



Administrative Approval Action

Case File / Name: SUB-0045-2020
Summer Stone Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Strickland Road, east of Ray Road at 8420 Ray Rd.

REQUEST: Development of a 0.99 acre/43,019 sf tract zoned R-4, into a proposed three lot subdivision with 0.16 ac/7,017 sf of right-of-way dedication. Proposed Lot 1 - 10,138sf/.23 ac; Lot 2 - 15,053sf/.35 ac; Lot 3 - 10,811sf/.25 ac. The proposed density for the subdivision site is 3.04 units/acre.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 18, 2021 by ALISON A POCKAT, ASLA.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services for any work on Ray Road – Development Engineering prior to concurrent review approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas. Detention devices are required for Lots 2 and 3 due to downstream structural flooding.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Slope Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The following note shall be placed on the plat: "No access will be granted on Ray Road."
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

3. A fee-in-lieu for 130 lf of 6 ft sidewalk on Ray Road and 40 lf of 6 ft sidewalk is paid to the City of Raleigh (UDO 8.1.10).
4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
7. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Stormwater

8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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Urban Forestry

10. A public infrastructure surety for 5 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.

Stormwater

2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Ray Rd and 2 street trees along Kaytree Ln

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

Urban Forestry

2. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: December 8, 2024
Record at least ½ of the land area approved.



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5-Year Sunset Date: December 8, 2026
Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Alysis Bailey Taylor* Date: 08/11/2021
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**



BLOCK PERIMETER EXHIBIT
AS PER UDO SECT.
8.3.2.A.2 TABLE -
THE MAXIMUM LENGTH
OF A DEAD-END STREET
IN R-4 ZONING WITH
0.3 AC AVERAGE LOTS
500'
KAYTREE LN = 145'

SCALE: 1" = 300'

NEIGHBORHOOD YIELD -
RED R/W = 95'
EXISTING R/W = 40' -
ADDITIONAL R/W REQ. = 15'
RED STREET 27' B-B
EXISTING 20' B-B
7' ADDITIONAL PAVING REQ.

3808 KAYTREE LN
BRADLEY & APRIL WALKER
PIN# 0788815759
DB: 008090 PG: 02078
USE: SINGLE FAMILY
ZONING - R-4

EXISTING NEIGHBORHOOD YIELD
STREET 21.5' B-B 40' R/W
WITH 30' CURB AND GUTTER ON
NORTH SIDE
NO WALK ON EITHER SIDE

3804 KAYTREE LN
MITCHELL & SALLY MERRITT
PIN# 0788816748
DB: 007931 PG: 00521
USE: SINGLE FAMILY
ZONING - R-4

IMPERVIOUS SURFACE AREA LIMITS:

EXISTING IMPERVIOUS SURFACE TO BE REMOVED = 5,142 SF
KAYTREE RD IMPROVEMENTS AS PER 1996 PLAT - KATE LAND SUBD.
IMPERVIOUS SURFACE FOR ROAD AND WALK IMPROVEMENT
ROAD = 4,593 SF + WALK 1,028 SF = 5,621 SF
SUBSTITUTION AS PER UDO 9.2.2.A.3.6 AND 10.3.4.E

RIGHT OF WAY IMPERVIOUS ALLOCATIONS PER LOT:
LOT 1 - 1,085 SF LOT 2 - 3,070 SF
LOT 3 - 1,458 SF

IMPERVIOUS SURFACE AREA ALLOCATED PER LOT
LOT 1 -
10,138 X .381 = 1,085 + 2,767 SF

LOT 2 -
15,053 X .381 = 3,070 + 2,650 SF

LOT 3 -
10,811 X .381 = 1,458 + 2,650 SF

IMPERVIOUS LIMIT FOR EACH LOT IS TO BE RECORDED ON
THE PLAT PRIOR TO THE ISSUANCE OF BUILDING PERMITS

SITE DATA:

PIN NUMBER - 0788816621

ADDRESS: 8420 RAY RD., RALEIGH

TOTAL ACREAGE - 43,019 SF - 0.988 AC

AREA OF RIGHT OF WAY DEDICATION - 7,017 SF

LOT 1 - 10,138 SF - 0.233 AC

LOT 2 - 15,053 SF - 0.346 AC

LOT 3 - 10,811 SF - 0.248 AC

AREA OF DEVELOPMENT - 0.826 AC

PROPOSED SITE DENSITY - 3.04 UNITS / ACRE

EXISTING IMPERVIOUS AREA - 5,142 SF - 0.118 AC

HOUSE, GARAGE - 2,678 SF, DECK - 84 SF

HVAC & WELL - 52 SF, DRIVE / WALK - 2,328 SF

ZONING - R-4

NOTE:

THE NEW WATER SERVICES SHALL BE
INSTALLED ON THE MAIN SIDE OF THE
EXISTING WATER LINE AND SHALL NOT BE
INSTALLED ON THE WATER LINE TO THE
HYDRANT.

8409 EVANS MILL
MICHAEL & DEBORAH INNERARITY
PIN# 0788818776
DB: 005511 PG: 00981
USE: SINGLE FAMILY
ZONING - R-4

NEW 4" PVC SANITARY
SEWER CLEAN-OUT W/ 4"
SCH 40 PVC SANITARY
SEWER SERVICE PIPE

NEW 5" UTILITY PLACEMENT
EASEMENT

NEW 5/8" WATER METER
W/ BOX AND 3/4" TYPE
K COPPER WATER SERVICE
PIPE - SEE NOTE

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SEWER CLEAN-OUT W/ 4"
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PIPE - SEE NOTE

NEW 4" PVC SANITARY
SEWER CLEAN-OUT W/ 4"
SCH 40 PVC SANITARY
SEWER SERVICE PIPE

EXISTING AVE. 2-LANE DIVIDED
STREET W/ VARIABLE WIDTH R/W
AND STREET - NO CURB & GUTTER,
DITCH SECTIONS AND NO WALK
ON EITHER SIDE

8509 RAY RD
KATIE LEE HUNTER
MICHAEL JONES
PIN# 0788813720
DB: 008100 PG: 01557
USE: SINGLE FAMILY
ZONING - R-4

REMOVE EXISTING DRIVE AND
12" PIPE - RESTORE DITCH SECTION

3804 COVINA DR
KYLE BREISCHWART
PIN# 0788813668
DB: 015909 PG: 01642
USE: SINGLE FAMILY
ZONING - R-4

AVE 2-LANE DIVIDED -
RED R/W = 80'
EXISTING R/W = VARIABLE
ADDITIONAL R/W REQ. = 10'
RED STREET 52' B-B
EXISTING 30' B-B
11' ADDITIONAL PAVING REQ.

3816 EVANDER WAY
DONNA & JOHN WALTON
PIN# 0788815555
DB: 008079 PG: 00001
USE: SINGLE FAMILY
ZONING - R-4

3812 EVANDER WAY
NANCY & MICHAEL STRICHMAN
PIN# 0788815554
DB: 008075 PG: 00242
USE: SINGLE FAMILY
ZONING - R-4

3808 EVANDER WAY
FELICE & ROBERT MERMELSTEIN
PIN# 0788817520
DB: 007733 PG: 00525
USE: SINGLE FAMILY
ZONING - R-4

3804 EVANDER WAY
CAROLYN HART
PIN# 0788817498
DB: 008187 PG: 01878
USE: SINGLE FAMILY
ZONING - R-4

8401 EVANS MILL
DAVID & BETTA KAZAR
PIN# 0788818568
DB: 016351 PG: 01693
USE: SINGLE FAMILY
ZONING - R-4

8405 EVANS MILL
PAMELA & GAVIN SALDANHA
PIN# 0788818677
DB: 015864 PG: 01943
USE: SINGLE FAMILY
ZONING - R-4

LEGEND:

- EXISTING TOPOGRAPHY
- 18" STORMWATER DRAIN LINE
- SANITARY SEWER LINE
- PROPERTY LINE
- CLEANOUT
- WATER METER
- WATER VALVE
- MAN HOLE

EXISTING RIGHT OF WAY
PROPOSED RIGHT OF WAY
MINIMUM AREA FOR LOT
REQ. BY ZONING

STREET TREE PLANTING

KEY COUNT PLANT NAME

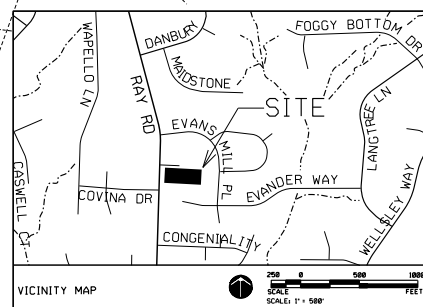
NS 2 NYSSA SYLVATICA, TUPELO
DN 3 QUERCUS NUTTALLI, NUTTALL OAK

O/C	SPACE	SIZE	HT/SPREAD
3"	10'	HT	45'/45'
3"	10'	HT	50'/50'

PROPERTY NOTES:

- EXISTING BOUNDARY AND SITE ELEMENTS AND INFORMATION
ARE BASED ON AN EXISTING CONDITIONS SURVEY BY BERNARD &
ASSOCIATES, 324 DIMOCK WAY, WAKE FOREST, NC 27587, PHONE NUMBER:
919 414-3601, ENTITLED 'LANDS OF SARAH ROCHELLE - 8420 RAY RD.'
AND DATED 4-14-2020.
TOPOGRAPHIC INFORMATION IS BASED ON WAKE COUNTY GIS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL
CITY OF RALEIGH &/OR NCDOT STANDARDS AND SPECIFICATIONS.
- UTILITY DESIGN IS TAKEN FROM A DOCUMENT ISSUED AND
SEALED BY SEAN MCLEAN, NC PE 027840 AND DATED JUNE 10, 2020.

SCALE: 1" = 20'



ALISON A. POCKAT, ASLA
LANDSCAPE ARCHITECT
LAND PLANNER
(919) 363-4415
106 STEEPBANK DRIVE
CARY, NC 27518

DESIGNED: AAP
DRAWN:
APPROVED:

SUMMER STONE SUBDIVISION
SUBDIVISION & PLANTING PLAN
8420 RAY RD., RALEIGH, NC
CROSSBUILT HOMES
5131 COUNTRY TR.
RALEIGH, NC 27613

NO.	DATE	REVISION
1	10.18.20	RALEIGH REVIEW COMMENTS
2	11.11.21	RALEIGH STORMWATER COMMENTS
3	12.01.21	REVISED PERMITTED DATES

SCALE: NTS

DATE: MAY 8, 2020

SHEET NO. 1

PROPOSED
SUBDIVISION
& PLANTING
PLAN

SP-1
SEQUENCE NO. 3 OF 5

September 23, 2020

Alison Pockat
180 Stone Road Dr.
Cary, North Carolina 27518

Subject: Planting Permit for the 8420 Ray Road

To whom it may concern:

Please be advised that the planting plans have been conditionally approved for 8420 Ray Road located in Wake County, North Carolina.

This letter is issuing the Planting Permit for the 8420 Ray Road.

The following standard provisions are made part of this agreement:

- The permittee shall maintain a clear right distance for vehicles utilizing driveway connections.
- The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
- Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
- Plants to be first class quality of their species.
- A copy of this permit must be on the vehicles at all times while the work is being performed.
- All trees and plants shall be planted and maintained in such a manner as to not encroach upon the travel way.

NOTES:
1. NO PLANTING SHALL BE DONE WITHIN EXISTING DRIVEWAY OR AT ALL INTERSECTIONS.
2. PLANTING SHALL BE DONE WITHIN EXISTING DRIVEWAY OR AT ALL INTERSECTIONS.
3. PLANTING SHALL BE DONE WITHIN EXISTING DRIVEWAY OR AT ALL INTERSECTIONS.

