



Administrative Approval Action

Case File / Name: SUB-0045-2022
DSLCL - 908 WILLIAMSON TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located east of St. Mary's Street and north of Wade Avenue on the northwest side of the intersection of Williamson Drive and Iredell Drive. The site is addressed as 908 Williamson Drive. It is zoned R-4.
- REQUEST:** Development of a 2.423 acre tract with 0.019 acres of right-of-way dedication leaving a net area of 2.403 acres for an 18 lot compact subdivision consisting of 17 townhome lots and one HOA common lot with 1.137 acres (47%) Open Space provided. An existing house on site is to be removed.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 17, 2025 by RDU Consulting, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
6. A tree impact permit must be obtained for the removal of 5 existing street trees in the right-of-way prior to the issuance of a grading permit.



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Demonstrate compliance with UDO Section 2.5.7. regarding ownership and management of Open Space.
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

3. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

7. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

8. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
10. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
11. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

12. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.24 acres of tree conservation area.
13. A public infrastructure surety for 15 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:



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Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. Tree impact permits must be obtained for the approved streetscape tree installations in the rights of way. This development proposes 8 street trees along Williamson Drive and 7 street trees along Iredell Drive for a total of 15 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and rights of way street trees by Urban Forestry Sta

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: April 4, 2028
Record at least ½ of the land area approved.

5-Year Sunset Date: April 4, 2030
Record entire subdivision.



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I hereby certify this administrative decision.

Signed: _____

Keegan.McDonald@raleighnc.gov

Digitally signed by Keegan.McDonald@raleighnc.gov
DN: E=Keegan.McDonald@raleighnc.gov,
CN=Keegan.McDonald@raleighnc.gov
Reason: I am approving this document
Date: 2025.04.04 12:43:34-0400

Development Services Dir/Designee

Date: 04/04/2025

Staff Coordinator: **Kasey Evans**



VICINITY MAP
1" = 400'

SITE DATA	
PROPERTY OWNER/DEVELOPER	908 WILLIAMSON, LLC 910 TRYON HILL DRIVE, SUITE 100 RALEIGH, NC 27603
SITE ADDRESS:	908 WILLIAMSON DRIVE
SITE AREA:	GROSS: 105,531 SF (2.423 AC.) RIGHT-OF-WAY DEDICATION: 846 SF (0.019 AC.) NET: 104,685 SF (2.403 AC.)
NET SITE AREA REQUIRED:	1 UNIT/8,000 SF
NET SITE AREA PROVIDED:	1 UNIT/8,157 SF
WAKE COUNTY PIN #:	1794365041
ZONING DISTRICT:	R-4
EXISTING USE:	DETACHED SINGLE FAMILY
PROPOSED USE:	TOWNHOME BUILDING TYPE - (17) 3-BEDROOM UNITS
STREET CLASSIFICATION:	WILLIAMSON DR - NEIGHBORHOOD YIELD IREDELL DR - NEIGHBORHOOD YIELD
STREETSCAPE REQUIRED:	NEIGHBORHOOD YIELD # PLANTING AREA # SIDEWALK
OPEN SPACE REQUIRED:	COMPACT SUBDIVISION - 1 ACRE MINIMUM (UDO 2.3.1.B) (60% MIN. CONTIGUOUS OPEN SPACE)
OPEN SPACE PROVIDED:	TOTAL: 49,518 SF (1.137 AC) CONTIGUOUS OPEN SPACE - 27,112 SF (61.7% CONTIGUOUS)
AMENITY AREA REQUIRED:	TOTAL: 5,234 SF (5%) ADA ACCESSIBLE: 2,617 SF (2.5%)
PROVIDED:	TOTAL: 22,496 SF (21.4%) ADA ACCESSIBLE: 2,617 SF (2.5%)

WILLIAMSON TOWNHOMES

COMPACT SUBDIVISION PLANS

SUB-0045-2022

RALEIGH, NORTH CAROLINA

MAY 16, 2022
REVISED SEPTEMBER 6, 2022
REVISED NOVEMBER 23, 2022
REVISED MARCH 17, 2025

THIS SUBDIVISION PLAN IS REGULATED BY THE CITY OF RALEIGH
UNIFIED DEVELOPMENT ORDINANCE, SUPPLEMENT 19.

INDEX	
CE-0.1	UDO EXCERPTS & INFILL EXHIBIT
CE-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
CE-2.0	SUBDIVISION PLAN
CE-2.1	SIGHT DISTANCE EXHIBIT
CE-3.0	UTILITY PLAN
CE-4.0	GRADING & DRAINAGE PLAN
CE-4.1	STORMWATER MANAGEMENT PLAN
LA-1	LANDSCAPE PLAN
TCA	TREE CONSERVATION PLAN

UDO SEC. 8.3.2.A BLOCK PERIMETER
THE LEAST RESTRICTIVE ZONING WITHIN THE BLOCK IS R-4 RESIDENTIAL. THEREFORE, IN ACCORDANCE WITH UDO 8.3.2.A.2.b, BLOCK PERIMETER IS NOT APPLICABLE DUE TO THE SITE AREA BEING 2.4 ACRES WHICH IS LESS THAN THE MIN. SITE AREA APPLICABILITY FOR R-4 ZONING.

UDO SEC. 8.3.5.D CROSS ACCESS
IN ACCORDANCE WITH UDO 8.3.5.D CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE TO THE PROPOSED DEVELOPMENT THE PRESENCE OF AN EXISTING DETACHED BUILDING TYPE ON ADJOINING PROPERTIES.

DEVELOPER:
CONCEPT 8 HOLDINGS, LLC
910 Tryon Hill Drive #100
Raleigh, NC 27603
919-601-5078
shawn@concepteight.com

CIVIL ENGINEER:
RDU
CONSULTING, PLLC

NC LICENSE P-2425
PHONE: 919-889-2614
EMAIL: JASON@RDUCONSULTING.COM
910 TRYON HILL DRIVE #100
RALEIGH, NC 27603

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE CITY OF RALEIGH SOLID WASTE MANUAL STANDARD 96 GAL ROLL OUT CONTAINERS WILL BE STORED WITHIN THE GARAGE AREA OF THE UNITS, AND ROLLED CURBSIDE FOR COLLECTION.

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2600



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to planning@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)	
Conventional Subdivision	<input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Development <input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	
GENERAL INFORMATION	
Scoping/sketch plan case number(s):	SCOPE-0115-2021
Development name (subject to approval):	908 Williamson Townhomes
Property Address(es):	908 Williamson Drive
Recorded Deed PIN(s):	1704365041
What is your project type?	<input type="checkbox"/> Single family Apartment <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other: <input type="checkbox"/> Attached houses
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Concept 8 Holdings, LLC	Owner/Developer Name and Title: Shawn Donovan, Member Manager
Address: 307 S. Salem Street Apex, NC 27502	
Phone #: 919-601-5078	Email: shawn@concepteight.com
APPLICANT INFORMATION	
Company: RDU Consulting, PLLC	Contact Name and Title: Jason G. Meadows, P.E.
	Address: P.O. Box 419 Clayton, NC 27528
Phone #: 919-889-2614	Email: jason@rduconsulting.com

Continue to page 2 >>

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage:	2.403 AC
Zoning districts (if more than one, provide acreage of each):	R-4
Overlay district: NA	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z:	Board of Adjustment (BOA) Case # A:
STORMWATER INFORMATION	
Existing Impervious Surface: Acreage: 0.016 AC Square Feet: 10,936 SF	Proposed Impervious Surface: Acreage: 1.146 AC Square Feet: 49,709 SF
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots:	
Proposed density for each zoning district (UDO 1.5.2.F):	1 Unit / 8,157 SF (Net Site Area)
Total # of open space and/or common area lots:	
Total # of requested lots:	18
SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <u>Jason G. Meadows</u> , will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Jason Meadows</u>	Date: <u>9/16/2022</u>
Printed Name: <u>Jason Meadows</u>	Date: _____
Printed Name: _____	Date: _____

