

Administrative Approval Action

Case File / Name: SUB-0040-2024

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The property is located at the curve of Alleghany Dr, specifically at 3637 Alleghany

Dr, PIN 1705090166, and is zoned Residential 4 (R-4).

REQUEST: The applicant requests a conventional subdivision to divide the 1.29 acre parcel into

two residential lots. Lot 1 will consist of approximately 0.53 acres (23,048 square

feet) and Lot 2 will consist of approximately 0.72 acres (31,345 square feet).

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 12, 2024 by Annis

Mangrum LLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

- 1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑	Right of Way Deed of Easement	V	Utility Placement Deed of Easement
	Required		Required

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

SUB-0040-2024 **1**



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The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

- A fee-in-lieu for 6' sidewalk is paid to the City of Raleigh (UDO 8.1.10).
- 3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

- 5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
- 6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
- 8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

9. A public infrastructure surety for (19) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

SUB-0040-2024 **2**



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The following items must be approved prior to the issuance of building permits:

Stormwater

- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 2. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
- 3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes (19) street trees along Alleghany Dr.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.

Stormwater

- 2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: January 23, 2028

Record at least ½ of the land area approved.

5-Year Sunset Date: January 23, 2030

Record entire subdivision.

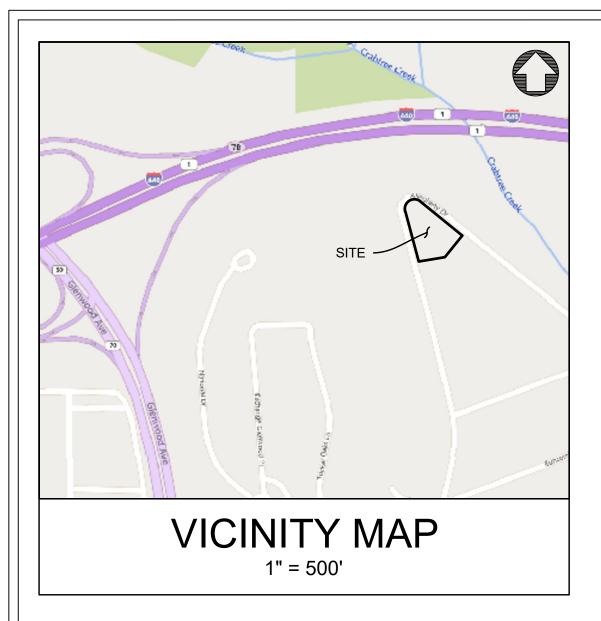
I hereby certify this administrative decision.

Signed: _____ Date: _____ Date: ______

Development Services Dir/Designee

Staff Coordinator: Jeff Caines

SUB-0040-2024 **3**

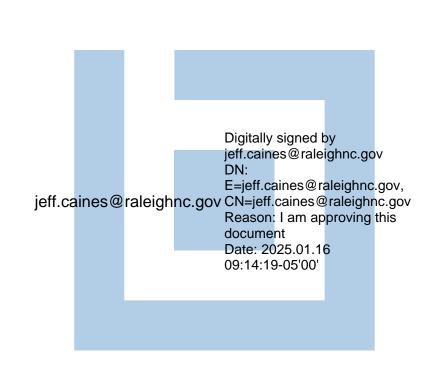


PRELIMINARY SUBDIVISION PLANS FOR

3637 ALLEGHANY DR SUBDIVISION

SUB-0040-2024

3637 ALLEGHANY DR RALEIGH, NC 27609 PIN: 1705-09-0166



96	Development Customer Service Cente	r • One Excl	hange Plaza, Suite 400 Ral	eigh, NC 2	7601 919-996-250	₂₀ Raleigh
appropriate	IONS: This form is used when review type and include the plans to SiteReview@raleighn	an checkl				
erv	DEV	ELOPME	NT OPTIONS (UDO	Chapter	2)	
7	Conventional Subdivision	Co	mpact Development		Conserv	ation Development
	Cottage Court		Flag lot		Frequent Tran	nsit Development Option
NOTE: Su	bdivisions may require City Cou	uncil appı	roval if located in a His	storic Ov	verlay District.	1894 - CVIII. September Steiner Hillstein der Gestellt (1904 – 1904)
		GEN	ERAL INFORMATION	١		
	ketch plan case number(s):	0007 1		LORD SEC.	110 Table 1887(17,84% 1887	
	ent name (subject to approval):	endergraphic department of the Date	legnany Dr Subdiv	ISION	**************************************	
r Toperty A	ddress(es): 3637 Alleghany	Dr				
Recorded	Deed PIN(s): 1705-09-0166			ω= <u> </u> ,≎∈		
					- B	10.15 11.101.0 1000
Building t			Attached House		nhouse	Apartment
Genera	al Building Mixed Use Bui	liding	Civic Building	Оре	en Lot	Tiny House
	CURRENT PROPER	TY OWN	ER/APPLICANT/DEV	ELOPE	RINFORMAT	ION
Current Pr	operty Owner(s) Names: Rutl	h Procto	r *			POSTE PROPERTY SHEET THE STORE SHEET OF STORE AND
Company:			Title:			
Address: 30	637 Alleghany Dr. Raleigh,	NC 276	09			
Phone #:		Email				
Applicant	Name (If different from owner	: See "w	ho can apply" in inst	ruction	S):	
	p to owner: Lessee or con	ora designation service	Section to distinct of the contract of the con			asement holder
	Sundance Signature Homes		ss: 974 Trinity Rd, I			
9 8	19.816.9993		rdm@sundancesi		391	
WF-325888-82_58	ase attach purchase agreeme	2000 C 20	12 (2-d) - 12 (2-d) (2-d		MANUSCHINIC CO.	a this form
	Contact Names: Jon Frazier		Thact, lease of case.		1000 To 100 TO 1	<u> </u>
			Tillo Princip	Nal	·	
Company: FLM Engineering, Inc. Title: Principal				/a)		The state of the s
		//0/2				
Address: P	O Box 91727, Raleigh, NC 19.610.1051	- Bor one	jfrazier@flmengine			

