

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION	
Scoping/sketch plan case number(s): SUB-0004-2023 (Withdrawn)	
Development name (subject to approval): 1308 Kimberly Dr. & 5001 Coronado Dr. Subdivision	
Property Address(es): 1308 Kimberly Dr. & 5001 Coronado Dr.	
Recorded Deed PIN(s): 1717337989 & 1706123914	
Building type(s):	<input checked="" type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment
<input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House	

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: JAMES E ALLEN LLC	
Company: JAMES E ALLEN LLC	Title: PROPERTY OWNER
Address: 5000 FALLS OF NEUSE RD STE 100 RALEIGH NC 27609-5480	
Phone #: (919) 845-9909	Email: C/O philip@jimallen.com
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: Philip Bowman	
Company: Jim Allen Group Coldwell Banker HPW	Title: Market Manager, Broker, Realtor
Address: 5000 FALLS OF NEUSE RD STE 100 RALEIGH NC 27609-5480	
Phone #: (919) 274-7997	Email: philip@jimallen.com

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage: 0.726 acres			
Zoning districts (if more than one, provide acreage of each): R-4			
Overlay district(s):	Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-		Design Alternate Case # DA-

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) <u>7,500 +/-</u> Proposed total (sf) <u>9,573</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) <u>7,500 +/-</u> Proposed total (sf) <u>11,673</u>
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NUMBER OF LOTS AND DENSITY

# of Detached House Lots: 3	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots: 3	Total # Dwelling Units: 3	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F): 4.13		

APPLICANT SIGNATURE BLOCK


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 7/10/2024
Printed Name: JAMES E. ALLEN, JR.	
Signature:	Date:
Printed Name:	

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

SYMBOLS AND ABBREVIATIONS

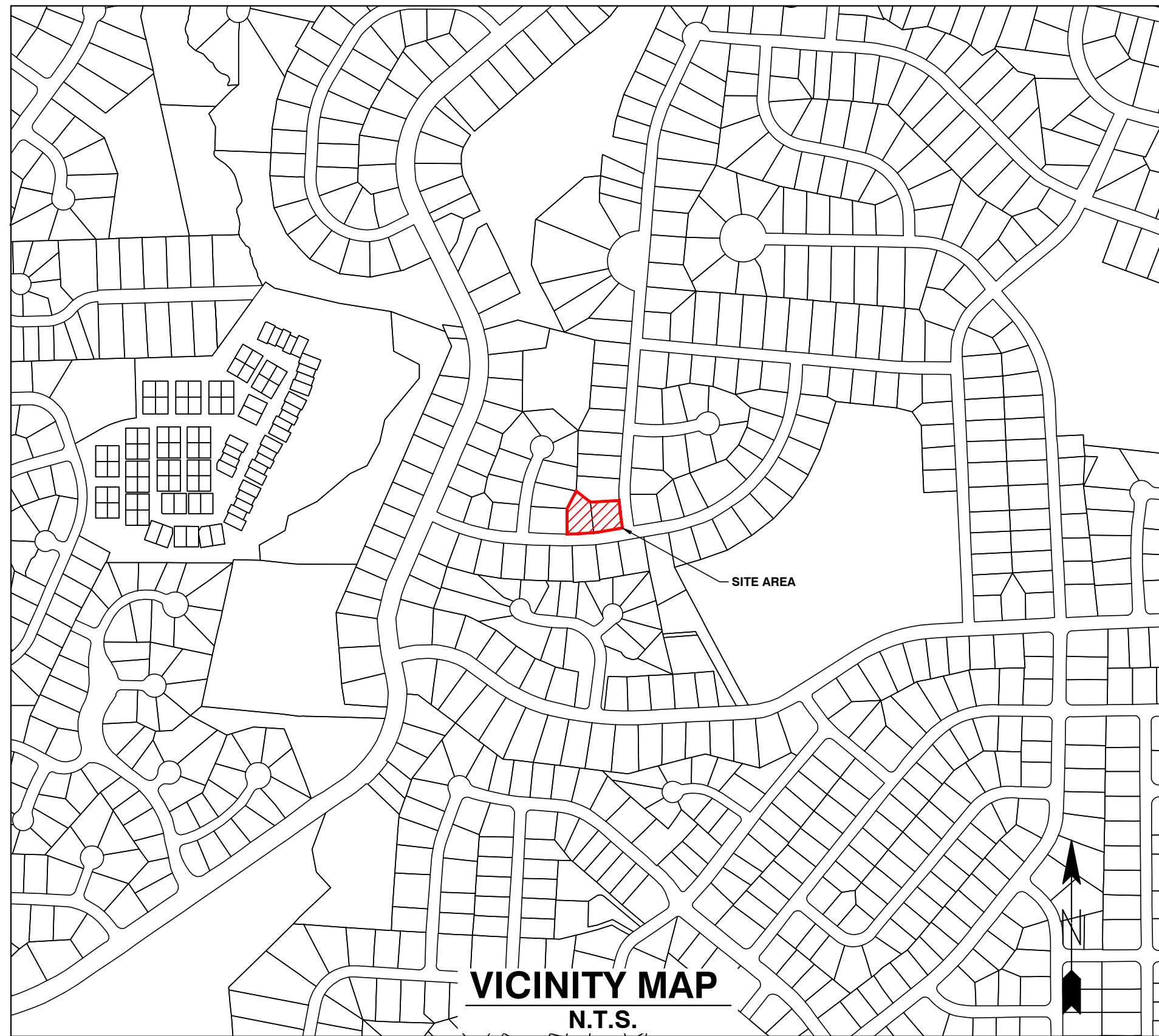
ABC	AGGREGATE BASE COURSE		EXISTING CURB INLET
ALUM	ALUMINUM		EXISTING GRATE INLET/YARD INLET
AST2	ALUMINIZED STEEL - TYPE 2		EXISTING FLARED END SECTION
B-B	BACK TO BACK		EXISTING FIRE HYDRANT
BOA	BLOW-OFF ASSEMBLY		EXISTING BLOW-OFF ASSEMBLY
C&G	CURB AND GUTTER		EXISTING GATE VALVE
CFS	CUBIC FEET PER SECOND		EXISTING REDUCER
CI	CURB INLET		EXISTING WATER METER
CL	CENTER LINE		EXISTING SAN SEWER MANHOLE
CMP	CORRUGATED METAL PIPE		EXISTING CLEAN OUT
CO	CLEAN OUT		EXISTING POWER POLE
COM	COMMUNICATION		EXISTING TELEPHONE PEDESTAL
CONC	CONCRETE		EXISTING AREA LIGHT
DCV	DOUBLE CHECK VALVE		EXISTING SIGN
DDCV	DOUBLE DETECTOR CHECK VALVE		NEW CURB INLET
DI	DROP INLET		NEW GRATE INLET/YARD INLET
DIP	DUCTILE IRON PIPE		NEW FLARED END SECTION
EASE	EASEMENT		NEW FIRE HYDRANT
ELEC	ELECTRIC		NEW BLOW-OFF ASSEMBLY
EX	EXISTING		NEW GATE VALVE
FES	FLARED END SECTION		NEW REDUCER
FH	FIRE HYDRANT		NEW WATER METER
FM	FORCE MAIN		NEW TEE
FT	FEET		NEW PLUG
FT/SEC	FEET PER SEC		NEW MANHOLE
GALV	GALVANIZED		NEW CLEAN OUT
GV	GATE VALVE		NEW SIGN
HDPE	HIGH DENSITY POLYETHYLENE		IRON PIPE
L	LENGTH		BENCHMARK
LF	LINEAR FEET		TEMP SILT FENCE
MH	MANHOLE		TEMP TREE PROTECTION FENCE
PAVE	PAVEMENT		TEMP COMBINATION SILT/TREE PROTECTION FENCE
PE	FINISHED PAD ELEVATION		TEMP DIVERSION DITCH
PP	POWER POLE		DISTURBED LIMITS
PVC	POLYVINYL CHLORIDE		STREAM
R	RADIUS		EXISTING GAS LINE
R/W	RIGHT-OF-WAY		EXISTING COMMUNICATIONS LINE
RED	REDUCER		EXISTING UNDERGROUND TELEPHONE
RCP	REINFORCED CONCRETE PIPE		EXISTING UNDERGROUND ELECTRIC
RPZ	REDUCED PRESSURE ZONE		EXISTING OVERHEAD ELECTRIC
SS	SANITARY SEWER		EXISTING WATER LINE
STA	STATION		EXISTING SANITARY SEWER FORCE MAIN
TDD	TEMPORARY DIVERSION DITCH		EXISTING SANITARY SEWER
TELE	TELEPHONE		EXISTING STORM DRAINAGE
TSB	TEMPORARY SEDIMENT BASIN		NEW STORM DRAINAGE
UG	UNDERGROUND		NEW WATER LINE
WCR	WHEELCHAIR RAMP		NEW SANITARY SEWER
W/L	WATER LINE		NEW SANITARY SEWER FORCE MAIN
WM	WATER METER		NEW GAS MAIN
YI	YARD INLET		HANDICAPPED ACCESSIBLE ROUTE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH AND NCDOT