Division of Highways
111 State Street
Raleigh, NC 27601

Division of Highways
111 State Street
Raleigh, NC 27601

Division of Highways
111 State Street
Raleigh, NC 27601

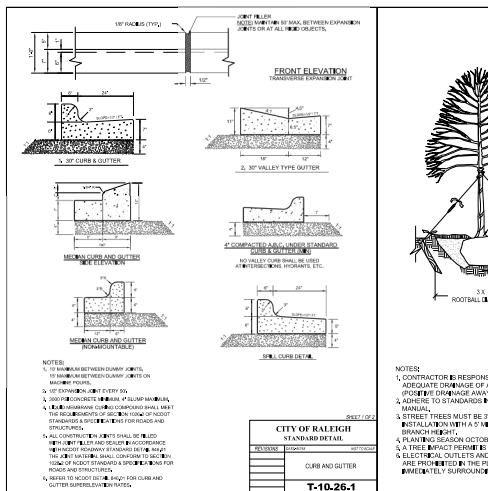
- The traveling public shall be aware of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTCD). No work shall be performed during light of day unless the equipment is satisfied. NCDOT reserves the right to require a written traffic control plan for construction operations.
- NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation.
- Two-way traffic shall be maintained at all times.
- No tree or traffic shall be closed or restricted between the hours of 6:00 AM - 9:00 AM and 4:00 PM - 7:00 PM Monday - Friday. Any violation of these hours will result in termination of the construction agreement.
- NCDOT reserves the right to install traffic, traffic, or suspended operations within the Right of Way, if the option of NCDOT, safety or traffic conditions warrant such action.
- The Traffic Services Supervisor shall be notified at (919) 477-2914 in Durham prior to beginning work on the Right of Way. There are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work area. Cuts to relocate, replace, or remove NCDOT signs, signals, or other related equipment shall be the responsibility of the contractor. NCDOT will be notified to install the necessary equipment.
- The contractor shall be responsible for the installation of the necessary equipment. Mark Center at (919) 814-8240 prior to beginning and after completion of work.
- It shall be the responsibility of the contractor to determine the location of other utilities within the construction area. The contractor shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
- At the end of each working day, equipment shall be parked a minimum of 50 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear memory zone.
- The contractor is responsible for identifying project impacts to waters of the United States (wetlands, streams, perennial streams and ponds) located within the NCDOT right-of-way. The contractor shall be responsible for obtaining the necessary permits from the North Carolina Department of Water Quality (NCDWQ). The contractor is required to obtain a permit from the NCDWQ for any construction activity within the NCDOT right-of-way. Additional information can be obtained by contacting the NCDWQ at (919) 814-8240.
- The contractor is responsible for complying with the Noise and Vibration Regulatory Buffer Rule as established by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

- The applicant is responsible for avoiding impacts to federally protected species during project construction. Build signs, Michael's notes, smooth concrete, draft bridge, smooth, hardscape, and installed work items and an open access to the public. The applicant shall be responsible for avoiding impacts to the public. The applicant shall be responsible for avoiding impacts to the public. The applicant shall be responsible for avoiding impacts to the public.
- In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (contractor) group individually upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance, please contact Corey Salsbery by phone at 919-814-8240 ext. 227 or by email at csalsbery@ncdot.gov.

