

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es):				
Recorded Deed PIN(s):				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names:	
Company:	Title:
Address:	
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage:			
Zoning districts (if more than one, provide acreage of each):			
Overlay district(s):	Inside City Limits?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
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NUMBER OF LOTS AND DENSITY

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F):		

APPLICANT SIGNATURE BLOCK

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The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Kacie Witt</i>	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

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Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

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# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F):		

APPLICANT SIGNATURE BLOCK

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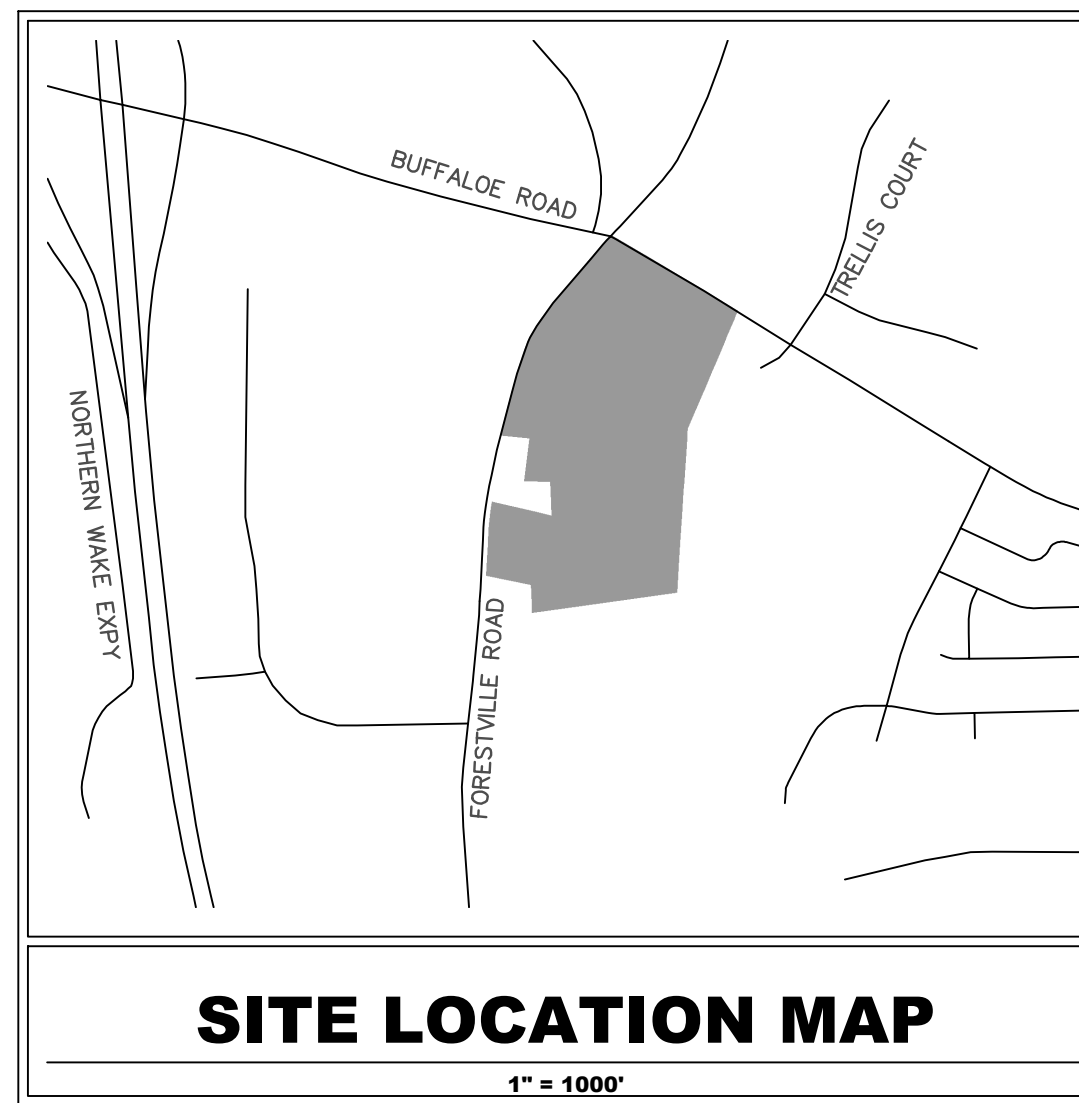
Signature: <i>Kacie Witt</i>	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

PRELIMINARY SUBDIVISION PLANS FOR YARDLY BUFFALOE VILLAGE

BUFFALOE ROAD RALEIGH, WAKE COUNTY, NORTH CAROLINA

#SUB-XXXX-XXXX

FORMERLY REVIEWED UNDER #SUB-0034-2023



KIMLEY-HORN SHALL HAVE NO LIABILITY WHATSOEVER FOR ANY COSTS ARISING OUT OF THE CLIENT'S DECISION TO OBTAIN BIDS OR PROCEED WITH CONSTRUCTION BEFORE KIMLEY-HORN HAS ISSUED FINAL, FULLY-APPROVED PLANS AND SPECIFICATIONS. THE CLIENT ACKNOWLEDGES THAT ALL PRELIMINARY PLANS ARE SUBJECT TO SUBSTANTIAL REVISION UNTIL PLANS ARE FULLY APPROVED AND ALL PERMITS OBTAINED.

Sheet Number	Sheet Title
C001	COVER SHEET
C002	ZONING CONDITIONS
C100	EXISTING CONDITIONS
C101	OVERALL DEMOLITION PLAN
C200	OVERALL PRELIMINARY SUBDIVISION PLAN
C201	PRELIMINARY SUBDIVISION PLAN
C202	PRELIMINARY SUBDIVISION PLAN
C203	PRELIMINARY SUBDIVISION PLAN
C204	PRELIMINARY SUBDIVISION PLAN
C205	OFFSITE ROADWAY IMPROVEMENTS
C206	PRELIMINARY SUBDIVISION PLAN
C300	OVERALL PRELIMINARY GRADING AND DRAINAGE PLAN
C301	PRELIMINARY GRADING AND DRAINAGE PLAN
C302	PRELIMINARY GRADING AND DRAINAGE PLAN
C303	PRELIMINARY GRADING AND DRAINAGE PLAN
C304	PRELIMINARY GRADING AND DRAINAGE PLAN
C400	OVERALL PRELIMINARY UTILITY PLAN
C401	PRELIMINARY UTILITY PLAN
C402	PRELIMINARY UTILITY PLAN
C403	PRELIMINARY UTILITY PLAN
C404	PRELIMINARY UTILITY PLAN
C500	SCM DETAILS - WET POND 1
C501	SCM DETAILS - WET POND 2
L000	OVERALL TREE CONSERVATION PLAN
L001	TREE CONSERVATION PLAN
L002	TREE CONSERVATION PLAN
L003	TREE CONSERVATION PLAN
L004	TREE CONSERVATION PLAN
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLANS
L102	LANDSCAPE PLANS
L103	LANDSCAPE PLANS
L104	LANDSCAPE PLANS
L105	LANDSCAPE DETAILS

SITE DATA TABLE	
PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
	RX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 95 SPACES LOT 2: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PIN #:	1746-42-2158
	1746-41-0793
	1746-41-0189
	1746-30-8877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
RW DEDICATION:	7.06 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.89 AC (38,660 SF) LOT 2 (VACANT): 1.38 AC (60,231 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 0.75 AC (32,922 SF) LOT 5 (VACANT): 1.14 AC (48,953 SF) LOT 6 (VACANT): 0.99 AC (38,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF) LOT 8 (VACANT): 13.31 AC (578,802 SF) LOT 9 (VACANT): 6.84 AC (297,971 SF) LOT 10 (VACANT): 2.03 AC (88,491 SF)

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DEVELOPMENT OPTIONS (LDD Chapter 2)

Conventional Subdivision Compact Development Conservation Development
 Cottage Court Flag lot Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Scoping/attach plan case number(s): SCORP-0019-2023
 Development name (subject to approval): Yardly Buffalo Village
 Property Address(es): 5121 Forestville Rd, 5101 Forestville Rd, 5225 Forestville Rd, 5221 Forestville Rd
 Recorded Deed PIN(s): 1746422158, 1746319793, 1746410189, 1746308877

Building type(s): Detached House Attached House Townhouse Apartment
 General Building Mixed Use Building Civic Building Open Lot Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Company: TM BTR of Carolinas LLC Title: Vice President
 Address: 11405 N Community House Rd, Site 150, Charlotte, NC 28277
 Phone #: 704-251-8142 Email: MLeadbetter@taylormorrison.com
 Applicant Name (if different from owner, see "who can apply" in instructions): Katie Witt, PE
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: Kimley-Horn Address: 300 S Main St, Suite 212, Holly Springs, NC 27540
 Phone #: 984-212-4572 Email: katie.witt@kimley-horn.com
 NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
 Developer Contact Name: Megan Leadbetter
 Company: TM BTR of Carolinas LLC Title: Vice President
 Address: 11405 N Community House Rd Site 150, Charlotte, NC 28277-4430
 Phone #: 704-251-8142 Email: MLeadbetter@taylormorrison.com

DEVELOPMENT TYPE - SITE DATA TABLE - ZONING INFORMATION

Gross site acreage: 37.10 Acres
 Zoning district(s) (if more than one, provide acreage of each): Commercial Mixed Use (CX-3-CU) (22.74 AC) / Residential Mixed Use (RX-3-CU) (14.36 AC)
 Overlay district(s): N/A Inside City Limits? Yes No Historic District/Landmark: N/A Yes No
 Conditional Use District (CUD): Board of Adjustment Case # Design Alternate Case #
 Case # Z-27-22 BOA-

STORMWATER INFORMATION

Impervious Area on Parcel(s): Existing sq. ft.: Proposed total (sq. ft.): Impervious Area for Compliance (includes right-of-way): Existing sq. ft.: Proposed total (sq. ft.):

NUMBER OF LOTS AND DENSITY

of Detached House Lots: 0 # of Attached House Lots: 0 # of Townhouse Lots: 3
 # of Tiny House Lots: 0 # of Open Lots: 0 # of Other Lots (Apartment, General, Mixed Use, CUD, T): 0
 Total # of Lots: 10 Total # Dwelling Units: 222
 # of bedroom units (if known): 0 # of units: 0 # of units: 0
 Proposed density for each zoning district (LDD 1.5.2.F):

APPLICANT SIGNATURE BLOCK

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Signature: *[Signature]* Date: *[Date]*
 Printed Name: *[Name]* Title: *[Title]*
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Building type(s): Detached House Attached House Townhouse Apartment
 General Building Mixed Use Building Civic Building Open Lot Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Company: VSI Raleigh LLC Title: Partner
 Address: 106 E 8th Avenue, Rome, GA 30161
 Phone #: 502-558-8898 Email: e.conder@vsiouth.com
 Applicant Name (if different from owner, see "who can apply" in instructions): Katie Witt, PE
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: Kimley-Horn Address: 300 S Main St, Suite 212, Holly Springs, NC 27540
 Phone #: 984-212-4572 Email: katie.witt@kimley-horn.com
 NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
 Developer Contact Name: Evan Conder
 Company: VSI Raleigh LLC Title: Partner
 Address: 106 E 8th Avenue, Rome, GA 30161
 Phone #: 502-558-8898 Email: e.conder@vsiouth.com

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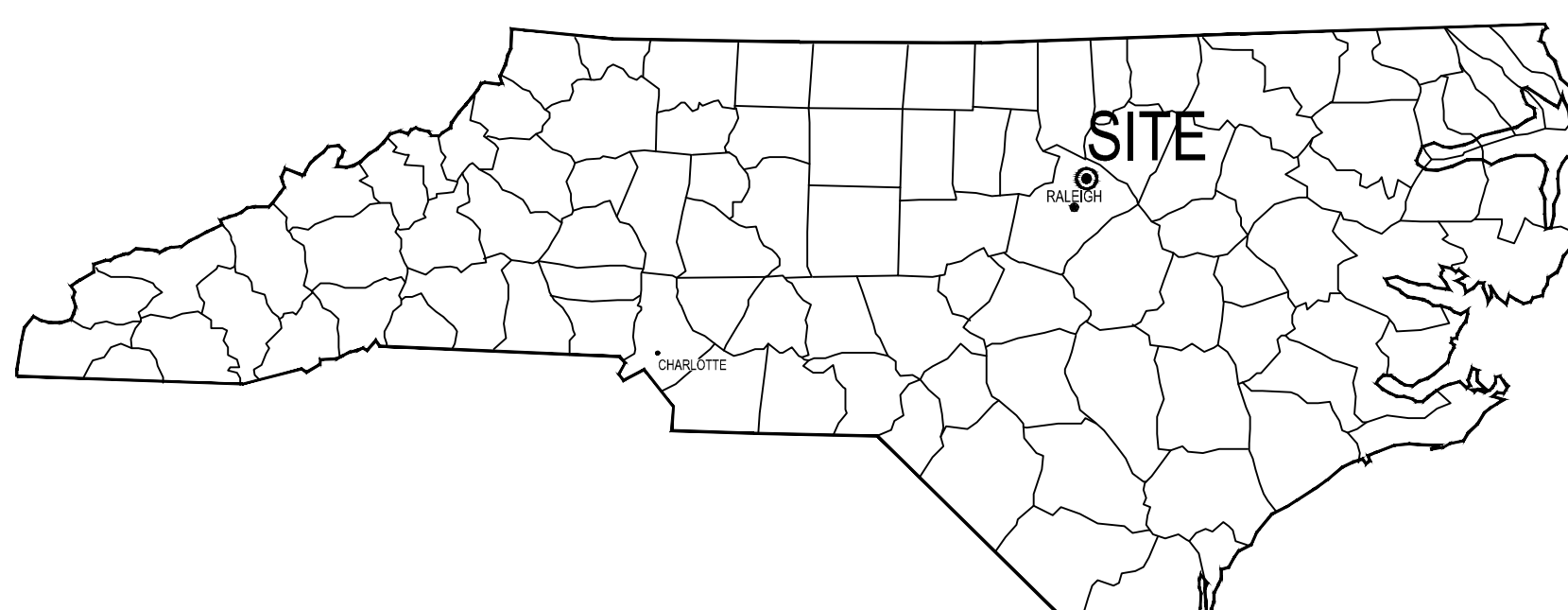
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Signature: *[Signature]* Date: *[Date]*
 Printed Name: *[Name]* Title: *[Title]*
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 Printed Name: *[Name]*



PROJECT OWNER AND CONSULTANT INFORMATION			
DEVELOPER: TAYLOR MORRISON 11405 N COMMUNITY HOUSE ROAD CHARLOTTE, NC 28277 PHONE (704) 251-8142 CONTACT: MEGAN LEDBETTER	DEVELOPER: VSI RALEIGH, LLC 106 E 8TH AVE ROME, GEORGIA 30161 PHONE (502) 558-8898 CONTACT: EVAN CONDER	ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET SUITE 212 HOLLY SPRINGS, NORTH CAROLINA 27540 (984) 275-3559 TEL CONTACT: KATIE WITT, P.E.	SURVEYOR: ESP ASSOCIATES, INC. 2200 GATEWAY CENTRE BLVD SUITE 216 MORRISVILLE, NC 27667 PHONE (919) 678-1070 FAX (919) 677-1252 WATTS B. FEARRINGTON, JR.
PROJECT OWNER: TAYLOR MORRISON 11405 N COMMUNITY HOUSE ROAD CHARLOTTE, NC 28277 VSI RALEIGH, LLC 106 E 8TH AVE ROME, GEORGIA 30161			

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

NOT FOR CONSTRUCTION

GEOMETRIC CONTROL
HORIZONTAL DATUM: NAD 83 (2011)
VERTICAL DATUM: NAVD 88
DRAWING UNITS: U.S. SURVEY FEET



Kimley-Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 300 SOUTH MAIN ST, SUITE 212, HOLLY SPRINGS, NC 27540
 WWW.KIMLEY-HORN.COM
 NC LICENSE #P-102

PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT: 017270019
 DATE: 09/11/2024
 SCALE: AS SHOWN
 DESIGNED BY: MTH
 DRAWN BY: MTH
 CHECKED BY: KLV

COVER SHEET

YARDLY BUFFALOE VILLAGE
 PREPARED FOR:
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH, NC

SHEET NUMBER: C001

REVISIONS: [Table with columns for No., DATE, REVISIONS]

ZONING CONDITIONS:

TCZ-28-22 - 0 BUFFALOE ROAD, LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926. APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) [MODIFIED CONDITIONS].

AMENDED CONDITIONS DATED: APRIL 13, 2022

A. CONDITION: THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINS) 1746-42-7078 (DEED BOOK I 6 I 05, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-6877 (DEED BOOK 9050, PAGE 759, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.

MEANS OF COMPLIANCE: A 50 FEET PRINCIPAL BUILDING SETBACK HAS BEEN PROVIDED ADJACENT TO THESE PROPERTIES.

B. CONDITION: PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:

- i. DORMITORY, FRATERNITY, SORORITY;
- ii. ADULT ESTABLISHMENTS;
- iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
- iv. FUNERAL HOME;
- v. ANIMAL CARE (INDOOR);
- vi. VETERINARY CLINIC/HOSPITAL;
- vii. DETENTION CENTER, JAIL, PRISON;
- viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
- ix. EMERGENCY SHELTER - TYPE B;
- x. BOWLING ALLEY;
- xi. MINI-WAREHOUSE STORAGE FACILITY.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

C. CONDITION: THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.11.C.3. UDO SECTIONS 6.4.11.C.3.A.I - IX SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

D. CONDITION: THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) U E SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

E. CONDITION: NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS. AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORDING ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

F. CONDITION: OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

G. CONDITION: RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

H. CONDITION: NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7, AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

I. CONDITION: POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE. NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.

MEANS OF COMPLIANCE: PROPOSED LIGHTING IS LESS THAN 35 FEET IN HEIGHT. NO LIGHTING PROPOSED IN BUFFER AREAS OR PROTECTIVE YARDS.

J. CONDITION: PRIOR TO LOT RECORDATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA. THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.

MEANS OF COMPLIANCE: N/A - NO LOTS ARE BEING RECORDED OR BUILDINGS PROPOSED WITH THIS SUBDIVISION.

K. CONDITION: UNTIL THE THREE LANES ON THE BUFFALOE ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

L. CONDITION: DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.

1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALOE ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALOE ROAD.

MEANS OF COMPLIANCE: PARKING IS NOT PROPOSED ALONG THE FRONTAGE OF BUFFALOE ROAD WITH THIS SUBDIVISION PLAN.

2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE (25') OF THE RIGHT-OF-WAY OF EITHER BUFFALOE ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30") WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.

MEANS OF COMPLIANCE: N/A - NO PARKING PROPOSED WITH THIS SUBDIVISION WITHIN 25 FEET OF RIGHT-OF-WAY OF BUFFALOE ROAD OR FORESTVILLE ROAD.

3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED ALONG PUBLIC AND PRIVATE INTERNAL STREET NETWORK.

4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.

MEANS OF COMPLIANCE: SIDEWALKS ALONG PUBLIC AND PRIVATE ROADWAY NETWORK ARE A MINIMUM OF 6 FEET WIDE.

M. CONDITION: AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

Z-27-22 - 5221 AND 5225 FORESTVILLE ROAD, ON ITS EAST SIDE, LOCATED ONE THIRD OF A MILE SOUTH OF ITS INTERSECTION WITH BUFFALOE ROAD, BEING WAKE COUNTY PINS 1746308877 & 1746410189. APPROXIMATELY 14.6 ACRES REZONED TO RESIDENTIAL MIXED USE-3 STORIES- CONDITIONAL USE (RX-3-CU).

CONDITIONS DATED: OCTOBER 10, 2022

1. RESIDENTIAL DENSITY SHALL BE LIMITED TO 204 UNITS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

2. AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

3. THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4. THAT ARE PERMITTED, LIMITED OR SPECIAL USES IN THE RX- DISTRICT SHALL BE PROHIBITED:

- (I) CEMETERY;
- (II) SCHOOL, PUBLIC OR PRIVATE (K-12);
- (III) DAY CARE CENTER; (IV) HEALTH CLUB;
- (V) MEDICAL: OFFICE;
- (VI) OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (250 SEATS);
- (VII) BED AND BREAKFAST;
- (IX) HOSPITALITY HOUSE;
- (X) PARKING FACILITY;
- (XI) COPY CENTER;
- (XII) OPTOMETRIST;
- (XIII) EATING ESTABLISHMENT;
- (XIV) RETAIL SALES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.



KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

ZONING CONDITIONS

YARDLY BUFFALOE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
C002



Know what's below.
Call before you dig.



LEGEND

- EXISTING IRON PIN
- EXISTING REBAR
- NO POINT SET
- IRON REBAR SET
- CABLE PEDESTAL
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- FLOOD LIGHT
- GUY WIRE
- LIGHT POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- UTILITY POLE
- BOLLARD
- GAS METER
- GAS VALVE
- SEWER CLEAN OUT
- SEWER MANHOLE
- SIGN
- CATCH BASIN
- CURB INLET
- DROP \ YARD INLET
- FLARED END SECTION
- STORM MANHOLE
- HANDICAP
- FIRE HYDRANT
- WATER MANHOLE
- WATER METER
- WATER VALVE
- WELL
- MANHOLE
- PRESSURE INDICATOR VALVE
- PIV
- TREE
- RIGHT-OF-WAY
- CONCRETE MONUMENT
- CHORD
- SIGHT EASEMENT
- DEED BOOK
- PLAT BOOK
- CURB AND GUTTER
- REINFORCED CONC PIPE
- CORRUGATED METAL PIPE
- CORRUGATED PLASTIC PIPE
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- UNSURVEYED PROPERTY LINE
- SANITARY SEWER LINE
- UNDERGROUND ELECTRIC LINE
- ELECTRIC LINE
- TREE LINE
- WATER LINE
- FENCE LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- TELEPHONE LINE
- OVERHEAD TELEPHONE LINE
- OVERHEAD UTILITY EASEMENT
- UNDERGROUND FIBER OPTICS

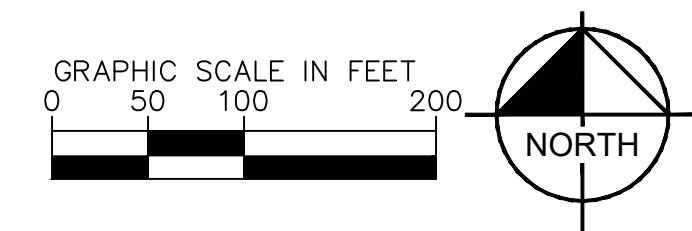
LINE TABLE			LINE TABLE		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	764.47	S59°07'26.29"E	L23	100.00	N22°56'33.71"E
L2	30.74	S23°04'05.37"W	L24	100.00	N31°35'33.71"E
L3	633.07	S23°04'05.37"W	L25	100.00	N37°54'33.71"E
L4	22.92	S5°35'15.40"W	L26	314.09	N40°02'33.71"E
L5	829.16	S3°44'26.30"W	L27	148.75	N41°36'33.71"E
L6	441.17	S82°07'45.05"W	L28	7.50	N42°21'03.71"E
L7	317.26	S82°07'45.05"W	L29	315.05	S60°29'33.00"E
L8	145.02	N1°30'57.28"W	L30	50.00	S32°43'57.00"W
L9	267.29	N78°28'48.79"W	L31	66.00	S57°16'03.00"E
L10	24.61	N78°28'48.79"W	L32	326.73	N32°43'57.00"E
L11	61.24	N0°06'44.21"W	L33	214.52	S57°09'15.00"E
L12	316.88	N0°03'25.12"W	L34	52.29	S30°51'36.00"W
L13	53.29	N89°11'38.92"E	L35	66.00	S59°08'24.00"E
L14	347.80	S76°36'46.72"E	L36	50.00	N30°51'36.00"E
L15	177.16	N1°40'30.84"W	L37	60.37	S57°09'15.00"E
L16	137.39	N88°33'19.34"W	L38	190.71	S30°51'36.00"W
L17	223.42	N7°20'34.02"E	L39	171.81	S1°40'31.00"E
L18	151.91	N84°13'36.96"W	L40	216.19	S87°47'15.59"W
L19	240.47	N14°49'18.12"E	L41	216.19	S87°47'15.59"W
L20	100.00	N15°07'33.71"E	L42	256.75	S0°42'03.96"E
L21	100.00	N16°52'33.71"E	L43	496.49	N88°33'19.34"W
L22	100.00	N22°56'33.71"E			

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 NC LICENSE #P-102

PRELIMINARY
 NOT FOR CONSTRUCTION

EXISTING CONDITIONS

YARDLY BUFFALO VILLAGE
 PREPARED FOR
YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC



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Plotted By: Larson, Sydney Sheet Set: Yardly Buffalo Village Layout: C101 OVERALL DEMOLITION PLAN September 10, 2024 04:05:44pm K:\CHL PRJ017270 Taylor Morrison\019 Raleigh- Buffalo\02 - DWG\Plan\Sheets\2-0 - C101 - DEMO.dwg



DEMOLITION LEGEND	
---	EXISTING PROPERTY LINE
-X-X-X-X-X-X-X-X-	EXISTING LINEAR ITEM TO BE REMOVED
---	TREE PROTECTION FENCE
---	LIMITS OF DISTURBANCE (LOD)
⊗	EXISTING ITEM TO BE REMOVED

NOTES:
 1. ALL SEPTIC TANKS/WELLS TO BE ABANDONED ACCORDING TO WAKE COUNTY STANDARDS.

TREE LEGEND

LABEL	COMMON NAME
T1	RED MAPLE
T2	SILVER MAPLE
T3	AMERICAN HORNBEAM
T4	PIGNUT HICKORY
T5	PECAN
T6	MOCKERNUT HICKORY
T7	FLOWERING DOGWOOD
T8	AMERICAN HOLLY
T9	EASTERN RED CEDAR
T10	SWEETGUM
T11	TULIP POPLAR
T12	RED MULBERRY
T13	BLACK GUM
T14	SOURWOOD
T15	SHORTLEAF PINE
T16	LOBLOLLY PINE
T17	AMERICAN SYCAMORE
T18	BLACK CHERRY
T19	WHITE OAK
T20	SOUTHERN RED OAK
T21	BLACKJACK OAK
T22	WATER OAK
T23	WILLOW OAK
T24	NORTHERN RED OAK
T25	POST OAK
T26	WINGED ELM
T27	AMERICAN ELM

No.	REVISIONS	DATE	BY

Kimley  **Horn**

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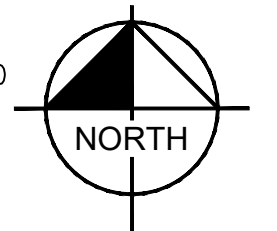
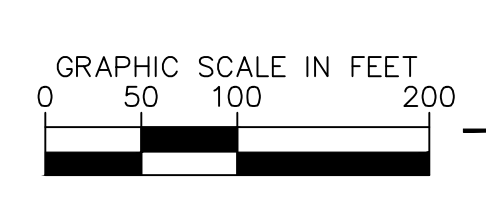
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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTM
DRAWN BY	MTM
CHECKED BY	KLW

OVERALL DEMOLITION PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC
 RALEIGH, NC

SHEET NUMBER C101

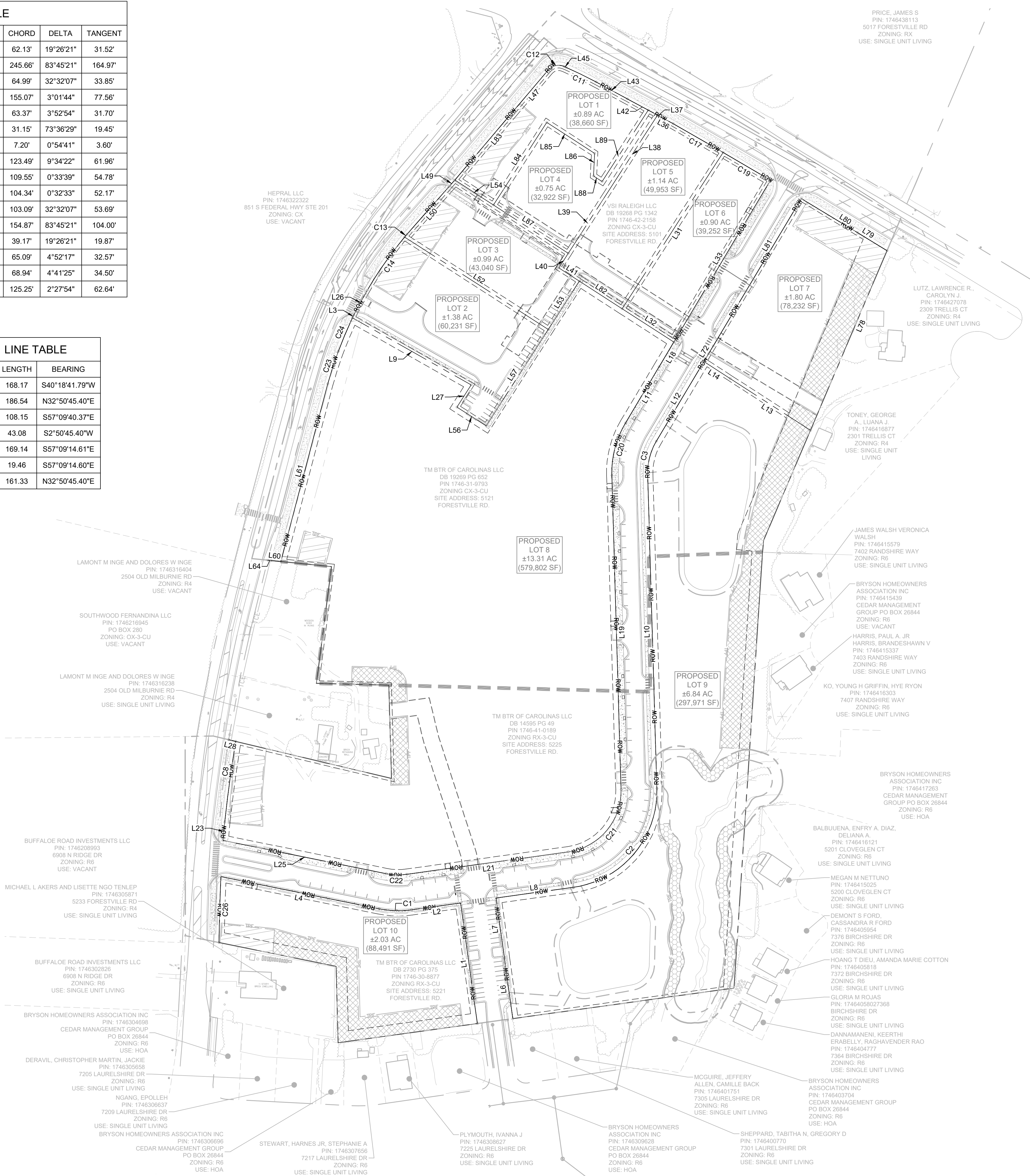


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CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	184.00'	62.43'	N88°11'59"W	62.13'	19°26'21"	31.52'
C2	184.00'	288.97'	N40°12'10"E	245.66'	83°45'21"	164.97'
C3	116.00'	65.87'	N14°35'33"E	64.99'	32°32'07"	33.85'
C8	2933.70'	155.08'	N7°41'28"E	155.07'	3°01'44"	77.56'
C11	935.60'	63.39'	N63°55'12"W	63.37'	3°52'54"	31.70'
C12	26.00'	33.40'	S77°07'06"W	31.15'	73°36'29"	19.45'
C13	452.41'	7.20'	S40°08'51"W	7.20'	0°54'41"	3.60'
C14	740.01'	123.64'	S35°05'01"W	123.49'	9°34'22"	61.96'
C17	11192.35'	109.55'	N60°02'54"W	109.55'	0°33'39"	54.78'
C19	11022.00'	104.34'	N59°36'49"W	104.34'	0°32'33"	52.17'
C20	184.00'	104.48'	S14°35'33"W	103.09'	32°32'07"	53.69'
C21	116.00'	169.57'	S40°12'10"W	154.87'	83°45'21"	104.00'
C22	116.00'	39.36'	N88°11'59"W	39.17'	19°26'21"	19.87'
C23	765.76'	65.11'	N17°56'40"E	65.09'	4°52'17"	32.57'
C24	842.45'	68.96'	N22°54'59"E	68.94'	4°41'25"	34.50'
C26	2911.31'	125.26'	S1°37'25"W	125.25'	2°27'54"	62.64'

LINE TABLE		
LINE	LENGTH	BEARING
L1	230.98	N7°55'09.57"W
L2	93.66	S82°04'50.43"W
L3	5.56	S24°16'54.23"W
L4	306.09	N78°28'48.79"W
L6	115.49	N7°55'09.57"W
L7	115.49	N7°55'09.57"W
L8	147.96	N82°04'50.43"E
L9	258.78	S60°29'32.89"E
L10	596.38	N1°40'30.84"W
L11	123.82	S30°51'36.10"W
L12	177.66	N30°51'36.10"E
L13	181.30	N57°09'09.79"W
L14	59.37	N57°07'14.08"W
L18	54.98	S30°51'36.10"W
L19	596.38	S1°40'30.84"E
L21	309.62	S82°04'50.43"W
L23	34.49	N4°57'35.34"E
L25	315.64	N78°28'48.79"W
L26	53.60	S28°36'18.68"W
L27	49.99	S32°44'33.00"W
L28	13.65	N76°36'46.72"W
L31	353.11	S32°50'45.40"W
L32	116.64	S57°12'39.51"E
L33	357.69	N30°51'36.10"E
L36	30.56	N61°28'42.50"W
L37	3.06	N61°37'21.21"W
L38	176.39	S32°50'45.40"W
L39	135.75	S32°50'45.40"W
L40	33.04	S32°50'45.40"W
L41	46.06	S57°12'41.15"E
L42	64.89	N61°37'21.21"W
L43	67.64	N61°39'00.52"W
L45	4.01	N65°57'35.96"W
L47	105.54	S40°18'41.79"W
L49	17.84	S41°38'44.82"W
L50	119.13	S41°23'58.85"W
L52	323.97	S57°16'02.81"E
L53	108.94	N32°43'57.00"E
L54	87.19	S57°09'14.61"E
L56	66.00	S57°16'03.00"E
L57	217.79	N32°43'57.00"E
L60	24.87	S84°19'09.00"E
L61	348.72	N14°49'18.12"E
L64	24.87	S84°19'09.00"E
L72	34.16	N30°51'36.10"E
L78	370.62	S23°04'05.37"W
L79	65.92	S58°30'37.53"E
L80	124.37	S58°47'09.15"E
L81	326.15	N30°51'36.10"E
L82	96.88	S57°12'40.61"E

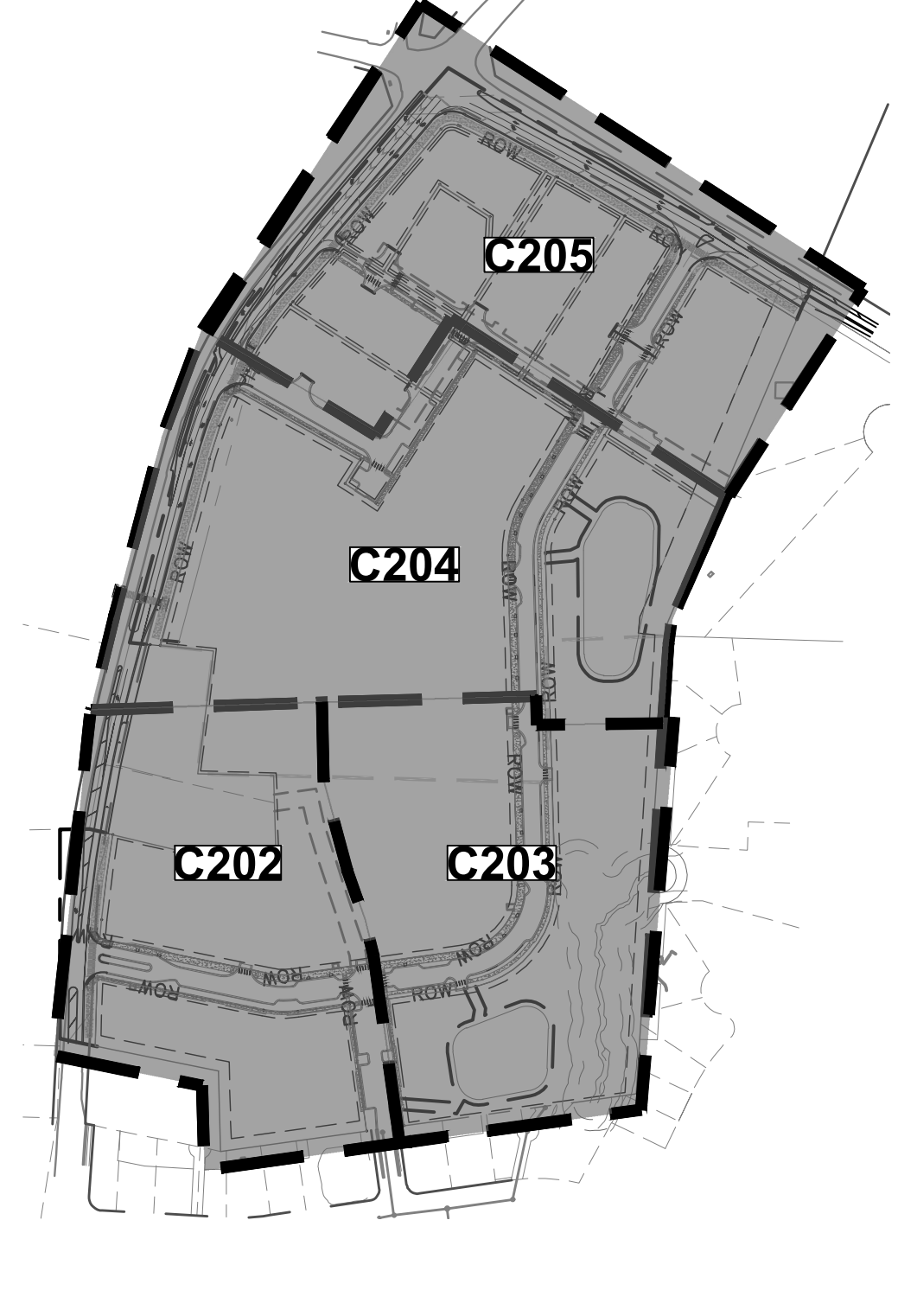
LINE TABLE		
LINE	LENGTH	BEARING
L83	168.17	S40°18'41.79"W
L84	186.54	N32°50'45.40"E
L85	108.15	S57°09'40.37"E
L86	43.08	S2°50'45.40"W
L87	169.14	S57°09'14.61"E
L88	19.46	S57°09'14.60"E
L89	161.33	N32°50'45.40"E



PROPOSED IMPROVEMENTS LEGEND	
--- EXISTING PROPERTY BOUNDARY	--- PROPOSED ROW
- - - PROPOSED PROPERTY BOUNDARY	--- RIGHT-OF-WAY
- - - 30' NEUSE RIVER BUFFER	--- TOP OF BANK
- - - BUILDING SETBACK	--- 50' NEUSE RIVER BUFFER
--- CURB AND GUTTER	--- WETLAND
↑ ↑ ↑ TRAFFIC ARROWS	--- PRIMARY TREE CONSERVATION AREA
↑ ↑ ↑ STOP BAR, 'STOP' MARKING & SIGN	--- SECONDARY TREE CONSERVATION AREA
--- SIGNS - SINGLE / DOUBLE	--- NEUSE RIVER BUFFER CONSERVATION AREA
--- SIGNS - MONUMENT / PYLON	--- CONCRETE SIDEWALK
--- SITE LIGHTING	--- HEAVY DUTY CONCRETE
--- RETAINING WALL	--- AMENITY AREA
--- PARKING COUNT	

