



Administrative Approval Action

Case File / Name: SUB-0046-2024
DSLCL - Yardly Buffalo Village

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** The project is located on the southeast corner of Buffalo Road and Forestville Road and is approximately 37.1 acres in size (22.74 ac zoned CX-3-CU and 14.36 ac zoned RX-3-CU). The site is currently composed of four parcels. Single-family dwellings, zoned R-6, border the southern boundary line.
- REQUEST:** This is a proposed conventional subdivision to create 10 Lots for future commercial and residential development. It will create two public streets through the site.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 11, 2024 by Kimley-Horn.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

General Condition

2. Identify the appropriate building type designation(s) for Lot 4 on all plan sheets

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
4. Three-party DOT encroachment agreement required prior to start of construction. Submit to COR Transportation. Linwood "Lenny" Wallace Engineer Development Services, Land Development 919-996-2493 Linwood.Wallace@raleighnc.gov Mailing address: ATTN: Linwood Wallace City of Raleigh 1 Exchange Plaza, Suite 500 Raleigh, NC 27601

Stormwater



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- 5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
- 6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

- 9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering



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2. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

5. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

6. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
8. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

9. A public infrastructure surety for 49 street trees along Forestville Road (NCDOT), 16 street trees along Buffaloe Road (NCDOT), 87 street trees along Yardly Village Lane (COR), shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 3.01 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 49 street trees along Forestville Road, 16 street trees along Buffaloe Road, 87 street trees along Yardly Village Lane.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary



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subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: October 9, 2027

Record at least ½ of the land area approved.

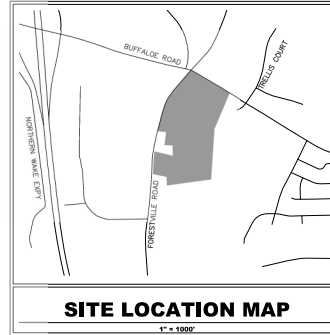
5-Year Sunset Date: October 9, 2029

Record entire subdivision.

I hereby certify this administrative decision.

Signed: Keegan McDonald Date: 10/09/2024
Development Services Dir/Designee
Staff Coordinator: **Jeff Caines**

PRELIMINARY SUBDIVISION PLANS FOR YARDLY BUFFALOE VILLAGE BUFFALOE ROAD RALEIGH, WAKE COUNTY, NORTH CAROLINA #SUB-0046-2024 FORMERLY REVIEWED UNDER #SUB-0034-2023



SITE LOCATION MAP
1" = 1000'

KIMLEY-HORN HAS NO LIABILITY WHATSOEVER FOR ANY COSTS ARISING OUT OF THE CLIENT'S DECISION TO OBTAIN BIDS OR PROCEED WITH CONSTRUCTION BEFORE KIMLEY-HORN HAS ISSUED FINAL, FULLY-APPROVED PLANS AND SPECIFICATIONS. THE CLIENT ACKNOWLEDGES THAT ALL PRELIMINARY PLANS ARE SUBJECT TO SUBSTANTIAL REVISION UNTIL PLANS ARE FULLY APPROVED AND ALL PERMITS OBTAINED.

Sheet List Table

Sheet Number	Sheet Title
C001	COVER SHEET
C002	ZONING CONDITIONS
C100	EXISTING CONDITIONS
C101	OVERALL DEMOLITION PLAN
C200	OVERALL PRELIMINARY SUBDIVISION PLAN
C201	PRELIMINARY SUBDIVISION PLAN
C202	PRELIMINARY SUBDIVISION PLAN
C203	PRELIMINARY SUBDIVISION PLAN
C204	PRELIMINARY SUBDIVISION PLAN
C205	OFFSITE ROADWAY IMPROVEMENTS
C300	PRELIMINARY GRADING AND DRAINAGE PLAN
C301	PRELIMINARY GRADING AND DRAINAGE PLAN
C302	PRELIMINARY GRADING AND DRAINAGE PLAN
C303	PRELIMINARY GRADING AND DRAINAGE PLAN
C304	PRELIMINARY GRADING AND DRAINAGE PLAN
C400	OVERALL PRELIMINARY UTILITY PLAN
C401	PRELIMINARY UTILITY PLAN
C402	PRELIMINARY UTILITY PLAN
C403	PRELIMINARY UTILITY PLAN
C404	PRELIMINARY UTILITY PLAN
C500	SCM DETAILS - WET POND 1
C501	SCM DETAILS - WET POND 2
L000	OVERALL TREE CONSERVATION PLAN
L001	TREE CONSERVATION PLAN
L002	TREE CONSERVATION PLAN
L003	TREE CONSERVATION PLAN
L004	TREE CONSERVATION PLAN
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLANS
L102	LANDSCAPE PLANS
L103	LANDSCAPE PLANS
L104	LANDSCAPE PLANS
L105	LANDSCAPE DETAILS

SITE DATA TABLE

PROPERTY INFORMATION	
EXISTING ZONING:	CX-CO-U
EXISTING USE:	VACANT
PROPOSED USE:	VACANT
TOTAL SITE AREA:	37.10 AC (1,619,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET - 10 FEET SIDE STREET - 10 FEET REAR/DEAD END LOT LINE - 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH - 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 56 SPACES LOT 1: 19 SPACES LOT 3: 8 SPACES LOT 7: 3 SPACES
PROJECT DATA	
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,619,032 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.89 AC (38,660 SF) LOT 2 (VACANT): 1.08 AC (46,231 SF) LOT 3 (VACANT): 1.08 AC (46,181 SF) LOT 4 (VACANT): 1.07 AC (45,922 SF) LOT 5 (VACANT): 1.14 AC (49,163 SF) LOT 6 (VACANT): 1.06 AC (45,252 SF) LOT 7 (VACANT): 1.06 AC (45,252 SF) LOT 8 (VACANT): 1.01 AC (43,802 SF) LOT 9 (VACANT): 0.84 AC (36,917 SF) LOT 10 (VACANT): 0.22 AC (9,491 SF)

Preliminary Subdivision Application

Site Name: [Blank]

Development Information: [Form with checkboxes for commercial, residential, etc.]

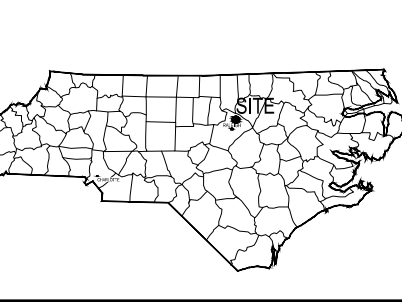
Current Property Owner: [Form with name and address]

Map Information: [Form with map details]

DEVELOPMENT FORM - SITE DATA TABLE - ZONING INFORMATION

GENERAL INFORMATION: [Form with zoning details]

SPECIFIC REGULATORY BURDEN: [Form with regulatory details]



PROJECT OWNER AND CONSULTANT INFORMATION

DEVELOPER: TAYLOR MORRISON 1405 N COMMUNITY HOUSE ROAD CHARLOTTE, NC 28277 PHONE (704) 251-8142 CONTACT: MEGAN LEDBETTER	DEVELOPER: VSI RALEIGH, LLC 106 E 8TH AVE ROME, GEORGIA 30161 PHONE (504) 558-8698 CONTACT: EVAN CONDER	ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET SUITE 216 HOLLY SPRINGS, NORTH CAROLINA 27840 (864) 275-2558 TEL CONTACT: KATIE WITT, P.E.	SURVEYOR: ESP ASSOCIATES, INC. 2200 GATEWAY CENTRE BLVD SUITE 216 MORRISVILLE, NC 27667 PHONE (919) 676-1100 FAX (919) 677-1252 WATTS B. FEARRINGTON, JR.	PROJECT OWNER: TAYLOR MORRISON 1405 N COMMUNITY HOUSE ROAD CHARLOTTE, NC 28277 VSI RALEIGH, LLC 106 E 8TH AVE ROME, GEORGIA 30161
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ATTENTION CONTRACTORS

The Contractor/Contractors responsible for the extension of water, sewer, and/or electric, as approved in these plans, is responsible for contacting the Public Works Department of the City of Raleigh and the Public Utilities Department of the City of Raleigh at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a stormwater flow, have Erosion Plans on the jobsite, or any other violation of the City of Raleigh Standards will result in a Fine and Possible Exclosure from future work in the City of Raleigh.

Digitally signed by
jeff.caines@ralphinc.gov
DN:
jeff.caines@ralphinc.gov,
C=US, email=jeff.caines@ralphinc.gov,
Reason: I am approving this document.
Date: 2024.10.07
13:24:56-0400

NOT FOR CONSTRUCTION

811
 Know what's below.
 Call before you dig.

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
300 SOUTH MAIN ST. SUITE 216, HOLLY SPRINGS, NC 27840
WWW.KIMLEY-HORN.COM
LIC # 00100000000000000000

NO. _____	DATE _____	BY _____	DATE _____	REVISIONS _____	DATE _____
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> PRELIMINARY FOR CONSTRUCTION </div>					
COVER SHEET					
YARDLY BUFFALOE VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH, NC					
SHEET NUMBER C001					

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. No use or reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ZONING CONDITIONS:

TCZ-28-22 - 0 BUFFALO ROAD, LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926. APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) (MODIFIED CONDITIONS).

AMENDED CONDITIONS DATED: APRIL 13, 2022

A. CONDITION: THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINS) 1746-42-7076 (DEED BOOK 16 I 05, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-6877 (DEED BOOK 9050, PAGE 759, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.

MEANS OF COMPLIANCE: A 50 FEET PRINCIPAL BUILDING SETBACK HAS BEEN PROVIDED ADJACENT TO THESE PROPERTIES.

B. CONDITION: PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:

- i. DORMITORY, FRATERNITY, SORORITY;
- ii. ADULT ESTABLISHMENTS;
- iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
- iv. FUNERAL HOME;
- v. ANIMAL CARE (INDOOR);
- vi. VETERINARY CLINIC/HOSPITAL;
- vii. DETENTION CENTER, JAIL, PRISON;
- viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
- ix. EMERGENCY SHELTER - TYPE B;
- x. BOWLING ALLEY;
- xi. MINI-WAREHOUSE STORAGE FACILITY.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

C. CONDITION: THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.1.1.C.3. UDO SECTIONS 6.4.1.1.C.3.A.1 - K SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

D. CONDITION: THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) USE SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

E. CONDITION: NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS, AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORDING ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

F. CONDITION: OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

G. CONDITION: RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

H. CONDITION: NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7, AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

I. CONDITION: POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE, NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.

MEANS OF COMPLIANCE: PROPOSED LIGHTING IS LESS THAN 35 FEET IN HEIGHT, NO LIGHTING PROPOSED IN BUFFER AREAS OR PROTECTIVE YARDS.

J. CONDITION: PRIOR TO LOT RECORDATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA, THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.

MEANS OF COMPLIANCE: N/A - NO LOTS ARE BEING RECORDED OR BUILDINGS PROPOSED WITH THIS SUBDIVISION.

K. CONDITION: UNTIL THE THREE LANES ON THE BUFFALO ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET, FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

L. CONDITION: DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.

1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALO ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALO ROAD.

MEANS OF COMPLIANCE: PARKING IS NOT PROPOSED ALONG THE FRONTAGE OF BUFFALO ROAD WITH THIS SUBDIVISION PLAN.

2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE (25') OF THE RIGHT-OF-WAY OF EITHER BUFFALO ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30') WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.

MEANS OF COMPLIANCE: N/A - NO PARKING PROPOSED WITH THIS SUBDIVISION WITHIN 25 FEET OF RIGHT-OF-WAY OF BUFFALO ROAD OR FORESTVILLE ROAD.

3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED ALONG PUBLIC AND PRIVATE INTERNAL STREET NETWORK.

4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED WITH THIS SUBDIVISION.

5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.

MEANS OF COMPLIANCE: SIDEWALKS ALONG PUBLIC AND PRIVATE ROADWAY NETWORK ARE A MINIMUM OF 6 FEET WIDE.

M. CONDITION: AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

Z-27-22 - 5221 AND 5225 FORESTVILLE ROAD, ON ITS EAST SIDE, LOCATED ONE THIRD OF A MILE SOUTH OF ITS INTERSECTION WITH BUFFALO ROAD, BEING WAKE COUNTY PINS 1746308877 & 1746410189. APPROXIMATELY 14.6 ACRES REZONED TO RESIDENTIAL MIXED USE-3 STORIES- CONDITIONAL USE (RX-3-CU).

CONDITIONS DATED: OCTOBER 10, 2022

1. RESIDENTIAL DENSITY SHALL BE LIMITED TO 204 UNITS.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

2. AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

3. THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4, THAT ARE PERMITTED, LIMITED OR SPECIAL USES IN THE RX- DISTRICT SHALL BE PROHIBITED:

- (I) CEMETERY;
- (II) SCHOOL, PUBLIC OR PRIVATE (K-12);
- (III) DAY CARE CENTER; (IV) HEALTH CLUB;
- (V) MEDICAL; OFFICE;
- (VI) OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (250 SEATS);
- (VIII) BED AND BREAKFAST;
- (IX) HOSPITALITY HOUSE;
- (X) PARKING FACILITY;
- (XI) COPY CENTER;
- (XII) OPTOMETRIST;
- (XIII) EATING ESTABLISHMENT;
- (XIV) RETAIL SALES.

MEANS OF COMPLIANCE: N/A - NO BUILDINGS PROPOSED.

NO.	REVISIONS	DATE	BY

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PROJECT NO.	09/11/2024
DRAWN BY	WITH
CHECKED BY	RAW

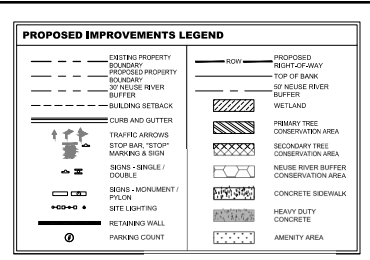
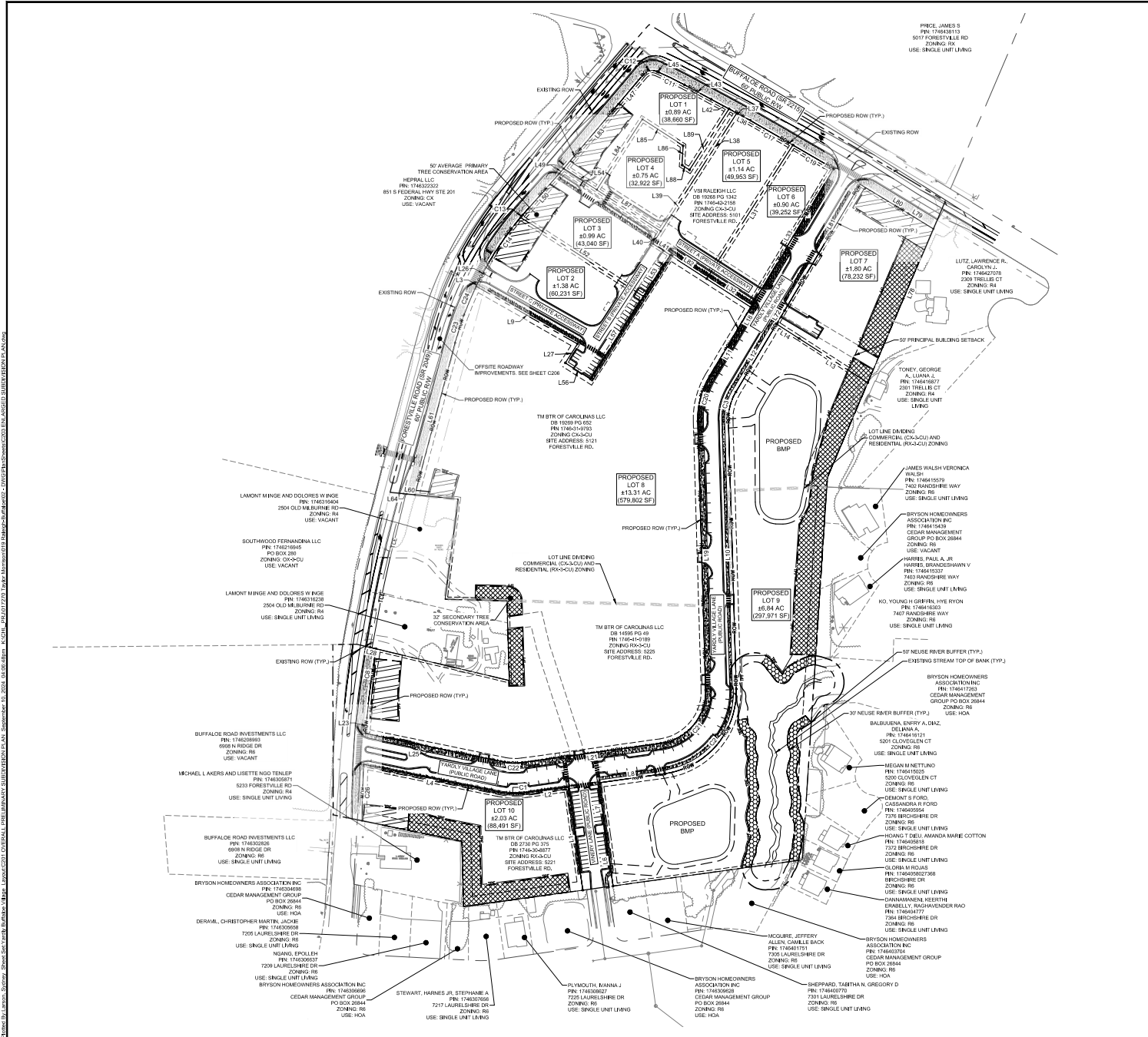
ZONING CONDITIONS

