Preliminary Subdivision Application



Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to <u>SiteReview@raleighnc.gov</u>.

DEVELOPMENT OPTIONS (UDO Chapter 2)					
Conventional Subdivision	Compact Development	Conservation Development			
Cottage Court	Cottage Court Flag lot Frequent Transit Development Option				
NOTE: Subdivisions may require City (Council approval if located in a Hist	toric Overlay District.			
	GENERAL INFORMATION				
Scoping/sketch plan case number(s):	Scoping/sketch plan case number(s):				
Development name (subject to approval): 3637 Alleghany Dr Subdivision					
Property Address(es): 3637 Alleghany Dr					
Recorded Deed PIN(s): 1705-09-0166					
Building type(s): Detached H	louse Attached House	Townhouse Apartment			
General Building Mixed Use	Building Civic Building	Open Lot Tiny House			

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION			
Current Property Owner(s) Names: Ruth Proctor			
Company: Title:			
Address: 3637 Alleghany Dr, Raleigh, NO	27609		
Phone #: Email:			
Applicant Name (If different from owner. S	ee "who can a	pply" in instructions):	
Relationship to owner: Versee or contra-	ct purchaser	Owner's authorized agent Easement holder	
Company: Sundance Signature Homes	Address: 974	Trinity Rd, Raleigh, NC 27607	
Phone #: 919.816.9993 Email: rdm@sundancesignature.com		sundancesignature.com	
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.			
Developer Contact Names: Jon Frazier			
Company: FLM Engineering, Inc. Title: Principal			
Address: PO Box 91727, Raleigh, NC 27675			
Phone #: 919.610.1051 Email: jfrazier@flmengineering.com			

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage: 1.29

Zoning districts (if more than one, provide acreage of each): R-4

Overlay district(s): N/A	Inside City Limits? 🖌 Yes	No	Historic District/Landmark:	N/A 🖌
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA- 0037-2023		Design Alternate Case # DA-	

STORMWATER INFORMATION				
Imperious Area on Parcel(s): Impervious Area for Compliance (includes right-of-way): Existing (sf) 7365 Proposed total (sf) 20000 Existing (sf) 7365 Proposed total (sf) 24020				
NUMBER OF LOTS AND DENSITY				
# of Detached House Lots: 2 # of Attached House Lots: 0 # of Townhouse Lots: 0				
# of Tiny House Lots:# of Open Lots:# of Other Lots (Apartment, General,00Mixed Use, Civic): 0				
Total # of Lots: 2 Total # Dwelling Units: 2				
# of bedroom units (if known): 1br 2br 3br 4br_2				
Proposed density for each zoning district (UDO 1.5.2.F): 1.6 du/ac				

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date: 8 12.24
Printed Name: CRop Mangrum	
Signature:	Date:
Printed Name:	

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	SUE
	3637 ALLEG RALEIGH, N PIN: 1705-
Preliminary Subdivision Application Site Review Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 [Raleigh, NC 27601 [919-996 INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section appropriate review type and include the plan checklist document. Please email all documents subdivision plans to <u>SiteReview@raleighnc.gov</u> .	n 10.2.5). Please check the
Site Review Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 Raleigh, NC 27601 919-996- INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section appropriate review type and include the plan checklist document. Please email all documents subdivision plans to SiteReview@raleighnc.gov. DEVELOPMENT OPTIONS (UDO Chapter 2) Image: Conventional Subdivision	S-2500 Gross site acreage: 1.29 Zoning districts (if more than one, provide acreage of each): R-4 Overlay district(s): N/A Inside City Limits? ✓ Yes No Historic District/Landmark: N/A ✓ Conditional Use District (CUD) Board of Adjustment Case # Design Alternate Case #
Site Review Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 Raleigh, NC 27601 919-996 INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section appropriate review type and include the plan checklist document. Please email all documents subdivision plans to SiteReview@raleighnc.gov. DEVELOPMENT OPTIONS (UDO Chapter 2) Conventional Subdivision Compact Development Conset Cottage Court Flag lot Frequent T NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District General INFORMATION Scoping/sketch plan case number(s): Development name (subject to approval): 3637 Alleghany Dr Subdivision Property Address(es): 3637 Alleghany Dr	Gross site acreage: 1.29 Zoning districts (if more than one, provide acreage of each): R-4 Overlay district(s): N/A Inside City Limits? Vest No Historic District/Landmark: N/A Conditional Use District (CUD) Board of Adjustment Case # Design Alternate Case # Design Alternate Case # DA- Conditional Use District (CUD) Conditional Use District (CUD) Conditional Use District (CUD) Board of Adjustment Case # Design Alternate Case # DA- Case # Z- Imperious Area on Parcel(s): Existing (sf) 7365 Proposed total (sf) 20000 Existing (sf) 7365 Proposed total (sf) 24020
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© 2024 THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.