1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE 1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

PRELIMINARY SUBDIVISION PLANS CITY OF RALEIGH PROJECT: SUB - xxxx - 2024



SHEET INDEX

COVER	
CO.1	EXISTING CONDITIONS PLAN
CO.2	DEMOLITION PLAN
C1.1	PRELIMINARY SUBDIVISION PLAN
C2.1	PRELIMINARY UTILITY PLAN
C3.1	PRELIMINARY GRADING PLAN
L1.1	PRELIMINARY LANDSCAPE PLAN

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DEVELOPMENT OPTIONS (UDO Chapter 2)

Conventional Subdivision Concession Development Conservation Development

Cottage Court Flag lot Project Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Stoching/Match plan case number(s): SUB-2024-0223 (Without Award)

Development name (subject to approval): 1308 Kimberly Dr. & 5001 Coronado Dr. Subdivision

Property Address(es): 1308 Kimberly Dr. & 5001 Coronado Dr.

Recorded Deed PIN(s): 17123737809 & 1708123814

Building Type(s)

Detached House Attached House Townhouse Apartment

General Building Mixed Use Building Civic Building Open Lot Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Name(s): JAMES E ALLEN LLC Title: PROPERTY OWNER

Company: JAMES E ALLEN LLC Title: PROPERTY OWNER

Address: 5000 FALLS OF NEUSE RD STE 100 RALEIGH NC 27609-5480

Phone #: (919) 274-7997 Email: philip@jimallen.com

Applicant Name (if different from owner, see "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: Address: Title: Market Manager, Broker, Realtor

Address: 5000 FALLS OF NEUSE RD STE 100 RALEIGH NC 27609-5480

Phone #: (919) 274-7997 Email: philip@jimallen.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Name(s): Philip Blevins

Company: Jim Allen Group Contract Broker HWY Title: Market Manager, Broker, Realtor

Address: 5000 FALLS OF NEUSE RD STE 100 RALEIGH NC 27609-5480

Phone #: (919) 274-7997 Email: philip@jimallen.com

DEVELOPMENT TYPE - SITE DATA TABLE - ZONING INFORMATION

Gross site acreage: 0.758 acres

Zoning districts (if more than one, provide acreage of each): R-4

Overlay district(s): Inside City Limits? Yes No Historic District, landmark: N/A

Conditional Use District (CUD): Board of Adjustment Case # Design Alternate Case # CUD:

STORMWATER INFORMATION

Impervious Area on Parcel(s): Impervious Area for Compliance (includes right-of-way's) Existing (sq. ft.): Proposed (sq. ft.):

NUMBER OF LOTS AND DENSITY

of Detached House Lots: # of Attached House Lots: # of Townhouse Lots:

of Tiny House Lots: # of Other Use (Apartment, Garage, Mixed Use, Club):

Total # of Lots: 3 Total # of Dwelling Units: 3

of bedroom units (if houses): 3br 2br 4br

Proposed density for each zoning district (UDO 10.2.2.F) 4.13

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-40(b)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for each development as is authorized by the assessment.

Acting as an authorized agent requires written permission from the property owner for the purpose of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-40(b)) to make this application, as specified in the application. The undersigned person acknowledges the information and information required by the City for a permit application are correct and the undersigned understands that development approvals are subject to notification of these statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-40(b).