SITE DATA TABLE	
PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 95 SPACES LOT 2: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-30-8877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.06 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.89 AC (38,660 SF) LOT 2 (VACANT): 1.38 AC (60,231 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 0.75 AC (32,922 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF) LOT 8 (VACANT): 1.31 AC (579,802 SF) LOT 9 (VACANT): 0.84 AC (297,971 SF) LOT 10 (VACANT): 2.03 AC (88,491 SF)

KEY MAP (SCALE 1" = 300')



GRAPHIC SCALE IN FEET: 0, 50, 100, 200

NORTH

811 Know what's below. Call before you dig.

Kimley-Horn

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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTM
DRAWN BY	MTM
CHECKED BY	KLW

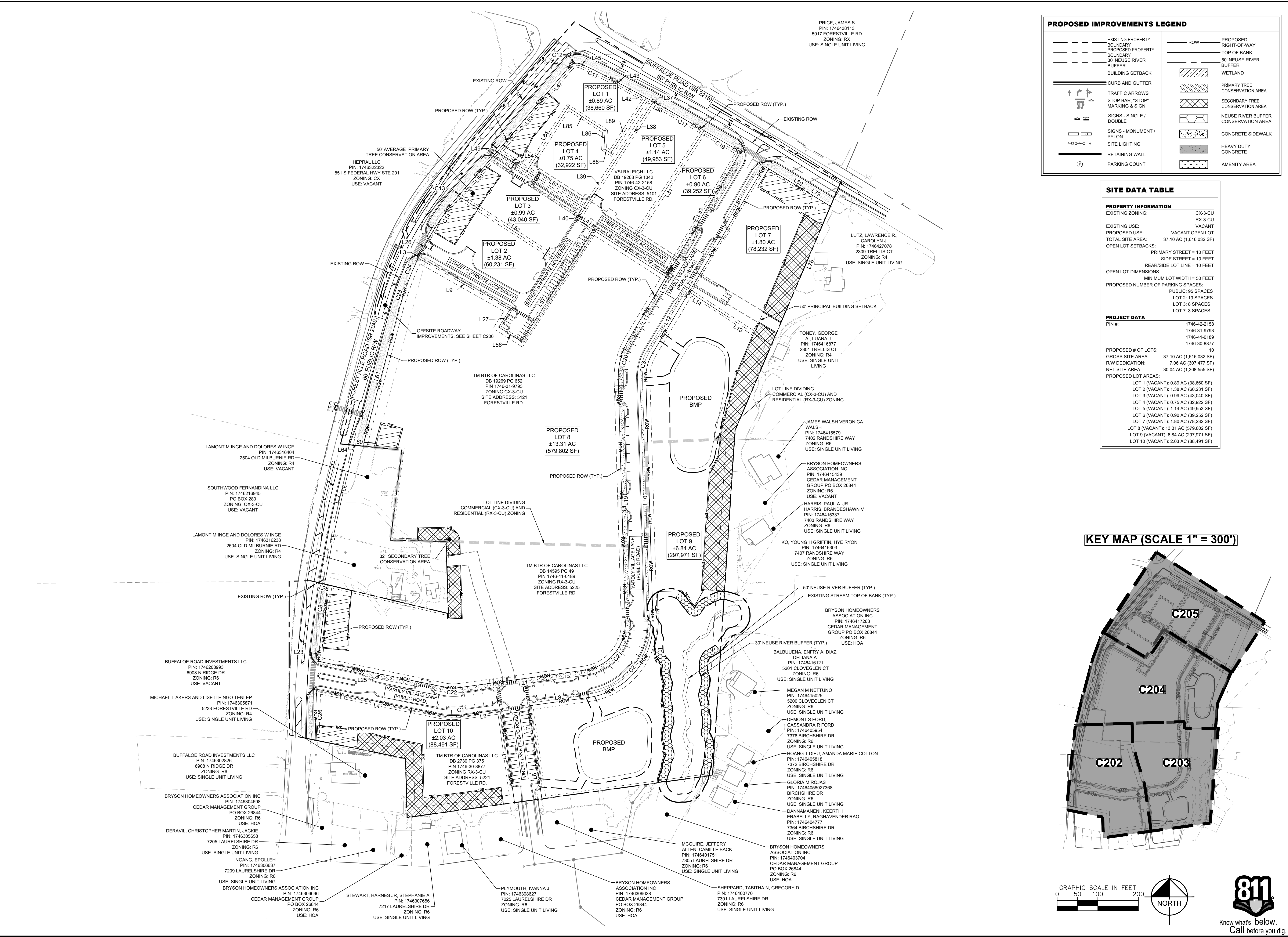
PRELIMINARY
SUBDIVISION PLAT

YARDLY BUFFALO
VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

SHEET NUMBER
C200

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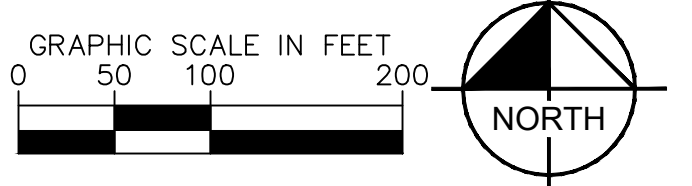
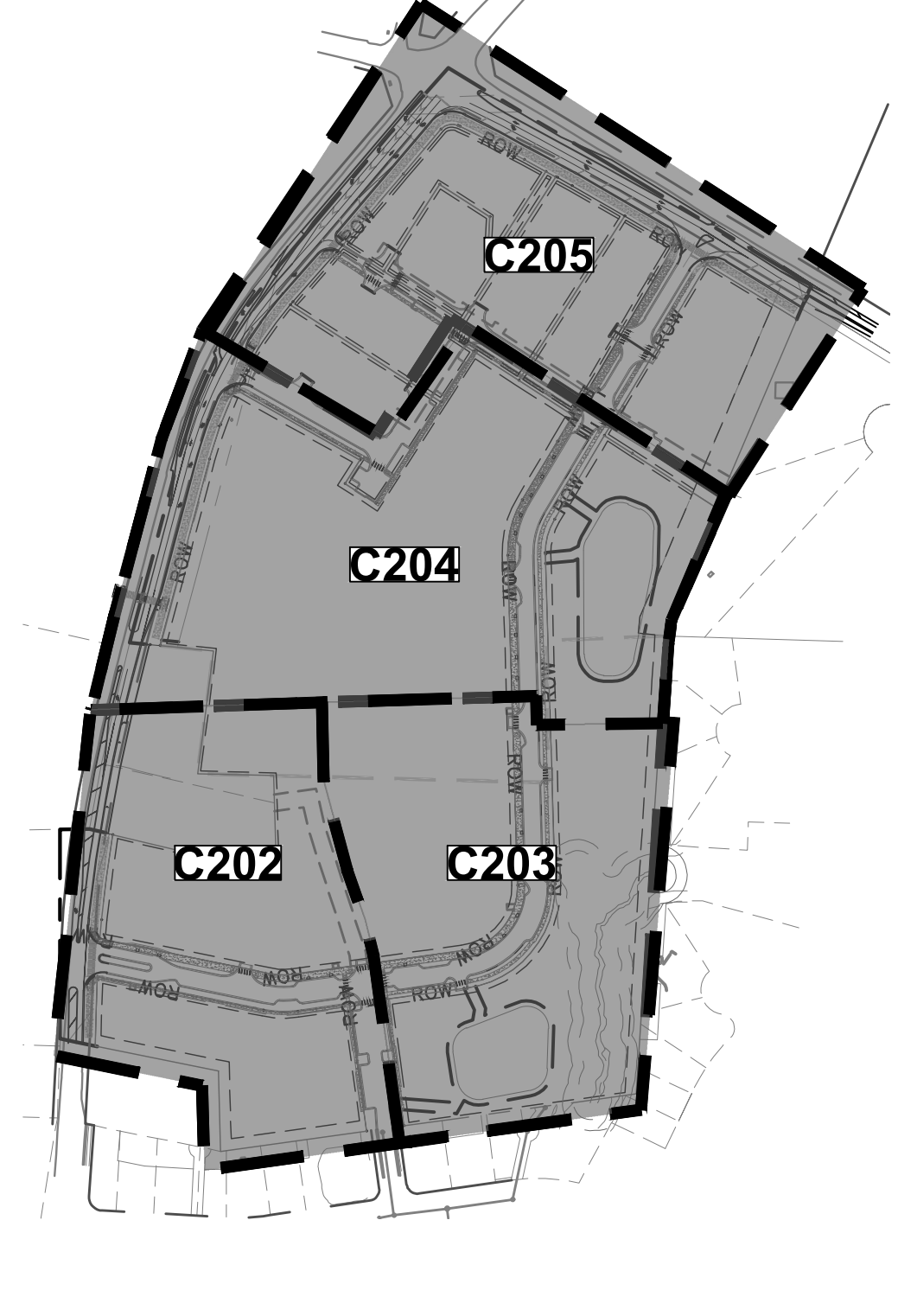
Plotted By: Larson, Sydney Sheet: Yardly Buffalo Village Layout: C201 OVERALL PRELIMINARY SUBDIVISION PLAN September 10, 2024 04:08:48pm K:\CHL_PRA\012720 Taylor Morrison\019 Raleigh\Buffalo\02 - DWG\PlanSheets\C203 ENLARGED SUBDIVISION PLAN.dwg



PROPOSED IMPROVEMENTS LEGEND			
	EXISTING PROPERTY BOUNDARY		PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY BOUNDARY		TOP OF BANK
	30' NEUSE RIVER BUFFER		50' NEUSE RIVER BUFFER
	BUILDING SETBACK		WETLAND
	CURB AND GUTTER		PRIMARY TREE CONSERVATION AREA
	TRAFFIC ARROWS		SECONDARY TREE CONSERVATION AREA
	STOP BAR, "STOP" MARKING & SIGN		NEUSE RIVER BUFFER CONSERVATION AREA
	SIGNS - SINGLE / DOUBLE		CONCRETE SIDEWALK
	SIGNS - MONUMENT / PYLON		HEAVY DUTY CONCRETE
	SITE LIGHTING		AMENITY AREA
	RETAINING WALL		
	PARKING COUNT		

SITE DATA TABLE	
PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 95 SPACES LOT 2: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-30-8877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.06 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.89 AC (38,660 SF) LOT 2 (VACANT): 1.38 AC (60,231 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 0.75 AC (32,922 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF) LOT 8 (VACANT): 13.31 AC (579,802 SF) LOT 9 (VACANT): 6.84 AC (297,971 SF) LOT 10 (VACANT): 2.03 AC (88,491 SF)

KEY MAP (SCALE 1" = 300')



DATE
REVISIONS

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300 SOUTH MAIN ST, SUITE 212, HOLLY SPRINGS, NC 27540
PHONE: 984-275-3559
WWW.KIMLEY-HORN.COM
NC LICENSE #P-102

PRELIMINARY
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KH PROJECT	017270019	DATE	09/11/2024
SCALE	AS SHOWN	DESIGNED BY	MTH
DRAWN BY	MTH	CHECKED BY	KLW

YARDLY BUFFALO VILLAGE SUBDIVISION PLAN

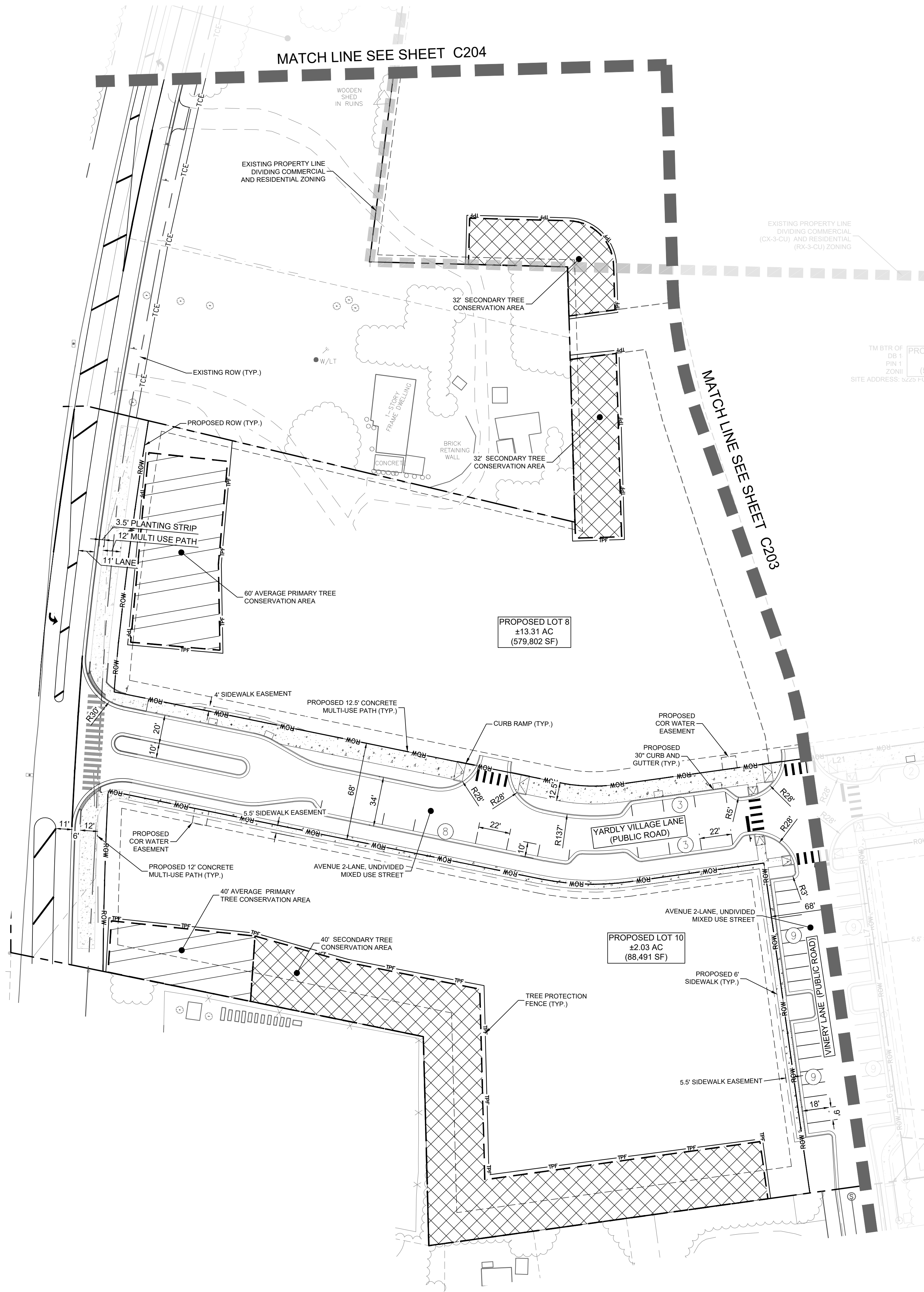
OVERALL SUBDIVISION PLAN

YARDLY BUFFALO VILLAGE SUBDIVISION PLAN PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC

SHEET NUMBER C201

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Plotted By: Linsom, Sydney Sheet Set: Yardy Buffalo Village - Layout: C202 PRELIMINARY SUBDIVISION PLAN September 10, 2024 04:07:10pm K:\ICHL_P\017270 Taylor Morrison\019 Raleigh-Buffer\02 - DWG\PlanSheets\C203 ENLARGED SUBDIVISION PLAN.dwg

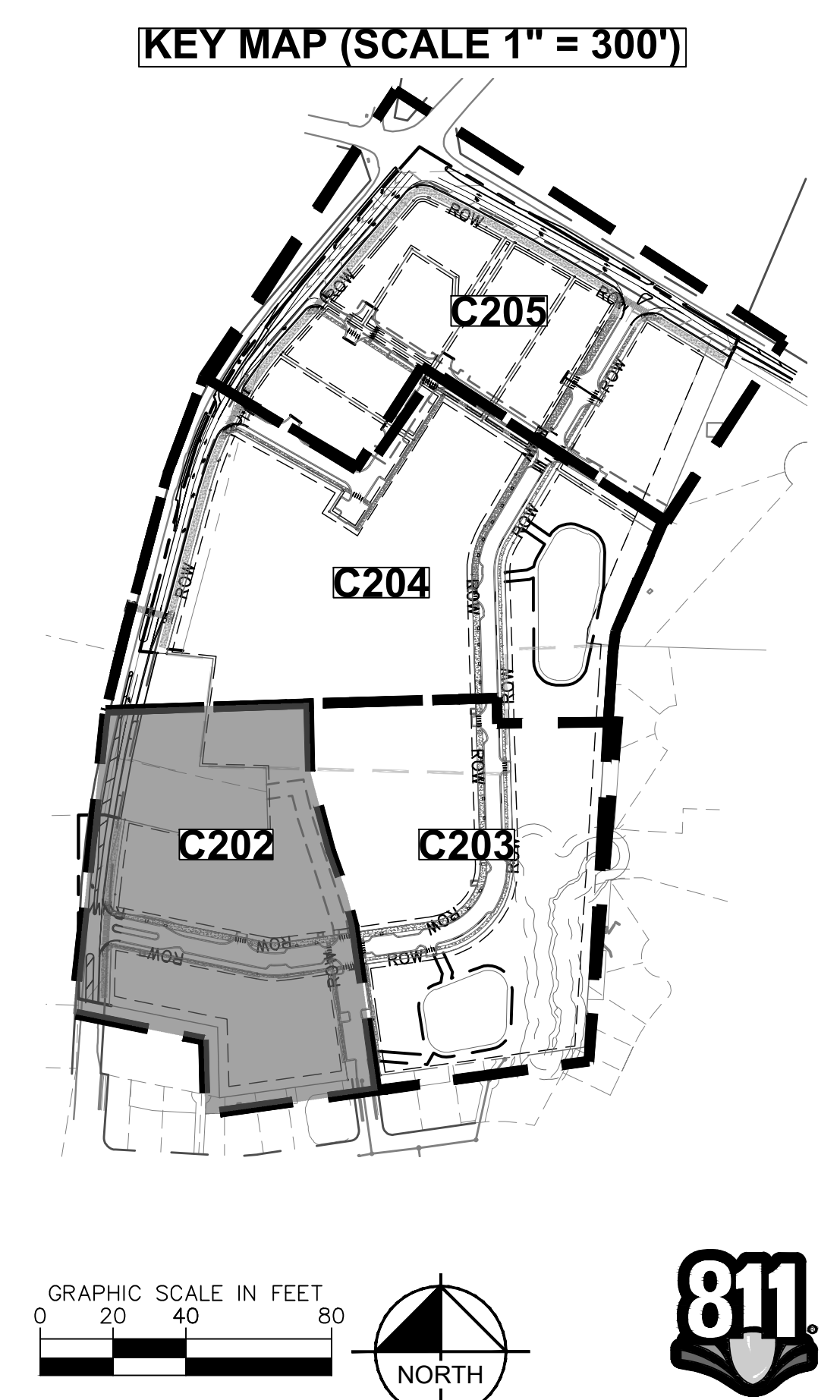


PROPOSED IMPROVEMENTS LEGEND

--- EXISTING PROPERTY BOUNDARY	--- PROPOSED PROPERTY BOUNDARY	--- EXISTING ROW	--- PROPOSED RIGHT-OF-WAY
--- 30' NEUSE RIVER BUFFER	--- BUILDING SETBACK	--- CURB AND GUTTER	--- TRAFFIC ARROWS
--- STOP BAR, "STOP" MARKING & SIGN	--- SIGNS - SINGLE / DOUBLE	--- SIGNS - MONUMENT / PYLON	--- SITE LIGHTING
--- RETAINING WALL	--- PARKING COUNT	--- PROPOSED TOP OF BANK	--- 50' NEUSE RIVER BUFFER
--- WETLAND	--- PRIMARY TREE CONSERVATION AREA	--- SECONDARY TREE CONSERVATION AREA	--- NEUSE RIVER BUFFER CONSERVATION AREA
--- CONCRETE SIDEWALK	--- HEAVY DUTY CONCRETE	--- AMENITY AREA	

SITE DATA TABLE

PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC, 95 SPACES LOT 2: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PIN #:	1746-42-2158 1746-31-0793 1746-41-0189 1746-30-8877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.06 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.89 AC (38,660 SF) LOT 2 (VACANT): 1.38 AC (60,231 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 0.75 AC (32,922 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF) LOT 8 (VACANT): 13.31 AC (579,802 SF) LOT 9 (VACANT): 6.84 AC (297,971 SF) LOT 10 (VACANT): 2.03 AC (88,491 SF)



Kimley Horn
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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

ENLARGED SUBDIVISION PLAN

YARDLY BUFFALO VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

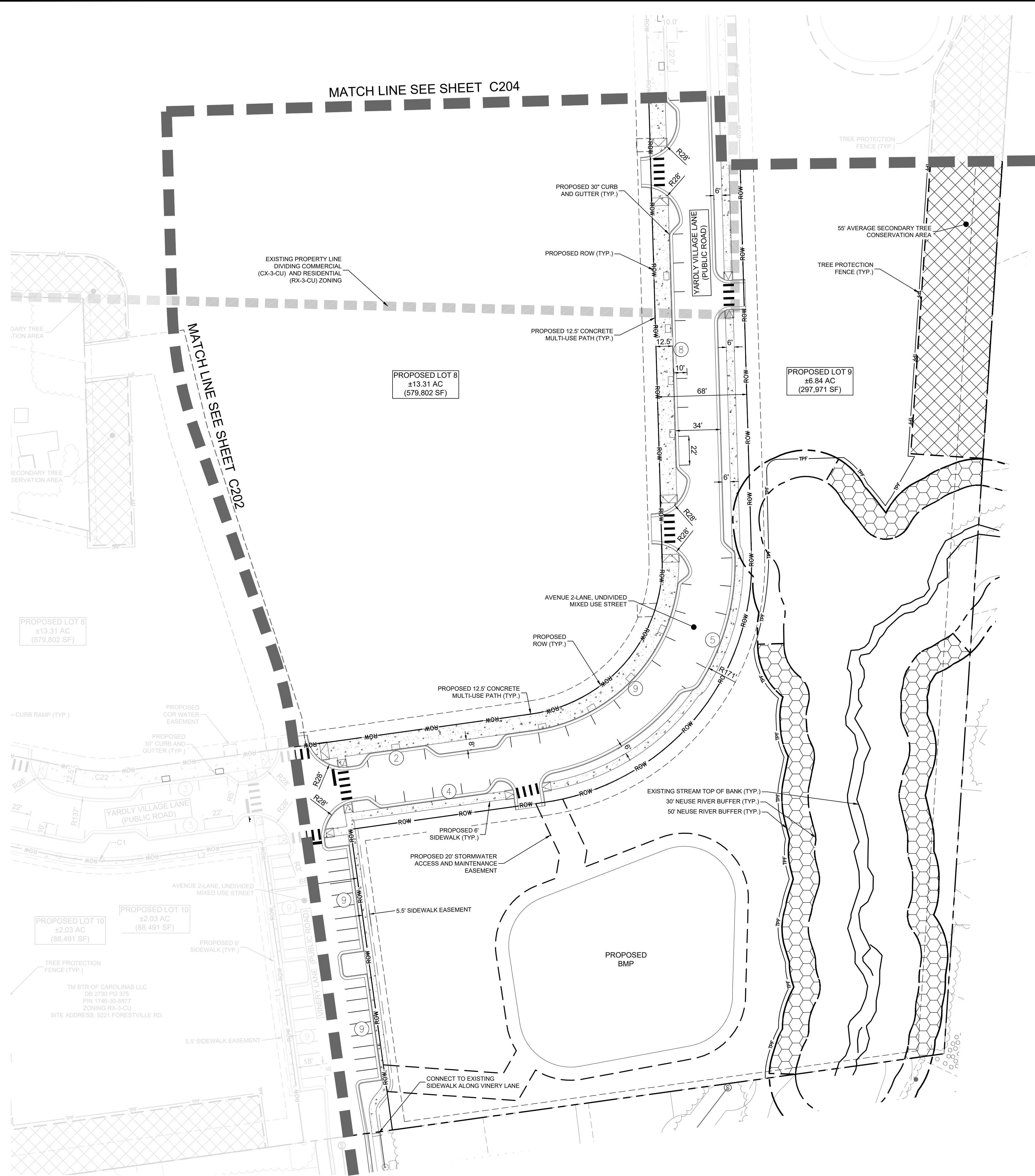
811
Know what's below.
Call before you dig.

SHEET NUMBER
C202

No.	REVISIONS	DATE

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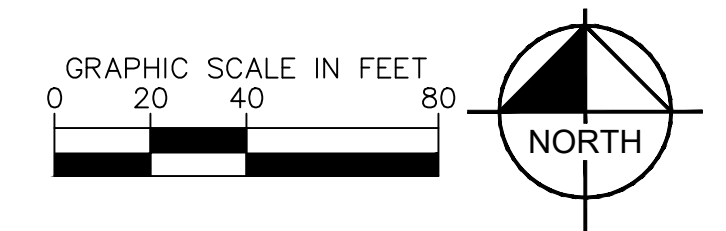
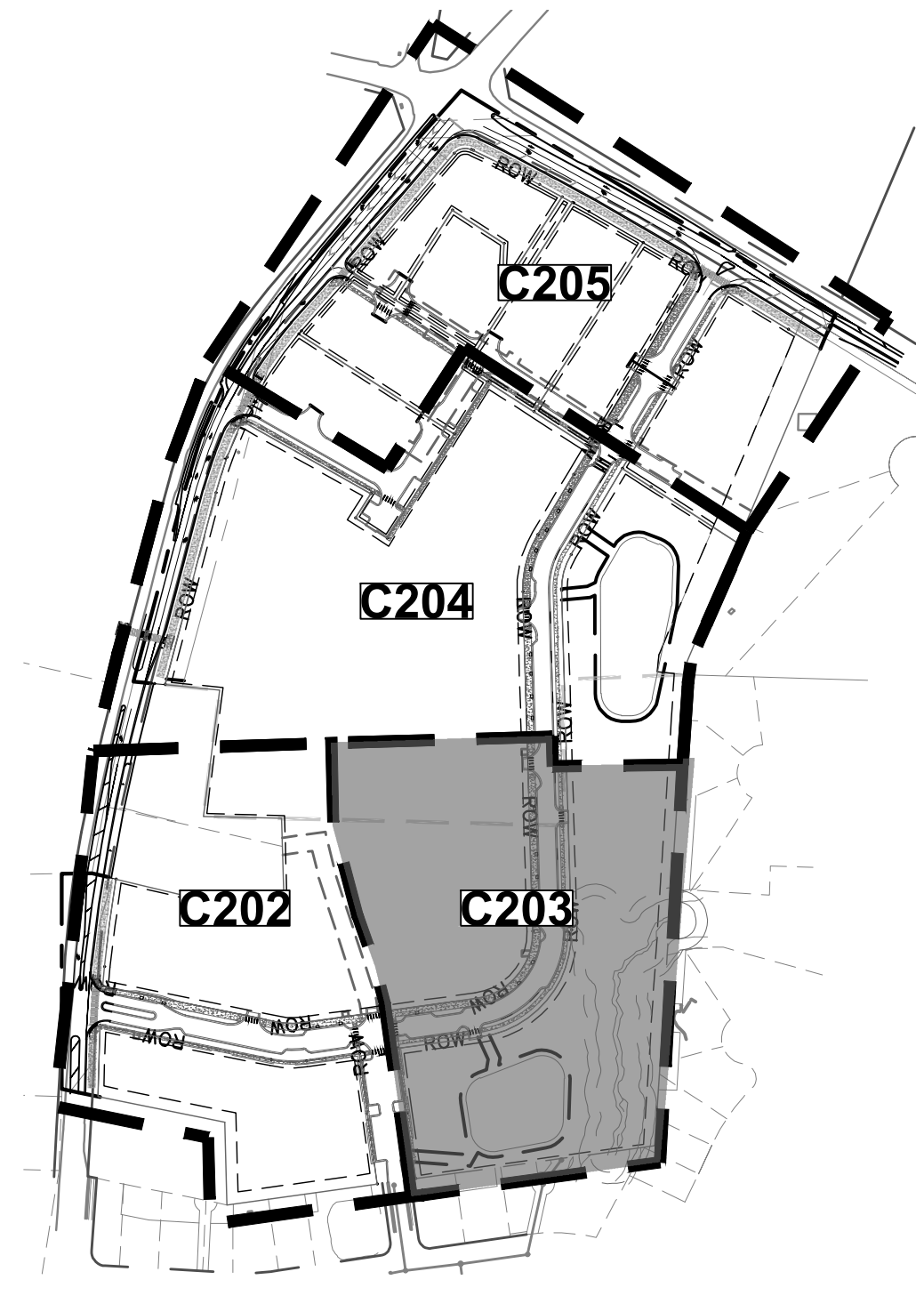
Plotted By: Linsom, Sydney Sheet Set: Yardsville Village - Layout: C203 PRELIMINARY SUBDIVISION PLAN September 10, 2024 04:07:30pm K:\CHL_P\017270 Taylor Morrison\019 Raleigh-Buffer\02 - DWG\PlanSheets\C203 ENLARGED SUBDIVISION PLAN.dwg



PROPOSED IMPROVEMENTS LEGEND	
--- EXISTING PROPERTY BOUNDARY	--- PROPOSED RIGHT-OF-WAY
--- PROPOSED PROPERTY BOUNDARY	--- TOP OF BANK
--- 30' NEUSE RIVER BUFFER	--- 50' NEUSE RIVER BUFFER
--- BUILDING SETBACK	--- WETLAND
--- CURB AND GUTTER	--- PRIMARY TREE CONSERVATION AREA
--- TRAFFIC ARROWS	--- SECONDARY TREE CONSERVATION AREA
--- STOP BAR, "STOP" MARKING & SIGN	--- NEUSE RIVER BUFFER CONSERVATION AREA
--- SIGNS - SINGLE / DOUBLE	--- CONCRETE SIDEWALK
--- SIGNS - MONUMENT / PYLON	--- HEAVY DUTY CONCRETE
--- SITE LIGHTING	--- AMENITY AREA
--- RETAINING WALL	
--- PARKING COUNT	

SITE DATA TABLE	
PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 95 SPACES LOT 2: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-30-8877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.06 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.89 AC (38,660 SF) LOT 2 (VACANT): 1.38 AC (60,231 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 0.75 AC (32,922 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,352 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF) LOT 8 (VACANT): 13.31 AC (579,802 SF) LOT 9 (VACANT): 6.84 AC (297,971 SF) LOT 10 (VACANT): 2.03 AC (88,491 SF)

KEY MAP (SCALE 1" = 300')



No.	REVISIONS	DATE	BY

Kimley **Horn**

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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

**ENLARGED
SUBDIVISION PLAN**

YARDLY BUFFALO VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

RALEIGH NC

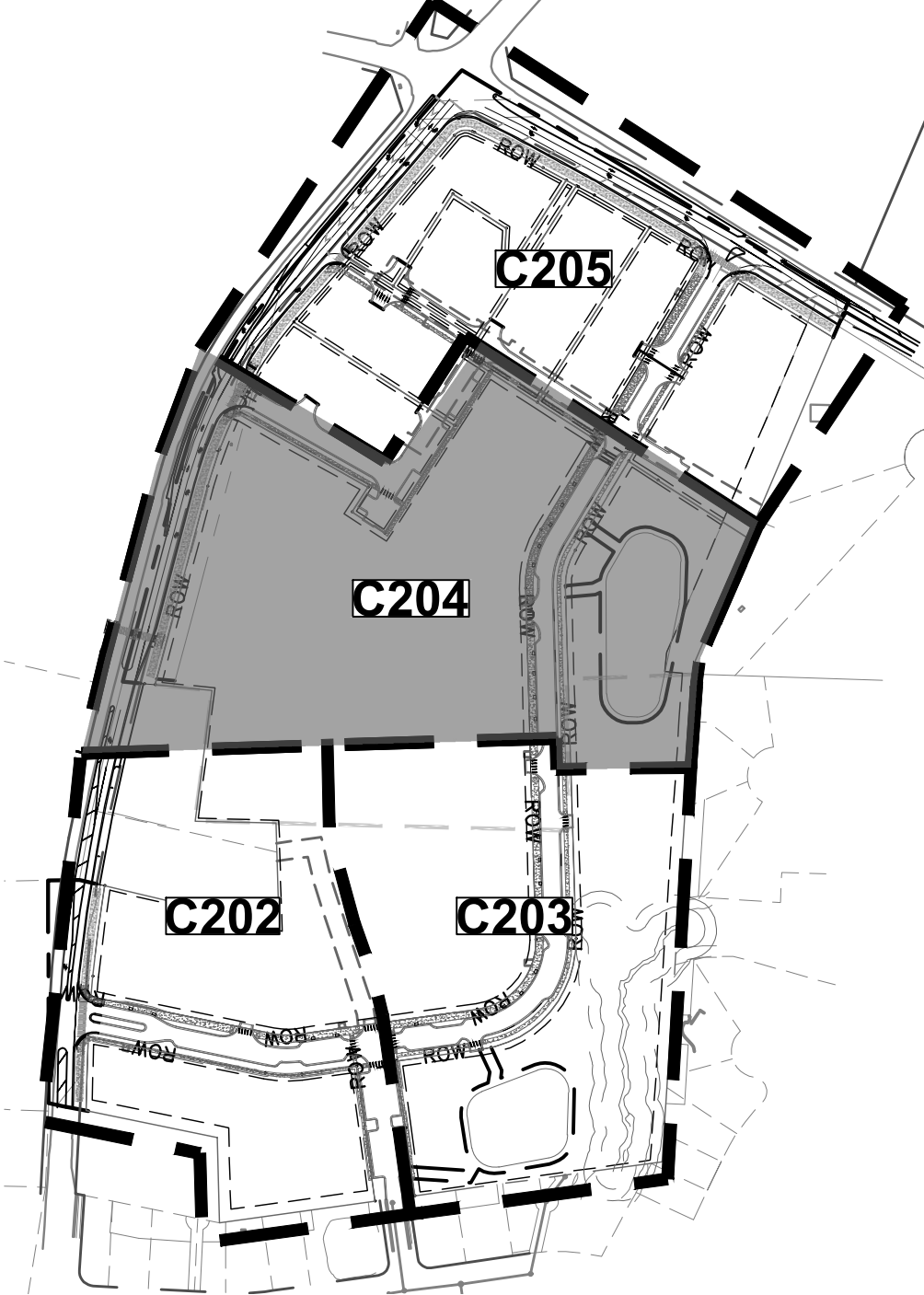
SHEET NUMBER
C203

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PROPOSED IMPROVEMENTS LEGEND	
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	30' NEUSE RIVER BUFFER
	BUILDING SETBACK
	CURB AND GUTTER
	TRAFFIC ARROWS
	STOP BAR, "STOP" MARKING & SIGN
	SIGNS - SINGLE / DOUBLE
	SIGNS - MONUMENT / PYLON
	SITE LIGHTING
	RETAINING WALL
	PARKING COUNT
	ROW
	PROPOSED RIGHT-OF-WAY
	TOP OF BANK
	50' NEUSE RIVER BUFFER
	WETLAND
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA
	NEUSE RIVER BUFFER CONSERVATION AREA
	CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE
	AMENITY AREA

KEY MAP (SCALE 1" = 300')



No.	REVISIONS	DATE	BY

Kimley **Horn**

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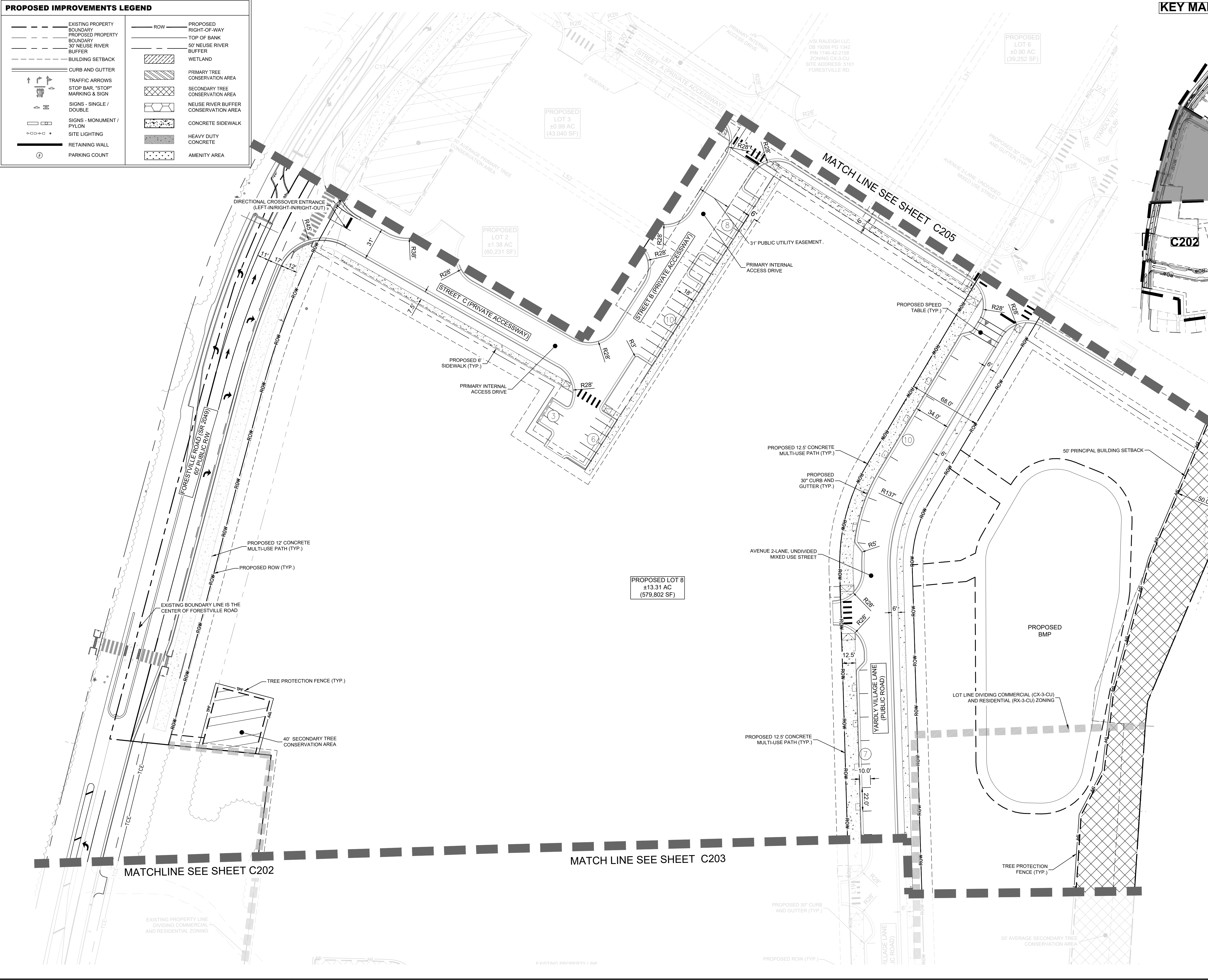
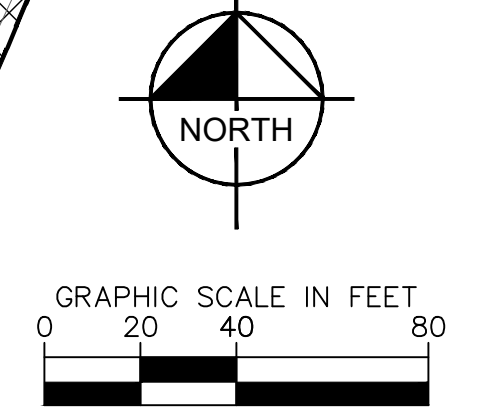
KH PROJECT	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
017270019	09/11/2024	MTH	MTH	KLW

