

#### Administrative Approval Action

Case File / Name: SUB-0045-2019 Lots 5, 6, & 7 Cartier Subdivision

LOCATION: This site is located on the north side of Wayland Drive, west of Gordon Street at 2800 and 2802 Wayland Dr and 2811 Gordon St (PIN#1705-00-2869; 1705-00-2824 & 1705-00-1819). REQUEST: Development of a 0.68 acre/29,827 sf tract zoned R-6 with .05ac/2,214 sf of right-of-way dedication for a net area of .63 ac/27,613 sf. An existing 3 detached single-family residential lots being recombined and subdivided, adding 1 additional residential lot, for a proposed 4 single-family detached residential lot subdivision. Existing Lot 5 being .14ac/6,073 sf; Lot 6 -.15ac/6,481sf; Lot 7-B -.20ac/8,896 sf and new Lot 201 being .14 ac/6,164 sf. DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 31, 2020 by Aiken & Yelle Associates, PA.

#### **CONDITIONS OF APPROVAL and NEXT STEPS:**

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑ Utility Placement Easement Required



☑ **<u>RECORDED MAP(S)</u>** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

#### The following items must be approved prior to recording the plat:

#### General

- 1. A recombination plat is recorded in conjunction or prior to the recording of the subdivision lots for the approved subdivision plan.
- 2. The side yard lot line setbacks are dimensioned & labeled on all plat recordings, for Lot 7-B per the preliminary subdivision plan sheet, demonstrating compliance with UDO Sec.2.2.1.

#### Engineering



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- 3. A fee-in-lieu for 6' sidewalks along the frontages of the 4 lots for SUB-0045-2019 is paid to the City of Raleigh (UDO 8.1.10).
- 4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

#### Stormwater

- 6. Cumulative disturbance for the subdivision development, from demolition through single family home construction, shall be less than 12,000 sf. Prior to the issuance of any demolition permit, a sealed letter from a licensed NC surveyor shall be provided to stormwater review staff verifying that the overall limits of disturbance have been marked in the field and total less than 12,000 sf. If at any time demolition, construction of new single family homes, and other associated work cause a cumulative land disturbance of 12,000 sf or more, a grading permit will be required via the site permitting review process. (UDO 9.4.6)
- 7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
- 8. The flood prone areas, as shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
- 9. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

#### **Urban Forestry**

10. A public infrastructure surety for 6 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

#### The following items must be approved prior to the issuance of building permits:

#### Engineering

1. The existing retaining wall within the ROW is shown to be removed and needs to be prior to the first building permit issuance.



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#### Stormwater

- 2. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
- 3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

#### **Urban Forestry**

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Gordon St, and 2 street trees along Wayland St. All required street tree plantings are required to be planted and inspected with building permit for Lot 201.

#### The following are required prior to issuance of building occupancy permit:

#### Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

#### **Urban Forestry**

2. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: September 9, 2023 Record at least ½ of the land area approved.

5-Year Sunset Date: September 9, 2025 Record entire subdivision.

I hereby certify this administrative decision.

Signed:

Development Services Dir/Designee Staff Coordinator: Jermont Purifoy Date: 09/09/2020