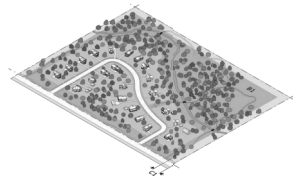
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raleighnc.gov

Article 2.3. Compact Development

Sec. 2.3.1. General Requirements



	R-1	R-2	R-4	R-6	R-10
A. Site					
A1 Density (max)	1 u/a				
B. Open Space					
B1 Open Space required (min acreage)	20% or 4 acres, whichever is greater	20% or 2 acres, 1 acre, 0.5 acres, whichever is greater	20% or 1 acre, 0.5 acres, whichever is greater	20% or 0.5 acres, 0.25 acres, whichever is greater	20% or 0.25 acres, 0.125 acres, whichever is greater
B2 Width of open space (min)	50'	50'	50'	50'	50'

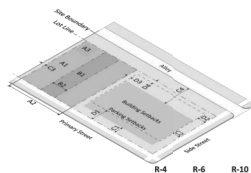
Supp. No. 19 2 - 15
Published May 2022

	R-1	R-2	R-4	R-6	R-10
C. Transitional Protective Yard	Type B1 or B2 Transitional Protective Yard (see Sec. 7.2.4.A) or perimeter lots must meet the dimensional standards of Article 2.2 Conventional Development Option of the district where the property is located.				
C1 Site boundary (min)					
D. Residential Unit Type (max)					
Detached house	100%	100%	100%	100%	100%
Attached house	n/a	100%	100%	100%	100%
Townhouse	n/a	n/a	100%	100%	100%
Apartment	n/a	n/a	n/a	n/a	100%

Part 10: Unified Development Ordinance
City of Raleigh, North Carolina

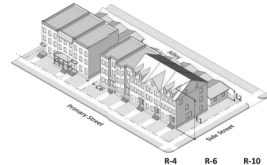
CHAPTER 2. RESIDENTIAL DISTRICTS | Article 2.3. Compact Development

Sec. 2.3.4. Townhouse¹



	R-4	R-6	R-10
A. Site Dimensions			
A1 Net site area/unit (min)	6,000 sf	3,500 sf	2,500 sf
A2 Width (min)	70'	52'	45'
A3 Outdoor amenity area (min) ²	5%	5%	5%
B. Lot Dimensions			
B1 Area (min)	n/a	n/a	n/a
B2 Width (min)	16'	16'	16'
C. Building/Structure Setbacks			
C1 From primary street (min)	20'	10'	10'
C2 From side street (min)	20'	10'	10'
C3 From side site boundary line	10'	10'	10'
C4 From rear site boundary line (min) ³	20'	20'	20'
C5 From alley ⁴	4' or 20' min, 4' or 20' min, 4' or 20' min		
C6 Internal building separation (min)	10'	10'	10'
C7 Residential lot rules may apply (see Sec. 2.2.7)	yes	yes	yes
D. Parking Setbacks⁵			
D1 From primary street (min)	20'	20'	20'
D2 From side street (min)	10'	10'	10'
D3 From side lot line (min)	0'	0'	0'
D4 From rear lot line (min)	3'	3'	3'

Supp. No. 19 2 - 18
Published May 2022



	R-4	R-6	R-10
D5 From alley, garage only (min)	4'	4'	4'
D6 Residential lot rules may apply (see Sec. 2.2.7)	yes	yes	yes
E. Height			
E1 Principal building (max)	45/3 stories	45/3 stories	45/3 stories
E2 Accessory structure (max)	25'	25'	25'
E3 Residential lot rules may apply (see Sec. 2.2.7)	yes	yes	yes

¹A townhouse development containing only two dwelling units shall be regulated by the standards of Sec. 2.3.3. Attached townhouses shall be regulated by the standards of Sec. 2.3.3.A.1. Attached townhouses shall be a minimum site area per unit of one-half the minimum lot area specified in 2.3.3.A.1. It is required. (b) Sec. 2.3.4.B. shall still control provided a minimum site width equal to the dimension specified by Sec. 2.3.3.A.2. is met and (c) Sec. 2.3.3.B. shall only apply to the non-party wall side lot line.

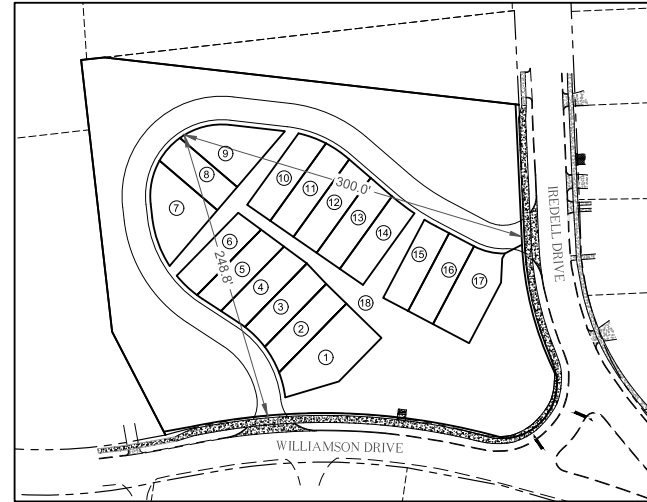
²Outdoor amenity meeting the requirements of Sec. 1.5.3. may overlap with required open space.

³A permanently recorded open lot or common area lot of at least 20 feet in width may be used to satisfy Sec. 2.3.4.C.

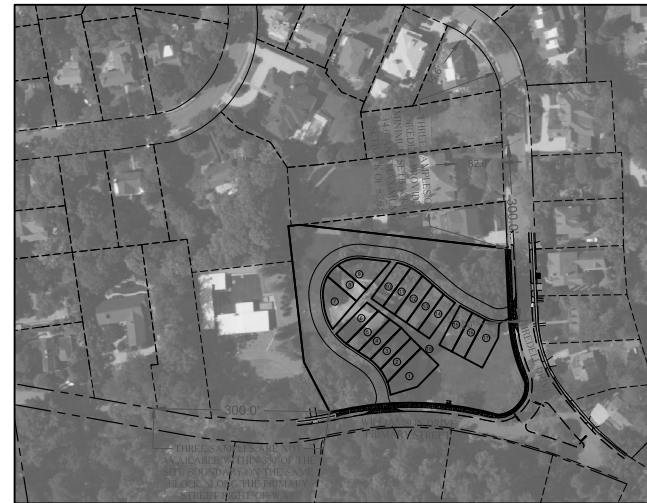
⁴Garages (or a portion thereof) must either be located 4 feet from the travel lane of an alley or rear access drive or be a minimum of 20 feet from the travel lane of an alley or rear access drive. When parking spaces are located between the garage and the alley or rear access drive, the garage must be located at least 20 feet from the travel lane alley or rear access drive.

⁵Parking setbacks shall not apply to driveways serving individual dwelling units or shared between two dwelling units.