ENLARGED SUBDIVISION PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC

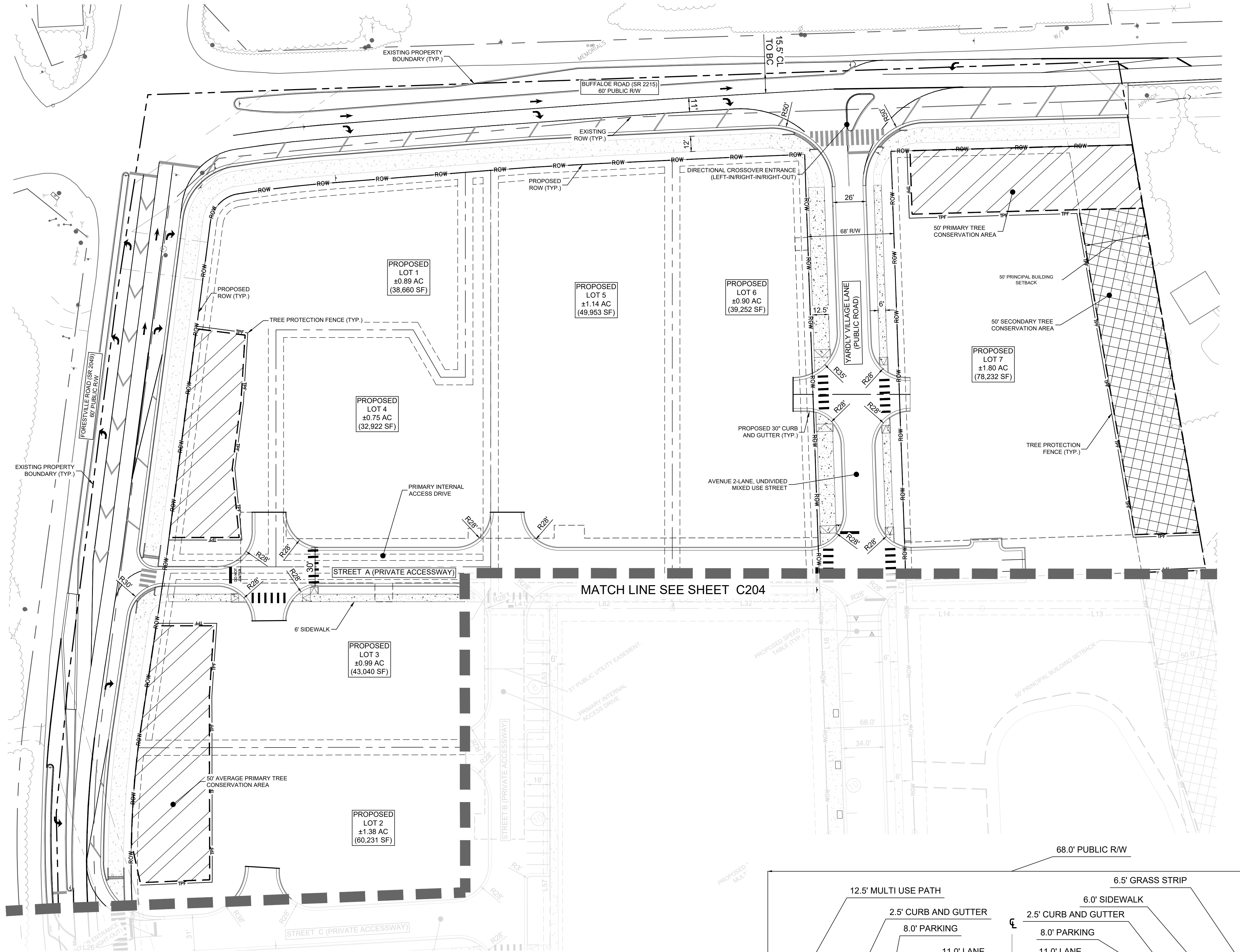
SHEET NUMBER
C204

SITE DATA TABLE	
PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 95 SPACES LOT 2: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PIN #:	1748-42-2158
	1748-31-9793
	1748-41-0189
	1748-30-8877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.06 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.89 AC (38,860 SF) LOT 2 (VACANT): 1.38 AC (60,231 SF) LOT 3 (VACANT): 0.99 AC (43,040 SF) LOT 4 (VACANT): 0.75 AC (32,922 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.90 AC (39,252 SF) LOT 7 (VACANT): 1.80 AC (78,232 SF) LOT 8 (VACANT): 13.31 AC (579,802 SF) LOT 9 (VACANT): 6.84 AC (297,971 SF) LOT 10 (VACANT): 2.03 AC (88,491 SF)



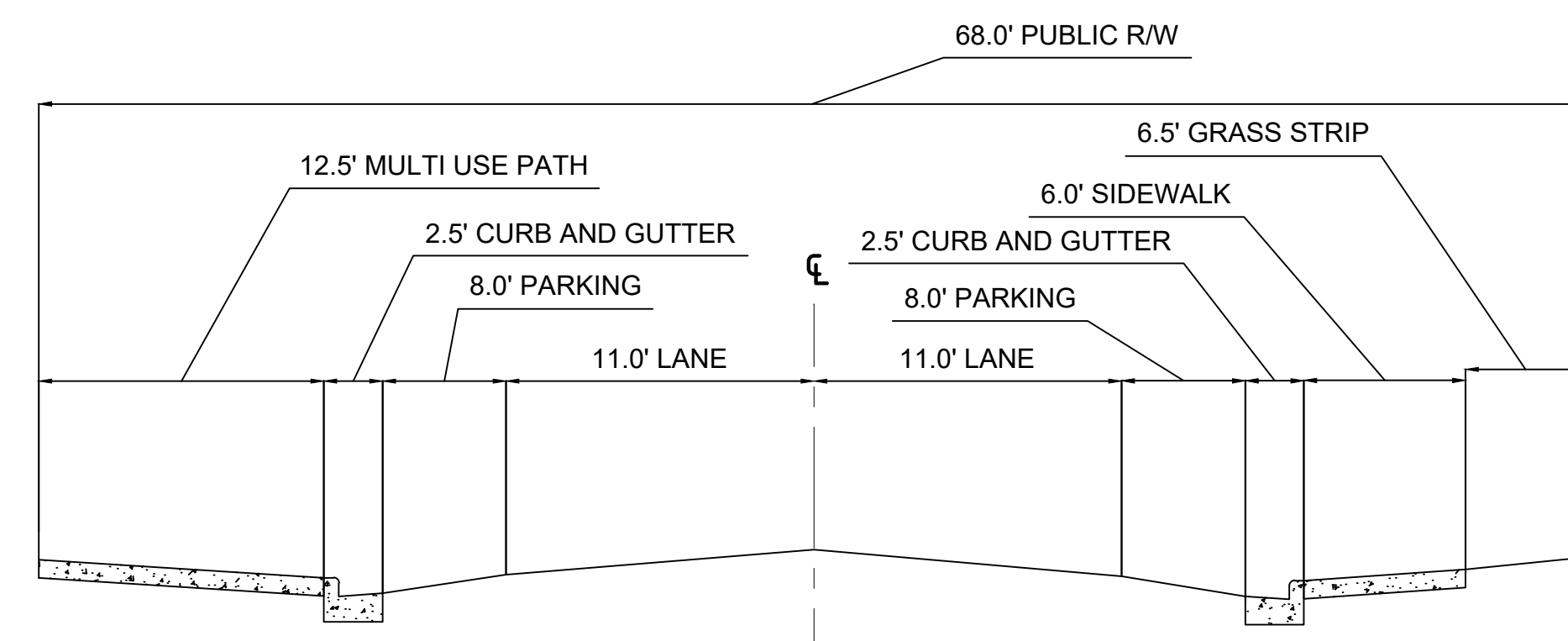
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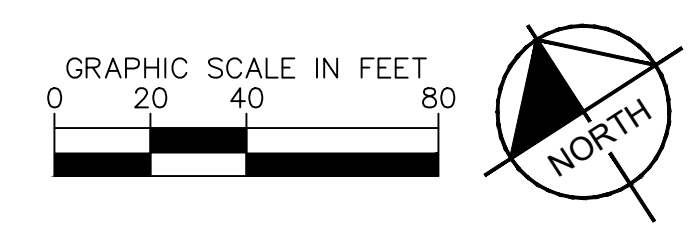
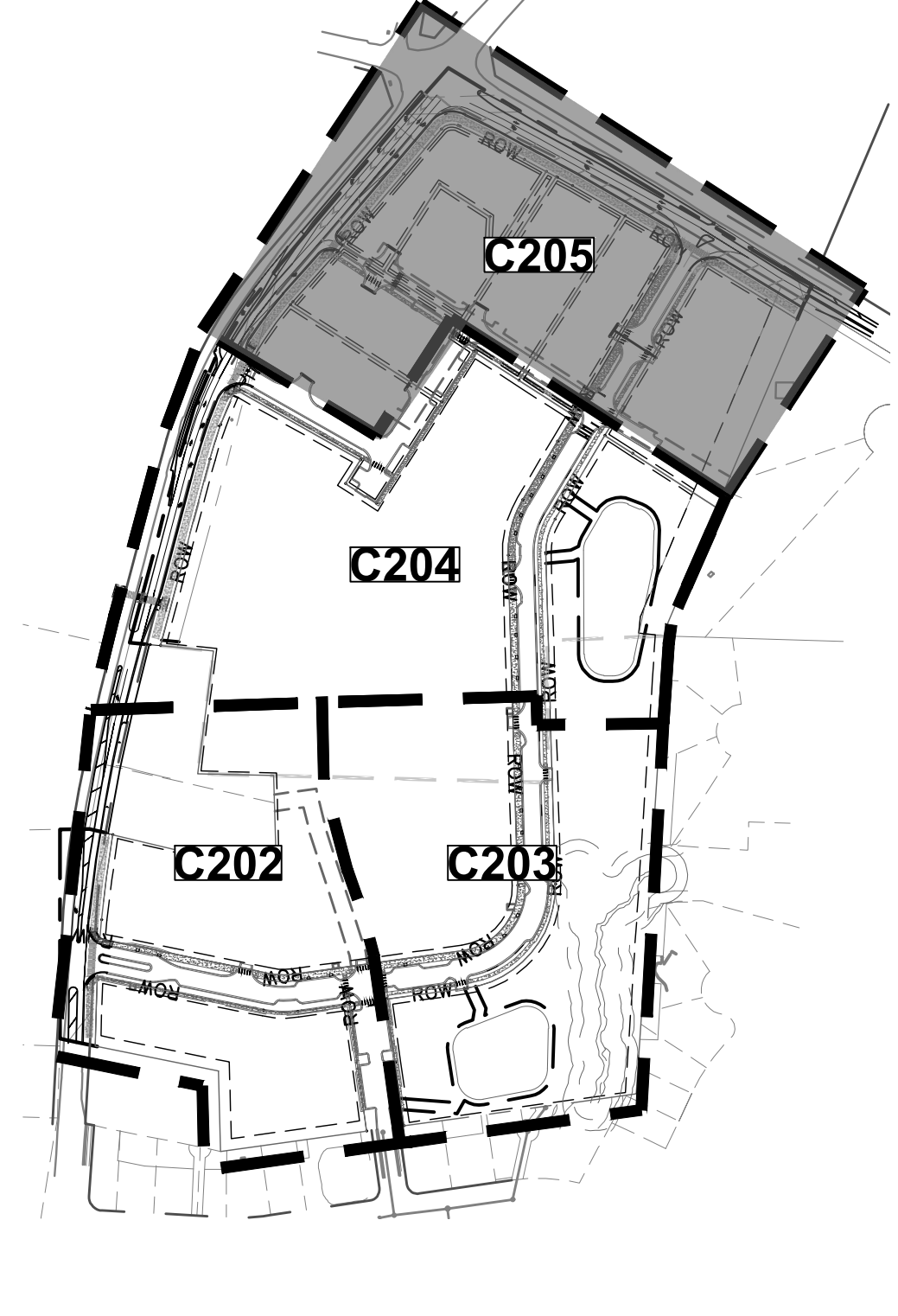


PROPOSED IMPROVEMENTS LEGEND	
---	EXISTING PROPERTY BOUNDARY
- - -	PROPOSED PROPERTY BOUNDARY
- - -	30' NEUSE RIVER BUFFER
- - -	BUILDING SETBACK
---	CURB AND GUTTER
↑ ↓	TRAFFIC ARROWS
↑ ↓	STOP BAR, "STOP" MARKING & SIGN
↑ ↓	SIGNS - SINGLE / DOUBLE
↑ ↓	SIGNS - MONUMENT / PYLON
○	SITE LIGHTING
⊕	RETAINING WALL
⊕	PARKING COUNT
---	PROPOSED RIGHT-OF-WAY
---	TOP OF BANK
---	50' NEUSE RIVER BUFFER
---	WETLAND
▨	PRIMARY TREE CONSERVATION AREA
▨	SECONDARY TREE CONSERVATION AREA
▨	NEUSE RIVER BUFFER CONSERVATION AREA
▨	CONCRETE SIDEWALK
▨	HEAVY DUTY CONCRETE
▨	AMENITY AREA

SITE DATA TABLE	
PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	VACANT OPEN LOT
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OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 95 SPACES LOT 2: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PIN #:	1746-42-2158 1746-31-9793 1746-41-0189 1746-30-8877
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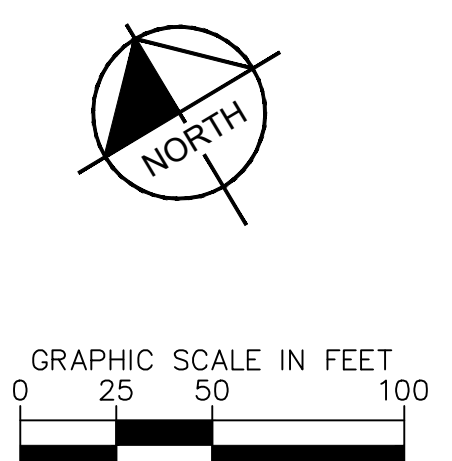
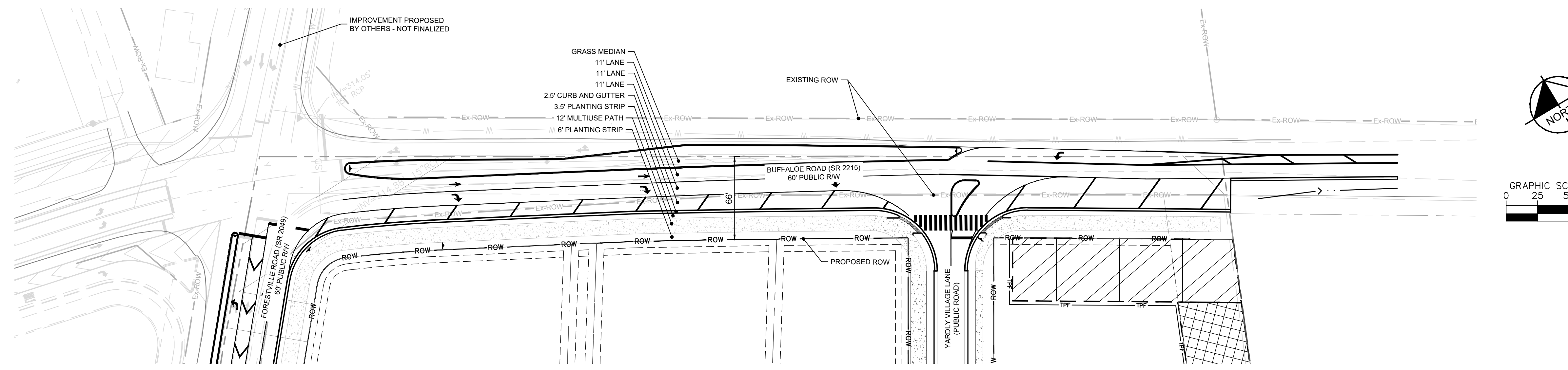
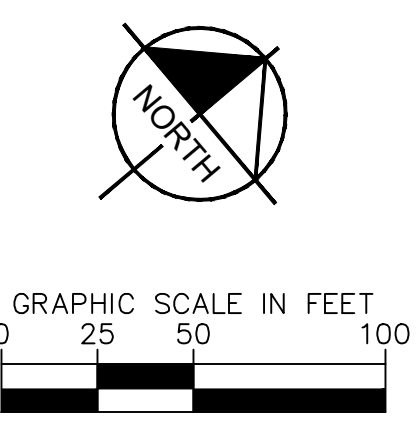
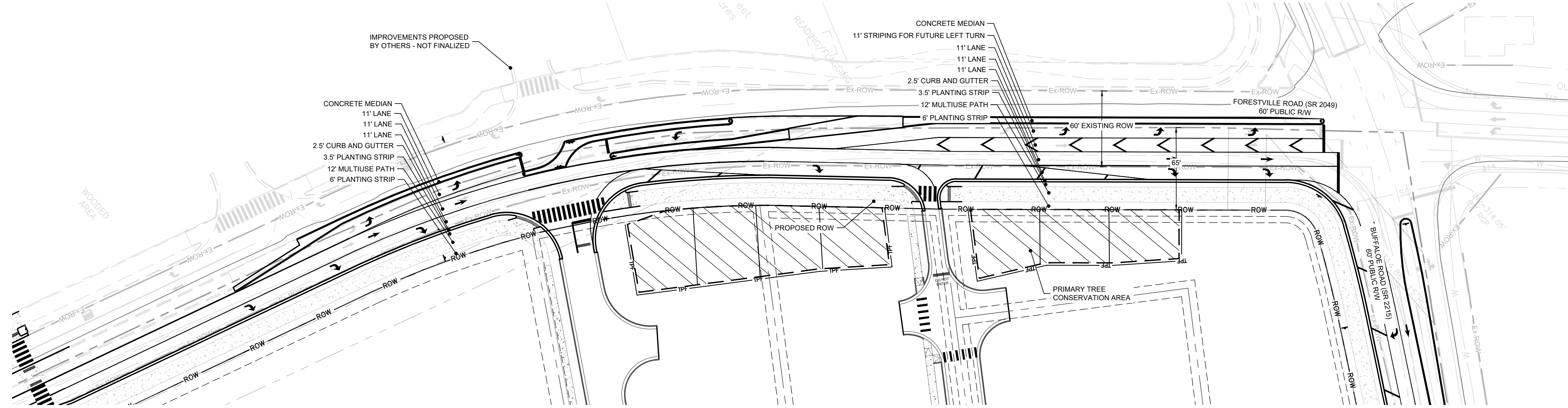
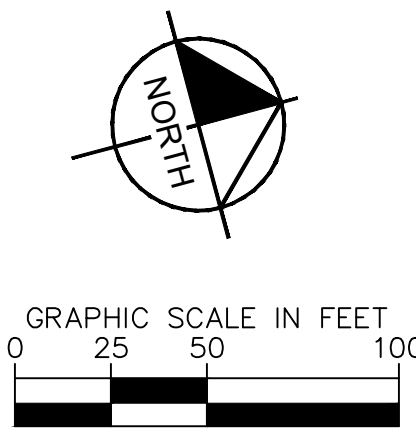
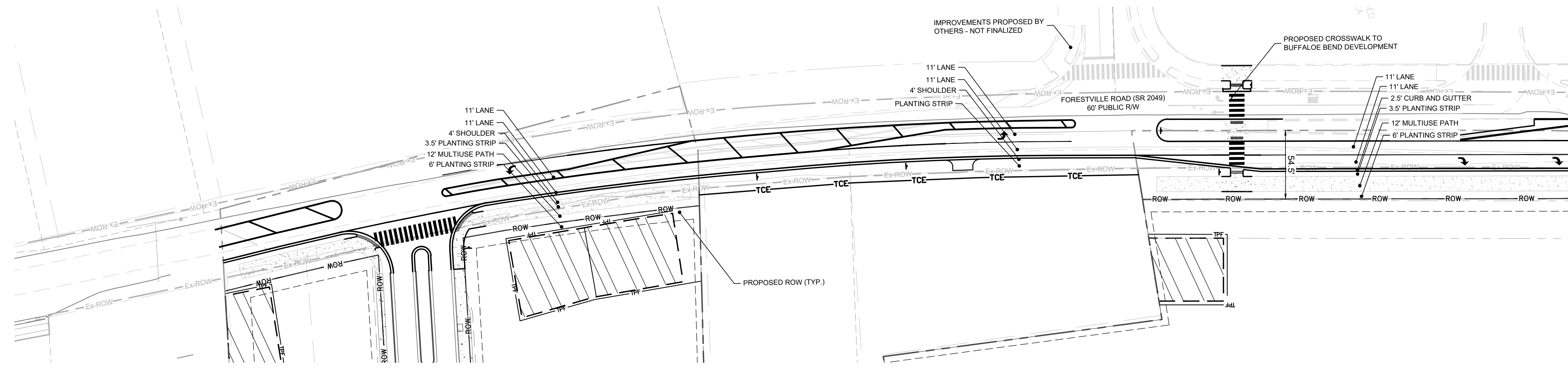
KEY MAP (SCALE 1" = 300')



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	<p>REVISIONS</p>
<p>NO.</p>	<p>DATE</p>
<p>KH PROJECT: 017270019 DATE: 09/11/2024 SCALE: AS SHOWN DESIGNED BY: MTH DRAWN BY: MTH CHECKED BY: K/LW</p>	<p>YARDY BUFFALO VILLAGE ENLARGED SUBDIVISION PLAN</p>
<p>YARDY BUFFALO VILLAGE ENLARGED SUBDIVISION PLAN PREPARED FOR YARDY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC</p>	<p>SHEET NUMBER C205</p>

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Plotted By: Larson, Sydney Sheet: Set: Yards Buffalo Village Layout: C206 OFFSITE ROADWAY IMPROVEMENTS September 10, 2024 04:08:33pm K:\CHL_P\17270_Taylor Morrison\018_Raleigh\Buffalo02 - DWG\PlanSheets\C206 OFFSITE ROADWAY IMPROVEMENTS.dwg



No.	REVISIONS	DATE	BY

Kimley **Horn**
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 PHONE: 984-275-3659
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 NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	
CHECKED BY	KLW

YARDLY BUFFALO VILLAGE
 OFFSITE ROADWAY IMPROVEMENTS

PREPARED FOR
YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH, NC

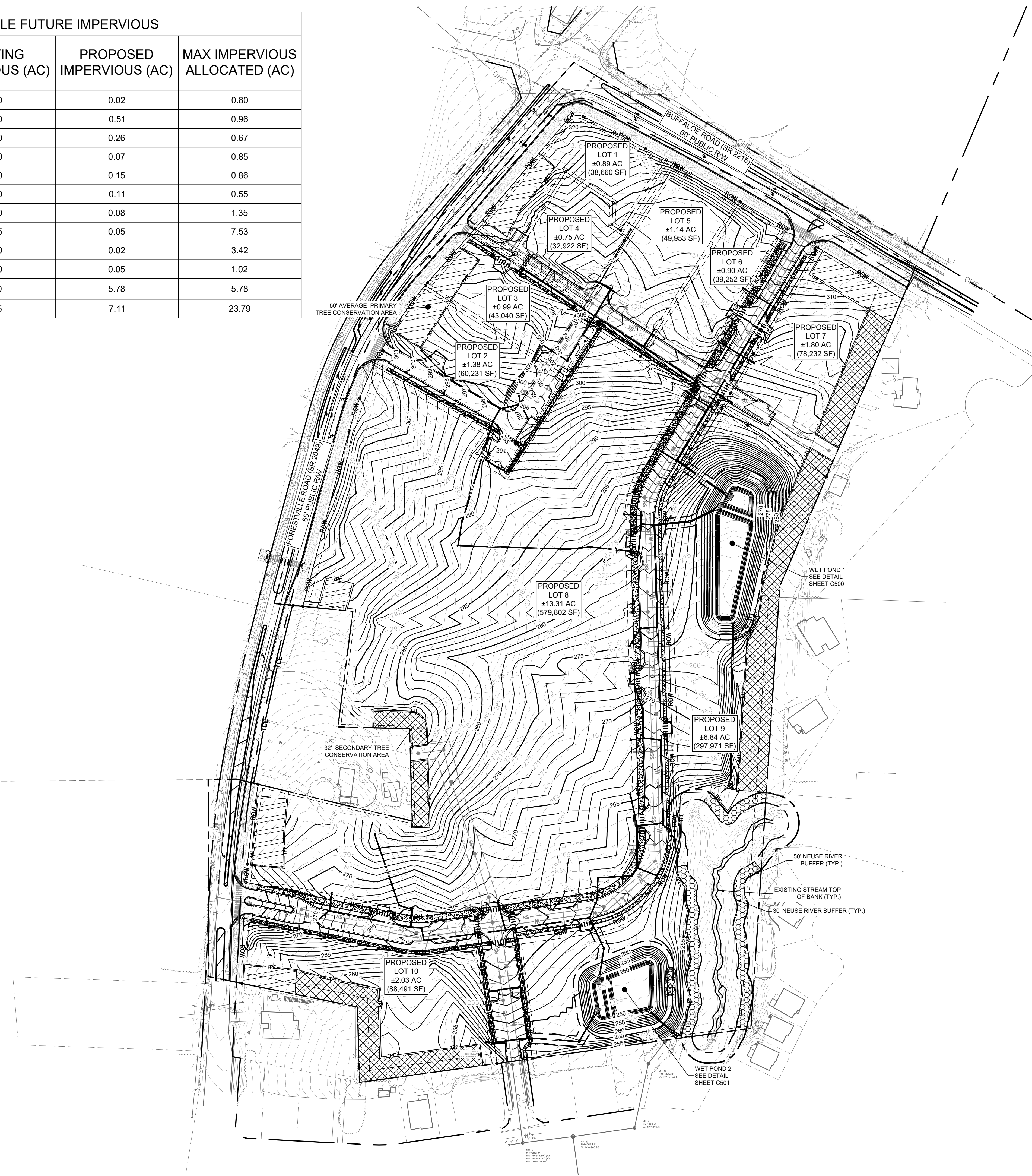
SHEET NUMBER
C206



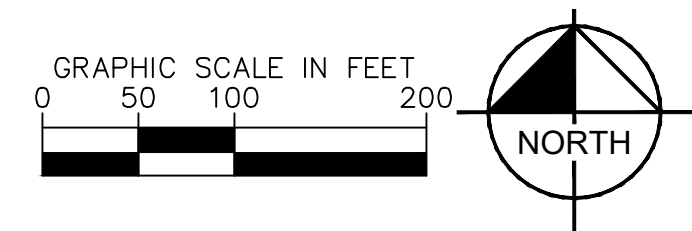
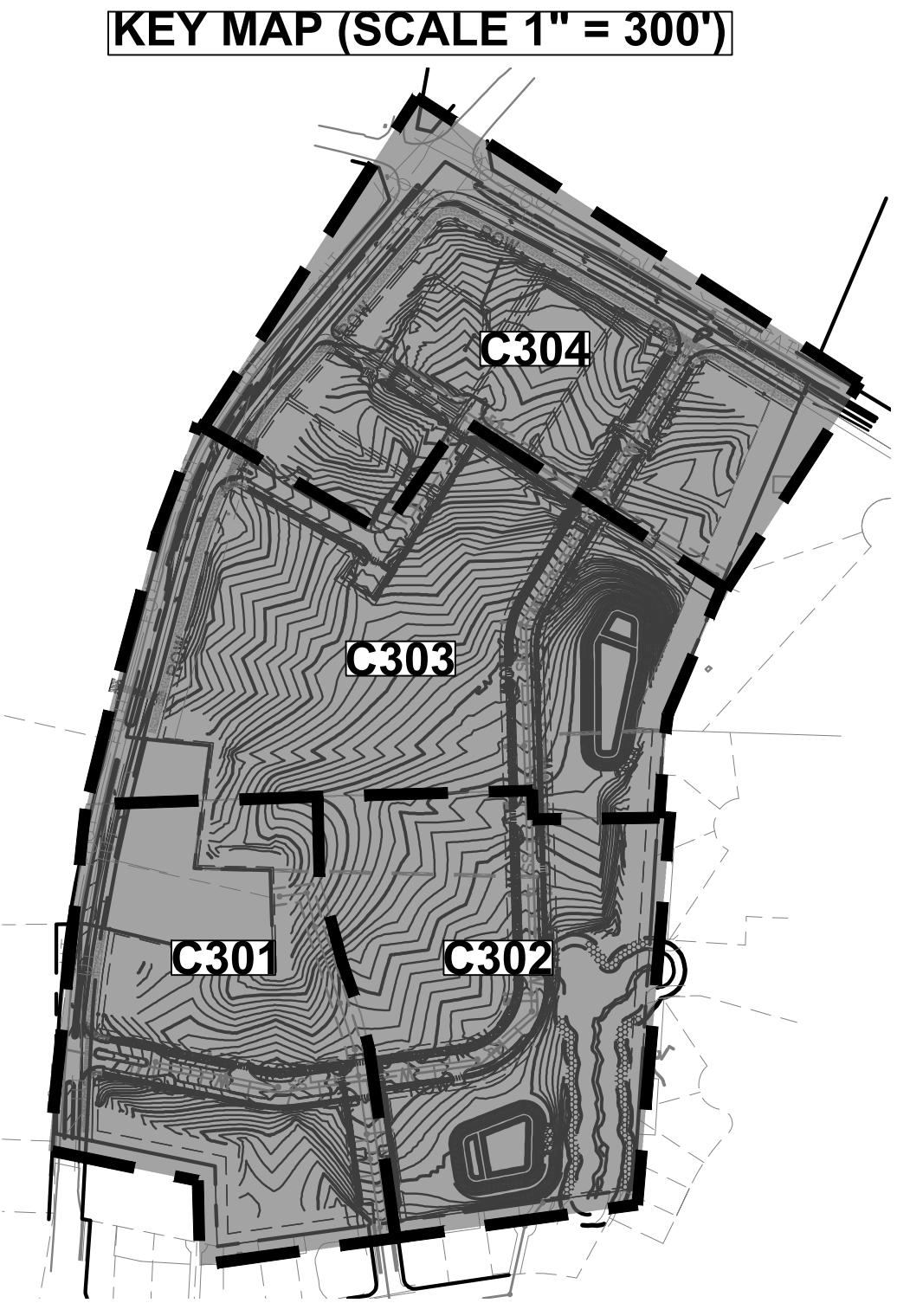
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MAXIMUM ALLOWABLE FUTURE IMPERVIOUS				
LOT	TOTAL AREA (AC)	EXISTING IMPERVIOUS (AC)	PROPOSED IMPERVIOUS (AC)	MAX IMPERVIOUS ALLOCATED (AC)
LOT 1	0.89	0.00	0.02	0.80
LOT 2	1.38	0.00	0.51	0.96
LOT 3	0.99	0.00	0.26	0.67
LOT 4	0.76	0.00	0.07	0.85
LOT 5	1.14	0.00	0.15	0.86
LOT 6	0.90	0.00	0.11	0.55
LOT 7	1.80	0.00	0.08	1.35
LOT 8	13.31	0.25	0.05	7.53
LOT 9	6.84	0.00	0.02	3.42
LOT 10	2.03	0.00	0.05	1.02
PUBLIC ROW	7.06	1.30	5.78	5.78
TOTAL	37.10	1.55	7.11	23.79



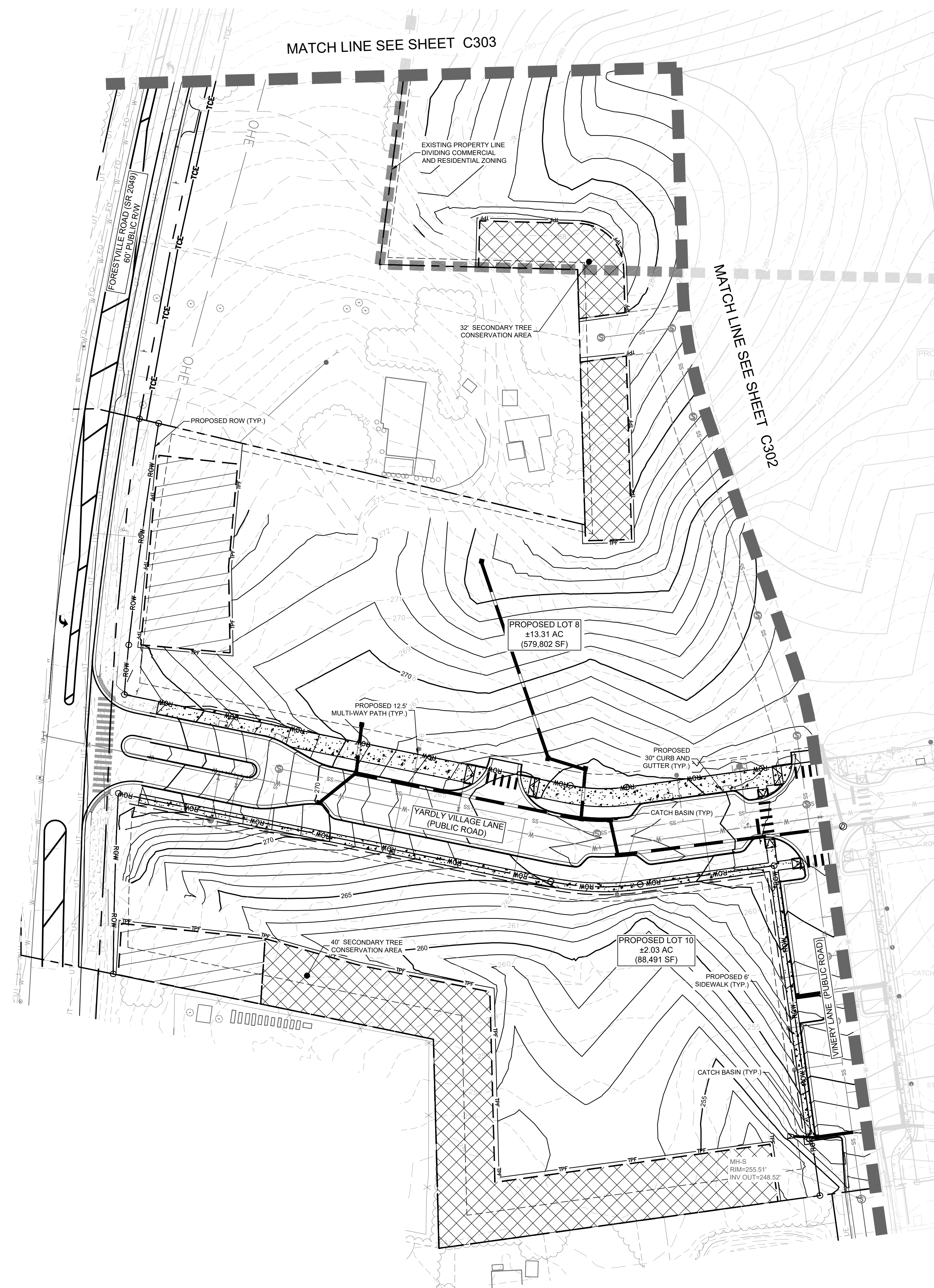
GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	ROW
---	CURB AND GUTTER	---	STORM DRAIN
---	PROPOSED MAJOR CONTOUR	---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	EXISTING MINOR CONTOUR
---	SPOT ELEVATION	---	LIMITS OF DISTURBANCE
---	CATCH BASIN (CB)	---	PRIMARY TREE CONSERVATION AREA
---	MANHOLE (SDMH)	---	SECONDARY TREE CONSERVATION AREA
---	RETAINING WALL	---	AMENITY AREA



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		OVERALL PRELIMINARY GRADING AND DRAINAGE PLAN		YARDLY BUFFALO VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC		SHEET NUMBER C300	

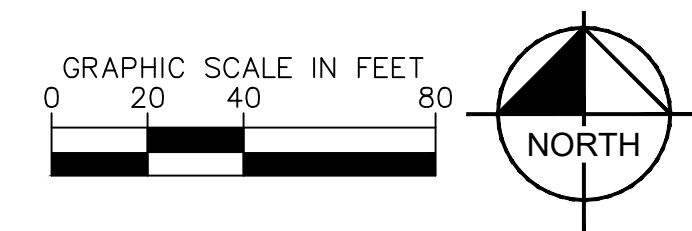
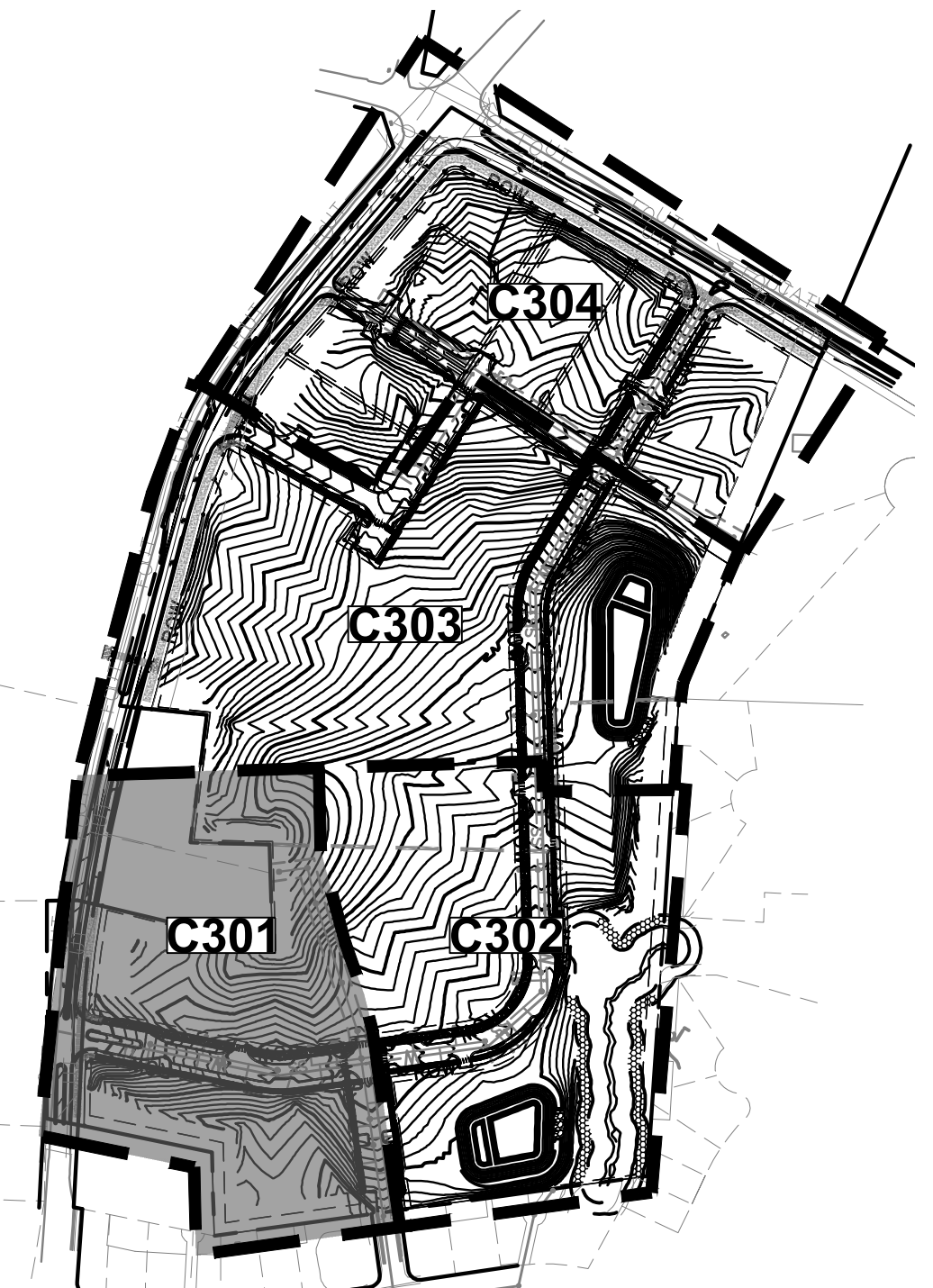
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Plotted By: Larson, Sydney Sheet Set: Yardly Buffalo Village Layout: C301 PRELIMINARY GRADING AND DRAINAGE PLAN September 12, 2024 09:44:47 from K:\CHL_P\017270_Taylor Morrison\01 Buffalo\02 - DWG\PlanSheets\2.0 - C301 - PRELIMINARY GRDG DRNG PLAN.dwg



GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	ROW
---	RIGHT-OF-WAY	---	STORM DRAIN
---	CURB AND GUTTER	---	EXISTING MAJOR CONTOUR
---	PROPOSED MAJOR CONTOUR	---	EXISTING MINOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	LIMITS OF DISTURBANCE
---	SPOT ELEVATION	---	PRIMARY TREE CONSERVATION AREA
---	CATCH BASIN (CB)	---	SECONDARY TREE CONSERVATION AREA
---	MANHOLE (SDMH)	---	AMENITY AREA
---	RETAINING WALL	---	

KEY MAP (SCALE 1" = 300')



No.	REVISIONS	DATE	BY

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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

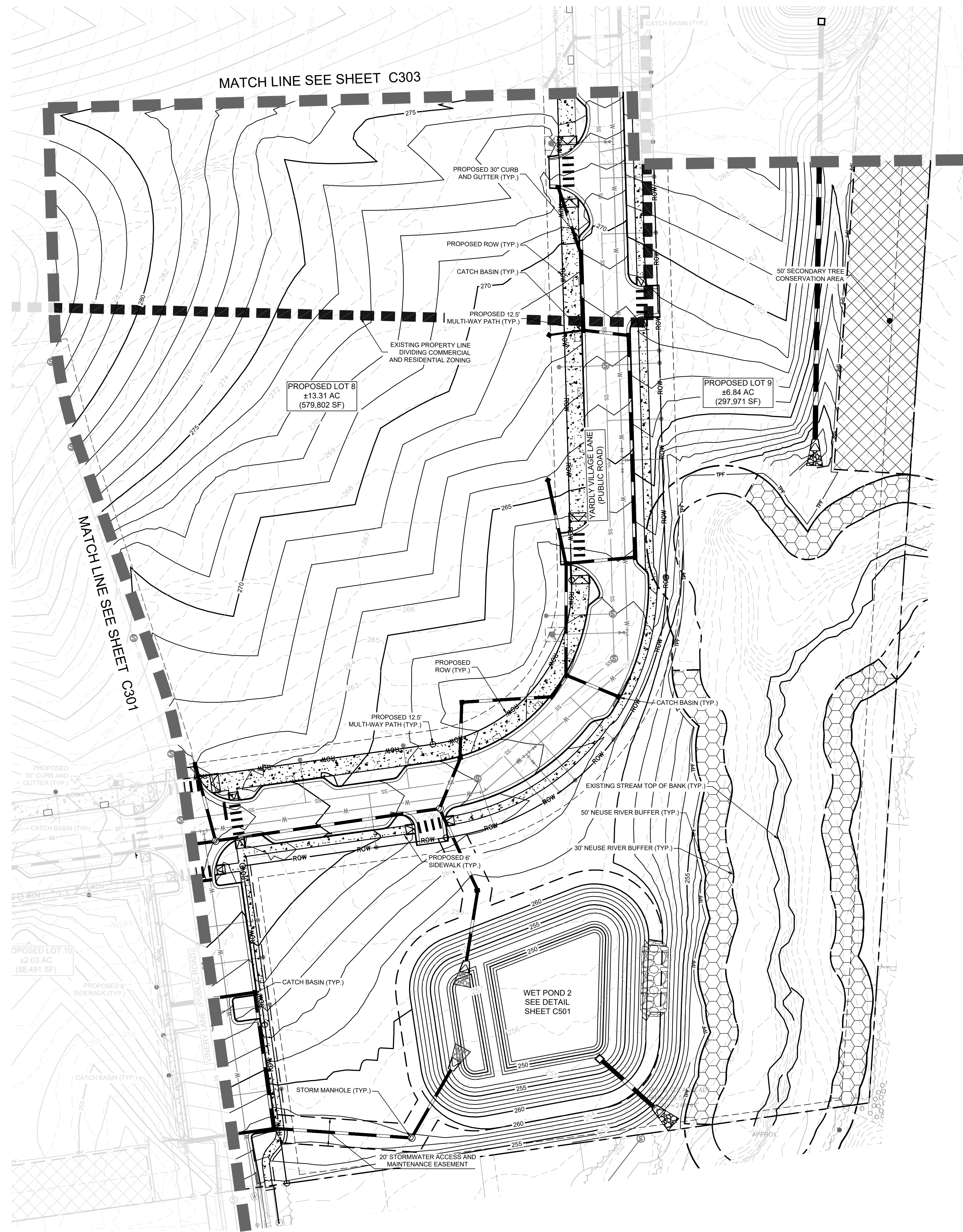
PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
C301

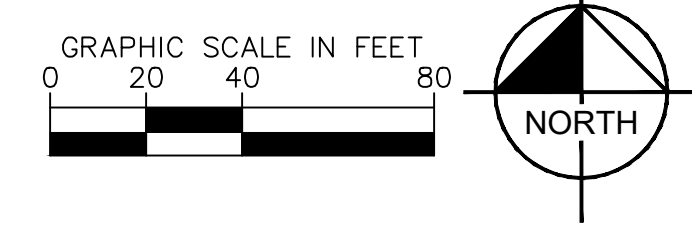
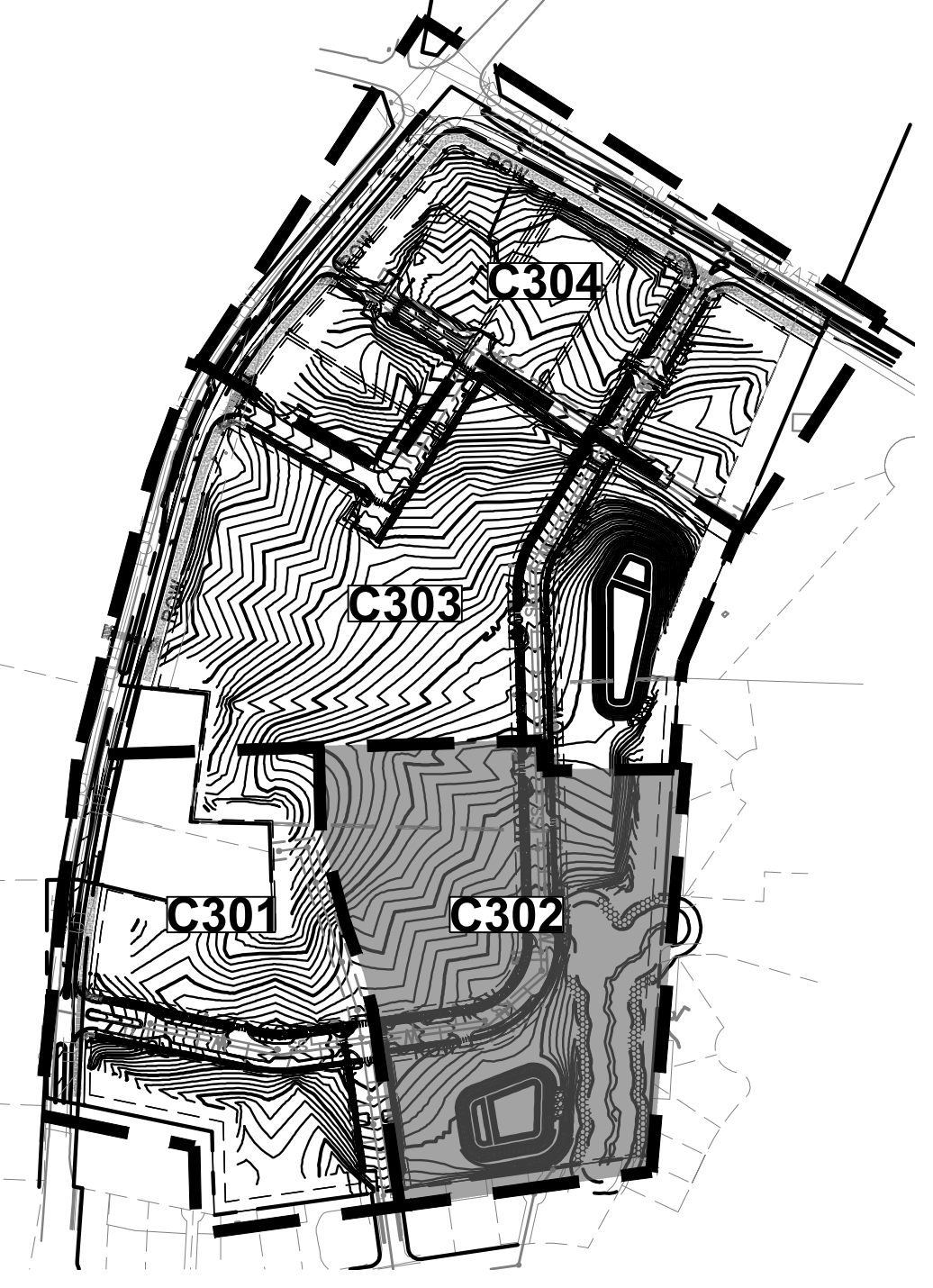
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GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	ROW - RIGHT-OF-WAY
---	CURB AND GUTTER	---	STORM DRAIN
---	PROPOSED MAJOR CONTOUR	---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	EXISTING MINOR CONTOUR
---	SPOT ELEVATION	---	LIMITS OF DISTURBANCE
---	CATCH BASIN (CB)	---	PRIMARY TREE CONSERVATION AREA
---	MANHOLE (SDMH)	---	SECONDARY TREE CONSERVATION AREA
---	RETAINING WALL	---	AMENITY AREA

KEY MAP (SCALE 1" = 300')



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DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

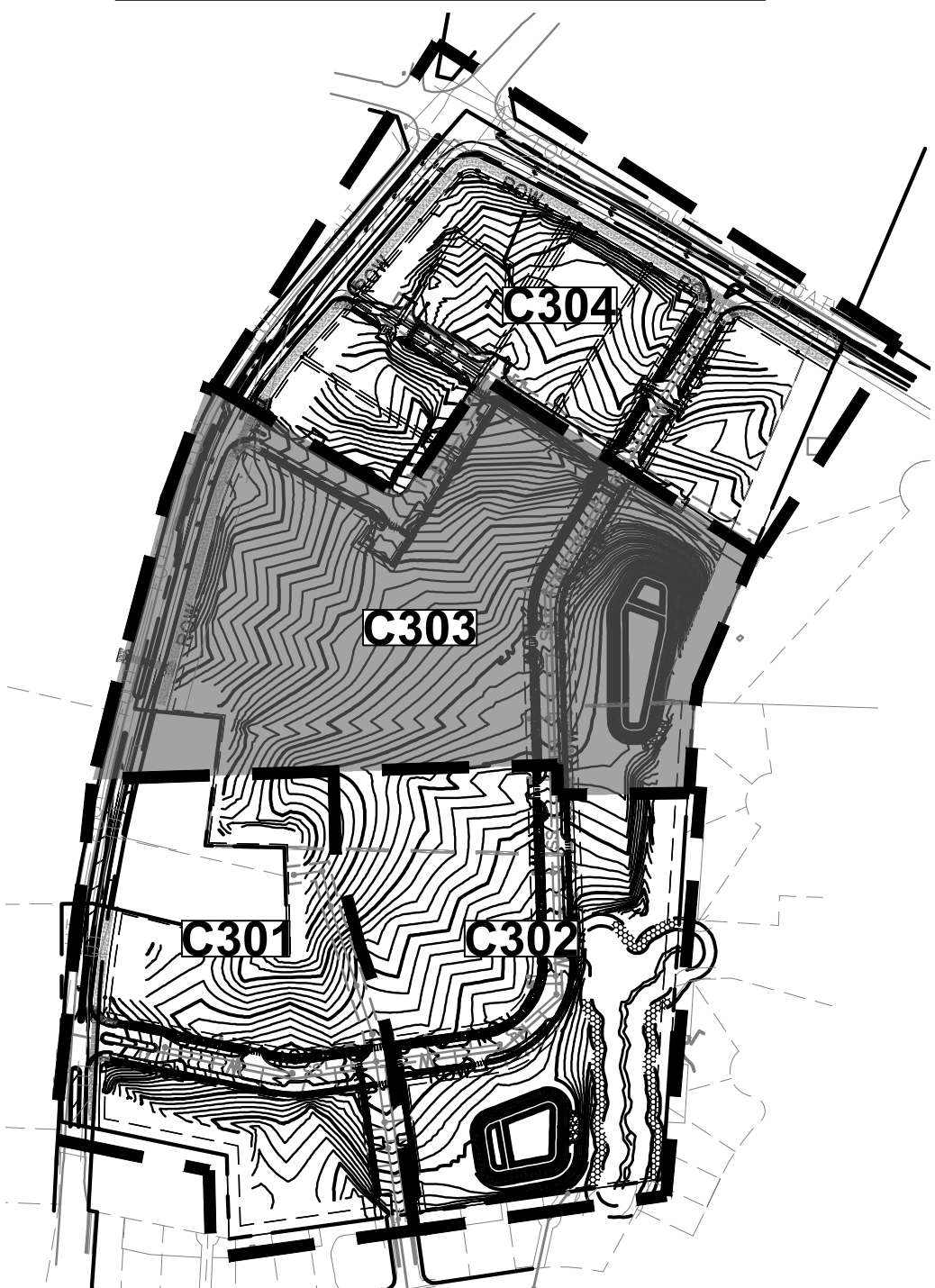
SHEET NUMBER
C302

NO.	REVISIONS	DATE	BY

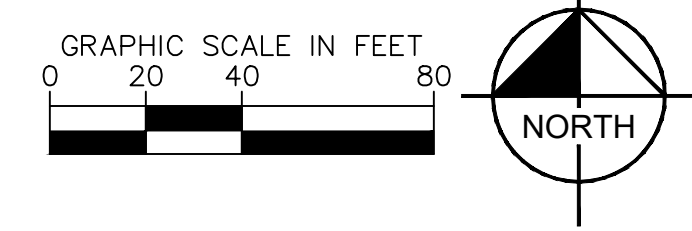
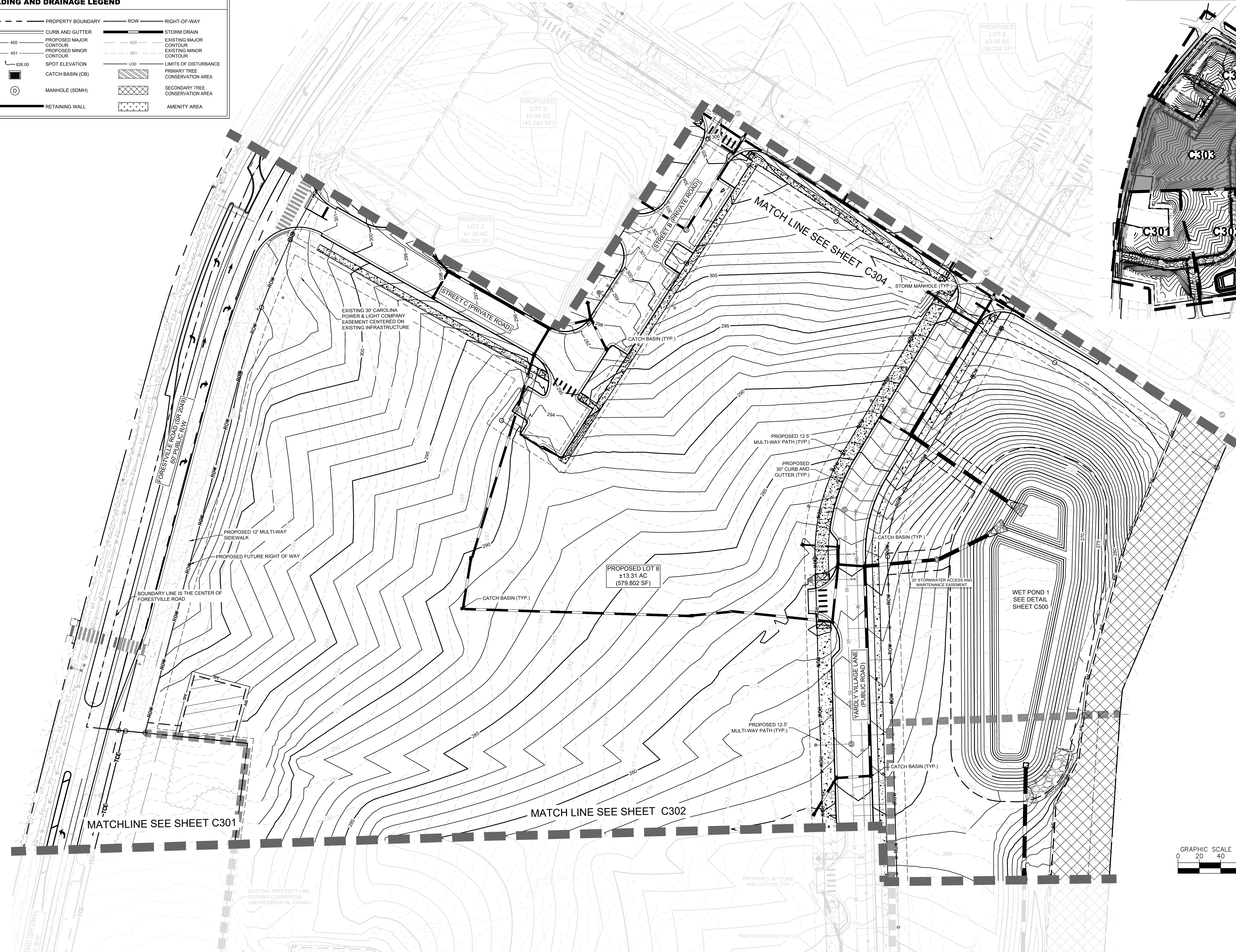
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GRADING AND DRAINAGE LEGEND			
	PROPERTY BOUNDARY		ROW - RIGHT-OF-WAY
	CURB AND GUTTER		STORM DRAIN
	PROPOSED MAJOR CONTOUR		EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR		EXISTING MINOR CONTOUR
	SPOT ELEVATION		LIMITS OF DISTURBANCE
	CATCH BASIN (CB)		PRIMARY TREE CONSERVATION AREA
	MANHOLE (SDMH)		SECONDARY TREE CONSERVATION AREA
	RETAINING WALL		AMENITY AREA

KEY MAP (SCALE 1" = 300')



Plotted By: Linsom, Sydney Sheet Set: Yardy Buffalo Village Preliminary Grading and Drainage Plan September 12, 2024 09:45:44am K:\CHL_PRA\017270 Taylor Morrison\019 Raleigh-Buffer\02 - DWG\PlanSheets\2.0 - C300 - PRELIMINARY GRDNG PLAN.dwg



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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

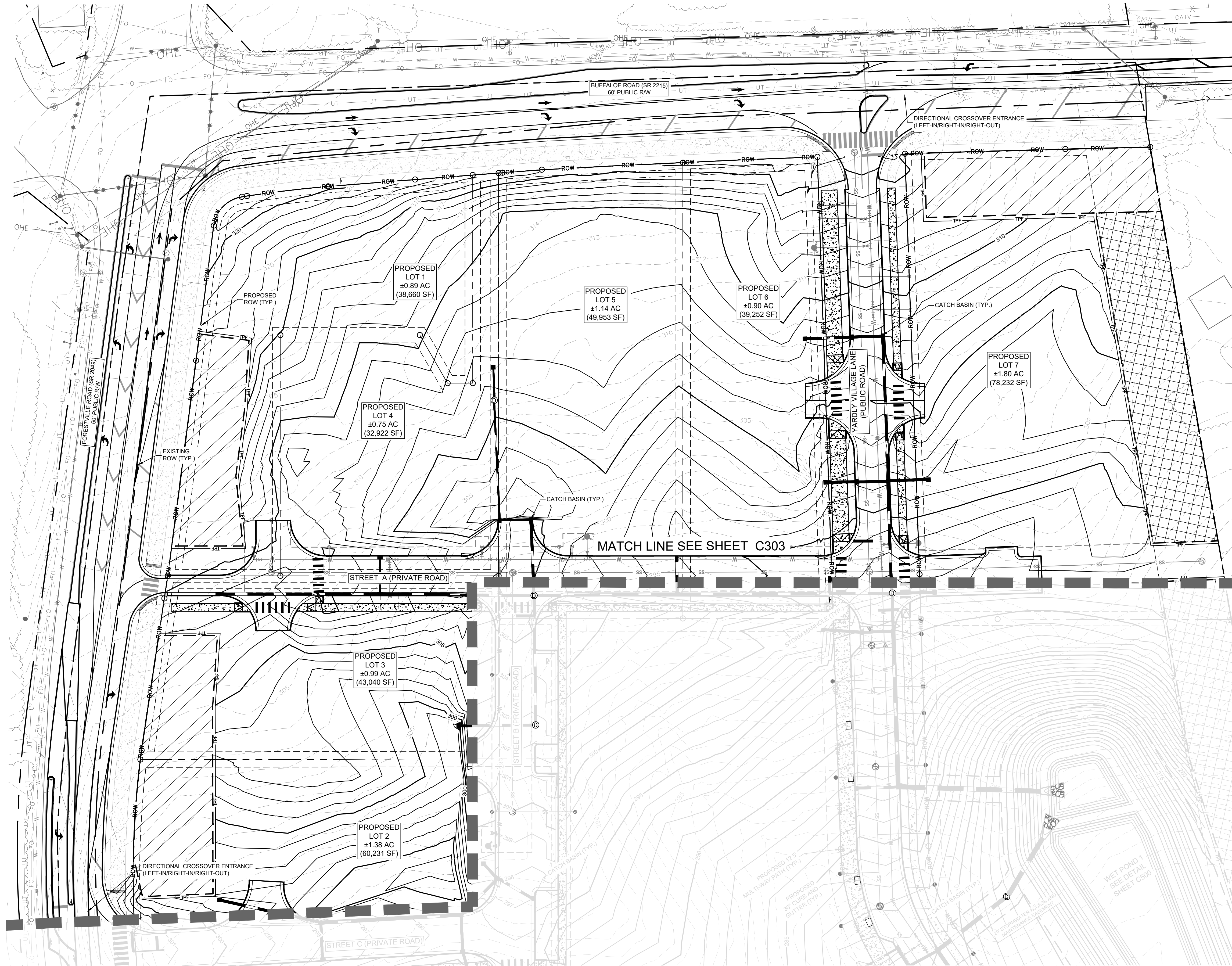
PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
C303

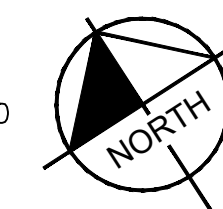
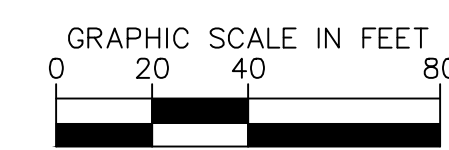
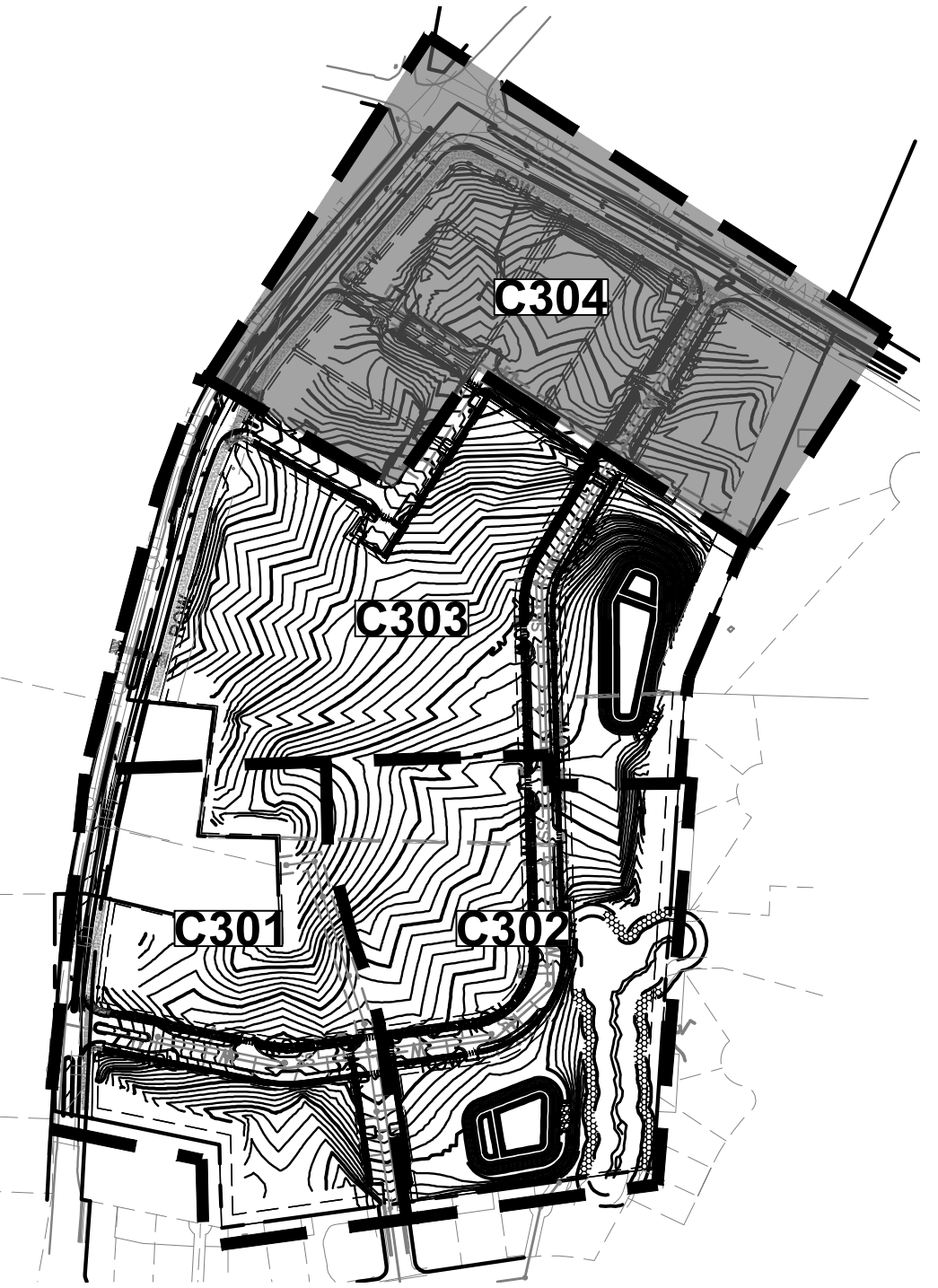
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GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	ROW
---	CURB AND GUTTER	---	STORM DRAIN
---	PROPOSED MAJOR CONTOUR	---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	EXISTING MINOR CONTOUR
---	SPOT ELEVATION	---	LIMITS OF DISTURBANCE
---	CATCH BASIN (CB)	---	PRIMARY TREE CONSERVATION AREA
---	MANHOLE (SDMH)	---	SECONDARY TREE CONSERVATION AREA
---	RETAINING WALL	---	AMENITY AREA

KEY MAP (SCALE 1" = 300')



Know what's below.
Call before you dig.

PRELIMINARY
GRADING AND
DRAINAGE PLAN

YARDLY BUFFALO
VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

SHEET NUMBER
C304

KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

PRELIMINARY
NOT FOR CONSTRUCTION

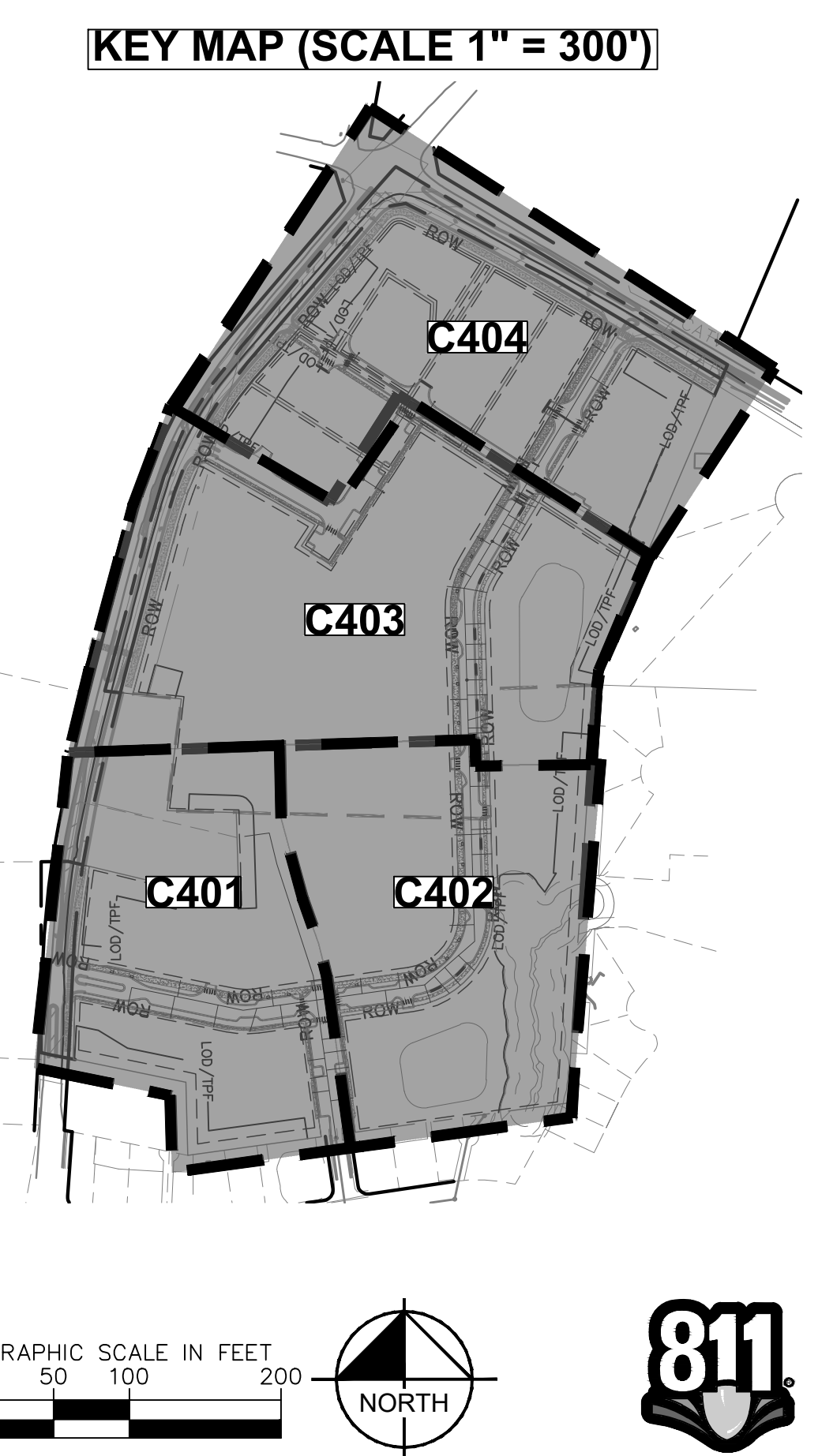
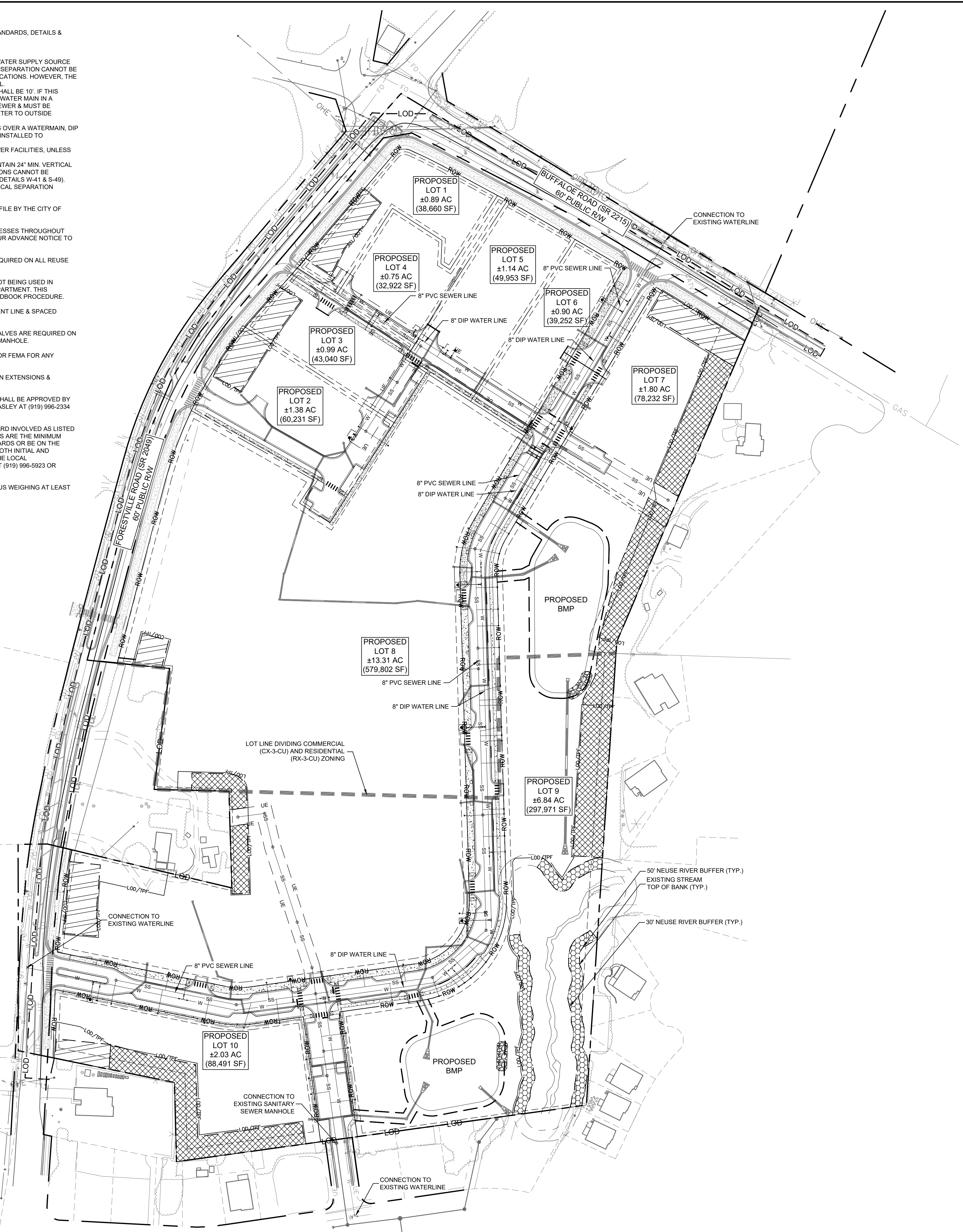
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REVISIONS	No.	DATE	BY

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 90 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (NCFC 503.2.3).
- MAXIMUM ANTICIPATED AVERAGE DAILY FLOW (SEWER) FOR THE PROJECT IS 67,000 GPD.

UTILITY LEGEND	
---	PROPERTY BOUNDARY
---	ROW
---	RIGHT-OF-WAY
W	WATER LINE
SS	SANITARY SEWER LINE
RD	ROOF DRAIN
UE	UTILITY EASEMENT
M	WATER METER
+	GATE VALVE
+	POINT OF CONNECTION
+	BACKFLOW PREVENTOR
+	PIPE TEEBENDS
+	SANITARY SEWER CLEANOUT (SSCO)
+	FIRE HYDRANT (FH)
+	SANITARY SEWER CLEANOUT TRAFFIC RATED
+	FIRE DEPARTMENT CONNECTION (FDC)
+	SANITARY SEWER MANHOLE (SSMH)



NO.	REVISIONS	DATE	BY

Kimley **Horn**

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PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

OVERALL PRELIMINARY UTILITY PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC
 RALEIGH, NC

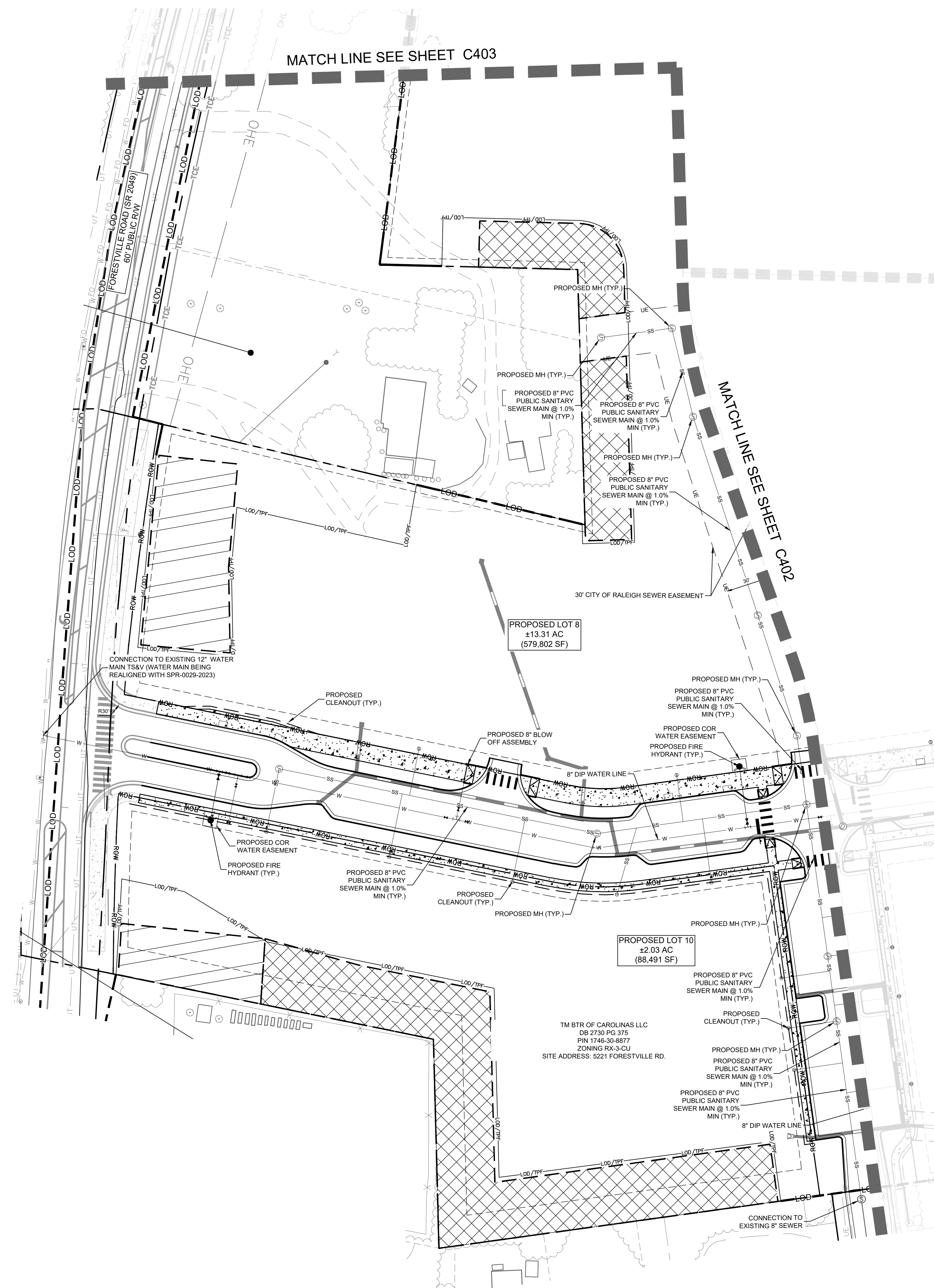
811
 Know what's below.
 Call before you dig.