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1" = 500'	SUB-0045
	2800 & 2802 WA 2811 GORE RALEIGH PINS: 1705- 1705-00-2824, &
DEVELOPMENT SERVICES	DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments) ZONING INFORMATION
DEVELOPMENT SERVICES Preliminary Subdivision Plan Application	(Applicable to all developments) ZONING INFORMATION Gross site acreage 0.68 ac
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Preliminary Subdivision Plan Application	Control 2.5.)       Control 2.5.)         document       Overfay districts (if more than one, provide acreage of each).         R-6       Overfay district NA         Overfay district NA       Inside City limits? X Yes         Conditional Use District (CUD) Case # Z: NA       Board of Adjustment (BOA) Case # A: NA
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Preliminary Subdivision Plan Application         Development Review Caster Fore Exchange Instal Kine Koll Indiago MC 2001 (100 Sector Please check the appropriate review types and include the plan checkling Please check the appropriate review types and include the plan checkling Please check the appropriate review types and include the plan checkling Please check the appropriate review types and include the plan checkling Please check the appropriate review types and include the plan checkling Please check the appropriate review types and include the plan checkling Please check the appropriate review types and include the plan checkling Please check the appropriate review types and include the plan checkling Please check the appropriate review type and include the plan checkling Please check the appropriate review type and include the plan checkling Please check the appropriate review type and include the plan checkling Please check the appropriate review type and include the plan checkling Development case number(i) Complete Development    Conservation Develop NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Histori General INFORMATION         Scoping sketch plan case number(i) Plan end (abject to approval) Lot 5 6 & 7 a Cartler Subdivision Phop endy Address was) 2800 Wayland Dr, 2802 Wayland Dr, 2 Recorded Deed PIN(#) 1705002869, 1705002824, 1705001819         What is your Project type?       Single terming Apartment       Townencouncil Non-residencial Plan end (abject to plan case attach purchase agreement when submitting this Company: Abode Design-Build LLC Power Develop Plan Build LLC Address B801 Fast Park Drive, Subil S01, Rateigh, NC 27617	Releight       (Applicable to all developments)         Image: Construction of the construction of t
Development Nerves Customer Burves Context Context Statemer State Active           This form is used writer submitting a Preleminary Subdivision (UOO State Please check the appropriate memory period include the plan check list Please check the appropriate memory period include the plan check list Please check the appropriate memory period include the plan check list Please check the appropriate memory period include the plan check list Please check the appropriate memory period include the plan check list Please check the appropriate memory period include the plan check list Please check the appropriate memory period include the plan check list Office Use Only: Case # Planner (signature); Pre-application Conference Date: Planner (signature); 	(Applicable to all developments)         20NING INFORMATION         Gross site excesses 0.68 ac         2oring districts if more than one, provide acreage of each).         R-8         2oring districts if more than one, provide acreage of each).         R-8         2oring districts if more than one, provide acreage of each).         R-8         2oring districts if more than one, provide acreage of each).         R-8         2oring districts if more than one, provide acreage of each).         R-8         2oring district NA         Conditional Use District (CUD) Case # Z - NA         Board of Adjustment (BDA) Case # A - NA         Exating imperviews Surface.         Acres: 90%         Square Feet: 91%         Neue River Bidtr       Yes         Neue River Bidtr       Yes         Neue River Bidtr       Yes         Aries: 91%       No         Ityse, please provide the following:         Alluviat soils:       No         Read of adjustrat deval       NUMBER OF LOTS AND DENSITY         Total # of single-tantly lobs: 4       Proposed density for each zoning district (UOO 315.2.F);         Attached       Total # of single-tantly of second on and ocs.0         Total# of of perspected zone and or reports to

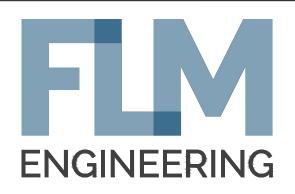
PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.

# **BDIVISION PLANS**

# -B CARTIER ISION

-2019

YLAND DR & ON ST I, NC 00-2869, 705-00-1819



POST OFFICE BOX 91727 RALEIGH, NORTH CAROLINA 27675 PHONE: 919.610.1051 FIRM NC LICENSE NUMBER C-4222

#### NOTES

- 1. THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN APPROVAL TO CREATE ONE NEW LOT AS CONVENTIONAL SUBDIVISION FOR USE AS SINGLE-FAMILY RESIDENTIAL CONSTRUCTION.
- 2. THESE LOTS ARE EXEMPT PER UDO SECTION 9.2.2.A.2.B.i BUT ARE SUBJECT TO IMPERVIOUS LIMITATIONS OF SUBSECTION A.4.
- 3. IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO BUILDING PERMITS.
- 4. TOTAL CUMULATIVE LAND DISTURBANCE FOR ALL ACTIVITIES ASSOCIATED WITH THIS SUBDIVISION DEVELOPMENT, INCLUDING BUT NOT LIMITED TO DEMOLITION AND NEW SINGLE FAMILY HOME CONSTRUCTION, SHALL BE LESS THAN 12,000 SF.
- 5. TREE CONSERVATION PLAN NOT REQUIRED PER UDO SECTION 9.1.2.
- 6. EXISTING LOT 7-B CONTAINS NEUSE RIPARIAN BUFFER (NRB) BUT WAS CREATED PRIOR TO 1997 AND THUS, THE USE IS EXEMPT PER STATE STATUTE WHEN USES ARE PRESENT AND ONGOING PER 15A NCAC 02B .0233 SECTION 3B.(I).