Part 10: Unified Development Ordinance
City of Raleigh, North Carolina



SITE ACCESS EXHIBIT
SCALE: 1" = 50'



INFILL EXHIBIT
SCALE: 1" = 100'

910 TRYON HILL DRIVE #100
RALEIGH, NC 27603

WILLIAMSON TOWNHOMES
(SUB-0045-2022)

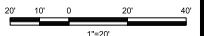
PRELIMINARY SUBDIVISION

LEGEND

SM	BOOK OF MAPS
DB	DEED BOOK
PC	PAGE
R/W	RIGHT OF WAY
EP	EXISTING IRON PIPE
IPS	IRON PIPE SET
SS	SANITARY SEWER
MS	SANITARY SEWER CLEAN OUT
MH	MANHOLE
WV	WATER VALVE
CC	CONCRETE
WM	WATER METER
LP	LEFT POLE
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
CB	CATCH BASIN
RP	POWER POLE
DI	DROP INLET

---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	STORM PIPE
---	SANITARY SEWER LINE
---	OVERHEAD POWER
---	EASEMENT LINE
---	FENCE LINE

⊠	CATV
⊙	GW
⊙	MW
⊙	LPL
⊙	CO
⊙	PP
⊙	WV
⊙	SSMH
⊙	TP

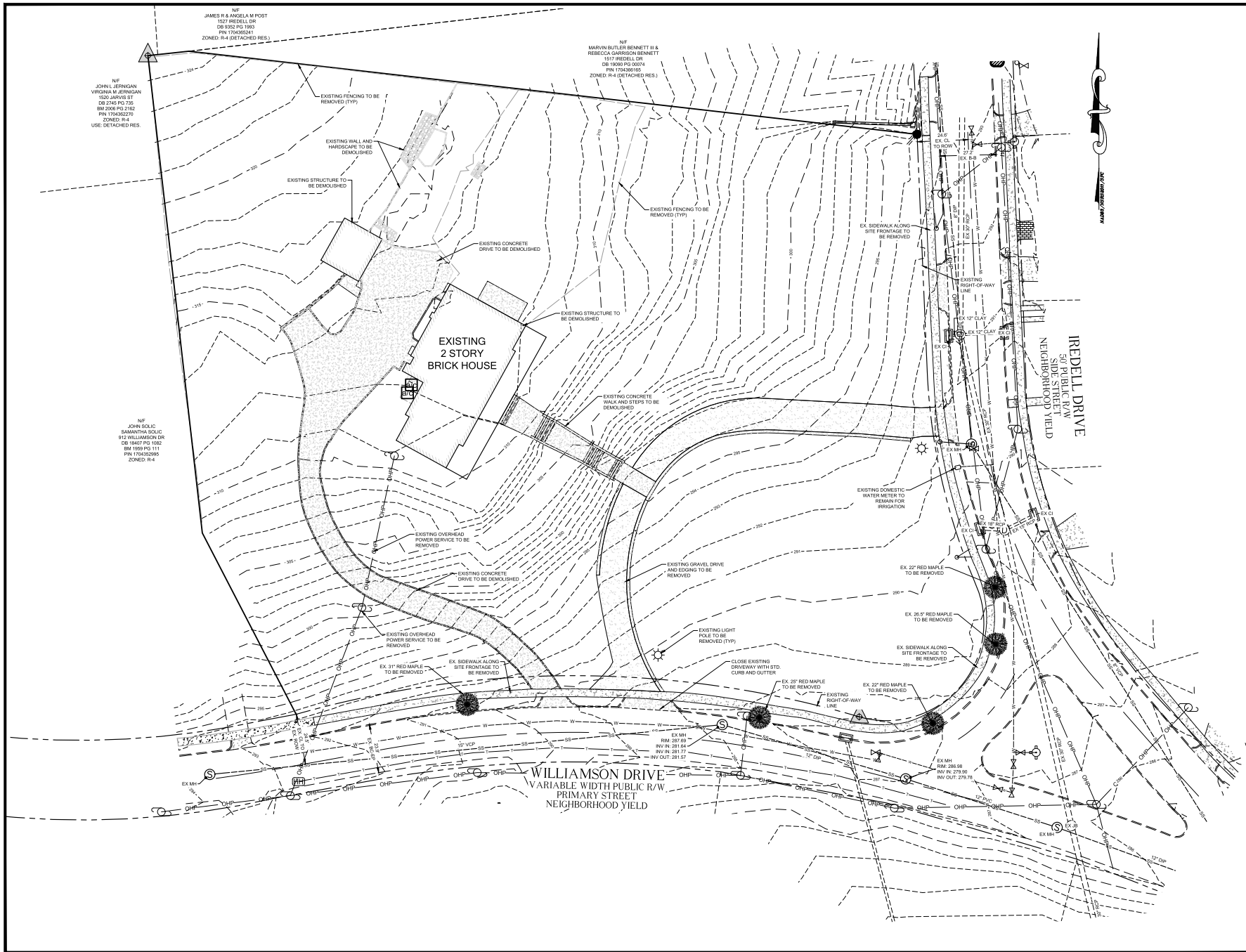


Number	Description	Date
1	CITY OF RALEIGH COMMENTS	8/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	03/17/23

Drawing Title
UDO EXCERPTS & INFILL EXHIBIT

Sheet Number
CE-0.1

Date Issued 01/14/2023



RDU
CONSULTING, PLLC

NC LICENSE P-2125
PHONE: 919-889-9511
EMAIL: JASON@RDU-CONSULTING.COM

910 TRYLE HILL DRIVE #100
RALEIGH, NC 27603

WILLIAMSON TOWNHOMES (SUB-0045-2022)

PRELIMINARY SUBDIVISION

LEGEND

BM	BOOK OF MAPS
DE	DEED BOOK
PG	PAGE
R/W	RIGHT OF WAY
EX	EXISTING IRON PIPE
IP	IRON PIPE
SS	SANITARY SEWER
CS	SANITARY SEWER CLEAN OUT
MH	MANHOLE
WV	WATER VALVE
CONC	CONCRETE
WM	WATER METER
LP	LIGHT POLE
TP	TELEPHONE PEDIESTAL
FH	FIRE HYDRANT
CB	CATCH BASIN
PP	POWER POLE
DI	DROP INLET

---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	STORM PIPES
---	SANITARY SEWER LINE
---	OVERHEAD POWER
---	EASEMENT LINE
---	FENCE LINE

⊠	CATV
⊙	GW
⊙	MW
⊙	PP
⊙	RV
⊙	SSMH
⊙	TP



Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	9/31/23

EXISTING CONDITIONS & DEMOLITION PLAN

Sheet Number
CE-1.0

Date Issued: 11/14/2025

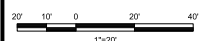
LEGEND

BM	BOOK OF MAPS
DB	DEED OR PLOK
PG	PAGE
R/W	RIGHT OF WAY
IRP	EXISTING IRON PIPE
SIP	IRON PIPE
SS	SANITARY SEWER
CS	SANITARY SEWER CLEAN OUT
MH	MANHOLE
WM	WATER METER
CONC	CONCRETE
WM	WATER METER
LP	LIGHT POLE
TP	TELEPHONE PEDESTAL
PH	FIRE HYDRANT
CB	CATCH BASIN
PP	POWER POLE
DI	DROP INLET

---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	STORM PIPE
---	SANITARY SEWER LINE
---	OVERHEAD POWER EASEMENT LINE
---	FENCE LINE

⊙	CATV
⊙	FH
⊙	LP
⊙	MW
⊙	PP
⊙	TP
⊙	SMH

□	OPEN SPACE
■	AMENITY AREA
■	CONCRETE
■	TREE CONSERVATION AREA



1"=20'

Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	9/31/23

Drawing Title
SUBDIVISION PLAN

Sheet Number
CE-2.0

Date Issued 11/14/2025

Table 1: Trip Generation

Land Use	Daily	AM Peak Hour		PM Peak Hour		
		Total	Enter	Total	Enter	
*12: Single Family Attached	17	8	2	6	4	4
Total	17	8	2	6	4	4

References: Trip Generation Manual, 2nd Edition, Institute of Transportation Engineers, September 2002.
*12: All applicable code regulations should be used. However, codes were used to determine trip generation.

- GENERAL NOTES:**
1. OUTDOOR AMENITY AREA DOES NOT INCLUDE AREAS DESIGNATED AS TREE CONSERVATION OR TRANSITIONAL PROTECTIVE YARD AREAS.
 2. WHERE OUTDOOR AMENITY AREAS OVERLAP WITH OPEN SPACE, THE AREAS COMPLY WITH UDO SEC. 1.5.3 AND UDO ARTICLE 2.5.