SHEET NUMBER
C400

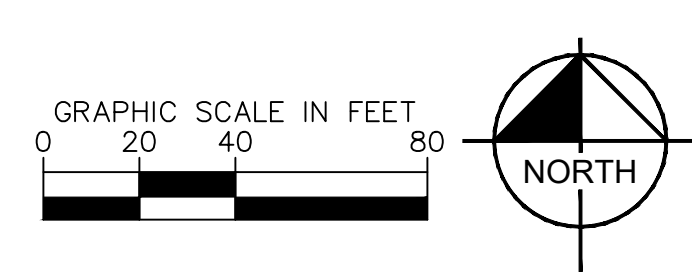
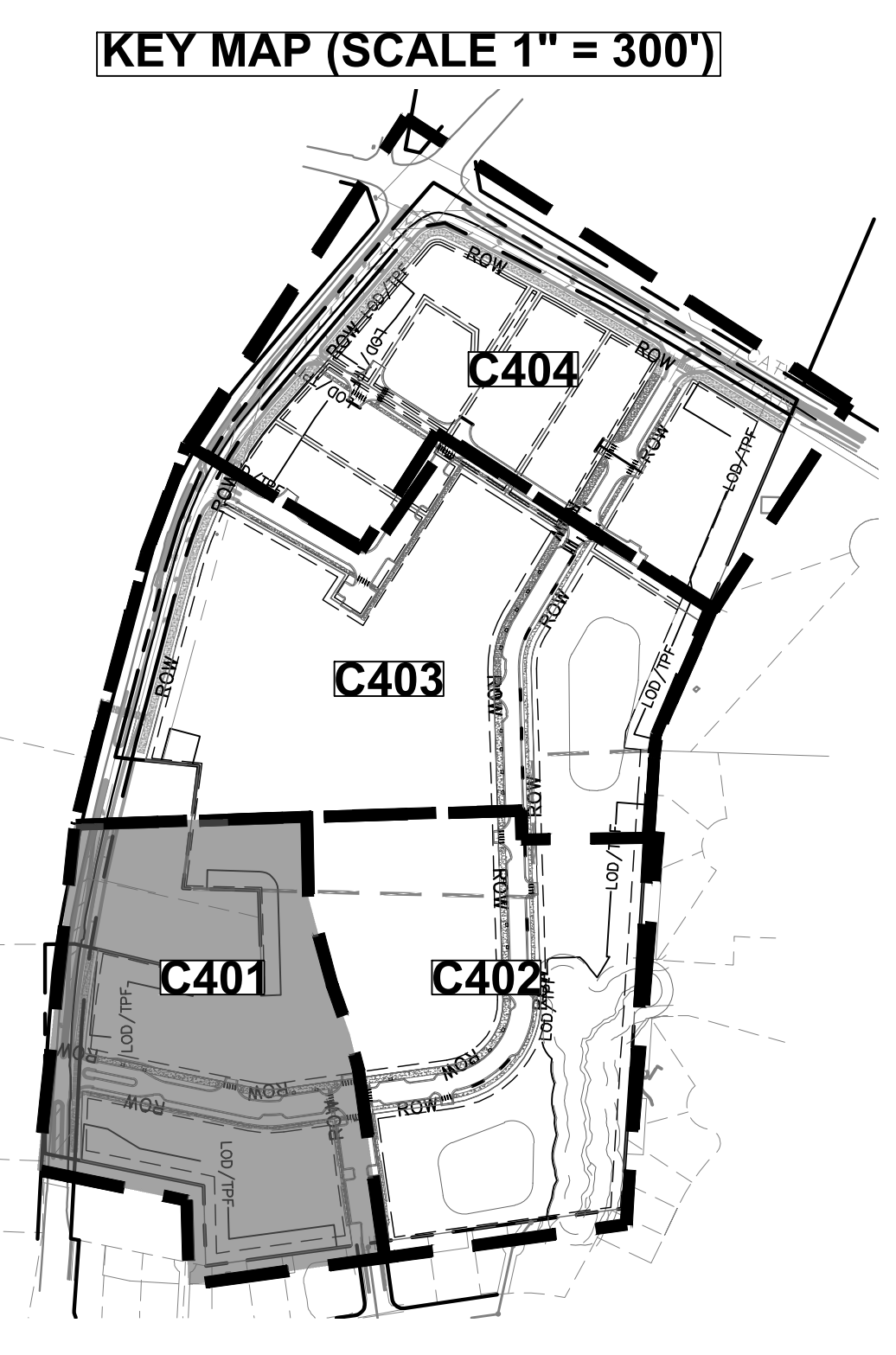
Plotted By: Larson, Sydney. Sheet Set: Yardly Buffalo Village. Layout: C400 OVERALL PRELIMINARY UTILITY PLAN. September 10, 2024. 04:11:40pm. K:\CHL - PRJ\017270 Taylor Morrison\019 Raleigh-Buffer\02 - DWG\Plan\Sheets\2.0 - C400 - PRELIMINARY UTILITY PLAN.dwg

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UTILITY LEGEND					
---	PROPERTY BOUNDARY	---	ROW	---	RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE		
RD	ROOF DRAIN	UE	UTILITY EASEMENT		
M	WATER METER	X	GATE VALVE		
C	POINT OF CONNECTION	⊘	BACKFLOW PREVENTOR		
⊕	PIPE TEEBENDS	⊙	SANITARY SEWER CLEANOUT (SSCO)		
⊕	FIRE HYDRANT (FH)	⊙	SANITARY SEWER CLEANOUT TRAFFIC RATED		
⊕	FIRE DEPARTMENT CONNECTION (FDC)	⊙	SANITARY SEWER MANHOLE (SSMH)		



No.	REVISIONS	DATE	BY

Kimley **Horn**

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NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

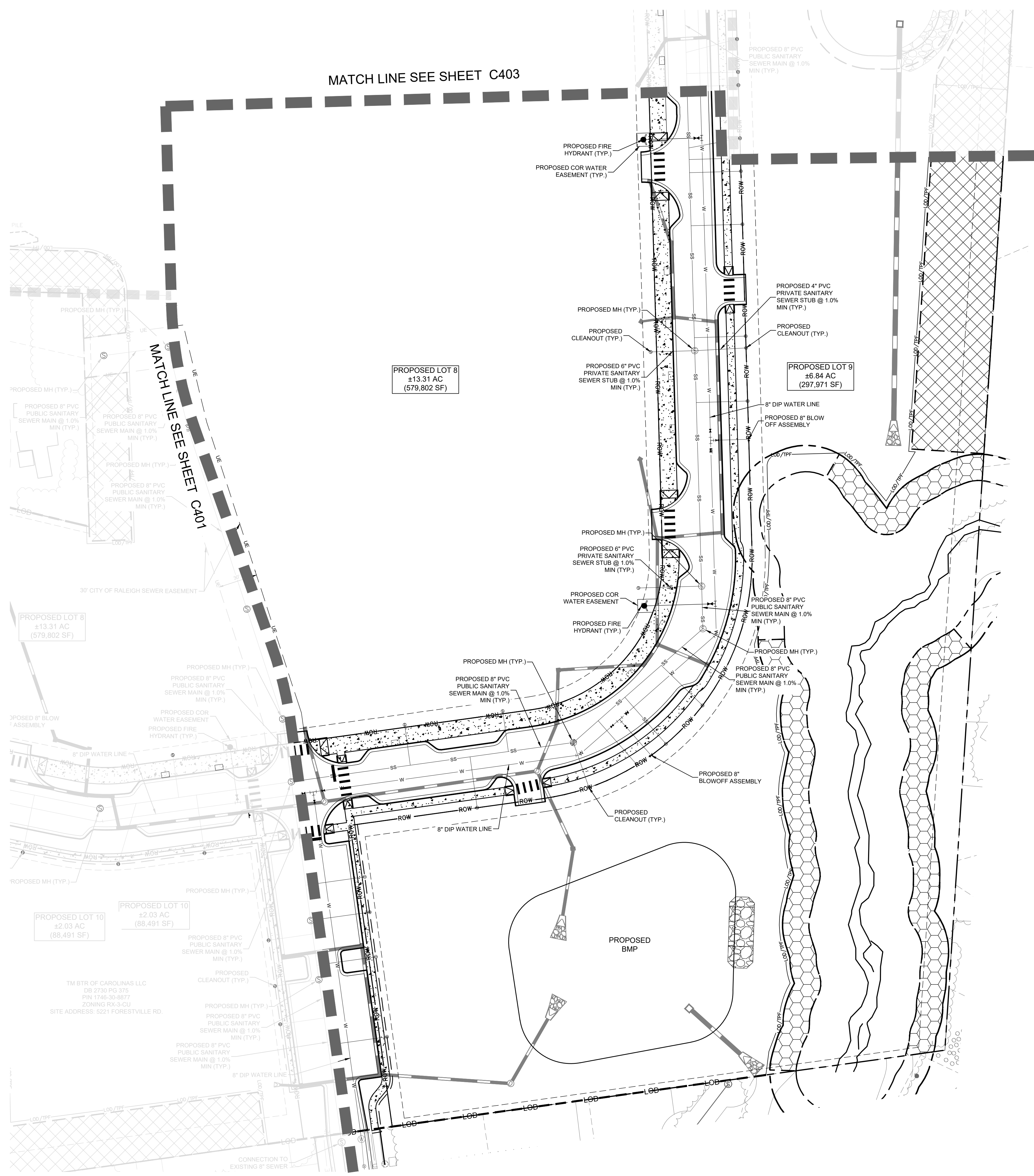
PRELIMINARY UTILITY PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
C401

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UTILITY LEGEND					
---	PROPERTY BOUNDARY	---	ROW	---	RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE		
RD	ROOF DRAIN	UE	UTILITY EASEMENT		
M	WATER METER	X	GATE VALVE		
C	POINT OF CONNECTION	⊕	BACKFLOW PREVENTOR		
⊕	PIPE TEEBENDS	⊕	SANITARY SEWER CLEANOUT (SSCO)		
⊕	FIRE HYDRANT (FH)	⊕	SANITARY SEWER CLEANOUT TRAFFIC RATED		
⊕	FIRE DEPARTMENT CONNECTION (FDC)	⊕	SANITARY SEWER MANHOLE (SSMH)		

No.	REVISIONS	DATE	BY

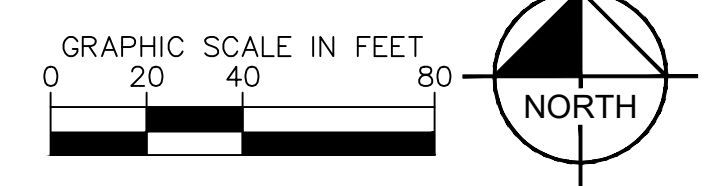
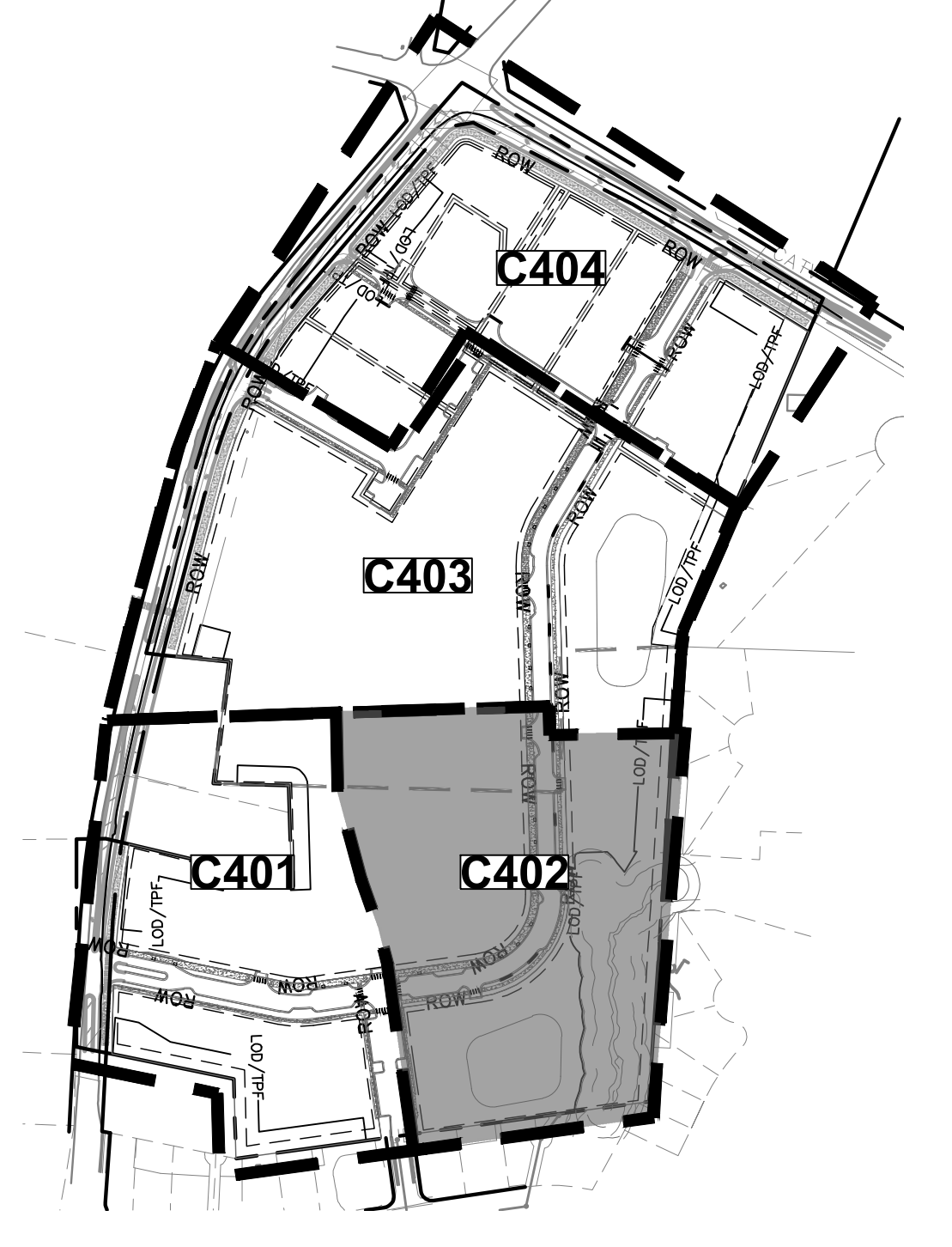
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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

KEY MAP (SCALE 1" = 300')



YARDLY BUFFALO VILLAGE PRELIMINARY UTILITY PLAN

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

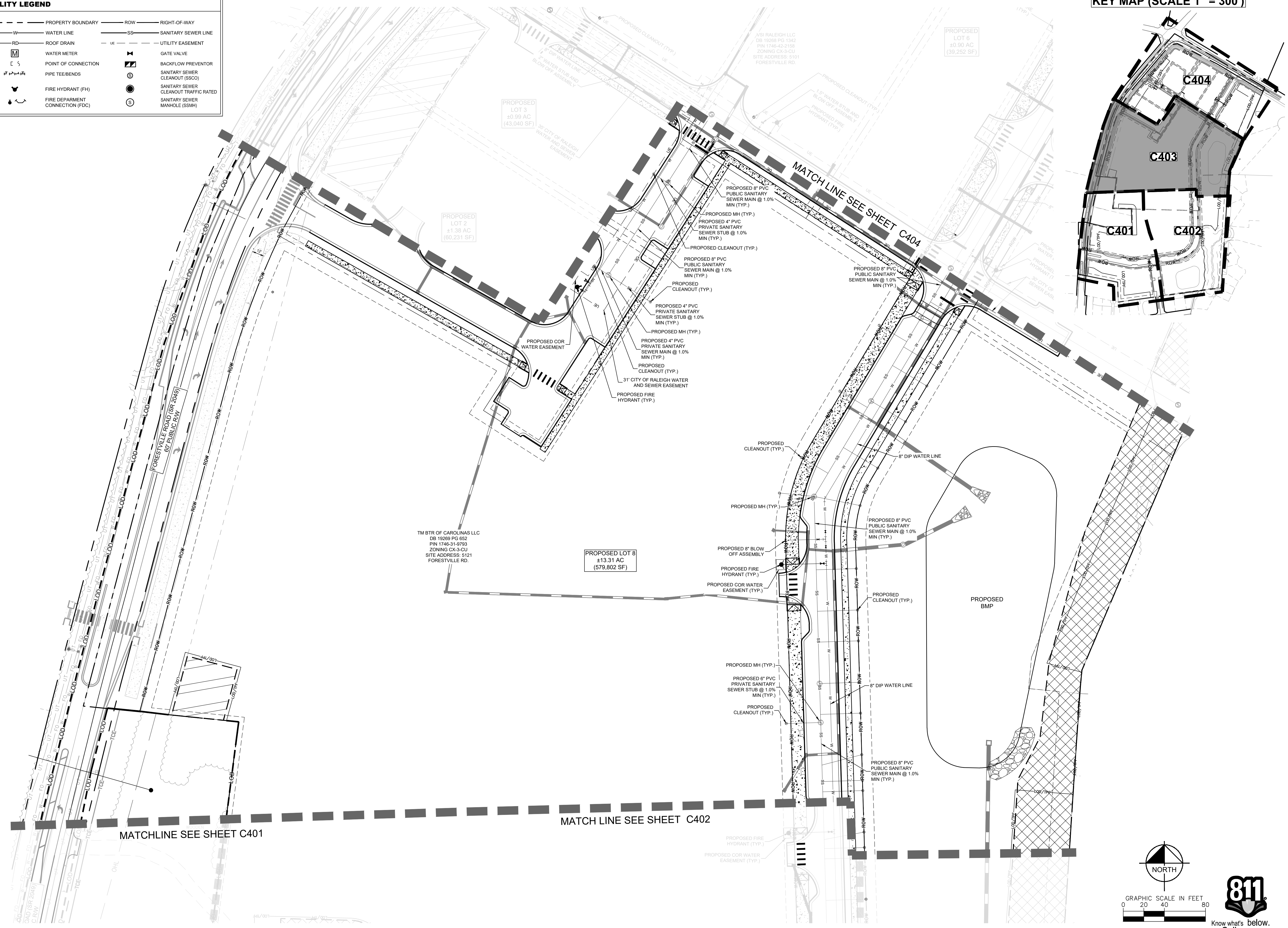
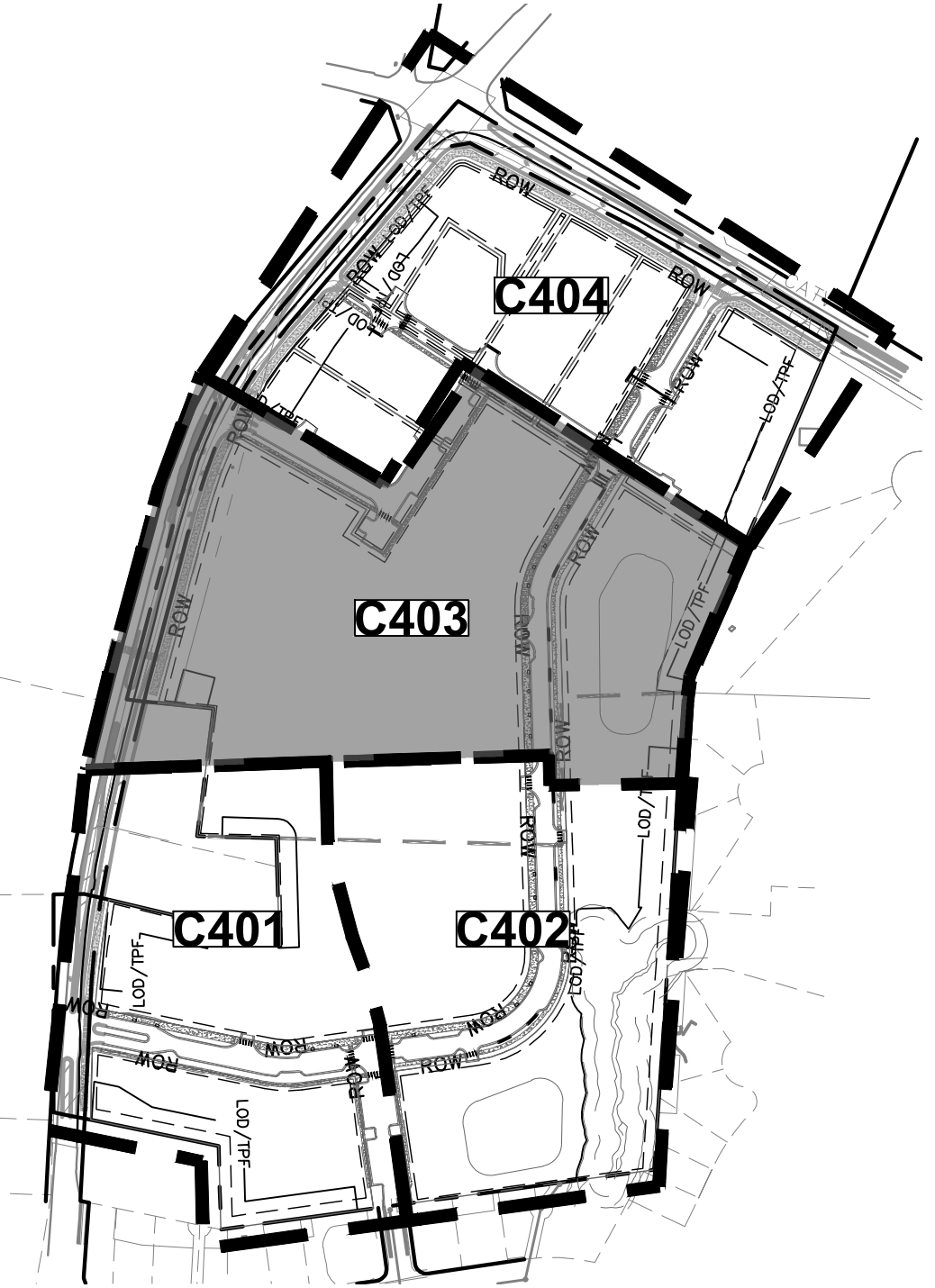
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UTILITY LEGEND					
---	PROPERTY BOUNDARY	---	ROW	---	RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE		
RD	ROOF DRAIN	UE	UTILITY EASEMENT		
M	WATER METER	X	GATE VALVE		
C S	POINT OF CONNECTION	⊠	BACKFLOW PREVENTOR		
└─┬─┘	PIPE TEE/BENDS	⊙	SANITARY SEWER CLEANOUT (SSCO)		
⊙	FIRE HYDRANT (FH)	⊙	SANITARY SEWER CLEANOUT TRAFFIC RATED		
⊙	FIRE DEPARTMENT CONNECTION (FDC)	⊙	SANITARY SEWER MANHOLE (SSMH)		

KEY MAP (SCALE 1" = 300')



Plotted By: Linsom, Sydney. Sheet Set: Yards Buffalo Village. Layout: C403 PRELIMINARY UTILITY PLAN. September 10, 2024. 04:12:12pm. K:\CHL_PRJ\017270 Taylor Morrison\019 Raleigh-Buffer\02 - C400 - PRELIMINARY UTILITY PLAN.dwg

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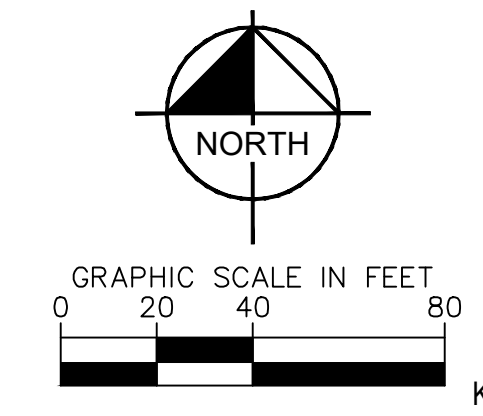
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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

PRELIMINARY UTILITY PLAN

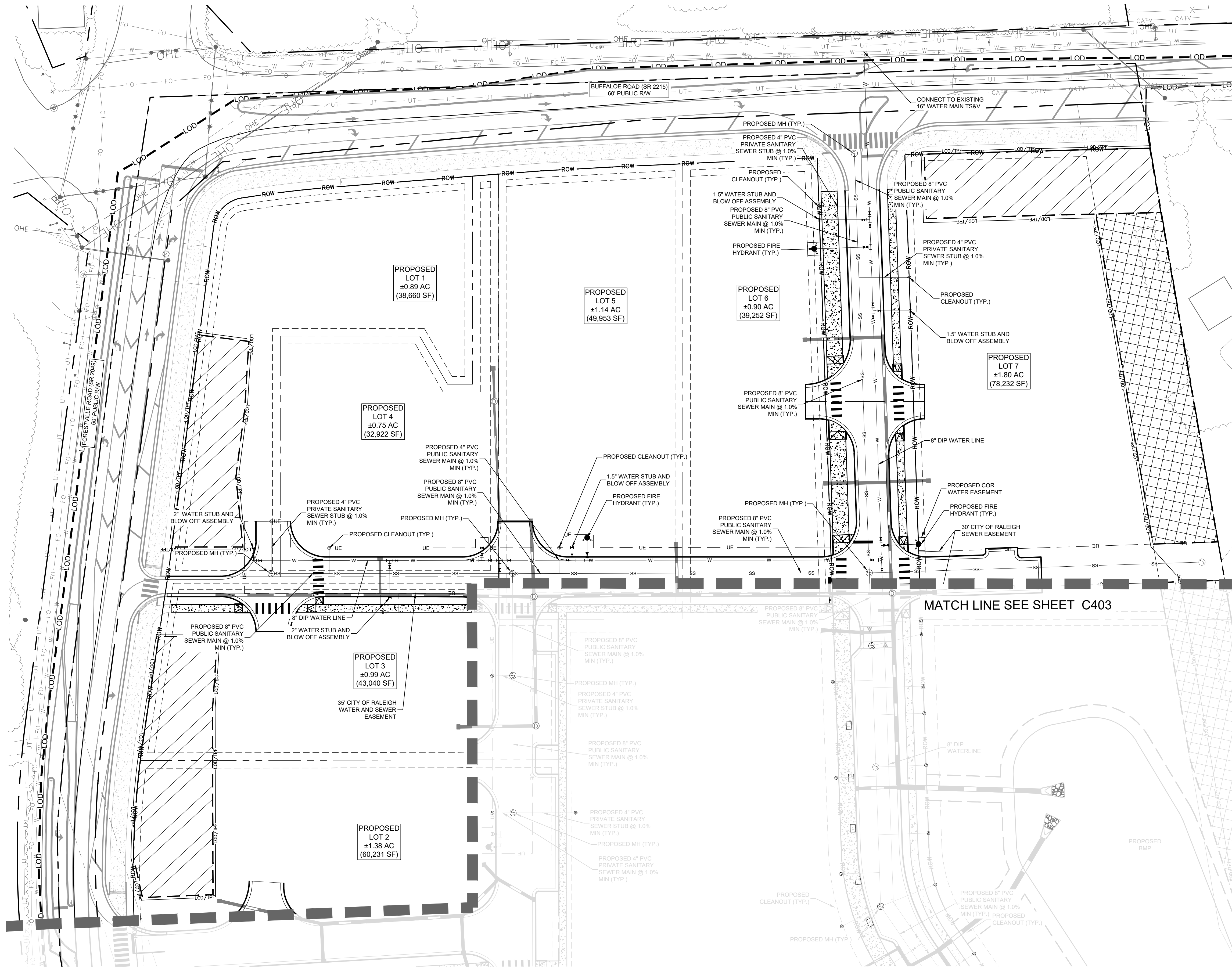
YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
C403



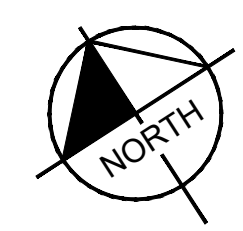
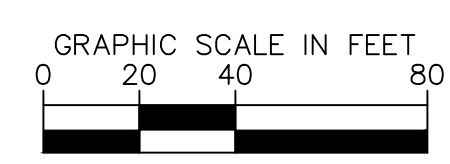
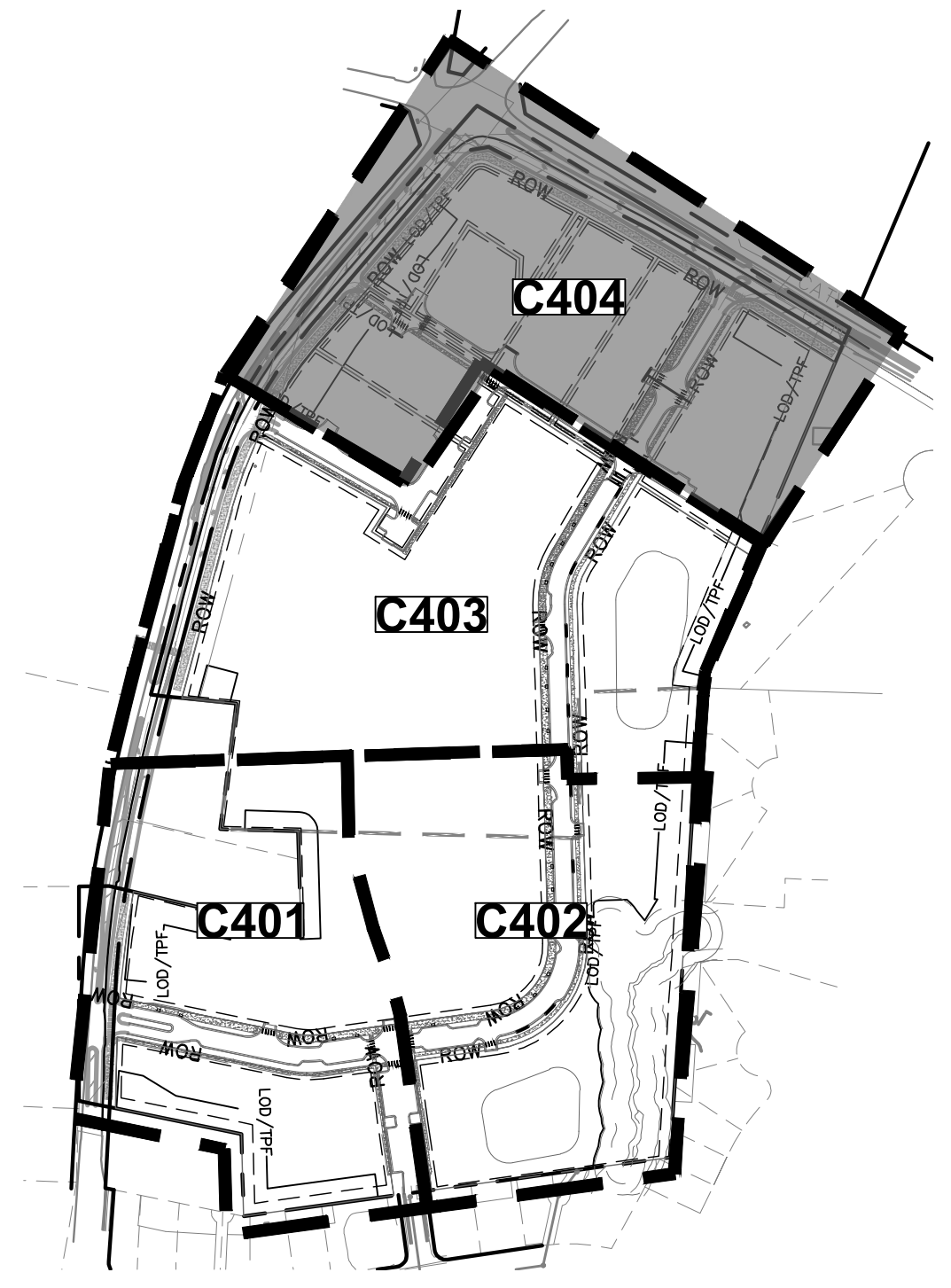
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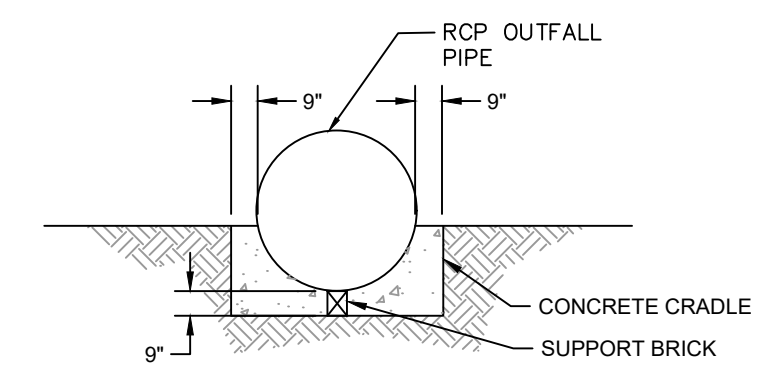
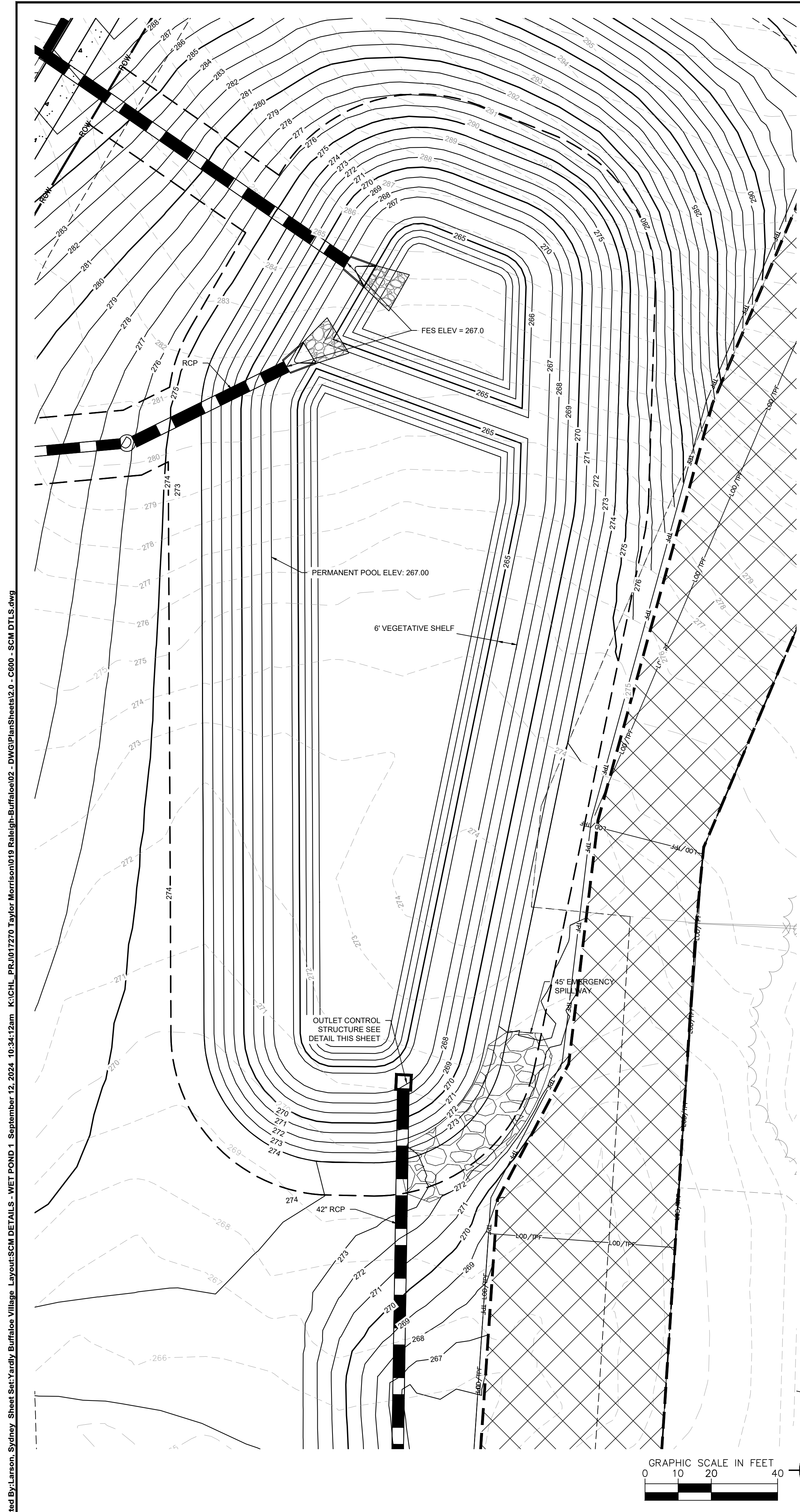
UTILITY LEGEND					
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KEY MAP (SCALE 1" = 300')



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	KH PROJECT	017270019															
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<p>YARDLY BUFFALO VILLAGE PRELIMINARY UTILITY PLAN</p>		<p>SHEET NUMBER C404</p>	<p>DATE</p>	<p>REVISIONS</p>	<p>BY</p>												

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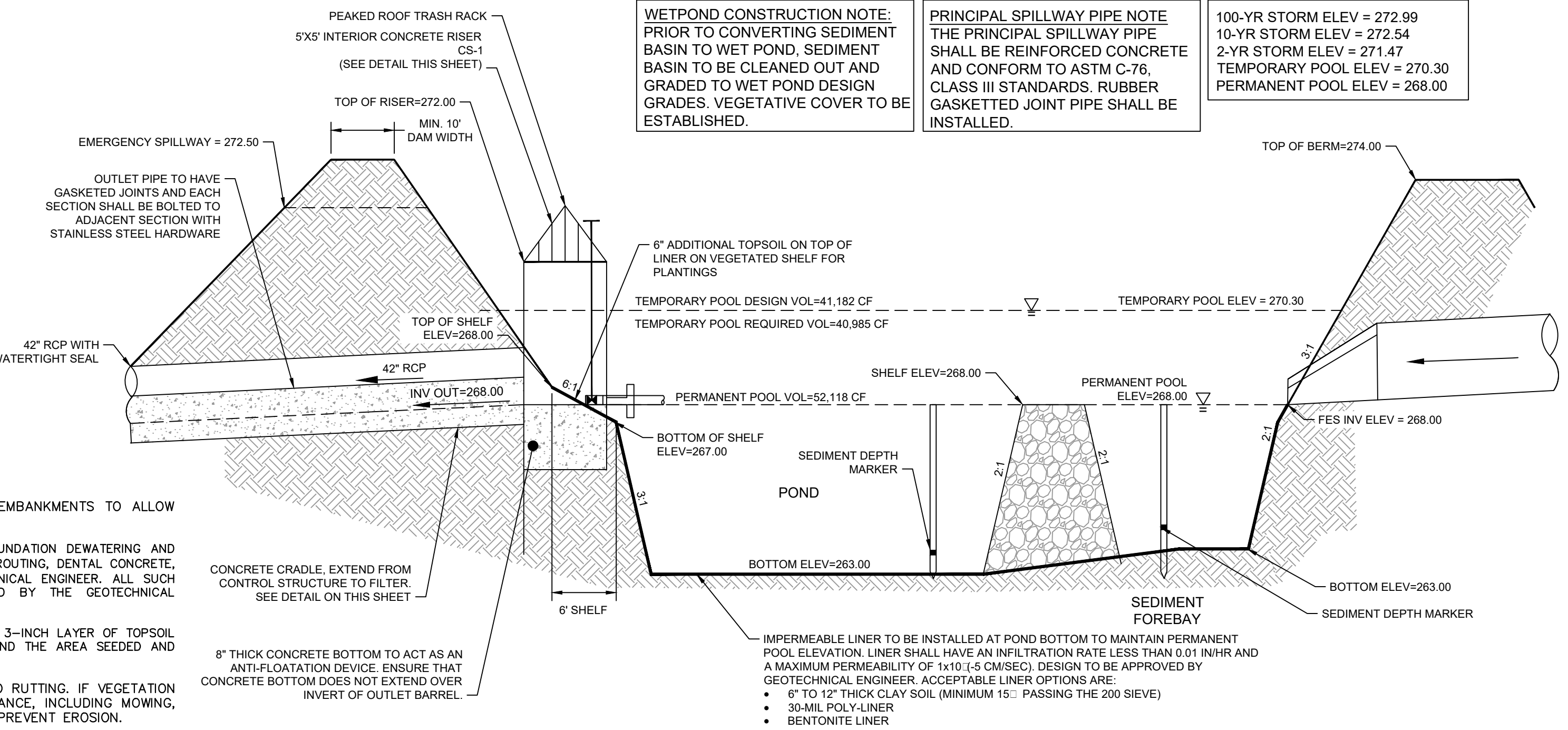
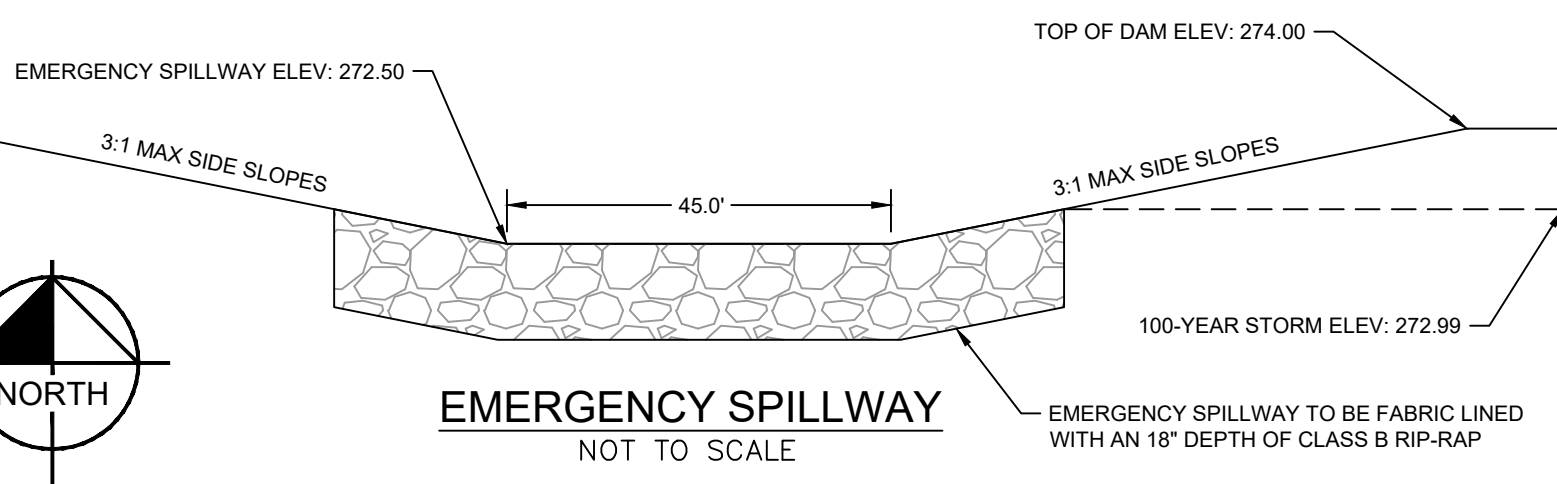


- BRING GRADE TO SPRING LINE FOR PIPE
- EXCAVATE TRENCH AS SHOWN AND PLACE PIPE ON SUPPORTS
- FILL TO SPRINGLINE WITH CONCRETE
- WRAP PIPE JOINTS WITH A NONWOVEN GEOTEXTILE
- CONCRETE CRADLE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI
- THE CONCRETE FOR THE CRADLE SHALL BE CONSOLIDATED PRIMARILY BY INTERNAL VIBRATION, AND SHALL BE FINISHED "ROUGH" SO AS TO ACHIEVE A MORE ADEQUATE BOND BETWEEN THE CONCRETE IN THE CRADLE AND THE FIRST LIFT OF STRUCTURAL FILL.