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH, NC

SHEET NUMBER
0002



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PROPOSED IMPROVEMENTS LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- 50' NEUSE RIVER BUFFER
- 30' NEUSE RIVER BUFFER
- BUILDING SETBACK
- CURB AND GUTTER
- TRAFFIC ARROWS
- STOP BAN, STOP MARKING A SIGN
- SIGN - SINGLE / DOUBLE
- SIGN - MONUMENT / Pylon
- SITE LIGHTING
- RETAINING WALL
- PARKING CANT
- ROW
- PROPOSED RIGHT-OF-WAY
- TOP OF BANK
- 50' NEUSE RIVER BUFFER
- WETLAND
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- NEUSE RIVER BUFFER CONSERVATION AREA
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE
- AMENITY AREA

SITE DATA TABLE

PROPERTY INFORMATION

EXISTING ZONING:	CK-3-CU
EXISTING USE:	VA
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	FRONT SETBACK - 10 FEET
	REAR SETBACK - 10 FEET
MINIMUM LOT WIDTH:	50 FEET
PROPOSED NUMBER OF PARKING SPACES:	19 SPACES
	PUBLIC 50 SPACES
	LOT 2 - 19 SPACES
	LOT 3 - 8 SPACES
	LOT 7 - 3 SPACES

PROJECT DATA

PERM:	1746-42158
	1746-315793
	1746-415496
	1746-208977
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.05 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	
LOT 1 (VACANT):	0.80 AC (38,800 SF)
LOT 2 (VACANT):	1.38 AC (60,231 SF)
LOT 3 (VACANT):	0.39 AC (16,940 SF)
LOT 4 (VACANT):	0.35 AC (15,222 SF)
LOT 5 (VACANT):	1.14 AC (49,953 SF)
LOT 6 (VACANT):	0.60 AC (26,250 SF)
LOT 7 (VACANT):	1.60 AC (70,200 SF)
LOT 8 (VACANT):	13.31 AC (579,802 SF)
LOT 9 (VACANT):	6.08 AC (267,517 SF)
LOT 10 (VACANT):	2.03 AC (88,491 SF)

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OVERALL VILLAGE SUBDIVISION PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI/RALEIGH, LLC

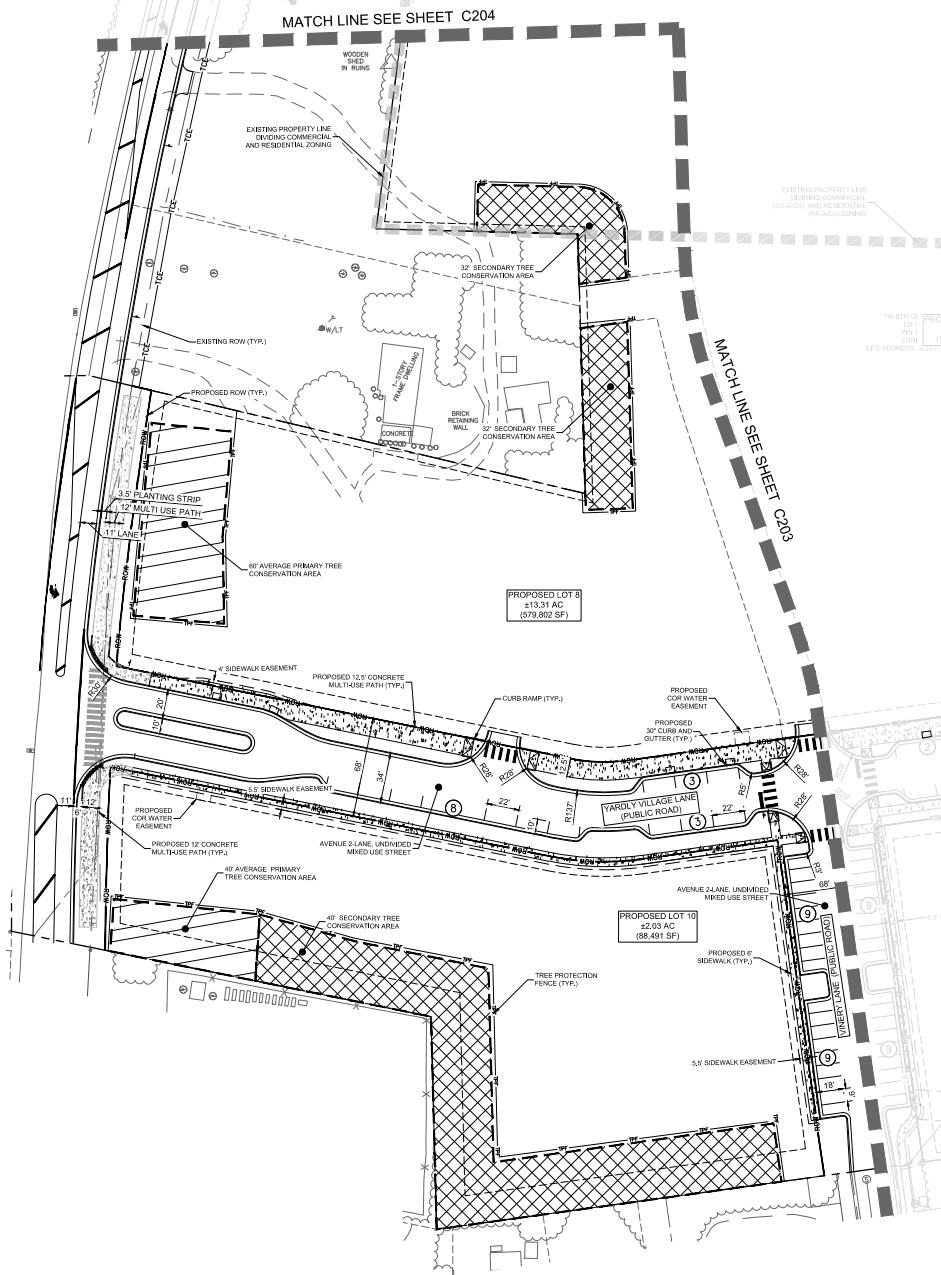
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SHEET NUMBER **C201**

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 DATE: _____

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Prepared by: Larson, Spivey, Shaver, Galt, Vandy, Brantley, 3000 W. Lenoir, Raleigh, NC 27601. Project: C202. Subdivision: YARDLY VILLAGE ENLARGED SUBDIVISION, P.L. 04/2024.



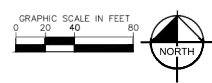
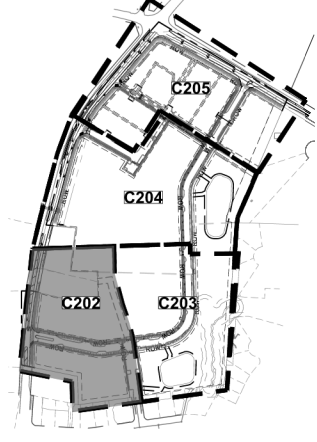
PROPOSED IMPROVEMENTS LEGEND

--- EXISTING PROPERTY BOUNDARY	--- PROPOSED PROPERTY BOUNDARY	--- 30' NEUSE RIVER BUFFER	--- BUILDING SETBACK	--- CURB AND GUTTER	--- TRAFFIC ARROWS	--- STOP BANK, STOP MARKING & SIGN	--- SLOPE - SINGLE / DOUBLE	--- SIGN - MONUMENT / Pylon	--- SITE LIGHTING	--- RETAINING WALL	--- PARKING COUNT	--- ROW	--- RIGHT-OF-WAY TOP OF BANK	--- 30' NEUSE RIVER BUFFER	--- WETLAND	--- PRIMARY TREE CONSERVATION AREA	--- SECONDARY TREE CONSERVATION AREA	--- NEUSE RIVER BUFFER CONSERVATION AREA	--- CONCRETE SIDEWALK	--- HEAVY DUTY CONCRETE	--- AMENITY AREA
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SITE DATA TABLE

PROPERTY INFORMATION	
EXISTING ZONING:	CK-3 CU
EXISTING USE:	RV-3 CU
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REARSIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET
PROPOSED NUMBER OF PARKING SPACES:	PUBLIC: 50 SPACES
	LOT 2: 19 SPACES
	LOT 3: 8 SPACES
	LOT 7: 3 SPACES
PROJECT DATA	
PERM:	1746-03200
	1746-012793
	1746-01286
	1746-05877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
R/W DEDICATION:	7.04 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	LOT 1 (VACANT): 0.80 AC (38,800 SF) LOT 2 (VACANT): 1.26 AC (80,231 SF) LOT 3 (VACANT): 0.99 AC (43,049 SF) LOT 4 (VACANT): 0.76 AC (32,922 SF) LOT 5 (VACANT): 1.14 AC (49,953 SF) LOT 6 (VACANT): 0.80 AC (39,202 SF) LOT 7 (VACANT): 1.66 AC (78,232 SF) LOT 8 (VACANT): 1.33 AC (579,802 SF) LOT 9 (VACANT): 0.94 AC (397,921 SF) LOT 10 (VACANT): 2.03 AC (88,491 SF)

KEY MAP (SCALE 1" = 300')



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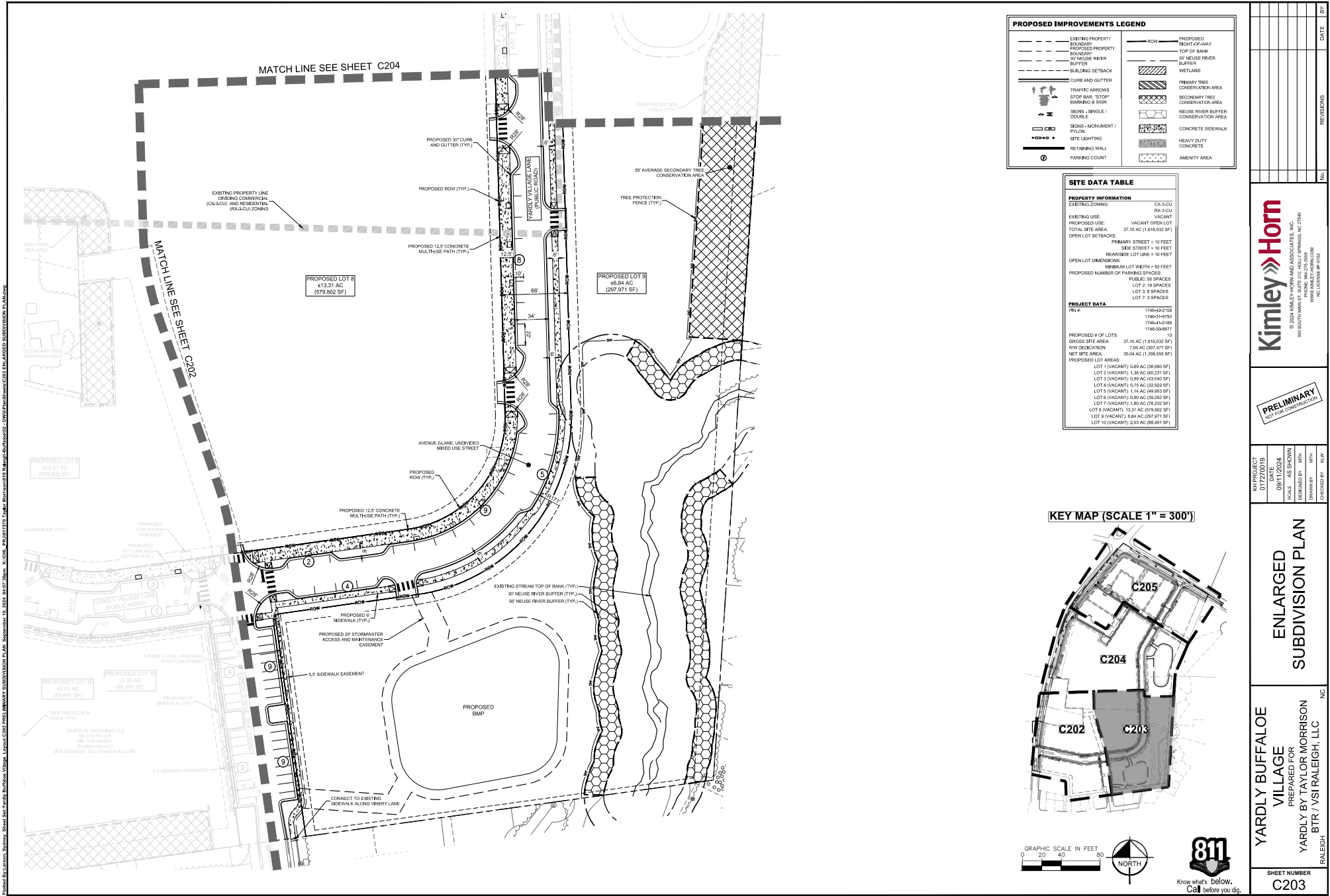
DATE	09/11/2024
BY	AS SHOWN
DESIGNED BY	WITH
DRAWN BY	WITH
CHECKED BY	RAW

ENLARGED SUBDIVISION PLAN

YARDLY BUFFALOEE VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 NC

SHEET NUMBER
C202

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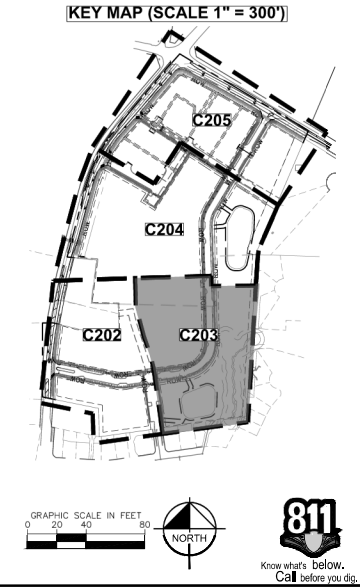
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NO.	PROJECT	DATE	SCALE	DESIGNED BY	WITH	DRAWN BY	CHECKED BY	REV.