DEVEEO! IIII	ENT TYPE + SITE DA	TE TABLE -	-ZON	IING INFORMATION	
Gross site acreage: 1.29		0		### ##################################	
Zoning districts (if more than one,	provide acreage of ea	ach):			
R-4					
Overlay district(s): N/A	Inside City Limits?	✓ Yes	No	Historic District/Landmark:	N/A
Conditional Use District (CUD) Case # Z-	Board of Adjustmer BOA- 0037-2023	nt Case#	E C	Design Alternate Case # DA-	Our train of a
**************************************	STORMWATE	R INFORMA	TION	THE CONTRACT NAME OF THE PARTY	No. (I talk on other
Imperious Area on Parcel(s): Existing (sf) 7365 Proposed	total (sf) 20000	Impervious Existing (st		for Compliance (includes righ Proposed total (sf) 240	
	NUMBER OF L	OTS AND DE	ENSIT	Υ	
# of Detached House Lots: 2	# of Attached Ho	ouse Lots: 0		# of Townhouse Lots:0	
REST RESTER TRANSPORTED AND PRODUCED AND THE TAXABLE PRODUCED AND THE PROPERTY AND THE PROP	f of Open Lots:			ots (Apartment, General,	***************************************
0		18	Use,	Civic): 0	
	Total # Dwelling Units:			79430 P. C.	
# of bedroom units (if known): 1br	301 301	3br	0~0 N 301	46r ²	
Proposed density for each zoning	district (UDO 1.5.2.F)	:1.6 du/ac	X	Sent Law Confession	

as is authorized by the easeme	equires written permis		e pro	perty owner for the purposes o	
SUN OF HIGH SERVICE AND PROPERTY LIBRARY STATEMENT CONTINUES AND STATEMENT AND STREET STATEMENT AND	requires written permis for permit application. a available to the City the undersigned applicated by state law (N.C.G. and also acknowledges undersigned understates esentations made in second	Written pern of Raleigh up cant acknowled. S. 160D-400 that the information that developing the couring the courin	e pronission pon redges 3(a)) I rmatic elopn develo	perty owner for the purposes on from the property owner to a equest. Is that they are either the property omake this application, as spon and statements made in the nent approvals are subject to represent approval, pursuant to help possible to a possible the propose of the p	of making act as an erty owner ecified in ecvocation N.C. Gen.
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Raleigh
December 12, 2023 BOARD OF ADJUSTMENT DECISION
VIA ELECTRONIC MAIL TO: Richard Proctor and Randy Proctor; dickproctor@rabondailey.com , Isabel Mattox; darby@mattoxlawfirm.com
Re: Board of Adjustment Case BOA-0037-2023 Subject Property: 3637 Alleghany Drive
Dear Applicant and Associated Parties:
At the November $13^{\rm th}$ meeting of the Raleigh Board of Adjustment (the "Board"), the Board approved the following request:
Approved with the following condition:
Prior to Preliminary Subdivision Approval, Applicant will submit a stormwater control plan for th subdivision, which includes proposed stormwater management facilities, if required, and provide required calculations confirming satisfaction of applicable stormwater requirements. The plan shall not require a shared stormwater facility or facilities and may include separate stormwater control facilities for each of the subdivided lots if facilities are required.
Whereas, Richard Proctor and Randy Proctor heirs of Ruth E Proctor, property owners, requests: i) variance for relief from the stormwater control plan requirements pursuant to UDO Section 8.8.3 and ii a variance for relief from the maintenance covenant requirements for stormwater control measures an devices as set forth in UDO Section 9.2.2.G.2, to permit the installation of individual stormwater control devices for a 3 lot subdivision on a 1.29-acre property zoned R-4 and located at 3637 Alleghany Drive
In accordance with N.C. Gen. Stat. § 160A-388, please find enclosed a copy of the Board's adopted written decision approving this request.
<u>Variance Approval</u> If the request was for a variance and the variance was approved, please note that, pursuant to the City of
City of Raleigh (mailing address) Post Office Box 590 Raleigh, North Carolina 27602-0590
Raleigh Unified Development Ordinance (the "UDO"), the variance approval expires twelve (1 months from the date of approval by the Board, unless either: 1) a complete building permit applicatio including payment of all fees, has been filed by the applicant and accepted by the City; or 2) the use at structure was previously in existence prior to the requested variance. See UDO Section 10.2.10.F.
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NOTES

- 1. THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN APPROVAL TO CREATE TWO NEW LOTS AS A CONVENTIONAL SUBDIVISION FOR USE AS
- THESE LOTS ARE SUBJECT TO BOA-0037-2023, WHICH ALLOWS FOR SEPARATE STORMWATER CONTROL FACILITIES ON EACH OF THE SUBDIVIDED LOTS.
- 3. IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO
- 4. TREE CONSERVATION PLAN NOT REQUIRED PER UDO SECTION 9.1.2.
- DEVELOPER HAS REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- 6. INFILL RESIDENTIAL RULES MAY APPLY TO THE CURRENT SITE LAYOUT PER UDO SEC 2.2.7.
- 7. A FEE IN LIEU WILL BE ASSESSED FOR REQUIRED STREETSCAPE INFRASTRUCTURE (SIDEWALK).