The undersigned indicates that the property owner(s) is aware of the application and that the proposed project described in the application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 163-755(f)), if this permit application is denied on trial or the applicant is denied a permit for any consecutive month or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a permit or an corrective measure or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Philip Blevins* Date: 7/10/2024

Signature: *James E. Allen, Jr.* Date:

Printed Name:

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE MUNICIPALITY STANDARDS, SPECIFICATIONS, AND DETAILS. WORK IN THIS PROJECT SHALL ALSO CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, THE FINAL GEOTECHNICAL REPORT, AND GENERAL DESIGN STANDARDS. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR TRENCH SAFETY DURING ALL PHASES OF CONSTRUCTION.
- THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE, AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (1-800-632-4949 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISTERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- TRAFFIC CONTROL ON PUBLIC STREETS SHALL BE IN CONFORMANCE WITH THE TRAFFIC CONTROL PLAN, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND AS FURTHER DIRECTED BY CITY AND STATE INSPECTORS.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH THE CITY ENGINEERING DIVISION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE SILT FENCES (OR OTHER METHODS APPROVED BY THE ENGINEER AND APPLICABLE MUNICIPALITY) AS REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SITUATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DETERMINED FILL OR BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AS SET OUT IN ASTM STANDARD D998. STONE BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST AS SET OUT IN ASTM STANDARD D1557. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A CERTIFIED MATERIALS TESTING LABORATORY AND THE CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REPRESENTING THE LABORATORY.
- PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES/SUPERELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- THE CONTRACTOR SHALL REVIEW, VERIFY AND COORDINATE ALL DIMENSIONS SHOWN ON PLANS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER PRIOR TO STARTING PROJECT.
- ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE "NORTH CAROLINA STATE BUILDING CODE, VOL. 1-C ACCESSIBILITY CODE.
- OWNER SHALL PROVIDE FENCING AND OTHER SAFETY MEASURES NECESSARY IN AND AROUND ANY PROPOSED STORMWATER MANAGEMENT MEASURES (PONDS, WETLANDS, ETC.) OBTAINING PROPER PERMITS SHALL BE THE RESPONSIBILITY OF THE OWNER.
- RETAINING WALLS EXCEEDING 30 INCHES IN HEIGHT SHALL INCLUDE FALL PROTECTION IN THE FORM OF A HANDRAIL OR FENCING ON THE HIGH SIDE OF THE RETAINING WALL.
- PROPER COMPACTION OF ALL FILL SOILS PLACED ON SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COMPACTION SHALL BE ADEQUATE TO SUPPORT THE PROPOSED USE OF AREAS IN WHICH FILL SOILS ARE PLACED. THE CONTRACTOR SHALL HIRE A GEOTECHNICAL ENGINEER TO TEST AND VERIFY THAT COMPACTION IS ADEQUATE FOR THE PROPOSED USE OF IN THE AREA OF FILL PLACEMENT.
- ALL ASPECTS OF THIS PROJECT SHALL BE IN FULL COMPLIANCE WITH CURRENT ADA STANDARDS. IF THE CONTRACTOR NOTES ANY ASPECTS OF THE PROJECT WHICH ARE NOT IN COMPLIANCE, THE ENGINEER SHALL BE NOTIFIED PRIOR TO ANY FURTHER WORK BEING PERFORMED. ANY WORK PERFORMED AFTER THE CONTRACTOR NOTES SUCH A NON COMPLIANCE IS SUBJECT TO REMOVAL AND REPAIR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR OR OWNER SHALL EMPLOY A GEOTECHNICAL ENGINEER TO TEST ALL EMBANKMENTS AND FILL PLACEMENT FOR PROPER COMPACTION. PROPER COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR THESE PLANS, WHICHEVER IS MORE STRINGENT. EMBANKMENTS FOR PONDS SHALL BE PLACED IN 6 INCH LOOSE LAYERS AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF +/- OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D998. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS OF THE OUTLET STRUCTURE AT ALL AT ALL PHASES OF INSTALLATION AND SHALL RETAIN WITH GEOTECHNICAL TESTING DATA. THE CONTRACTOR SHALL ALSO RETAIN ALL SHIPPING RECORDS AND SPECIFICATIONS FOR THE OUTLET STRUCTURE, MATERIALS AND STRUCTURES. ALL OF THE ABOVE DATA MAY BE REQUIRED AS PART OF THE MUNICIPALITY AS-BUILT PROCESS AND SHALL BE MADE AVAILABLE TO THE ENGINEER UPON REQUEST. THE CONTRACTOR AND OWNER SHALL HAVE DOCUMENTATION OF THESE TESTS AVAILABLE UPON REQUEST.
- RETAINING WALLS SHOWN HEREIN SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL ENGINEER WITH EXPERIENCE DESIGNING RETAINING WALLS. AT LEAST 14 DAYS PRIOR TO BEGINNING CONSTRUCTION OF RETAINING WALLS, THE CONTRACTOR SHALL CONTACT THE OWNER'S GEOTECHNICAL ENGINEER TO SCHEDULE AND COORDINATE ALL APPROPRIATE INSPECTIONS, TESTING, AND VERIFICATION NECESSARY DURING RETAINING WALL CONSTRUCTION. THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTION, TESTING AND VERIFICATION FOR THE DURATION OF RETAINING WALL CONSTRUCTION. PROPER SCHEDULING, EXECUTION, AND RECORD KEEPING FOR ALL REQUIRED INSPECTIONS, TESTING, AND VERIFICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RECORDS SHALL BE RETAINED AND SHALL BE PROVIDED TO THE OWNER AND BASS, NIXON & KENNEDY, INC. ALL MONITORING, TESTING, AND VERIFICATION SHALL CONFORM TO THE MOST RECENT VERSION OF THE NC BUILDING CODE CHAPTER 18, SECTION 1808 OR THE WALL DESIGN ENGINEER'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.



ENGINEER:

BNK
BASS | NIXON | KENNEDY
CONSULTING ENGINEERS

6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607

TELEPHONE: (919) 851-4422

FAX: (919) 851-8968

CERTIFICATION NUMBERS: NCBELS (C-0110)
NCBOLA (C-0267)

CONTACT: DAVID BLEVINS, PE
EMAIL: David.Blevins@BNKinc.com

NOTES:

- BOUNDARY SURVEY INFORMATION FROM BARRY L. SCOTT LAND SURVEYING, RALEIGH N.C.
- TOPOGRAPHIC INFORMATION FROM CITY OF RALEIGH GIS.