CONCRETE CRADLE DETAIL
NOT TO SCALE

EARTHEN DAM SPECIFICATIONS

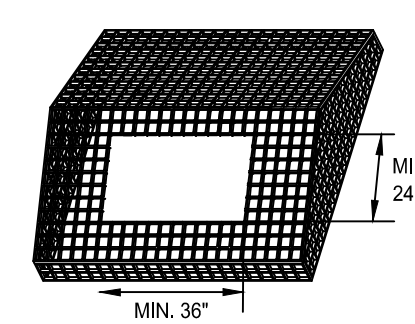
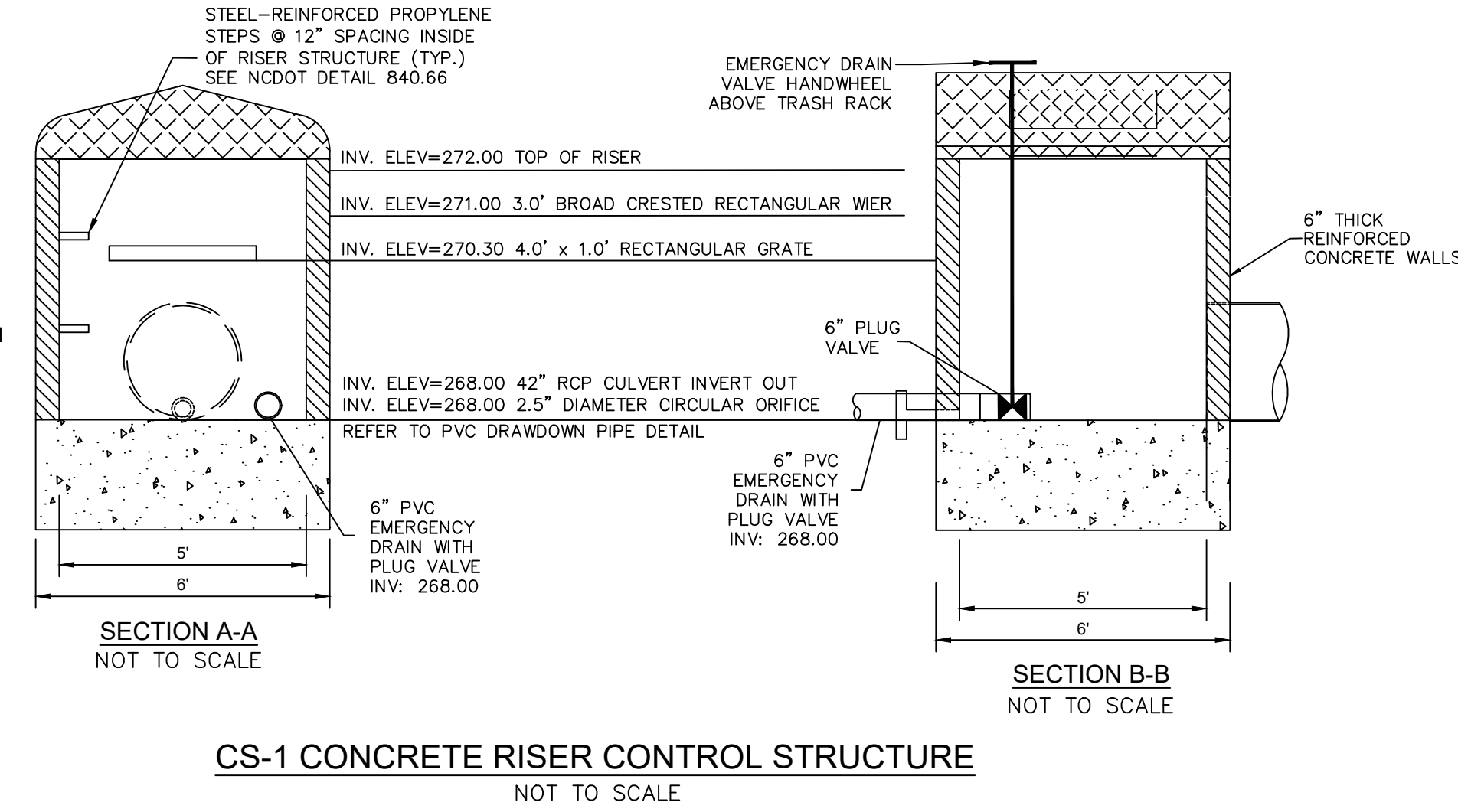
- A MAXIMUM SLOPE OF 3H:1V SHALL BE USED ON THE EMBANKMENTS TO ALLOW MAINTENANCE EQUIPMENT AND TO MAINTAIN GROUND COVER.
- TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION DEWATERING AND ROCK FOUNDATION PREPARATION (I.E., TREATMENT WITH SLUSH GROUTING, DENTAL CONCRETE, ETC.) MAY BE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.
- TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2- TO 3-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND MULCHED OR HYDROSEEDDED.
- A GRASS SURFACE IS REQUIRED TO PREVENT EROSION AND RUTTING. IF VEGETATION IS USED TO STABILIZE THE EMBANKMENT, PROPER MAINTENANCE, INCLUDING MOWING, FERTILIZING, AND RESEEDING BARE-SPOTS, IS REQUIRED TO PREVENT EROSION.
- WHERE FILL IS REQUIRED TO RAISE THE EXISTING GRADES OF THE SITE TO THE NEW SUBGRADE ELEVATIONS INDICATED, SUCH FILL SHALL BE OF EARTH, PLACED COMPACTED AS SPECIFIED, ON-SITE OR OFF-SITE BORROW MATERIAL SHALL BE APPROVED BY THE INDEPENDENT TESTING LABORATORY'S GEOTECHNICAL ENGINEER PRIOR TO BEING PLACED ON PROPOSED FILL AREA.
- ALL SUBGRADE TO RECEIVE FILL SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING NEW FILL. METHODS FOR EVALUATION SHALL INCLUDE PROOF ROLLING USING TANDEM AXLE DUMP TRUCK OR SIMILAR PNEUMATIC Tired EQUIPMENT, OR OTHER METHODS AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. ALL SOIL THAT RUTS, PUMPS, OR DEFLECTS EXCESSIVELY AS DETERMINED BY THE GEOTECHNICAL ENGINEER SHALL BE CORRECTED AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER.
- METHODS OF CORRECTION MAY INCLUDE DRYING AND COMPACTION, PLACEMENT OF AN 18 TO 24 INCH BRIDGE LIFT OF BORROW MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, STABILIZATION WITH FABRIC AND STONE, AND/OR UNDERCUTTING.
- ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
- THE SURFACE OF THE GROUND AND MOISTURE CONTENT OF THE LOOSENESED MATERIAL SHALL BE SUCH THAT IT WILL READILY BOND WITH THE FIRST LAYER OF FILL MATERIAL.
- CONTROLLED FILL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, IN THE DAM EMBANKMENT SHALL BE PLACED IN 6-INCH LOOSE LAYERS (3-INCH LOOSE LAYERS WITHIN 3- FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2- FEET OVER THE PIPE) AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698.
- ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.
- FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.
- EARTHWORK COMPACTION WITHIN 3- FEET OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINIATURE SELF- PROPELLED ROLLERS.
- SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.
- AT THE END OF EACH DAYS ACTIVITIES, CONTRACTOR SHALL SEAL SURFACE OF NEW FILL BY USE OF A SMOOTH WHEEL ROLLER AND PROVIDE POSITIVE DRAINAGE OFF OF NEW FILL SURFACE.
- THE GEOTECHNICAL ENGINEER MUST INSPECT AND APPROVE ALL SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS PERFORMED THEREON.
- FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRYING SOILS TOO WET TO ACHIEVE COMPACTION OR STABILITY. SOILS SHALL NOT BE CONSIDERED UNSUITABLE SOLELY DUE TO MOISTURE CONTENT.
- FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.
- COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN- PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.
- TESTS OF THE DEGREE (%) OF COMPACTION OF THE PLACED FILL IN THE DAM SHALL BE PERFORMED AS A PART OF THE CONTRACTOR'S NORMAL QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION OF THE DAM. TESTS SHALL BE CONDUCTED CONCURRENT WITH THE INSTALLATION OF THE COMPACTED FILL, AND THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE DAM SO THAT THE TESTING CAN BE COMPLETED. SHOULD THE RESULTS OF THE TESTS INDICATE THAT THE SPECIFIED DEGREE OF COMPACTION HAS NOT BEEN OBTAINED, THE PORTIONS OF THE DAM REPRESENTED BY SUCH TESTS SHALL BE REWORKED OR REBUILT. ALL PORTIONS OF THE DAM SHALL ACHIEVE THE SPECIFIED MINIMUM DEGREE OF COMPACTION.
- ALL EARTHEN FILLS SHALL BE CLEARED, GRUBBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL AND ORGANIC MATTER PRIOR TO CONSTRUCTION. FULL CONSTRUCTION SPECIFICATIONS ARE REQUIRED IN ACCORDANCE WITH CHAPTER 21 OF CITY OF DURHAM OCTOBER 1, 2013 ADDENDA.



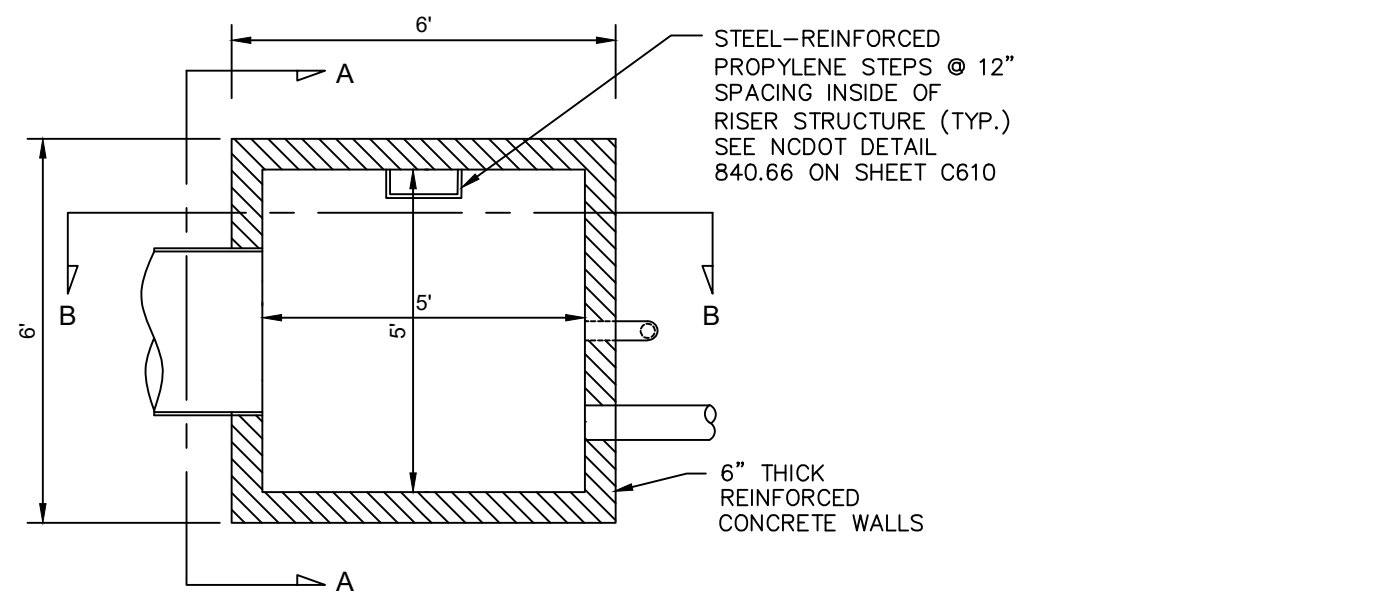
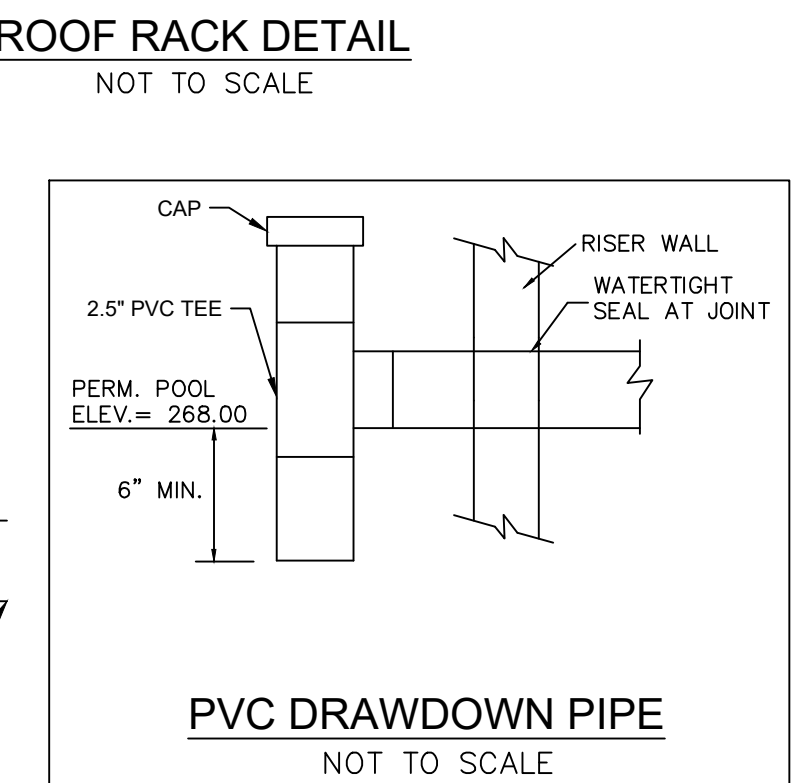
- WETPOND CONSTRUCTION NOTE:**
PRIOR TO CONVERTING SEDIMENT BASIN TO WET POND, SEDIMENT BASIN TO BE CLEANED OUT AND GRADED TO WET POND DESIGN GRADES. VEGETATIVE COVER TO BE ESTABLISHED.
- PRINCIPAL SPILLWAY PIPE NOTE:**
THE PRINCIPAL SPILLWAY PIPE SHALL BE REINFORCED CONCRETE AND CONFORM TO ASTM C-76, CLASS III STANDARDS. RUBBER GASKETED JOINT PIPE SHALL BE INSTALLED.
- 100-YR STORM ELEV = 272.99
10-YR STORM ELEV = 272.54
2-YR STORM ELEV = 271.47
TEMPORARY POOL ELEV = 270.30
PERMANENT POOL ELEV = 268.00

NOTES:

- RISER STRUCTURES CONSTRUCTED WITH MULTIPLE BARREL SECTIONS SHALL HAVE WATERTIGHT JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS AND HARDWARE.



- NOTES:**
- MUST HAVE A MINIMUM ROOF SLOPE OF 2:1.
 - SHALL INCLUDE AN ACCESS HATCH WITH A MINIMUM CLEAR SPACE OPENING OF 2'x3'.
 - THE ACCESS HATCH SHALL ALIGN WITH THE ACCESS STEPS INSIDE THE STRUCTURE.
 - HATCH MAY BE SECURED BY LOCK AND CHAIN.
 - SHALL BE BOLTED TO THE TOP OF THE STRUCTURE WITH STAINLESS STEEL BOLTS.
 - (BOLTS IN SHEAR SHALL BE PROHIBITED).
 - RACK TO BE MADE OF ALUMINUM AND HAVE A MINIMUM DESIGN LIFE OF 75 YEARS.



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YARDLY BUFFALO VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

SCM DETAILS - WET POND 1

811
Know what's below.
Call before you dig.

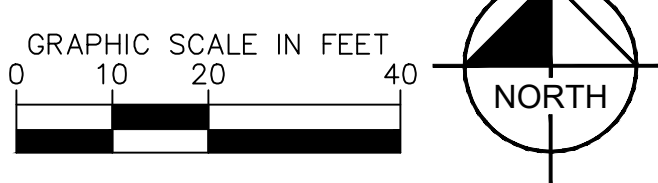
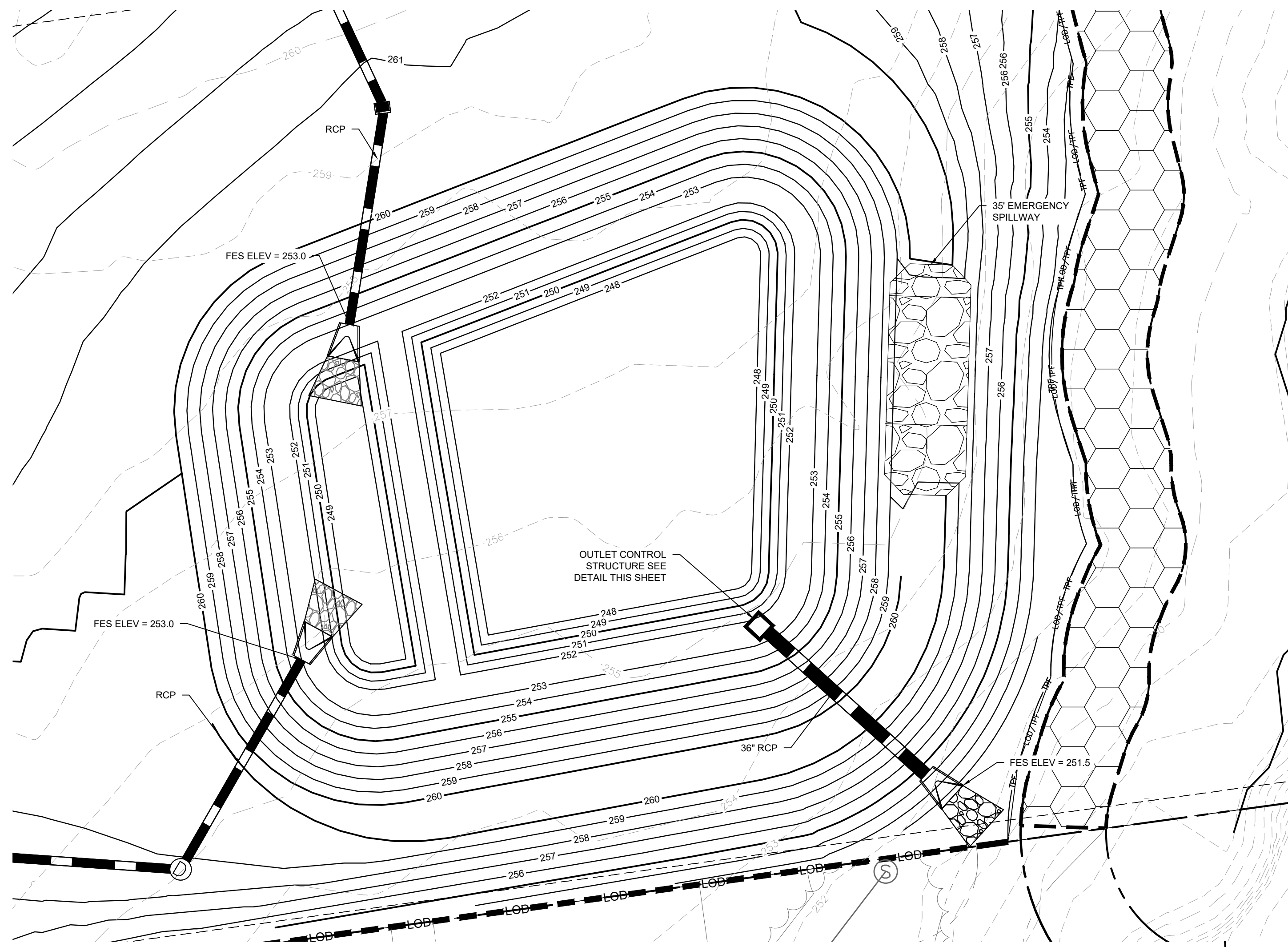
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NO.	REVISIONS	DATE

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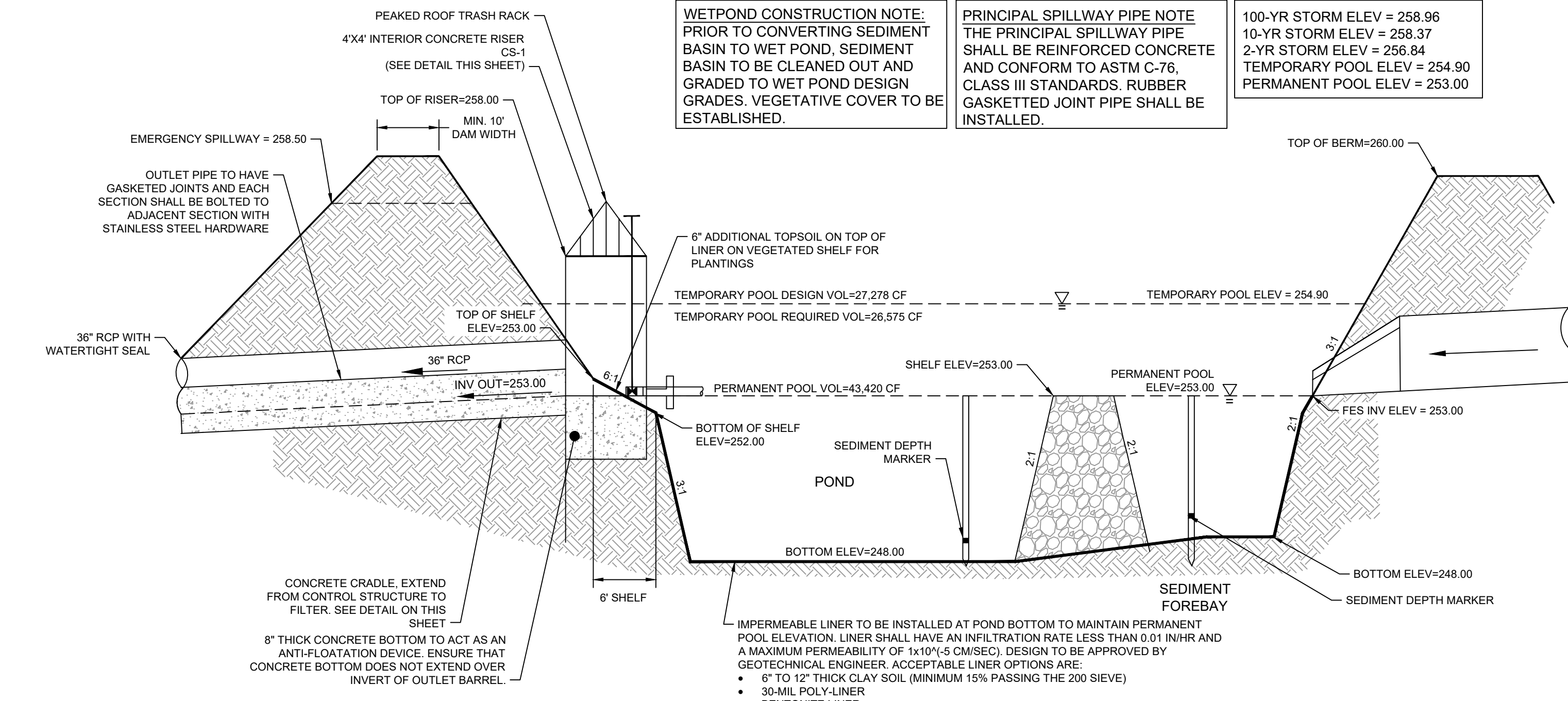
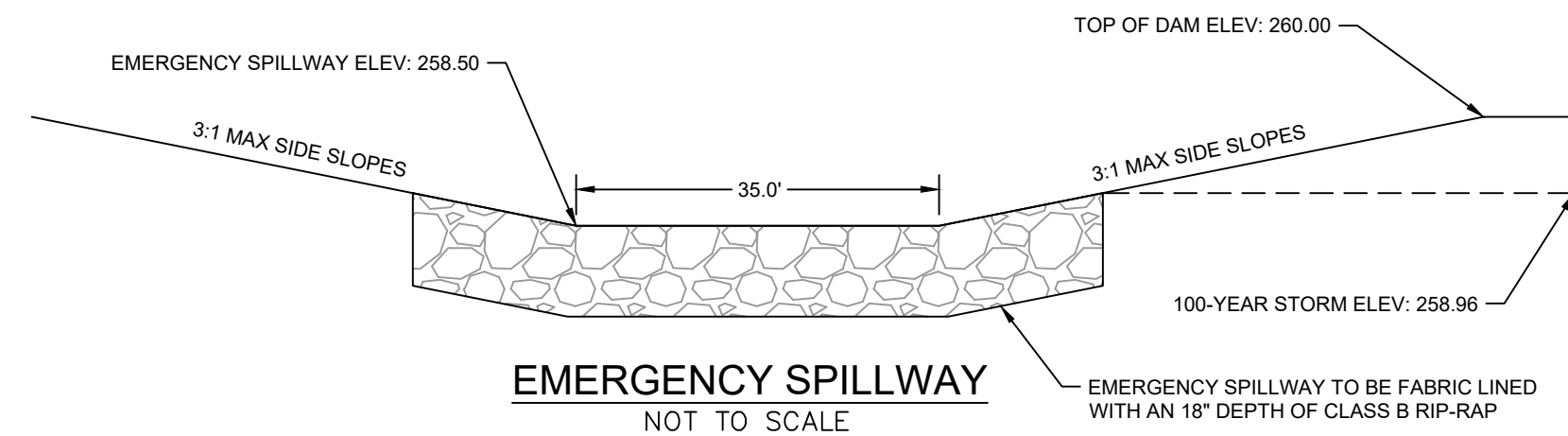
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EARTHEN DAM SPECIFICATIONS

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- FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRYING SOILS TOO WET TO ACHIEVE COMPACTION OR STABILITY. SOILS SHALL NOT BE CONSIDERED UNSUITABLE SOLELY DUE TO MOISTURE CONTENT.
- FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.
- COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.
- TESTS OF THE DEGREE (%) OF COMPACTION OF THE PLACED FILL IN THE DAM SHALL BE PERFORMED AS A PART OF THE CONTRACTOR'S NORMAL QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION OF THE DAM. TESTS SHALL BE CONDUCTED CONCURRENT WITH THE INSTALLATION OF THE COMPACTED FILL AND THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE DAM SO THAT THE TESTING CAN BE COMPLETED. SHOULD THE RESULTS OF THE TESTS INDICATE THAT THE SPECIFIED DEGREE OF COMPACTION HAS NOT BEEN OBTAINED, THE PORTIONS OF THE DAM REPRESENTED BY SUCH TESTS SHALL BE REWORKED OR REBUILT. ALL PORTIONS OF THE DAM SHALL ACHIEVE THE SPECIFIED MINIMUM DEGREE OF COMPACTION.
- ALL EARTHEN FILLS SHALL BE CLEARED, GRUBBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL AND ORGANIC MATTER PRIOR TO CONSTRUCTION. FULL CONSTRUCTION SPECIFICATIONS ARE REQUIRED IN ACCORDANCE WITH CHAPTER 21 OF CITY OF DURHAM OCTOBER 1, 2013 ADDENDA.



WETPOND CONSTRUCTION NOTE:
PRIOR TO CONVERTING SEDIMENT BASIN TO WET POND, SEDIMENT BASIN TO BE CLEANED OUT AND GRADED TO WET POND DESIGN GRADES. VEGETATIVE COVER TO BE ESTABLISHED.

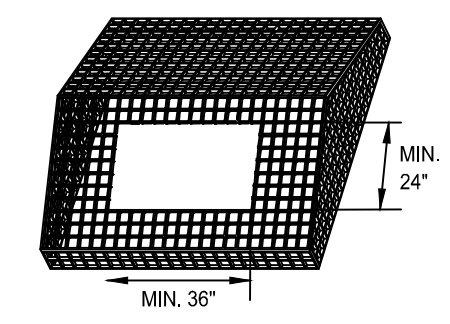
PRINCIPAL SPILLWAY PIPE NOTE:
THE PRINCIPAL SPILLWAY PIPE SHALL BE REINFORCED CONCRETE AND CONFORM TO ASTM C-76, CLASS III STANDARDS. RUBBER GASKETED JOINT PIPE SHALL BE INSTALLED.

100-YR STORM ELEV = 258.96
10-YR STORM ELEV = 258.37
2-YR STORM ELEV = 256.84
TEMPORARY POOL ELEV = 254.90
PERMANENT POOL ELEV = 253.00

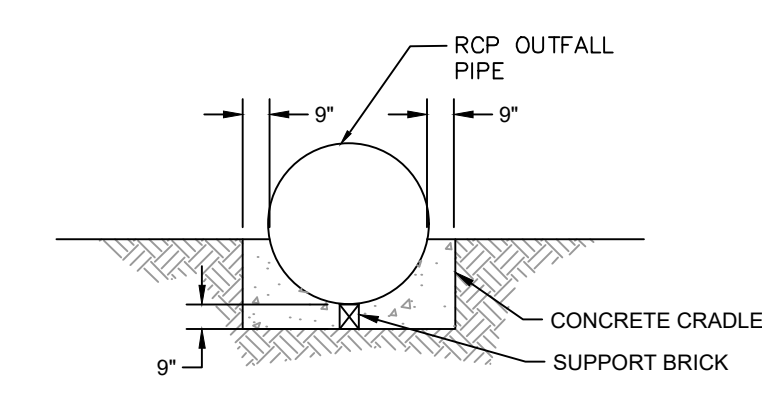
WET DETENTION POND
NOT TO SCALE

NOTES:

1. RISER STRUCTURES CONSTRUCTED WITH MULTIPLE BARREL SECTIONS SHALL HAVE WATER TIGHT JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS AND HARDWARE.

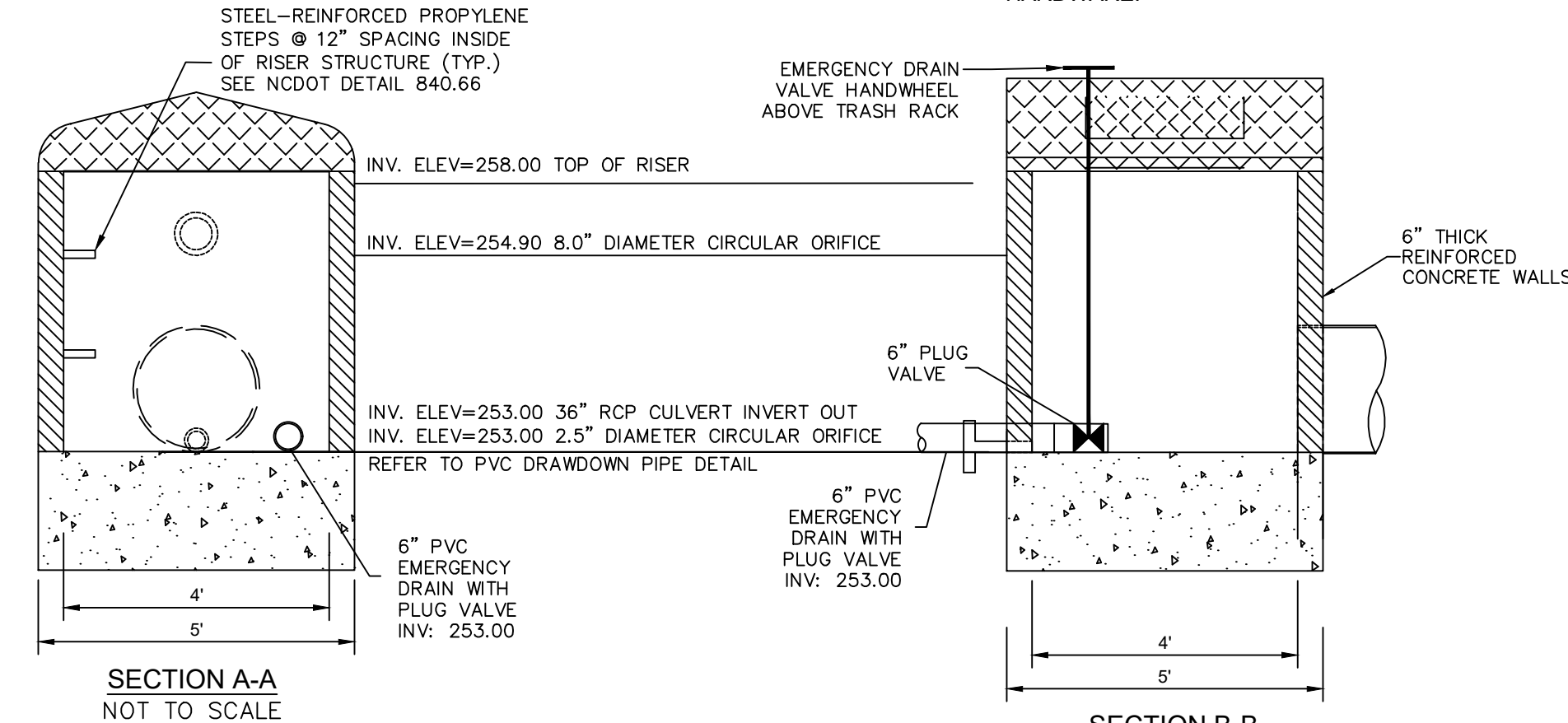


ROOF RACK DETAIL
NOT TO SCALE

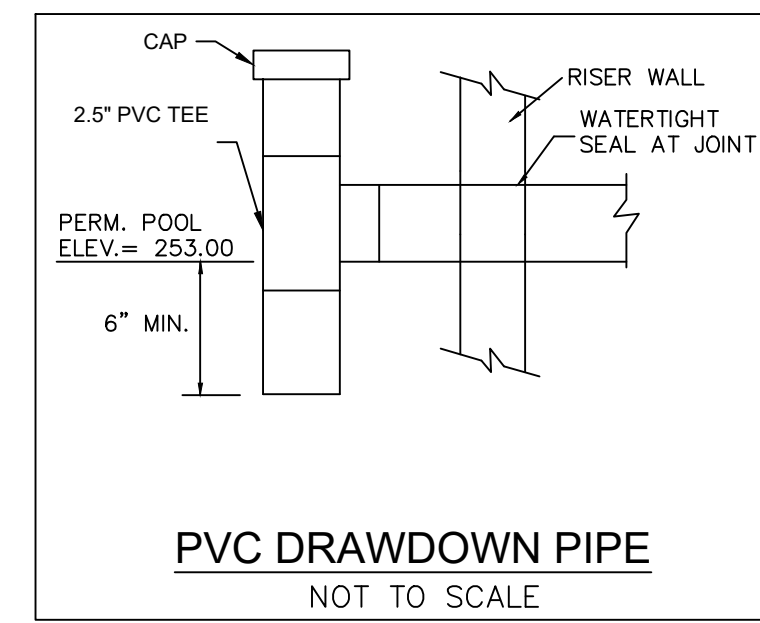


1. BRING GRADE TO SPRING LINE FOR PIPE
2. EXCAVATE TRENCH AS SHOWN AND PLACE PIPE ON SUPPORTS
3. FILL TO SPRINGLINE WITH CONCRETE
4. WRAP PIPE JOINTS WITH A NONWOVEN GEOTEXTILE
5. CONCRETE CRADLE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI
6. THE CONCRETE FOR THE CRADLE SHALL BE CONSOLIDATED PRIMARILY BY INTERNAL VIBRATION AND SHALL BE FINISHED 'ROUGH' SO AS TO ACHIEVE A MORE ADEQUATE BOND BETWEEN THE CONCRETE IN THE CRADLE AND THE FIRST LIFT OF STRUCTURAL FILL.

