



# Administrative Approval Action

Case File / Name: SUB-0045-2019  
Lots 5, 6, & 7 Cartier Subdivision

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of Wayland Drive, west of Gordon Street at 2800 and 2802 Wayland Dr and 2811 Gordon St (PIN#1705-00-2869; 1705-00-2824 & 1705-00-1819).

**REQUEST:** Development of a 0.68 acre/29,827 sf tract zoned R-6 with .05ac/2,214 sf of right-of-way dedication for a net area of .63 ac/27,613 sf. An existing 3 detached single-family residential lots being recombined and subdivided, adding 1 additional residential lot, for a proposed 4 single-family detached residential lot subdivision. Existing Lot 5 being .14ac/6,073 sf; Lot 6 -.15ac/6,481sf; Lot 7-B -.20ac/8,896 sf and new Lot 201 being .14 ac/6,164 sf.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 31, 2020 by Aiken & Yelle Associates, PA.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **General**

1. A recombination plat is recorded in conjunction or prior to the recording of the subdivision lots for the approved subdivision plan.
2. The side yard lot line setbacks are dimensioned & labeled on all plat recordings, for Lot 7-B per the preliminary subdivision plan sheet, demonstrating compliance with UDO Sec.2.2.1.

### **Engineering**



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3. A fee-in-lieu for 6' sidewalks along the frontages of the 4 lots for SUB-0045-2019 is paid to the City of Raleigh (UDO 8.1.10).
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Stormwater

6. Cumulative disturbance for the subdivision development, from demolition through single family home construction, shall be less than 12,000 sf. Prior to the issuance of any demolition permit, a sealed letter from a licensed NC surveyor shall be provided to stormwater review staff verifying that the overall limits of disturbance have been marked in the field and total less than 12,000 sf. If at any time demolition, construction of new single family homes, and other associated work cause a cumulative land disturbance of 12,000 sf or more, a grading permit will be required via the site permitting review process. (UDO 9.4.6)
7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
8. The flood prone areas, as shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
9. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

## Urban Forestry

10. A public infrastructure surety for 6 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Engineering

1. The existing retaining wall within the ROW is shown to be removed and needs to be prior to the first building permit issuance.



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## Stormwater

2. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

## Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Gordon St, and 2 street trees along Wayland St. All required street tree plantings are required to be planted and inspected with building permit for Lot 201.

***The following are required prior to issuance of building occupancy permit:***

## Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

## Urban Forestry

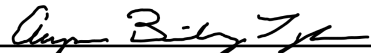
2. Final inspection of all right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

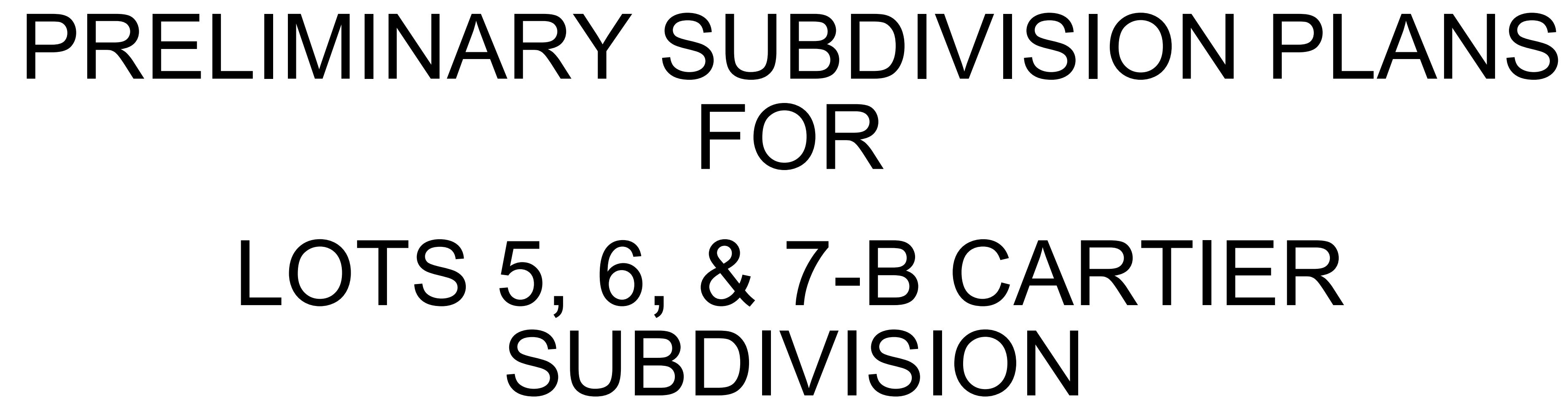
**3-Year Sunset Date: September 9, 2023**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: September 9, 2025**  
**Record entire subdivision.**

I hereby certify this administrative decision.