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 851-3432 FAX: (919) 851-8986
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

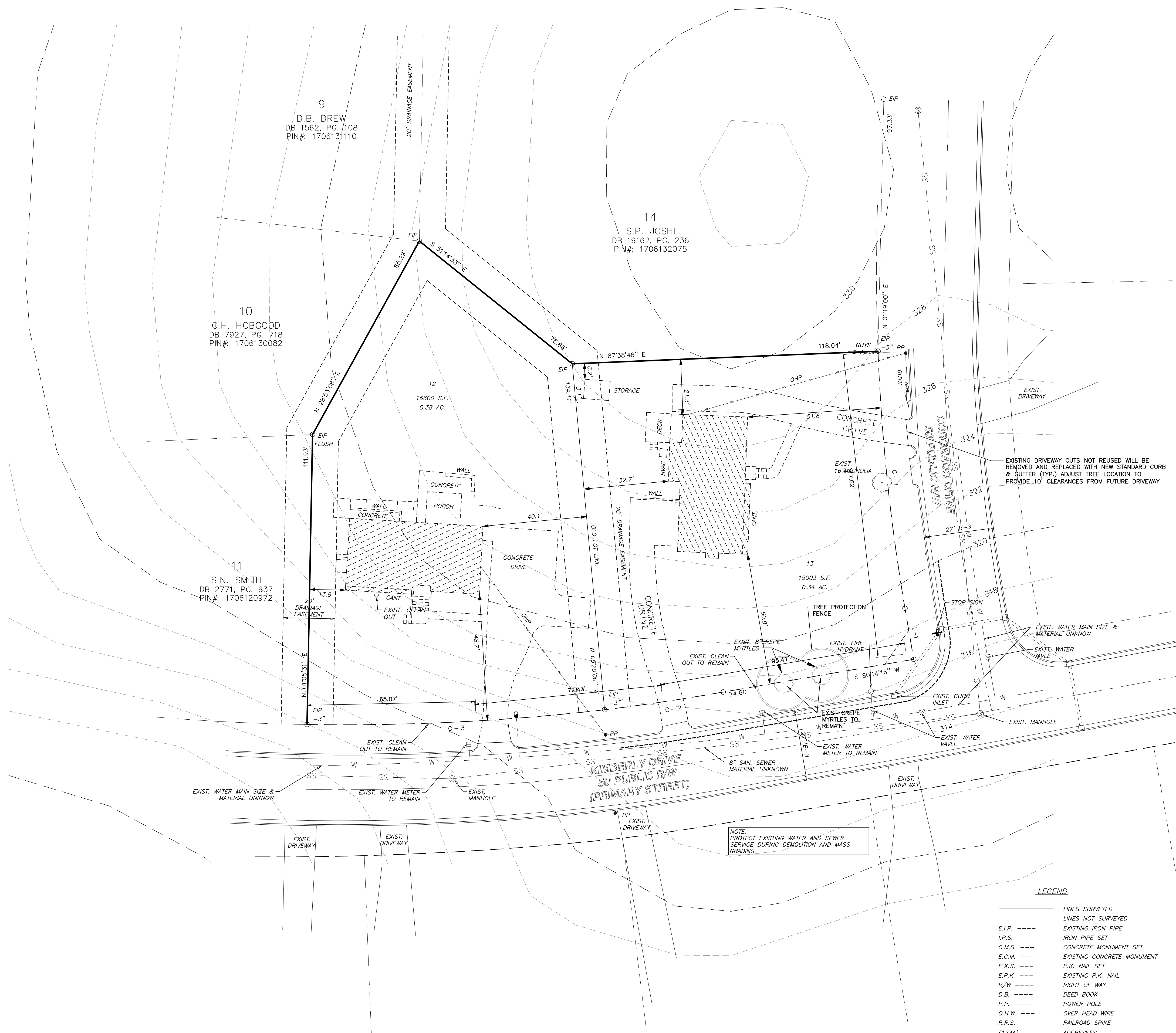
NO.	DATE	DESCRIPTION	BY

03-24085 PROGRESS MRN DRAWN BY
 JOB NO. DATE DATE DATE
EXISTING CONDITIONS
PLAN
 SCALE: 1" = 20'
 CHK BY: DHB

**1308 KIMBERLY DRIVE &
 5001 CORONADO DRIVE**
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE

SHEET
C0.1

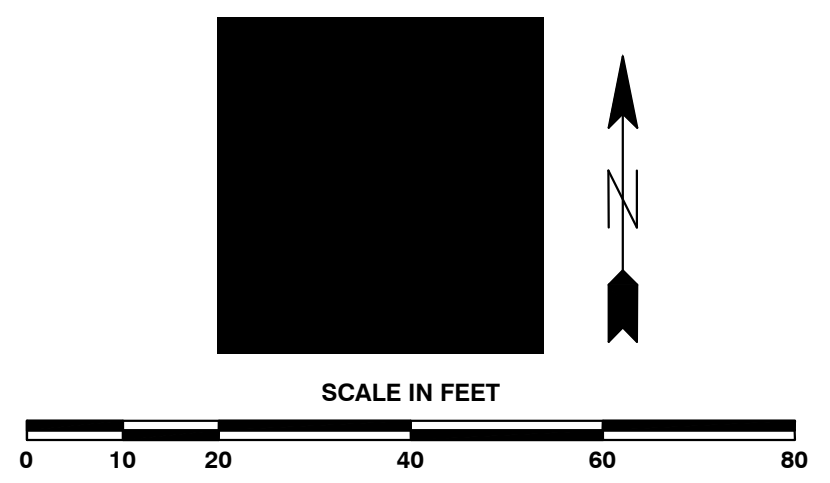
NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



- LEGEND**
- LINES SURVEYED
 - - - LINES NOT SURVEYED
 - E.I.P. --- EXISTING IRON PIPE
 - I.P.S. --- IRON PIPE SET
 - C.M.S. --- CONCRETE MONUMENT SET
 - E.C.M. --- EXISTING CONCRETE MONUMENT
 - P.K.S. --- P.K. NAIL SET
 - E.P.K. --- EXISTING P.K. NAIL
 - R/W --- RIGHT OF WAY
 - D.B. --- DEED BOOK
 - P.P. --- POWER POLE
 - O.H.W. --- OVER HEAD WIRE
 - R.R.S. --- RAILROAD SPIKE
 - (1234) --- ADDRESSES

WETLANDS EXIST ON-SITE
NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH AND NCDOT



NOTES:

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- TOPOGRAPHIC INFORMATION FROM CITY OF RALEIGH GIS.