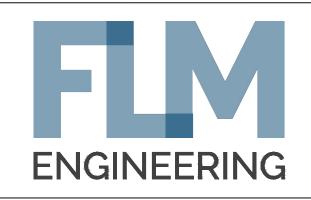
SHEET	TITLE
C-1	COVER
C-2	EXISTING CONDITIONS
C-3	SITE, UTILITY PLAN & LANDSCAPE PLAN
C-4	GRADING PLAN
C-5	LOT 1 UNDERGROUND DETENTION DETAILS
C-6	LOT 2 UNDERGROUND DETENTION DETAILS

ENGINEER OF RECORD:

FLM ENGINEERING, INC CONTACT: JON FRAZIER, PE PO BOX 91727 RALEIGH, NC 27675 919.610.1051 JFRAZIER@FLMENGINEERING.COM

DEVELOPER:

SUNDANCE SIGNATURE HOMES
CONTACT: ROD MANGRUM
974 TRINITY RD
RALEIGH, NC 27607
919.816.9993
RDM@SUNDANCESIGNATURE.COM



POST OFFICE BOX 91727 RALEIGH, NORTH CAROLINA 27675 PHONE: 919.610.1051 FIRM NC LICENSE NUMBER C-4222

	REVISION HISTORY					
REV #	DESCRIPTION	DATE	BY			
1	COR COMMENTS	10/30/2024	FLM			
2	COR COMMENTS	12/12/2024	FLM			

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY
PLANS
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH
ON ORIGINAL DRAWING

0 1"

L

IF IT IS NOT 1 INCH ON THIS
SHEET, ADJUST YOUR SCALE

ACCORDINGLY

PRELIMINARY SUBDIVISION
PLANS
SUB-0040-2024

3637 ALLEGHANY DR RALEIGH, NC 27609

DATE: 08-07-2024

SCALE: AS SHOWN

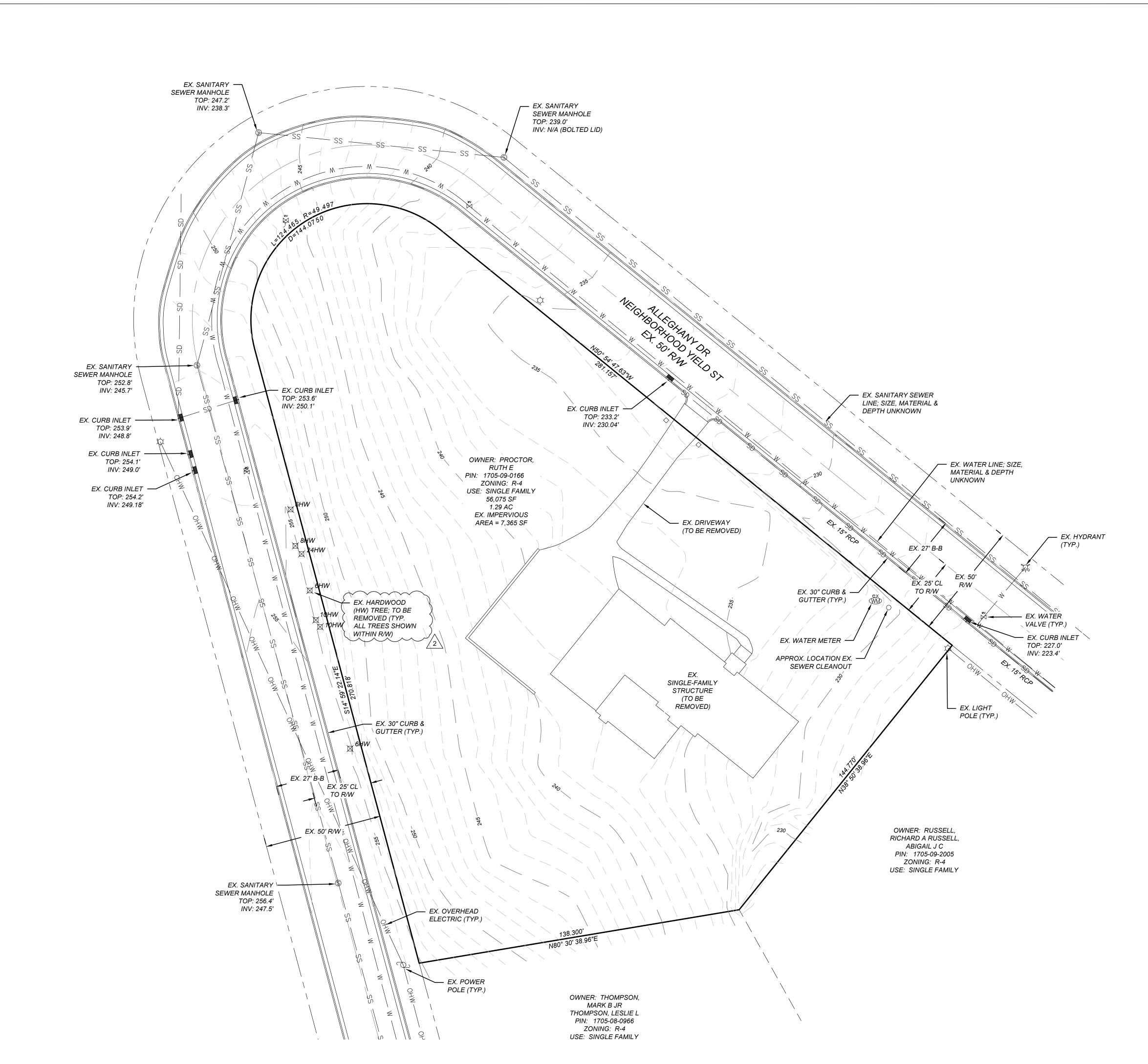
DESIGNED BY: FLM

APPROVED BY: FLM

PROJECT NO.: 24041

COVER SHEET

C-1SHEET 1 OF 6



NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY TURNING POINT SURVEYING PLLC.
- NO PORTION OF THIS SITE LIES WITHIN A FEMA DESIGNATED 100-YEAR FLOOD HAZARD AREA PER FIRM PANEL 3720170500K, DATED JULY 19, 2022.
- 3. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- 4. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- 5. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- 6. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

LEGEND

	EX. PROPERTY LINE
	EX. ADJACENT OWNERS
	EX. RIGHT-OF-WAY
——— W ———— W ———	EX. WATER LINE
—— SS ——— SS ——	EX. SANITARY SEWER
—— SD ——— SD ——	EX. STORM SEWER
—— OHW ——— OHW ——	EX. OVERHEAD ELECTRIC LINE
	EX. MAJOR CONTOUR (10')
	EX. MINOR CONTOUR (2')