LINE TABLE

LINE #	LENGTH	DIRECTION
L1	51.90'	S44°2'40"W
L2	47.60'	S73°28'21"W
L4	41.60'	S46°38'14"E
L4	62.09'	S44°21'46"W
L7	75.00'	S44°21'46"W
L8	24.00'	S46°38'14"E
L8	75.00'	S44°21'46"W
L9	24.00'	S43°22'29"E

LINE TABLE

LINE #	LENGTH	DIRECTION
L11	18.23'	N06°45'09"W
L14	76.84'	S44°21'46"W
L13	24.23'	S53°34'29"E
L14	18.80'	N06°45'09"W
L15	78.00'	S44°21'46"W
L16	24.23'	S53°34'29"E
L17	74.98'	M44°21'46"E
L18	24.23'	S53°34'29"E

LINE TABLE

LINE #	LENGTH	DIRECTION
L19	82.57'	S40°33'21"W
L20	24.00'	N50°20'34"W
L21	26.00'	S40°33'21"W
L22	44.22'	S49°28'39"E
L23	62.57'	N40°33'21"E
L24	47.18'	N83°23'12"W
L25	75.00'	N50°20'34"W
L26	24.00'	N55°20'34"W

LINE TABLE

LINE #	LENGTH	DIRECTION
L27	81.20'	S35°45'07"W
L28	24.00'	N50°20'34"W
L29	81.30'	S35°45'07"W
L30	24.00'	N50°20'34"W
L31	78.75'	N30°45'07"E
L32	24.00'	S49°13'42"E
L33	24.00'	N50°20'34"W
L34	78.75'	S35°45'07"W

LINE TABLE

LINE #	LENGTH	DIRECTION
L35	24.00'	S49°13'42"E
L36	24.00'	N50°20'34"W
L37	75.11'	S35°45'07"W
L38	75.32'	N27°48'59"E
L39	24.00'	N52°10'54"W
L40	24.00'	N52°10'54"W
L41	75.00'	S27°48'59"W
L42	12.57'	S62°10'54"E
L43	24.00'	N52°10'54"W

LINE TABLE

LINE #	LENGTH	DIRECTION
L44	75.00'	S27°48'59"W
L45	24.00'	N50°20'34"W
L46	34.80'	S50°11'32"E
L47	58.30'	N27°48'59"E
L48	20.58'	N02°46'10"E
L49	4.80'	N27°48'59"E
L50	16.42'	N62°51'44"E
L51	11.30'	N46°30'04"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	116.70'	277.60'	024°06'40"	115.93'	S14°42'44"E
C2	76.64'	47.27'	082°54'02"	68.52'	S30°19'51"W
C3	118.07'	559.80'	012°00'00"	117.80'	N01°28'30"W
C4	59.71'	491.80'	008°07'23"	59.67'	S80°25'41"W
C5	78.90'	559.80'	008°04'50"	78.89'	S80°19'57"W
C6	21.94'	89.00'	014°07'22"	21.88'	N14°02'27"W
C7	25.11'	89.00'	010°09'00"	25.02'	N20°11'03"W
C8	24.07'	89.00'	010°29'00"	24.00'	N40°09'58"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C9	6.19'	89.00'	000°59'13"	6.19'	N54°43'00"W
C10	5.48'	96.00'	003°19'08"	5.48'	N50°07'00"W
C11	24.00'	96.00'	014°21'45"	24.00'	N46°18'00"W
C12	44.37'	96.00'	008°28'53"	43.98'	N19°44'30"W
C13	38.42'	61.15'	035°56'20"	37.79'	N11°32'33"E
C14	26.21'	60.41'	024°51'37"	26.01'	N41°53'39"E
C15	45.94'	61.15'	042°12'12"	44.03'	S75°21'29"W
C16	25.01'	96.00'	014°52'27"	24.94'	S69°59'20"E

CURVE TABLE

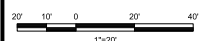
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C17	24.07'	96.00'	014°21'51"	24.00'	S52°20'41"E
C18	24.02'	204.00'	004°44'40"	24.01'	S52°40'30"E
C20	11.44'	143.63'	004°33'47"	11.43'	S60°34'33"E
C21	27.25'	63.92'	028°57'42"	26.97'	N09°42'40"W

LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
R/W	RIGHT OF WAY
EP	EXISTING IRON PIPE
IP	IRON PIPE
SS	SANITARY SEWER
CS	SANITARY SEWER CLEAN OUT
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---	FENCE LINE

	CATV		FH		LP		MV		SMH
	CW		MW		PP		TP		



Revisions

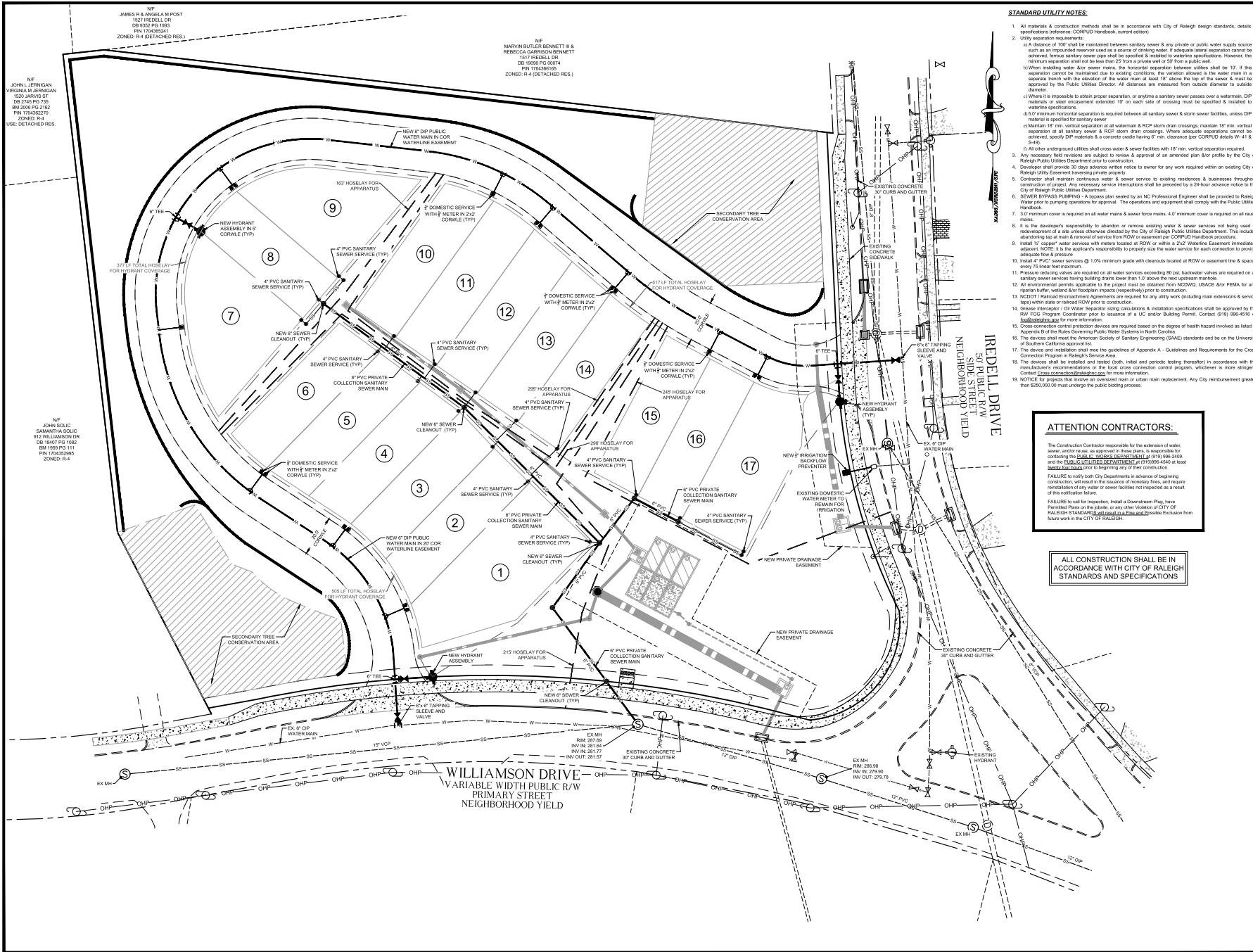
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	9/17/23