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 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 851-3432 FAX: (919) 851-8986
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

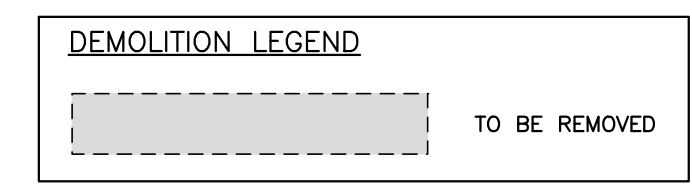
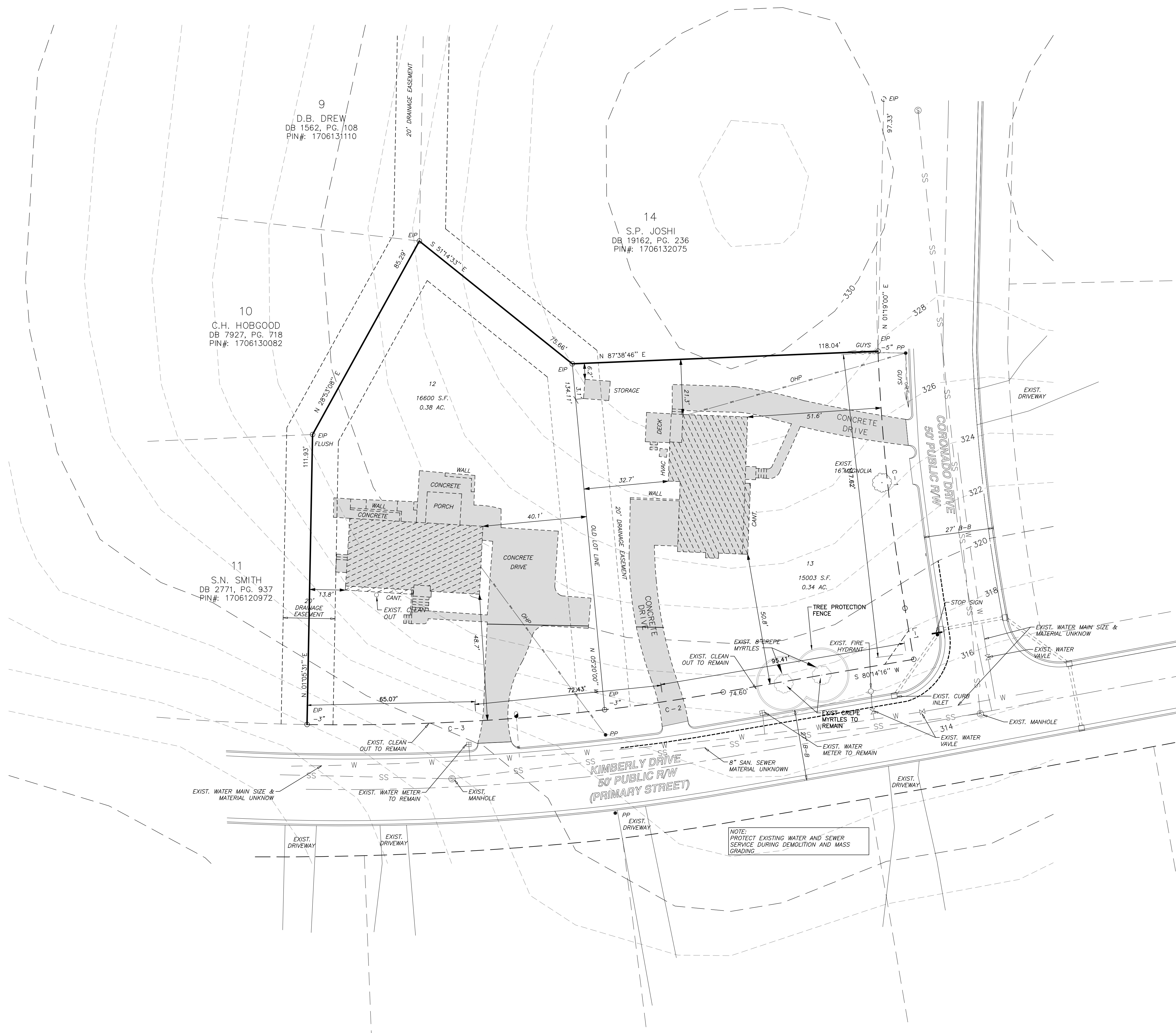
NO.	DATE	DESCRIPTION	BY