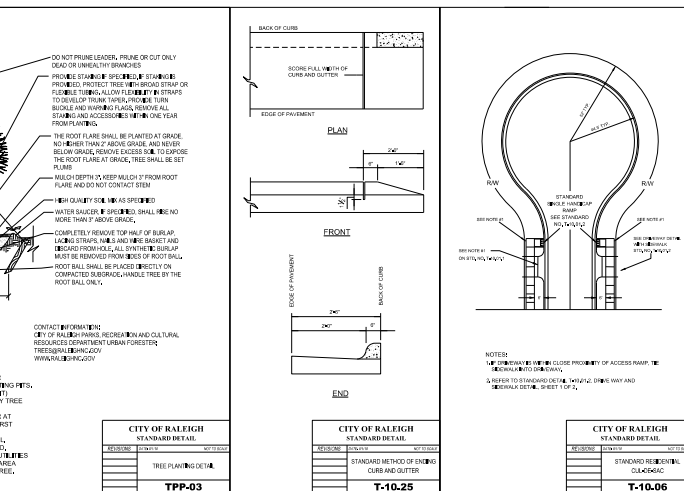
Sincerely,
J.R. Hargis
J.R. Hargis, PE
Division Engineer

JRH
Cc: Corey Salsbery, Roadside Environmental Engineer
File



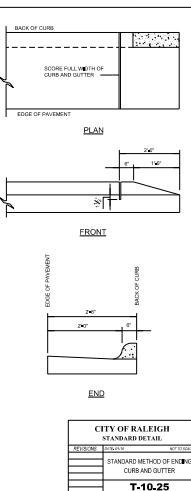
CITY OF RALEIGH
STANDARD DETAIL
CURB AND GUTTER
T-10-26.1

NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING AREAS. (SEE DETAIL T-10-26.1 FOR PLANTING AREAS).
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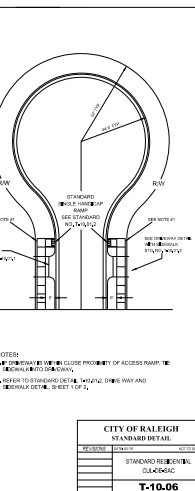
CITY OF RALEIGH
STANDARD DETAIL
TREE PLANTING
T-10-03

NOTES:
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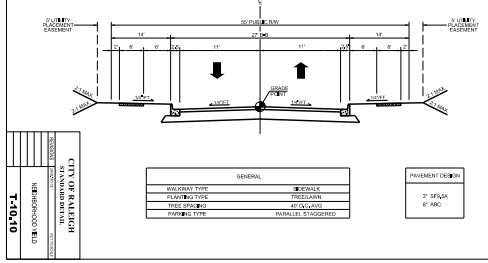
CITY OF RALEIGH
STANDARD DETAIL
SIDEWALK AND CURB
T-10-25

NOTES:
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CITY OF RALEIGH
STANDARD DETAIL
STREET AND CURB
T-10-06

NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING AREAS. (SEE DETAIL T-10-26.1 FOR PLANTING AREAS).
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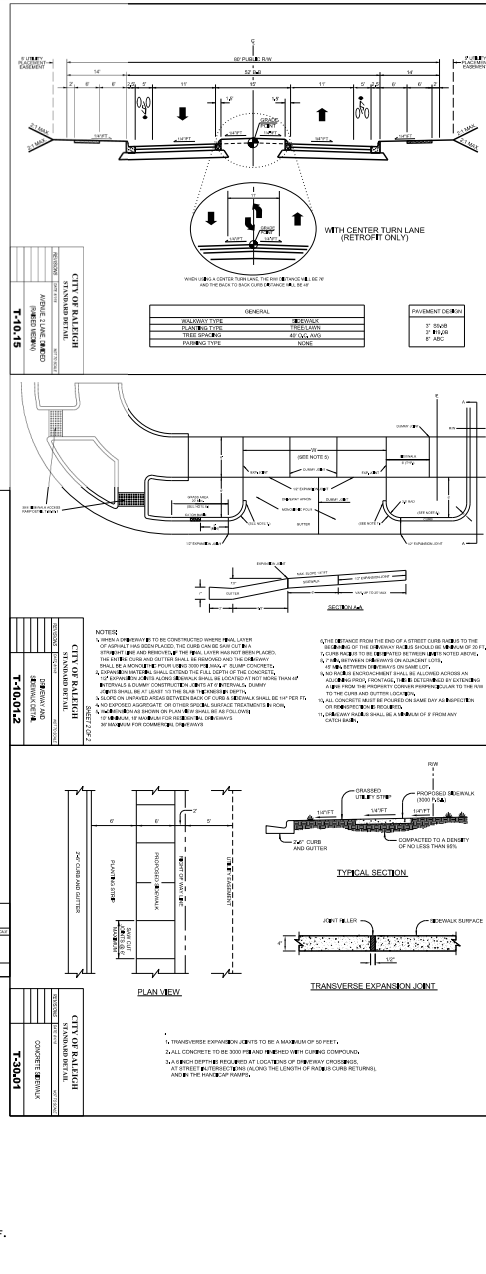