Drawing Title
**SIGHT DISTANCE
 EXHIBIT**

Sheet Number
CE-2.1

Date Issued 01/14/2025





STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - a) A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, sanitary sewer pipe shall be specified & installed to wastewater specifications. However, the minimum separation shall be less than 20' from a private well or 50' from a public well.
 - b) When installing water A/C sewer mains, the horizontal separation between utilities shall be 12'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main is to be a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c) Where it is impossible to obtain proper separation, or installing a sanitary sewer passes over a watermain, DP materials or steel encasement installed 10' on each side of crossing must be specified & installed to weather specifications.
 - d) 5'0" minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DP material is specified for sanitary sewer.
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings, maintain 18" min. vertical separation of all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DP materials & concrete encasement having 1" min. clearance (per CORPUD details W. 41 & 42).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan A/C profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement bearing greater priority.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER SPILLS PREVENTION: A Spill-prevention plan needed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 3/8" minimum cover is required on all water mains & sewer facilities & 4"0" minimum cover is required on all manholes.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in subsequent phases of site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedures.
- Install 10' deeper water services with meters located at ROW or within a 2'x2' Waterline Easement (whichever is adjacent). NOTE: It is the contractor's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75' shall meet minimum.
- Pressure reducing valves are required on all water services exceeding 80 psi. Backwater valves are required on all sanitary sewer services having building drains lower than 17' above the next upstream manhole.
- All environmental permits applicable to this project must be obtained from NCEM, USACE & FEMA for any riparian buffer, wetland & floodplain impacts (immediately) prior to construction.
- NCDOT (Traffic Engineering) permits are required for any utility work (including main extensions & service taps) within state or federal ROW prior to construction.
- Crosses necessary / or Water Separator using calculations & installation specifications shall be approved by the RW FGD Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or rdg@raleighnc.gov for more information.
- Cross connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
- The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approved list.
- The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh and be tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact CrossConn@raleighnc.gov for more information.
- NOTICE: For projects that involve an oversized main or urban main replacement, any City reimbursement greater than \$200,000.00 must undergo the public bidding process.

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the installation of water sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4508 and the Public Utilities Department at (919) 996-4540 at least 30 days in advance of beginning any of the following work:

- Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
- Failure to call in inspection, install a Department Plug, have Permitted Plans on the plate, or any other violation of CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, shall result in a Fine and/or Double Exclosure from future work in the CITY OF RALEIGH.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS



NC LICENSE P-2125
PHONE: 919-889-9514
EMAIL: JAS@RDUCONSULTING.COM

910 TRYON HILL DRIVE #100
RALEIGH, NC 27603

WILLIAMSON TOWNHOMES (SUB-0045-2022)

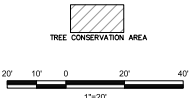
PRELIMINARY SUBDIVISION

LEGEND:

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PG	PAGE
R/W	RIGHT OF WAY
EX	EXISTING IRON PIPE
SP	SEWER MAIN
SS	SANITARY SEWER
SM	SANITARY SEWER CLEAN OUT
MH	MANHOLE
WV	WATER VALVE
CONC	CONCRETE
WM	WATER METER
LP	LIGHT POLE
TP	TELEPHONE PEDESTAL
PH	FIRE HYDRANT
CB	CATCH BASIN
GP	POWER POLE
DI	DROP INLET

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---	EASEMENT LINE
---	FENCE LINE

⊗	CATV
⊙	GW
⊕	MW
⊙	LP
⊕	MV
⊙	SMH
⊕	TP



Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	03/17/23

UTILITY PLAN

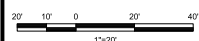
Sheet Number: **CE-3.0**
Date Issued: 01/14/2025

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IP	IRON PIPE
SS	SANITARY SEWER
CS	SANITARY SEWER CLEAN OUT
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⊙	FH
⊙	LP
⊙	MV
⊙	SMH
⊙	GW
⊙	MW
⊙	PP
⊙	TP



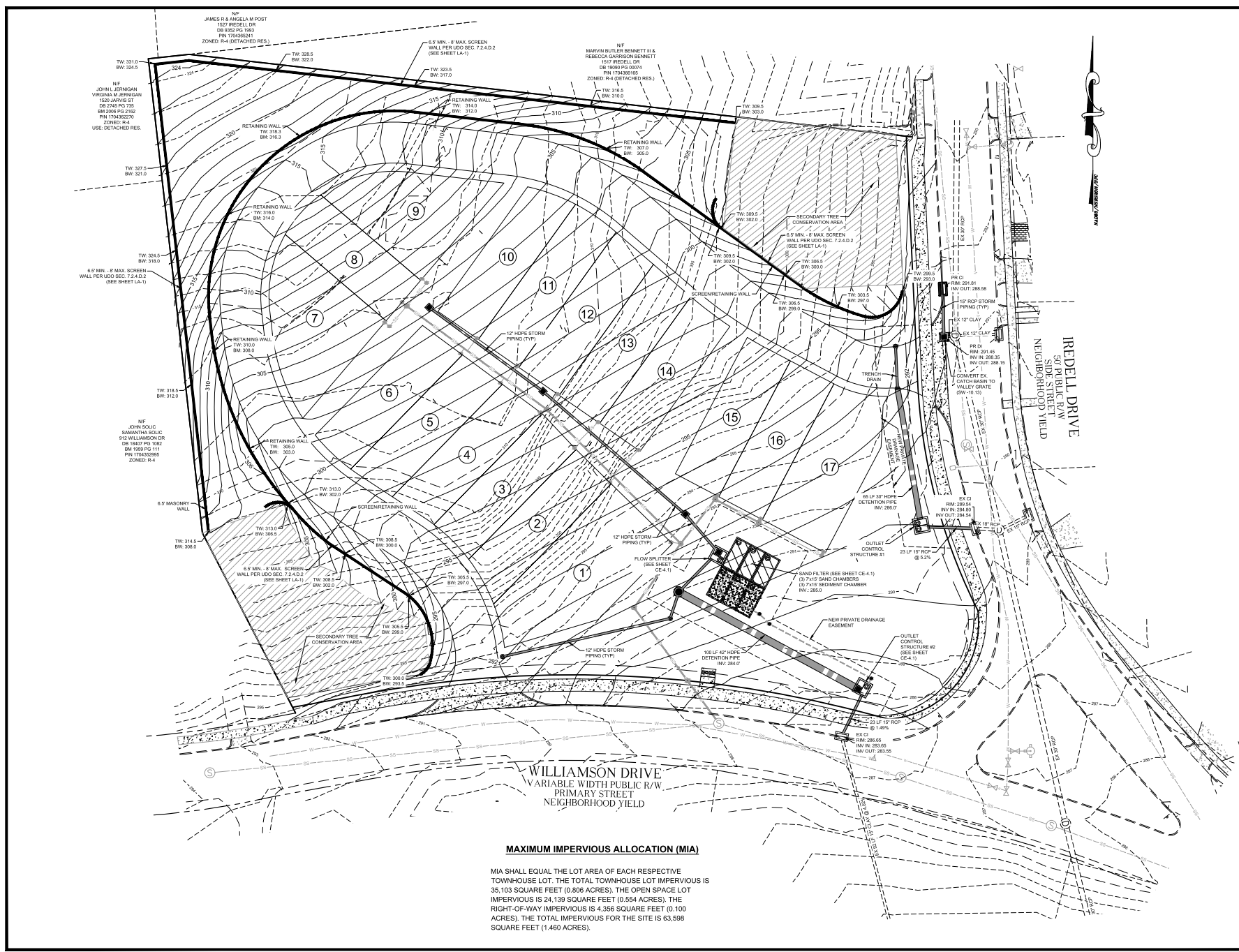
Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	9/31/23