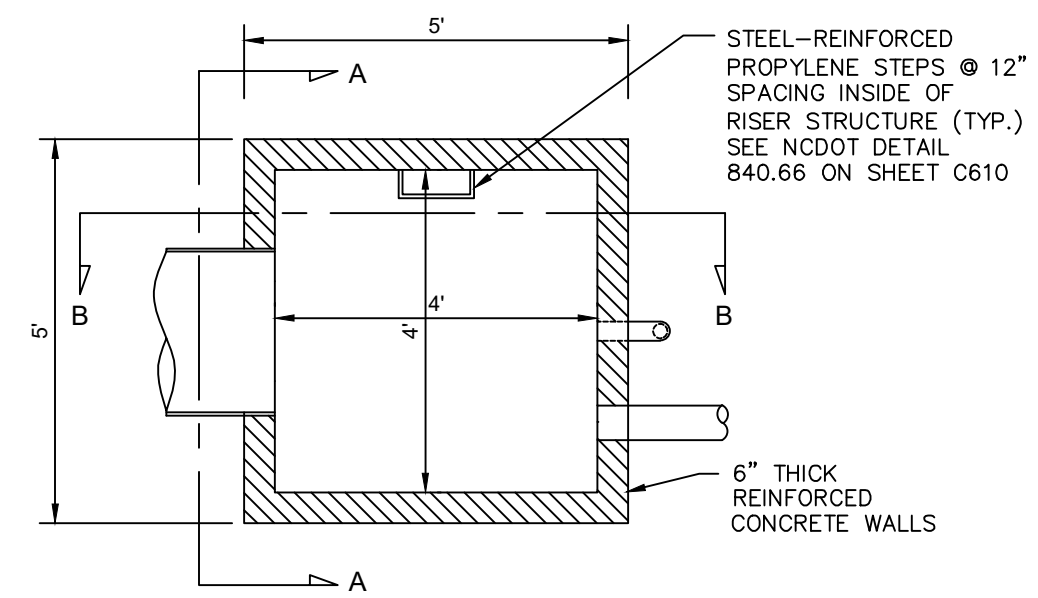
CONCRETE CRADLE DETAIL
NOT TO SCALE



CS-2 CONCRETE RISER CONTROL STRUCTURE
NOT TO SCALE



PVC DRAWDOWN PIPE
NOT TO SCALE



NO.	REVISIONS	DATE

Kimley **Horn**

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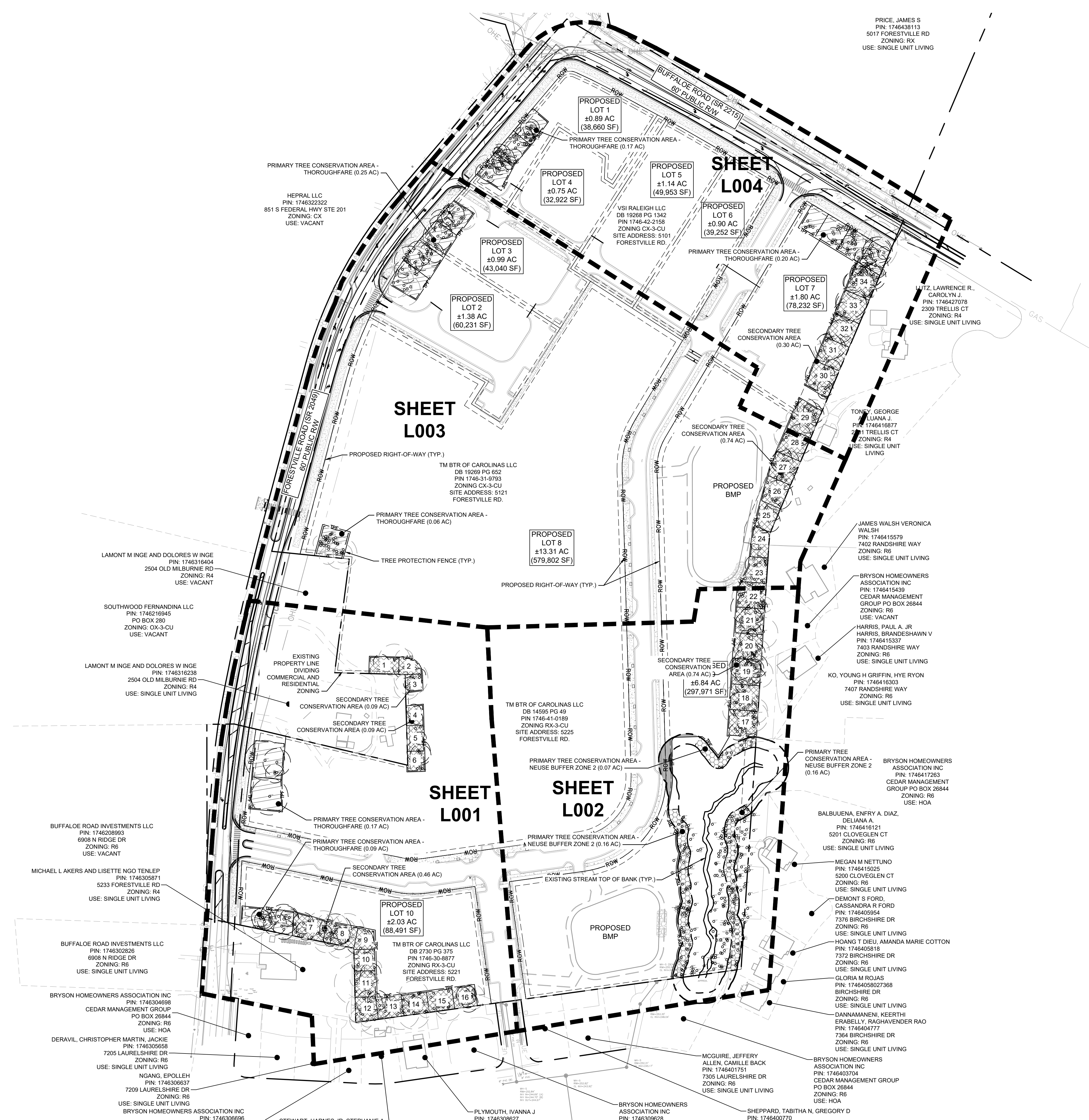
KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

YARDLY BUFFALO VILLAGE
SCM DETAILS - WET POND 2

PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

SHEET NUMBER
C501





Tree Conservation Plan Data			
Net Project Area - 29.99 AC (after ROW dedication)			
29.99 Total Acres (10% = 2.99 AC Required for TCA)			
Primary Tree Conservation Areas	Primary Tree Conservation Area - Thoroughfare	Number of Acres	Percentage of Tract
	Primary Tree Conservation Area - Neuse River Zone 2	0.95	3.17%
		0.38	1.27%
Secondary Tree Conservation Areas	Secondary Tree Conservation Areas	Number of Acres	Percentage of Tract
		1.68	5.60%
Total Tree Conservation Area		3.01	10.04%

THOROUGHFARE TCA CALCULATION			
Location	Requirement	Calculation*	Provided
BUFFALO ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	175 LF x 50' = 0.20 ACRES	0.20 ACRES (CONSISTENT 50' WIDTH)
FORESTVILLE ROAD		645 LF x 50' = 0.74 ACRES	0.74 ACRES (WIDTH VARIES FROM 38.6' TO 100')

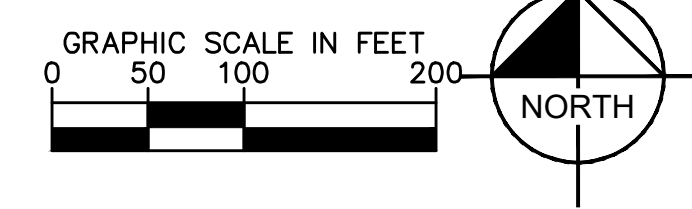
*LINEAR FOOTAGE OF REQUIRED TREE CONSERVATION AREA EXCLUDES AREAS WITHOUT EXISTING VEGETATION AND PROPOSED DRIVEWAY WIDTHS

TREE SURVEY LEGEND	
Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pignut hickory
T5	pecan
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	tulip poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

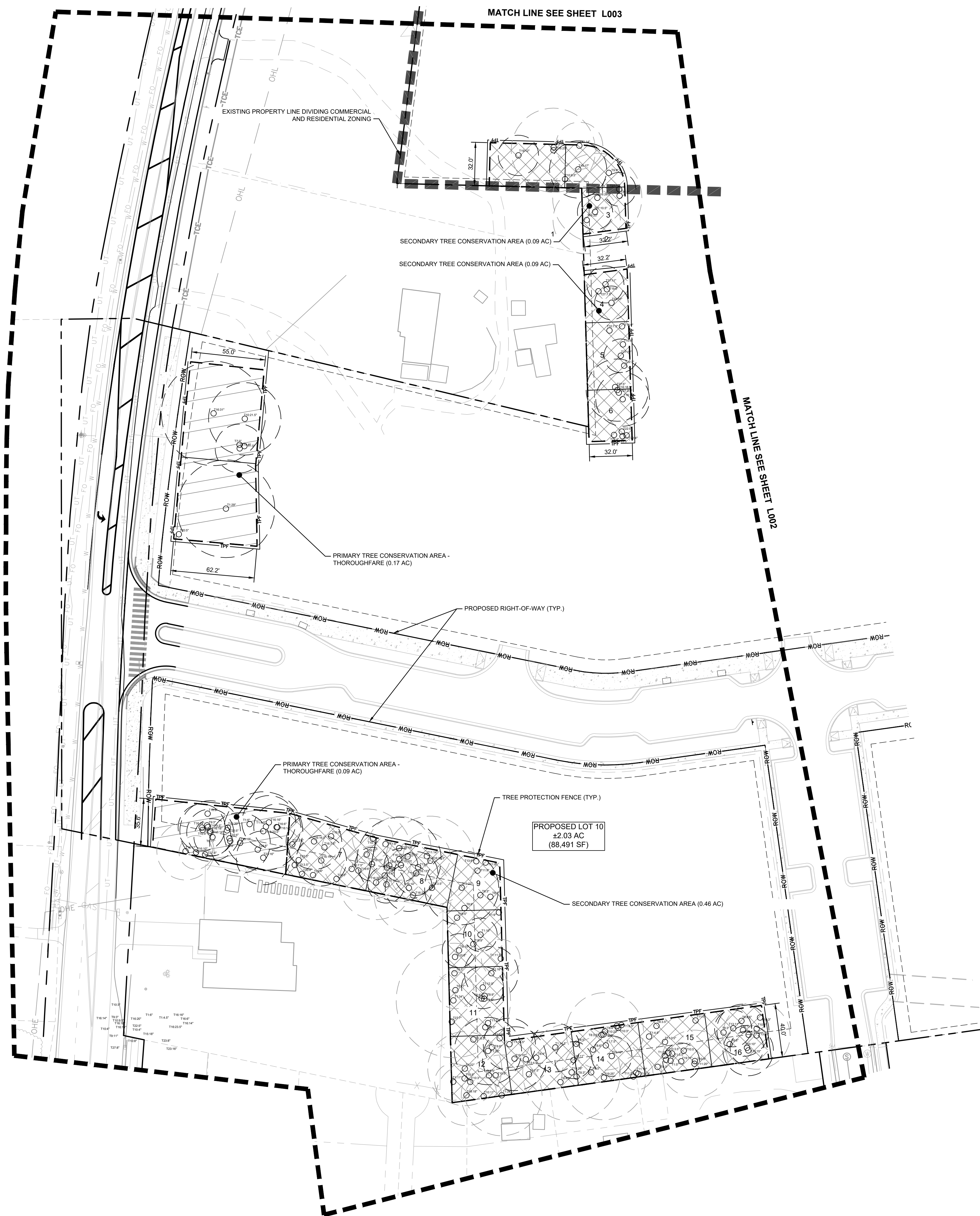
- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE (TYP.)
- LIMITS OF DISTURBANCE (LOD)
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

- TREE CONSERVATION NOTES:**
- A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
 - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
 - PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
 - TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO 9.1.5.A.2.
 - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
 - TREE PROTECTION FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
 - CRZ = CRITICAL ROOT ZONE
 - TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
 - TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM TREE SURVEYS PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED MAY 10, 2023.
 - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
 - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).



KH PROJECT 017270019	DATE 09/11/2024	SCALE AS SHOWN	DESIGNED BY MTH	DRAWN BY MTH	CHECKED BY KLV						
	<p>OVERALL TREE CONSERVATION PLAN</p> <p>YARDLY BUFFALO VILLAGE CONSERVATION PLAN</p> <p>PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC</p> <p>RALEIGH, NC</p>										
<p>SHEET NUMBER L000</p>					<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	BY			
NO.	DATE	BY									

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T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE



NO.	REVISIONS	DATE	BY

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 PHONE: 919-275-3659
 WWW.KIMLEY-HORN.COM
 NC LICENSE #P-102

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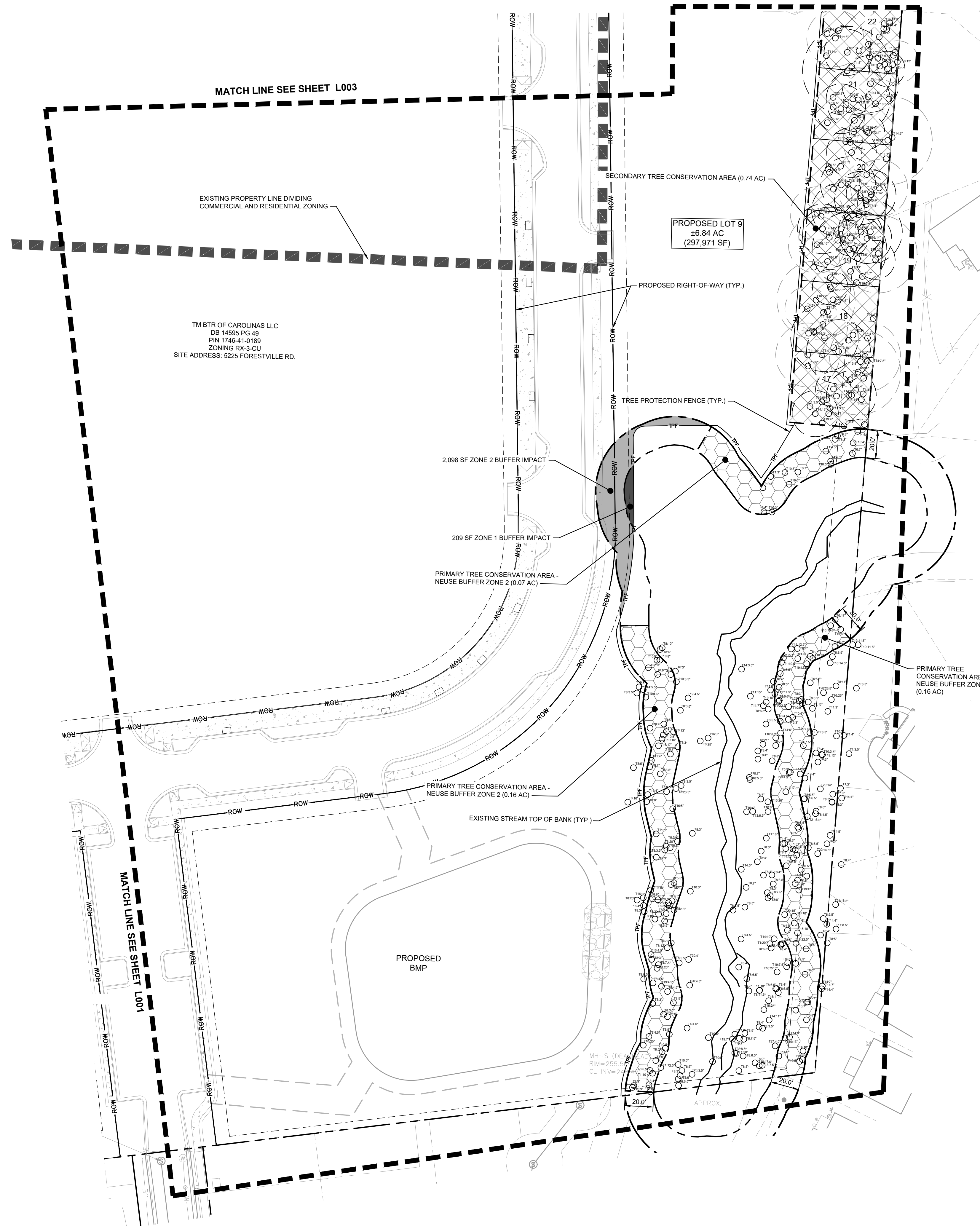
KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	
CHECKED BY	KLW

TREE CONSERVATION PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
L001

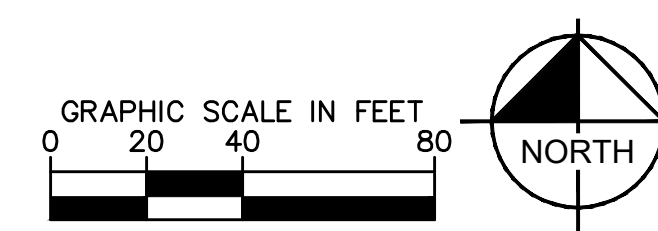
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T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- [Hatched Pattern] PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- [Hatched Pattern] PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- [Hatched Pattern] SECONDARY TREE CONSERVATION AREA
- [Dashed Line] TREE PROTECTION FENCE
- [Dashed Line] LIMITS OF DISTURBANCE
- [Circle with Dashed Line] CRITICAL ROOT ZONE
- [Circle with Dotted Line] CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- [Circle with Center Dot] EXISTING TREE



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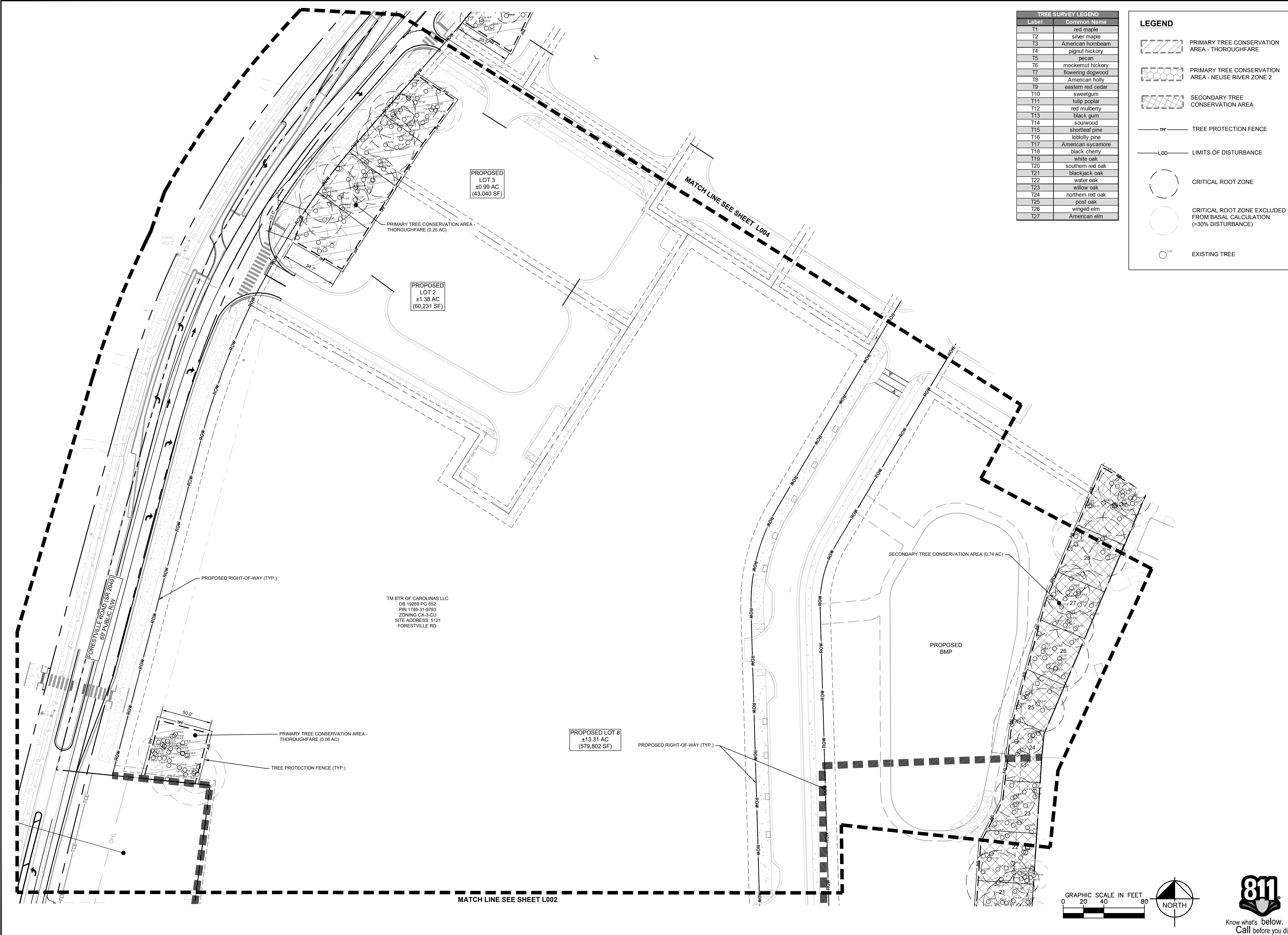
KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	
CHECKED BY	KLW

TREE CONSERVATION PLAN

YARDLY BUFFALO VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH NC

SHEET NUMBER
L002

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TREE SURVEY LEGEND	
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T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND	
	PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
	PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
	SECONDARY TREE CONSERVATION AREA
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	CRITICAL ROOT ZONE
	CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
	EXISTING TREE

No.	REVISIONS	DATE	BY

Kimley

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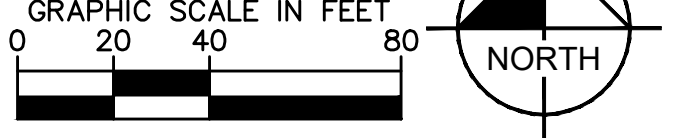
PRELIMINARY
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KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
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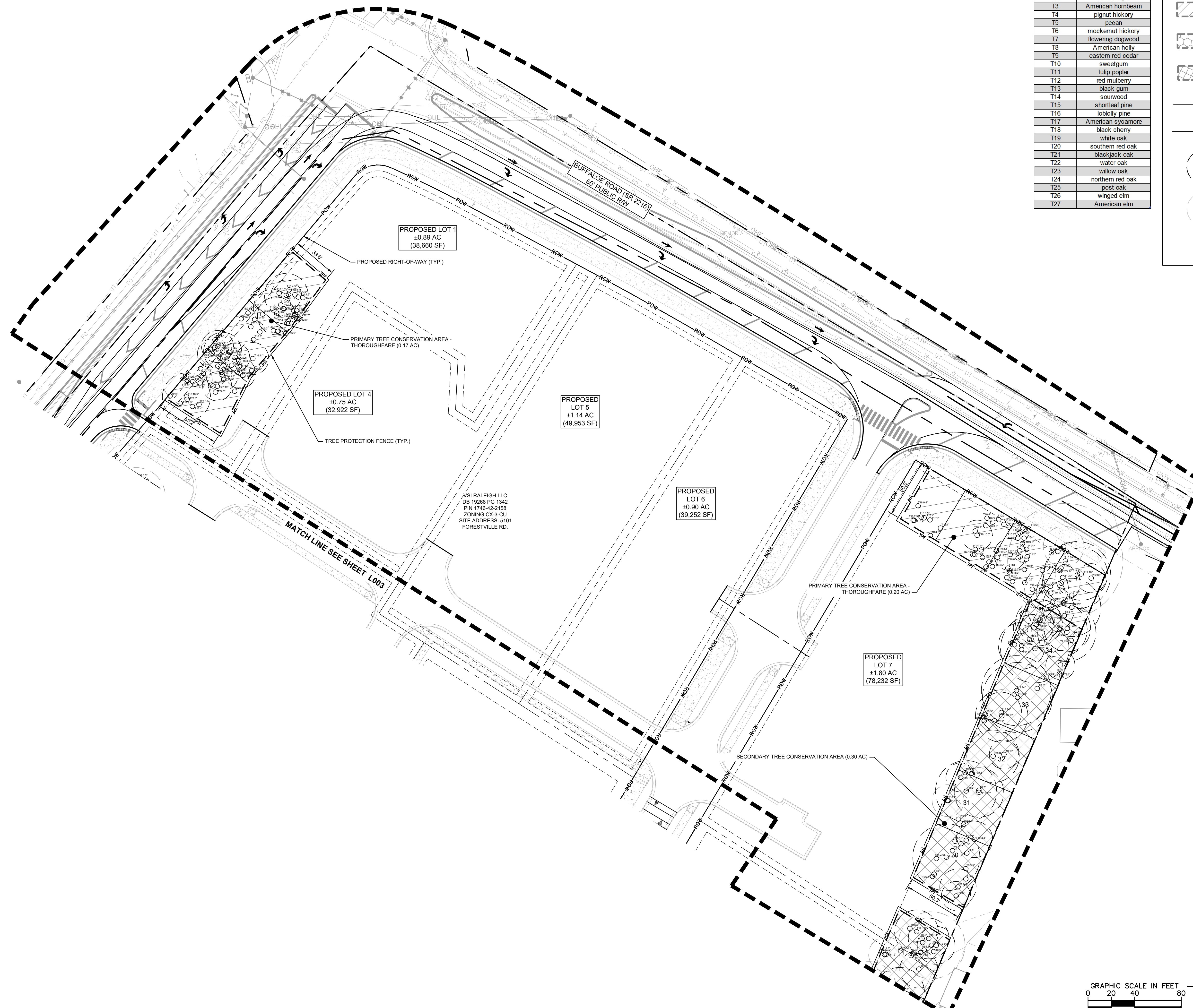
TREE CONSERVATION PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH, NC

SHEET NUMBER
L003



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T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

No.	REVISIONS	DATE	BY

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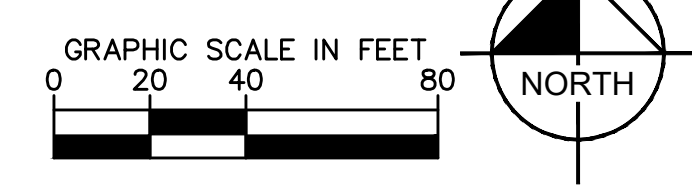
PRELIMINARY
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTM
DRAWN BY	
CHECKED BY	KLW

TREE CONSERVATION PLAN

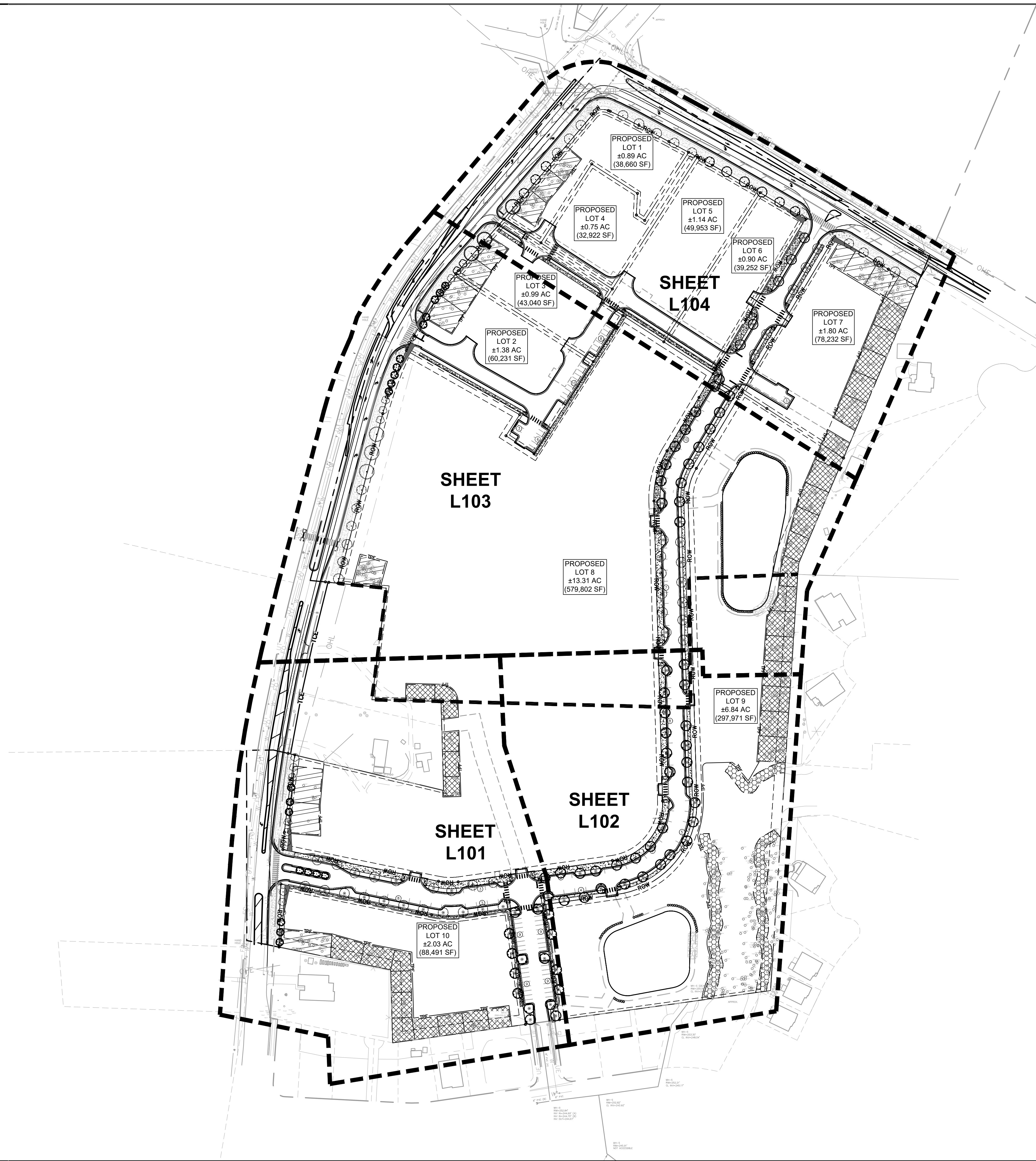
YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
L004



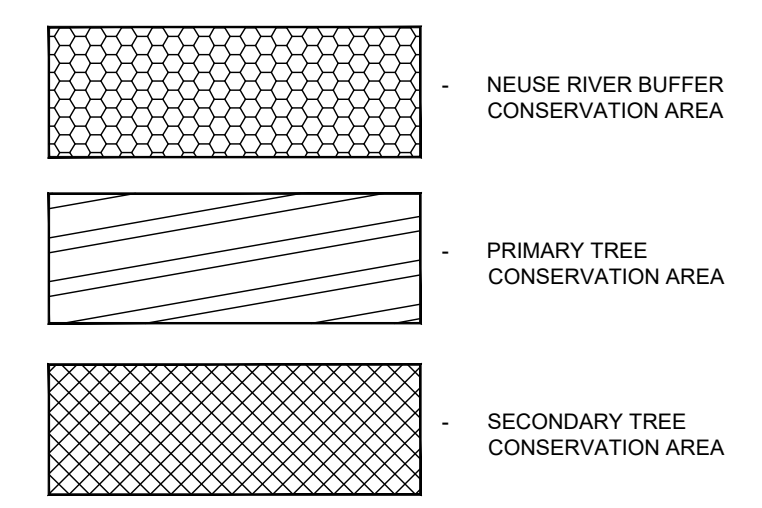
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Plotted By: Larson, Sydney Sheet Set: Yardly Buffalo Village Layout: L100 September 11, 2024 11:13:04am K:\CHL_P\1017270_Taylor Morrison\019_Raleigh-Buffer\02 - DWG\PlanSheets\L100 - LANDSCAPE.dwg



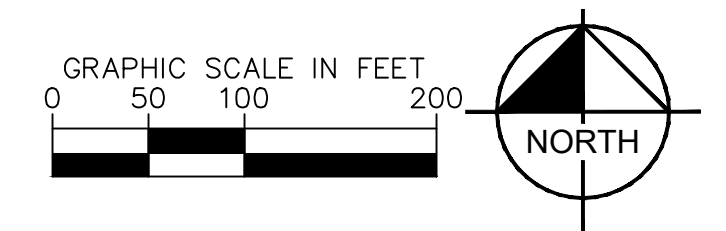
GROUND COVER NOTES:

- ESTABLISH SOD IN ALL DISTURBED AREAS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- ALL AREAS WITH PROPOSED LANDSCAPE MATERIAL SHALL RECEIVE A MINIMUM THREE (3) INCHES OF SHREDDED HARDWOOD MULCH. SEE LANDSCAPE PLAN FOR MULCH BOUNDARY LINES. SEE LANDSCAPE DETAILS FOR TYPICAL MULCH AREA DIMENSIONS.



GENERAL NOTES:

- PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.



No.	REVISIONS	DATE	BY

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017270019	09/11/2024	AS SHOWN	MTH	MTH	KLW

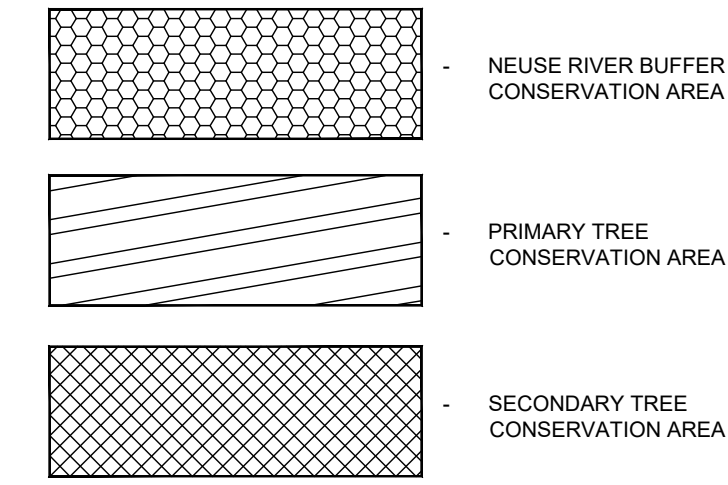
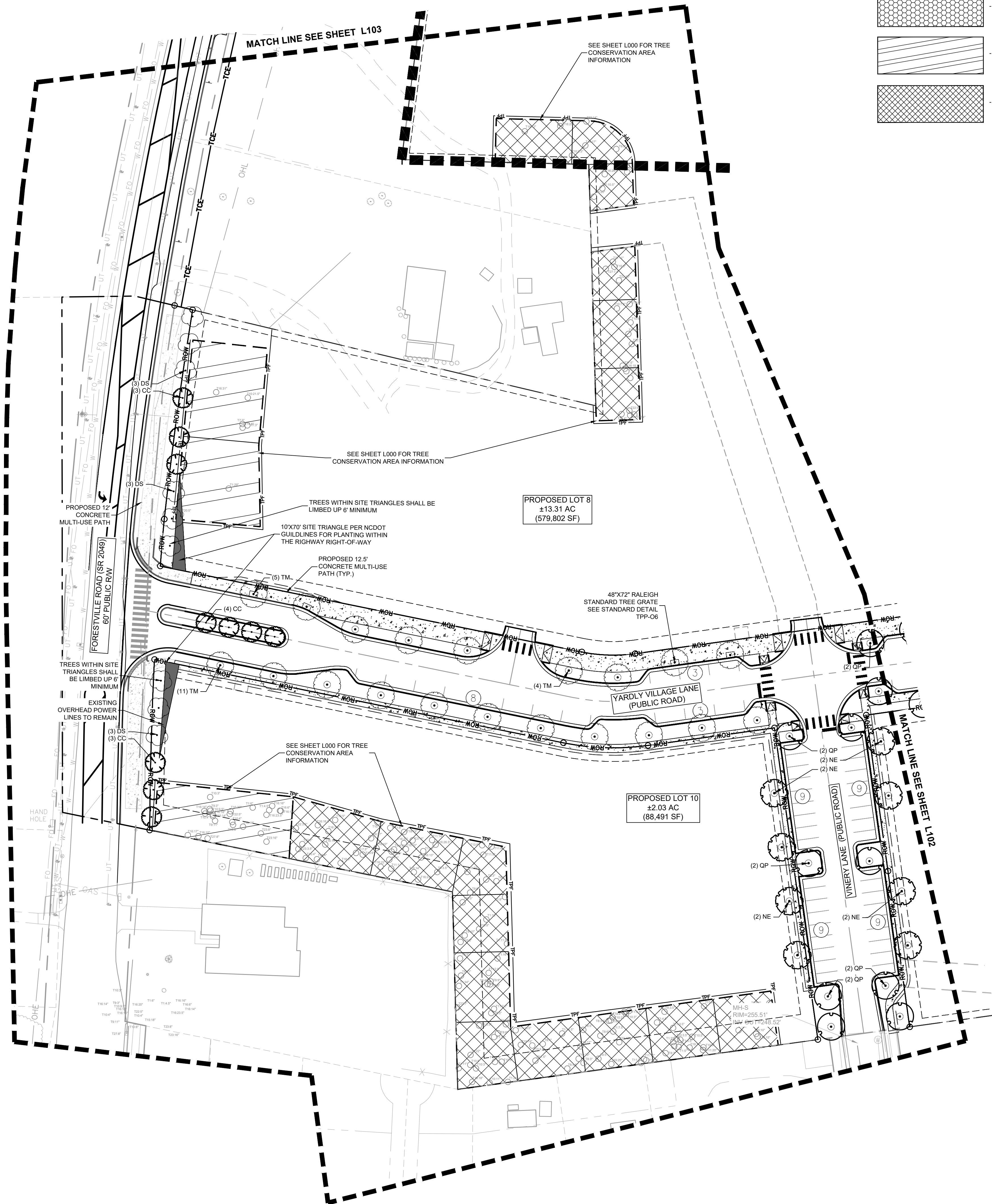
OVERALL LANDSCAPE PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
L100

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Plotted By: Larson, Sydney Sheet Set: Yardly Buffalo Village Layout: L101 September 11, 2024 11:13:14am K:\CHL_P\1012720_Taylor Morrison\019_Raleigh-Buffer\02 - DWG\PlanSheets\L101 - LANDSCAPE.dwg

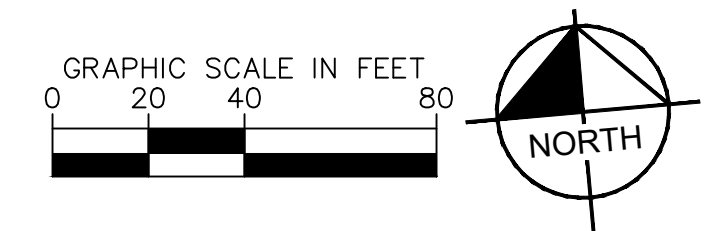


SUBDIVISION PLANT KEY - L101

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
SHADE TREES			
	NE	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo
	QP	Quercus palustris	Pin Oak
	TM	Tilia americana 'McK Sentry'	American Sentry® Linden
UNDERSTORY TREES			
	DS	Amelanchier arborea	Downy Serviceberry
	CC	Cercis canadensis	Eastern Red Bud

GENERAL NOTES:

- PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.