BDIVISION PLANS

GHANY DR VISION

B-

GHANY DR NC 27609 -09-0166

UA ELECTRONIC MAIL TO: Richard Proctor and Randy Proctor, <u>dickproctor@arabondailey.com</u> , sabel Mattox; <u>darby@mattoxlaw/frm.com</u> Re: <u>Board of Adjustment Case BOA-0037-2023</u> Subject Property: 3637 Alleghamy Drive Dear Applicant and Associated Parties: At the November 13 th meeting of the Raleigh Board of Adjustment (the "Board"), the Board approved the bilowing request: Approved with the following condition: Prior to Preliminary Subdivision Approval, Applicant will submit a stormwater control plan for the ubdivision, which includes proposed stormwater management facilities, if required, and provides equire a shard stormwater facility or facilities and may include separate stormwater control facilities or each of the subdivided lots if facilities are required. Whereas, Richard Proctor and Randy Proctor heirs of Ruth E Proctor, property owners, requests: 1) a urainance for relief from the astormwater control plan requirements for stormwater control measures and evices as set forth in UDO Section 9.2.2.0.2, to permit the installation of individual stormwater control evices for a 3 lot subdivision on a 1.29-acre property zoned R-4 and located at 3637 Alleghany Drive. In accordance with N.C. Gen. Stat. § 160A-388, please find enclosed a copy of the Board's adopted written decision approving this request. <u>Ariance Approval</u> The request was for a variance and the variance was approved, please note that, pursuant to the City or f Industing address) Post Office Box 590 Raleigh, North Carolina 27602-0590 Raleigh Unified Development Ordinance (the "UDO"), the variance approval expires twelve (12) months from the date of approval by the Board, unless either: 1) a complete building permit application functure was previously in existence prior to the requested variance. See UDO Section 10.2.10.F. Should you have any questions concerning the decision of the Board, please do not besiste to contact me at 919-996-2639 or email me at <u>Lucky, Caroson@RaleighNC.gov</u> . Sincerely, Lanky Caroson ²			
UA ELECTRONIC MAIL TO: Richard Proctor and Randy Proctor, <u>dickproctor@arabondailey.com</u> , sabel Mattox; <u>darby@mattoxlaw/frm.com</u> Re: <u>Board of Adjustment Case BOA-0037-2023</u> Subject Property: 3637 Alleghamy Drive Dear Applicant and Associated Parties: At the November 13 th meeting of the Raleigh Board of Adjustment (the "Board"), the Board approved the bilowing request: Approved with the following condition: Prior to Preliminary Subdivision Approval, Applicant will submit a stormwater control plan for the ubdivision, which includes proposed stormwater management facilities, if required, and provides equire a shard stormwater facility or facilities and may include separate stormwater control facilities or each of the subdivided lots if facilities are required. Whereas, Richard Proctor and Randy Proctor heirs of Ruth E Proctor, property owners, requests: 1) a urainance for relief from the astormwater control plan requirements for stormwater control measures and evices as set forth in UDO Section 9.2.2.0.2, to permit the installation of individual stormwater control evices for a 3 lot subdivision on a 1.29-acre property zoned R-4 and located at 3637 Alleghany Drive. In accordance with N.C. Gen. Stat. § 160A-388, please find enclosed a copy of the Board's adopted written decision approving this request. <u>Ariance Approval</u> The request was for a variance and the variance was approved, please note that, pursuant to the City or f Industing address) Post Office Box 590 Raleigh, North Carolina 27602-0590 Raleigh Unified Development Ordinance (the "UDO"), the variance approval expires twelve (12) months from the date of approval by the Board, unless either: 1) a complete building permit application functure was previously in existence prior to the requested variance. See UDO Section 10.2.10.F. Should you have any questions concerning the decision of the Board, please do not besiste to contact me at 919-996-2639 or email me at <u>Lucky, Caroson@RaleighNC.gov</u> . Sincerely, Lanky Caroson ²		Raleigh	•
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ariance for relief from the stormwater control plan requirements pursuant to UDO Section 8.8.3 and ii) variance for relief from the maintenance covenant requirements for stormwater control measures and levices as set forth in UDO Section 9.2.2 (G.2, to permit the installation of individual stormwater control evices for a 3 lot subdivision on a 1.29-acre property zoned R-4 and located at 3637 Alleghany Drive. In accordance with N.C. Gen. Stat. § 160A-388, please find enclosed a copy of the Board's adopted ritten decision approving this request. <u>Variance Approval</u> f the request was for a variance and the variance was approved, please note that, pursuant to the City of City of Raleigh (mailing address) Post Office Box 590 Raleigh, North Carolina 27602-0590 Raleigh Unified Development Ordinance (the "UDO"), the variance approval expires twelve (12) months from the date of approval by the Board, unless either: 1) a complete building permit application, including payment of all fees, has been filed by the applicant and accepted by the City; or 2) the use and structure was previously in existence prior to the requested variance. See UDO Section 10.2.10.F. Should you have any questions concerning the decision of the Board, please do not hesitate to contact me at 919-996-2639 or email me at <u>Lucky/Carson@RaleighNC.gov</u> .	subdivision, which in required calculations c require a shared storm	cludes proposed stormwater management facilities, if required, an onfirming satisfaction of applicable stormwater requirements. The pla water facility or facilities and may include separate stormwater contr	d provides an shall not
vritten decision approving this request. 'ariance Approval f the request was for a variance and the variance was approved, please note that, pursuant to the City of City of Raleigh (mailing address) Post Office Box 590 Raleigh, North Carolina 27602-0590 Raleigh Unified Development Ordinance (the "UDO"), the variance approval expires twelve (12) months from the date of approval by the Board, unless either: 1) a complete building permit application, including payment of all fees, has been filed by the applicant and accepted by the City; or 2) the use and structure was previously in existence prior to the requested variance. See UDO Section 10.2.10.F. Should you have any questions concerning the decision of the Board, please do not hesitate to contact me at 919-996-2639 or email me at Lucky.Carson@RaleighNC.gov. Sincerely, Lucky Carson	variance for relief from a variance for relief fro devices as set forth in U	a the stormwater control plan requirements pursuant to UDO Section 8 som the maintenance covenant requirements for stormwater control me JDO Section 9.2.2.G.2, to permit the installation of individual stormwater	8.8.3 and ii) easures and ater control
fthe request was for a variance and the variance was approved, please note that, pursuant to the City of City of Raleigh (mailing address) Post Office Box 590 Raleigh, North Carolina 27602-0590 Raleigh Unified Development Ordinance (the "UDO"), the variance approval expires twelve (12) months from the date of approval by the Board, unless either: 1) a complete building permit application, including payment of all fees, has been filed by the applicant and accepted by the City; or 2) the use and structure was previously in existence prior to the requested variance. See UDO Section 10.2.10.F. Should you have any questions concerning the decision of the Board, please do not hesitate to contact me at 919-996-2639 or email me at Lucky.Carson@RaleighNC.gov.			i's adopted
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Should you have any questions concerning the decision of the Board, please do not hesitate to contact me at 919-996-2639 or email me at <u>Lucky.Carson@RaleighNC.gov</u> . Sincerely, Lucky Carson Planner			
Lucky Carson Planner		· · · · · · · · · · · · · · · · · · ·	
Planner	months from the date of including payment of structure was previous Should you have any of	of approval by the Board, unless either: 1) a complete building permit all fees, has been filed by the applicant and accepted by the City; or 2) sly in existence prior to the requested variance. <u>See</u> UDO Section 10.2 questions concerning the decision of the Board, please do not hesitate to	application, the use and 2.10.F.
	months from the date of including payment of structure was previous Should you have any of at 919-996-2639 or en Sincerely,	of approval by the Board, unless either: 1) a complete building permit all fees, has been filed by the applicant and accepted by the City; or 2) sly in existence prior to the requested variance. <u>See</u> UDO Section 10.2 questions concerning the decision of the Board, please do not hesitate to	application, the use and 2.10.F.
	months from the date (including payment of 7 structure was previous Should you have any (at 919-996-2639 or en Sincerely, Lucky Carson Planner	of approval by the Board, unless either: 1) a complete building permit all fees, has been filed by the applicant and accepted by the City; or 2) sly in existence prior to the requested variance. <u>See</u> UDO Section 10.2 questions concerning the decision of the Board, please do not hesitate to	application, the use and 2.10.F.
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NOTES

- 1. THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN APPROVAL TO CREATE TWO NEW LOTS AS A CONVENTIONAL SUBDIVISION FOR USE AS SINGLE-FAMILY RESIDENTIAL CONSTRUCTION.
- 2. THESE LOTS ARE SUBJECT TO BOA-0037-2023, WHICH ALLOWS FOR SEPARATE STORMWATER CONTROL FACILITIES ON EACH OF THE SUBDIVIDED LOTS.
- 3. IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO BUILDING PERMITS.
- 4. TREE CONSERVATION PLAN NOT REQUIRED PER UDO SECTION 9.1.2.
- 5. DEVELOPER HAS REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- 6. INFILL RESIDENTIAL RULES MAY APPLY TO THE CURRENT SITE LAYOUT PER UDO SEC 2.2.7.

SHEET TITLE

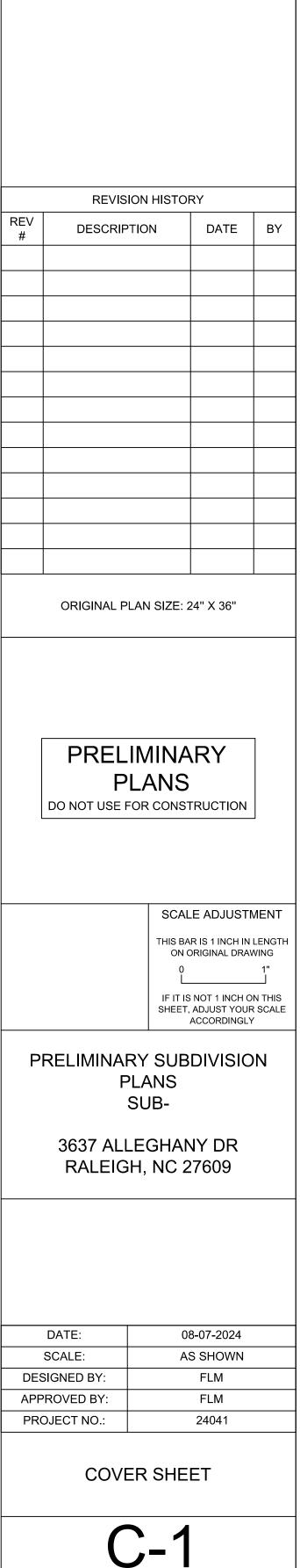
C-1	COVER
C-2	EXISTING CONDITIONS
C-3	SITE, UTILITY PLAN & LANDSCAPE PLAN
C-4	GRADING PLAN
C-5	LOT 1 STORMWATER MANAGEMENT PLAN
C-6	LOT 1 UNDERGROUND DETENTION DETAILS
C-7	LOT 2 STORMWATER MANAGEMENT PLAN
C-8	LOT 2 UNDERGROUND DETENTION DETAILS