03-24085 PROGRESS MRM
 JOB NO. DATE DRAWN BY
DEMOLITION PLAN
 SCALE: 1" = 20'
 CHK BY: DHB

**1308 KIMBERLY DRIVE &
 5001 CORONADO DRIVE**
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE

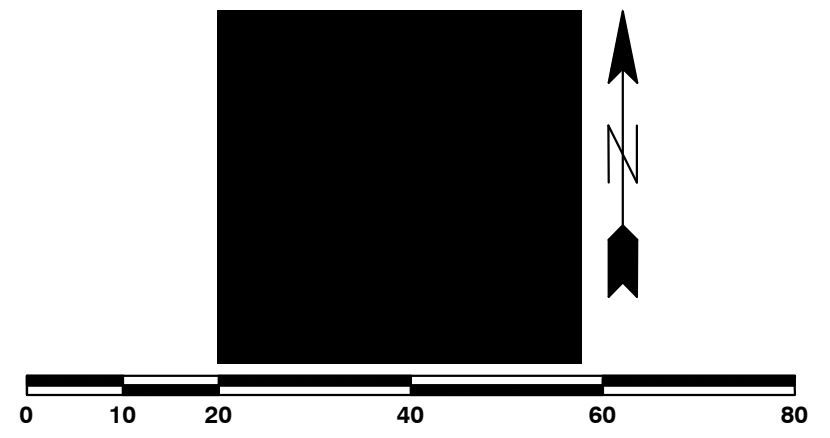
SHEET
C0.2

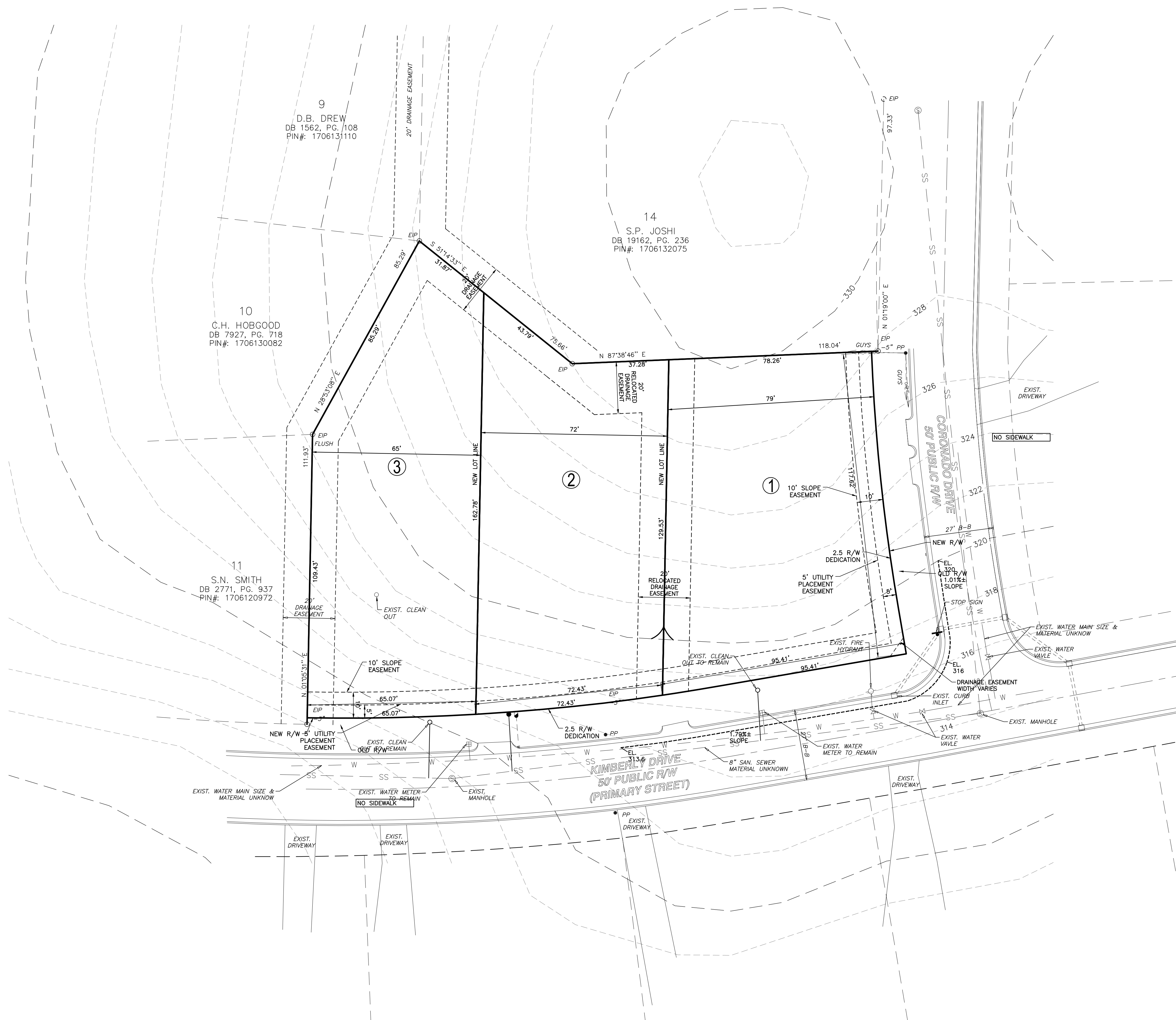
NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



WETLANDS EXIST ON-SITE
 NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH AND NCDOT





- NOTES:**
- BOUNDARY SURVEY INFORMATION FROM BARRY L. SCOTT LAND SURVEYING, RALEIGH, NC. TOPOGRAPHIC INFORMATION TAKEN FROM CITY OF RALEIGH GIS.
 - EXISTING RESIDENCES WILL BE REMOVED.
 - THIS LOT MAY BE SUBJECT TO UDD SECTION 2.2.7 INFILL RULES. INFILL WILL BE DETERMINED AND REVIEWED AT PERMITTING.
 - PER SECTION 9.2.2.2.2.b.1 SUBJECT TO 4.a. OF PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACES.
 - PER UDD SECTION 9.1.2 SUBDIVISION IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS.
 - FEE-IN-LIEU PAYMENT REQUIRED FOR 6-FOOT SIDEWALK FOR KIMBERLY DRIVE AND CORONADO DRIVE FRONTAGE.
 - ALL CONSTRUCTION AND MATERIALS IN STREET RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CITY OF RALEIGH STANDARDS.
 - IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO BUILDING PERMITS.

TRANSPORTATION NOTES:

RIGHT OF WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR STREET INTERSECTIONS, RIGHT OF WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.

MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY AND NO DRIVEWAYS OR PARKING SPACES SHALL ENCRUSH ON THE MINIMUM CORNER CLEARANCE. DRIVEWAY TURNOUTS ON THE CORNER LOTS WILL BE REQUIRED TO BE A MINIMUM OF 20' FROM THE TERMINUS OF THE INTERSECTION RADIUS AND NO CLOSER THAN 3.5' FROM AN ADJACENT PROPERTY LINE.

NO SIGHT OBSTRUCTING, OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, SIGN, PARKED VEHICLE, OR OTHER OBJECT BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION (OR THE EDGE OF PAVEMENT IF NO CURB EXISTS) SHALL BE PLACED WITHIN A SIGHT TRIANGLE.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

Impervious Surface Summary

Allowable Impervious Surface Coverage R-4 Zoning = 38%

Gross Site Area = 31,603 Sq. ft.
 R/W Dedication = 882.75 Sq. ft.
 Net Site Area = 30,720.25 Sq. ft.

Required Right of Way Improvement Impervious
 Fee in Lieu Sidewalk Kimberley Drive (6 foot) = 1,392 Sq. ft.
 Fee in Lieu Sidewalk Coronado Drive (6 foot) = 708 Sq. ft.
 Total Right of Way Improvements Impervious = 2,100 Sq. ft.

Max. Impervious for Subdivision (no R/W Improvements) = 30,720 Sq. ft. x 0.38 = 11,673 Sq. ft.

Allowable Lot Impervious = 11,673 Sq. ft. - 2,100 Sq. ft. = 9,573 Sq. ft.