NRB RULE SHALL NOT APPLY TO PORTIONS OF THE RIPARIAN BUFFER WHERE A USE IS EXISTING AND ONGOING ACCORDING TO THE FOLLOWING:

(I.) A USE SHALL BE CONSIDERED EXISTING IF IT WAS PRESENT WITHIN THE RIPARIAN BUFFER AS OF JULY 22, 1997. EXISTING USES SHALL INCLUDE, BUT NOT BE LIMITED TO, AGRICULTURE, BUILDINGS, INDUSTRIAL FACILITIES, COMMERCIAL AREAS, TRANSPORTATION FACILITIES, MAINTAINED LAWNS, UTILITY LINES AND ON-SITE SANITARY SEWAGE SYSTEMS. ONLY THE PORTION OF THE RIPARIAN BUFFER THAT CONTAINS THE FOOTPRINT OF THE EXISTING USE IS EXEMPT FROM THIS RULE. ACTIVITIES NECESSARY TO MAINTAIN USES ARE ALLOWED PROVIDED THAT NO ADDITIONAL VEGETATION IS REMOVED FROM ZONE 1 EXCEPT THAT GRAZED OR TRAMPLED BY LIVESTOCK AND EXISTING DIFFUSE FLOW IS MAINTAINED. GRADING AND REVEGETATING ZONE 2 IS ALLOWED PROVIDED THAT THE HEALTH OF THE VEGETATION IN ZONE 1 IS NOT COMPROMISED, THE GROUND IS STABILIZED AND EXISTING DIFFUSE FLOW IS MAINTAINED.

- 7. DEVELOPER HAS REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- 8. INFILL RESIDENTIAL RULES MAY APPLY TO THE CURRENT SITE LAYOUT PER UDO SEC 2.2.7.

## ENGINEER OF RECORD:

FLM ENGINEERING, INC CONTACT: JON FRAZIER, PE PO BOX 91727 RALEIGH, NC 27675 919.610.1051 JFRAZIER@FLMENGINEERING.COM

### **DEVELOPER**:

ABODE DESIGN-BUILD LLC CONTACT: WALER HEATH 8801 FAST PARK DR, STE 301 RALEIGH, NC 27617 919.696-4976 WALTER@ABODEDB.COM

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REV	DESCRIP		DATE	BY
# 1	COR COM		7/2/2020	FLM
2	COR COM	MENTS	7/31/2020	FLM
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© 2020 THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.

#### NOTES

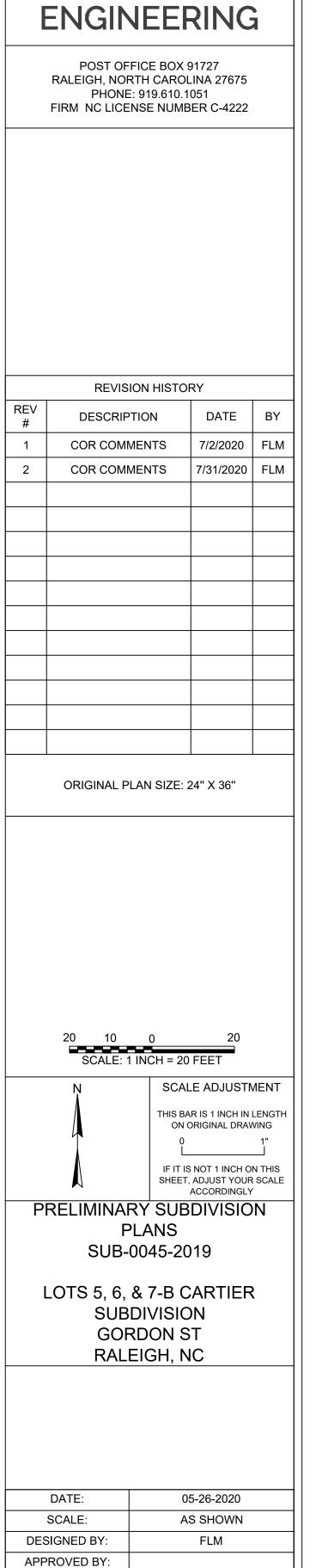
- 1. SURVEY DATA PROVIDED BY AIKEN & YELLE ASSOCIATES, PA.
- 2. CONTOURS SHOWN ARE WAKE COUTNY GIS TOPOGRAPHIC DATA.
- 3. A PORTION OF THIS SITE LIES WITHIN A FEMA DESIGNATED 100-YEAR FLOOD HAZARD AREA PER FIRM PANEL 3720170500J, DATED MAY 2, 2006.
- 4. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- 5. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- 6. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- 7. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