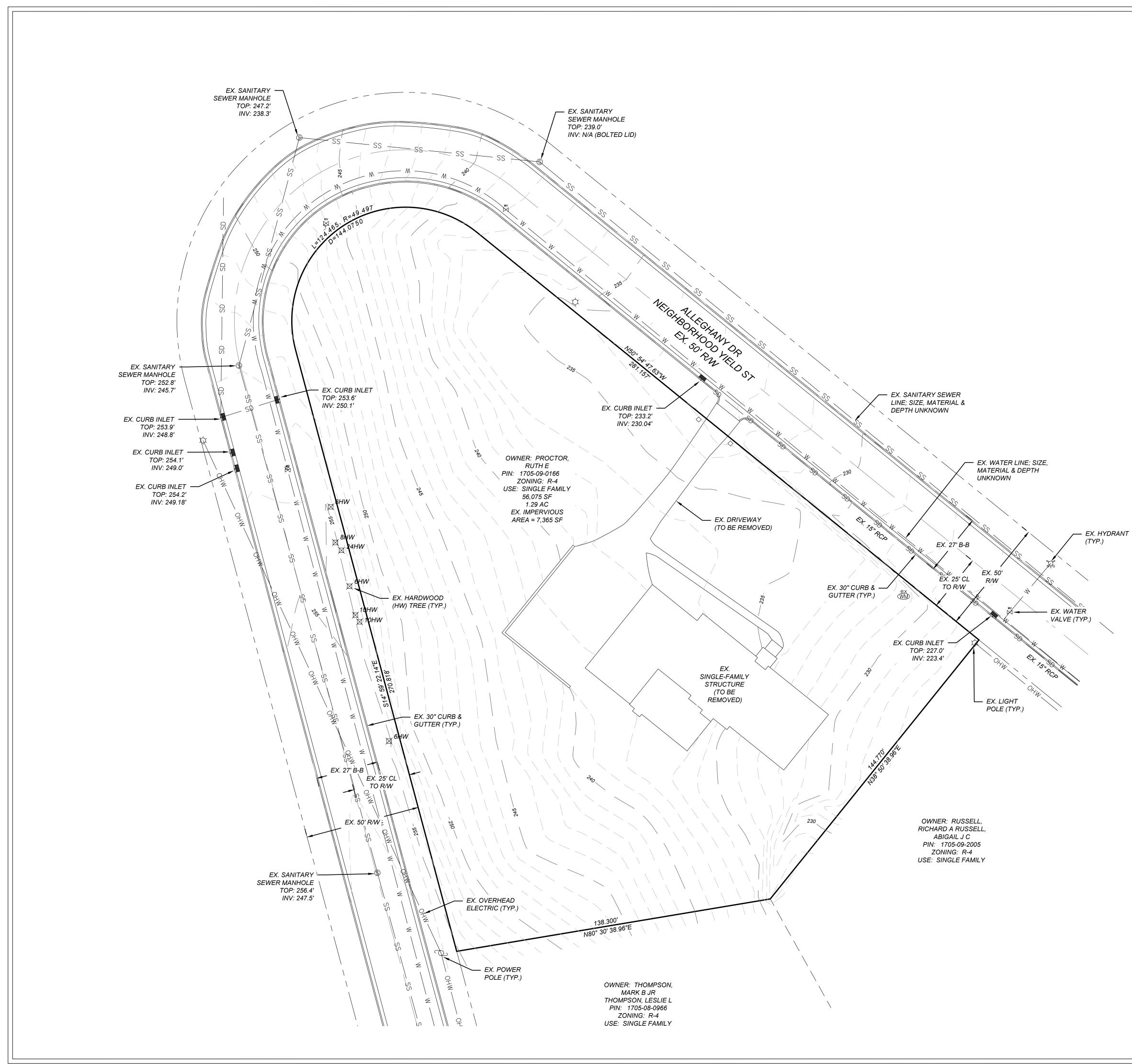
ENGINEER OF RECORD:

FLM ENGINEERING, INC CONTACT: JON FRAZIER, PE PO BOX 91727 RALEIGH, NC 27675 919.610.1051 JFRAZIER@FLMENGINEERING.COM

DEVELOPER:

SUNDANCE SIGNATURE HOMES CONTACT: ROD MANGRUM 974 TRINITY RD RALEIGH, NC 27607 919.816.9993 RDM@SUNDANCESIGNATURE.COM





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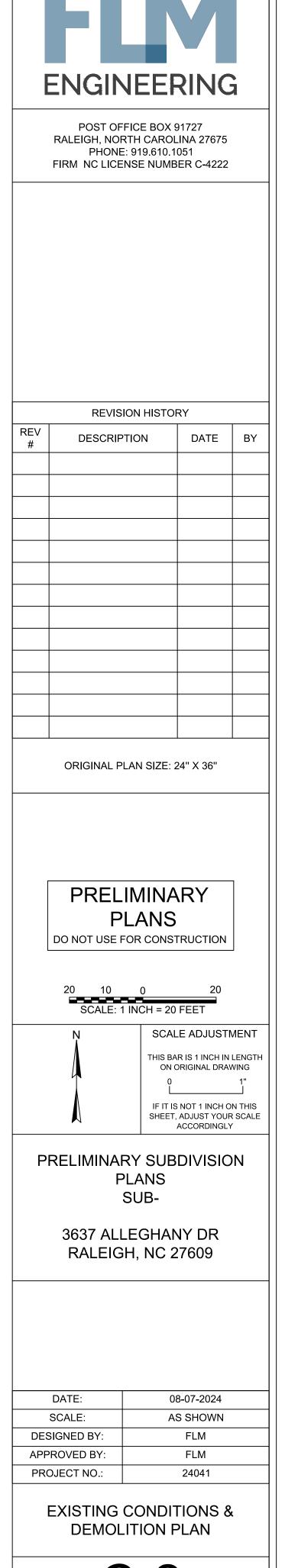
NOTES

- 1. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY TURNING POINT SURVEYING PLLC.
- 2. NO PORTION OF THIS SITE LIES WITHIN A FEMA DESIGNATED 100-YEAR FLOOD HAZARD AREA PER FIRM PANEL 3720170500K, DATED JULY 19, 2022.
- 3. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- 4. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- 5. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- 6. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

