

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

| DEVELOPMENT OPTIONS (UDO Chapter 2) | | |
|--|--|--|
| <input checked="" type="checkbox"/> Conventional Subdivision | <input type="checkbox"/> Compact Development | <input type="checkbox"/> Conservation Development |
| <input type="checkbox"/> Cottage Court | <input type="checkbox"/> Flag lot | <input type="checkbox"/> Frequent Transit Development Option |

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

| GENERAL INFORMATION | |
|---|--|
| Scoping/sketch plan case number(s): | |
| Development name (subject to approval): 3637 Alleghany Dr Subdivision | |
| Property Address(es): 3637 Alleghany Dr | |
| Recorded Deed PIN(s): 1705-09-0166 | |
| Building type(s): | <input checked="" type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment |
| <input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House | |

| CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION | |
|---|---|
| Current Property Owner(s) Names: Ruth Proctor | |
| Company: | Title: |
| Address: 3637 Alleghany Dr, Raleigh, NC 27609 | |
| Phone #: | Email: |
| Applicant Name (If different from owner. See "who can apply" in instructions): | |
| Relationship to owner: | <input checked="" type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder |
| Company: Sundance Signature Homes | Address: 974 Trinity Rd, Raleigh, NC 27607 |
| Phone #: 919.816.9993 | Email: rdm@sundancesignature.com |
| NOTE: please attach purchase agreement or contract, lease or easement when submitting this form. | |
| Developer Contact Names: Jon Frazier | |
| Company: FLM Engineering, Inc. | Title: Principal |
| Address: PO Box 91727, Raleigh, NC 27675 | |
| Phone #: 919.610.1051 | Email: jfrazier@flmengineering.com |

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage: 1.29

Zoning districts (if more than one, provide acreage of each):

R-4

| | | |
|--|---|---|
| Overlay district(s): N/A | Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Historic District/Landmark: N/A <input checked="" type="checkbox"/> |
| Conditional Use District (CUD) Case # Z- | Board of Adjustment Case # BOA- 0037-2023 | Design Alternate Case # DA- |

STORMWATER INFORMATION

| | |
|--|---|
| Imperious Area on Parcel(s): Existing (sf) ⁷³⁶⁵ Proposed total (sf) ²⁰⁰⁰⁰ | Impervious Area for Compliance (includes right-of-way): Existing (sf) ⁷³⁶⁵ Proposed total (sf) ²⁴⁰²⁰ |
|--|---|

NUMBER OF LOTS AND DENSITY

| | | |
|---|-----------------------------|---|
| # of Detached House Lots: 2 | # of Attached House Lots: 0 | # of Townhouse Lots: 0 |
| # of Tiny House Lots: 0 | # of Open Lots: 0 | # of Other Lots (Apartment, General, Mixed Use, Civic): 0 |
| Total # of Lots: 2 | Total # Dwelling Units: 2 | |
| # of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br ² _____ | | |
| Proposed density for each zoning district (UDO 1.5.2.F): 1.6 du/ac | | |

APPLICANT SIGNATURE BLOCK

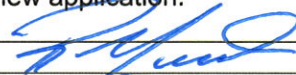
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

| | |
|--|---------------|
| Signature:  | Date: 8.12.24 |
| Printed Name: Rod Mangrum | |
| Signature: | Date: |
| Printed Name: | |

