



Administrative Approval Action

Case File / Name: SUB-0040-2024

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The property is located at the curve of Alleghany Dr, specifically at 3637 Alleghany Dr, PIN 1705090166, and is zoned Residential 4 (R-4).

REQUEST: The applicant requests a conventional subdivision to divide the 1.29 acre parcel into two residential lots. Lot 1 will consist of approximately 0.53 acres (23,048 square feet) and Lot 2 will consist of approximately 0.72 acres (31,345 square feet).

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 12, 2024 by Annis Mangrum LLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A fee-in-lieu for 6' sidewalk is paid to the City of Raleigh (UDO 8.1.10).
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

9. A public infrastructure surety for (19) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

NOTES

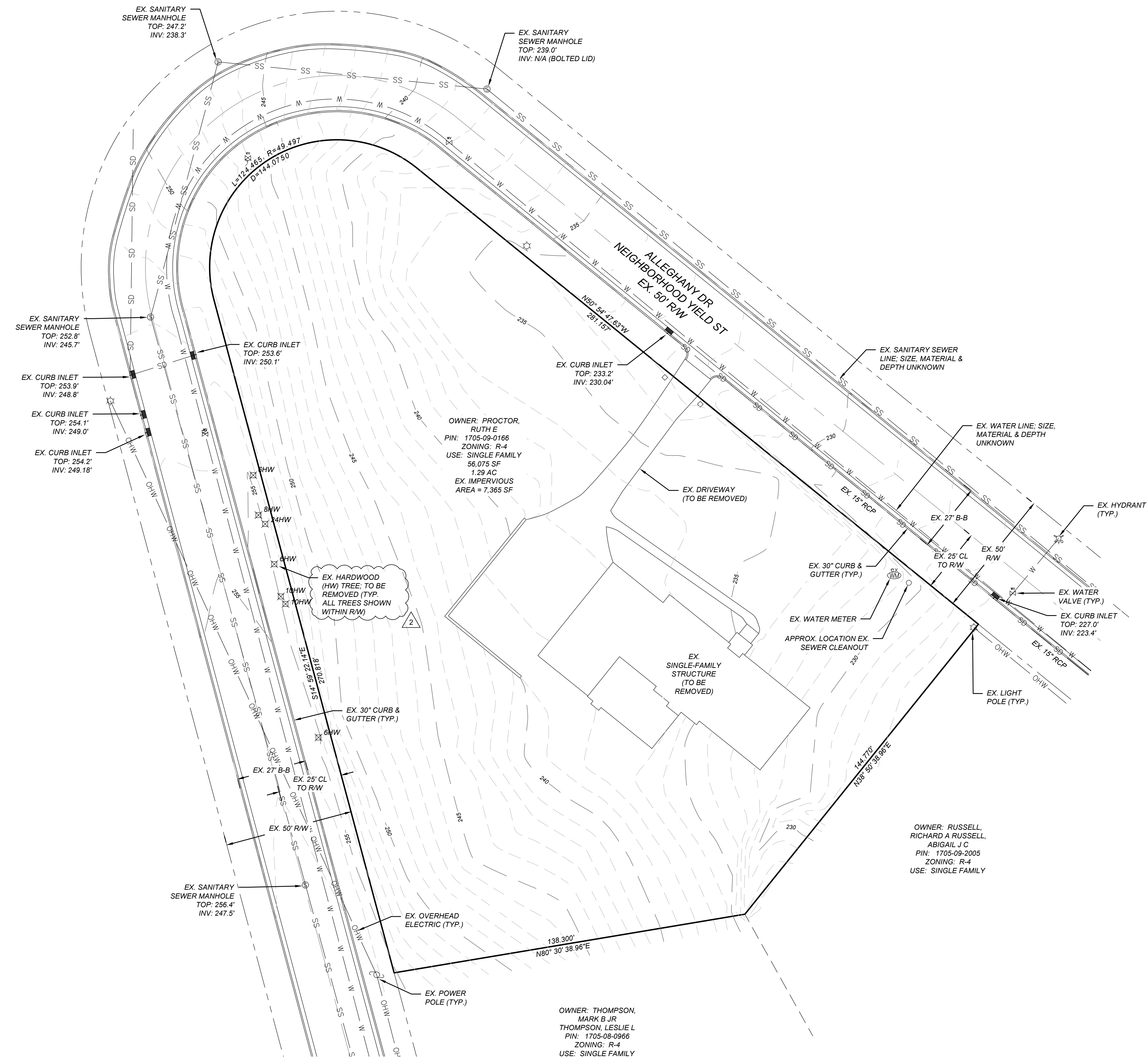
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY TURNING POINT SURVEYING PLLC.
- NO PORTION OF THIS SITE LIES WITHIN A FEMA DESIGNATED 100-YEAR FLOOD HAZARD AREA PER FIRM PANEL 3720170500K, DATED JULY 19, 2022.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