ENLARGED SUBDIVISION PLAN

YARDLY BUFFALO VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR | VSI | RALEIGH, LLC
RALEIGH, NC

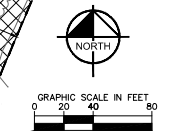
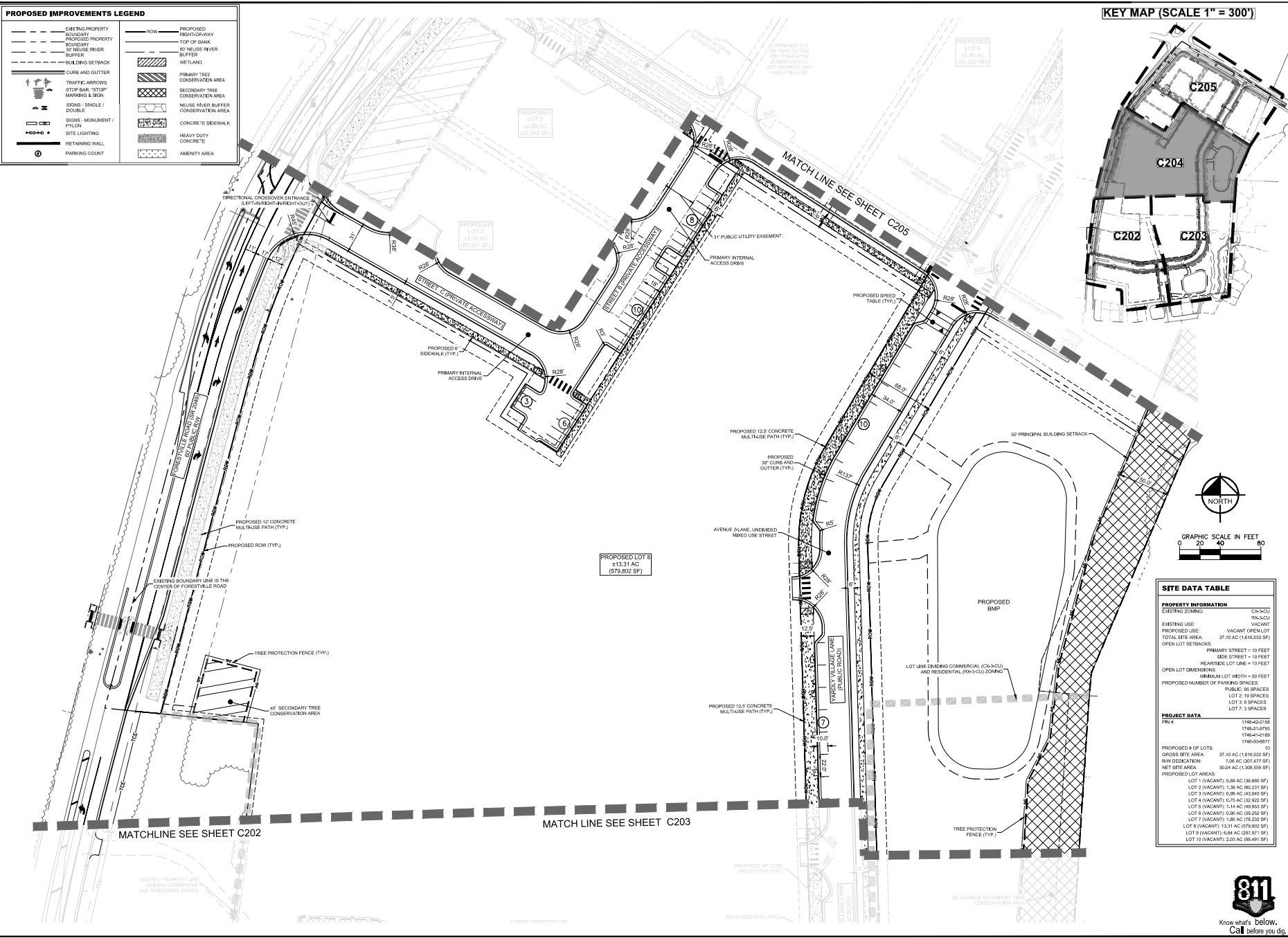
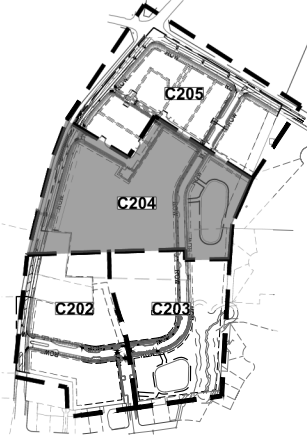
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C203



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PROPOSED IMPROVEMENTS LEGEND	
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	50' NEUSE RIVER BUFFER
	BUILDING SETBACK
	CURBS AND GUTTER
	TRAFFIC ARROWS
	STOP BAR, 'STOP' MARKING & SIGN
	SIGN: SINGLE / DOUBLE
	SIGN: MONUMENT / Pylon
	SITE LIGHTING
	RETAINING WALL
	PARKING COUNT
	ROW
	RIGHT-OF-WAY
	TOP OF BANK
	50' NEUSE RIVER BUFFER
	WETLAND
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA
	NEUSE RIVER BUFFER CONSERVATION AREA
	CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE
	AMENITY AREA

KEY MAP (SCALE 1" = 300')



SITE DATA TABLE	
PROPERTY INFORMATION	
EXISTING ZONING	CK-3(CU)
EXISTING USE	PK-3(CU)
PROPOSED USE:	VACANT OPEN LOT
TOTAL SITE AREA:	37.10 AC (1,616,032 SF)
OPEN LOT SETBACKS:	PRIMARY STREET = 10 FEET SIDE STREET = 10 FEET REAR/SIDE LOT LINE = 10 FEET
OPEN LOT DIMENSIONS:	MINIMUM LOT WIDTH = 50 FEET PUBLIC: 50 SPACES LOT 2: 19 SPACES LOT 3: 9 SPACES LOT 7: 3 SPACES
PROJECT DATA	
Plan #:	1746-421758 1746-31-5793 1746-421659 1746-30-9877
PROPOSED # OF LOTS:	10
GROSS SITE AREA:	37.10 AC (1,616,032 SF)
ROW DEDICATION:	7.06 AC (307,477 SF)
NET SITE AREA:	30.04 AC (1,308,555 SF)
PROPOSED LOT AREAS:	
LOT 1 (VACANT):	0.86 AC (38,068 SF)
LOT 2 (VACANT):	1.38 AC (60,231 SF)
LOT 3 (VACANT):	0.99 AC (43,040 SF)
LOT 4 (VACANT):	0.39 AC (16,822 SF)
LOT 5 (VACANT):	1.14 AC (49,953 SF)
LOT 6 (VACANT):	0.86 AC (39,262 SF)
LOT 7 (VACANT):	1.90 AC (82,232 SF)
LOT 8 (VACANT):	13.31 AC (579,802 SF)
LOT 9 (VACANT):	0.98 AC (43,071 SF)
LOT 10 (VACANT):	2.03 AC (88,491 SF)

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PROJECT NO. 1746-421758
DATE: 09/11/2024
SCALE: AS SHOWN
DESIGNED BY: WITH
DRAWN BY: WITH
CHECKED BY: NEW

ENLARGED SUBDIVISION PLAN

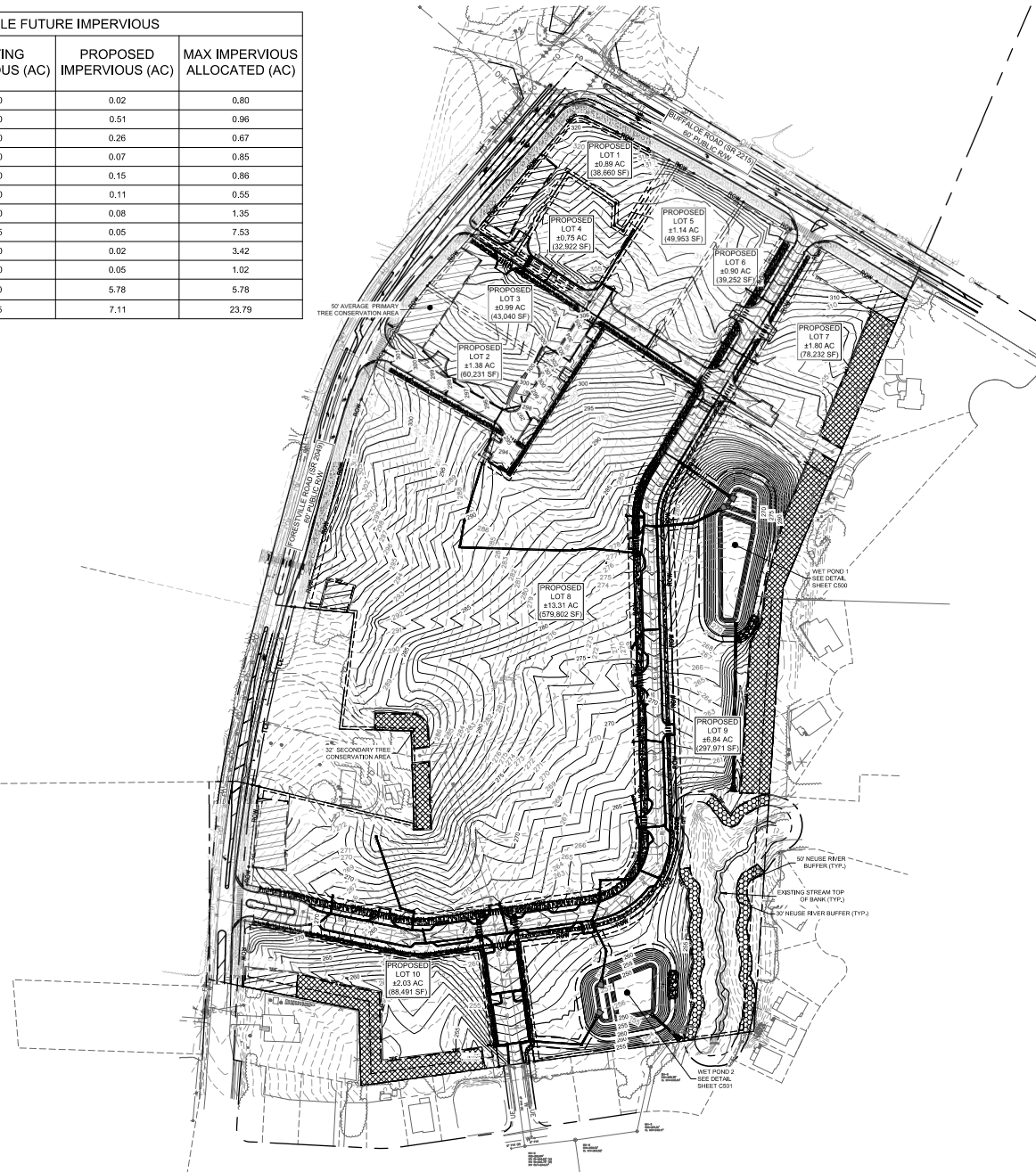
YARDLY BUFFALO VILLAGE
PREPARED FOR: YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC

SHEET NUMBER: C204

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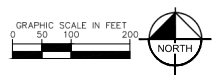
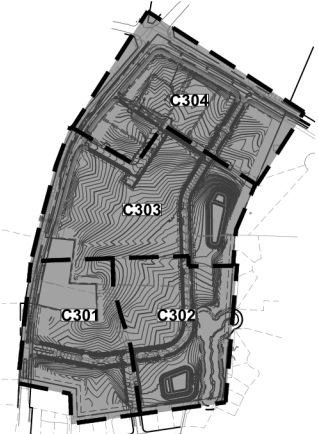
MAXIMUM ALLOWABLE FUTURE IMPERVIOUS				
LOT	TOTAL AREA (AC)	EXISTING IMPERVIOUS (AC)	PROPOSED IMPERVIOUS (AC)	MAX IMPERVIOUS ALLOCATED (AC)
LOT 1	0.89	0.00	0.02	0.80
LOT 2	1.38	0.00	0.51	0.96
LOT 3	0.99	0.00	0.26	0.67
LOT 4	0.76	0.00	0.07	0.85
LOT 5	1.14	0.00	0.15	0.86
LOT 6	0.90	0.00	0.11	0.55
LOT 7	1.80	0.00	0.08	1.35
LOT 8	13.31	0.25	0.05	7.53
LOT 9	6.84	0.00	0.02	3.42
LOT 10	2.03	0.00	0.05	1.02
PUBLIC ROW	7.06	1.30	5.78	5.78
TOTAL	37.10	1.55	7.11	23.79



GRADING AND DRAINAGE LEGEND

--- PROPERTY BOUNDARY	--- ROW	--- RIGHT-OF-WAY
--- CURB AND GUTTER	--- STORM DRAIN	--- STORM DRAIN
--- PROPOSED MAJOR CONTOUR	--- EXISTING MAJOR CONTOUR	--- EXISTING MAJOR CONTOUR
--- PROPOSED MINOR CONTOUR	--- EXISTING MINOR CONTOUR	--- EXISTING MINOR CONTOUR
--- SPOT ELEVATION	--- LIMITS OF DISTURBANCE	--- LIMITS OF DISTURBANCE
--- CATCH BASIN (CB)	--- PRIMARY TREE CONSERVATION AREA	--- PRIMARY TREE CONSERVATION AREA
--- MANHOLE (SMH)	--- SECONDARY TREE CONSERVATION AREA	--- SECONDARY TREE CONSERVATION AREA
--- RETAINING WALL	--- AMENITY AREA	--- AMENITY AREA

KEY MAP (SCALE 1" = 300')



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PROJECT NO.	
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

OVERALL
PRELIMINARY
GRADING AND
DRAINAGE PLAN

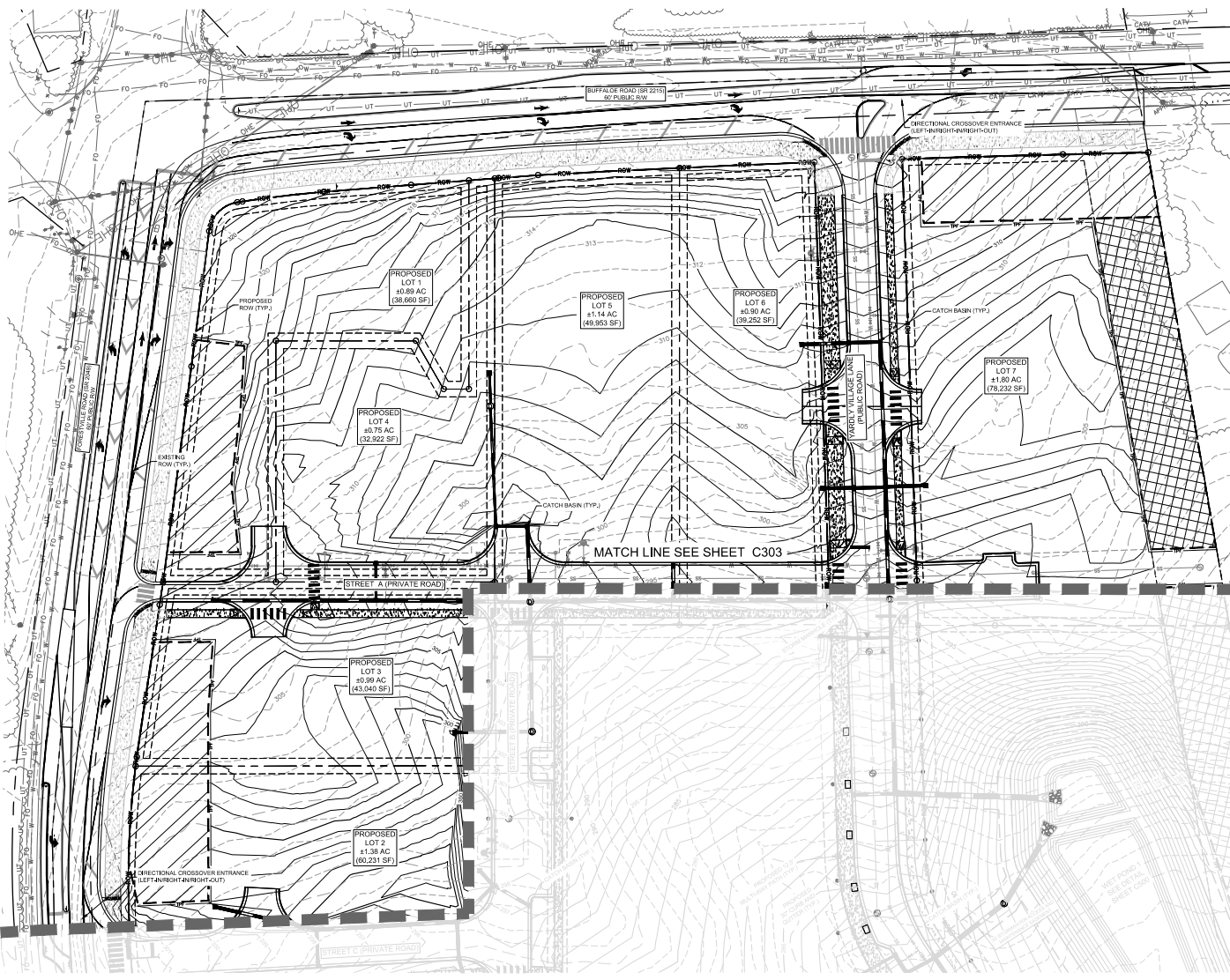
YARDLY BUFFALOEE
VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC NC

SHEET NUMBER
C300

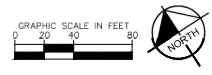
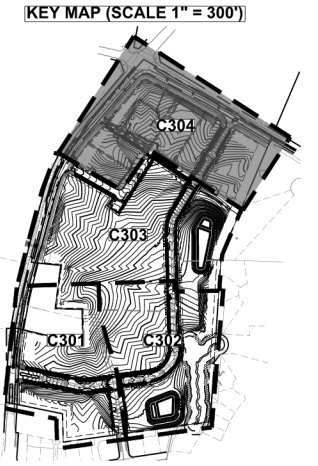
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1:00 PM 09/11/2024 10:45:11 AM C:\Users\jmorris\OneDrive\Documents\Projects\2024\09\11\2024\09_11_2024\09_11_2024.dwg



GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	ROW
---	CURB AND GUTTER	---	RIGHT-OF-WAY
---	PROPOSED MAJOR CONTOUR	---	STORM DRAIN CONTOUR
---	PROPOSED MINOR CONTOUR	---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	EXISTING MINOR CONTOUR
■	SPOT ELEVATION	---	LIMITS OF DISTURBANCE
■	CATCH BASIN (CB)	---	PRIMARY TREE CONSERVATION AREA
○	MANHOLE (SMH)	---	SECONDARY TREE CONSERVATION AREA
---	RETAINING WALL	---	AMENITY AREA



NO.	REVISIONS	DATE	BY

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PROJECT NO.	09112024
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	WITH
DRAWN BY	WITH
CHECKED BY	RAW

PRELIMINARY GRADING AND DRAINAGE PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 NC