Signed:  Date: 09/09/2020  
Development Services Dir/Designee  
Staff Coordinator: Jermont Purifoy





SUB-0045-2019

2800 & 2802 WAYLAND DR &  
2811 GORDON ST  
RALEIGH, NC  
PINS: 1705-00-2869,  
1705-00-2824, & 1705-00-1819

## NOTES

1. THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN APPROVAL TO CREATE ONE NEW LOT AS CONVENTIONAL SUBDIVISION FOR USE AS SINGLE-FAMILY RESIDENTIAL CONSTRUCTION.
2. THESE LOTS ARE EXEMPT PER UDO SECTION 9.2.2.A.2.B.1 BUT ARE SUBJECT TO IMPERVIOUS LIMITATIONS OF SUBSECTION A.4.
3. IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO BUILDING PERMITS.
4. TOTAL CUMULATIVE LAND DISTURBANCE FOR ALL ACTIVITIES ASSOCIATED WITH THIS SUBDIVISION DEVELOPMENT, INCLUDING BUT NOT LIMITED TO DEMOLITION AND NEW SINGLE FAMILY HOME CONSTRUCTION, SHALL BE LESS THAN 12,000 SF.
5. TREE CONSERVATION PLAN NOT REQUIRED PER UDO SECTION 9.1.2.
6. EXISTING LOT 7-B CONTAINS NEUSE RIPARIAN BUFFER (NRB) BUT WAS CREATED PRIOR TO 1997 AND THUS, THE USE IS EXEMPT PER STATE STATUTE WHEN USES ARE PRESENT AND ONGOING PER 15A NCAC 02B .0233 SECTION 3B.(I).

NRB RULE SHALL NOT APPLY TO PORTIONS OF THE RIPARIAN BUFFER WHERE A USE IS EXISTING AND ONGOING ACCORDING TO THE FOLLOWING:

(L) A USE SHALL BE CONSIDERED EXISTING IF IT WAS PRESENT WITHIN THE RIPARIAN BUFFER AS OF JULY 22, 1997. EXISTING USES SHALL INCLUDE, BUT NOT BE LIMITED TO, AGRICULTURE, BUILDINGS, INDUSTRIAL FACILITIES, COMMERCIAL AREAS, TRANSPORTATION FACILITIES, MAINTAINED LAWNS, UTILITY LINES AND ON-SITE SANITARY SEWAGE SYSTEMS. ONLY THE PORTION OF THE RIPARIAN BUFFER THAT IS NOT COVERED BY THE FOOTPRINT OF AN EXISTING USE IS SUBJECT TO THIS RULE. ACTIVITIES NECESSARY TO MAINTAIN USES ARE ALLOWED PROVIDED THAT NO ADDITIONAL VEGETATION IS REMOVED FROM ZONE 1 EXCEPT THAT GRAZED OR TRAMPLED BY LIVESTOCK AND EXISTING DIFFUSE FLOW IS MAINTAINED. GRADING AND REVEGETATING ZONE 2 IS ALLOWED PROVIDED THAT THE HEALTH OF THE VEGETATION IN ZONE 1 IS NOT COMPROMISED. THE GROUND IS STABILIZED AND EXISTING DIFFUSE FLOW IS MAINTAINED.

7. DEVELOPER HAS REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
8. INFILL RESIDENTIAL RULES MAY APPLY TO THE CURRENT SITE LAYOUT PER UDO SEC 2.2.7.



POST OFFICE BOX 91727  
RALEIGH, NORTH CAROLINA 27675  
PHONE: 919.610.1051  
FIRM NC LICENSE NUMBER C-4222

## REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	COR COMMENTS	7/2/2020	FLM
2	COR COMMENTS	7/31/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

## SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH  
ON ORIGINAL DRAWING

IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY.