GRADING & DRAINAGE
PLAN

Sheet Number
CE-4.0

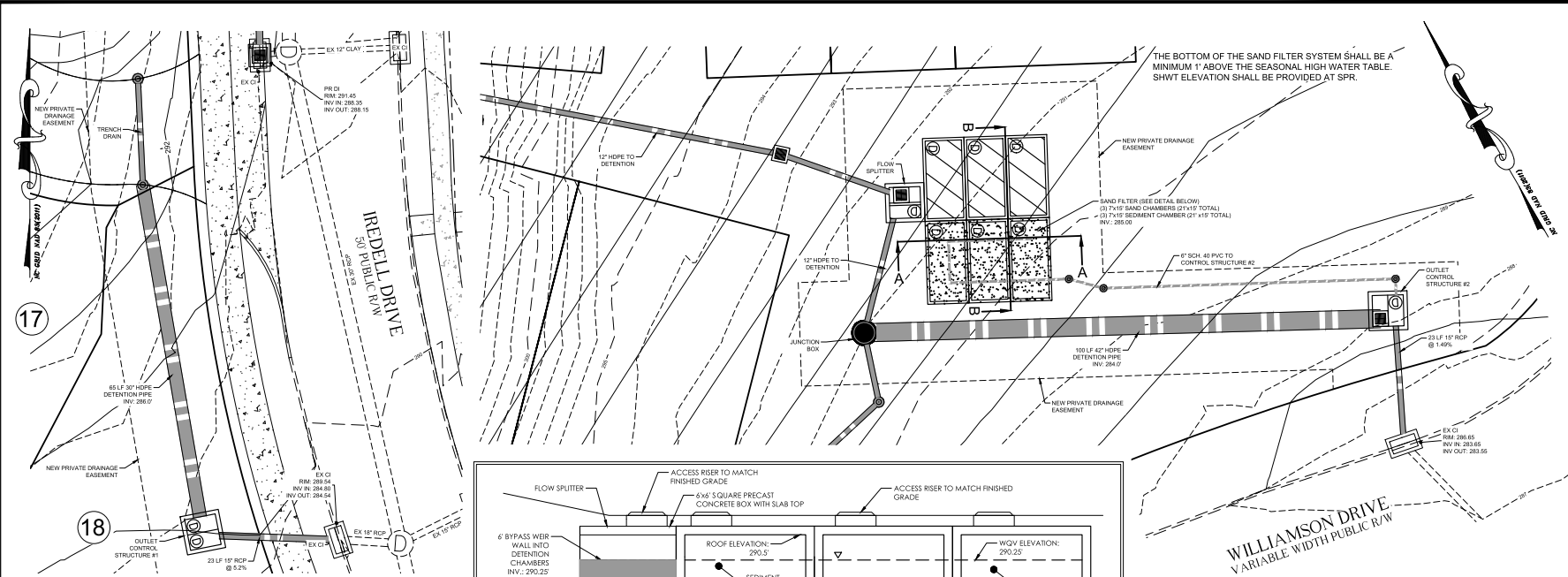
Date Issued: 11/14/2025



WILLIAMSON DRIVE
VARIABLE WIDTH PUBLIC R/W
PRIMARY STREET
NEIGHBORHOOD YIELD

MAXIMUM IMPERVIOUS ALLOCATION (MIA)

MIA SHALL EQUAL THE LOT AREA OF EACH RESPECTIVE TOWNHOUSE LOT. THE TOTAL TOWNHOUSE LOT IMPERVIOUS IS 35,103 SQUARE FEET (0.806 ACRES). THE OPEN SPACE LOT IMPERVIOUS IS 24,139 SQUARE FEET (0.554 ACRES). THE RIGHT-OF-WAY IMPERVIOUS IS 4,356 SQUARE FEET (0.100 ACRES). THE TOTAL IMPERVIOUS FOR THE SITE IS 63,598 SQUARE FEET (1.460 ACRES).



LEGEND

BM	BOOK OF MAPS
DE	DEED OR WAY
PG	PAGE
R/W	RIGHT OF WAY
EX	EXISTING IRON PIPE
IP	IRON PIPE
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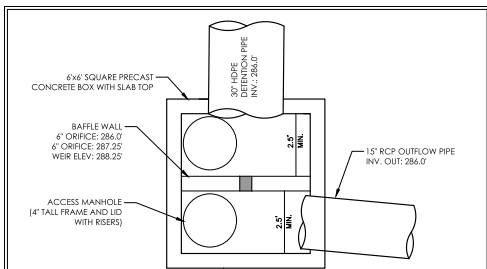
Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	9/31/23

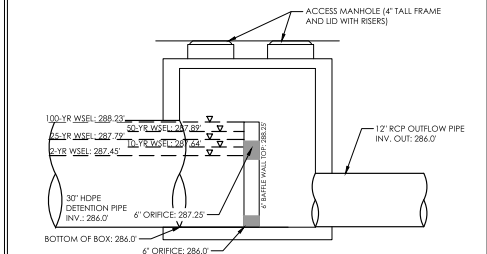
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Sheet Number: **CE-4.1**

Date Issued: 11/14/2025

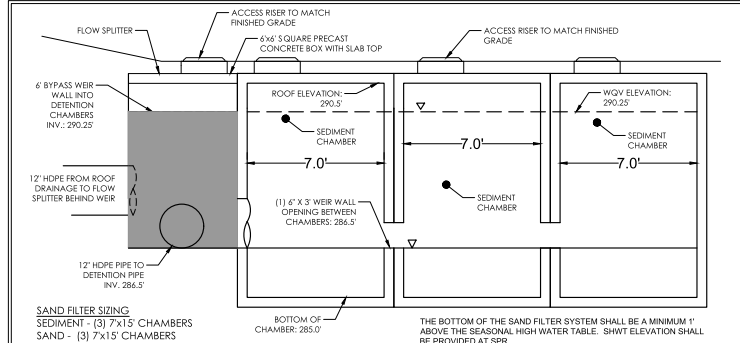


PLAN VIEW

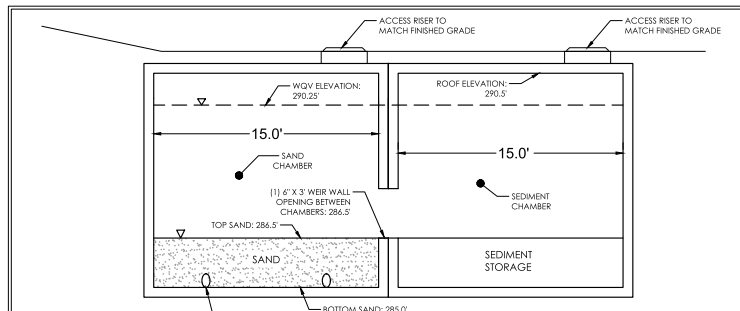


BOX SECTION VIEW

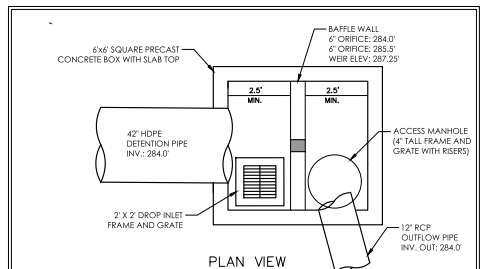
CONTROL STRUCTURE #1 SCHEMATIC
NOT TO SCALE



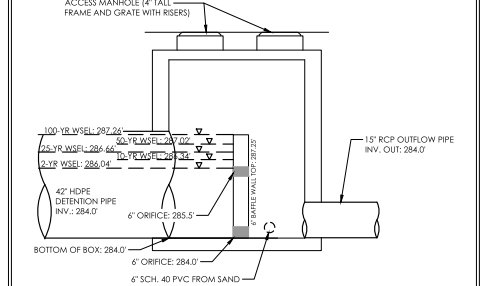
SECTION AA: FLOW SPLITTER / SEDIMENT CHAMBER SCHEMATIC
NOT TO SCALE



SECTION BB: FLOW SPLITTER / SEDIMENT CHAMBER SCHEMATIC
NOT TO SCALE



PLAN VIEW



BOX SECTION VIEW

CONTROL STRUCTURE #2 SCHEMATIC
NOT TO SCALE

THE BOTTOM OF THE SAND FILTER SYSTEM SHALL BE A MINIMUM 1' ABOVE THE SEASONAL HIGH WATER TABLE. SHWT ELEVATION SHALL BE PROVIDED AT SPR.