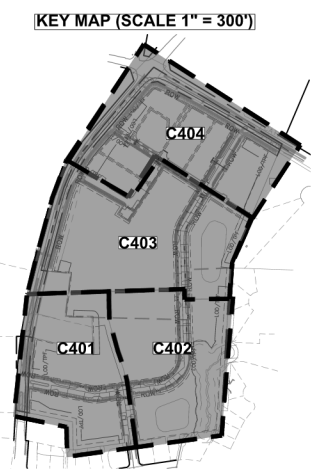
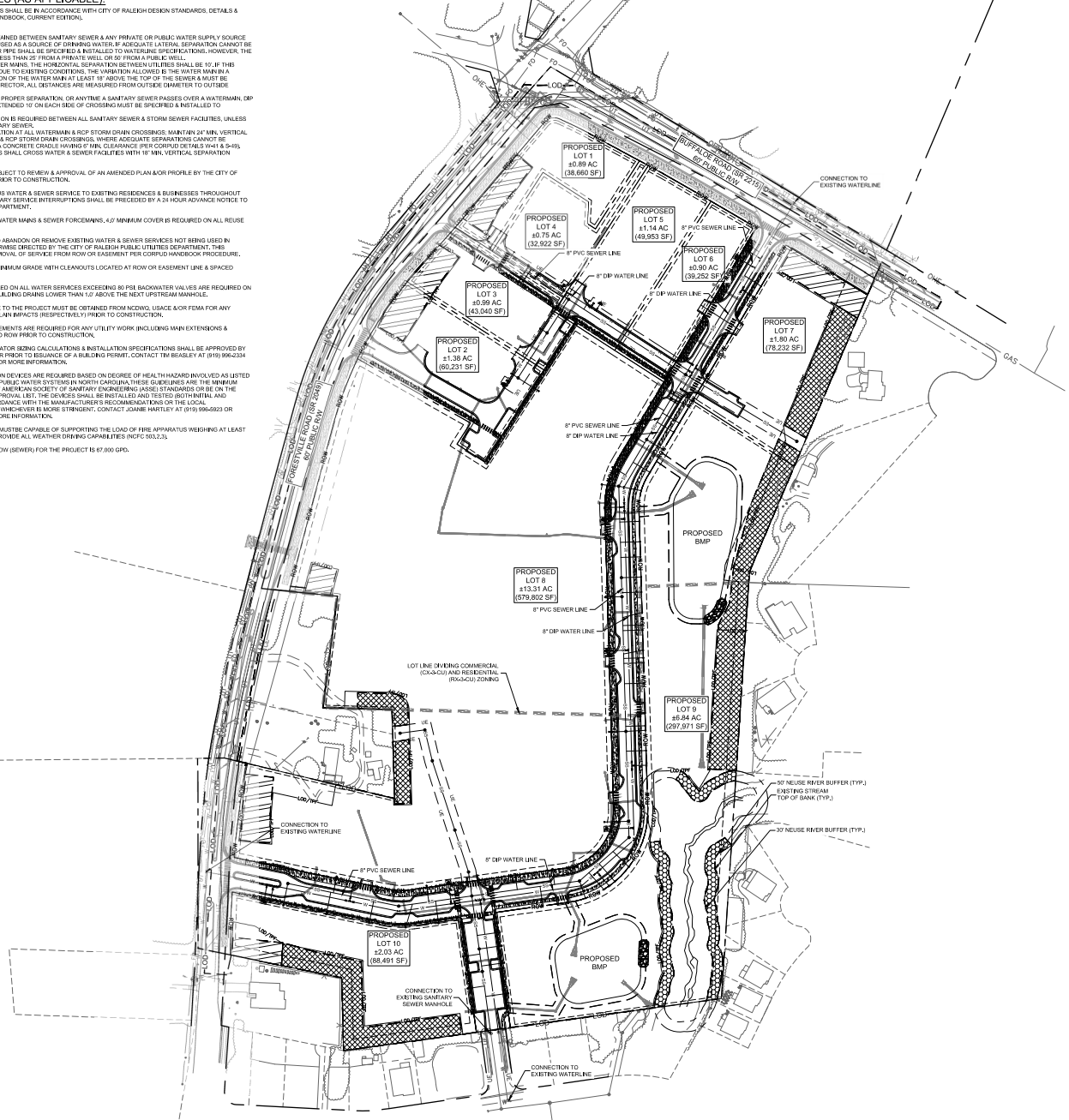
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STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNBOUND RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERRISS SANITARY SEWER PIPES SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP WATERLINE OR STEEL ENCASUREMENT EXTENDED 18" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 12" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SERVICES, UNLESS DP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DP MATERIALS & A CONCRETE CRADLE HAVING 8" MIN. CLEARANCE PER CONCRETE DETAILS (PART 8 & 249). IF ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PROCEEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3/2" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4/2" MINIMUM COVER IS REQUIRED ON ALL RISE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING THE MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CONCORD HANDBOOK PROCEDURE.
- INSTALL 8" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 50' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1/2' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM. USACE AOR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
- NCEM/FM (NARRATIVE) ENVIRONMENTAL AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FCM PROGRAM COORDINATOR PRIOR TO SUBMITTAL OF A BUILDING PERMIT. CONTACT TRH 663451 AT (919) 996-2334 OR TMOUCH@SEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE SUBDIVISIONS ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM (WHICHEVER IS MORE STRINGENT). CONTACT JOANNE HARTLEY AT (919) 996-6922 OR JOANNE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 30,000 LB. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (NFC-303.23).
- MAXIMUM ANTICIPATED AVERAGE DAILY FLOW (SEWER) FOR THE PROJECT IS 67,500 GPD.

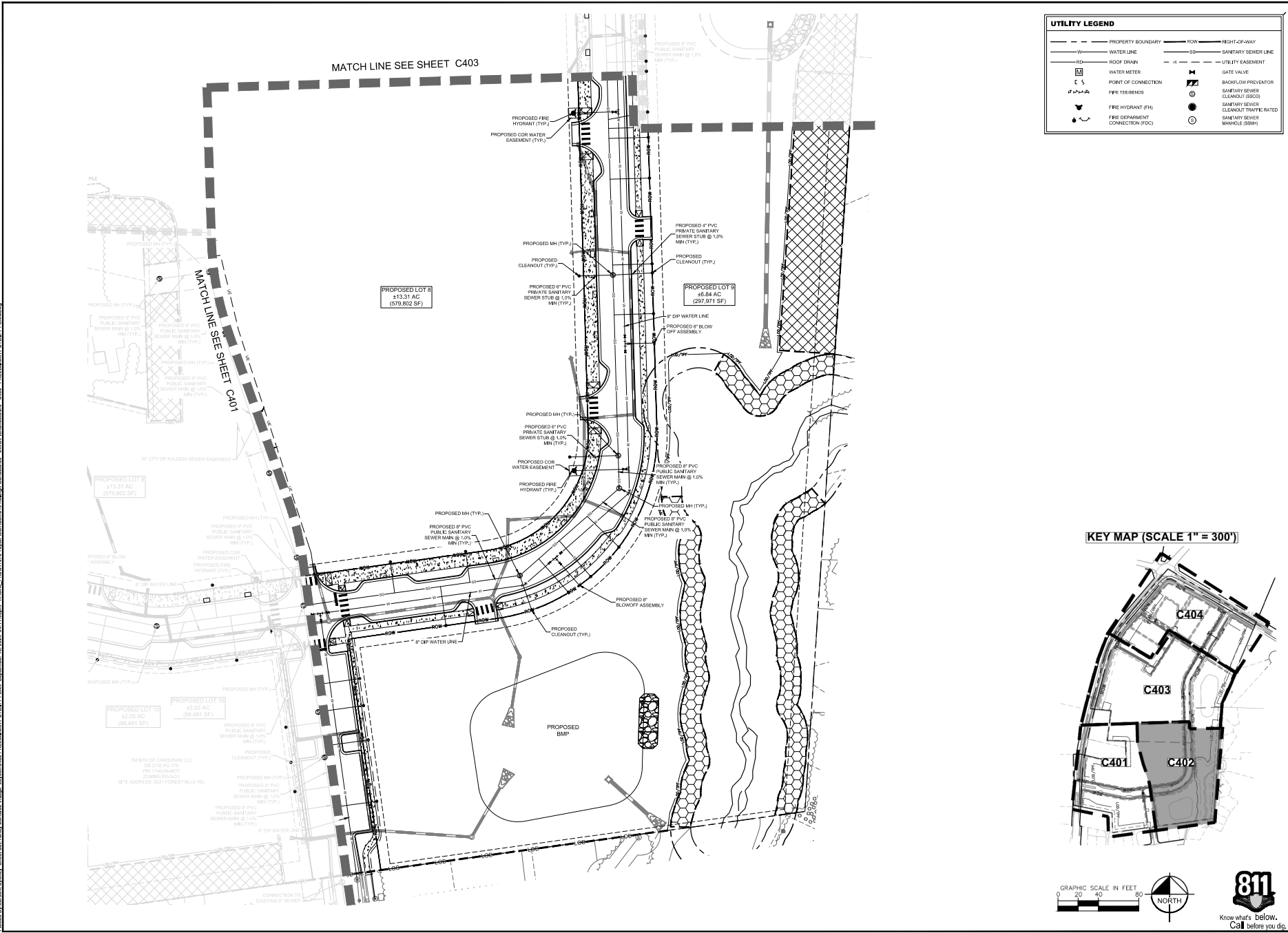
UTILITY LEGEND	
---	PROPERTY BOUNDARY
---	ROW
---	WATER LINE
---	SS
---	SANITARY SEWER LINE
---	UTILITY EASEMENT
---	ROOF DRAIN
---	IC
---	UTILITY EASEMENT
---	WATER METER
---	POINT OF CONNECTION
---	PIPE TRENCH
---	FIRE HYDRANT (FH)
---	FIRE DEPARTMENT CONNECTION (FDC)
---	GATE VALVE
---	BACKFLOW PREVENTOR
---	SANITARY SEWER CLEANOUT (SSCO)
---	SANITARY SEWER CLEANOUT TRAFFICATED
---	SANITARY SEWER MANHOLE (SMH)



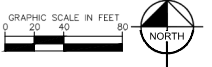
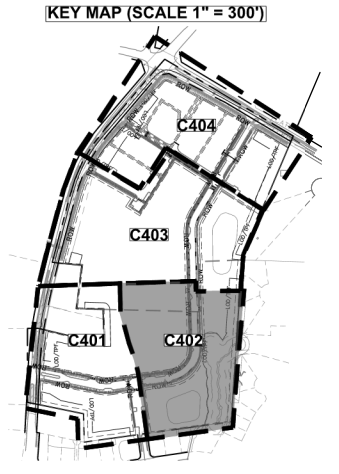
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET, SUITE 212, HOLLY SPRINGS, NC 27540 WWW.KIMLEY-HORN.COM NCE LICENSE # 1512	PRELIMINARY NOT FOR CONSTRUCTION	PROJECT NO: 24-0001 UTILITY DATE: 09/11/2024 SCALE: AS SHOWN DESIGNED BY: WITH DRAWN BY: WITH CHECKED BY: RAW	SHEET NUMBER C400
		OVERALL PRELIMINARY UTILITY PLAN	YARDLY BUFFALO VILLAGE PREPARED FOR TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH, NC

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Prepared by: Kimley-Horn and Associates, Inc. 300 South Main Street, Suite 212, Holly Springs, NC 27540
 Project: YARDLY BUFFALO VILLAGE PRELIMINARY UTILITY PLAN
 Date: 09/11/2024
 Scale: AS SHOWN
 Drawn by: [Redacted]
 Checked by: [Redacted]

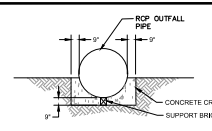
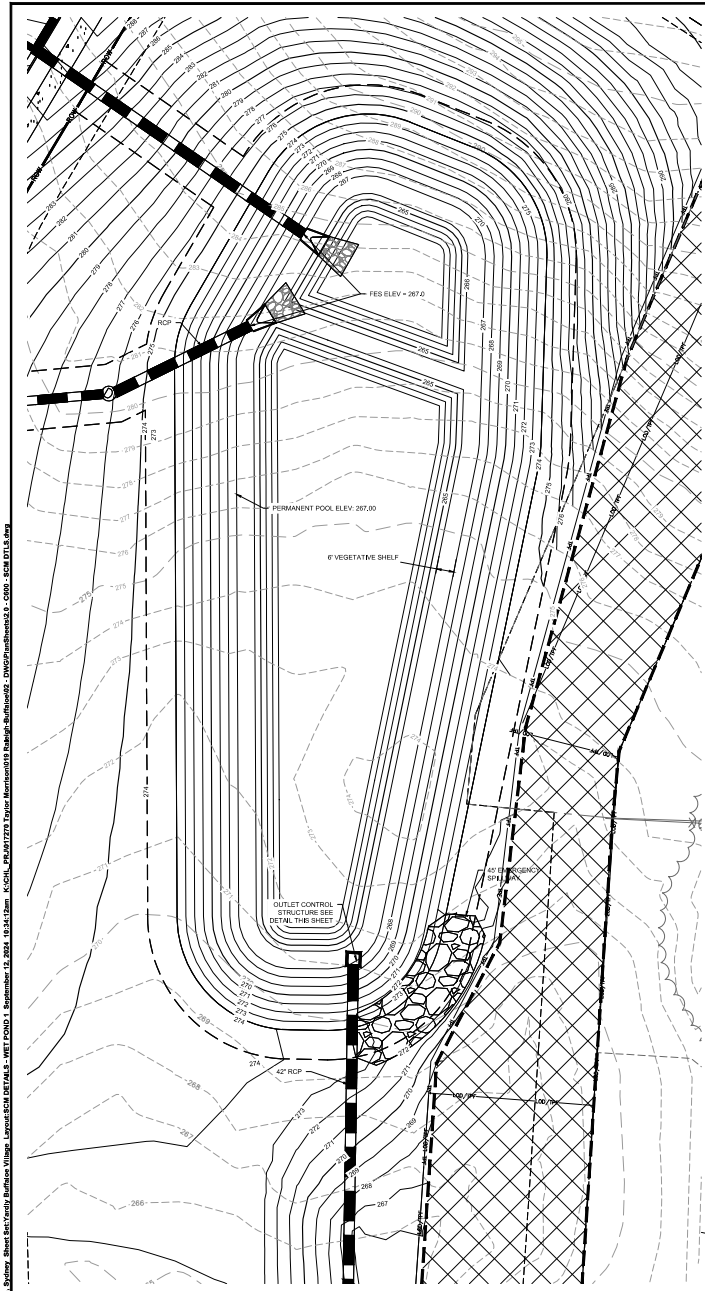


UTILITY LEGEND	
---	PROPERTY BOUNDARY
---	ROW
---	RIGHT-OF-WAY
---	WATER LINE
---	SS
---	SANITARY SEWER LINE
---	ROOF DRAIN
---	UC
---	UTILITY EASEMENT
W	WATER METER
PC	POINT OF CONNECTION
TT	TYPIC TRENCH
FH	FIRE HYDRANT (FH)
FC	FIRE DEPARTMENT CONNECTION (FC)
GV	GATE VALVE
B	BLOWOFF/PREVENTOR
CS	SANITARY SEWER CLEANOUT (SSCO)
SS	SANITARY SEWER CLEANOUT TRAFFIC RATED
MS	SANITARY SEWER MANHOLE (SMH)



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	PROJECT NO. [Redacted] DATE: 09/11/2024 SCALE: AS SHOWN DESIGNED BY: [Redacted] DRAWN BY: [Redacted] CHECKED BY: [Redacted]
YARDLY BUFFALO VILLAGE PRELIMINARY UTILITY PLAN	SHEET NUMBER C402
PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH, NC	DATE: [Redacted] BY: [Redacted]

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, and no other use or reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

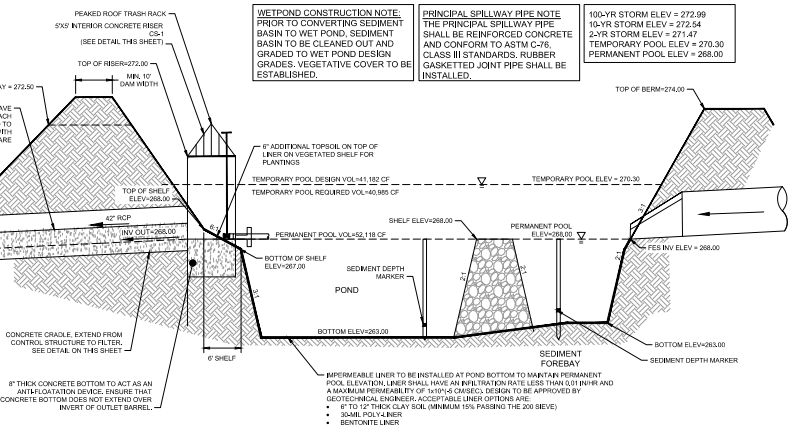
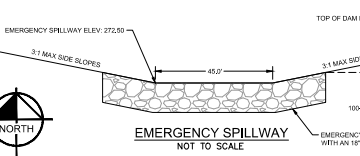


- BRING GRADE TO SPRING LINE FOR PIPE
- EXCAVATE TRENCH AS SHOWN AND PLACE PIPE ON SUPPORTS
- FILL TO SPRINGLINE WITH CONCRETE
- WRAPIR PIPE JOINTS WITH A NONWOVEN GEOTEXTILE
- CONCRETE CRADLE SHALL HAVE A 3:60V COMPRESSIVE STRENGTH OF 3000 PSI
- THE CONCRETE FLOOR OF THE CRADLE SHALL BE CONSOLIDATED PRIMARILY BY INTERNAL VIBRATION AND SHALL BE FINISHED "BUSH" SO AS TO ACHIEVE A MORE SOLIDATE BOND BETWEEN THE CONCRETE OF THE CRADLE AND THE FIRST LIFT OF STRUCTURAL FILL.