POST OFFICE BOX 91727 RALEIGH, NORTH CAROLINA 27675 PHONE: 919.610.1051 FIRM NC LICENSE NUMBER C-4222

REVISION	HISTORY	

∀ #	DESCRIPTION	DATE	BY
1	COR COMMENTS	10/30/2024	FLM
2	COR COMMENTS	12/12/2024	FLM
	1	1	

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS

DO NOT USE FOR CONSTRUCTION

SCALE: 1 INCH = 20 FEET

SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH
ON ORIGINAL DRAWING

0 1"

IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

PRELIMINARY SUBDIVISION PLANS

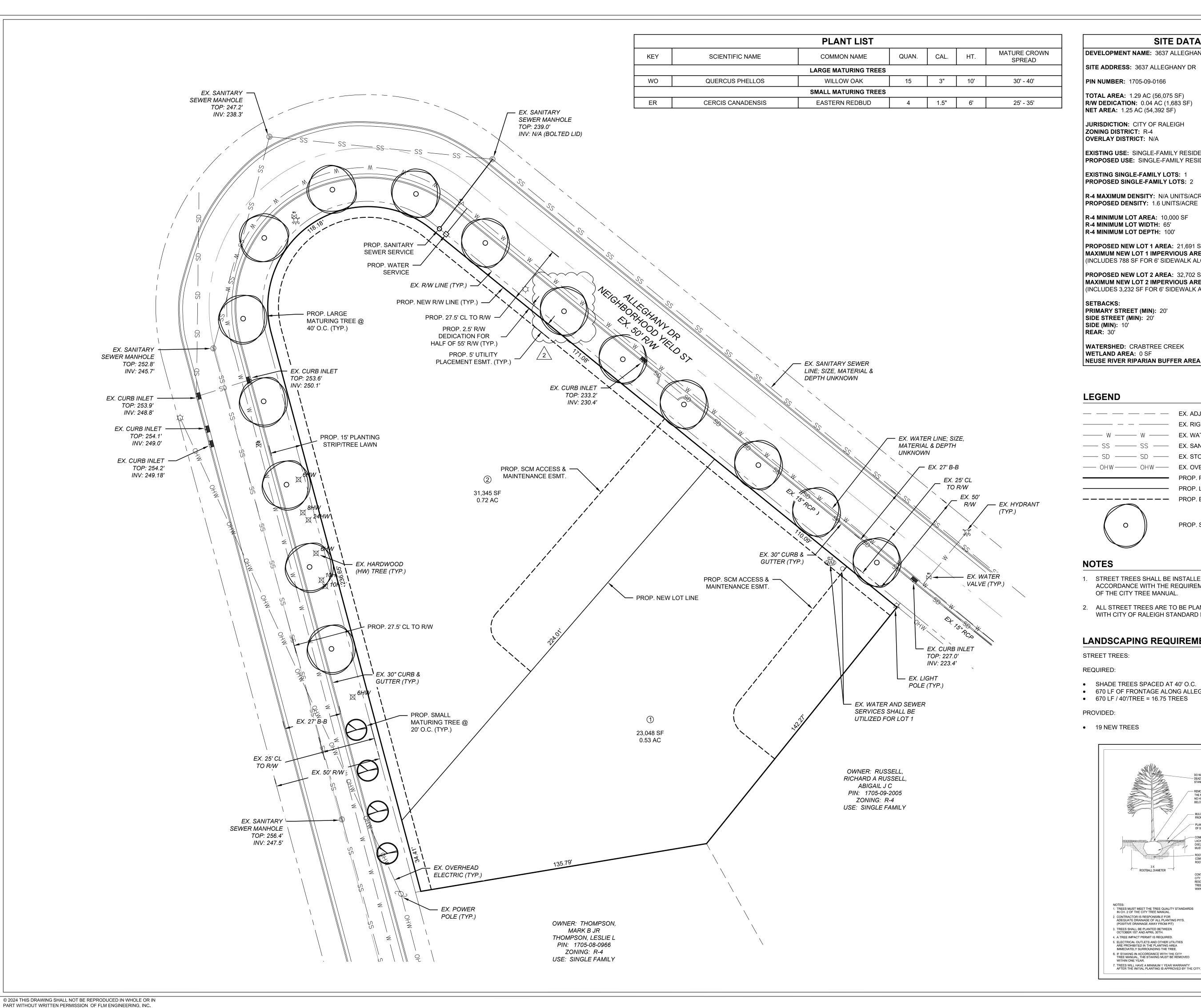
SUB-0040-2024

3637 ALLEGHANY DR RALEIGH, NC 27609

DATE:	08-07-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24041

EXISTING CONDITIONS & DEMOLITION PLAN

C-2SHEET 2 OF 6





DEVELOPMENT NAME: 3637 ALLEGHANY DR SUBDIVISION

SITE ADDRESS: 3637 ALLEGHANY DR

PIN NUMBER: 1705-09-0166

TOTAL AREA: 1.29 AC (56,075 SF) **R/W DEDICATION:** 0.04 AC (1,683 SF) **NET AREA:** 1.25 AC (54,392 SF)

JURISDICTION: CITY OF RALEIGH **ZONING DISTRICT**: R-4 **OVERLAY DISTRICT:** N/A

EXISTING USE: SINGLE-FAMILY RESIDENTIAL PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

EXISTING SINGLE-FAMILY LOTS: 1 PROPOSED SINGLE-FAMILY LOTS: 2

R-4 MAXIMUM DENSITY: N/A UNITS/ACRE

R-4 MINIMUM LOT AREA: 10,000 SF R-4 MINIMUM LOT WIDTH: 65'

PROPOSED NEW LOT 1 AREA: 21,691 SF MAXIMUM NEW LOT 1 IMPERVIOUS AREA: 10.788 SF (INCLUDES 788 SF FOR 6' SIDEWALK ALONG FRONTAGE)