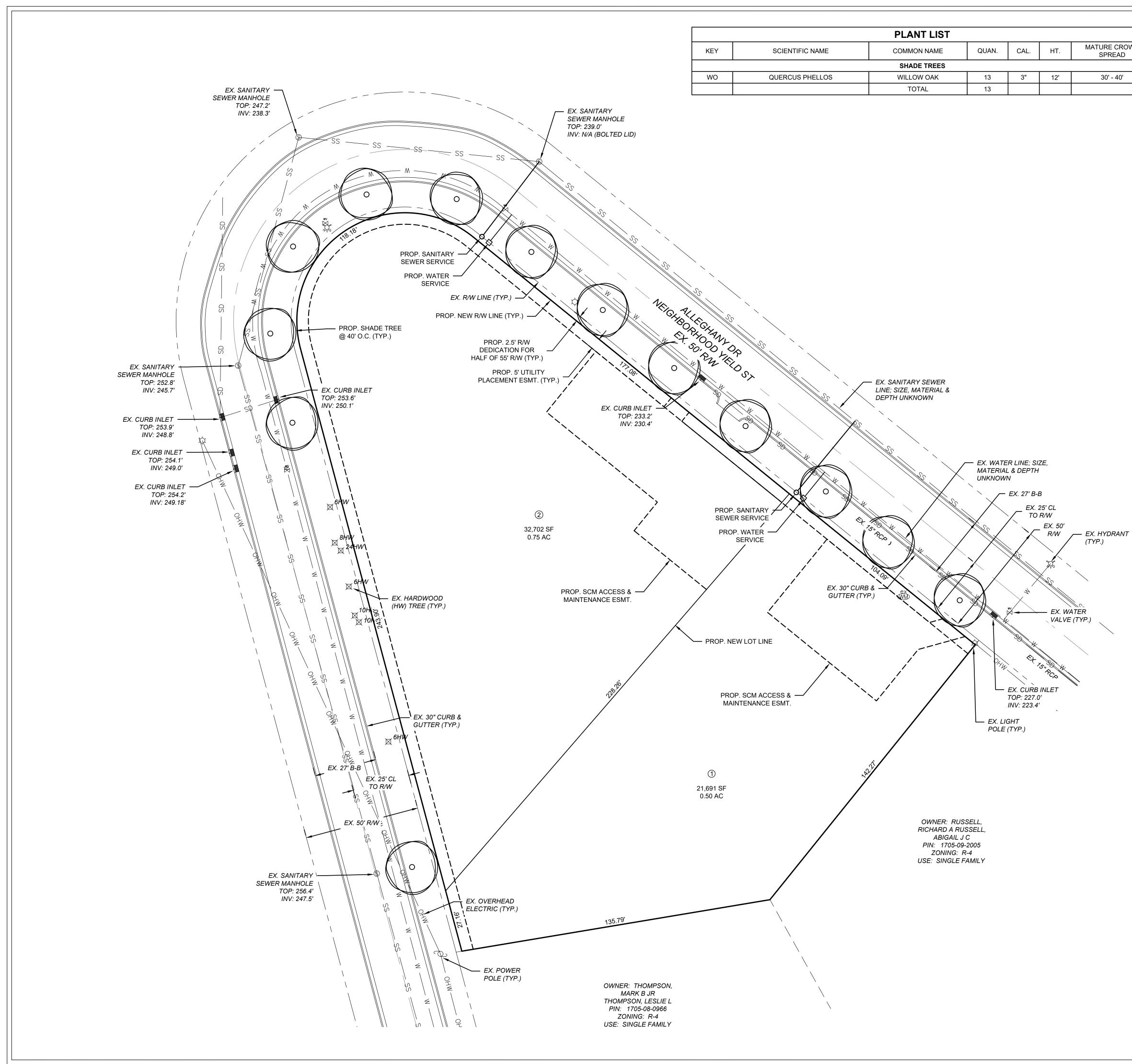
LEGEND

W	W
SS	SS —
SD	SD
OHW	OHW
———————————————————————————————————————	

EX. PROPERTY LINE
EX. ADJACENT OWNERS
EX. RIGHT-OF-WAY
EX. WATER LINE
EX. SANITARY SEWER
EX. STORM SEWER
EX. OVERHEAD ELECTRIC LINE
EX. MAJOR CONTOUR (10')
EX. MINOR CONTOUR (2')



C-2 SHEET 2 OF 8



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MATURE CROWN	
SPREAD	

30' - 40'

SITE DATA

DEVELOPMENT NAME: 3637 ALLEGHANY DR SUBDIVISION SITE ADDRESS: 3637 ALLEGHANY DR

TOTAL AREA: 1.29 AC (56,075 SF) **R/W DEDICATION:** 0.04 AC (1,683 SF) **NET AREA:** 1.25 AC (54,392 SF)

PIN NUMBER: 1705-09-0166

JURISDICTION: CITY OF RALEIGH **ZONING DISTRICT:** R-4 OVERLAY DISTRICT: N/A

EXISTING USE: SINGLE-FAMILY RESIDENTIAL **PROPOSED USE:** SINGLE-FAMILY RESIDENTIAL

EXISTING SINGLE-FAMILY LOTS: 1 PROPOSED SINGLE-FAMILY LOTS: 2

R-4 MAXIMUM DENSITY: N/A UNITS/ACRE **PROPOSED DENSITY:** 1.6 UNITS/ACRE

R-4 MINIMUM LOT AREA: 10,000 SF R-4 MINIMUM LOT WIDTH: 65' R-4 MINIMUM LOT DEPTH: 100'

PROPOSED NEW LOT 1 AREA: 21,691 SF MAXIMUM NEW LOT 1 IMPERVIOUS AREA: 10,788 SF (INCLUDES 788 SF FOR 6' SIDEWALK ALONG FRONTAGE)

PROPOSED NEW LOT 2 AREA: 32,702 SF MAXIMUM NEW LOT 2 IMPERVIOUS AREA: 13,232 SF (INCLUDES 3,232 SF FOR 6' SIDEWALK ALONG FRONTAGE)

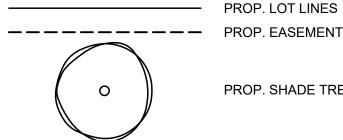
— — — EX. ADJACENT OWNERS

SETBACKS: PRIMARY STREET (MIN): 20' SIDE STREET (MIN): 20' **SIDE (MIN):** 10' **REAR:** 30'

WATERSHED: CRABTREE CREEK WETLAND AREA: 0 SF NEUSE RIVER RIPARIAN BUFFER AREA: 0 SF

LEGEND

	EX. RIGHT-OF-WAY
— W — W —	EX. WATER LINE
— SS — SS —	EX. SANITARY SEWER
— SD — SD —	EX. STORM SEWER
— OHW — OHW —	EX. OVERHEAD ELECTRIC LINE
	PROP. PROPERTY LINE



PROP. SHADE TREE

NOTES

1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

LANDSCAPING REQUIREMENTS

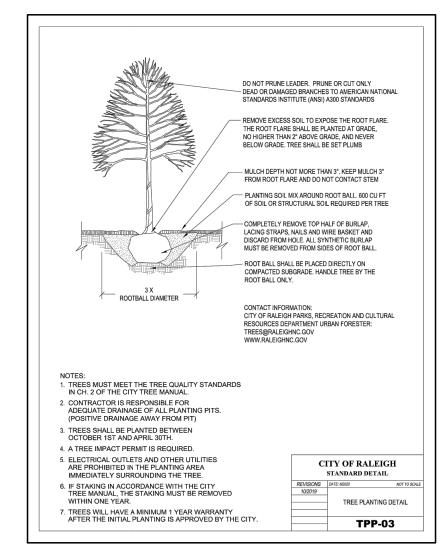
STREET TREES:

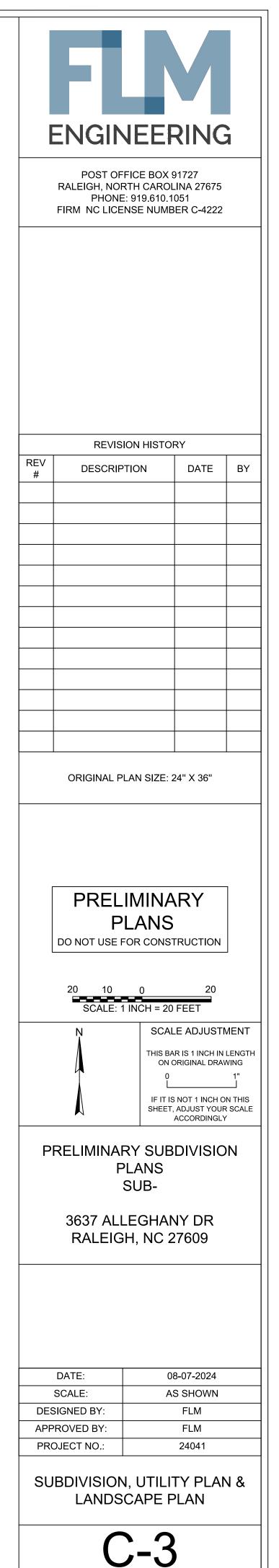
REQUIRED:

SHADE TREES SPACED AT 40' O.C.