LEGEND

	EX. PROPERTY LINE
	EX. ADJACENT OWNERS
	EX. RIGHT-OF-WAY
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. OVERHEAD ELECTRIC LINE
	EX. MAJOR CONTOUR (10')
	EX. MINOR CONTOUR (2')

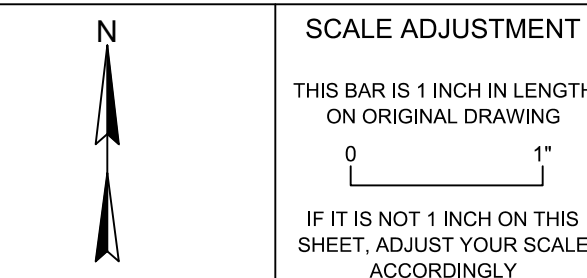
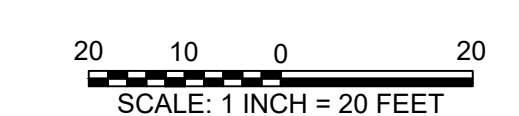
REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	COR COMMENTS	10/30/2024	FLM
2	COR COMMENTS	12/12/2024	FLM



ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION



PRELIMINARY SUBDIVISION PLANS
SUB-0040-2024
3637 ALLEGHANY DR
RALEIGH, NC 27609

DATE:	08-07-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24041

EXISTING CONDITIONS & DEMOLITION PLAN

C-2
SHEET 2 OF 6

LEGEND

---	EX. ADJACENT OWNERS
- - - -	EX. RIGHT-OF-WAY
— W — W —	EX. WATER LINE
— SS — SS —	EX. SANITARY SEWER
— SD — SD —	EX. STORM SEWER
— OHW — OHW —	EX. OVERHEAD ELECTRIC LINE
— 250 —	EX. MAJOR CONTOUR (10')
---	EX. MINOR CONTOUR (2')
=====	PROP. PROPERTY LINE
=====	PROP. LOT LINES
-----	PROP. EASEMENT

NOTES

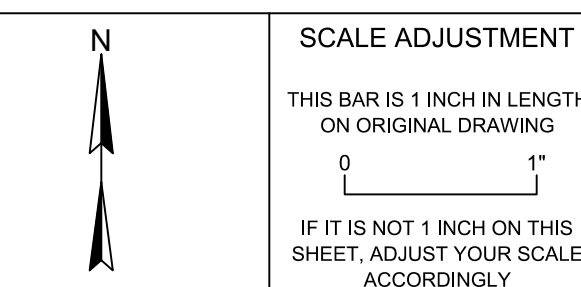
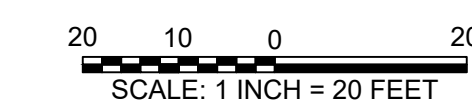
- ON EACH LOT, ROOF DRAINS SHALL BE PIPED TO PROP. INLET AND SITE SHALL BE GRADED SO THAT SURFACE RUNOFF WILL DRAIN TO PROP. INLET.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
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- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

REVISION HISTORY

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1	COR COMMENTS	10/30/2024	FLM
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PRELIMINARY SUBDIVISION PLANS
 SUB-0040-2024