#### LEGEND

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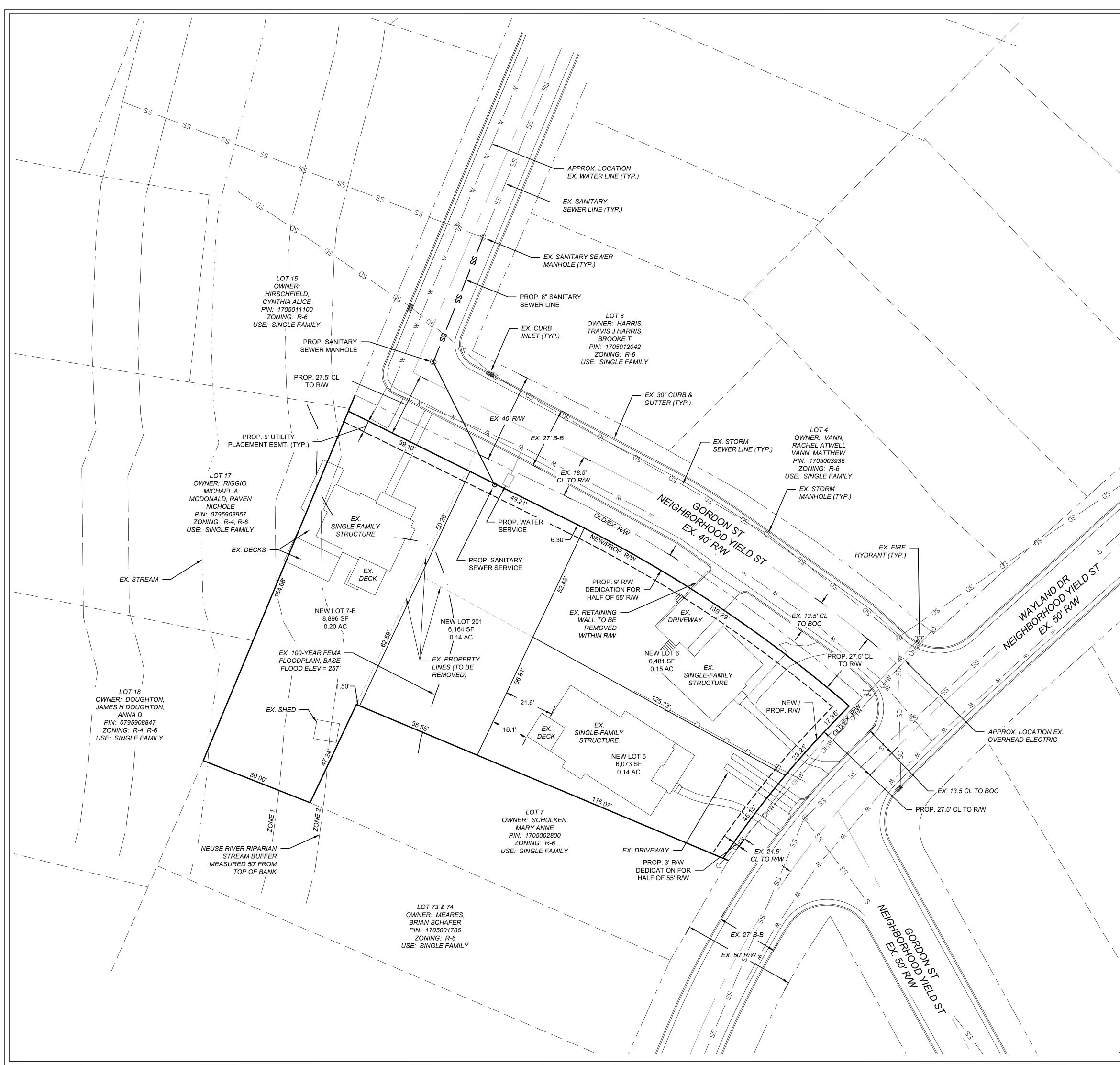
EX. PROPERTY LINE EX. ADJACENT OWNERS EX. RIGHT-OF-WAY EX. PROPERTY LINE TO BE REMOVED EX. CHANNEL/STREAM EX. CHANNEL/STREAM BUFFER EX. FEMA FLOODPLAIN BOUNDARY EX. FENCE EX. WATER LINE EX. SANITARY SEWER EX. STORM SEWER EX. OVERHEAD ELECTRIC LINE EX. MAJOR CONTOUR (10') EX. MINOR CONTOUR (2')



