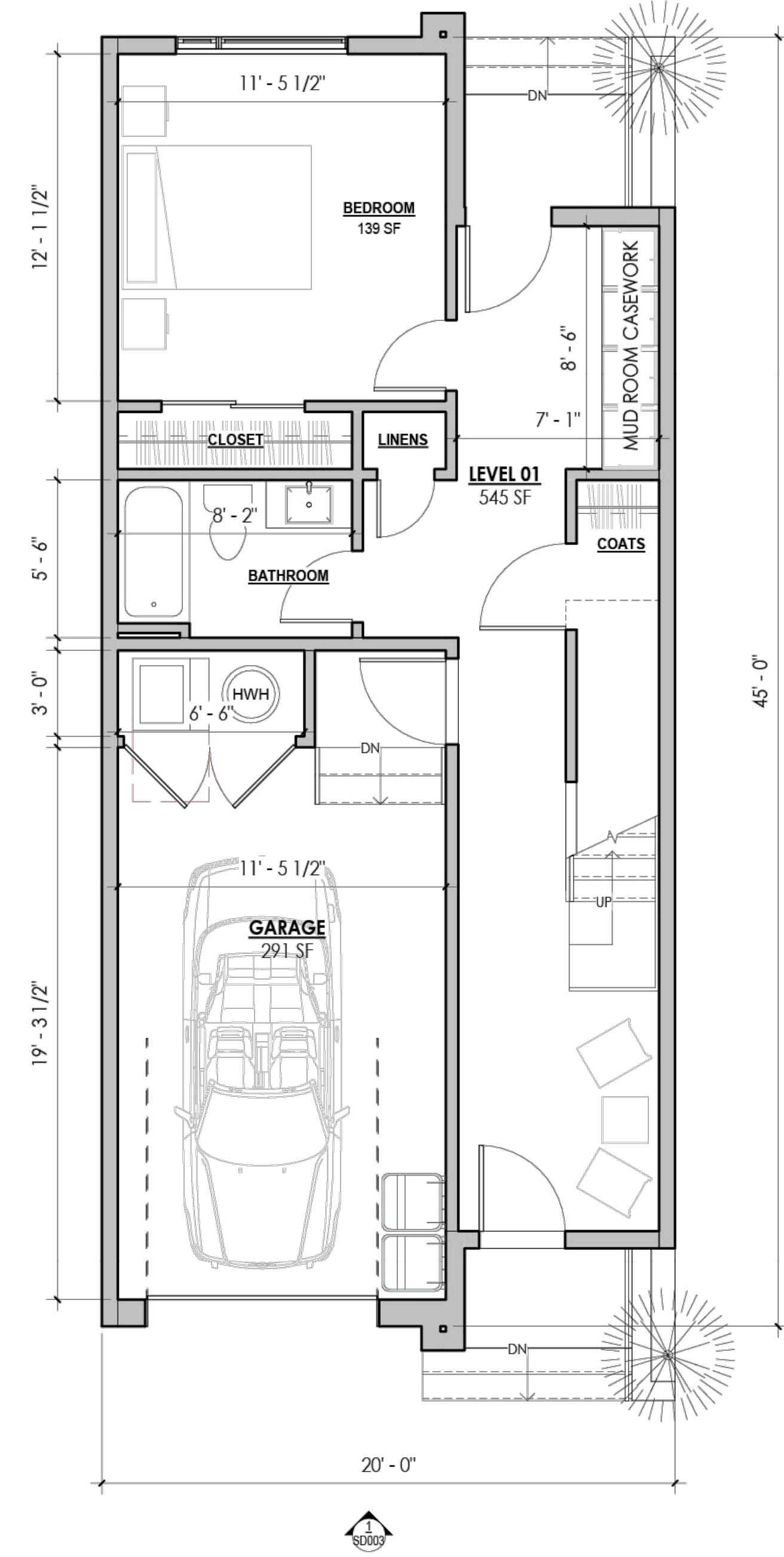
4|ROOF PLAN



3|LEVEL 03 FLOOR PLAN



2|LEVEL 02 FLOOR PLAN



1|LEVEL 01 FLOOR PLAN