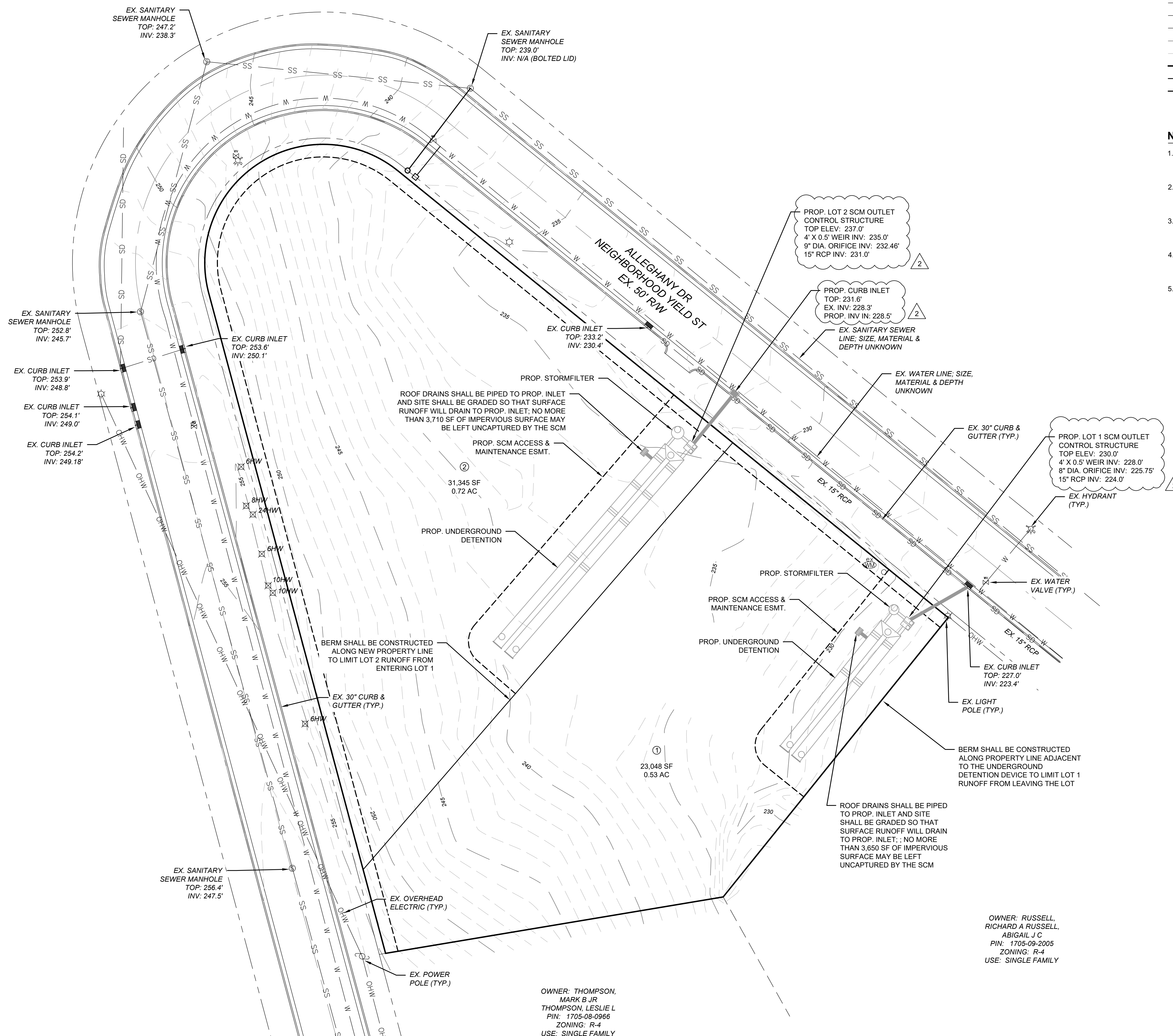
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GRADING PLAN

C-4

SHEET 4 OF 6



PROJECT SUMMARY

GENERAL NOTES:
 1. CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% FIBER.
 2. ALL REINFORCING SHALL BE EPOXY COATED UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 8. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS OF ALL WORK DONE.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES.

ASSEMBLY
SCALE: 1" = 12"

DY06235 3637 Alleghany Dr Subdivision
Lot 1 48" solid 90 LF - REV 1
Raleigh, NC
DETENTION SYSTEM

CMP DETENTION AND CMP DRAINAGE STANDARD BACKFILL SPECIFICATIONS

MATERIAL LOCATION	NATURAL SPECIFICATIONS	EXPLANATION	MINIMUM EMBANKMENT HEIGHT (FEET) FOR METAL FILL BACKFILL
FILL DEVELOPMENT METHOD	PER ENGINEER OF RECORD	THE EMBANKMENT SHALL BE PROTECTED BY A PROTECTIVE COVER WITH A MINIMUM HEIGHT OF 12" ABOVE THE FINISHED GRADE.	12"
FOUNDATION	AS PER E.O.R. OR PER ENGINEER OF RECORD	FOUNDATION MATERIALS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. FOUNDATION MATERIALS SHALL BE PROTECTED BY A PROTECTIVE COVER WITH A MINIMUM HEIGHT OF 12" ABOVE THE FINISHED GRADE.	12"
CRITICAL BACKFILL	AS PER E.O.R. OR PER ENGINEER OF RECORD	CRITICAL BACKFILL SHALL BE PROTECTED BY A PROTECTIVE COVER WITH A MINIMUM HEIGHT OF 12" ABOVE THE FINISHED GRADE.	12"
CONCRETE BACKFILL	AS PER E.O.R. OR PER ENGINEER OF RECORD	CONCRETE BACKFILL SHALL BE PROTECTED BY A PROTECTIVE COVER WITH A MINIMUM HEIGHT OF 12" ABOVE THE FINISHED GRADE.	12"
OPTIONAL SEE DETAIL	NONE	OPTIONAL SEE DETAIL FOR MORE INFORMATION.	