**EXISTING CONDITIONS** 

PROJECT NO .:





#### NOTES

1. GRADING IS NOT PROPOSED, SO THE EXISTING CONTOURS WILL NOT CHANGE AS PART OF THE SITE DEVELOPMENT.

#### LEGEND

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EX. PROPERTY LINE
EX. ADJACENT OWNERS
EX. RIGHT-OF-WAY
EX. PROPERTY LINE TO BE REMOVED
EX. FEMA FLOODPLAIN BOUNDARY
EX. CHANNEL/STREAM
EX. CHANNEL/STREAM BUFFER
EX. FENCE
EX. WATER LINE
EX. SANITARY SEWER
EX. STORM SEWER
EX. OVERHEAD ELECTRIC LINE
PROP. RIGHT-OF-WAY
PROP. LOT LINES
PROP. SANITARY SEWER



POST OFFICE BOX 91727 RALEIGH, NORTH CAROLINA 27675 PHONE: 919.610.1051 FIRM NC LICENSE NUMBER C-4222

SUMMARY INFORMATION
DEVELOPMENT NAME: LOTS 5, 6, & 7-B CARTIER SUBDIVISION

SITE ADDRESS: 2800 & 2802 WAYLAND DR & 2811 GORDON ST PIN NUMBER(S): 1705-00-2869, 1705-00-2824, & 1705-00-1819

**TOTAL AREA:** 0.68 AC (29,827 SF) **R/W DEDICATION:** 0.05 AC (2,214 SF) **NET AREA:** 0.63 AC (27,613 SF)

JURISDICTION: CITY OF RALEIGH ZONING DISTRICT: R-6

OVERLAY DISTRICT: N/A

**EXISTING USE:** SINGLE-FAMILY RESIDENTIAL **PROPOSED USE:** SINGLE-FAMILY RESIDENTIAL

EXISTING SINGLE-FAMILY LOTS: 3 PROPOSED SINGLE-FAMILY LOTS: 4

**R-6 MAXIMUM DENSITY:** 6 UNITS/ACRE **PROPOSED DENSITY:** 5.88 UNITS/ACRE

R-6 MINIMUM LOT AREA: 6,000 SF R-6 MINIMUM LOT WIDTH: 50' R-6 MINIMUM LOT DEPTH: 80'

EXISTING LOT 7-B AREA: 9,187 SF PROPOSED NEW LOT 7-B AREA: 8,896 SF EXISTING NEW LOT 7-B IMPERVIOUS AREA: 1,902 SF (21.4%); EXISTING STRUCTURES TO REMAIN MAXIMUM NEW LOT 7-B IMPERVIOUS AREA: (9,187 SF X 51%) -354.6 SF IMPERVIOUS IN R/W = 4,330.8 SF

EXISTING LOT 5 AREA: 11,028 SF PROPOSED NEW LOT 5 AREA: 6,073 SF EXISTING NEW LOT 5 IMPERVIOUS AREA: 2,202 SF (33.3%); EXISTING STRUCTURES TO REMAIN MAXIMUM NEW LOT 5 IMPERVIOUS AREA: (6,073 SF X 51%) -270.8 SF IMPERVIOUS IN R/W = 2,826.4 SF

EXISTING LOT 6 AREA: 9,611 SF PROPOSED NEW LOT 6 AREA: 6,481 SF EXISTING NEW LOT 6 IMPERVIOUS AREA: 1,713 SF (26.4%); EXISTING STRUCTURES TO REMAIN MAXIMUM NEW LOT 6 IMPERVIOUS AREA: (6,481 SF SF X 51%) -1,082.6 SF IMPERVIOUS IN R/W = 2,222.7 SF