PRELIMINARY SUBDIVISION  
PLANS  
SUB-0045-2019

LOTS 5, 6, & 7-B CARTIER  
SUBDIVISION  
GORDON ST  
RALEIGH, NC

## ENGINEER OF RECORD:

FLM ENGINEERING, INC  
CONTACT: JON FRAZIER, PE  
PO BOX 91727  
RALEIGH, NC 27675  
919.610.1051  
JFRAZIER@FLMENGINEERING.COM


## DEVELOPER:

ABODE DESIGN-BUILD LLC  
CONTACT: WALER HEATH  
8801 FAST PARK DR, STE 301  
RALEIGH, NC 27617  
919.696-4976  
WALTER@ABODEDB.COM

COVER

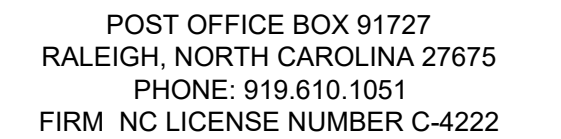
C-1

SHEET 1 OF 4

DEVELOPMENT SERVICES		 <b>Raleigh</b>
<h2 style="margin: 0;">Preliminary Subdivision Plan Application</h2> <p style="margin: 0; font-size: small;">Development Services Customer Service Center • One Exchange Plaza, Suite 400 Raleigh, NC 27601 • 919-996-2495</p>		
<p style="text-align: center;">This form is used when submitting a Preliminary Subdivision (<a href="#">UDO Section 10.2.5</a>)  Please check the appropriate review type and include the plan checklist document.  Please email your completed application to <a href="mailto:DS.intake@raleighnc.gov">DS.intake@raleighnc.gov</a>.</p>		
Office Use Only: Case #: _____	Planner (print): _____	
Pre-application Conference Date: _____	Planner (signature): _____	
<b>DEVELOPMENT TYPE (UDO Section 2.1.2)</b>		
<input checked="" type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Development <input type="checkbox"/> Cottage Court		
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District		
<b>GENERAL INFORMATION</b>		
Scoping/sketch plan case number(s): <div style="border: 1px solid black; padding: 2px; display: inline-block;">na</div>		
Development name (subject to approval): Lof 5, 6 & 7a Cartier Subdivision		
Property Address(es): <div style="border: 1px solid black; padding: 2px; display: inline-block;">2800 Wayland Dr, 2802 Wayland Dr, 2811 Gordon St</div>		
Recorded Deed PIN(s): 1705002869; 1705002824, 1705001819		
What is your project type? <input type="checkbox"/> Single family <input type="checkbox"/> Townhouse <input type="checkbox"/> Attached house <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Non-residential <input type="checkbox"/> Other: _____		
<b>CURRENT PROPERTY OWNER/DEVELOPER INFORMATION</b>		
NOTE: Please attach purchase agreement when submitting this form		
Company: <b>Abode Design-Build LLC</b> Owner/Developer Name and Title: <b>Walter Heath</b> Address: <b>8801 Fast Park Drive, Suite 301, Raleigh, NC 27617</b> Phone #: <b>919.518.1338</b> Email: <b>walter@abodedb.com</b>		
<b>APPLICANT INFORMATION</b>		
Company: <b>Aiken &amp; Yelle Associates</b> Contact Name and Title: <b>Harold A. Yelle II, PE, PLS</b> Address: <b>3755 Benson Dr., Raleigh, NC 27609</b> Phone #: <b>919-877-9992</b> Email: <b>ayes@raleigh.twcbr.com</b>		
Continue to the next page <sup>2</sup>		