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LEGEND

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PC	PAGE
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IP	IRON PIPE
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⊙ CATV	⊙ FH	⊙ LP	⊙ MV	⊙ SSMH
⊙ CW	⊙ MW	⊙ PP	⊙ TP	

[Pattern]	TYPE B1 TRANSITIONAL PROTECTIVE YARD
[Pattern]	CONCRETE
[Pattern]	TREE CONSERVATION AREA



Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/8/22
2	CITY OF RALEIGH COMMENTS	11/23/22
3	SUBDIVISION PLAN REVISION	9/31/23

PLANT SCHEDULE

KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	MATURE HT/SPREAD	REMARKS
Cc	Eastern Redbud, <i>Cercis canadensis</i>	1.5" Cal. @ HT.	CON7 / B & B	20-30' HT / 20-30' SPREAD	SINGLE STEM
Lt	Tulip Poplar, <i>Liriodendron tulipifera</i>	3" Cal. @ HT.	CON7 / B & B	70-90' HT / 35-50' SPREAD	SINGLE STEM

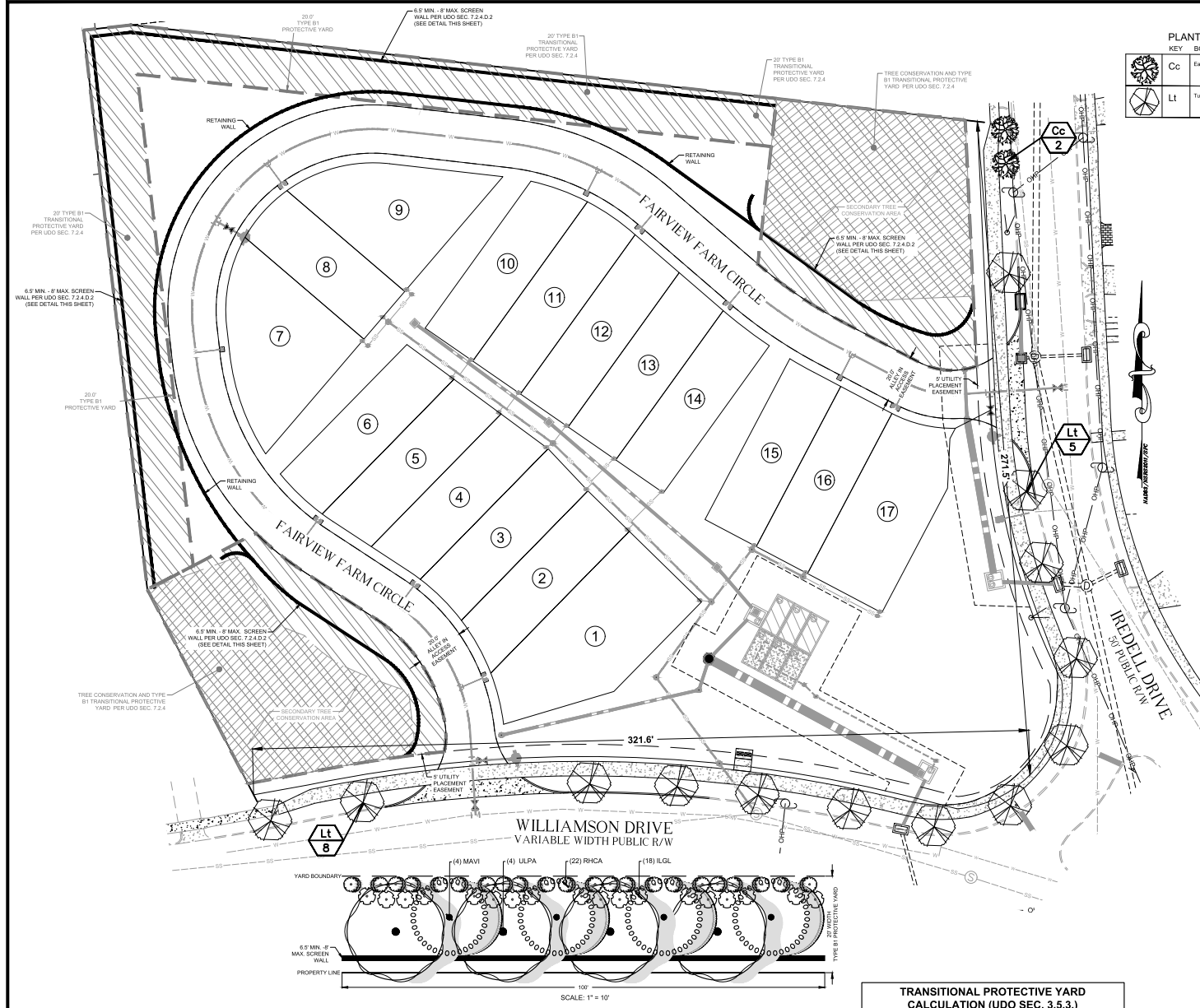
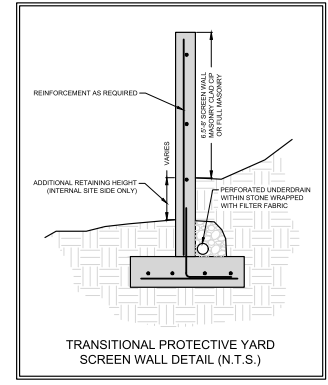
City of Raleigh Planting Requirements:

STREET TREES:

- WILLIAMSON DRIVE: 321.6 LF
Provided: (8) 3" Caliper tree ~40 spacing
- IREDELL DRIVE: 271.5 LF
Provided: (5) 3" Caliper tree ~40 spacing
(2) 1.5" Caliper tree ~20 spacing

NOTES:

- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.
- STREET TREES SHALL BE MAINTAINED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



PLANT SCHEDULE: 20' AVERAGE WIDTH TYPE B1 PROTECTIVE YARD (PER 100LF)

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPAC	MATURE SIZE
MAVI	4	MAGNOLIA VIRGINIANA (UNDERSTORY TREE)	SWEETBAY MAGNOLIA	8/8	1.5" CAL./8'-8" HT.	A1	10'-35" TALL, 10'-35" WIDE
ULPA	4	ULMUS PARVIFOLIA (SHADE TREE)	CHINESE ELM	8/8	3" CAL./10'-12" HT.	A1	40'-50" TALL, 40'-50" WIDE

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPAC
RHCA	22	RHOODODENDRON CATAWBIENSE	CATAWBA RHOODODENDRON	3 GAL	18"-24" HT.	A1
ILGL	19	ILEX GLABRA	HAWTHORN HOLLY	3 GAL	18"-24" HT.	A1

TRANSITIONAL PROTECTIVE YARD CALCULATION (UDO SEC. 3.5.3.)