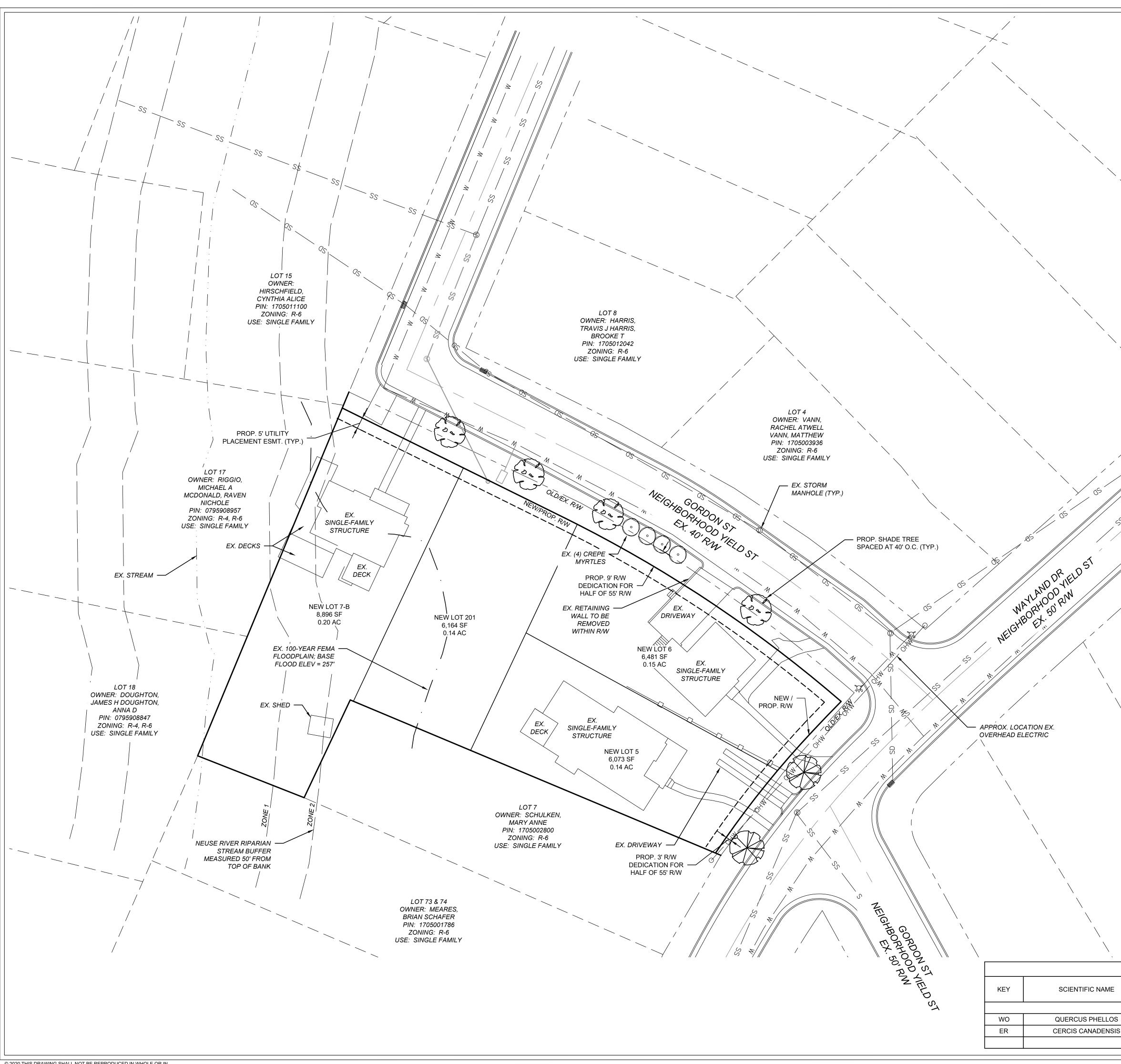
PROPOSED NEW LOT 201 AREA: 6,164 SF MAXIMUM NEW LOT 201 IMPERVIOUS AREA: (6,164 SF X 51%) -333.1 SF = 2,810.5 SF