CONCRETE CRADLE DETAIL
NOT TO SCALE

EARTHEN DAM SPECIFICATIONS

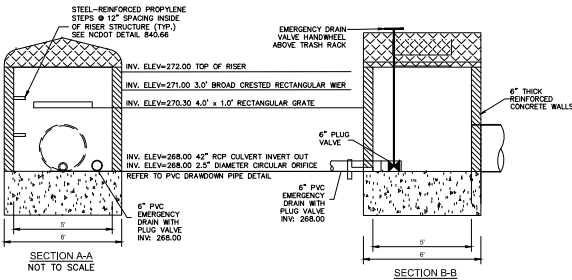
- A MAXIMUM SLOPE OF 3:6V SHALL BE USED ON THE EMBANKMENTS TO ALLOW MAINTENANCE EQUIPMENT AND TO MAINTAIN GROUND COVER.
- TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION Dewatering and ROCK FOUNDATION PREPARATION (I.E., TREATMENT WITH SLUSH GROUTING, DENTAL CONCRETE, ETC.) MAY BE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.
- TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2- TO 3-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND MULCHED OR HYDROSEED.
- A GRASS SURFACE IS REQUIRED TO PREVENT EROSION AND RUTTING. IF VEGETATION IS USED TO STABILIZE THE EMBANKMENT, PROPER MAINTENANCE, INCLUDING MOWING, FERTILIZING, AND RESEEDING BARE SPOTS, IS REQUIRED TO PREVENT EROSION.
- WHERE FILL IS REQUIRED TO RAISE THE EXISTING GRADES OF THE SITE TO THE NEW SUBGRADE ELEVATIONS INDICATED, SUCH FILL SHALL BE OF EARTH, PLACED COMPACTED AS SPECIFIED, ON-SITE OR OFF-SITE BORROW MATERIAL SHALL BE APPROVED BY THE INDEPENDENT TESTING LABORATORY'S GEOTECHNICAL ENGINEER PRIOR TO BEING PLACED ON PROJECT FILL AREA.
- ALL SUBGRADE TO RECEIVE FILL SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING NEW FILL. METHODS FOR EVALUATION SHALL INCLUDE PROOF ROLLING CONSTRUCTION AND/ OR SIMILAR PNEUMATIC TIRE EQUIPMENT, OR OTHER METHODS AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. ALL SOIL THAT RUTS, PUMPS, OR DEFLECTS EXCESSIVELY AS DETERMINED BY THE GEOTECHNICAL ENGINEER SHALL BE CORRECTED AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER.
- METHODS OF CORRECTION MAY INCLUDE DRYING AND COMPACTION, PLACEMENT OF AN 18 TO 24 INCH BRIDGE LIFT OF BORROW MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, STABILIZATION WITH FABRIC AND STONE, AND/OR UNDERCUTTING.
- ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (ON ANY DIMENSION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
- THE SURFACE OF THE GROUND AND MOISTURE CONTENT OF THE LOOSEST MATERIAL SHALL BE SUCH THAT IT WILL READILY BOND WITH THE FIRST LAYER OF FILL MATERIAL.
- CONTROLLED FILL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, IN THE DAM EMBANKMENT SHALL BE PLACED IN 6-INCH TO 8-INCH LAYERS (3-INCH TO 4-INCH LAYERS WITHIN 3- FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2- FEET OVER THE PIPE) AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF 4% OR TWO PERCENTAGE POINTS OF THE MAXIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D999.
- ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.
- FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.
- EARLYWORK COMPACTION WITHIN 3- FEET OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMBERS, MANUALLY DIRECTED POWER TAMBERS OR PLATE COMPACTORS OR MINIATURE SELF-PROPULLED ROLLERS.
- SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.
- AT THE END OF EACH DAYS ACTIVITIES, CONTRACTOR SHALL SEAL SURFACE OF NEW FILL BY USE OF A SMOOTH WHEEL ROLLER AND PROVIDE POSITIVE DRAINAGE OUT OF NEW FILL SURFACE.
- THE GEOTECHNICAL ENGINEER MUST INSPECT AND APPROVE ALL SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS PERFORMED THEREON.
- FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE, NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRYING SOILS TOO MOIST TO ACHIEVE COMPACTION OR STABILITY. SUCH SHALL NOT BE CONSIDERED UNSUITABLE SOILS DUE TO MOISTURE CONTENT.
- FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH GROUTED STONE.
- COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.
- THE DEGREE OF COMPACTION OF THE PLACED FILL IN THE DAM SHALL BE PERFORMED AS A PART OF THE CONTRACTOR'S NORMAL QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION OF DAM TESTS SHALL BE CONDUCTED CONCURRENT WITH THE INSTALLATION OF THE COMPACTED FILL AND THE CONTRACTOR SHALL CORRELATE THE CONSTRUCTION OF THE DAM WITH THE TESTING. THE CONTRACTOR SHALL SUBMIT THE RESULTS OF THE TESTS INDICATING THAT THE SPECIFIED DEGREE OF COMPACTION HAS NOT BEEN ACHIEVED. THE PORTIONS OF THE DAM REPRESENTED BY SUCH TESTS SHALL BE REMOVED OR REBUILT, ALL PORTIONS OF THE DAM SHALL ACHIEVE THE SPECIFIED MINIMUM DEGREE OF COMPACTION.
- ALL EARTHEN FILL SHALL BE CLEARED, DRUMBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL AND ORGANIC MATTER PRIOR TO CONSTRUCTION. FULL CONSTRUCTION SPECIFICATIONS ARE REQUIRED IN ACCORDANCE WITH CHAPTER 21 OF CITY OF DURHAM OCTOBER 1, 2013 ADDENDA.



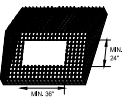
WET DETENTION POND
NOT TO SCALE

NOTES:

- RISER STRUCTURES CONSTRUCTED WITH MULTIPLE BARREL SECTIONS SHALL HAVE WATER-TIGHT JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS AND HARDWARE.

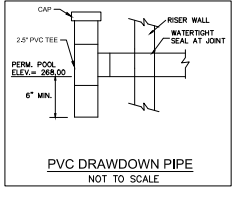


CS-1 CONCRETE RISER CONTROL STRUCTURE
NOT TO SCALE

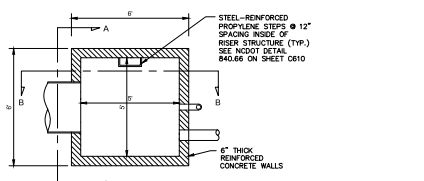


ROOF RACK DETAIL
NOT TO SCALE

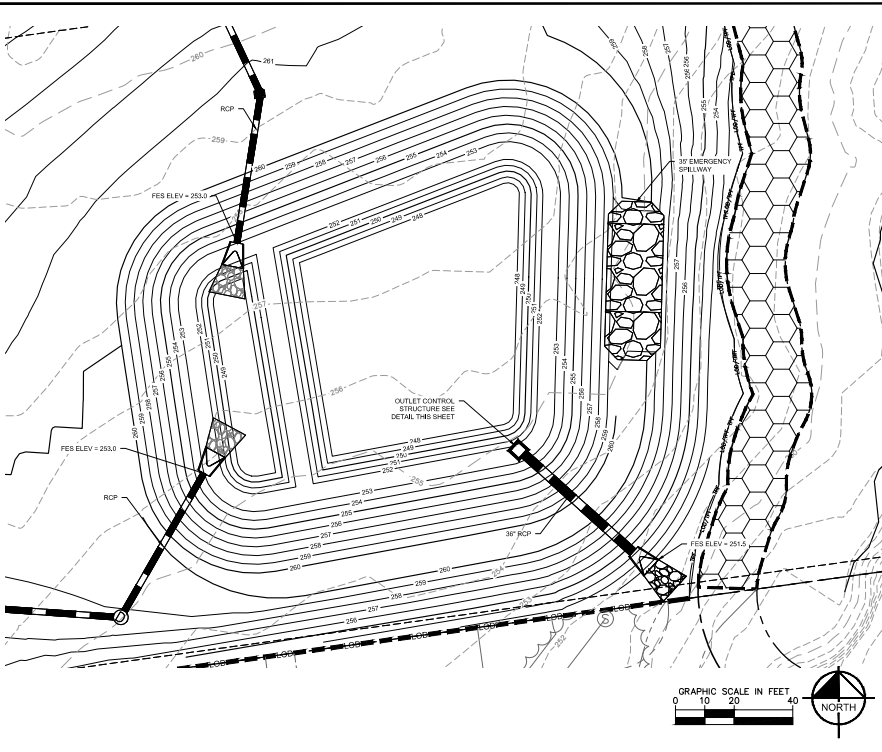
- MUST HAVE A MINIMUM ROOF SLOPE OF 2:1.
- SHALL INCLUDE AN ACCESS HATCH WITH A MINIMUM CLEAR SPACE OPENING OF 2'-0\"/>
- ACCESS STEPS INSIDE THE STRUCTURE.
- HATCH MAY BE SECURED BY LOCK AND CHAIN.
- SHALL BE BOLTED TO THE TOP OF THE STRUCTURE WITH STAINLESS STEEL BOLTS. (BOLTS IN SHEAR SHALL BE PROHIBITED).
- SHALL BE MADE OF ALUMINUM AND HAVE A MINIMUM DESIGN LIFE OF 75 YEARS.



PVC DRAWDOWN PIPE
NOT TO SCALE

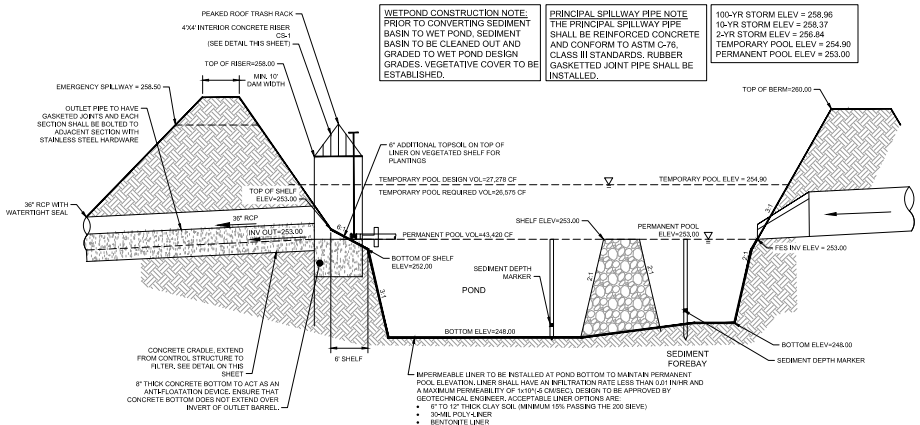
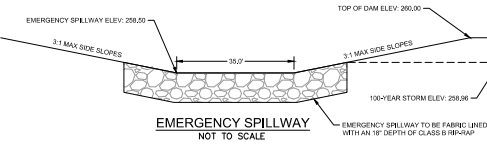


STEEL-REINFORCED PROPYLENE STEPS
NOT TO SCALE



EARTHEN DAM SPECIFICATIONS

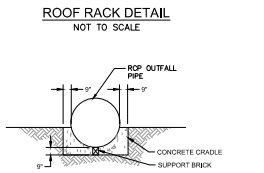
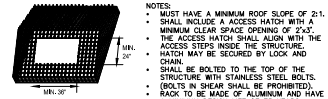
- A MAXIMUM SLOPE OF 3H:1V SHALL BE USED ON THE EMBANKMENTS TO ALLOW MAINTENANCE EQUIPMENT AND TO MAINTAIN GROUND COVER.
- TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION DRAINAGE AND ROCK FOUNDATION PREPARATION (E.G. TREATMENT WITH SLUSH GROUTING, DENTAL CONCRETE, ETC.) MAY BE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.
- TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2- TO 3-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND WEEDS OR HYDROSEDED.
- A GRASS SURFACE IS REQUIRED TO PREVENT EROSION AND RUTTING. IF VEGETATION IS USED TO STABILIZE THE EMBANKMENT, PROPER MAINTENANCE, INCLUDING MOWING, FERTILIZING, AND RESEEDING BARE SPOTS, IS REQUIRED TO PREVENT EROSION.
- WHERE FILL IS REQUIRED TO RAISE THE EXISTING GRADES OF THE SITE TO THE NEW SUBGRADE ELEVATIONS INDICATED, SUCH FILL SHALL BE EARTH, PLACED COMPACTED AS SPECIFIED, ON-SITE OR OFF-SITE BORROW MATERIAL SHALL BE APPROVED BY THE INDEPENDENT TESTING LABORATORY'S GEOTECHNICAL ENGINEER PRIOR TO BEING PLACED ON PROPOSED FILL AREA.
- ALL SUBGRADE TO RECEIVE FILL SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING NEW FILL. METHODS FOR EVALUATION SHALL INCLUDE PROOF ROLLING USING TANDEN KILL DAMM TRUCK OR SIMILAR PNEUMATIC TYRED EQUIPMENT, OR OTHER METHODS AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. ALL SOIL THAT BULGES, PIMPS OR EXHIBITS EXCESSIVELY AS DETERMINED BY THE GEOTECHNICAL ENGINEER SHALL BE CORRECTED AS SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER.
- METHODS OF CORRECTION MAY INCLUDE DRYING AND COMPACTION, PLACEMENT OF AN 18 TO 24 INCH BROAD LIFT OF BORROW MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, STABILIZATION WITH FIBRIC AND STONE, AND/OR UNDERCUTTING.
- ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
- THE SURFACE OF THE GROUND AND MOISTURE CONTENT OF THE LOOSESED MATERIAL SHALL BE SUCH THAT IT WILL READILY BOND WITH THE FIRST LAYER OF FILL MATERIAL.
- CONTROLLED FILL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, IN THE DAM EMBANKMENT SHALL BE PLACED IN 6-INCH LOOSE LAYERS WITHIN 3- FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2- FEET OVER THE FIRST AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 90% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTUM MONTHS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698.
- ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARRIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.
- FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.
- EARTHWORK COMPACTION WITHIN 3- FEET OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMMERS, MANUALLY DIRECTED POWER TAMMERS OR PLATE COMPACTORS OR MINATURE SELF- PROPELLED ROLLERS.
- SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.
- AT THE END OF EACH DAYS ACTIVITIES, CONTRACTOR SHALL SEAL SURFACE OF NEW FILL BY USE OF A SMOOTH WHEEL ROLLER AND PROVIDE POSITIVE DRAINAGE OFF OF NEW FILL SURFACE.
- THE GEOTECHNICAL ENGINEER MUST INSPECT AND APPROVE ALL SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS PERFORMED THEREON.
- FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRYING SOILS TOO WET TO ACHIEVE COMPACTION OR STABILITY. SOILS SHALL NOT BE CONSIDERED UNSUITABLE SOLELY DUE TO MOISTURE CONTENT.
- FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRACKED STONE.
- COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.
- TESTS OF THE DEGREE (%) OF COMPACTION OF THE PLACED FILL IN THE DAM SHALL BE PERFORMED AS A PART OF THE CONTRACTOR'S NORMAL QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION OF THE DAM. TESTS SHALL BE CONDUCTED CONCURRENT WITH THE INSTALLATION OF THE COMPACTED FILL AND THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE DAM SO THAT THE TESTING CAN BE COMPLETED. SHOULD THE RESULTS OF THE TESTS INDICATE THAT THE SPECIFIED DEGREE OF COMPACTION HAS NOT BEEN OBTAINED, THE PORTIONS OF THE DAM REPRESENTED BY SUCH TESTS SHALL BE REMOVED OR REBUILT. ALL PORTIONS OF THE DAM SHALL ACHIEVE THE SPECIFIED MINIMUM DEGREE OF COMPACTION.
- ALL EARTHEN FILLS SHALL BE CLEARED, GRUBBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL AND ORGANIC MATTER PRIOR TO CONSTRUCTION. FULL CONSTRUCTION SPECIFICATIONS ARE REQUIRED IN ACCORDANCE WITH CHAPTER 21 OF CITY OF DURHAM OCTOBER 1, 2013 ADDENDA.