Proposed Impervious Surface

Lot	Area (Sq. Ft.)	Allowable Impervious @38% (Sq. Ft.)	Right of Way Improvement Impervious (Sq. Ft.)	Maximum Lot Impervious (Sq. Ft.)
Lot 1	10,500	3,990	1,278	2,712
Lot 2	10,007	3,803	432	3,371
Lot 3	10,212	3,880	390	3,490

Total Proposed Lot Impervious: 11,673 sq. ft.

Site Data

Owner / Developer: James E Allen LLC
 5000 Falls of Neuse Rd. Ste 100
 Raleigh NC 27609-5480
 Contact: Philip Bowman
 919-274-7997
 philip@jmallen.com

Street Address 1308 Kimberley Drive
 5001 Coronado Drive
 (inside City limits)
 PIN 1706 12 3914
 1706 12 1993

Gross Area	31,603 sq. ft.	0.72 acre
Right of Way Dedication	Kimberly Drive 581 sq. ft. Coronado Drive 302 sq. ft. Total 883 sq. ft.	0.0133 acre 0.0069 acre 0.0203 acre
Net Area	30,720 sq. ft.	0.70 acre
Zoning	R-4	
Existing Land Use	Single Family Residential	
Proposed Use	3 Single Family Detached Residential Dwellings (One Phase)	
Proposed Number of Livable Units	3	
Open Space	No	

Lot Summary

Lot	1	2	3
Min. Area Required	10,000 sq. ft.	10,000 sq. ft.	10,000 sq. ft.
Area Provided	10,500 sq. ft.	10,008 sq. ft.	10,212 sq. ft.
Min. Lot Width Required	65 ft.	65 ft.	65 ft.
Lot Width Provided	79 ft.	72 ft.	65 ft.
Min. Lot Depth Required	100 ft.	100 ft.	100 ft.
Lot Depth Provided	118 ft.	129 ft.	109 ft.



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BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 950, RALEIGH, NC 27607
 TELEPHONE: (919) 851-4422 FAX: (919) 851-8986
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

03-24085 PRELIMINARY SUBDIVISION PLAN
 DRAWN BY: [blank]
 CHECK BY: DHB
 SCALE: 1" = 20'

1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE
 1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

SHEET C1.1

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

Notes:

1. Boundary survey information from Barry I. Scott Land Surveying, Raleigh, NC. Topographic information taken from City of Raleigh GIS.
2. Existing residences will be removed.
3. Existing water and sewer services will be reused or abandoned as required by City of Raleigh Public Utility Manual.
4. Contractor shall locate all existing utilities prior to construction.
5. All construction and materials in street right of way shall be in compliance with City of Raleigh Standards.



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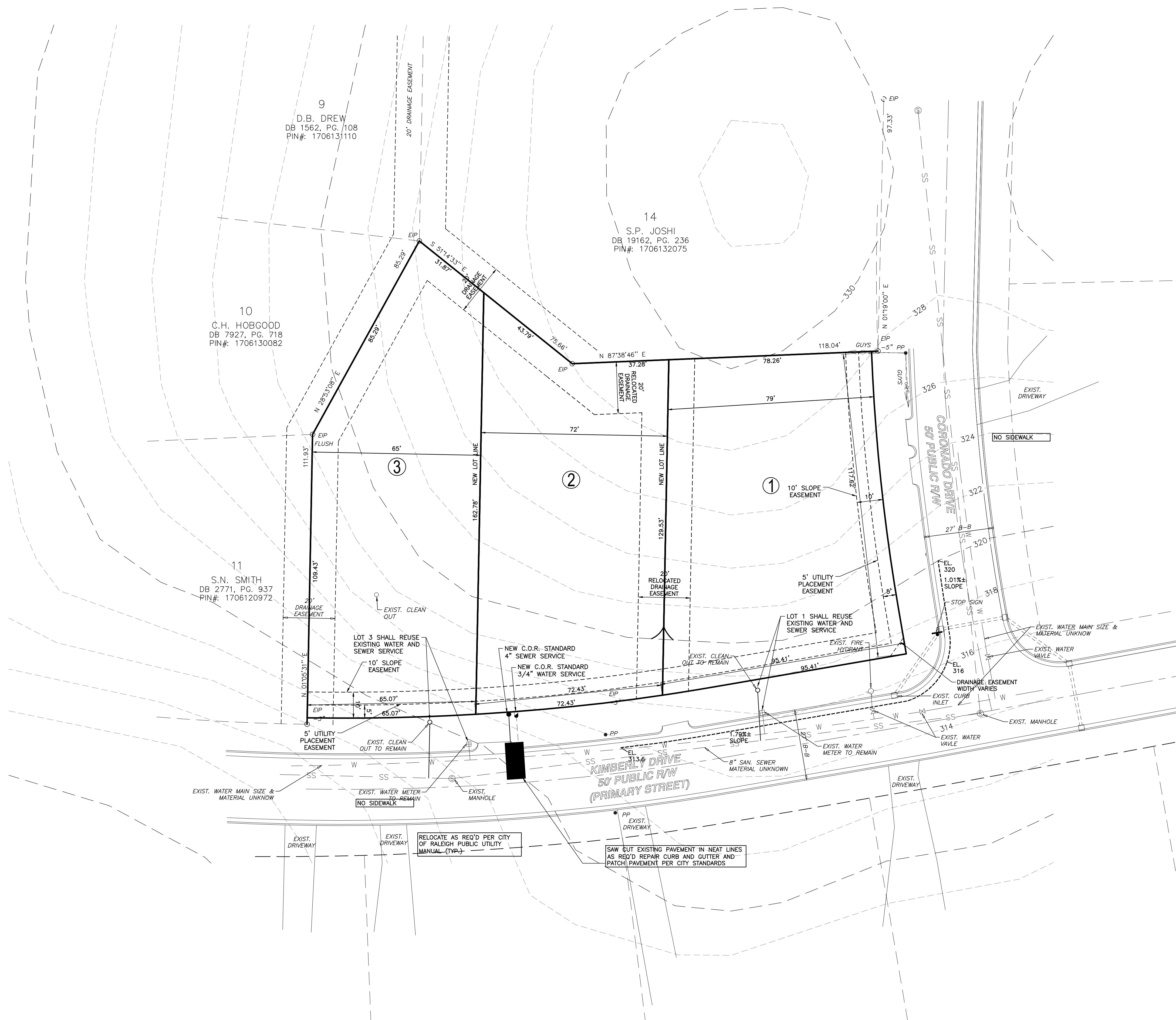
NO.	DATE	DESCRIPTION	BY