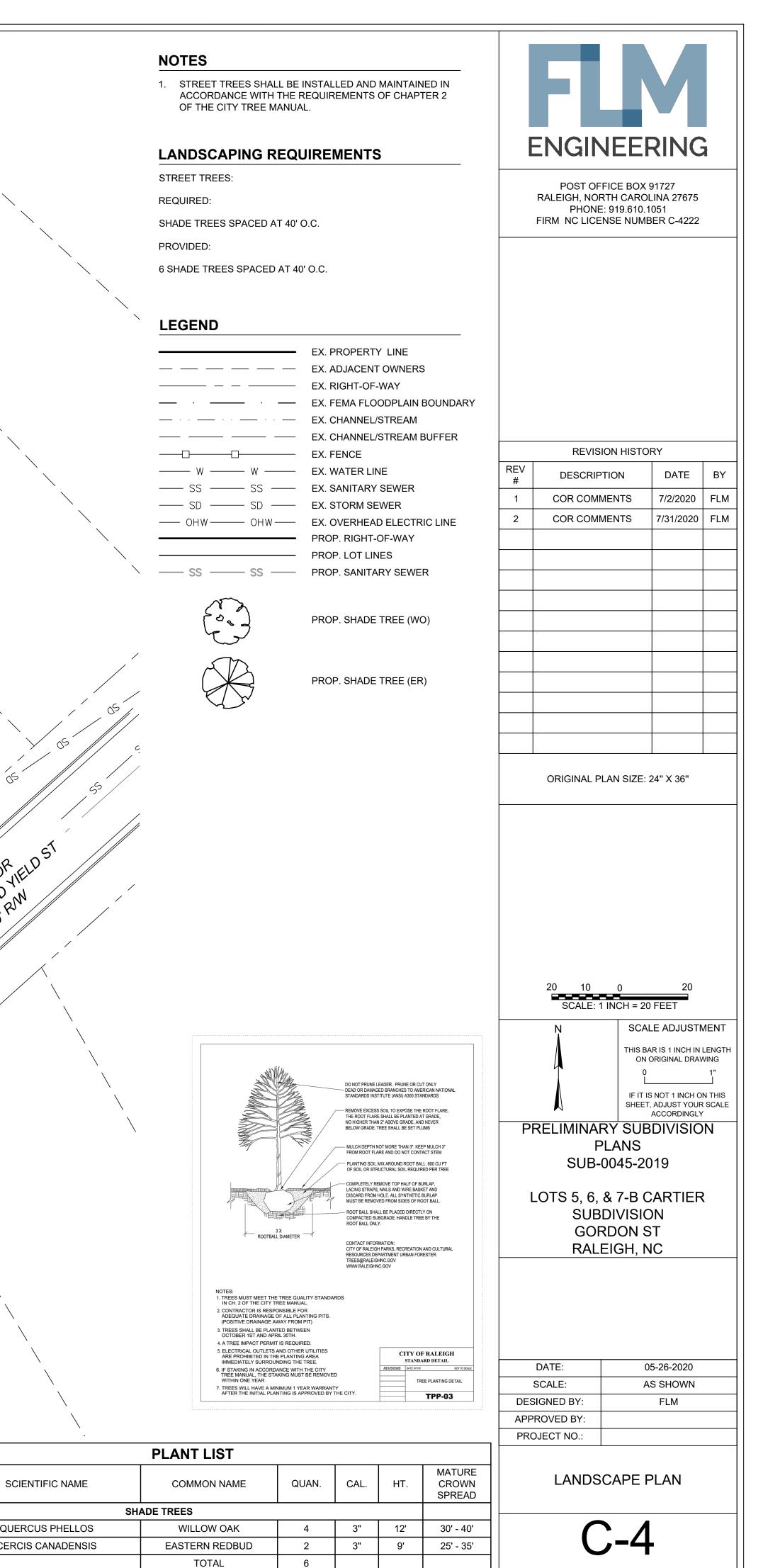
SETBACKS: PRIMARY STREET (MIN): 10' SIDE STREET (MIN): 10' SIDE (MIN): 5' SUM OF SIDE (MIN): 15' REAR: 20'

WATERSHED: CRABTREE CREEK WETLAND AREA: 0 SF NEUSE RIVER RIPARIAN BUFFER AREA: 0 SF

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SHEET 4 OF 4