MANUFACTURER RECOMMENDED BACKFILL

CONTECH **CONTECH**
DYO6235 3637 Alleghany Dr Subdivision
Lot 1 48" solid 90 LF - REV 1
Raleigh, NC
DETENTION SYSTEM

CONSTRUCTION LOADING DIAGRAM

SCALE: N.T.S.

PIPE SPAN (INCHES)	AXLE LOADS (KIPS)
1440	8.0, 8.0, 8.0, 8.0
864	4.0, 4.0, 4.0, 4.0
432	2.0, 2.0, 2.0, 2.0

CONCRETE REINFORCING TABLE

COMP. REBAR	A	B	REINFORCING	BEARING PROVISIONS (PSF)
3"	8"	8"	#5 @ 12" O.C.	1,500
3"	8"	8"	#5 @ 12" O.C.	1,500
3"	8"	8"	#5 @ 12" O.C.	1,500
3"	8"	8"	#5 @ 12" O.C.	1,500
3"	8"	8"	#5 @ 12" O.C.	1,500
3"	8"	8"	#5 @ 12" O.C.	1,500
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DETENTION SYSTEM

CMP DETENTION INSTALLATION GUIDE

IN-SITU TRENCH WALL

FOUNDATION

BACKFILL PLACEMENT

CONSTRUCTION LOADING

ADDITIONAL CONSIDERATIONS

REINFORCEMENT BARRIERS

CONTECH **CONTECH**
DYO6235 3637 Alleghany Dr Subdivision
Lot 1 48" solid 90 LF - REV 1
Raleigh, NC
DETENTION SYSTEM

STORMFILTER DESIGN NOTES

SEE STORM DRAIN TABLES AND DETAILS FOR EOR FOR SITE SPECIFIC STORMFILTER.

PLAN VIEW

SECTION A-A

FRAME AND COVER

WATER QUALITY VOLUME ELEVATION (UPSTREAM DETENTION MAY BE GREATER THAN OR EQUAL TO PROJECT SPECIFIC ACTIVITY HEAD)

CONTECH **CONTECH**
SPFH48
POST DETENTION STORMFILTER
DETAIL

CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE

INSPECTION

MAINTENANCE

CONTECH **CONTECH**
DYO6235 3637 Alleghany Dr Subdivision
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SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

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SUB-0040-2024

3637 ALLEGHANY DR
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PROJECT NO.:	24041

LOT 1 UNDERGROUND
DETENTION DETAILS

PROJECT SUMMARY

GENERAL NOTES:

- CONCRETE: 4000 PSI
- APPROXIMATE WEIGHTS: 168 LF

DESIGN SUMMARY:

- DESIGN FLOW: 1.0 CFS
- DESIGN VELOCITY: 1.0 FPS
- DESIGN HEAD: 1.0 FT
- DESIGN TEMPERATURE: 60°F

DETAILS:

- CONCRETE: 4000 PSI
- REINFORCEMENT: #4 @ 12" O.C.
- MINIMUM COVER: 2" (TOP), 1" (BOTTOM)
- MINIMUM JOINT SPACING: 12"

ASSEMBLY
 SCALE: 1" = 12"

DY062238 3637 Alleghany Dr Subdivision
 Lot 2 48' solid 168 LF-REV 1
 Raleigh, NC
 DETENTION SYSTEM

TABLE 1: MINIMUM COVER PROFILES

DIAMETER (D)	MIN. COVER	COVER PROFILE
30"	12"	12" x 12" x 12"
48"	18"	18" x 18" x 18"
60"	24"	24" x 24" x 24"

REINFORCING TABLE

DIAMETER (D)	REINFORCING	REINFORCING	REINFORCING	REINFORCING
30"	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
48"	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
60"	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.

CONSTRUCTION LOADING

CONSTRUCTION LOADING SHALL BE APPLIED TO THE DETENTION SYSTEM AS SHOWN IN THE CONSTRUCTION LOADING DIAGRAM. THE CONTRACTOR SHALL PROVIDE THE ADDITIONAL CONSTRUCTION LOADING TO THE DETENTION SYSTEM AS SHOWN IN THE CONSTRUCTION LOADING DIAGRAM.

CONSTRUCTION LOADING DIAGRAM
 SCALE: 1" = 12"

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STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS BASED ON THE DESIGN FLOW AND THE NUMBER OF STORMFILTERS. THE CONTRACTOR SHALL PROVIDE THE ADDITIONAL CONSTRUCTION LOADING TO THE DETENTION SYSTEM AS SHOWN IN THE CONSTRUCTION LOADING DIAGRAM.

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SCALE ADJUSTMENT

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LOT 2 UNDERGROUND DETENTION DETAILS