20' TYPE B1 PROTECTIVE YARD	REQUIRED	PROVIDED
PROTECTIVE YARD FEATURE		
OPAQUE WALL (6.5' - 8' HT)	702 LF	702 LF
4 SHADE TREES / 100 LF	28.08	28
4 UNDERSTORY TREES / 100 LF	28.08	28
40 SHRUBS / 100 LF	280.80	281



821 Wake Forest Road
Raleigh, NC 27604 |
919.883.3394

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

Project Name: Williamson Subdivision

Gross Site Acres:	2.42	ac
Right-of-way to be dedicated with this project:	0.02	ac
Net Site Acres:	2.40	ac

UDO 9.1.4.A. Primary Tree Conservation Areas	Number of Acres	Percent of Total
1. Primary Tree Conservation Area - 18"DBH 1"	0.00	0%
2. Primary Tree Conservation Area - Parkway Frontage	0.00	0%
3. Primary Tree Conservation Area - CM	0.00	0%
4. Primary Tree Conservation Area - MPOD	0.00	0%
5. Primary Tree Conservation Area - Champion Tree "XX" db species	0.00	0%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.00	0%
7. Primary Tree Conservation Area - 45% Slopes	0.00	0%
8. Primary Tree Conservation Area - Throughway	0.00	0%
Subtotal of Primary Tree Conservation Areas:	0.00	0%

UDO 9.1.4.B.2 Tree Conservation Area - Greenway

0.00	0%
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UDO 9.1.4.B.1.a & b. Secondary Tree Conservation Areas
(Include perimeter buffers and their alternate compliance areas)

0.26	10.83%
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UDO 9.1.4.B.1.c & d. Individual Tree Secondary Tree Conservation Areas
(Include individual trees and their alternate compliance areas)

0.26	10.83%
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TOTAL ALL TREE CONSERVATION AREA PROVIDED:

0.26	10.83%
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UDO 9.1.5 Watershed Protection Overlay Districts

WMPD - Flooded Area (preserved)	0.00	0%
WMPD - Flooded Area (altered)	0.00	0%
FMPD - Flooded Area (preserved)	0.00	0%
FMPD - Flooded Area (altered)	0.00	0%
SMPD - Flooded Area (preserved)	0.00	0%
SMPD - Flooded Area (altered)	0.00	0%

TREE COVER REPORT

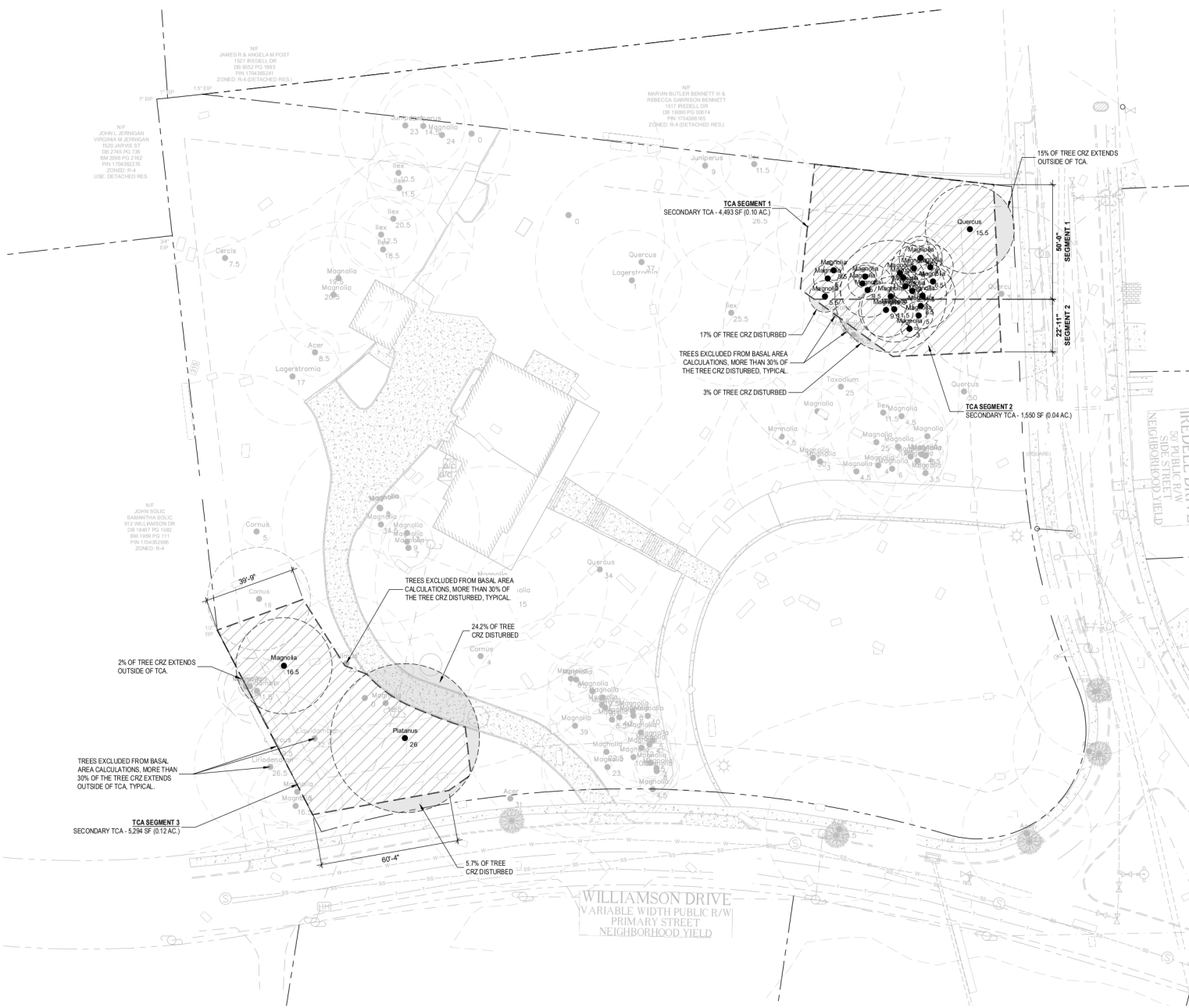
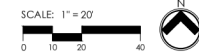
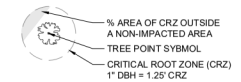
Segment 1		
Type	DBH	Basal Area
Magnolia	3.5	0.07
Magnolia	5	0.14
Magnolia	5	0.14
Magnolia	5.5	0.16
Magnolia	4	0.09
Magnolia	5	0.14
Quercus	15.5	1.31
Magnolia	9.5	0.49
Magnolia	19.5	2.07
Magnolia	6.5	0.23
Magnolia	5	0.14
Magnolia	7.5	0.31
Magnolia	3.5	0.07
Magnolia	11.5	0.72
Magnolia	8	0.35
Magnolia	8	0.35
Magnolia	6	0.20
Magnolia	6.5	0.23
Magnolia	7	0.27
TOTAL BASAL AREA	7.45	
BASAL AREA/ACRE	72.27	

Segment 2		
Type	DBH	Basal Area
Magnolia	5	0.14
Magnolia	9.5	0.49
Magnolia	11.5	0.72
Magnolia	9	0.35
Magnolia	8.5	0.39
TOTAL BASAL AREA	1.79	
BASAL AREA/ACRE	50.37	

Segment 3		
Type	DBH	Basal Area
Platanus	26	3.69
Magnolia	16.5	1.48
TOTAL BASAL AREA	5.17	
BASAL AREA/ACRE	42.50	

TCA REQUIRED TCA: 10,454 SF (10%)
PROPOSED TCA: 11,337 SF (10.83%)

TCA SUMMARY TABLE					
SITE AREAS		PROPOSED TCA AREA			
AREA (ACRES)	AREA #	TYPE	AC		
2.42	GROSS	SEGMENT 1	SECONDARY	0.10	
0.02	ROW/RED	SEGMENT 2	SECONDARY	0.04	
2.40	NET	SEGMENT 3	SECONDARY	0.12	
		TOTAL PROPOSED TCA (AC)			0.26
		TOTAL PROPOSED TCA (SF)			11,337.00



908 WILLIAMSON DRIVE
NATHAN SINGERMAN
908 Williamson Drive Raleigh, NC

PROJECT NUMBER:
21040
PRELIMINARY
SUBDIVISION
DATE: 03.17.2025

SHEET TITLE:
TCA PLAN

SHEET NUMBER:
TCA