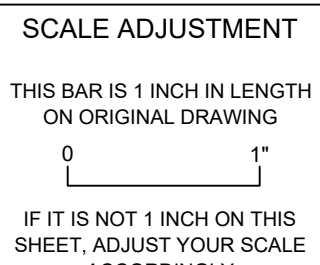
<b>DEVELOPMENT TYPE + SITE DATE TABLE</b> <b>(Applicable to all developments)</b>	
<b>ZONING INFORMATION</b>	
Gross site acreage: 0.68 ac.	
Zoning districts (if more than one, provide acreage of each):	
R-6	
Overlay district: NA	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z: NA	Board of Adjustment (BOA) Case # A: NA
<b>STORMWATER INFORMATION</b>	
Existing Impervious Surface: Acres: 0.14      Square Feet: 6105	Proposed Impervious Surface: Acres: .6605      Square Feet: 0.198
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide the following:	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 37201705004	
<b>NUMBER OF LOTS AND DENSITY</b>	
Total # of townhouse lots: _____	Detached: _____ Attached: _____
Total # of single-family lots: 4	
Proposed density for each zoning district (UDO 1.5.2.F):	
6 units/ ac	
Total # of open space and/or common area lots: 0	
Total # of requested lots: 4	
<b>SIGNATURE BLOCK</b>	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns, jointly and severally, to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.</p> <p>I hereby designate <u>Elizabeth Stoddard</u> to serve as my agent regarding this application to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p> <p>Signature: <u>Elizabeth Stoddard</u>      Date: <u>8/24/2019</u></p> <p>Printed Name: Elizabeth Stoddard</p> <p>Signature: <u>Julie Woolley</u>      Date: <u>8/26/19</u></p> <p>Printed Name: Julie Woolley</p>	
<p>Please email your completed application to <a href="mailto:ES_inquiries@raleigh.gov">ES_inquiries@raleigh.gov</a>.</p> <p>Signature: <u>Julie Woolley</u>      Date: <u>8/28/19</u></p> <p>Printed Name: Julie Woolley</p>	
Page 2 of 2 Signature: <u>Hadley Carns-Heath</u> Printed Name: Hadley Carns-Heath	





1. SURVEY DATA PROVIDED BY AIKEN & YELLE ASSOCIATES, PA.
2. CONTOURS SHOWN ARE WAKE COUNTY GIS TOPOGRAPHIC DATA.
3. A PORTION OF THIS SITE LIES WITHIN A FEMA DESIGNATED 100-YEAR FLOOD HAZARD AREA PER FIRM PANEL 37201705001, DATED MAY 2, 2006.
4. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
5. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
6. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
7. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

	EX. PROPERTY LINE
	EX. ADJACENT OWNERS
	EX. RIGHT-OF-WAY
	EX. PROPERTY LINE TO BE REMOVED
	EX. CHANNEL/STREAM
	EX. CHANNEL/STREAM BUFFER
	EX. FEMA FLOODPLAIN BOUNDARY
	EX. FENCE
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. OVERHEAD ELECTRIC LINE
	EX. MAJOR CONTOUR (10')
	EX. MINOR CONTOUR (2')