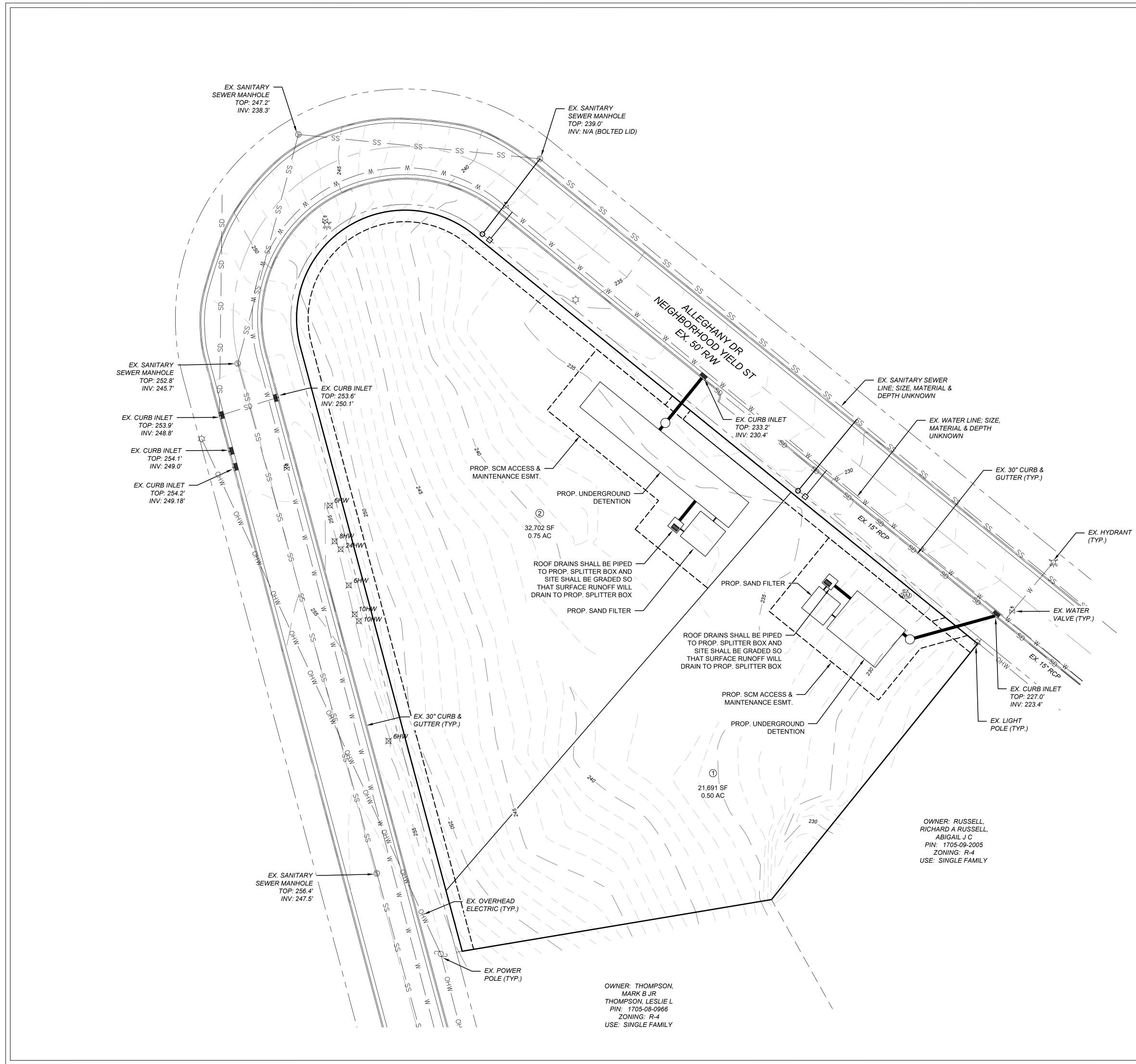
PROVIDED:

13 SHADE TREES SPACED AT 40' O.C.





SHEET 3 OF 8



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LEGEND

W	W ——
SS	ss —
SD	SD —
OHW	онw —
———————————————————————————————————————	

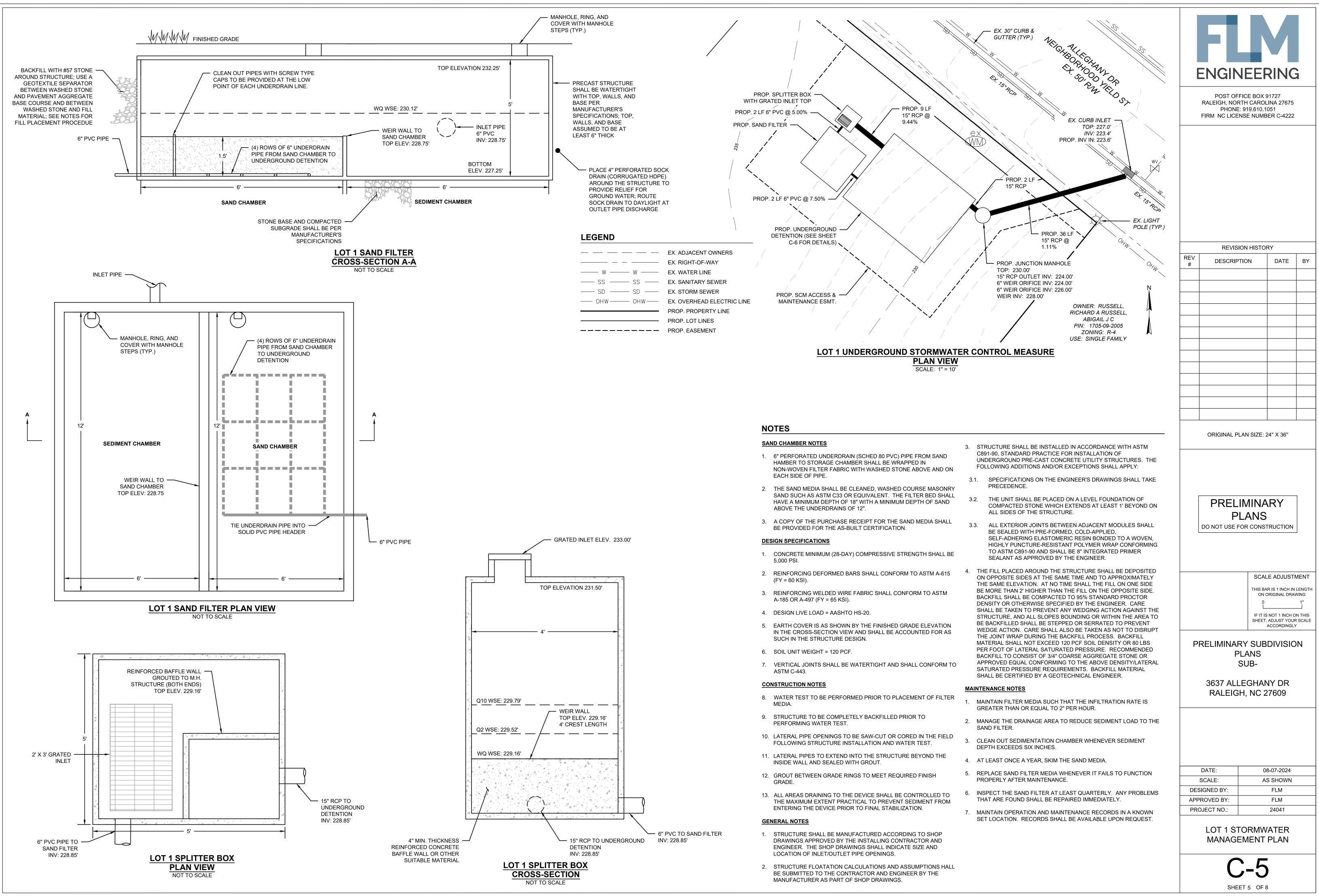
		EX. ADJACENT OWNERS
		EX. RIGHT-OF-WAY
W	— W ——	EX. WATER LINE
— SS —	— SS ——	EX. SANITARY SEWER
— SD —	— SD ——	EX. STORM SEWER
— OHW ——	— OHW —	EX. OVERHEAD ELECTRIC LINE
— 25	0	EX. MAJOR CONTOUR (10')
		EX. MINOR CONTOUR (2')
		PROP. PROPERTY LINE
		PROP. LOT LINES
		PROP. EASEMENT

NOTES

- 1. ON EACH LOT, ROOF DRAINS SHALL BE PIPED TO PROP. SPLITTER BOX AND SITE SHALL BE GRADED SO THAT SURFACE RUNOFF WILL DRAIN TO PROP. SPLITTER BOX.
- 2. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- 3. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- 4. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- 5. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

	FI.				
li	ENGIN	EEF			
	POST OFFICE BOX 91727 RALEIGH, NORTH CAROLINA 27675 PHONE: 919.610.1051 FIRM NC LICENSE NUMBER C-4222				
REV	REVISIO				
#	DESCRIPTI	NC	DATE	BY	
	ORIGINAL PLAN SIZE: 24" X 36"				
				_	
	PRELIMINARY PLANS DO NOT USE FOR CONSTRUCTION				
	20 10	0	20		
	SCALE: 1 IN			MENT	
		ONG	R IS 1 INCH IN DRIGINAL DRAV		
		SHEET,	NOT 1 INCH O ADJUST YOUF ACCORDINGLY	N THIS SCALE	
P	PRELIMINARY SUBDIVISION PLANS SUB-				
3637 ALLEGHANY DR RALEIGH, NC 27609					
			8-07-2024		
	DATE: SCALE:		S SHOWN		
APF	SIGNED BY:		FLM FLM		
	DJECT NO.:		24041		
	GRADING PLAN				
	C-4				