PROPOSED NEW LOT 2 AREA: 32,702 SF MAXIMUM NEW LOT 2 IMPERVIOUS AREA: 13,232 SF (INCLUDES 3,232 SF FOR 6' SIDEWALK ALONG FRONTAGE)

SETBACKS: PRIMARY STREET (MIN): 20' SIDE STREET (MIN): 20' SIDE (MIN): 10' **REAR**: 30'

WATERSHED: CRABTREE CREEK WETLAND AREA: 0 SF **NEUSE RIVER RIPARIAN BUFFER AREA:** 0 SF

LEGEND

	EX. ADJACENT OWNERS
	EX. RIGHT-OF-WAY
——— W ———— W ———	EX. WATER LINE
—— SS ——— SS ——	EX. SANITARY SEWER
—— SD ——— SD ——	EX. STORM SEWER
—— OHW ——— OHW ——	EX. OVERHEAD ELECTRIC LINE
	PROP. PROPERTY LINE
	PROP. LOT LINES
	PROP. EASEMENT
	PROP. SHADE TREE

NOTES

- 1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- 2. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.

LANDSCAPING REQUIREMENTS

STREET TREES:

REQUIRED:

SHADE TREES SPACED AT 40' O.C.

4. A TREE IMPACT PERMIT IS REQUIRED. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

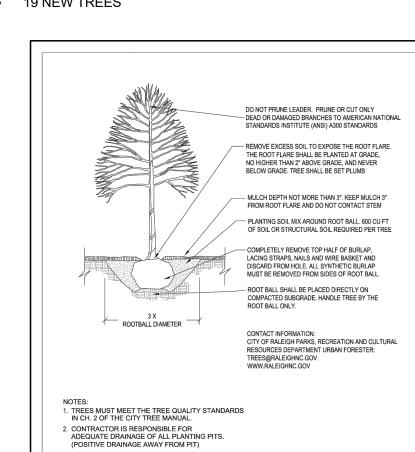
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.

TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

• 670 LF OF FRONTAGE ALONG ALLEGHANY DR • 670 LF / 40'/TREE = 16.75 TREES

PROVIDED:

• 19 NEW TREES



CITY OF RALEIGH

TREE PLANTING DETAIL

TPP-03

SCALE: AS SHOWN **DESIGNED BY:** FLM APPROVED BY: FLM PROJECT NO.: 24041

ENGINEERING

POST OFFICE BOX 91727

RALEIGH, NORTH CAROLINA 27675

PHONE: 919.610.1051

FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY

DO NOT USE FOR CONSTRUCTION

SCALE: 1 INCH = 20 FEET

PRELIMINARY SUBDIVISION

PLANS

SUB-0040-2024

3637 ALLEGHANY DR

RALEIGH, NC 27609

SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH

ON ORIGINAL DRAWING

IF IT IS NOT 1 INCH ON THIS

SHEET, ADJUST YOUR SCALE

ACCORDINGLY

08-07-2024

PLANS

DESCRIPTION

COR COMMENTS

COR COMMENTS

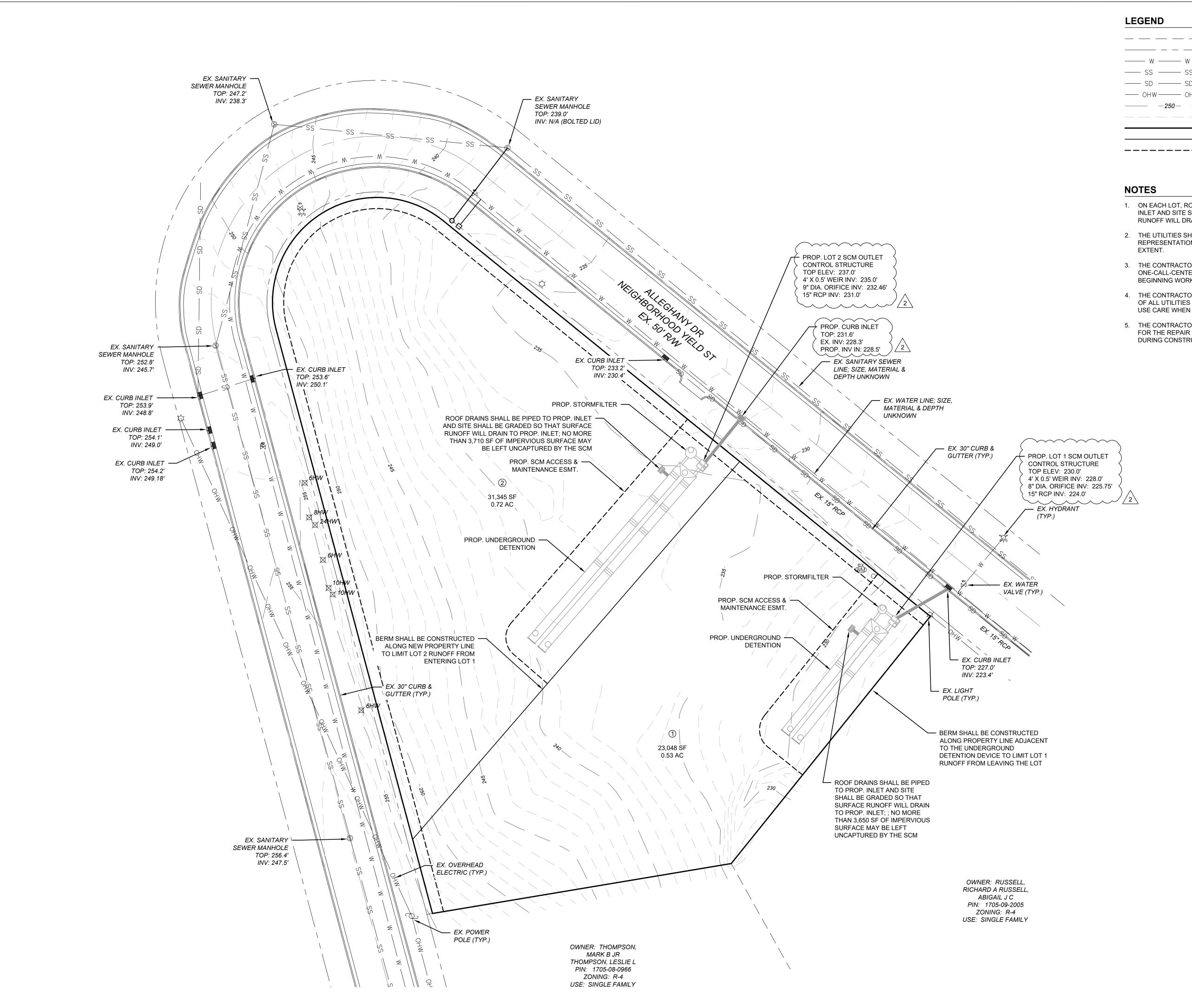
DATE BY

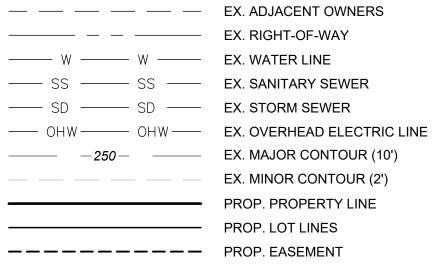
10/30/2024 FLM

12/12/2024 FLM

SUBDIVISION, UTILITY PLAN & LANDSCAPE PLAN

SHEET 3 OF 6





- 1. ON EACH LOT, ROOF DRAINS SHALL BE PIPED TO PROP. INLET AND SITE SHALL BE GRADED SO THAT SURFACE RUNOFF WILL DRAIN TO PROP. INLET.
- 2. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- 3. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- 4. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.



POST OFFICE BOX 91727 RALEIGH, NORTH CAROLINA 27675 PHONE: 919.610.1051 FIRM NC LICENSE NUMBER C-4222

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2	COR COMMENTS	12/12/2024	FLM

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PRELIMINARY
PLANS
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20 10 0 20 SCALE: 1 INCH = 20 FEET

SCALE: 1 INCH = 20 FEET

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SCALE ADJUSTMENT

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ON ORIGINAL DRAWING

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SHEET, ADJUST YOUR SCALE
ACCORDINGLY

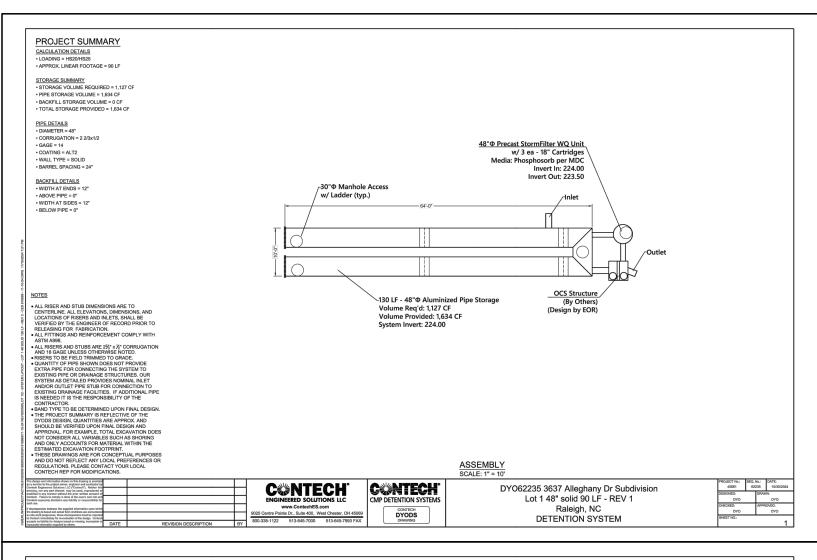
PRELIMINARY SUBDIVISION
PLANS
SUB-0040-2024

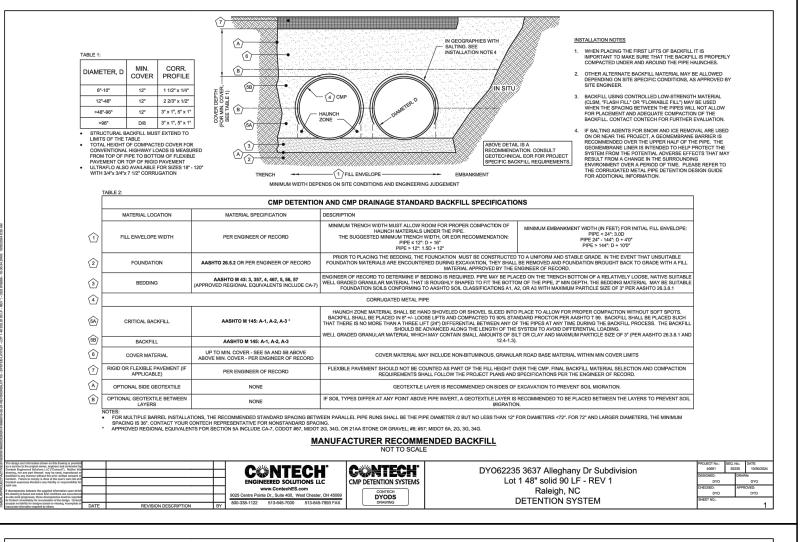
3637 ALLEGHANY DR RALEIGH, NC 27609

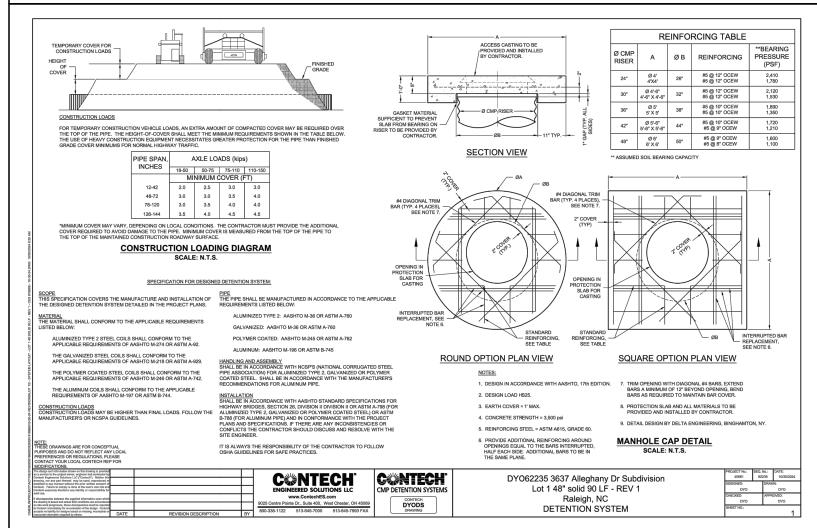
DATE:	08-07-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24041