CITY OF RALEIGH
STANDARD DETAIL
CURB AND GUTTER
T-10-10

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- SITE NOTES:
- THE TOTAL AREA FOR DEVELOPMENT OF THE THREE LOTS EQUALS 36,800 SF - 0.826 AC. PER SECTION 9.2.2(A-2)(b), SUBJECT TO 4.0 OF PART 18A OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT OF ACTIVE STORMWATER MEASURES SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE.
 - THE SITE IS 0.826 ACRES, UNDER SECTION 9.1.3 OF THE UDO NO TREE CONSERVATION PLAN WILL BE REQUIRED.
 - EXISTING HOUSE, WALK AND DRIVEWAY STRUCTURES ARE TO BE REMOVED. A DEMOLITION PERMIT IS REQUIRED PRIOR TO THE APPROVAL OF A RECORDED PLAT. DEMO PERMIT NUMBER SHALL BE SHOWN ON ALL MAPS FOR RECORDING.
 - ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS.
 - THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY LINES NECESSARY TO PROVIDE SERVICE TO THESE SITES.
 - A TREE IMPACT PERMIT FEE IS REQUIRED WHEN LOT PLANS ARE SUBMITTED FOR BUILDING PERMIT IN ORDER TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED PER CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.

- A FEE-IN-LIEU FOR 6' OF SIDEWALK AND CURB AND GUTTER IS REQUIRED FOR THE ENTIRE FRONTAGE OF RAY RD. AND 6' OF SIDEWALK ALONG KAYTREE LN. A SURETY BOND IS REQUIRED FOR STREET PAVING OF KAYTREE LN. AND FOR THE PROPOSED STREET TREES INDICATED ON THE PLAN ALONG BOTH STREETS.
- A SURETY BOND IS REQUIRED FOR ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS PRIOR TO MAP RECORDATION. SEE RALEIGH STREET DESIGN MANUAL, SECTION 5.3.4. THE BOND LETTER OF CREDIT OR CERTIFIED CHECK IS REQUIRED FOR ALL INCOMPLETE PUBLIC IMPROVEMENTS BASED ON 125% OF ESTIMATED CONSTRUCTION COSTS PRIOR TO MAP RECORDATION. SEE RSDM SECTION 5.6.
- SUBDIVISION PLAN CREATES THREE LOTS.
- INFILL SUBDIVISION RULES MAY APPLY TO THIS DEVELOPMENT AS PER UDO SEC. 2.2.7.
- ANY EXISTING WATER OR SEWER COMPONENTS THAT ARE TO BE ABANDONED SHALL BE ABANDONED AS PER CORPUS STANDARDS - PUBLIC UTILITY HANDBOOK, PAGES 67 AND 125.
- THE ANTICIPATED AREA OF DISTURBANCE FOR THE EXISTING STRUCTURES DEMOLITION AND THE ROAD CONSTRUCTION IS 14,000 SF. A GRADING PERMIT IS REQUIRED PRIOR TO CONSTRUCTION THROUGH THE SPR PROCESS. ADDITIONAL GRADING PERMIT FOR DEMO ONLY MAY BE OBTAINED THROUGH THE MASS GRADING PROCESS.



CITY OF RALEIGH
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