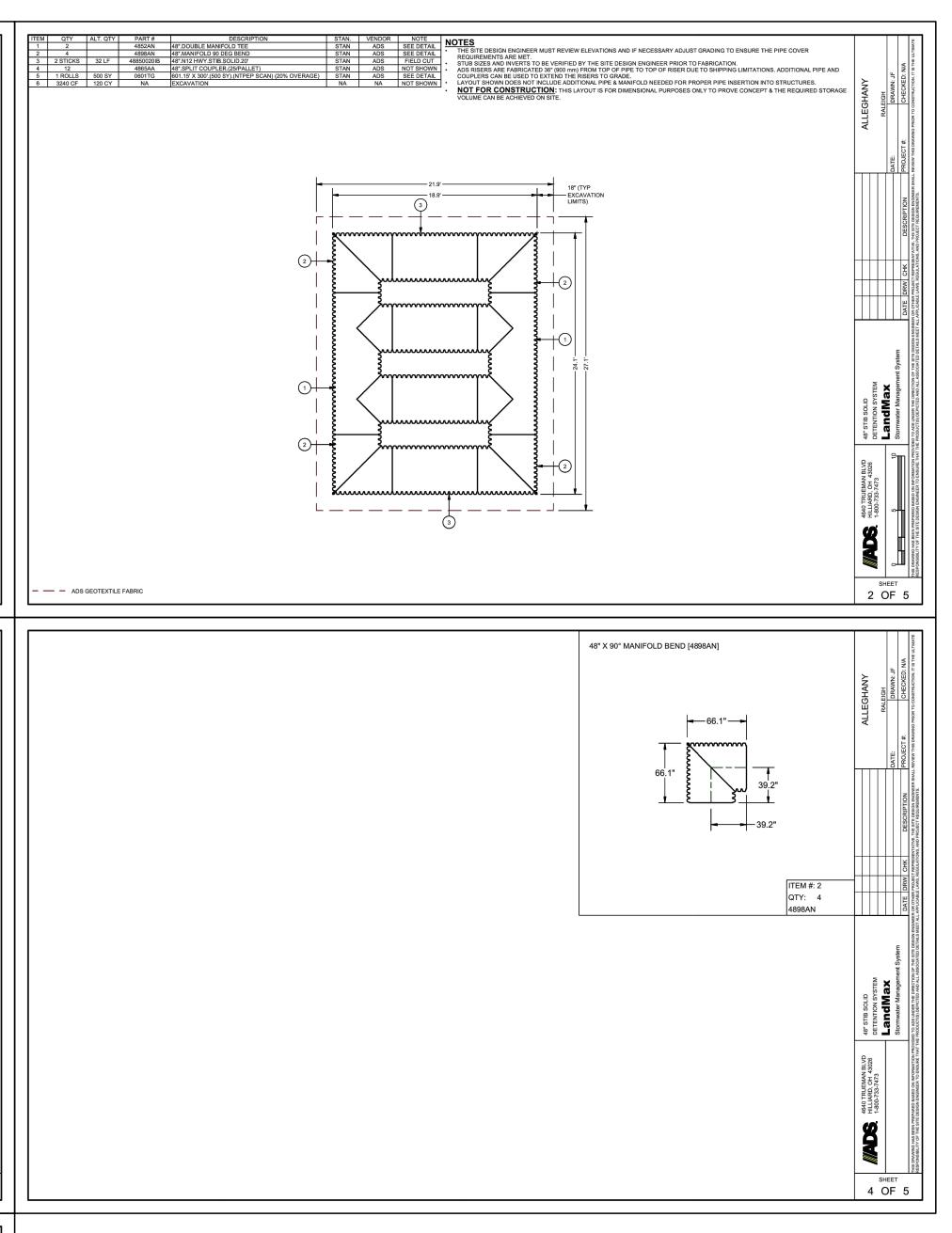
SHEET 4 OF 8



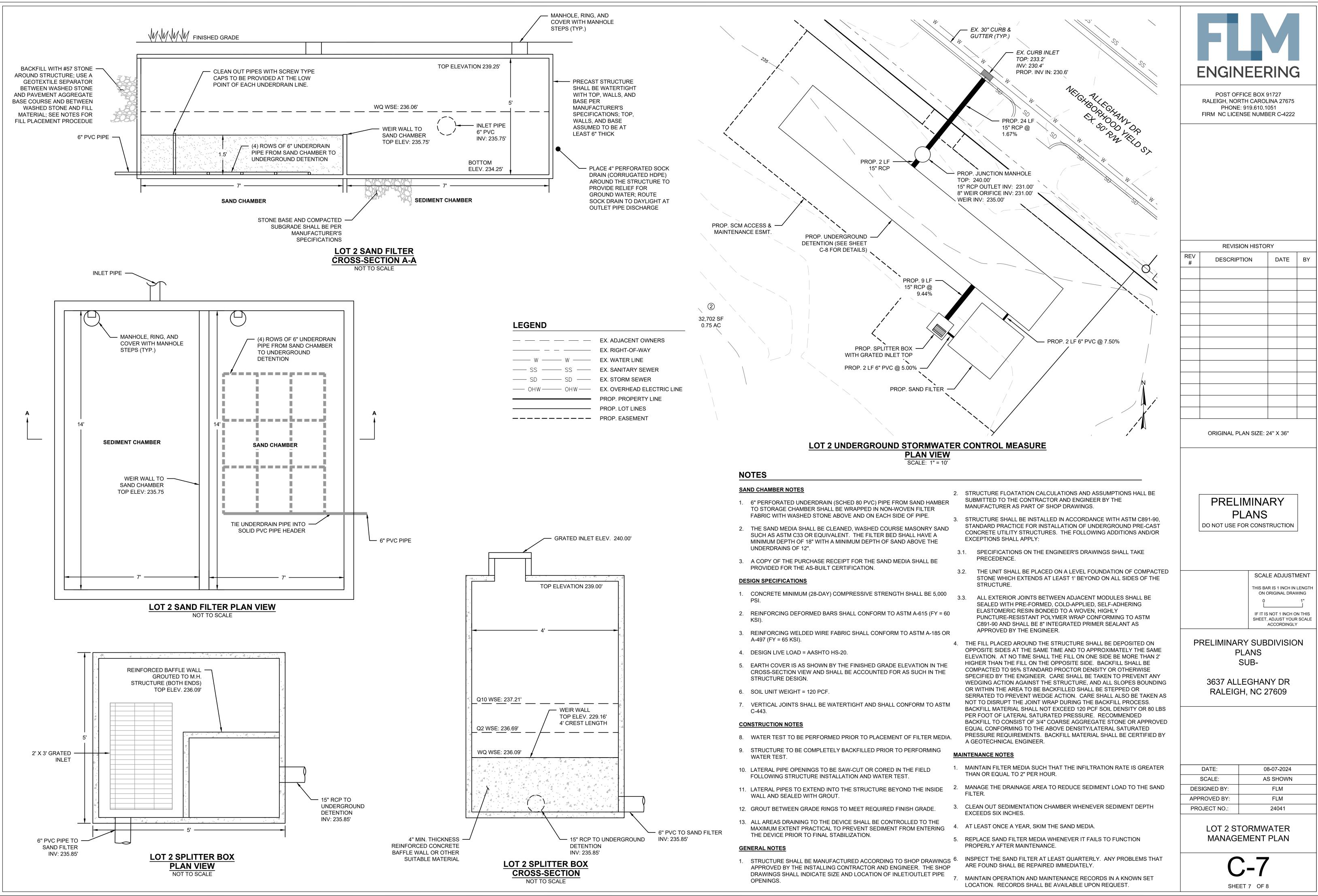
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PROJECT INFORMATION ENGINEERED PRODUCT MANAGER ADS SALES REP	Advanced Drainage Syste	
PROJECT NO.	Advanced Drainage Syste ALLEGHAN RALEIGH	
ADS RETENTION/DETENTION PIPE SYSTEM SPECIFIC SCOPE THIS SPECIFICATION DESCRIBES ADS RETENTION/DETENTION PIPE SYSTEMS FOR USE IN NON-PRESSUR SYSTEMS UTILIZING A CONTINUOUS OUTFALL STRUCTURE.		NOTES: 1) ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS, INLETS AND OUTLETS, SHALL B VERIFIED BY THE ENGINEER PRIOR TO RELEASING FOR FABRICATION.
SYSTEMS UTILIZING A CONTINUOUS OUTFALL STRUCTURE. PIPE REQUIREMENTS ADS RETENTION/DETENTION SYSTEMS MAY UTILIZE ANY OF THE VARIOUS PIPE PRODUCTS BELOW: • N-12 [®] STIB PIPE (PER ASM F344) SHALL MEET ASHTO M 294, TYPE S OR ASTM F2306 • N-12 [®] STIB PIPE (PER ASTM F2484) SHALL MEET ASTM F2484 • N-12 [®] MEGA GREEN [™] STIB SHALL MEET ASTM F2484 ALL PRODUCTS SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. ALL STIB P PERFORATED OR NON-PERFORATED. WTIB PIPE PRODUCTS ARE ONLY AVAILABLE AS NON-PERFORATED AVAILABLE IN THE DRAINAGE HANDBOOK SECTION 1 "SPECIFICATIONS". JOINT PERFORMANCE PLAIN END / SOIL-TIGHT (STIB):	IPE PRODUCTS ARE AVAILABLE AS . PRODUCT-SPECIFIC PIPE SPECIFICATIONS ARE	 IN SITUATIONS WHERE A FINE-GRAINED BACKFILL WATERIAL IS USED ADJACENT TO THE PIP SYSTEM, AND ESPECIALLY INVOLVING GROUND WATER CONDITIONS: CONSIDERATION SHO BE GIVEN TO THE USE OF GASKETED PIPE JOINTS. AT THE VERY LEAST THE PIPE JOINTS SH BE WRAPPED IN A SUITABLE, NON-WOVEN GEOTEXTILE FABRIC TO PREVENT INFILTRATION FINES INTO THE PIPE SYSTEM. CONSIDERATION FOR CONSTRUCTION EQUIPMENT LOADS MUST BE TAKEN INTO ACCOUNT. ALL PIPE DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCES. ALL RISERS TO BE FIELD EXTENDED OR TRIMMED TO FINAL GRADE.
STIB FIPE SHALL BE JOINED USING A BELL AND SPIGOT JOINT. THE BELL AND SPIGOT JOINT SHALL MEET AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. PLAIN END PIPE AND FITTINGS CONNECTIONS SHALL BOINED WITH COUPLING BANDS COVERING AT LI OF THE PIPE. GASKETED SOIL-TIGHT COUPLING BAND CONNECTIONS SHALL INCORPORATE A CLOSED-CI MEETING THE REQUIREMENTS OF ASTM D1056 GRADE 2A2. GASKETS, WHEN APPLICABLE, SHALL BE INST FITTINGS FITTINGS FITTINGS SHALL CONFORM TO ASTM F2306 AND MEET JOINT PERFORMANCE INDICATED ABOVE FOR FITT AVAILABLE AND MAY REQUIRE SPECIAL INSTALLATION CRITERION. INSTALLATION	EAST TWO FULL CORRUGATIONS ON EACH END ELL SYNTHETIC EXPANDED RUBBER GASKET ALLED BY THE PIPE MANUFACTURER.	THE UNDERSIGNED HERBY APPROVES THE ATTACHED PAGES.
INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GU COVER IN NON-TRAFFIC AREAS FOR 12-60 INCH (300-1500 mm) DIAMETERS SHALL BE 1 FT (0.3 m), MINIMUI (300-900 mm) DIAMETERS SHALL BE 1 FT (0.3 m), AND FOR 42-60 INCH (305-1500 mm) DIAMETERS, THE MIN SHALL CONSIST OF CLASS I (COMPACTED) OR CLASS II (MINIMUM 95% SPD) MATERIAL, WITH THE EXCEPT USE CLASS II MATERIAL ONLY. MINIMUM COVER HEIGHTS DO NOT ACCOUNT FOR PIPE BUOYANCY. REFER FLOTATION" FOR BUOYANCY DESIGN CONSIDERATIONS. MAXIMUM COVER OVER SYSTEM USING STANDA REPRESENTATIVE WHEN MAXIMUM FILL HEIGHT MAY BE EXCEEDED. ADDITIONAL INSTALLATION REQUIR HANDBOOK SECTION 6 "RETENTIONDETENTION". ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.	IMUM COVER SHALL BE 2 FT (0.6 m), BACKFILL TON THAT 60 INCH (1500 mm) SYSTEMS SHALL RTO ADS TECHNICAL NOTE 5.05 "PIPE IRD BACKFILL IS 8 FT (2.4 m); CONTACT A EMENTS ARE PROVIDED IN THE DRAINAGE	
2004 ADS, INC.		48" DOUBLE MANIFOLD TEE [4852AN]
		39.2"
		ITEM # QTY: 4852A
FILTER FABRIC (WHERE REQUIRED BY ENGINEER)	TRAFFIC INSTALLATION H H (FLEX PVMT) (RIGID PVMT) (GRA	H H SS AREA)
CLASS I OR II MATERIAL PLACED AND COMPACTED IN ACCORDANCE WITH ASTM D2321 IN PIPE ZONE	BEDDING (CLASS I OR II MATERIAL) = 6" (152 mm) MIN. FOR 48" (1200 mm) PIPE	
NOMINAL DIAMETER NOMINAL O.D. TYPICAL SPACING "VCAL SIDE WALL"X" (NON-TRAFFIC) WALL"X" (NON-TRAFFIC) (1200 mm) MIN. H (TRAF 12" MIN. H (TRAF 12" MIN. H (TRAF 12" MIN. H (TRAF 12" MIN. H (TRAF 12" MIN. H (TRAFIC) MIN. H (FIC) 8'	
"STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW CONTRACTOR SHALL P SPECIFICATION TO ENC ENGINEER, MINIMUM BI 4"-24" (100-600 mm); 6" (2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE 7. INITIAL BACKEILL: SUIT	ATERIAL SHALL BE CLASS I OR II. THE ROVIDE DOCUMENTATION FOR MATERIAL INVER. UNLESS OTHERWISE NOTED BY THE EDDING THICKNESS SHALL BE 4' (102 nm) FOR 152 mm) FOR 30-60' (750-900 mm). ABLE MATERIAL SHALL BE CLASS I OR II IN	
3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321. 4. EILTER_ABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL. 4. EDUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE. THE 5. EQUINDATION: WHERE THE TRENCH DA DEPTI REQUIRED XTHE 36" (000 mm) DIAMETER	DING NOT LESS THAN 6" (152 mm) ABOVE JONTRACTOR SHALL PROVIDE MATERIAL SPECIFICATION TO ENGINEER. STALLED AS REQUIRED IN ASTM D2321, ER OVER ALL RETENTION/DETENTION FIC APPLICATIONS (GRASS OR LANDSCAPE FROM TOP OF PIPE TO GOUND SURFACE. Y BE REQUIRED OF PREVENT FLOATATION. TIONS, MINIMUM COVER IS 12" (306 mm) UP TO .PIPE AND 24" (610 mm) OF COVER FOR 42-60" ER PIPE, MEASURED FROM TOP OF PIPE TO	
BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN RUGINEER, THE TRENCH BOTTOM MAY BE STABILIZED MAXIMUM FILL HEIGHT USING A GEOTEXTILE MATERIAL. STANDARD INSTALLATI	PAVEMENT OR TO TOP OF RIGID PAVEMENT. LIMITED TO 8 FT (2.4 m) OVER FITTINGS FOR ONS. CONTACT A SALES REPRESENTATIVE EIGHTS EXCEED 8 FT (2.4 m) FOR	