NO.	REVISIONS	DATE	BY

Kimley **Horn**

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NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTH
DRAWN BY	MTH
CHECKED BY	KLW

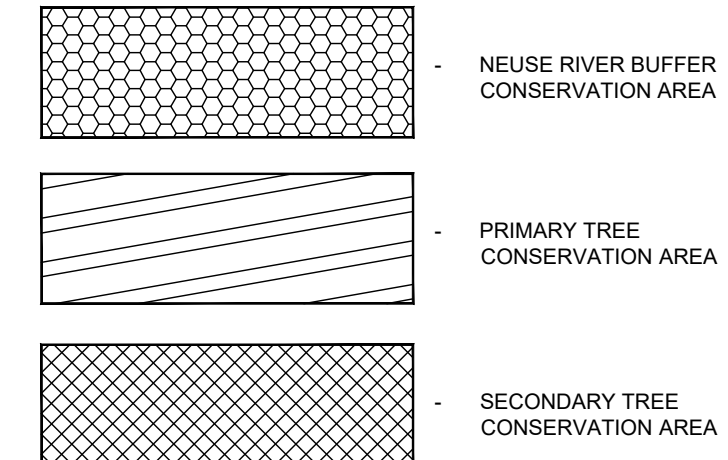
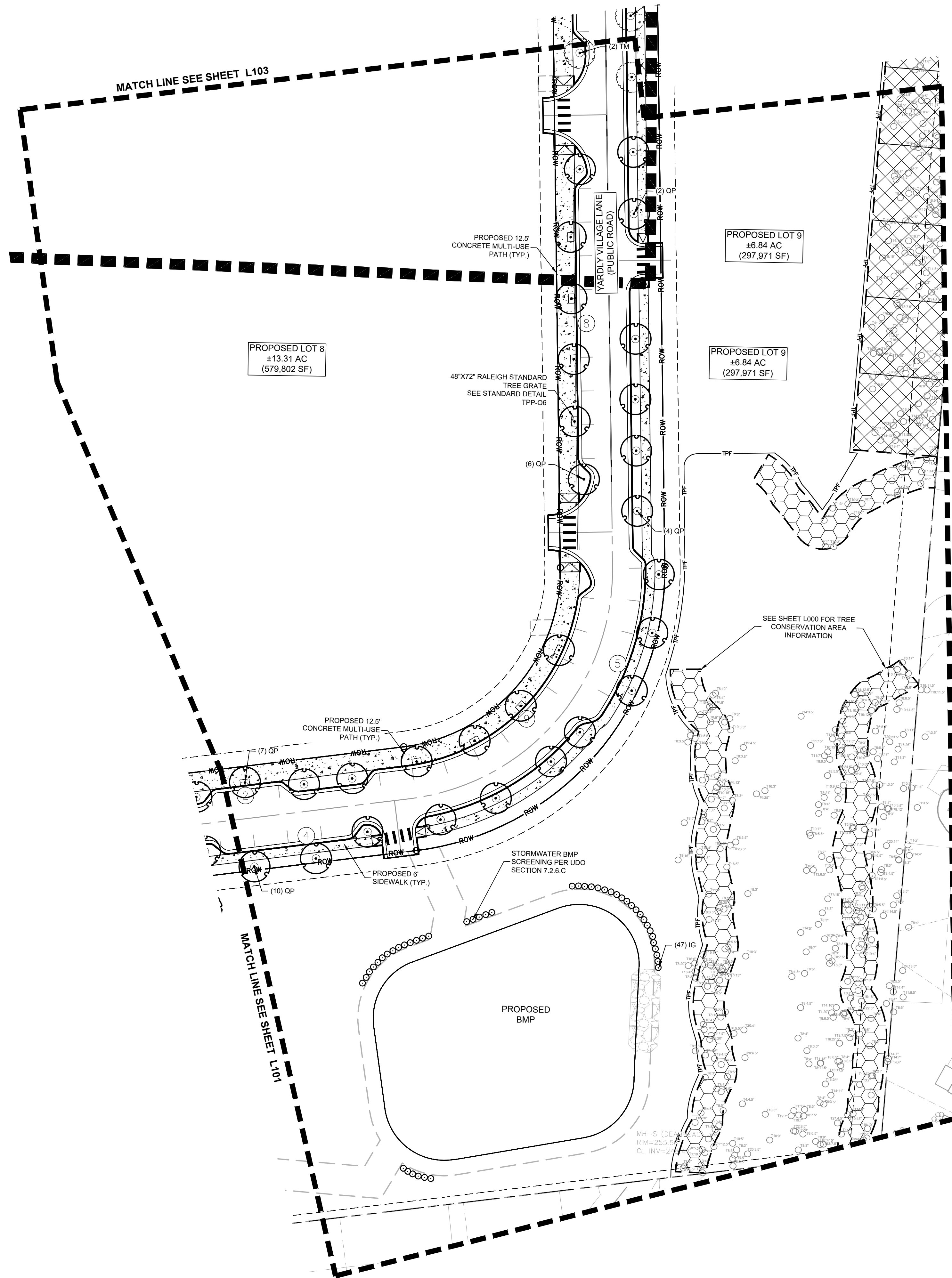
LANDSCAPE PLANS

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
L101

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Plotted by: J. Larson; Sydnay; Street; Site; Yards; Buffalo; Village; Layout; L102; September; 11; 2024; 3:11:33 PM; K:\CH\PRJ\1012220_Taylor Morrison\1012220_09\03\plan\BTR\102-LANDSCAPE.dwg; DWG; PlanSheets_V2.0 - L100 - LANDSCAPE.dwg



SUBDIVISION PLANT KEY - L102

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
SHADE TREES			
	QP	Quercus palustris	Pin Oak
	TM	Tilia americana 'McKSentry'	American Sentry® Linden
SHRUBS			
	IG	Ilex glabra	Inkberry Holly

GENERAL NOTES:
 1. PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.

NO.	REVISIONS	DATE	BY

Kimley **Horn**
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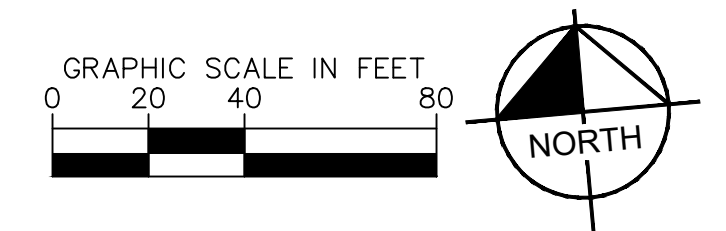
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LANDSCAPE PLANS

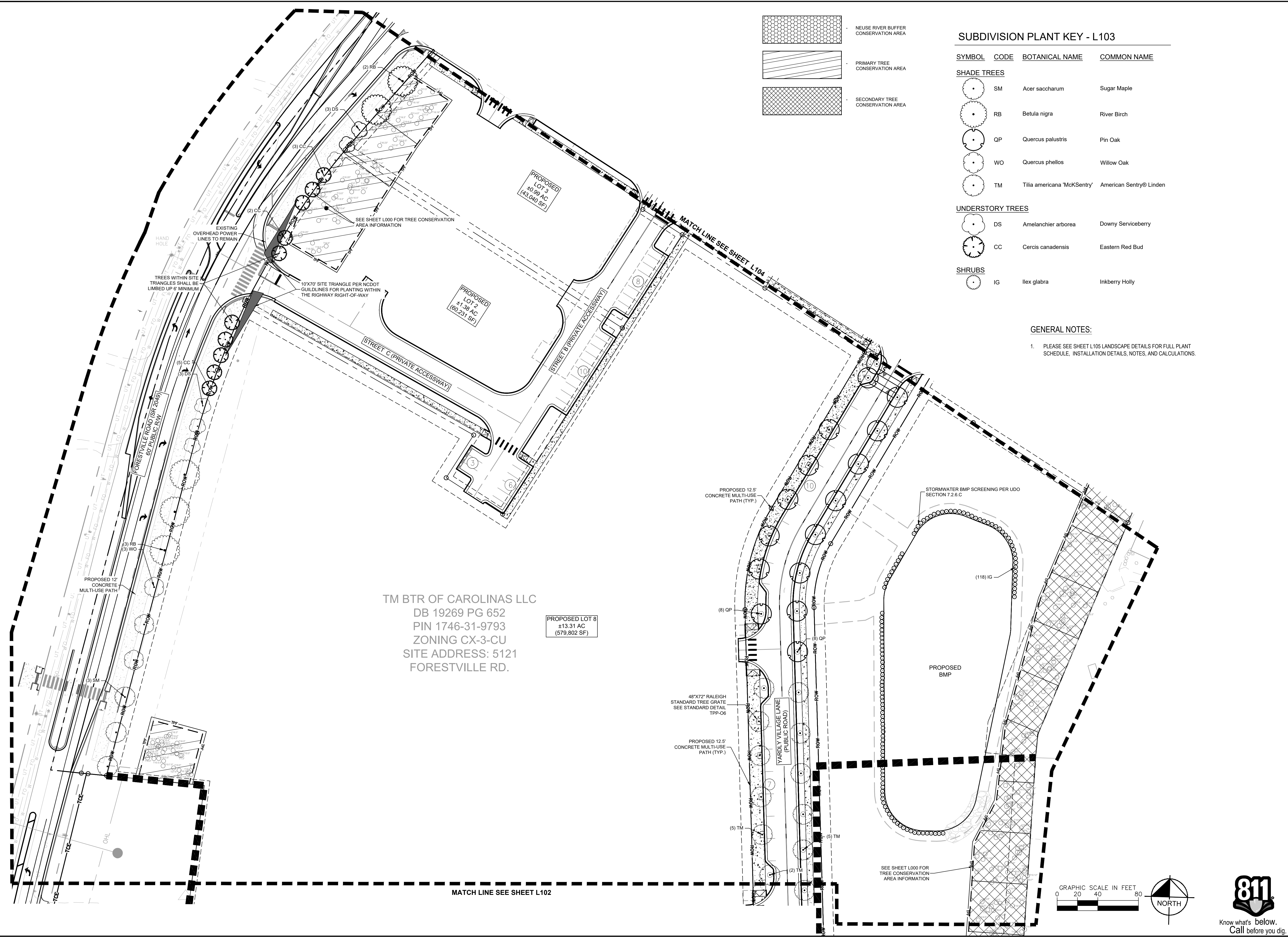
YARDLY BUFFALO VILLAGE
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Plotted By: Larson, Sydney Sheet Set: Yardly Buffalo Village Layout: L103 September 11, 2024 11:13:35am K:\CHL_P\1017270_Taylor Morrison\019_Raleigh-Buffer\02 - DWG\PlanSheets\2.0 - L100 - LANDSCAPE.dwg



TM BTR OF CAROLINAS LLC
 DB 19269 PG 652
 PIN 1746-31-9793
 ZONING CX-3-CU
 SITE ADDRESS: 5121 FORESTVILLE RD.

PROPOSED LOT 8
 ±13.31 AC
 (579,802 SF)

MATCH LINE SEE SHEET L102

PROPOSED 12.5' CONCRETE MULTI-USE PATH (TYP.)

48"X72" RALEIGH STANDARD TREE GRATE SEE STANDARD DETAIL TPP-06

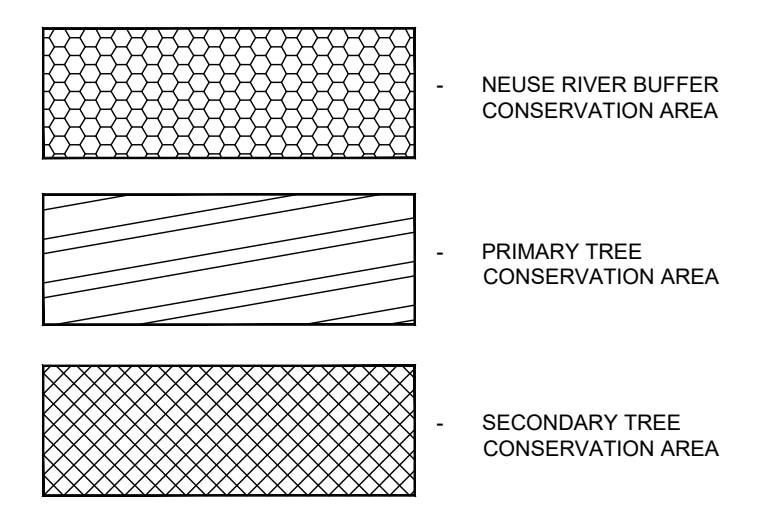
PROPOSED 12.5' CONCRETE MULTI-USE PATH (TYP.)

YARDLY VILLAGE LANE (PUBLIC ROAD)

STORMWATER BMP SCREENING PER UDO SECTION 7.2.6.C

PROPOSED BMP

SEE SHEET L000 FOR TREE CONSERVATION AREA INFORMATION

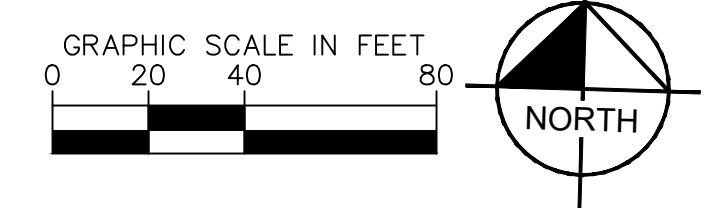


SUBDIVISION PLANT KEY - L103

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
SHADE TREES			
	SM	Acer saccharum	Sugar Maple
	RB	Betula nigra	River Birch
	QP	Quercus palustris	Pin Oak
	WO	Quercus phellos	Willow Oak
	TM	Tilia americana 'McKsentry'	American Sentry® Linden
UNDERSTORY TREES			
	DS	Amelanchier arborea	Downy Serviceberry
	CC	Cercis canadensis	Eastern Red Bud
SHRUBS			
	IG	Ilex glabra	Inkberry Holly

GENERAL NOTES:

- PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.



NO.	REVISIONS	DATE	BY

Kimley

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LANDSCAPE PLANS

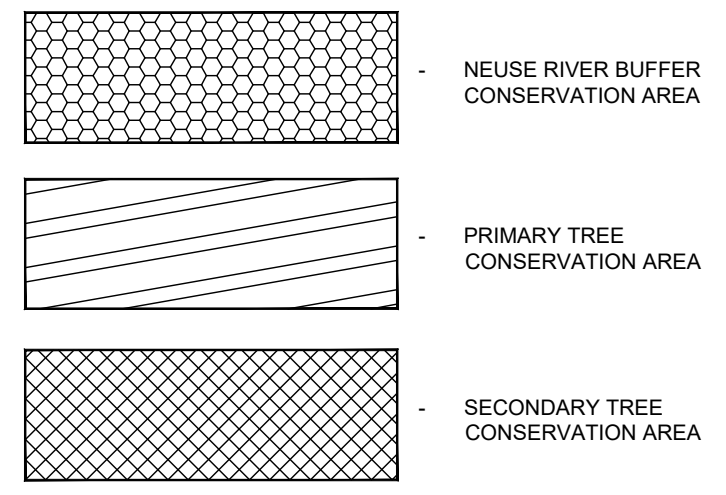
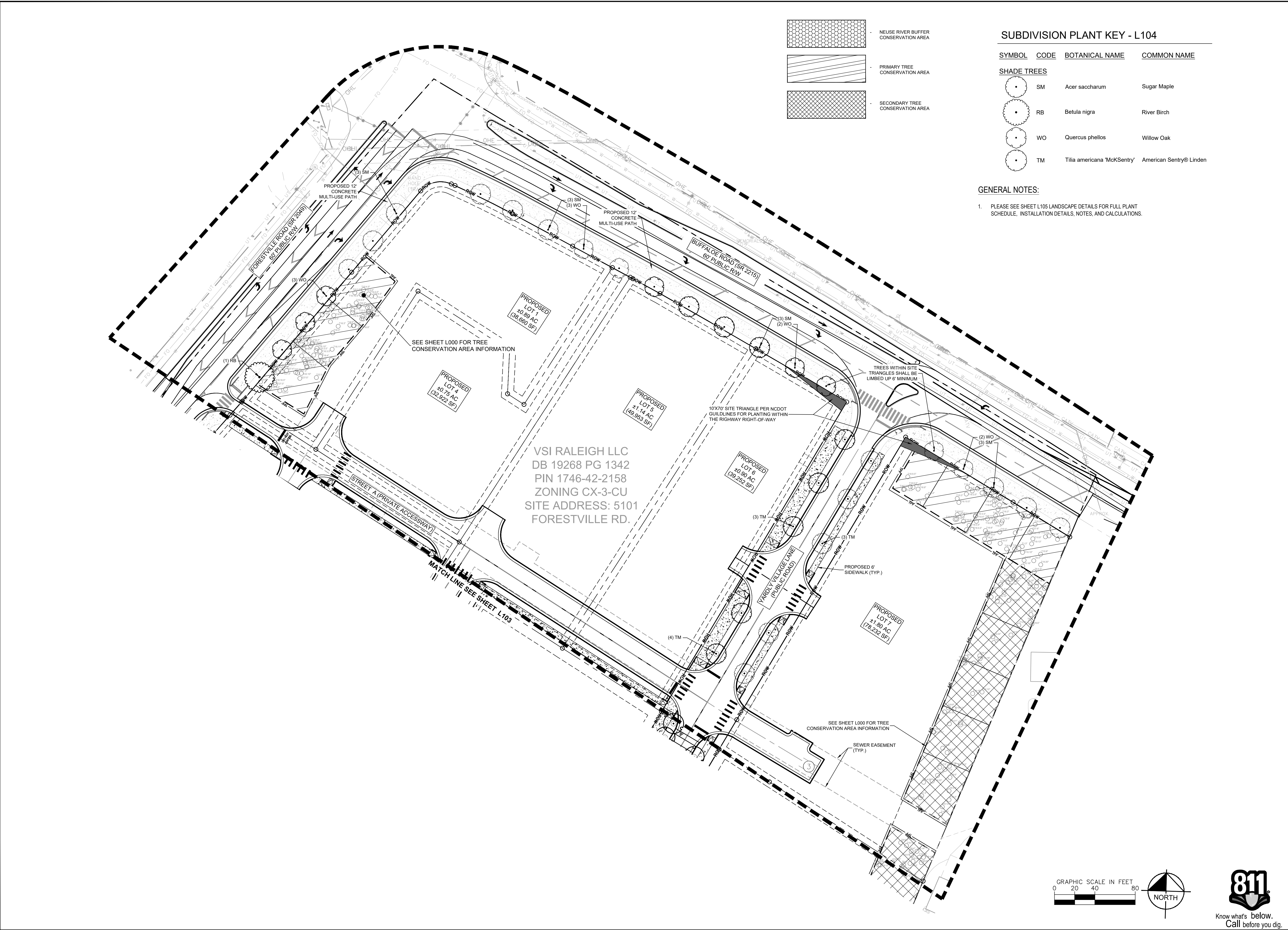
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 BTR / VSI RALEIGH, LLC
 RALEIGH NC

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Plotted By: Larson, Sydney Sheet Set: Yardly Buffalo Village Layoat1.104 September 11, 2024 11:13:45am K:\CHL_P\107270_Taylor Morrison\019_Raleigh-019_Raleigh-019_L100-LANDSCAPE.dwg



SUBDIVISION PLANT KEY - L104

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
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SHADE TREES

	SM	Acer saccharum	Sugar Maple
	RB	Betula nigra	River Birch
	WO	Quercus phellos	Willow Oak
	TM	Tilia americana 'McKsentry'	American Sentry® Linden

GENERAL NOTES:

- PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.

VSI RALEIGH LLC
 DB 19268 PG 1342
 PIN 1746-42-2158
 ZONING CX-3-CU
 SITE ADDRESS: 5101 FORESTVILLE RD.

No.	REVISIONS	DATE	BY

Kimley **Horn**

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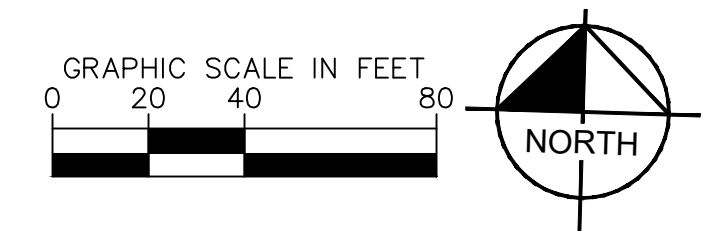
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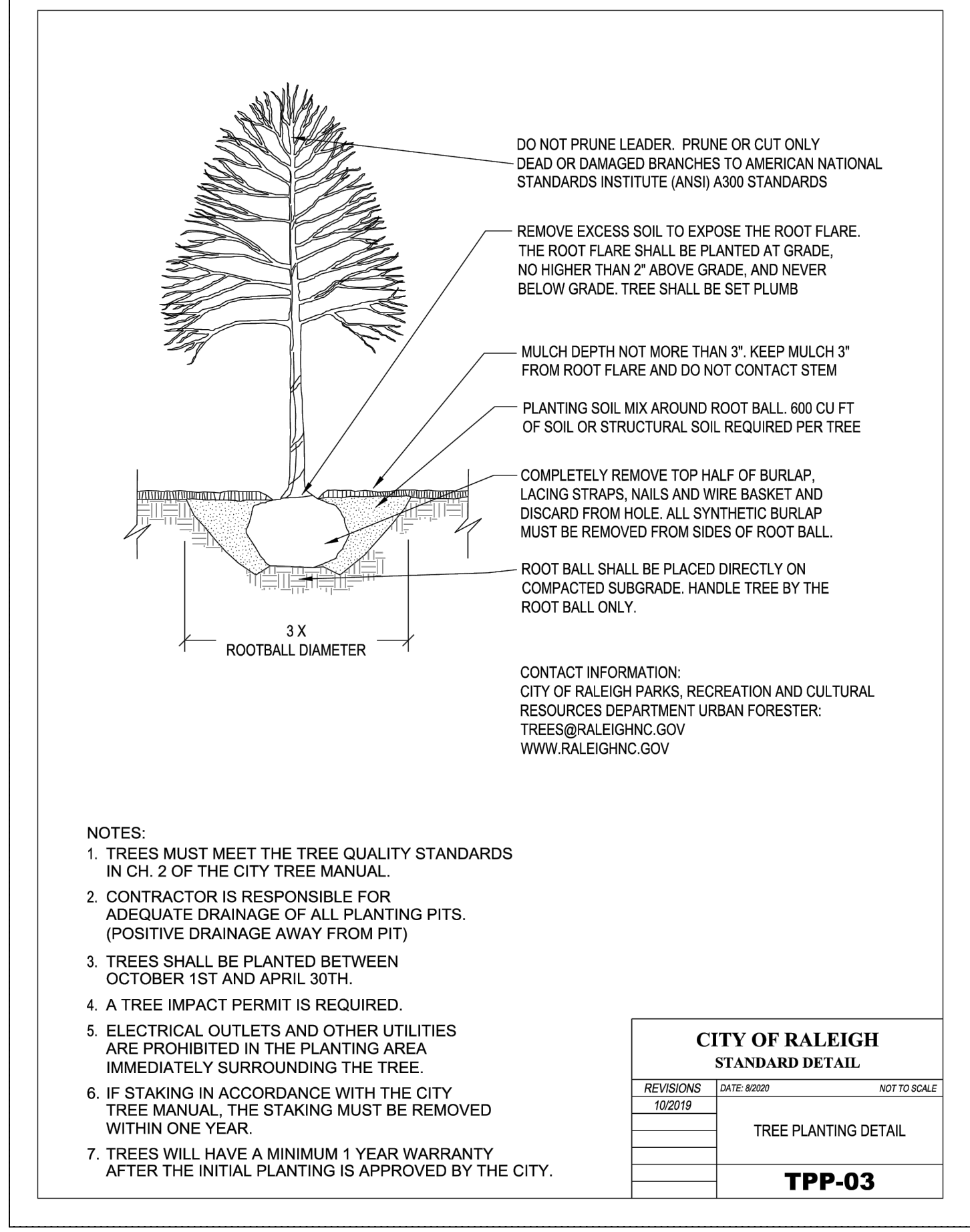
LANDSCAPE PLANS

YARDLY BUFFALO VILLAGE
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 BTR / VSI RALEIGH, LLC
 RALEIGH NC

SHEET NUMBER
L104



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CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
1022019		
TREE PLANTING DETAIL		
TPP-03		

1 TYPICAL TREE PLANTING
L105 SCALE: N.T.S. DETAIL

OVERALL PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANTING HEIGHT	REMARKS
SHADE TREES								
	SM	15	Acer saccharum	Sugar Maple	B&B	3" CAL.	12'-14' HT.	Strong Central Leader, Matched.
	RB	6	Betula nigra	River Birch	B&B	3" CAL.	12'-14' HT.	Single Stem; Strong Central Leader, Matched.
	NE	8	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo	B&B	3" Cal	12'-14' HT.	Strong Central Leader, Matched.
	QP	55	Quercus palustris	Pin Oak	B&B	2" Cal.	12'-14' HT.	Strong Central Leader, Matched.
	WO	13	Quercus phellos	Willow Oak	B&B	3" Cal	12'-14' HT.	Strong Central Leader, Matched.
	TM	42	Tilia americana 'McKSentry'	American Sentry® Linden	B&B	2" CAL.	12'-14' HT.	Strong Central Leader, Matched.
UNDERSTORY TREES								
	DS	15	Amelanchier arborea	Downy Serviceberry	B&B	1.5" Cal	8'-10' HT.	Single Stem; Strong Central Leader, Matched.
	CC	20	Cercis canadensis	Eastern Red Bud	B&B	1.5" Cal	8'-10' HT.	Single Stem; Strong Central Leader, Matched.

LANDSCAPE REQUIREMENTS & CALCULATIONS					
Raleigh, NC					
LANDSCAPE REQUIREMENTS		TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	NOTES	SECTION
BUFFALO RD. FORESTVILLE RD. PROPOSED PUBLIC RD.	CANOPY TREES SPACED 40' (OC) AVG. UNDERSTORY TREES SPACED 20'(OC) AVG.	BUFFALO RD: 650 LF FORESTVILLE ROAD: 1,305 LF YARDLY VILLAGE LANE: 2,110 LF VINERY LANE: 230 LF	BUFFALO RD: 16 SHADE FORESTVILLE ROAD: 12 SHADE & 37 UNDERSTORY YARDLY VILLAGE LANE: 89 SHADE VINERY LANE: 16 SHADE	STREET TREES PLANTED NO MORE THAN 40' (CANOPY) OR 20' (UNDERSTORY) ON CENTER	Section 8.5.5

STABILIZATION NOTES:

- PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE AS HATCHED ON THE LANDSCAPE PLAN.
- SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ON-SITE PRIOR TO PLANTING TO CONFIRM PROPER SOIL AMENDMENTS.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO SODDING ACTIVITY.

ATTENTION CONTRACTOR/LANDSCAPER

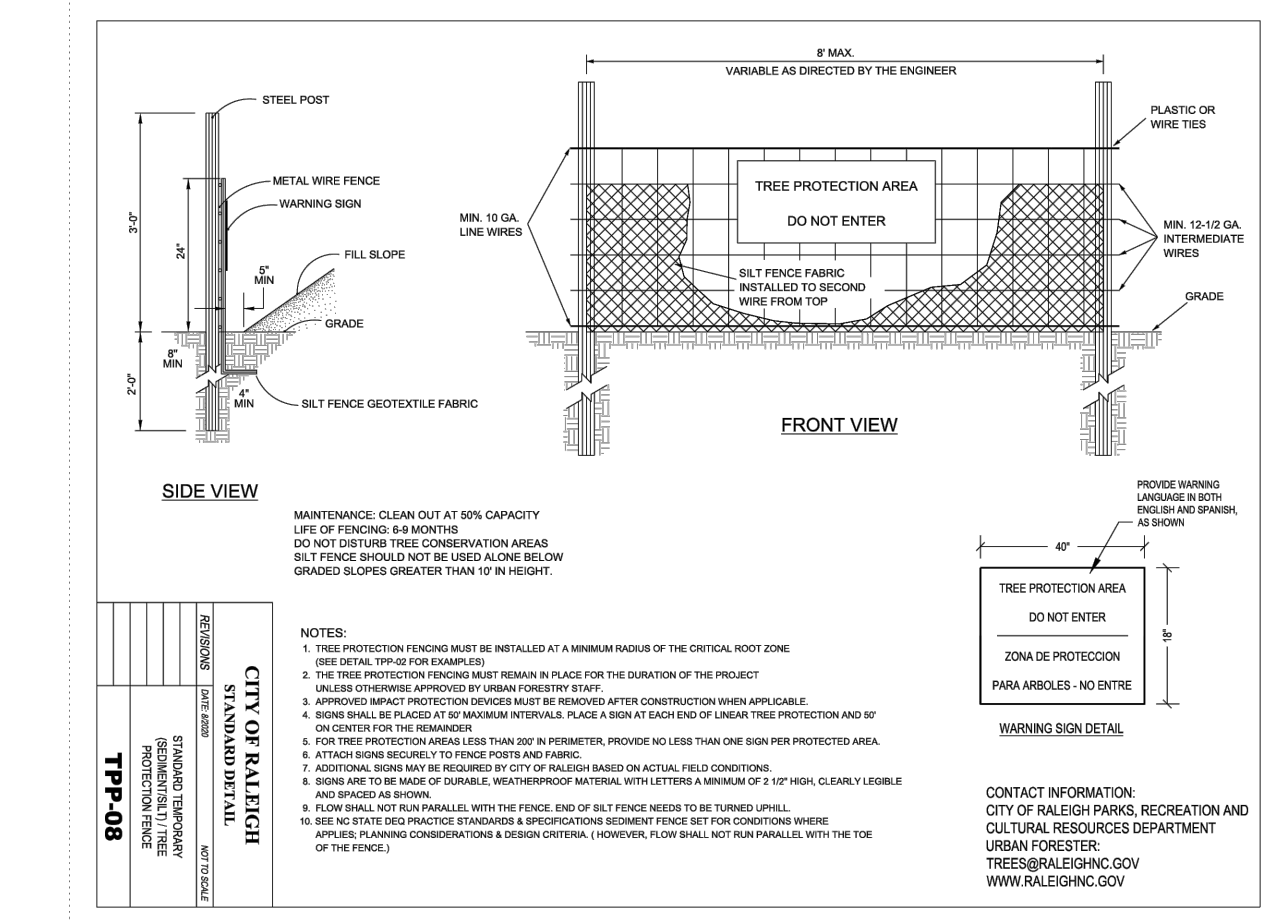
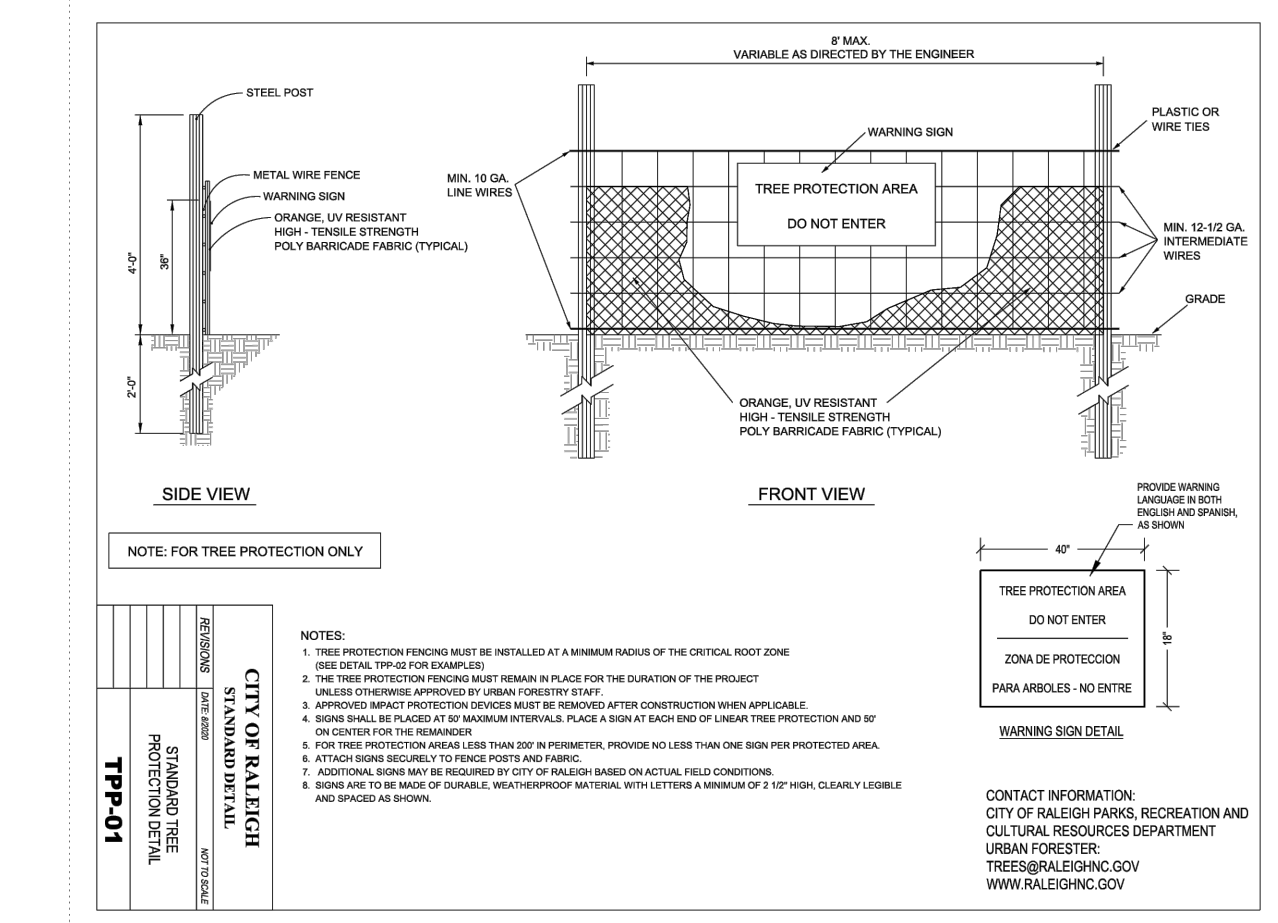
IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 704-336-3599 OR THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY CONFLICTS REGARDING SITE, SIGNS, OVERHEAD POWERLINES OR OTHER UTILITIES. NOTE: NO LIGHT/UTILITY POLES TO BE PLACED IN ISLANDS WITH NEWLY PLANTED TREES.

GENERAL LANDSCAPE NOTES:

- THE CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE JOB, AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION REQUIREMENTS PRIOR TO BIDDING. CONTRACTOR SHALL RECYCLE OR DISPOSE OF WASTE PRODUCTS AND PLANT CONTAINERS OFF-SITE IN A RESPONSIBLE MANNER.
- PERMITS AND FEES REQUIRED FOR WORK MUST BE OBTAINED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT PLANTS, FACILITIES & STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER. ADJACENT STREETS & SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD & DUST-FREE.
- EXISTING UTILITIES SHOWN ON LANDSCAPE DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE & VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER & THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE OWNER IMMEDIATELY FOR CLARIFICATION.
- UTILITY MANHOLE COVERS AND ACCESS BOX COVERS ARE TO BE LOCATED ENTIRELY WITHIN A PLANTED AREA OR A PAVED AREA, AND CLEAR OF ALL FENCE LINES. IF ANY CONDITION ARISES WHERE A UTILITY COVER IS TO CROSS A BOUNDARY OR FENCE LINE, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL EXISTING SIGNAGE TO REMAIN TO BE PROTECTED IN PLACE OR STOCKPILED AND REINSTALLED UPON COMPLETION OF WORK UNLESS OTHERWISE NOTED OR SPECIFIED.
- PLANT SPECIES ARE SELECTED FOR HARDINESS IN LOCAL CLIMATE. PERMANENT IRRIGATION IS NOT PART OF THIS CONTRACT. PLANTS ARE TO BE WATERED BY CONTRACTOR DURING ESTABLISHMENT PERIOD.
- IF CONTRACTOR IS UNABLE TO LOCATE/PURCHASE ANY OF THE SPECIFIED PLANT MATERIAL LISTED, THE CONTRACTOR SHALL SUBMIT ANY SPECIES ALTERNATIVES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.

PLANTING NOTES:

- (SEE PLANTING PLAN)
- ALL PLANTS PROVIDED BY CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
 - ALL PLANTS ARE TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
 - ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 3 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
 - THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH OWNER PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE PLANT SCHEDULE) AT THE NURSERY FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING PLANTS.
 - OWNER SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE OWNER.
 - ALL PLANTS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
 - A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE BEFORE PLANTING.
 - ALL LANDSCAPE AREAS TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN AND DRAINAGE PLANS FOR SPECIFIC GRADING INFORMATION AND PIPE INVERTS.
 - ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
 - ALL SHRUB, GROUND COVER & ANNUAL PLANTING BEDS SHALL BE FILLED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
 - FINISH OFF 2' - 4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND ROOT FLARE.
 - CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL COMPLETION OF WORK.
 - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO COMPLETION OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET PLANT SPECIFICATIONS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.
 - EXISTING PLANT MATERIAL MAY BE USED TO SATISFY PERIMETER PARKING ISLAND REQUIREMENTS. EXISTING MATERIAL MUST BE IN ADEQUATE HEALTH AND MEET SIZE AND SPECIES REQUIREMENTS AS LISTED IN THE CITY OF RALEIGH UDO TO BE COUNTED. PLANT MATERIAL SHOWN ON SHEET C7.0 AS PERIMETER ISLAND PLANTINGS REPRESENT THE CORRECT NUMBER OF PLANTS TO SATISFY PERIMETER ISLAND REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO FLAG ADEQUATE PLANT MATERIAL TO PRESERVE, PRIOR TO LANDSCAPE INSTALLATION.



2 TYPICAL TREE PROTECTION FENCING
L105 SCALE: N.T.S. DETAIL

KH PROJECT 017270019		DATE 09/11/2024	SCALE AS SHOWN	DESIGNED BY MTH	DRAWN BY MTH	CHECKED BY KLV
LANDSCAPE DETAILS						
YARDLY BUFFALO VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH NC						
SHEET NUMBER L105						

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