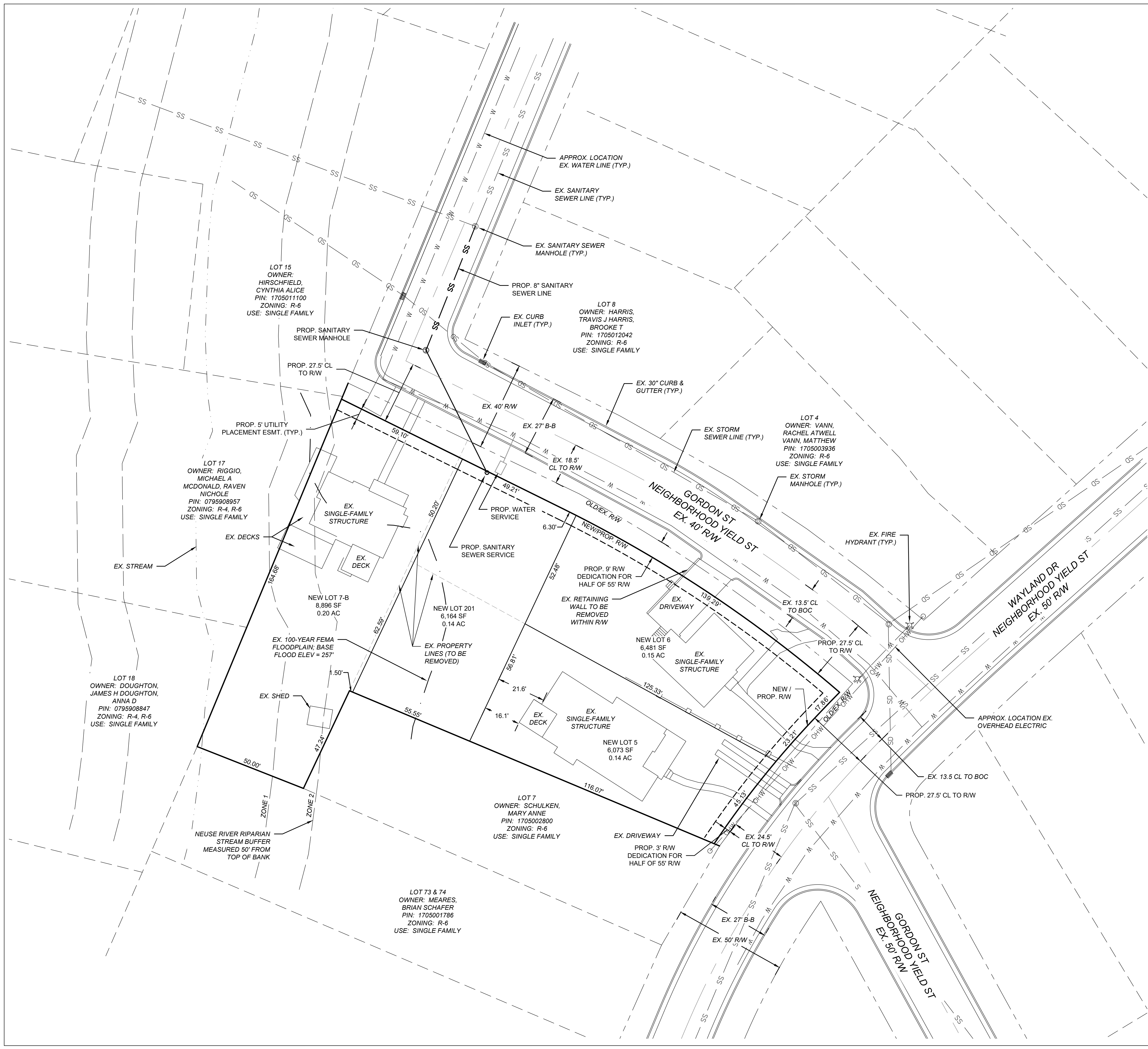
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LOTS 5, 6, & 7-B CARTIER  
SUBDIVISION  
GORDON ST  
RALEIGH, NC

DATE:	05-26-2020
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	
PROJECT NO.:	

## C-2





NOTES

1. GRADING IS NOT PROPOSED, SO THE EXISTING CONTOURS WILL NOT CHANGE AS PART OF THE SITE DEVELOPMENT.

LEGEND

	EX. PROPERTY LINE
	EX. ADJACENT OWNERS
	EX. RIGHT-OF-WAY
	EX. PROPERTY LINE TO BE REMOVED
	EX. FEMA FLOODPLAIN BOUNDARY
	EX. CHANNEL/STREAM
	EX. CHANNEL/STREAM BUFFER
	EX. FENCE
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. OVERHEAD ELECTRIC LINE
	PROP. RIGHT-OF-WAY
	PROP. LOT LINES
	PROP. SANITARY SEWER

SUMMARY INFORMATION

**DEVELOPMENT NAME:** LOTS 5, 6, & 7-B CARTIER SUBDIVISION

**SITE ADDRESS:** 2800 & 2802 WAYLAND DR & 2811 GORDON ST  
**PIN NUMBER(S):** 1705-00-2869, 1705-00-2824, & 1705-00-1819