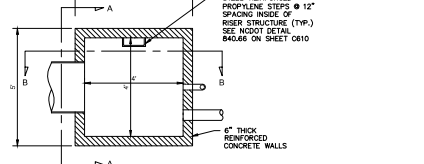
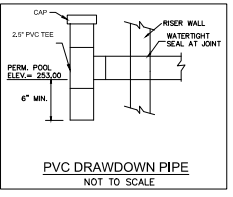
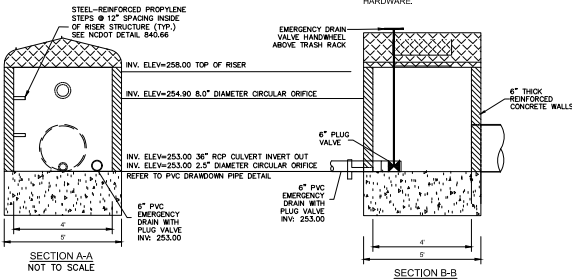
WETPOND CONSTRUCTION NOTE:
 PRIOR TO CONVERTING SEDIMENT BASIN TO WET POND, SEDIMENT BASIN TO BE CLEANED OUT AND GRADED TO WET POND DESIGN GRADES. VEGETATIVE COVER TO BE ESTABLISHED.

PRINCIPAL SPILLWAY PIPE NOTE:
 THE PRINCIPAL SPILLWAY PIPE SHALL BE REINFORCED CONCRETE AND CONFORM TO ASTM C-76. CLASS II STANDARDS. RUBBER GASKETED JOINT PIPE SHALL BE INSTALLED.

100-YR STORM ELEV = 258.96
 10-YR STORM ELEV = 258.37
 2-YR STORM ELEV = 256.84
 TEMPORARY POOL ELEV = 254.90
 PERMANENT POOL ELEV = 253.00



1. BRING GRADE TO SPRING LINE FOR PIPE
2. EXCAVATE TRENCH AS SHOWN AND PLACE PIPE ON SUPPORTS
3. FILL TO SPRINGLINE WITH CONCRETE
4. WRAP PIPE JOINTS WITH A NONWOVEN GEOTEXTILE
5. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
6. THE CONNECTION FOR THE CRADLE SHALL BE CONSOLIDATED PRIMARILY BY INTERNAL VIBRATION, AND SHALL BE FIRMED THOROUGHLY SO TO ACHIEVE A MORE ADEQUATE BOND BETWEEN THE CONCRETE IN THE CRADLE AND THE FIRST LIFT OF STRUCTURAL FILL.



NO.	REVISIONS	DATE	BY

Kimley-Horn
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 300 SOUTH MAIN STREET, SUITE 212, HOLLY SPRING, NC 27540
 WWW.KIMLEY-HORN.COM
 NCEC LICENSE # 1002

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NO.	09112024
DATE	AS SHOWN
SCALE	AS SHOWN
DESIGNED BY	WITH
DRAWN BY	WITH
CHECKED BY	WITH

SCM DETAILS - WET POND 2

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 NC

811
 Know what's below.
 Call before you dig.

SHEET NUMBER
C501

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Tree Conservation Plan Data			
Net Project Area - 29.99 AC (after ROW Deduction)			
29.99 Total Acres (10% = 2.99 AC Required for TCA)			
Primary Tree Conservation Areas	Number of Acres	Percentage of Tract	
Primary Tree Conservation Area - Thoroughfare	0.95	3.17%	
Primary Tree Conservation Area - Neuse River Zone 2	0.38	1.27%	
Secondary Tree Conservation Areas	Number of Acres	Percentage of Tract	
Secondary Tree Conservation Area	1.68	5.60%	
Total Tree Conservation Area	3.01	10.04%	

THOROUGHFARE TCA CALCULATION			
Location	Requirement	Calculation*	Provided
BUFFALO ROAD	175 LF x 50' = 0.20 ACRES	175 LF x 50' = 0.20 ACRES	0.20 ACRES (CONSISTENT 50' WIDTH)
FORESTVILLE ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	645 LF x 50' = 0.74 ACRES	0.74 ACRES (WIDTH VARIES FROM 38.6 TO 100')

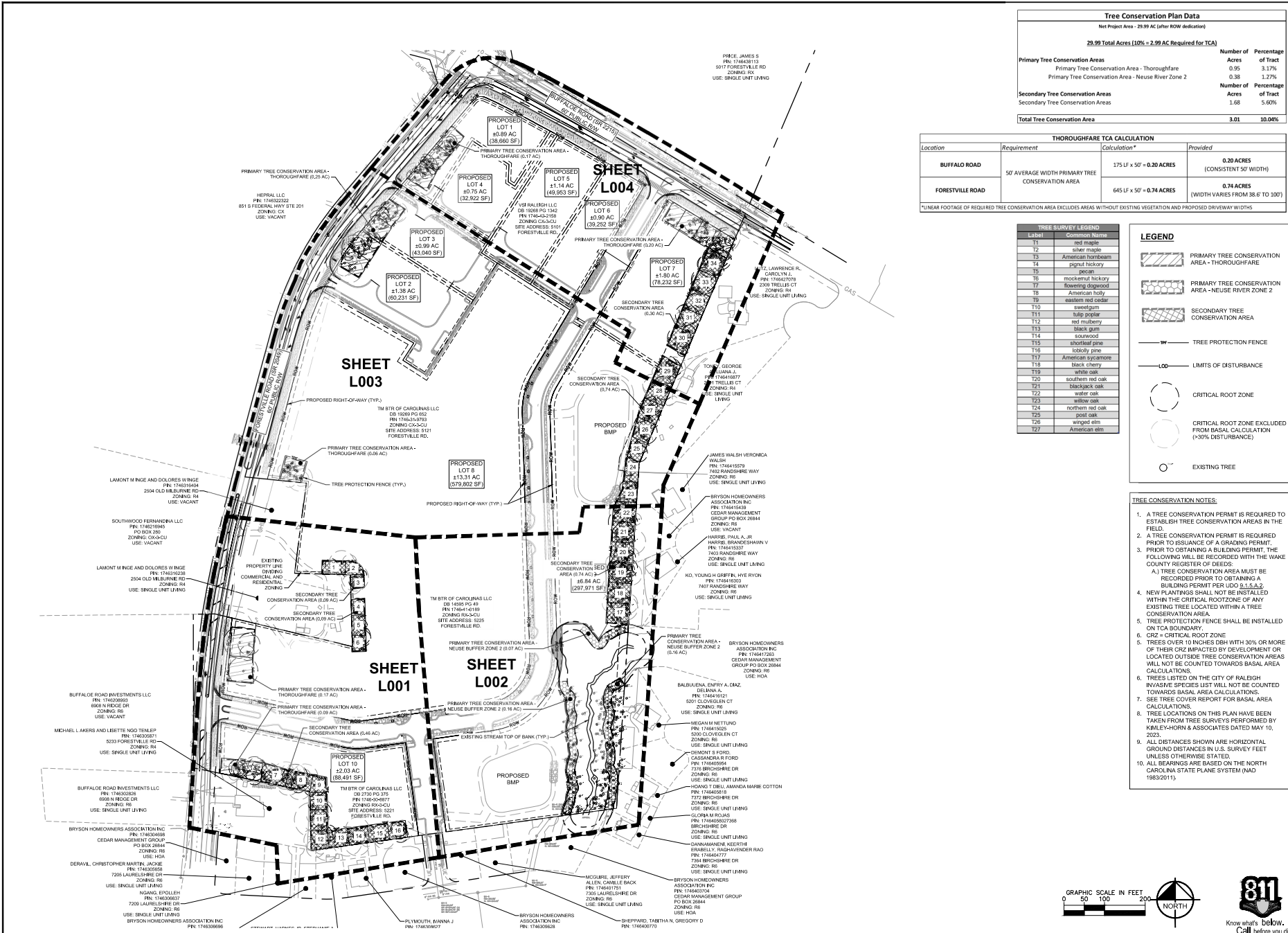
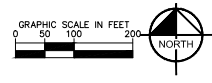
*NET FOOTAGE OF REQUIRED TREE CONSERVATION AREA EXCLUDES AREAS WITHOUT EXISTING VEGETATION AND PROPOSED DRIVEWAY WIDTHS

Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pinnut hickory
T5	pecan
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	tulip poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	yellow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- Primary Tree Conservation Area - Thoroughfare
- Primary Tree Conservation Area - Neuse River Zone 2
- Secondary Tree Conservation Area
- Tree Protection Fence
- Limits of Disturbance
- Critical Root Zone
- Critical Root Zone Excluded from Basal Calculation (>30% Disturbance)
- Existing Tree

- TREE CONSERVATION NOTES:**
- A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
 - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
 - PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
 - A TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER LDD 9.5.A.2.
 - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
 - TREE PROTECTION FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
 - TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
 - TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM TREE SURVEYS PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED MAY 10, 2023.
 - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
 - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).



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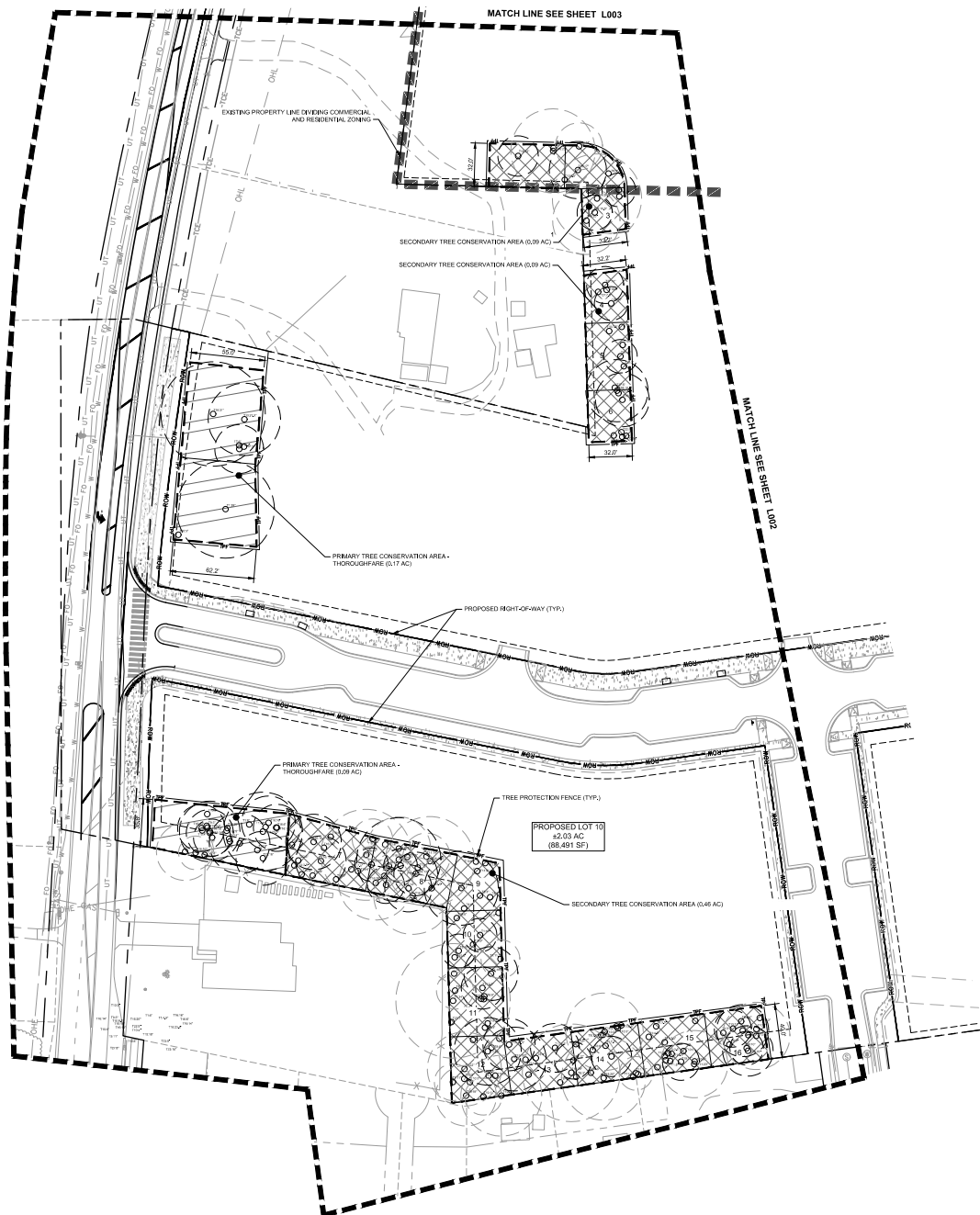
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DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	MTB
DRAWN BY	RAW
CHECKED BY	RAW

OVERALL TREE CONSERVATION PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH, NC

SHEET NUMBER
L000

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TREE SURVEY LEGEND	
Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pinnut hickory
T5	pecan
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	hale poplar
T12	red mulberry
T13	black gum
T14	sycamore
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	walnut oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

NO.	REVISIONS	DATE	BY

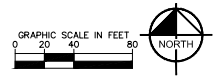
Kimley Horn
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SCALE	WITH
DESIGNED BY	BY
DRAWN BY	BY
CHECKED BY	BY

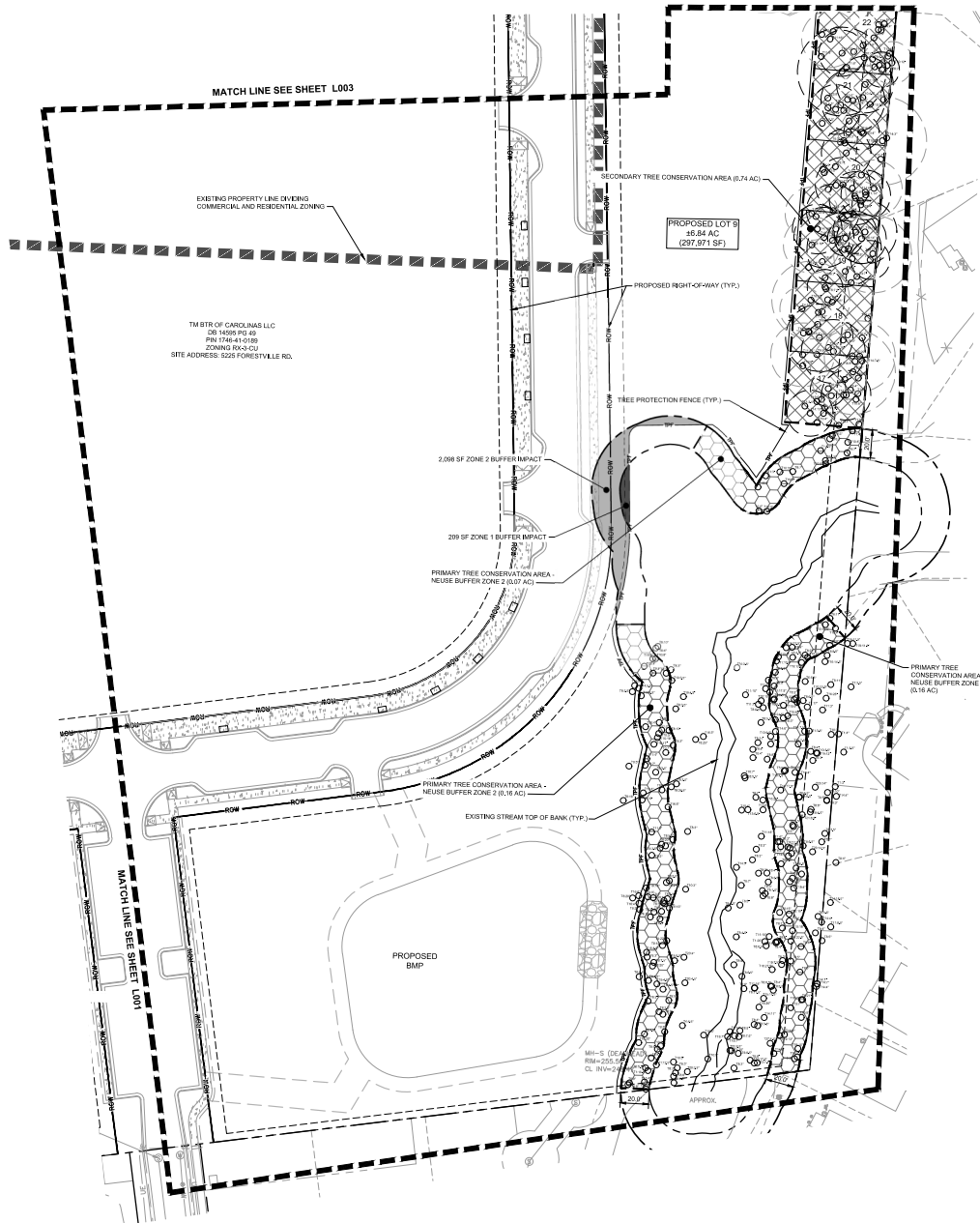
TREE CONSERVATION PLAN

YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSI RALEIGH, LLC
 RALEIGH, NC