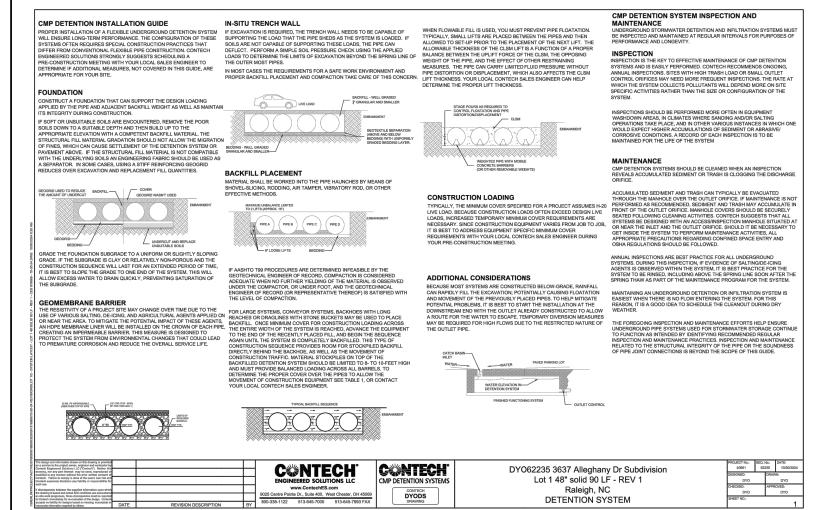
GRADING PLAN

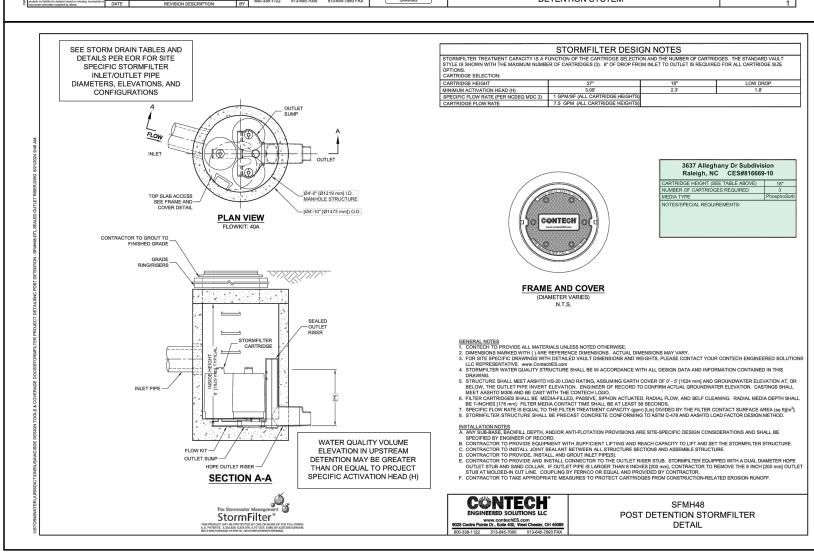
C-4SHEET 4 OF 6













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PRELIMINARY
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0 1"

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IF IT IS NOT 1 INCH ON THIS

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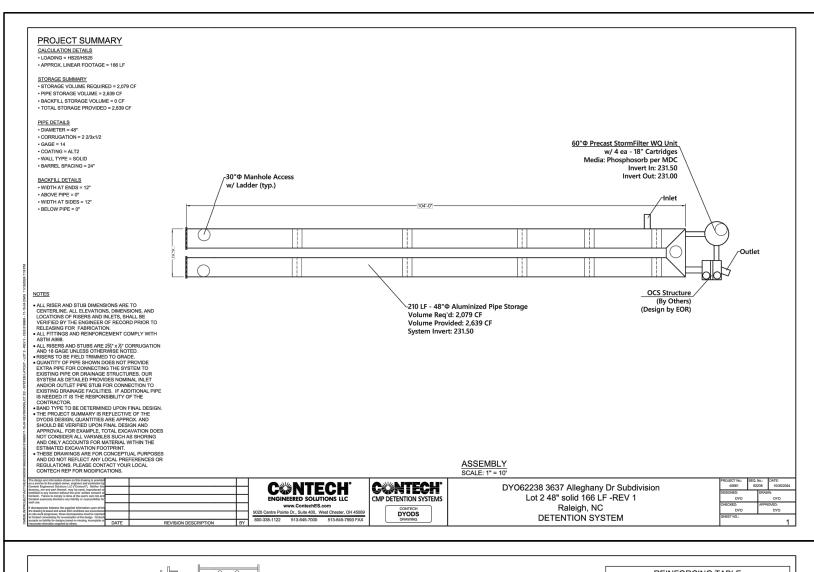
PRELIMINARY SUBDIVISION
PLANS
SUB-0040-2024