**TOTAL AREA:** 0.68 AC (29,827 SF)  
**R/W DEDICATION:** 0.05 AC (2,214 SF)  
**NET AREA:** 0.63 AC (27,613 SF)

**JURISDICTION:** CITY OF RALEIGH  
**ZONING DISTRICT:** R-6  
**OVERLAY DISTRICT:** N/A

**EXISTING USE:** SINGLE-FAMILY RESIDENTIAL  
**PROPOSED USE:** SINGLE-FAMILY RESIDENTIAL

**EXISTING SINGLE-FAMILY LOTS:** 3  
**PROPOSED SINGLE-FAMILY LOTS:** 4

**R-6 MAXIMUM DENSITY:** 6 UNITS/ACRE  
**PROPOSED DENSITY:** 5.88 UNITS/ACRE

**R-6 MINIMUM LOT AREA:** 6,000 SF  
**R-6 MINIMUM LOT WIDTH:** 50'  
**R-6 MINIMUM LOT DEPTH:** 80'

**EXISTING LOT 7-B AREA:** 9,187 SF  
**PROPOSED NEW LOT 7-B AREA:** 8,896 SF  
**EXISTING NEW LOT 7-B IMPERVIOUS AREA:** 1,902 SF (21.4%);  
EXISTING STRUCTURES TO REMAIN  
**MAXIMUM NEW LOT 7-B IMPERVIOUS AREA:** (9,187 SF X 51%) -  
354.6 SF IMPERVIOUS IN R/W = 4,330.8 SF

**EXISTING LOT 5 AREA:** 11,028 SF  
**PROPOSED NEW LOT 5 AREA:** 6,073 SF  
**EXISTING NEW LOT 5 IMPERVIOUS AREA:** 2,202 SF (33.3%);  
EXISTING STRUCTURES TO REMAIN  
**MAXIMUM NEW LOT 5 IMPERVIOUS AREA:** (6,073 SF X 51%) -  
270.8 SF IMPERVIOUS IN R/W = 2,826.4 SF

**EXISTING LOT 6 AREA:** 9,611 SF  
**PROPOSED NEW LOT 6 AREA:** 6,481 SF  
**EXISTING NEW LOT 6 IMPERVIOUS AREA:** 1,713 SF (26.4%);  
EXISTING STRUCTURES TO REMAIN  
**MAXIMUM NEW LOT 6 IMPERVIOUS AREA:** (6,481 SF X 51%) -  
1,082.6 SF IMPERVIOUS IN R/W = 2,222.7 SF

**PROPOSED NEW LOT 201 AREA:** 6,164 SF  
**MAXIMUM NEW LOT 201 IMPERVIOUS AREA:** (6,164 SF X 51%) -  
333.1 SF = 2,810.5 SF

**SETBACKS:**  
**PRIMARY STREET (MIN):** 10'  
**SIDE STREET (MIN):** 10'  
**SIDE (MIN):** 5'  
**SUM OF SIDE (MIN):** 15'  
**REAR:** 20'

**WATERSHED:** CRABTREE CREEK  
**WETLAND AREA:** 0 SF  
**NEUSE RIVER RIPARIAN BUFFER AREA:** 0 SF



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PHONE: 919.610.1051  
FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	COR COMMENTS	7/2/2020	FLM
2	COR COMMENTS	7/31/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

20 10 0 20  
SCALE: 1 INCH = 20 FEET



SCALE ADJUSTMENT  
THIS BAR IS 1 INCH IN LENGTH  
ON ORIGINAL DRAWING  
0 1"  
IF IT IS NOT 1 INCH ON THIS  
SHEET, ADJUST YOUR SCALE  
ACCORDINGLY

PRELIMINARY SUBDIVISION  
PLANS  
SUB-0045-2019

LOTS 5, 6, & 7-B CARTIER  
SUBDIVISION  
GORDON ST  
RALEIGH, NC

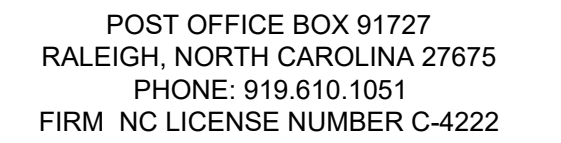
DATE:	05-26-2020
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	
PROJECT NO.:	

SUBDIVISION & UTILITY PLAN

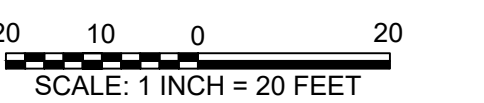
C-3

SHEET 3 OF 4




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ORIGINAL PLAN SIZE: 24" X 36"



## SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH  
ON ORIGINAL DRAWING

A horizontal line with vertical end caps, labeled '0' at the left end and '1"' at the right end.

IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE

PRELIMINARY SUBDIVISION  
PLANS  
SUB-0045-2019

LOTS 5, 6, & 7-B CARTIER  
SUBDIVISION  
GORDON ST  
RALEIGH, NC

DATE:	05-26-2020
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	
PROJECT NO.:	

## LANDSCAPE PLAN

**C-4**

SHEET 4 OF 4

## NOTES

1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

## LANDSCAPING REQUIREMENTS

## STREET TREES

## REQUIRED

SHADE TREES SPACED AT 40' O.C

PROVIDED:

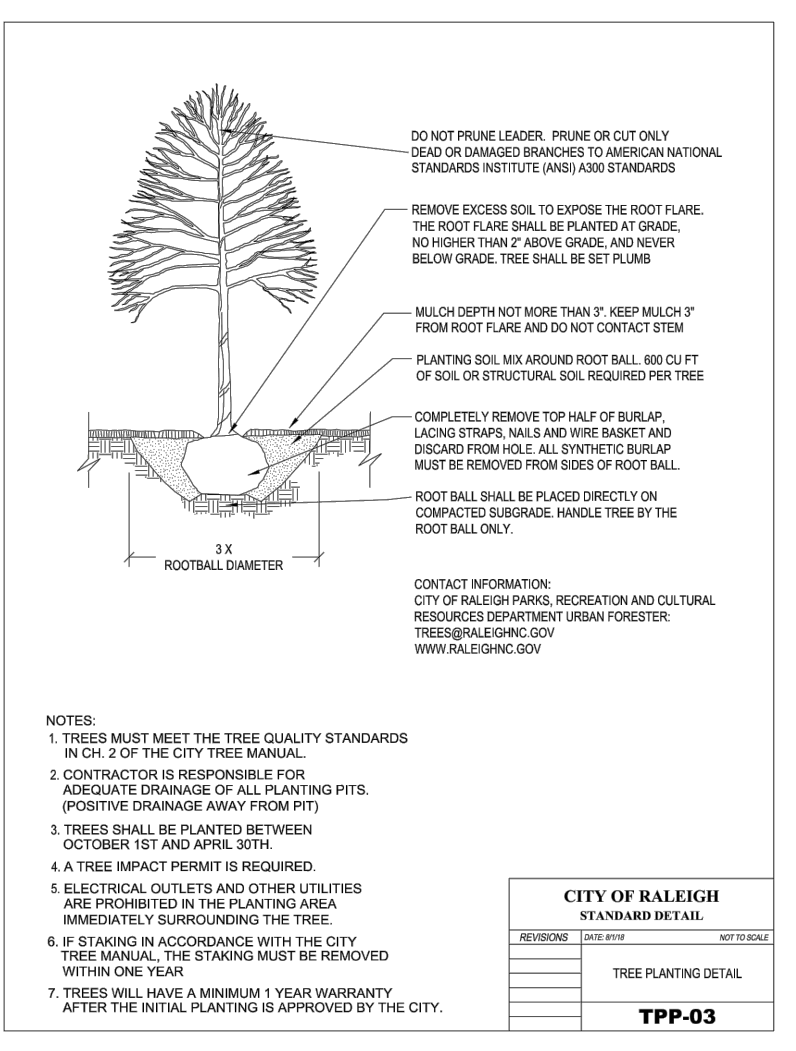
6 SHADE TREES SPACED AT 40' O.C.

## LEGEND

	EX. PROPERTY LINE
	EX. ADJACENT OWNERS
	EX. RIGHT-OF-WAY
	EX. FEMA FLOODPLAIN BOUNDARY
	EX. CHANNEL/STREAM
	EX. CHANNEL/STREAM BUFFER
	EX. FENCE
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. OVERHEAD ELECTRIC LINE
	PROP. RIGHT-OF-WAY
	PROP. LOT LINES
	PROP. SANITARY SEWER

PROP. SHADE TREE (WO

PROP. SHADE TREE (ER)



## PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	HT.	MATURE CROWN SPREAD
SHADE TREES						
WO	QUERCUS PHELLOS	WILLOW OAK	4	3"	12'	30' - 40'
ER	CERCIS CANADENSIS	EASTERN REDBUD	2	3"	9'	25' - 35'
		TOTAL	6			