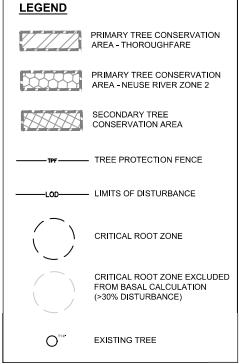


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L001

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Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pinnut hickory
T5	hackberry
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	halepogy
T12	red mulberry
T13	black gum
T14	boxwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm



NO.	REVISIONS	DATE	BY

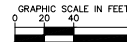
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PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	09/11/2024
SCALE	AS SHOWN
DESIGNED BY	
PERMITTED BY	

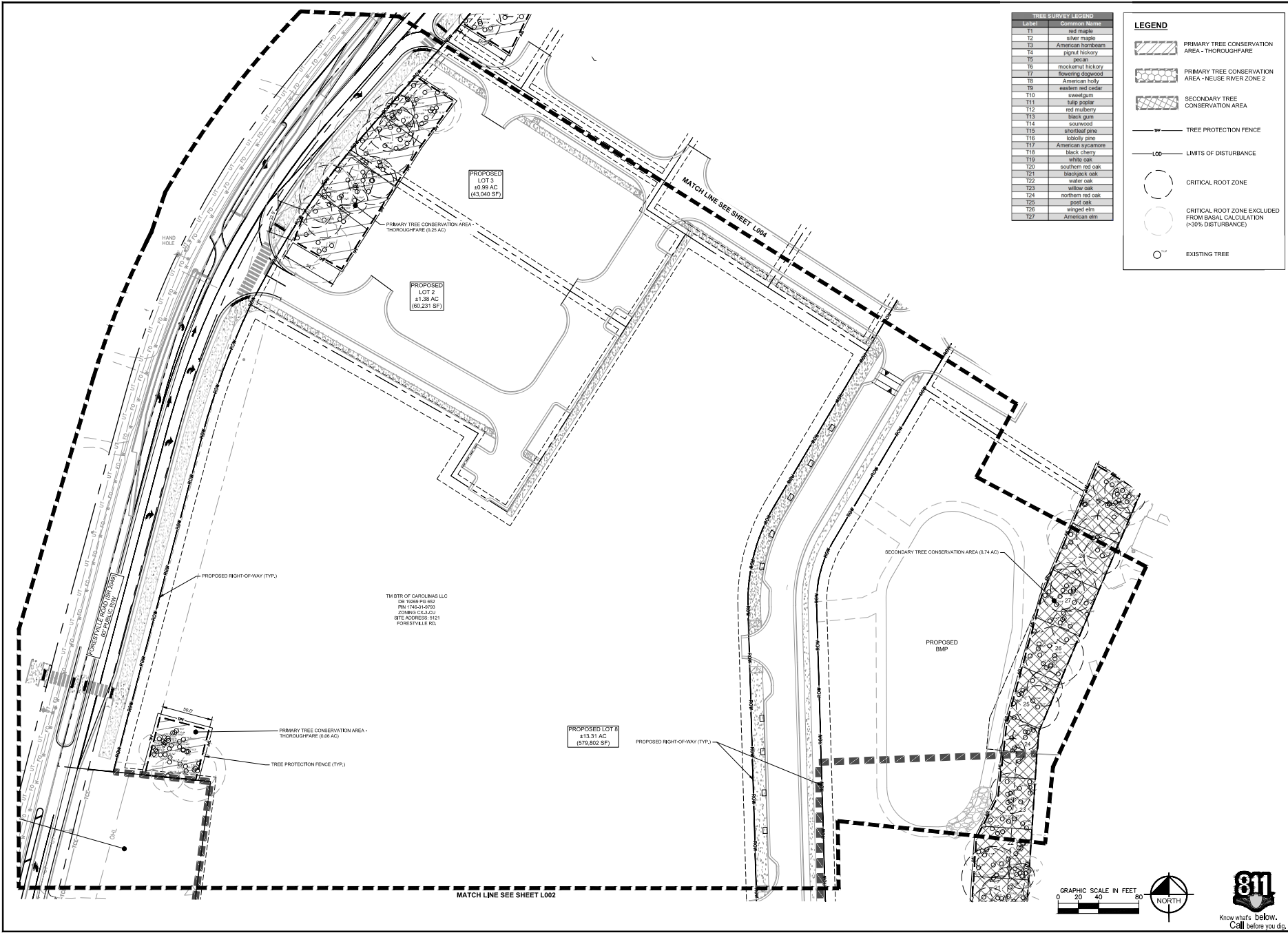
TREE CONSERVATION PLAN

YARDLY BUFFALOEE VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH, NC



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SHEET NUMBER
L002

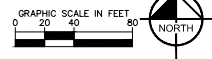


Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pinnut hickory
T5	hackberry
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	halepuglar
T12	red mulberry
T13	black gum
T14	sycamore
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	walnut oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

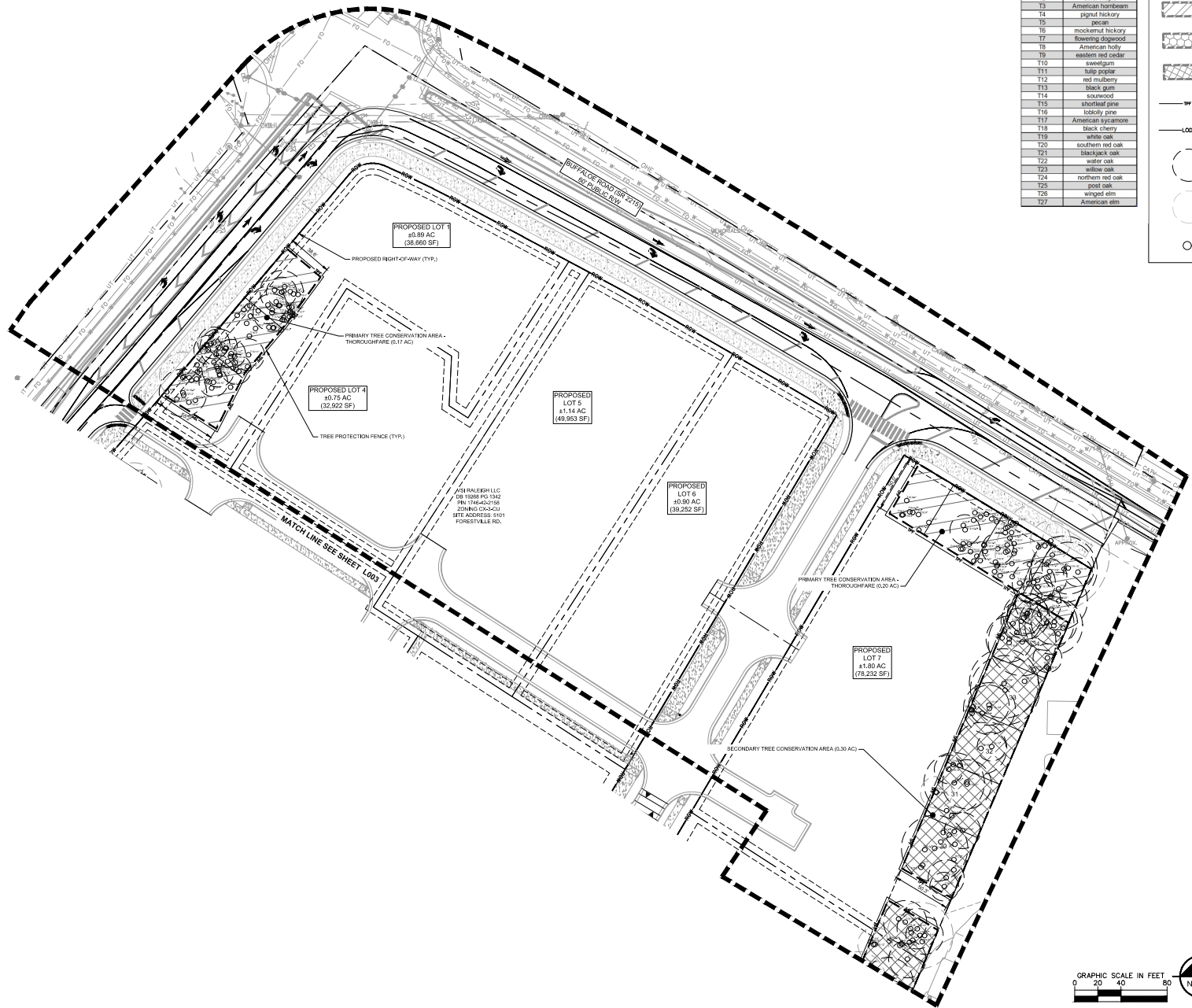
- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

TM BTR OF CAROLINAS LLC
 DB 10280 PO BOX
 PM 174631-0790
 ZONING CK-2-DU
 SITE ADDRESS: 9121
 FORESTVILLE RD.



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	TREE CONSERVATION PLAN	YARDLY BUFFALO VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH, NC	SHEET NUMBER L003

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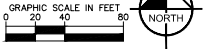


Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pinnut hickory
T5	ash
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	halep holly
T12	red mulberry
T13	black gum
T14	sycamore
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	walnut oak
T23	yellow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

VSIRALEIGH LLC
 108 16996 PCL 3142
 PO 3146-22-2158
 ZONING 15-50-20
 SITE ADDRESS 8101
 FORESTVILLE RD.



NO. _____
DATE _____

REV. _____
BY _____

NO. _____
DATE _____

REV. _____
BY _____

NO. _____
DATE _____

REV. _____
BY _____

NO. _____
DATE _____

REV. _____
BY _____

NO. _____
DATE _____

REV. _____
BY _____

NO. _____
DATE _____

REV. _____
BY _____

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PRELIMINARY
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TREE CONSERVATION PLAN

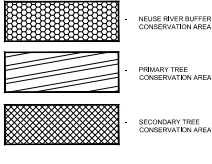
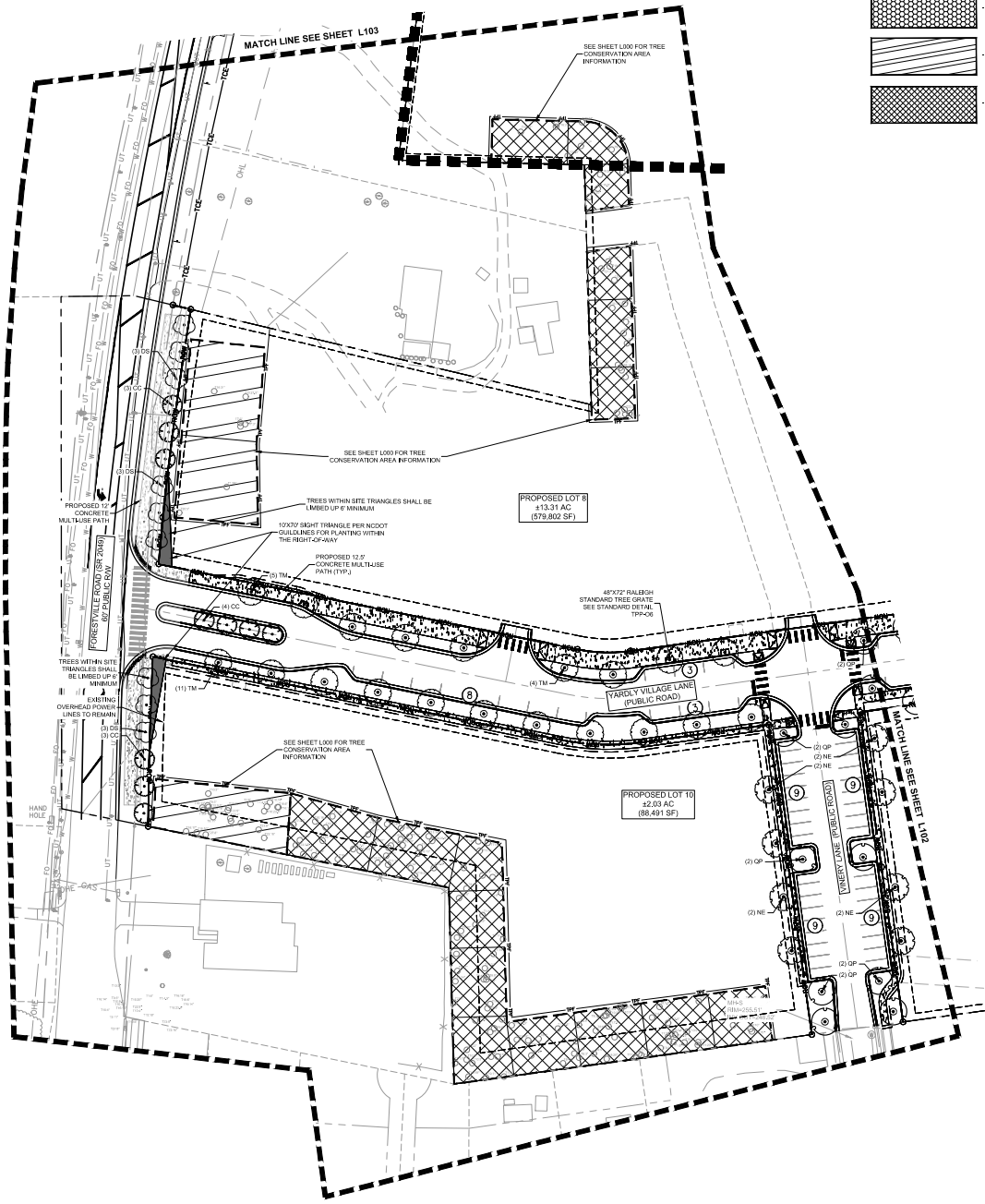
811
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YARDLY BUFFALO VILLAGE
 PREPARED FOR
 YARDLY BY TAYLOR MORRISON
 BTR / VSIRALEIGH, LLC
 RALEIGH, NC

PROJECT NO. _____
 DATE _____
 SCALE AS SHOWN
 DESIGNED BY: MTH
 DRAWN BY: _____
 CHECKED BY: _____

SHEET NUMBER
L004

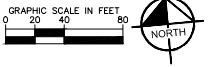
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SUBDIVISION PLANT KEY - L101

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
SHADE TREES			
(NE)	NE	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo
(QP)	QP	Quercus palustris	Pin Oak
(TM)	TM	Tilia americana 'McKSentry'	American Sentry® Linden
UNDERSTORY TREES			
(DS)	DS	Amelanchier arborea	Downy Serviceberry
(CC)	CC	Cercis canadensis	Eastern Red Bud

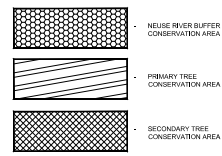
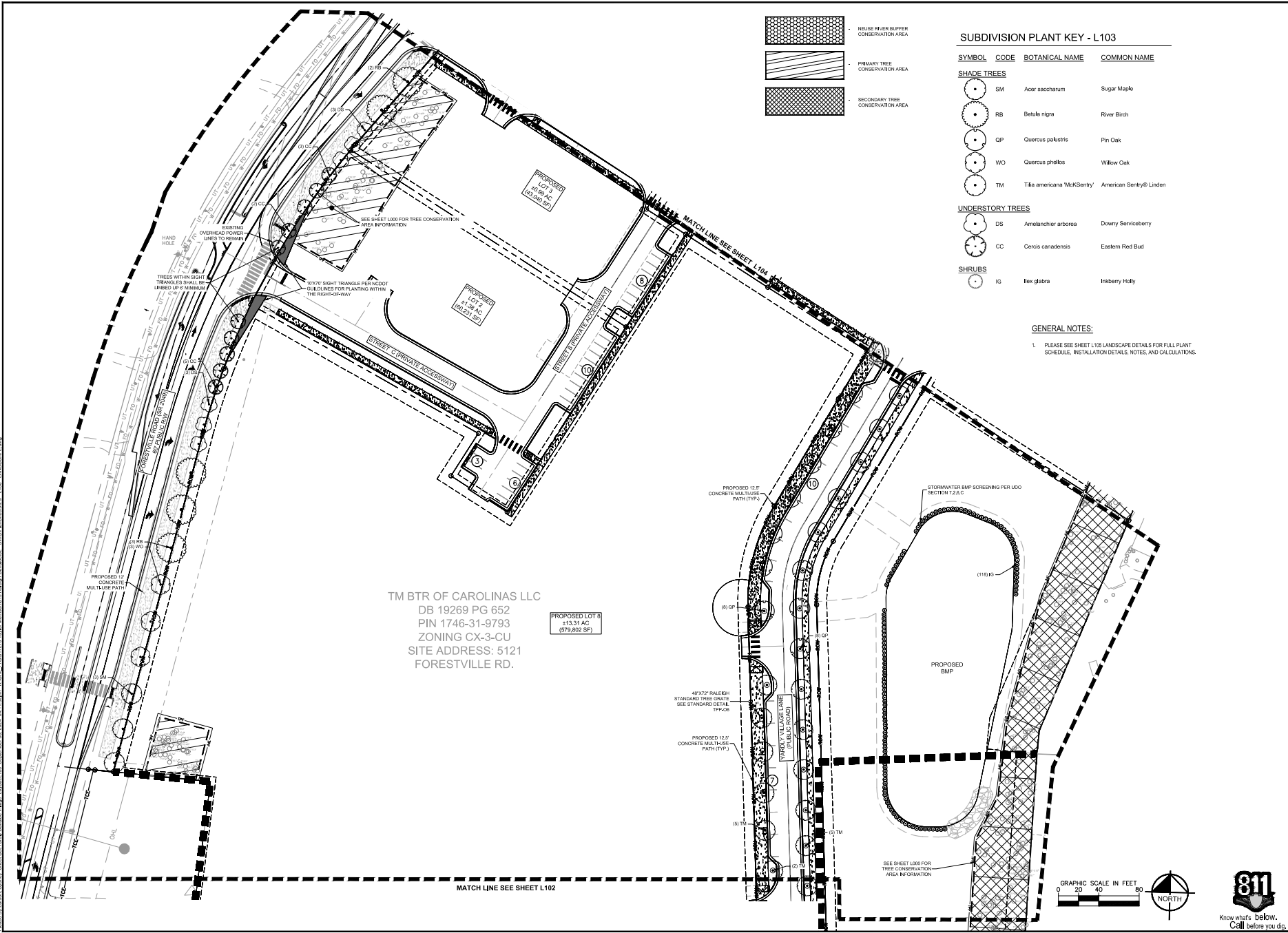
- GENERAL NOTES:**
- PLEASE SEE SHEET L106 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.