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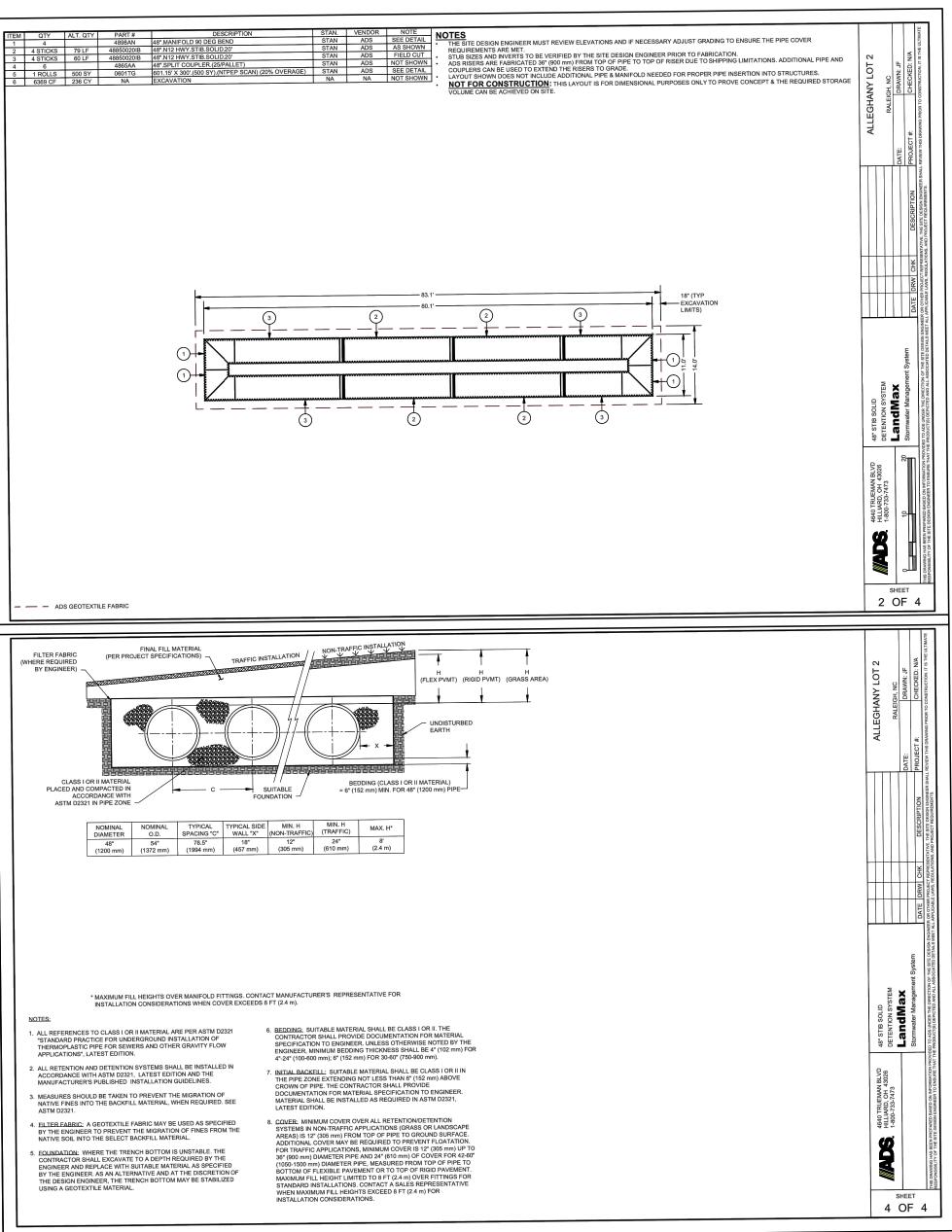
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LOT 1 UNDERGROUND DETENTION DETAILS				
C-6 Sheet 6 Of 8				



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SCOPE	ETENTION PIPE SYSTEM SPECIFIC		NOTES: 1) ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS, INLETS VERIFIED BY THE ENGINEER PRIOR TO RELEASING FOR FABRICATIO 2) IN SITUATIONS WHERE A FINE-GRAINED BACKFILL MATERIAL IS USEI	N. DADJACENT TO THE PIPE
N-12" STIB PIPE (PER AASHTO) S N-12" STIB PIPE (PER ASHTO 2S N-12" NEGA GREEN "STIB SHALL ALL PRODUCTS SHALL HAVE A SMOC PERFORATED OR NON-PERFORATED AVAILABLE IN THE DRAINAGE HANDB JOINT PERFORMANCE PLAIN END / SOL-TIGHT (STIB);	. MEET ASTM F2648 TH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. ALL STIB PII WTIB PIPE PRODUCTS ARE ONLY AVAILABLE AS NON-PERFORATED. OOK SECTION 1 "SPECIFICATIONS".	PRODUCT-SPECIFIC PIPE SPECIFICATIONS ARE	SYSTEM, AND ESPECIALLY INVOLVING GROUND WATER CONDITIONS BE GIVEN TO THE USE OF GASKETED PIPE JOINTS.AT THE VERY LE7 BE WRAPPED IN A SUITABLE, NON-WOVEN GEOTEXTILE FABRIC TO F FINES INTO THE PIPE SYSTEM. 3) CONSIDERATION FOR CONSTRUCTION EQUIPMENT LOADS MUST BE 4) ALL PIPE DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERAN 5) ALL RISERS TO BE FIELD EXTENDED OR TRIMMED TO FINAL GRADE.	S, CONSIDERATION SHOULD SIS THE PIPE JOINTS SHOULD PREVENT INFILTRATION OF TAKEN INTO ACCOUNT.
AND GASKETS SHALL MEET THE REG PLAIN END PIPE AND FITTINGS CONN OF THE PIPE. GASKETED SOLLTIGHT MEETING THE REQUIREMENTS OF AS FITTINGS SHALL CONFORM TO ASTM AVAILABLE AND MAY REQUIRE SPECT	ECTIONS SHALL BE JOINED WITH COUPLING BANDS COVERING AT LE COUPLING BAND CONNECTIONS SHALL INCORPORATE A CLOSED-CE TM D1056 GRADE 2A2. GASKETS, WHEN APPLICABLE, SHALL BE INST/ P2306 AND MEET JOINT PERFORMANCE INDICATED ABOVE FOR FITTI AL INSTALLATION CRITERION.	AST TWO FULL CORRUGATIONS ON EACH END LL SYNTHETIC EXPANDED RUBBER GASKET ALLED BY THE PIPE MANUFACTURER. NGS CONNECTIONS. CUSTOM FITTINGS ARE	THE UNDERSIGNED HERBY APPROVES THE ATTACHED PAGE	S
SHALL CONSIST OF CLASS I (COMPAC USE CLASS I MATERIAL ONLY, MINIMU FLOTATION* FOR BUOYANCY DESIGN REPRESENTATIVE WHEN MAXIMUM F HANDBOOK SECTION 6 "RETENTION/U ADS RECOMMENDS THE USE OF "FLE	NCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GUI 12-60 INCH (300-1500 mm) DIAMETERS SHALL BE 1 FT (0.3 m), MINIMUM FT (0.3 m) AND FOR 42-60 INCH (1650-1500 mm) DIAMETERS, THE MINI TED) OR CLASS II (MINIMUM 95% SPD) MATERIAL, WITH THE EXCEPT IM COVER HEIGHTS DO NOT ACCOUNT FOR PIPE BUOYANCY, REFERE CONSIDERATIONS. MAXIMUM COVER OVER SYSTEM USING STANDAI ILL HEIGHT MAY BE EXCEEDED. ADDITIONAL INSTALLATION REQUIRE DETENTION". XSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLET M FROM CONSTRUCTION SITE RUNOFF.	ON THAT 60 INCH (1600 mm) SYSTEMS SHALL TO ADS TECHNICAL NOTE 5:06 "PIPE R0 BACKFILL IS 8 FT (2.4 m); CONTACT A MENTS ARE PROVIDED IN THE DRAINAGE		
62024 ADS, INC.				
			48" X 90° MANIFOLD BEND [4898AN]	
			66.1"	39.2"
				- 39.2" TEM #: 1 QTY: 4
				4898AN
				_



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PROJECT NO.: 24041 LOT 2 UNDERGROUND DETENTION DETAILS
C-8 SHEET 8 OF 8