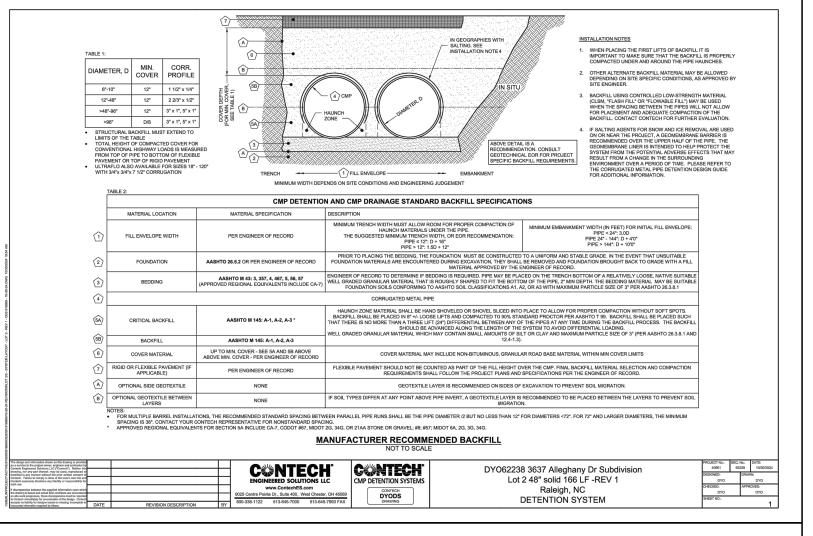
3637 ALLEGHANY DR RALEIGH, NC 27609

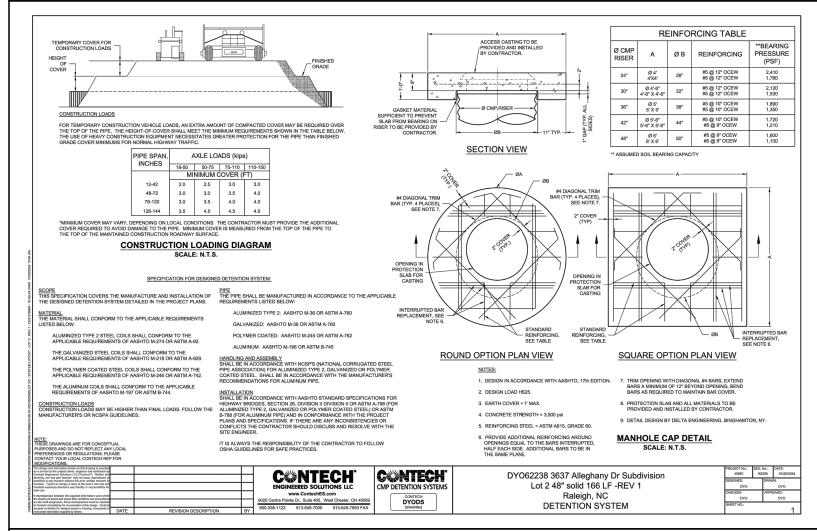
DATE:	08-07-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24041

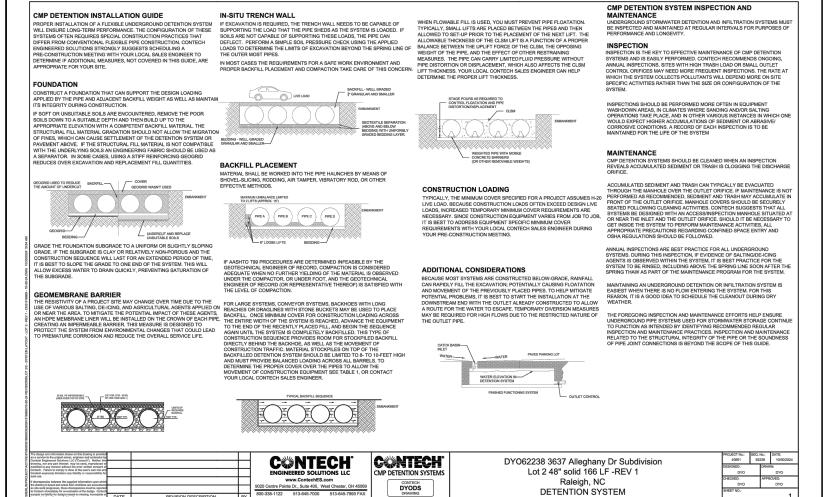
LOT 1 UNDERGROUND DETENTION DETAILS

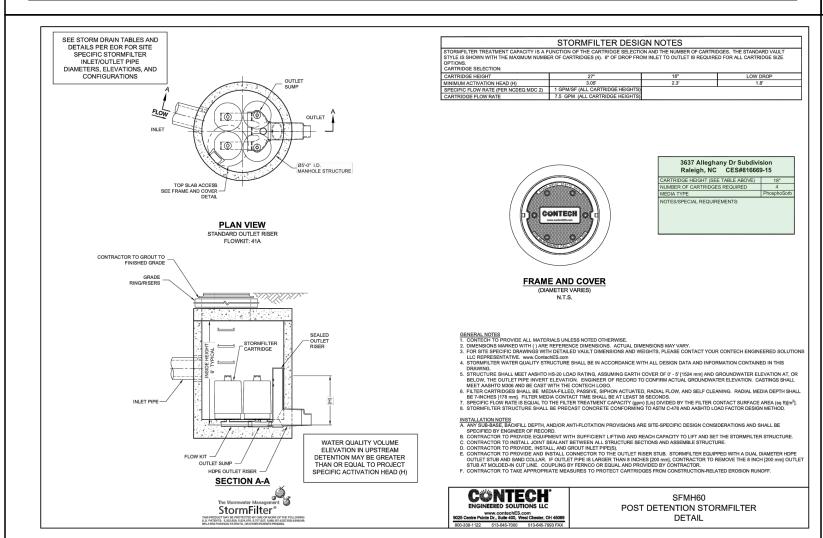
C-5SHEET 5 OF 6













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PRELIMINARY
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IF IT IS NOT 1 INCH ON THIS
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PRELIMINARY SUBDIVISION
PLANS
SUB-0040-2024

3637 ALLEGHANY DR RALEIGH, NC 27609

DATE:	08-07-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24041

LOT 2 UNDERGROUND DETENTION DETAILS