03-24085	PROGRESS	MRM	
JOB NO.	DATE	DRAWN BY	
PRELIMINARY		UTILITY PLAN	
SCALE: 1" = 20'	CHK BY: DHB		

1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE

SHEET
C2.1

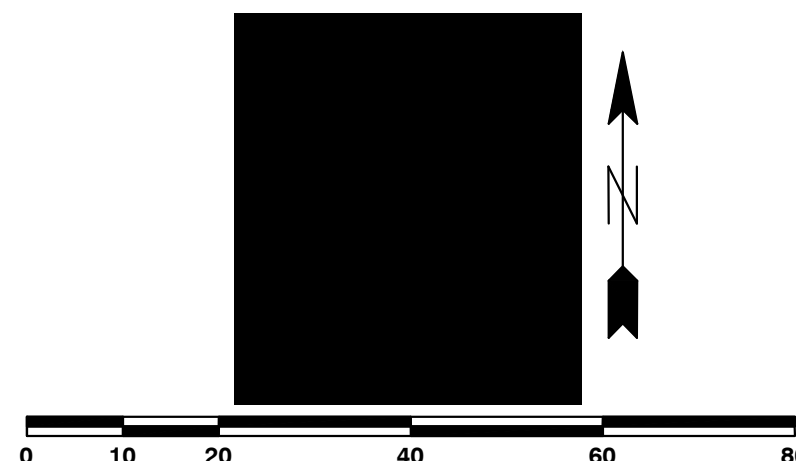
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WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

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NOTES:

1. BOUNDARY SURVEY INFORMATION FROM BARRY L. SCOTT LAND SURVEYING, RALEIGH N.C.
2. TOPOGRAPHIC INFORMATION FROM CITY OF RALEIGH GIS.
3. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. ALL CONSTRUCTION AND EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH CITY OF RALEIGH CODE OF ORDINANCES AND CITY STANDARDS.

THERE ARE NO FLOOD HAZARD SOILS ON THE SUBJECT PROPERTY

THERE ARE NO NEUSE RIPARIAN BUFFERS ON THE SUBJECT PROPERTY

THERE ARE NO FEMA MAPPED AREAS ON THE SUBJECT PROPERTY



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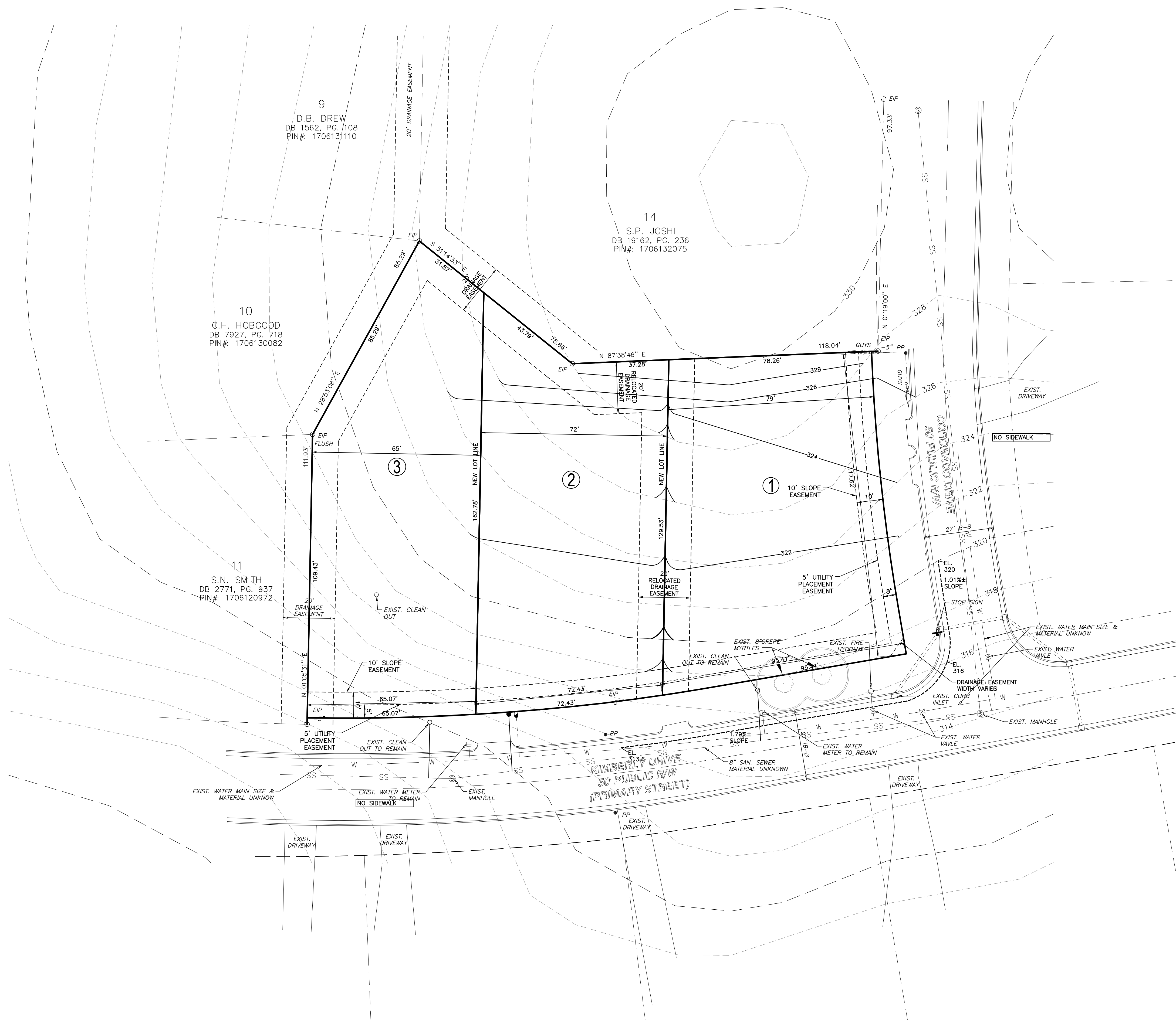
NO.	DATE	DESCRIPTION	BY

03-24085	PROGRESS	MRM	
JOB NO.	DATE	DRAWN BY	
PRELIMINARY GRADING PLAN			CHK BY: DHB
SCALE: 1" = 20'			

1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
1308 KIMBERLY DRIVE & 5001 CORONADO DRIVE

SHEET **C3.1**

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