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		2024-08-11-001-101	08/11/2024							AS SHOWN	Taylor Morrison	8/11/24									
LANDSCAPE PLANS																					
YARDLY BUFFALO VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH, NC																					
								Know what's below. Call before you dig.													
SHEET NUMBER								L101													
								<table border="1"> <tr><td>NO.</td><td>DATE</td><td>BY</td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>		NO.	DATE	BY									
NO.	DATE	BY																			

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Drawn by: J. L. Morrison, Designer, 3000 South Main St., Holly Springs, NC 27540, P: 919.552.1100, F: 919.552.1101, www.kimley-horn.com
 Checked by: J. L. Morrison, Designer, 3000 South Main St., Holly Springs, NC 27540, P: 919.552.1100, F: 919.552.1101, www.kimley-horn.com
 Date: 09/11/2024

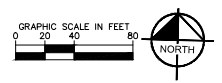


SUBDIVISION PLANT KEY - L103

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
SHADE TREES			
	SM	Acer saccharum	Sugar Maple
	RB	Betula nigra	River Birch
	QP	Quercus palustris	Pin Oak
	WO	Quercus phellos	Willow Oak
	TM	Tilia americana 'McK Sentry'	American Sentry® Linden
UNDERSTORY TREES			
	DS	Amelanchier arborea	Downy Serviceberry
	CC	Cercis canadensis	Eastern Red Bud
SHRUBS			
	IG	Ilex glabra	Inkberry Holly

GENERAL NOTES:
 1. PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.

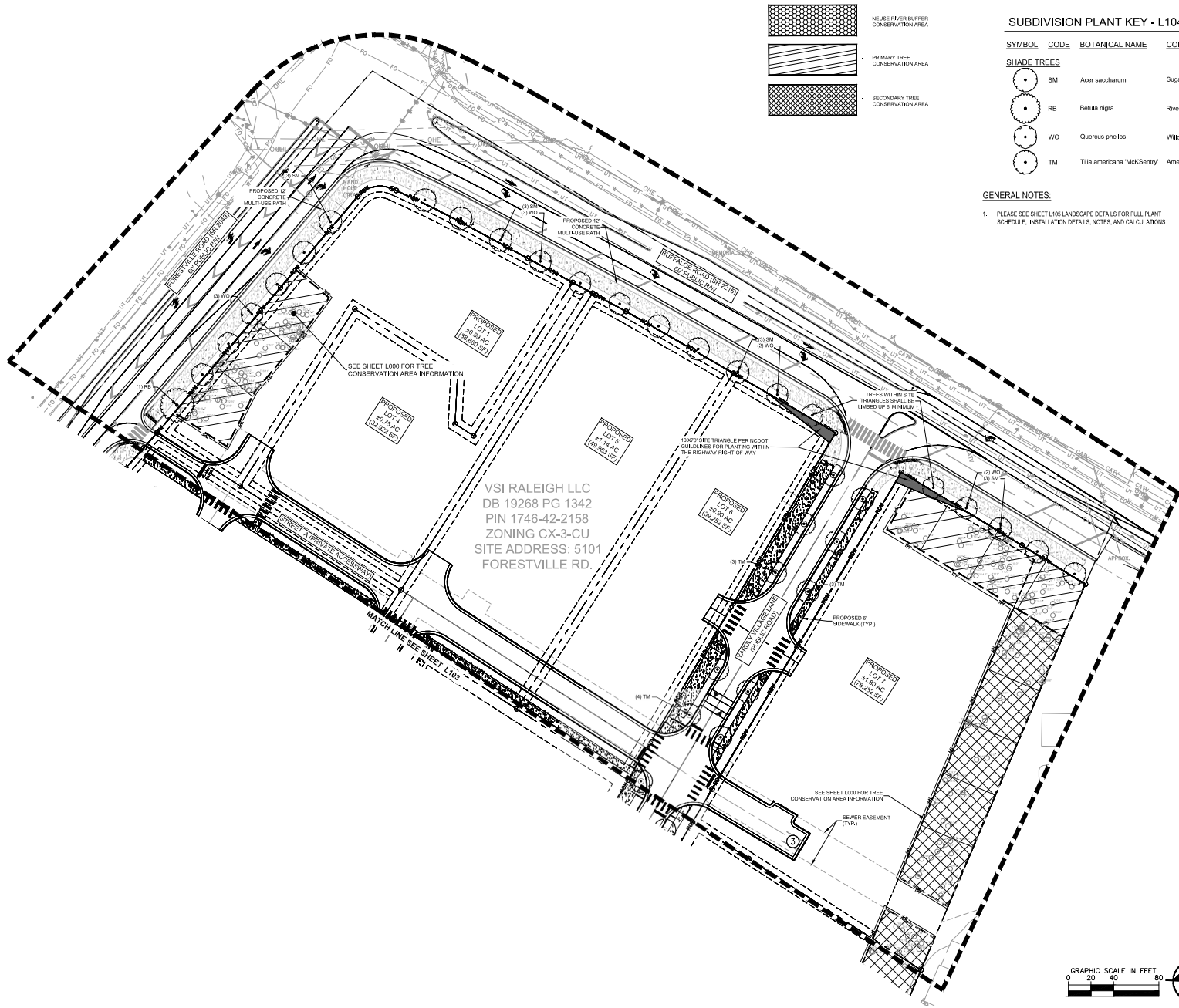
TM BTR OF CAROLINAS LLC
 DB 19269 PG 652
 PIN 1746-31-9793
 ZONING CX-3-CU
 SITE ADDRESS: 5121 FORESTVILLE RD.
 PROPOSED LOT 8
 41.31 AC
 (978,802 SF)



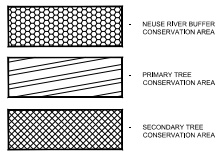
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	LANDSCAPE PLANS
YARDLY BUFFALO VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH, NC	SHEET NUMBER L103
PROJECT NO. 24-0000-000 DATE 09/11/2024 SCALE AS SHOWN DESIGNED BY JLM DRAWN BY JLM CHECKED BY JLM	REVISIONS NO. DATE BY

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 Checked by: ...
 Date: 09/11/2024
 Scale: AS SHOWN
 Drawn by: ...
 Checked by: ...



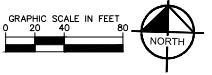
VSI RALEIGH LLC
 DB 19268 PG 1342
 PIN 1746-42-2158
 ZONING CX-3-CU
 SITE ADDRESS: 5101
 FORESTVILLE RD.



SUBDIVISION PLANT KEY - L104

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
SHADE TREES			
(Circle with dot)	SM	Acer saccharum	Sugar Maple
(Circle with horizontal lines)	RB	Betula nigra	River Birch
(Circle with vertical lines)	WO	Quercus phellos	Willow Oak
(Circle with diagonal lines)	TM	Tilia americana 'McKSentry'	American Sentry® Linden

- GENERAL NOTES:**
- PLEASE SEE SHEET L105 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, NOTES, AND CALCULATIONS.



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		YARDLY BUFFALOEE VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC RALEIGH, NC	SHEET NUMBER L104



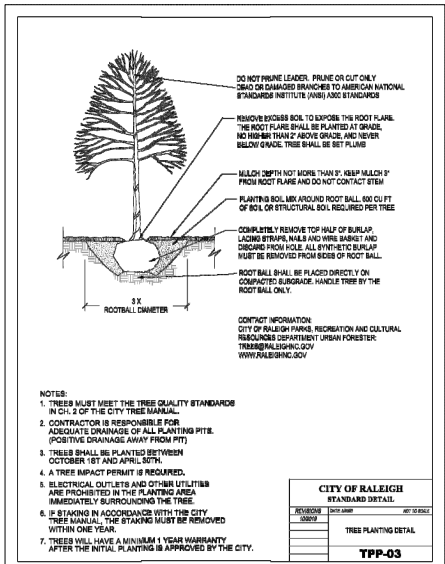
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OVERALL PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANTING HEIGHT	REMARKS
SHADE TREES								
	SM	15	Acer saccharum	Sugar Maple	B&B	3" CAL.	12'-14" HT.	Strong Central Leader, Matched.
	RB	6	Betula nigra	River Birch	B&B	3" CAL.	12'-14" HT.	Single Stem; Strong Central Leader, Matched.
	NE	8	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo	B&B	3" CAL.	12'-14" HT.	Strong Central Leader, Matched.
	QP	55	Quercus palustris	Pine Oak	B&B	3" CAL.	12'-14" HT.	Strong Central Leader, Matched.
	WO	13	Quercus phellos	Willow Oak	B&B	3" CAL.	12'-14" HT.	Strong Central Leader, Matched.
	TM	42	Tilia americana 'McSentry'	American Sentry® Linden	B&B	3" CAL.	12'-14" HT.	Strong Central Leader, Matched.
UNDERSTORY TREES								
	DS	15	Aamelanchier arborea	Downy Serviceberry	B&B	1.5" CAL.	8'-10" HT.	Single Stem; Strong Central Leader, Matched.
	CC	20	Cercis canadensis	Eastern Red Bud	B&B	1.5" CAL.	8'-10" HT.	Single Stem; Strong Central Leader, Matched.
SHRUBS								
	IG	165	Ilex glabra	Inkberry Holly	3 gal	24" FULL	18-24" SPRD.	Full to Ground, Dense.

PLANTING NOTES:
(SEE PLANTING PLAN)

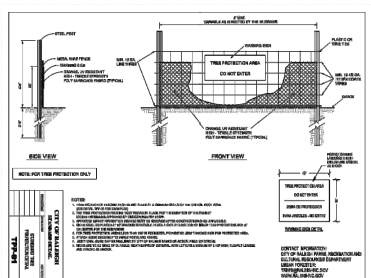
- ALL PLANTS PROVIDED BY CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- ALL PLANTS ARE TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
- ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 3 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
- THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH OWNER PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE PLANT SCHEDULE) AT THE NURSERY FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING PLANTS.
- OWNER SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE OWNER.
- ALL PLANTS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE BEFORE PLANTING.
- ALL LANDSCAPE AREAS TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN AND DRAINAGE PLANS FOR SPECIFIC GRADING INFORMATION AND PIPE INVERTS.
- ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
- ALL SHRUB, GROUND COVER & ANNUAL PLANTING BEDS SHALL BE FILLED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- FINISH OFF 2'-4" CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND ROOT FLARE.
- CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL COMPLETION OF WORK.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO COMPLETION OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET PLANT SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.
- EXISTING PLANT MATERIAL MAY BE USED TO SATISFY PERIMETER PARKING ISLAND REQUIREMENTS. EXISTING MATERIAL MUST BE IN ADEQUATE HEALTH AND MEET SIZE AND SPECIES REQUIREMENTS AS LISTED IN THE CITY OF RALEIGH UDO TO BE COUNTED. PLANT MATERIAL SHOWN ON SHEET C7.0 AS PERIMETER ISLAND PLANTINGS REPRESENT THE CORRECT NUMBER OF PLANTS TO SATISFY PERIMETER ISLAND REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO FLAG ADEQUATE PLANT MATERIAL TO PRESERVE, PRIOR TO LANDSCAPE INSTALLATION.



NOTES:
 1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PIT).
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IS ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING HEIGHT IS REQUIRED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

AREA	CODE REQUIREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	NOTES	SECTION
EUFALDOR RD. FORESTVILLE RD. PROFESDOR, JILIC RD.	CANOPY TREES 5' X 40' (OC) AVG. UNDERSTORY TREES 3' X 30' (OC) AVG.	BUFFALO ROAD 650 LF FORESTVILLE ROAD 1,200 LF VANDY VILLAGE LANE 2,100 LF WIN ELY LANE 230 LF	BUFFALO ROAD 165-546 FORESTVILLE ROAD 32 SHADE & 57 UNDERSTORY VANDY VILLAGE LANE 89 SHADE VANDY LANE 15 SHADE	STREET TREES PLANTED NO MORE THAN 40' (CANOPY) OR 20' (UNDERSTORY) ON CENTER	Section E.1.5

1 TYPICAL TREE PLANTING
SCALE: N.T.S. DETAIL



STABILIZATION NOTES:

- PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE AS NOTED ON THE LANDSCAPE PLAN.
- SOIL SAMPLES SHALL BE TAKEN AT ALL TREE AREAS ON-SITE PRIOR TO PLANTING TO CONFIRM PROPER SOIL AMENDMENTS.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOULING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO SODDING ACTIVITY.

ATTENTION CONTRACTOR/LANDSCAPER

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONDITIONS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 704-336-5899 OR THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY CONFLICTS REGARDING SITE, SOILING, OVERHEAD POWERLINES OR OTHER UTILITIES. NOTE: NO LIGHTUTILITY POLES TO BE PLACED IN ISLANDS WITH NEWLY PLANTED TREES.

GENERAL LANDSCAPE NOTES:

- THE CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE JOB, AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION REQUIREMENTS PRIOR TO BIDDING. CONTRACTOR SHALL RECYCLE OR DISPOSE OF WASTE PRODUCTS AND PLANT CONTAINERS OFF-SITE IN A RESPONSIBLE MANNER.
- PERMITS AND FEES REQUIRED FOR WORK MUST BE OBTAINED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT PLANTS, FACILITIES & STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER. ADJACENT STREETS & SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD & DUST-FREE.
- EXISTING UTILITIES SHOWN ON LANDSCAPE DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE & VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER & THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE OWNER IMMEDIATELY FOR CLARIFICATION.
- UTILITY MANHOLE COVERS AND ACCESS BOX COVERS ARE TO BE LOCATED ENTIRELY WITHIN A PLANTED AREA OR A PAVED AREA, AND CLEAR OF ALL FENCE LINES. IF ANY CONDITION ARISES WHERE A UTILITY COVER IS TO CROSS A BOUNDARY OR FENCE LINE, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL EXISTING SIGNAGE TO REMAIN TO BE PROTECTED IN PLACE OR STOCKPILED AND REINSTALLED UPON COMPLETION OF WORK UNLESS OTHERWISE NOTED OR SPECIFIED.
- PLANT SPECIES ARE SELECTED FOR HARDINESS IN LOCAL CLIMATE. PERMANENT IRRIGATION IS NOT PART OF THIS CONTRACT. PLANTS ARE TO BE WATERED BY CONTRACTOR DURING ESTABLISHMENT PERIOD.
- IF CONTRACTOR IS UNABLE TO LOCATE/PURCHASE ANY OF THE SPECIFIED PLANT MATERIAL LISTED, THE CONTRACTOR SHALL SUBMIT ANY SPECIES ALTERNATIVES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.

2 TYPICAL TREE PROTECTION FENCING
SCALE: N.T.S. DETAIL



PROJECT NO.	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
09/11/2024	AS SHOWN	YARDLY BY TAYLOR MORRISON	BTR / VSI RALEIGH, LLC	RALEIGH		

LANDSCAPE DETAILS

YARDLY BUFFALO VILLAGE
PREPARED FOR
YARDLY BY TAYLOR MORRISON
BTR / VSI RALEIGH, LLC
RALEIGH, NC

SHEET NUMBER
L105

811 Know what's below. Call before you dig.

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